

21/07/2022
C263yara

SCHEDULE 6 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

Shown on the planning scheme map as DDO6.

601-603 VICTORIA STREET, ABBOTSFORD

- DDO6 pg.1-3
- DDO9 pg.4-6
- DDO11 pg.7-9
- DDO16 pg.10-28
- DDO26 pg.29-38
- Cl. 52.05 pg.39

1.0

21/07/2022
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Design objectives

To ensure that development:

- Responds to the industrial nature of the area, including the Abbotsford Brewery, by resolving the potential impacts of industry, including noise, light, odour and 24 hour traffic movements, in the design and construction of buildings so as not to prejudice the ongoing operation of surrounding non-sensitive uses.
- Incorporates appropriate acoustic measures to attenuate audible noise levels within habitable indoor and outdoor areas of buildings containing residential or other noise sensitive uses so that they do not adversely affect the operations of industry.
- Makes a positive contribution to Victoria Street as an active pedestrian environment and retail and commercial strip through high quality architecture
- Improves physical and visual linkages between the surrounding area and the Yarra River.
- Does not adversely impact on local traffic conditions.
- Is of an appropriate height and scale for its strategic location and respects the predominant character of Victoria Street between Church and Burnley Streets.
- Does not dominate the skyline when viewed from the Yarra River corridor and Yarra Bend Park.
- Improves the pedestrian environment along all street frontages.
- Responds to the predominantly industrial built form character of the area.

2.0

Buildings and works

21/07/2022
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A permit is required to construct a building or construct or carry out works, except for:

- an alteration to an existing building façade, provided:
 - .. the alteration does not include the installation of an external roller shutter;
 - .. in a C1Z, at least 80 per cent of the building facade at ground level is maintained as an entry or window with clear glazing.
- rear ground floor alterations, extensions or outbuildings no higher than 4 metres above natural ground level.

Development of the site must include an open thoroughfare that:

- Provides access and direct viewlines for pedestrians between Grosvenor and Shamrock Streets.
- Has a minimum width of 10 metres.
- Be landscaped and substantially fronted by development.
- Can form part of a development contribution requirement of any subsequent subdivision application.

Buildings and works should be constructed in accordance with the requirements specified in Table 1 to this schedule.

Table 1

Maximum building height	Upper level setbacks	Built form outcomes
Victoria Street frontage: 11 metres (RL26)	Victoria Street frontage: development above 11 metres (RL 26) to be set back a minimum of 10 metres.	The scale of the building reinforces the strategic importance of Victoria Street. The dominant parapet height of surrounding development along the north side of Victoria Street is maintained and reinforced.
Flockhart Street frontage: 16.5 metres (RL26)	Flockhart Street frontage: development above 16.5 metres (RL 26) is to be set back a minimum 4 metres.	Development responds to the slope of the site and lower scale development to the north.
Grosvenor Street frontage: 13.5 metres (RL26)	Grosvenor Street frontage: development above 13.5 metres (RL 26) is to be set back a minimum 5.5 metres	The visual impact of upper levels is minimised when viewed from Victoria Street east and west of the site. Development responds to the lower scale (one to two storey) of buildings on the south side of Victoria Street and west side of Grosvenor Street.
Overall maximum height: 21 metres (RL 30.5) elsewhere on the site	Northern boundary of the site: development above 16.5 metres (RL 26) is to be set back a minimum 8.5 metres	Development responds to the medium scale (up to five storeys) of industrial buildings on the east side of Flockhart Street and to the north of the site.

Development that includes residential or other sensitive uses must:

- Include design and noise attenuation measures that achieve the noise levels (within any noise sensitive areas) that are calculated by applying the method in Schedule B of State Environment Protection Policy No. N-1 ‘Control of Noise from Commerce, Industry and Trade’ (SEPP N-1) for calculation of noise limits.
- Locate, and if necessary screen, private open spaces, including balconies, to attenuate industrial noise to meet the requirements of SEPP N-1.
- Incorporate design measures that minimise the potential impact of non-routine odour emission.

At ground level, development must:

- Provide physical and visual connections between the land, or buildings on the land to the Yarra River corridor and Victoria Street.
- Use Grosvenor Street for pedestrian access and Flockhart Street for vehicle access.
- Provide visual interest for pedestrians and opportunities for passive surveillance through the location and design of building entries windows, and balconies and façade articulation.
- Minimise vehicle crossovers, blank walls and blind corners.

3.0

21/07/2022
C263yara

Subdivision

A permit is not required to subdivide land.

4.0

21/07/2022
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Signs

None specified.

5.0

21/07/2022
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Application requirements

An application must be accompanied by a site analysis and a design response explaining how the development achieves the Design objectives of this schedule and Built form outcomes in Table 1 to this schedule.

An application that includes residential or other sensitive uses must be accompanied by an acoustic assessment, prepared by a qualified acoustic consultant, to the satisfaction of the responsible authority, that demonstrates how the noise attenuation measures will achieve noise levels (within any noise sensitive areas) that are calculated by applying the method in Schedule B of SEPP N-1 for calculation of noise limits.. The acoustic assessment must include:

- The internal and external noise levels and the method of calculation used.
- Details of the design of walls, roof, windows, door, external glazing and the air- conditioning or ventilation system and how these will achieve the required noise levels.

6.0

Persons or body to be notified

In accordance with section 52(1)(c) of the Act, notice of an application under this schedule must be given to the owner and occupier of the Abbotsford Brewery site at 4-6 Southampton Crescent, Abbotsford.

7.0

21/07/2022
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Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Whether the proposal responds to the industrial context of the area, in particular, the measures employed to ensure that non-residential uses will protect residential amenity from noise, light, and odours emitted from commercial uses on the site.
- How ground level commercial occupancy provides an active, physically and visually connected interface along the Victoria Street frontage.
- How the design, height and form of development responds to the built form character of Victoria Street and existing development in Flockhart Street and Grosvenor Street.
- How the design, height and visual bulk of building/s on the site address potential negative amenity impacts on surrounding development.
- How the proposal improves the street environment for pedestrians along street frontages.
- The effect on the local road network of the location of, and access to, parking facilities.
- The extent to which the Design objectives and the Built form outcomes in Table 1 to this schedule are met.

21/07/2022
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SCHEDULE 9 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

Shown on the planning scheme map as **DDO9**.

DOONSIDE PRECINCT

1.0

21/07/2022
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Design objectives

To recognise this Precinct, being on the edge of an activity centre and abutting low rise residential development, as transitional in its location and function.

To ensure building design responds to the industrial character of the precinct but respects the character of the established residential areas to the south and east of the Precinct.

To respect the scale of development on the south side of Appleton Street.

To provide a pedestrian friendly environment along all street frontages.

To encourage improvements to the public domain, including the provision of public open space.

To ensure that new development does not adversely impact on local traffic conditions.

To ensure a high standard of architectural design.

To ensure that new development does not prejudice the ongoing operation of nearby commercial, industrial and warehouse businesses.

2.0

Buildings and works

21/07/2022
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Proposed C334yara A permit is required to construct a building or construct or carry out works, except for:

- an alteration to an existing building façade, provided:
 - .. the alteration does not include the installation of an external roller shutter;
 - .. in a MUZ, the alterations include and/or retain existing windows and pedestrian entry points and do not increase blank walls.
- rear ground floor alterations, extensions or outbuildings no higher than 4 metres above natural ground level.

The following requirements apply:

Building heights and setbacks

Buildings on Doonside, Burnley and David Streets should be built to the property frontage.

The height of any development in the precinct should not exceed:

- 11 metres along street frontages.
- 15.5 metres with appropriate setbacks above 11 metres.

Development above 15.5 metres:

- Should demonstrate a high standard of architectural design.
- Should not overshadow adjoining streets, public spaces or private properties beyond that caused by a building of 11 metres when measured between the hours of 10.00am and 2.00pm at the Equinox.

This does not apply to:

- Any rooftop building, plant or equipment which is located and designed to minimise its visibility from any adjoining road to the satisfaction of the responsible authority.
- Any architectural feature which is located and designed to the satisfaction of the responsible authority.

Building design

Development should be designed to:

- have active and attractive frontages
- relate to and address all frontages
- be well articulated and modulated
- use materials and finishes which respect adjacent development and the transitional role of the Precinct
- incorporate appropriate acoustic measures to attenuate audible noise levels within habitable indoor and outdoor areas of buildings containing residential or other noise sensitive uses
- incorporate upper level setbacks to Appleton Street so as to respect the scale of development on the south side of the street.

Traffic

Vehicular access and traffic movements in Appleton Street should be minimised.

Permeability and public spaces

Through block connections for pedestrians should be provided wherever possible to link Appleton Street, Doonside Street and Victoria Gardens.

Public open space should have a street frontage.

Amenity

Development that includes residential or other sensitive uses should:

- Minimise the potential impacts of local business (including noise, light, odour and 24 hour traffic movements), in the design and construction of buildings.
- Include design and noise attenuation measures that achieve the noise levels (within any noise sensitive areas) that are calculated by applying the method in Schedule B of State Environment Protection Policy No. N-1 'Control of Noise from Commerce, Industry and Trade' (SEPP N-1) for calculation of noise limits.
- Locate, and if necessary screen, private open spaces, including balconies, to attenuate industrial noise to meet the requirements of SEPP N-1.
- Incorporate design measures that minimise the potential impact of non-routine odour emission.

Landscaping

Public and private open space and other public realm areas should be appropriately landscaped.

3.0

21/07/2022
C263yara

Subdivision

None specified.

4.0

21/07/2022
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Signs

None specified.

5.0

21/07/2022
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Application requirements

An application must be accompanied by a site analysis and a design response explaining how the development achieves the 'Design objectives' and 'Buildings and works' provisions of this schedule.

An application that includes residential or other sensitive uses must be accompanied by an acoustic assessment, prepared by a qualified acoustic consultant that demonstrates how the noise attenuation measures will achieve noise levels (within any noise sensitive area) in accordance with Part 2.0 Amenity.

6.0

21/07/2022
C263yara

Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- The effect of the development on the identified heritage places within the precinct.
- The impact of traffic generated by the proposal and whether it is likely to require additional traffic management control works in the neighbourhood.
- How ground level commercial occupancy addresses the Burnley Street frontage.
- How the design, height and form of development responds to the built form character of Victoria Gardens and existing development in Appleton Street.
- How the design, height and visual bulk of building/s on the site address potential negative amenity impacts on surrounding development.
- How the proposal improves the street environment for pedestrians along street frontages.
- The location of, and access to, parking facilities and their effect on the local road network.
- The effectiveness of new residential development and other noise sensitive uses in protecting their own amenity where potentially affected by existing commercial, industrial, and warehouse businesses.

21/07/2022
C263yara**SCHEDULE 11 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY**

Shown on the planning scheme map as **DDO11**.

GIPPS PRECINCT**1.0 Preferred Future Character**

A built form business and commercial environment which builds on the existing fine grain industrial nature of the area that allows for innovation and interest.

A vibrant and safe street environment due to an increasing amount of street oriented development, particularly on Gipps and Langridge Street.

A consistent streetscape with active street-frontages and well articulated buildings with street facades built to a height of up to 3-4 storeys. Taller built form will be set back from property boundaries and spaced to create new interest and variety in building forms.

2.0 Design objectives21/07/2022
C263yara

To recognise the Precinct as a vibrant commercial precinct with a narrow street network.

To provide a pedestrian friendly environment along all street frontages.

To ensure building design responds to the inherent industrial character of the Precinct.

To ensure building design will protect the amenity of existing pockets of residential development.

To encourage improvements to the public domain, including the provision of public open space.

To ensure that new development does not adversely impact on pedestrian, cycling and vehicular accessibility.

To ensure a high standard of architectural design.

3.0 Buildings and works21/07/2022
G263yara

Proposed C334yara A permit is required to construct a building or construct or carry out works, except for:

- an alteration to an existing building façade, provided:
 - the alteration does not include the installation of an external roller shutter;
 - in a C2Z, at least 80 per cent of the building facade at ground level is maintained as an entry or window with clear glazing.
- rear ground floor alterations, extensions or outbuildings no higher than 4 metres above natural ground level.

Exemption from notice and review

An application to subdivide land or construct a building or construct or carry out works is exempt from the notice requirements of section 52(1)(a), (b) and (d), the decision requirements of section 64(1), (2) and (3) and the review rights of section 82(1) of the Act. This exemption does not apply to land within 30 metres of land (not a road) which is in a residential zone, land used for a hospital or an education centre or land in a Public Acquisition Overlay to be acquired for a hospital or an education centre.

The following requirements apply:

Building heights and setbacks

Taller built form may be appropriate on larger sites able to provide adequate setbacks that respect the narrow streetscape character of the Precinct and avoid overshadowing of neighbouring properties.

Development above 4 storeys should:

- Demonstrate a high standard of architectural design
- Minimise overshadowing of adjoining streets, public spaces or private properties
- Be set back from along the northern side of the following streets:
 - Gipps Street
 - Langridge Street

Building design

Development should be designed to:

- have active and attractive frontages.
- address street activity in its interface design, avoiding recessed car parking at street level.
- be well articulated and modulated.
- use materials and finishes which complement adjacent development and enhance the appearance of the narrow street network.

Traffic and access

For any development:

- the number of vehicular access points to a site should be limited and where possible, consolidated and shared with adjoining sites.
- multiple garages in a continuous row along the street frontage will not be supported and recessed parking spaces at the ground level of buildings will be discouraged.
- the impact of traffic and parking generated by the proposal on the local road network must be considered.

Permeability and public spaces

Any new public open space should have a street frontage.

New development should explore opportunities to create pedestrian connections and through links where the property is accessible from at least two streets.

Amenity

The design and construction of buildings should minimise potential off-site impacts (including noise, light, odour and 24 hour traffic movements).

Landscaping

Landscaping should be considered as a means of providing attractive street frontages.

Public and private open space and other public realm areas should be appropriately landscaped.

4.0

21/07/2022
C263yara

Subdivision

None specified.

5.0

21/07/2022
C263yara

Signs

None specified.

6.0

21/07/2022
C263yara

Application requirements

An application must be accompanied by a detailed site analysis and design response explaining how the development achieves the ‘Design objectives’ and ‘Buildings and works’ provisions of this schedule.

An application must also be accompanied by a traffic impact assessment plan for the site which addresses the effects of traffic generated by the proposed development, vehicular access, traffic movements and parking.

7.0

21/07/2022
C263yara

Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- The impact of traffic generated by the proposal and whether it is likely to require additional traffic management control works in the neighbourhood.
- How the design, height and form of development responds to the preferred built form character of the Precinct.
- How the design, height and visual bulk of building/s on the site address potential negative amenity impacts on surrounding development.
- How the proposal improves the street environment for pedestrians along street frontages.
- The location of, and access to, parking facilities and their effect on the local road network.

01/10/2020
C231yarapt1yara**SCHEDULE 16 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY**Shown on the planning scheme map as **DDO16**.**QUEENS PARADE****1.0**01/10/2020
C231yarapt1yara**Design objectives**

- To ensure development responds to the heritage character and streetscapes and varying development opportunities and supports:
 - the existing low-rise character in Precincts 1, 3B, 4 and 5A
 - a new mid rise character behind a consistent street wall in Precincts 2, 3A and 5B
 - higher rise development in Precinct 5C.
- To protect the integrity of historical streetscapes and clusters of heritage buildings of a similar scale and materiality.
- To ensure development respects the architectural form and qualities of heritage buildings and streetscapes and maintains the visual prominence of the St John the Baptist church belfry and spire, the former ANZ Bank building, the former United Kingdom Hotel and the former Clifton Motors Garage.
- To promote design excellence that ensures new development respects the wide, open boulevard character of Queens Parade including where existing historic trees are key elements in the streetscape, they remain the dominant visual feature.
- To ensure development responds to sensitive interfaces by ensuring the overall scale and form of new buildings provides a suitable transition to low scale residential areas and protects these properties from an unreasonable loss of amenity through visual bulk, overlooking and overshadowing.

2.024/07/2022 - / - / - -
6263yara Proposed C334yara**Buildings and works**

A permit is required to construct a building or construct or carry out works, except for:

- an alteration to an existing building façade, provided:
 - .. the alteration does not include the installation of an external roller shutter;
 - .. in a C1Z and C2Z, at least 80 per cent of the building facade at ground level is maintained as an entry or window with clear glazing; and
 - .. in a MUZ, the alterations include and/or retain existing windows and pedestrian entry points and do not increase blank walls.
- rear alterations, extensions or outbuildings no higher than 4 metres above natural ground level.

2.1**Definitions**

Heritage building means any building subject to a Heritage Overlay, on the Victorian Heritage Register or any building graded as either Contributory or Individually Significant.

Laneway means a road reserve of a public highway 9 metres or less in width. This does not include Dummett Crescent.

Parapet does not include features such as brackets, pediments, urns, finials or other decorative elements.

Public Realm means all streets (including Dummett Crescent) and spaces open to the public but does not include laneways.

Street wall means the façade of a building at the street boundary, or if the existing heritage building is set back from the street boundary, the front of the existing building.

Street wall height means the height of the street wall measured by the vertical distance between the footpath at the centre of the frontage and the highest point of the building, parapet, balustrade or eaves at the street edge or in the case of a heritage building if it is set back from the street from the centre of the building frontage to the highest point of the building, parapet, balustrade or eaves.

Upper level means development above the height of the street wall.

Upper level setback means the setback of the upper level measured from the street wall of the building.

2.2 General Requirements

The following requirements apply to an application to construct a building or carry out works and must be read in conjunction with the relevant precinct design requirements.

- A permit must not be granted or amended (unless the amendment would not increase the extent of non-compliance) to construct a building or construct or carry out works which exceed the mandatory maximum building height, mandatory maximum street wall height or mandatory maximum street wall setback or are less than the mandatory minimum street wall height or mandatory minimum upper level setbacks specified in the relevant Precinct Tables. A permit cannot be granted to vary these requirements.
- A permit must not be granted or amended (unless the amendment would not increase the extent of non-compliance) to construct a building or carry out works which exceeds the preferred building height and setbacks specified in the relevant Precinct Tables unless all the following requirements are met, to the satisfaction of the responsible authority:
 - The built form outcome as a result of the proposed variation satisfies the design objectives in Clause 1.0.
 - All other relevant requirements specified in this schedule.

Architectural features may exceed the preferred or mandatory height.

Service equipment/structures including plant rooms, lift overruns, structures associated with green roof areas and other such equipment may exceed the preferred or mandatory height provided that each of the following criteria are met for the equipment or structure:

- Less than 50 per cent of the roof area is occupied by the equipment (other than solar panels).
- The equipment does not cause additional overshadowing of private open space, Napier Reserve and Queens Parade.
- The equipment does not extend higher than 3.6 metres above the maximum building height.

Projections such as balconies and building services should not intrude into a setback or upper level setback.

2.3 Street wall height requirements

- Except in Precinct 4, the street wall height should be no higher than the parapet height of an abutting heritage building/s for a minimum length of 6 metres measured from the edge of the heritage building/s.

2.4 Upper level requirements

- Upper level development should:

- Provide setbacks to ensure that upper level additions seen from the public realm do not diminish the appreciation of the heritage building and streetscape.
- Avoid repetitive stepped built form at upper levels.
- Be visually recessive.
- Use materials that are recessive in finish and colour.
- Include articulated side walls, where visible from the public realm, which are designed to reduce the visual impact of the wall and read as part of the overall building design.
- Avoid continuous built form at upper levels.
- Ensure balconies at upper levels do not dominate the solid façades of heritage street walls.
- Minimise the visual intrusion of equipment and services.
- Protect the contribution made by chimneys, parapets and other architectural features to the fine grained character of the area.

2.5 Corner site requirements

- New development on a corner site with a frontage to Queens Parade should continue the Queens Parade street wall height along the side street, with a transition in height to match the rear interface where required. This requirement does not apply to Napier Street in Precinct 2C, Precinct 5C or to a laneway except where specified. This requirement applies to the laneway abutting 215 Queens Parade in Precinct 5B to a height of 11m.

2.6 Ground floor design requirements

- Facades at ground level should be designed with floor to floor ceiling heights suitable to accommodate commercial activity in the Commercial 1 Zone, Mixed Use Zone and the Commercial 2 Zone.
- Building services and service cabinets should be located away from the street frontage of heritage facades. They should be designed and located so they complement the street frontage and character and appearance of the heritage building.
- Windows of commercial premises, habitable rooms, and principal pedestrian entrances should be orientated towards the public realm and contribute to the safety of the adjoining public realm.

2.7 Vehicular access, car parking, and loading area requirements

- New vehicle crossovers onto Queens Parade, Brunswick Street and Napier Street should be avoided.
- Future vehicle access and services must be provided by a rear laneway or side street, where possible.
- Vehicle ingress and egress into development, including loading facilities and building servicing, should ensure a high standard of pedestrian amenity and limit potential conflict between vehicle movements and pedestrian activity.
- Development on a laneway should include a rear/side setback or a corner splay at ground floor, to facilitate the ongoing functionality of the laneway and allow for building services and car park access.
- Permanent obstructions within a rear/side setback or splay to a laneway should be avoided.

2.8 Interface to residential properties in NRZ or GRZ requirements

- Development should respond to the low scale form of existing development through an appropriate transition in building height and setbacks to ensure reasonable standards of amenity.
- In Precincts 3 and 4, where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9 am and 3 pm on 22 September. If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced.

2.9 Precinct design requirements

The following precinct specific design requirements apply in addition to the General Requirements outlined in Clauses 2.2-2.9.

2.9.1 Precinct 1 - Brunswick Street

Shown on the planning scheme map as **DDO16-1**

Preferred character statement

Buildings and works should deliver:

- Properties fronting Brunswick Street and turning the corner to Queens Parade defined by fine grained low scaled heritage buildings with moderate low rise future infill behind the main heritage frontage, accessed by rear laneways.
- Visual prominence of the individually significant heritage building on the corner of Brunswick Street and Queens Parade retained.

Design requirements

Development in Precinct 1 should:

- Ensure low rise additions behind the front sections of the terraced houses of Brunswick Street and Queens Parade respect the prevailing streetscape character and subdivision grain which retain and conserve its heritage values.
- Ensure upper level elevations are high quality, visually recessive and enhance the appreciation of the heritage building at 460 Brunswick Street.

Map 1 to Schedule 16 to Clause 43.02 - Precinct 1

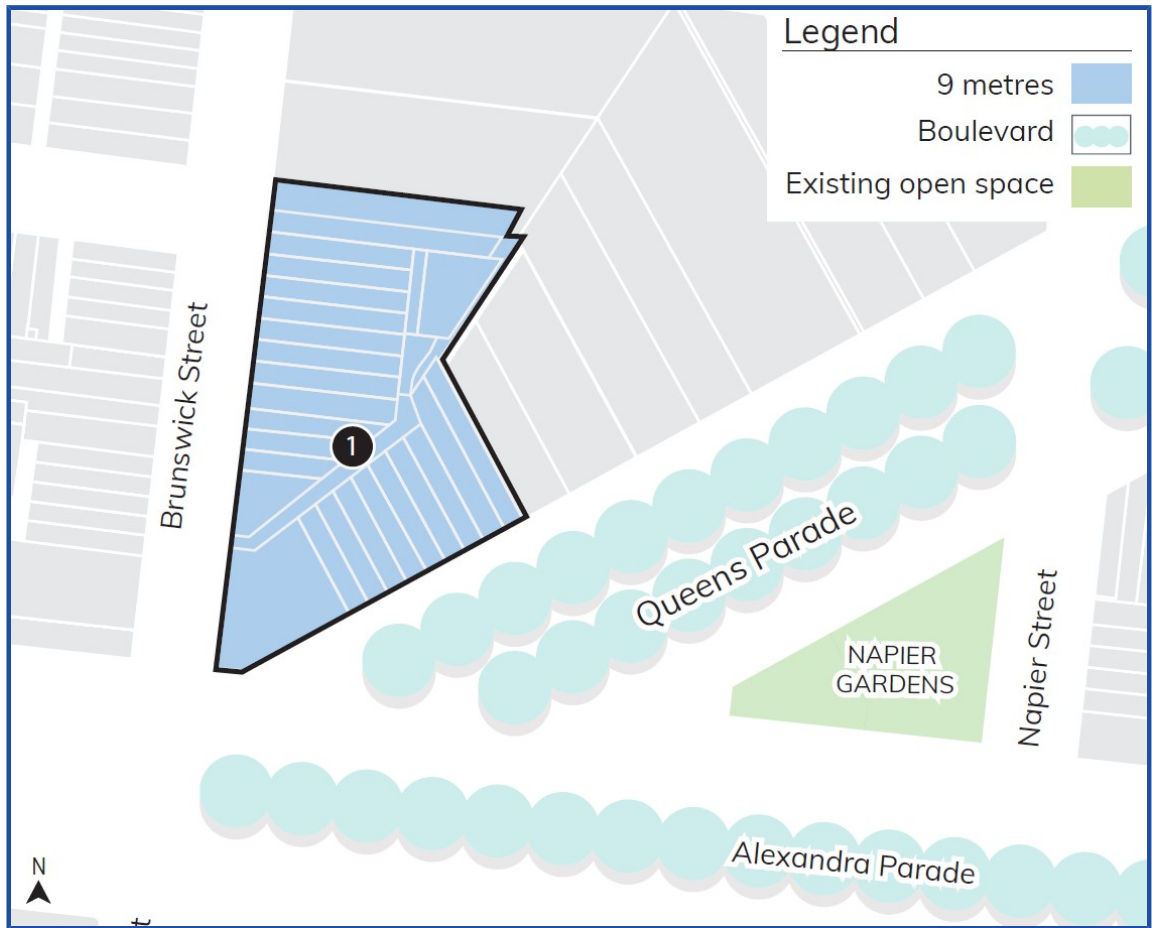


Table 1 – Street wall height, building height and setbacks for Precinct 1

Built Form	Mandatory Requirement	Preferred Requirement
Maximum building height	460 Brunswick Street and Lot 1 on Title Plan TP806921 - 9 metres	Elsewhere - 9 metres
Maximum street wall height	460 Brunswick Street - Match the tallest parapet height of the existing heritage building Elsewhere - Retain the height of the existing heritage street wall	None specified
Maximum and minimum street setback	460 Brunswick Street - Match the setback of the existing heritage building	Elsewhere - Should not be less than the setback of an adjacent heritage building
Minimum upper level setback	6 metres	None specified
Minimum setbacks from side and rear boundary	None specified	ResCode Standard B17

2.9.2 Precinct 2 - Boulevard Precinct

Shown on the planning scheme map as **DDO16-2**

Preferred character statement

Buildings and works should deliver:

- A preferred location for housing and employment growth with well designed mid-rise development that complements Queens Parade through a transition in scale to the Gas Works site.
- Development that complements the visual contribution of the double avenue of trees along the south western part of Queens Parade.
- Precinct 2A - Mid-rise infill behind a distinct moderne heritage frontage that addresses Queens Parade and its heritage context and responds to the sensitivity of the interface with abutting low scale fine grained residential uses to the north and west.
- Precincts 2B and 2C - A vibrant and attractive mid-rise business area that addresses Napier Street, Queens Parade and George Street with a mix of innovative new architecture and heritage buildings to accommodate a wide range of commercial development and employment opportunities.

Design requirements

Development in Precinct 2 should:

- Respect heritage values of the Queens Parade streetscape and deliver an appropriate interface to neighbouring properties that minimises visual bulk and mass.
- Orientate active frontages and provide passive surveillance to the surrounding streets.
- Ensure solar access is provided to Queens Parade and Napier Street Reserve at the equinox from 9am to 3pm.

Development in Precinct 2A should:

- Provide an interface to neighbouring residential properties that minimises visual bulk and mass and provides building separation along side and rear boundaries abutting existing properties.
- Maintain the prominence and significance of the art deco facade.
- Retain, enhance and incorporate the existing heritage facade into the redevelopment of the site and to create a consistent parapet height along the streetscape.
- Recognise the low scale, buildings and fine grain subdivision pattern of existing development to the north and west.
- Encourage pedestrian permeability within and through the precinct.
- Avoid a repetitive stepped form within the 45 degree angle profile.
- Ensure development above the street wall is designed as a series of separate development parts with building separation to enable views to the sky.

Development in Precincts 2B and 2C should:

- Provide an appropriate transition in scale from the heritage buildings in Precinct 2B to new built form in Precinct 2C and the higher development form of the Gas Works site.
- Create a new commercial frontage to George Street to form an active edge complementary to the proposed Gas Works redevelopment.

Map 2 to Schedule 16 to Clause 43.02 - Precinct 2

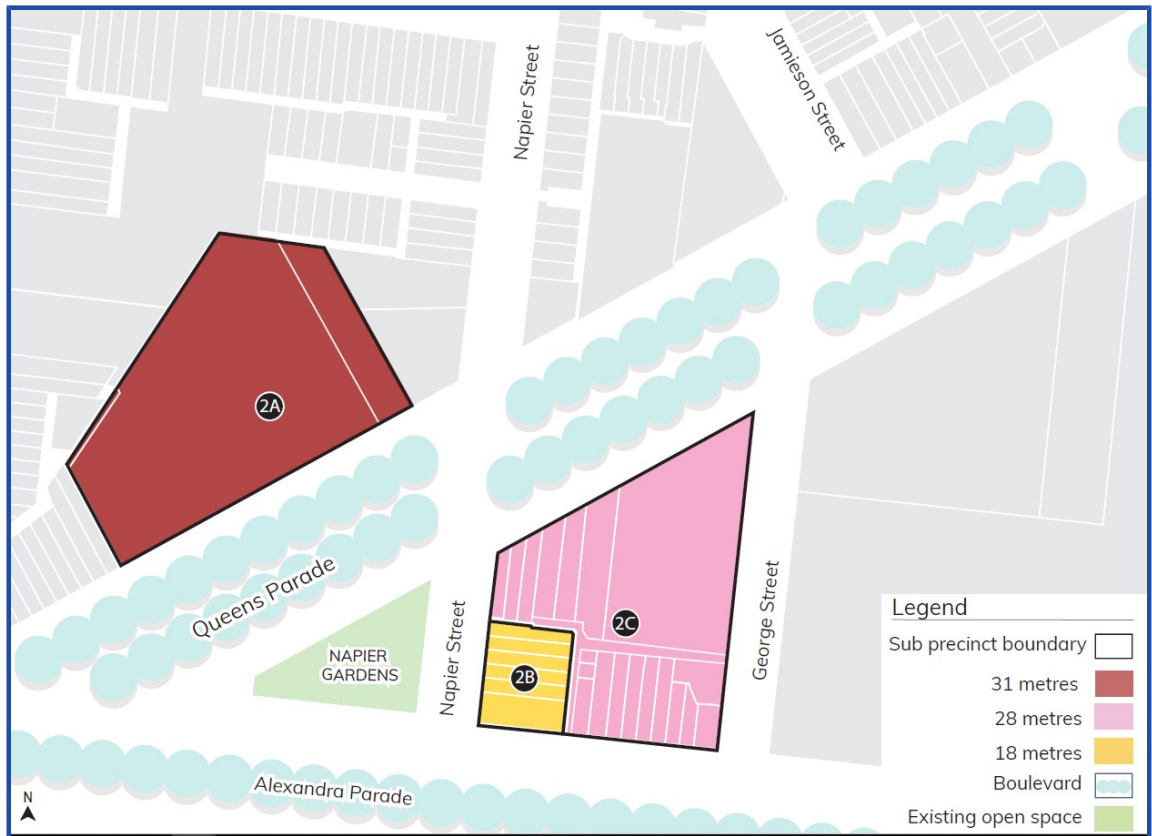


Table 2 - Street wall height, building height and setbacks for Precincts 2A, 2B and 2C

Built Form	Mandatory Requirement	Preferred Requirement
Precinct 2A		
Maximum building height	31 metres	None specified
Maximum street wall height	Retain height of existing heritage facade 10 metres where no heritage facade exists	None specified
Minimum & maximum setback to Queens Parade	None specified	0 metres to maximum 10 metres
Minimum upper level setback	None specified	Above existing heritage facade: <ul style="list-style-type: none"> ▪ 8 metre setback from 10 metres to 16 metres ▪ 10 metre setback from 16 metres Above new street wall (where no existing heritage facade): <ul style="list-style-type: none"> ▪ 5 metre setback from 10 metres to 16 metres ▪ 8 metre setback from 16 metres

YARRA PLANNING SCHEME

Built Form	Mandatory Requirement	Preferred Requirement
Minimum setback(s) from rear boundaries - north and west adjacent to NRZ and GRZ	None specified	ResCode Standard B17 from rear boundary of adjoining properties to 10 metres Setback within 45 degree angle measured from 10 to 25 metres
Minimum setback(s) from side boundary - east adjacent to NRZ	None specified	0 metre setback to match party wall of existing adjoining development to 10 metres Setback within 45 degree angle measured from 10 to 25 metres
Minimum setback(s) from side boundary - east adjacent to MUZ	None specified	0 metre setback to match party wall of existing adjoining development, or 10 metre where no party wall exists 9 metre setback from the windows / balconies of adjoining apartments up to 16 metres 15 metre setback above 16 metres
Minimum setback(s) from side and rear boundaries west and north-west adjacent to MUZ	None specified	0 metre setback to match party wall of existing adjoining development, or 10 metre where no party wall exists Setback within 45 degree angle measured from 10 to 25 metres
Precinct 2B		
Maximum building height	None specified	18 metres
Maximum street wall height	Napier Street - retain existing parapet height	None specified
Minimum upper level setback	6 metres	None specified
Minimum rear setback	None specified	4.5 metres from centreline of laneway for height of the entire building
Precinct 2C		
Maximum building height	None specified	28 metres
Maximum street wall height	Napier Street - 10 metres	Queens Parade, George Street and Alexandra Parade - 18 metres
Minimum upper level setback	Napier Street - 6 metres	Elsewhere - 6 metres

Built Form	Mandatory Requirement	Preferred Requirement
Minimum side and rear setback	None specified	<p>Rear setback:</p> <p>4.5 metres from centreline of laneway for height of the entire building</p> <p>Side setbacks:</p> <p>For upper levels, where a habitable room window is proposed:</p> <ul style="list-style-type: none"> 4.5 metres from the common boundary or from the centreline of the laneway <p>For upper levels, where a non-habitable room window or commercial window is proposed:</p> <ul style="list-style-type: none"> 3 metres from the common boundary or from the centreline of the laneway

2.9.3

Precinct 3 - St John's Precinct

Shown on the planning scheme map as **DDO16-3**

Preferred character statement

Buildings and works should deliver:

- An attractive mixed use area comprising residential and commercial uses with active frontages to the street that retains the primacy of the St John's Church landmark and views to its belfry and spire.
- New development that articulates the higher profile of the corner of Queens Parade and Smith Street, relative to its immediate surroundings.
- Intact streetscape on Smith Street retained with new development set back from the facade and designed to compliment the Victorian era buildings and street wall.
- An effective transition provided to the residential areas to the south and east.

Design requirements

Development in Precinct 3 should:

- Reflect the fine grain character of heritage streetscapes and minimise the dominance of wide building frontages.
- Deliver high quality architectural detailing that respects the heritage qualities and rhythms of Queens Parade and Smith Street.
- Create a consistent street wall that maintains the prominence of the heritage street wall in the streetscape.
- Provide an interface with neighbouring residential properties on Hodgkinson Street that minimises visual bulk and mass and provides building separation along side and rear boundaries abutting existing properties.

Development in Precinct 3A must:

- Maintain views of the belfry and spire of St John's Church and maintain clear sky between the belfry and spire and new development when viewed from the pedestrian refuge on the south-west corner of the intersection with Queens Parade and Smith Street (as indicated on Map 3). A permit cannot be granted to vary this requirement.

Development in Precinct 3A should:

- Emphasise the corner of Queens Parade and Smith Street with a higher street wall and distinct architectural treatments.

Development in Precinct 3B should:

- Reinforce the traditional street wall on Smith Street.
- Ensure that upper level development is visually recessive to complement the heritage streetscape.

Map 3 to Schedule 16 to Clause 43.02 - Precinct 3

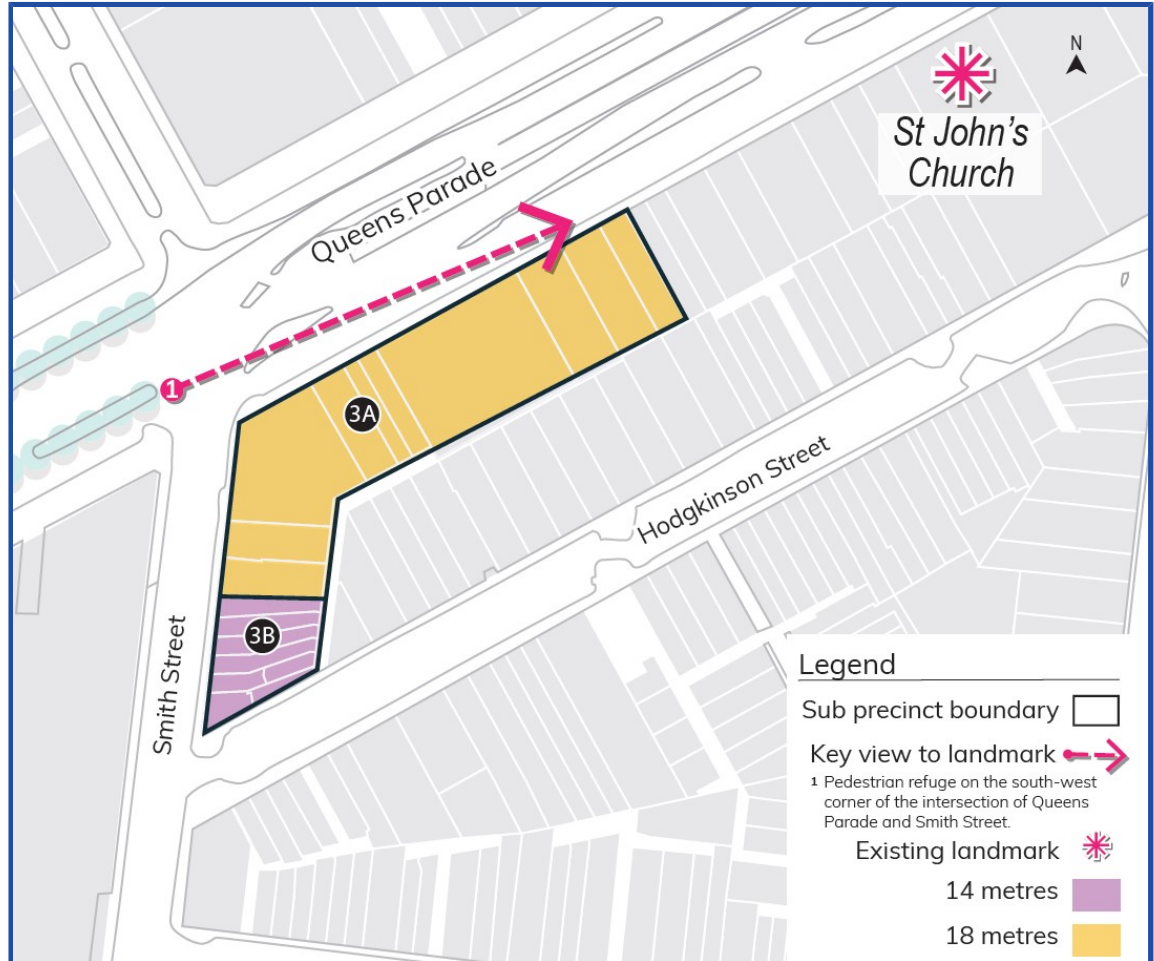


Table 3 - Street wall height, building height and setbacks for Precincts 3A and 3B

Built Form	Mandatory Requirement	Preferred Requirement
Precinct 3A		
Maximum building height	18 metres	None specified
Maximum street wall height	15-33 & 41 Queens Parade - 11 metres 35-37 Queens Parade - retain the height of the existing heritage facade 6 metres on either side of the corner of Smith Street and Queens Parade - 17 metres Elsewhere - 14 metres	None specified

Built Form	Mandatory Requirement	Preferred Requirement
Minimum upper level setback	6 metres	None specified
Maximum street wall setback	None specified	0 metres - built to front boundary at ground level
Minimum rear setback	None specified	Where there is a laneway: <ul style="list-style-type: none"> Height and setbacks as shown in Figure 1 Where there is no laneway: <ul style="list-style-type: none"> Height and setbacks as shown in Figure 2
Minimum side setback	None specified	If side boundary adjoins NRZ and abuts an existing boundary wall, 0 metre to a height of 8 metres and a setback with a 45 degree angle above a height of 8 metres. Elsewhere - 0 metres
Precinct 3B		
Maximum building height	14 metres	None specified
Maximum street wall height	Retain height of existing heritage facade	None specified
Minimum upper level setback	6 metres	None specified
Maximum street wall setback	None specified	0 metres - built to front boundary at ground level
Minimum rear setback	None specified	Where there is a laneway: <ul style="list-style-type: none"> Height and setbacks as shown in Figure 1 Where there is no laneway: <ul style="list-style-type: none"> Height and setbacks as shown in Figure 2

2.9.4 Precinct 4 - Activity Centre Precinct

Shown on the planning scheme map as **DDO16-4**

Preferred character statement

Buildings and works should deliver:

- A unique and vibrant Victorian era shopping strip which forms the retail and activity focus of Queens Parade building on its distinctive heritage qualities.
- Development that complements the scale of heritage buildings and the patterns and rhythms of heritage features.

- Upper level infill that reinforces the prevailing street wall and subdivision grain of significant streetscapes and transitions to residential abuttals to the rear.
- Well designed building frontages and public realm that reinforces the pedestrian experience of this part of Queens Parade as and the central hub for the local community.
- Development that retains the prominence of the former ANZ Building.

Design requirements

Development in Precinct 4 must:

- Protect and maintain key views of the former ANZ Building from the south-west and north-east (as indicated on Map 4), in particular to the upper floor, roof form and chimneys. A permit cannot be granted to vary this requirement.

Development in Precinct 4 should:

- Respect the consistent scale, grain, rhythm and architectural quality of the highly intact heritage streetscapes and the heritage buildings in the precinct.
- Retain the visual prominence of heritage buildings, their street wall and heritage streetscape when viewed from the opposite side of Queens Parade.
- Facilitate the appropriate low rise infill of the sites located to the rear of commercial properties fronting Queens Parade.
- Ensure that any upper level development is set back from the heritage facade, is visually recessive and does not detract from the heritage streetscape.
- Retain the visual prominence and heritage fabric of the return facades of heritage buildings that front Queens Parade, Delbridge, Gold, Michael and Wellington Streets.
- Ensure that facades at ground floor incorporate verandahs which are consistent with the form and scale of adjoining verandahs.
- Retain chimneys visible from the public realm.
- Enhance the amenity and safety of laneways that provide pedestrian and vehicular access to buildings.
- Maintain service access from the laneways to facilitate commercial use of the properties fronting Queens Parade.
- Ensure shopfront widths are not reduced to the extent they become commercially unviable.

Map 4 to Schedule 16 to Clause 43.02 - Precinct 4

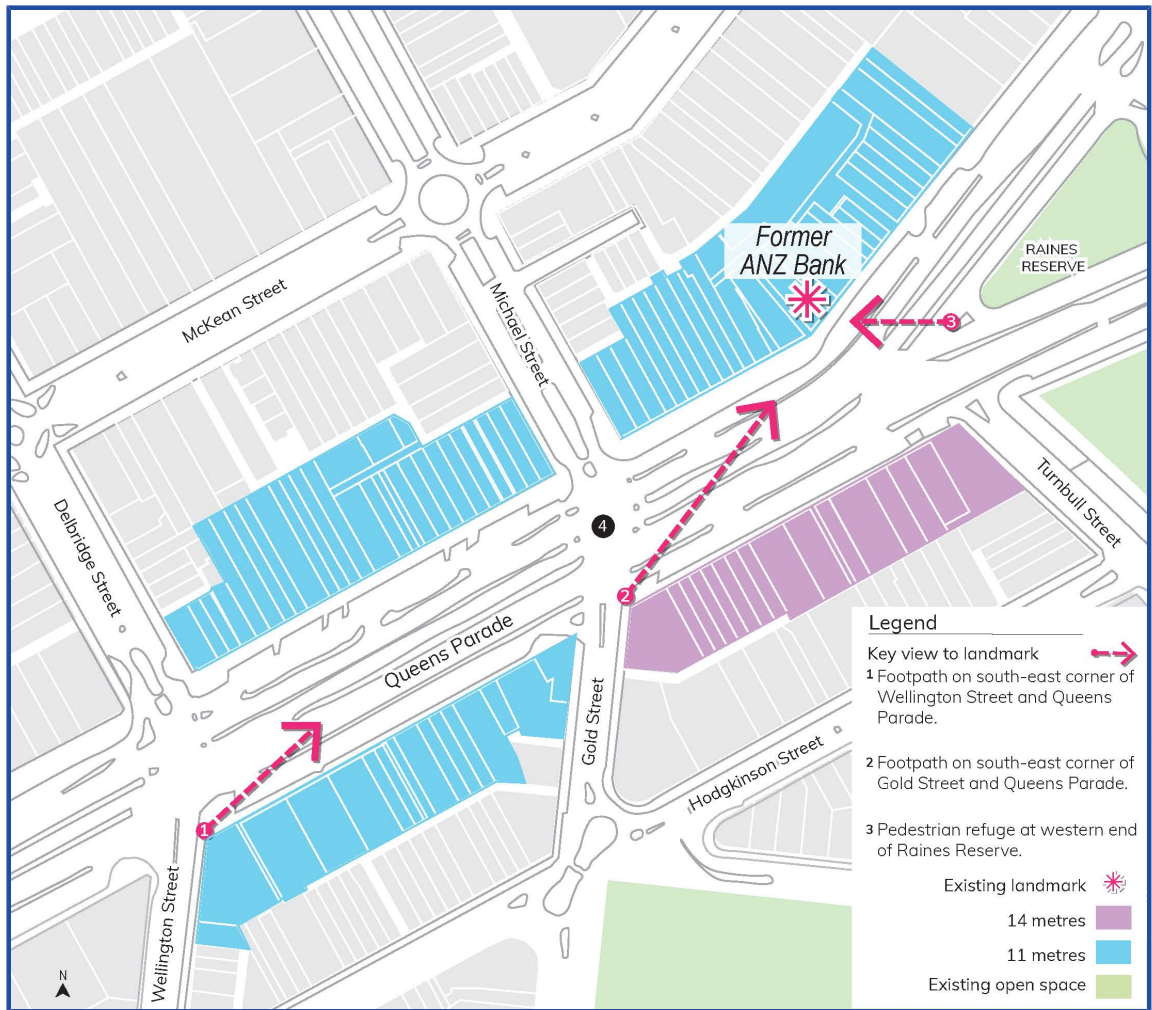


Table 4 – Street wall height, building height and setbacks for Precinct 4

Built Form	Mandatory Requirement	Preferred Requirement
Maximum building height	141-197 Queens Parade - 14 metres Elsewhere - 11 metres	None specified
Maximum and minimum street wall height on Queens Parade	<p>For existing heritage facades:</p> <ul style="list-style-type: none"> Retain height of the existing heritage facade <p>Where no heritage facade exists and there is no adjacent heritage building(s):</p> <ul style="list-style-type: none"> At least 8 metres in height and no higher than 11 metres in height. <p>Where no heritage facade exists and there is an adjacent heritage building(s):</p> <ul style="list-style-type: none"> At least 8 metres in height and no higher than 11 metres unless an adjacent heritage building has a parapet height of more than 11 metres, in which case no higher than the adjacent heritage parapet height. 	None specified

Built Form	Mandatory Requirement	Preferred Requirement
Maximum and minimum street wall height in side streets	None specified	<p>For existing heritage facades:</p> <ul style="list-style-type: none"> No higher than the existing heritage facade. <p>Where there is no heritage facade and there is no adjacent heritage building(s):</p> <ul style="list-style-type: none"> At least 8 metres in height and no higher than 11 metres in height. <p>Where no heritage facade exists and there is an adjacent heritage building(s):</p> <ul style="list-style-type: none"> At least 8 metres in height and no higher than 11 metres unless there is an adjacent heritage building with a parapet height of more than 11 metres, in which case no higher than the adjacent heritage parapet height.
Minimum upper level setback on Queens Parade	8 metres	None specified
Minimum upper level setback in side streets	None specified	6 metres
Maximum and minimum street wall setback	0 metres - built to front boundary at ground level (except for 181, 189-191 and 193 Queens Parade)	181, 189-191 and 193 Queens Parade - Retain existing setback
Minimum setback to a NRZ interface	None specified	<p>Where there is a laneway:</p> <ul style="list-style-type: none"> Height and setbacks as shown in Figure 1 <p>Where there is no laneway:</p> <ul style="list-style-type: none"> Height and setbacks as shown in Figure 2
Minimum rear setback to a C1Z interface	None specified	3 metres above 11 metres

2.9.5

Precinct 5 – North Eastern Precinct

Shown on the planning scheme map as **DDO16-5**

Preferred character statement

Buildings and works should deliver:

- An area of contemporary higher rise development in a preferred location for housing growth within the activity centre where the significant heritage fabric (the former UK Hotel and the former Clifton Motors Garage) remains the prominent precinct feature.

- Steps up in distinct increments from the significant heritage buildings (the former Clifton Motors and UK Hotel buildings) to the north-east.
- Separation between buildings to enable equitable development equity and amenity and to diminish the bulk of the built form while contributing to a safe and legible walking environment that offers visual interest and encourages passive surveillance throughout the Precinct.

Design requirements

Development in Precinct 5 should:

- Retain the visual prominence of the former United Kingdom Hotel when viewed from key viewpoints (as indicated on Map 5) - Raines Reserve and the former Clifton Motors Garage when viewed from the opposite side of Queens Parade.
- Retain and incorporate the former Clifton Motors Garage (205-211 Queens Parade) in any redevelopment of the site and ensure that the three dimensional form remains prominent and the decorative vertical fin remains as a freestanding element when viewed from the public realm.
- Adopt a street wall height for new development adjacent to the former United Kingdom Hotel that respects the facade height of the former hotel.
- Ensure buildings in Precincts 5B and 5C read as a series of separate development parts with building separation above the street wall.
- Establish a transitional and gradual stepping down of building heights from taller forms in Precinct 5C to existing heritage form in Precinct 5A.
- Ensure that adverse wind affects on the public realm are avoided.

Development in Precinct 5C should:

- Reinforce the scale of existing high-rise buildings in the precinct trending higher to the north-east.
- Ensure high quality development enhances the prominent corner of Queens Parade and Hoddle Street creating a strong address to each street frontage that encourages active pedestrian movement and accessibility through the Precinct.
- Ensure that the height and design of the street wall creates and reinforces a 'human scale' to diminish the perceived bulk of the buildings and provide visual interest at street level along Queens Parade and Hoddle Street.

Map 5 to Schedule 16 to Clause 43.02 - Precinct 5

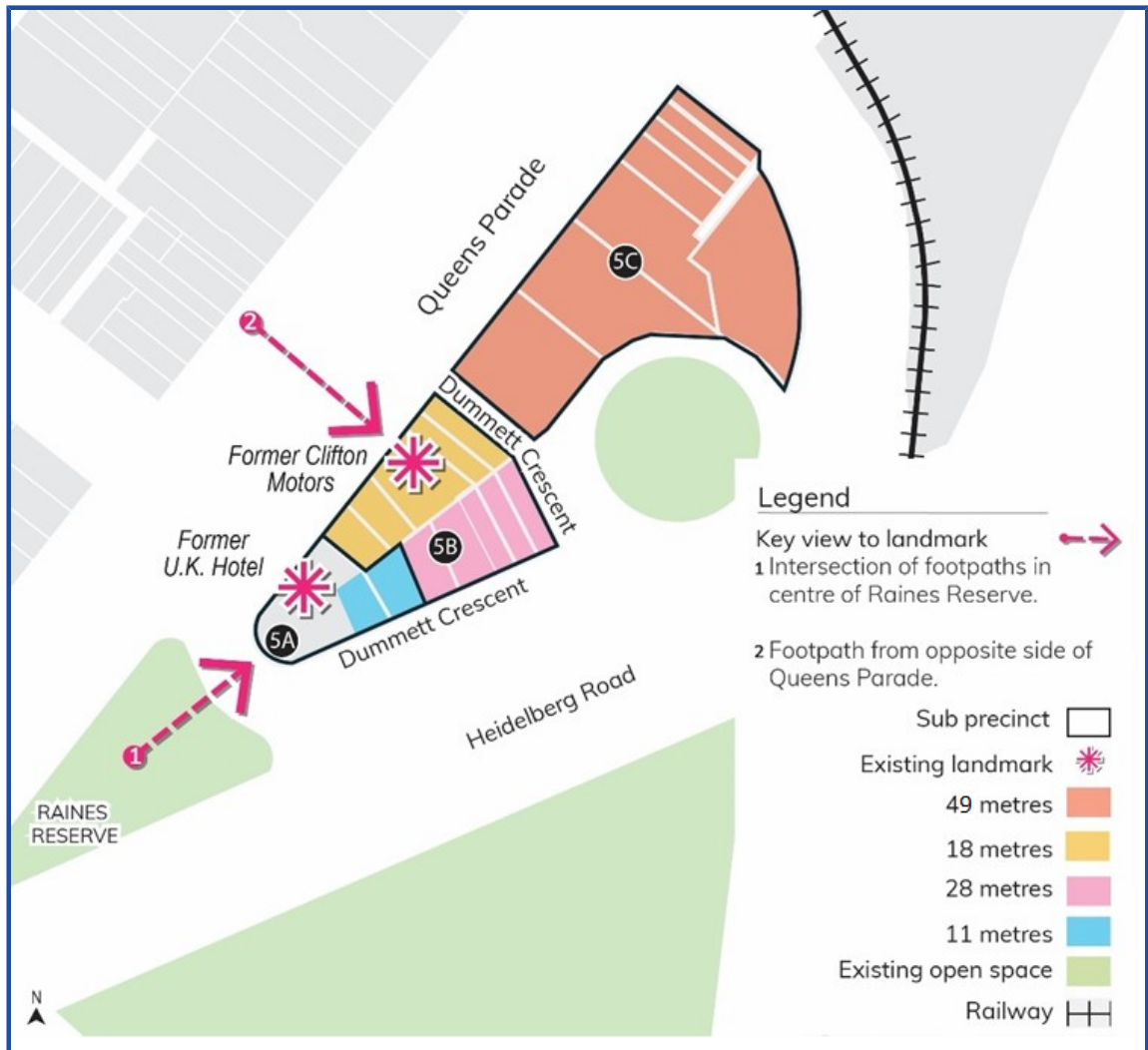


Table 5 – Street wall height, building height and setbacks for Precincts 5A, 5B and 5C

Built form	Mandatory requirement	Preferred requirement
Precinct 5A		
Maximum building height	11 metres	None specified
Maximum street wall height	No higher than the height of the existing eaves of the former UK Hotel	None specified
Minimum upper level setback	None specified	6 metres
Precinct 5B		
Maximum building height	201-215 Queens Parade - 18 metres	Elsewhere - 28 metres
Maximum street wall height	201-215 Queens Parade (including the frontage to north-east boundary to Dummett Crescent for distance of 8m) - no higher than the parapet height of the former Clifton Motor Garage and the eaves line of the former UK Hotel	4-10 Dummett Crescent (including the frontage to north-east boundary to Dummett Crescent) - 11 metres

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Built form	Mandatory requirement	Preferred requirement
	Beyond a distance of 8m from the corner of Queens Parade, the street wall height along the north-east boundary of 215 Queens Parade - no higher than 11m	
Maximum street wall setback	0 metres - built to the boundary	None specified
Minimum upper level setback	201-215 Queens Parade - 8 metres from Queens Parade	Elsewhere - 6 metres
Minimum side and rear setbacks	None specified	<p>For upper levels, where a habitable room window is proposed:</p> <ul style="list-style-type: none"> ▪ 4.5 metres from the common boundary or from the centre line of the laneway. <p>For upper levels, where a non-habitable room window or commercial window is proposed:</p> <ul style="list-style-type: none"> ▪ 3 metres from the common boundary or from the centre line of the laneway.
Precinct 5C		
Maximum building height	None specified	49 metres
Maximum street wall height	None specified	18 metres
Minimum upper level setback	None specified	6 metres
Minimum side and rear setbacks	None specified	<p>For upper levels, where a habitable room window is proposed:</p> <ul style="list-style-type: none"> ▪ 4.5 metres from the common boundary or from the centre line of the laneway. <p>For upper levels, where a non-habitable room window or commercial window is proposed:</p> <ul style="list-style-type: none"> ▪ 3 metres from the common boundary or from the centre line of the laneway.

3.0

01/10/2020
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Subdivision

None specified.

4.0

21/07/2022
C263yara

Signs

None specified.

5.0

01/10/2020
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Application Requirements

The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and should accompany an application, as appropriate, to the satisfaction of the responsible authority:

- A site analysis and urban design context report which demonstrated how the proposal achieves the Design Objectives, Preferred Character Statements and Design Requirements of this schedule.
- For development proposals for buildings over 20 metres in height, a wind study analysis to assess the impact of wind on the safety and comfort of the pedestrian environment on footpaths and other public spaces while walking, sitting and standing.
- A Traffic and Parking Assessment Report which includes an assessment of the cumulative impacts of traffic and parking in the Precinct including an assessment of ongoing functionality of laneway/s.

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Decision Guidelines

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Whether the proposal delivers design excellence.
- If roof decks are proposed, whether they are set back from lower levels and are recessive in appearance.
- The profile and impact of development along Queens Parade when viewed from the north side of McKean Street and the south side of Hodgkinson Street.
- The design of the streetscape interface along the primary street frontage.
- Whether side and rear setbacks and controls on light spillage and noise are sufficient to limit the impact on the amenity of existing dwellings.
- The impact on solar access to Queens Parade and Napier Street Reserve.
- Whether heritage buildings on street corners retain their prominence when viewed from both streets.
- Whether heritage buildings retain their three-dimensional form when viewed from the public realm.
- Whether upper level development above the heritage street wall is visually recessive and does not dominate or visually overwhelm the heritage buildings.
- Whether the proposal contributes to and improves the pedestrian environment and other areas of the public realm.
- The impact of development on views to:
 - The former ANZ Bank building's tower, roof, chimney and upper level
 - The St John the Baptist Church belfry and spire
 - The former Clifton Motors Garage's Moderne facade and fin.
- The wind effects created by the development.
- The cumulative impact of traffic and parking in the Precinct including on the functionality of laneway/s.

Figure 1 - Setback where there is a laneway to the side or rear

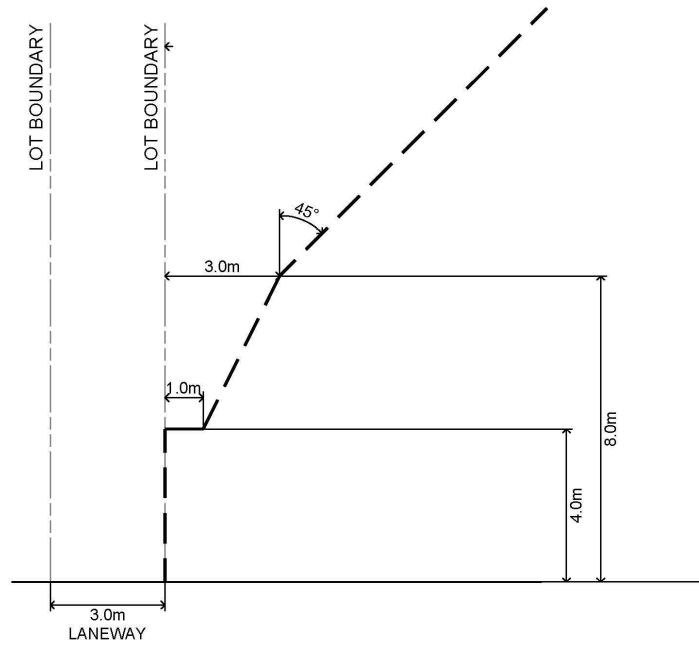
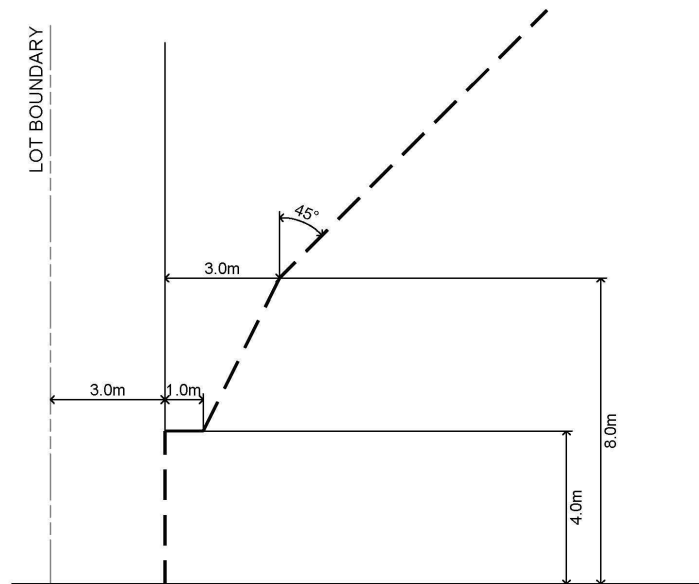


Figure 2 - Setback where there is no laneway to the side or rear



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SCHEDULE 26 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

Shown on the planning scheme map as DDO26.

SWAN STREET ACTIVITY CENTRE - PRECINCT 2 SWAN STREET RETAIL CENTRE

1.0

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Design objectives

- To ensure development maintains the prominence of the heritage street wall and respects the architectural form and qualities of heritage buildings and the heritage streetscapes.
- To ensure development, on the south side of Swan Street, maintains the Dimmeys Tower as the prominent landmark in the streetscape when viewed from the northern footpath of Swan Street east of the rail bridge and west of Church Street.
- To support a new mid-rise scale built form character with lower built form at the interfaces with streets and the adjoining low-rise residential areas that supports the fine grain, compact retail and entertainment focus of the precinct.
- To ensure development enhances the pedestrian experience through improved activation at ground floor and promoting a sense of enclosure and continuity in built form along Swan Street, Church Street, side streets and laneways.
- To ensure taller development on the south side of Swan Street, close to the railway line, is designed and spaced to contribute to a varied skyline and provides street walls that create a stronger sense of enclosure to the streets.

2.0

Buildings and works

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A permit is required to construct a building or construct or carry out works-

, except for:

- an alteration to an existing building façade, provided:
 - .. the alteration does not include the installation of an external roller shutter;
 - .. in a C1Z, at least 80 per cent of the building facade at ground level is maintained as an entry or window with clear glazing; and
 - .. in a MUZ, the alterations include and/or retain existing windows and pedestrian entry points and do not increase blank walls.
- rear alterations, extensions or outbuildings no higher than 4 metres above natural ground level.

2.1

Definitions

Street-wall means the facade of a building at the street boundary, or, if the existing heritage building is set back from the street boundary, the front of the existing building. Street wall height is measured at the vertical distance between the footpath at the centre of the frontage and the highest point of the building at the street edge, with the exception of architectural features and building services.

Heritage building means any building subject to a Heritage Overlay, graded as either Contributory or Individually Significant (including properties on the Victorian Heritage Register).

Laneway means a road reserve, public highway or right of way 9 metres or less wide.

Parapet height does not include features such as brackets, pediments, urns, finials or other decorative elements.

Street boundary means the boundary between the public road and the private property.

Shared zone means a road or network of roads where pedestrians, cyclists, and vehicles share the roadway.

Upper level means development above the height of the street wall.

2.2 Requirements

A permit cannot be granted to vary a requirement expressed with the term ‘must’ or listed in a ‘Mandatory’ column of a table.

A permit cannot be granted to construct a building or construct or carry out works, which:

- exceeds the mandatory maximum building height and street wall height requirements shown in the Height and Interface Map 1 of this schedule.
- reduces the mandatory minimum street wall height and upper level setback requirements shown in the Height and Interface Map 1 of this schedule.

2.3 Design requirements

The following design requirements apply to an application to construct a building or construct or carry out works.

Design quality requirements

Development should achieve urban design and architectural excellence.

Development should be well spaced and sited to avoid visual bulk and provide equitable access to an outlook and good daylight.

Development should provide for street activation at ground levels.

Development should be designed to avoid repetitive stepped form at upper levels.

Upper level development should be designed to ensure buildings provide detail on all facades when viewed from all directions.

Frontages at ground floor should incorporate verandahs, consistent with the form and scale of adjoining verandahs, into the façade design.

Protect the amenity of existing residential properties in terms of visual bulk, overshadowing of private open space, overlooking and vehicle access.

Development adjoining Milton Place should be designed to address the potential future public park adjoining East Richmond Railway Station.

Upper level development on land within a Heritage Overlay or on land immediately adjoining a heritage building should:

- be visually recessive and not visually dominate the heritage building and the heritage streetscape; and
- avoid large expanses of glazing with a horizontal emphasis in the upper levels of development.

Building height requirements

A permit should only be granted to construct a building or construct or carry out works, which exceeds the preferred building height shown in the Height and Interface Map 1 of this schedule where all the following requirements are met to the satisfaction of the responsible authority:

- the building elements permitted by the proposed variation satisfies the general design objectives in Clause 1.0 of this schedule, the relevant design requirements specified in this schedule; and
- the proposal achieves each of the following:
 - greater building separation than the minimum requirement in this schedule;
 - excellence for environmentally sustainable design measured as a minimum BESS project score of 70%;

- no additional overshadowing and overlooking to residentially zoned properties, beyond that which would be generated by a proposal that complies with the preferred building height; and
- where the proposal includes dwellings, it also achieves each of the following:
 - accessibility provision objective that exceeds the minimum standards in Clauses 55.07-7 and 58.05-1 as relevant;
 - communal open space provision that exceeds the minimum standards in Clauses 55.07-2 and 58.03-2; and
 - private open space provision that exceeds the minimum standards in Clauses 55.07-9 and 58.05-3.

Architectural features may exceed the preferred or mandatory height.

Service equipment / structures including plant rooms, lift overruns, structures associated with green roof areas and other such equipment may exceed the preferred or mandatory height provided that each of the following criteria are met for the equipment or structure:

- Less than 50 per cent of the roof area is occupied by the equipment (other than solar panels);
- The equipment does not cause additional overshadowing of adjoining properties; and
- The equipment does not extend higher than 3.6 metres above the maximum building height.

Street wall and setback requirements

A permit should not be granted to construct a building or construct or carry out works, which exceeds the relevant preferred maximum street wall height and/or reduces the relevant preferred minimum setback requirements specified in this schedule unless the following are met, to the satisfaction of the responsible authority:

- The built form outcome that results from the proposed variation satisfies the design objectives in Clause 1.0 of this schedule;
- The built form outcome that results from the proposed variation satisfies the relevant design requirements specified in this schedule; and
- The street wall at ground floor level is designed to allow floor to floor ceiling heights suitable to accommodate commercial activity.

Projections such as balconies, building services and architectural features must not intrude into a setback.

On corner sites where two different street wall heights are nominated, buildings should 'turn the corner' and apply the Swan Street wall height. If the Swan Street wall is higher it should transition to the lower nominated street wall height on the side street.

Building separation requirements

Where development shares a common boundary and no interface treatment is shown in Map 1, upper level development should:

- For buildings up to 28 metres, be setback a minimum of 4.5m from the common boundary, where a habitable window or balcony is proposed.
- For buildings up to 28 metres, be setback a minimum of 3.0m from the common boundary, where a commercial or non-habitable window is proposed.
- For buildings taller than 28 metres, be setback a minimum of 6 metres above 28 metres.

Where the common boundary is a laneway, the setback is measured from the centre of the laneway.

Development along the rail corridor must avoid a continuous wall of taller development when viewed from local streets south of the rail corridor.

Overshadowing requirements

A permit must not be granted to construct a building or construct or carry out works that would overshadow any of the following spaces between 10 am and 2 pm at 22nd September:

- any part of the southern footpath of Swan Street, measured from the property boundary to the existing kerb.

A permit should not be granted to construct a building or construct or carry out works that would overshadow any of the following spaces between 10 am and 2 pm at 22nd September, unless the overshadowing would not unreasonably prejudice the amenity of the public space, to the satisfaction of the responsible authority:

- any part of the opposite footpath of Church Street, measured from the property boundary to the existing kerb.
- any part of the opposite footpath of Lennox Street, Stanley Street, Clifton Street, and Docker Street, measured from the property boundary to the existing kerb.
- any part of the potential future open space adjacent to the East Richmond Station, measured as beyond 7.0m from the eastern kerb of Milton Place and beyond 10.0m from the southern kerb of Milton Place.

Vehicle and pedestrian access requirements

Development should provide vehicular access from rear lanes or from side streets in the preferred locations in the Access and Movement Map 2 of this schedule except in locations identified as “Left in - Left Out Access Permitted” in the Access and Movement Map 2 of this schedule.

Development identified as “Left in - Left Out Access Permitted” in the Access and Movement Map 2 should limit the width of vehicle crossovers and incorporate ‘Left in’ and ‘Left out’ only vehicle access.

Development with redundant vehicle access points to Swan Street and Church Street should reinstate the kerb, linemarked parking bays, and relocate any parking signs.

Vehicle ingress and egress into development, including loading facilities and building servicing, should be designed to ensure a high quality pedestrian amenity and limit potential conflict between vehicle movements and pedestrian activity.

Pedestrian access to buildings, including upper level apartments, should be from a street or a shared zone shown on the Access and Movement Map 2 of this schedule. Where pedestrian access can only be provided from a laneway at the rear of buildings the pedestrian entrance should be setback from the rear laneway and well-lit to enable safe access.

Development at 108-120 Swan Street and 2 Kipling Street, as shown in Map 2, should include a rear setback, at ground floor, to facilitate the ongoing function of the laneway and allow for building services and car park access. The setback and laneway should be a minimum width of 6m in total.

Development of 94-98 Swan Street, as shown in Map 2, should include a rear setback, at ground floor, to allow for building services and car park access. The setback and laneway should be a minimum width of 3m in total.

Development should facilitate the creation of a shared zone where properties abut a future shared zone as shown on Map 2.

Development should improve the pedestrian environment and amenity of streets and laneways that provide a pedestrian connection to Swan Street, Church Street, East Richmond Train Station, and entrances to buildings.

Table 1 – Street Wall Heights and Setbacks for Precinct 2

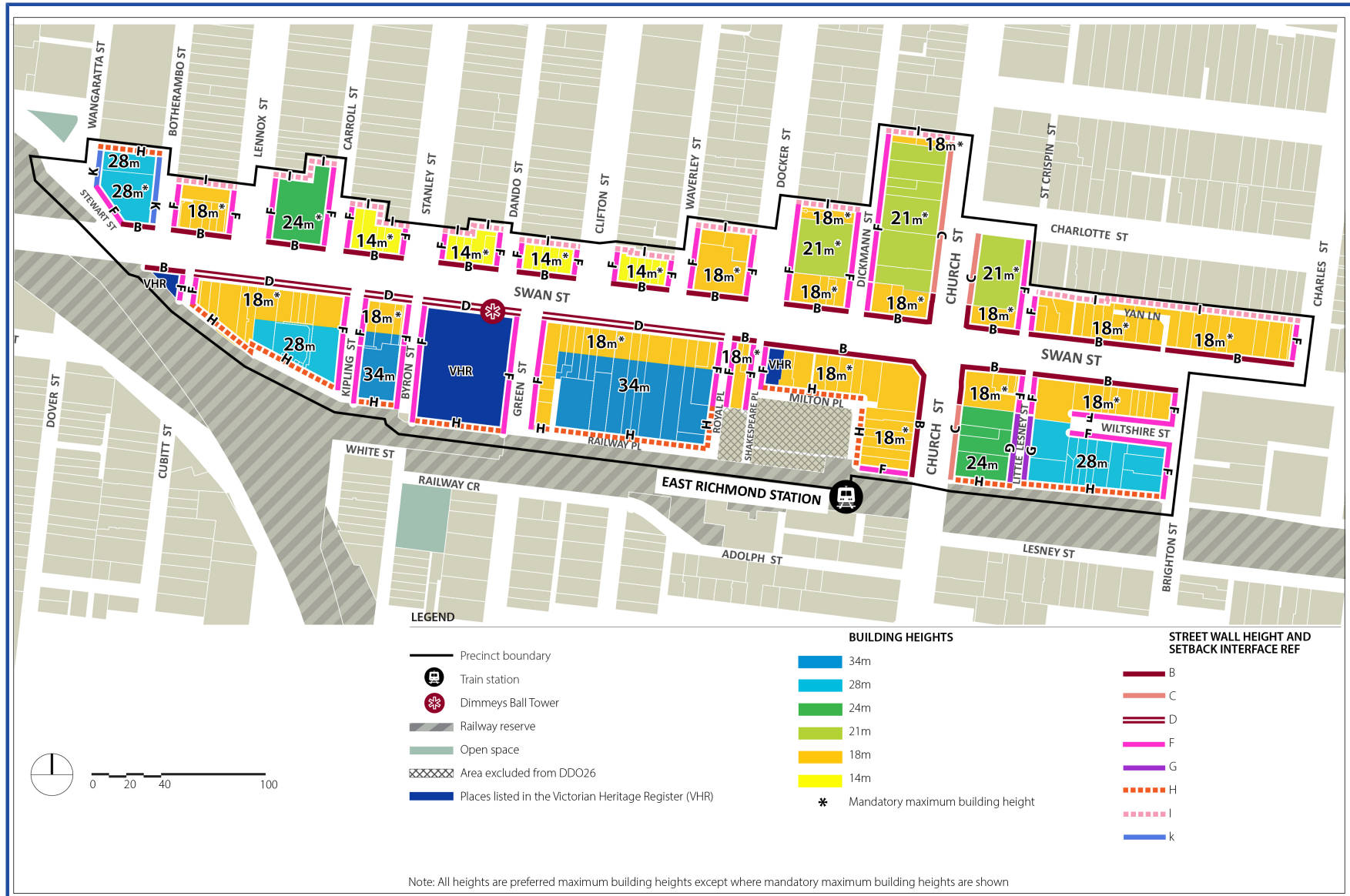
Interface Ref	Design Element	Mandatory Requirements	Preferred Requirements
B	Street wall height	11m maximum. 8m minimum.	Match the parapet height of the adjoining heritage building, for a minimum length of 6m from the heritage building.
	Street wall setback	0m.	
	Upper level setback	6m minimum setback.	
C	Street wall height		11m maximum. 8m minimum. Match the parapet height of the taller adjoining heritage building, for a minimum length of 6m from the heritage building.
	Street wall setback	0m.	
	Upper level setback	6m minimum for heritage buildings.	Minimum 6m elsewhere.
D	Street wall height	11m maximum. 8m minimum.	Match the parapet height of the taller adjoining heritage building, for a minimum length of 6m from the heritage building.
	Street wall setback	0m.	
	Upper level setback	10m minimum for development up to 21m. 20m minimum for any height above 21m.	
F	Street wall height		11m maximum.
	Street wall setback		0m.
	Upper level setback		6m minimum for land affected by HO335 or heritage buildings. 3m minimum elsewhere.
G	Street wall height		14m maximum.
	Street wall setback		0m.
	Upper level setback		3m minimum.
H	Street wall height		N/A.
	Street wall setback		0m minimum unless setback is identified on the Map 2.
	Upper level setback		0m.
I	Side and rear wall height		8m maximum on a common boundary with a property in a residential zone. 11m maximum if boundary abuts a laneway.
	Side and rear setback		Development should be setback in accordance with Figure 1 and Figure 2. Development should minimise stepped form.
K	Street wall height		11m maximum.

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Interface Ref	Design Element	Mandatory Requirements	Preferred Requirements
	Street wall setback		0m.
	Upper level setback		3m minimum.

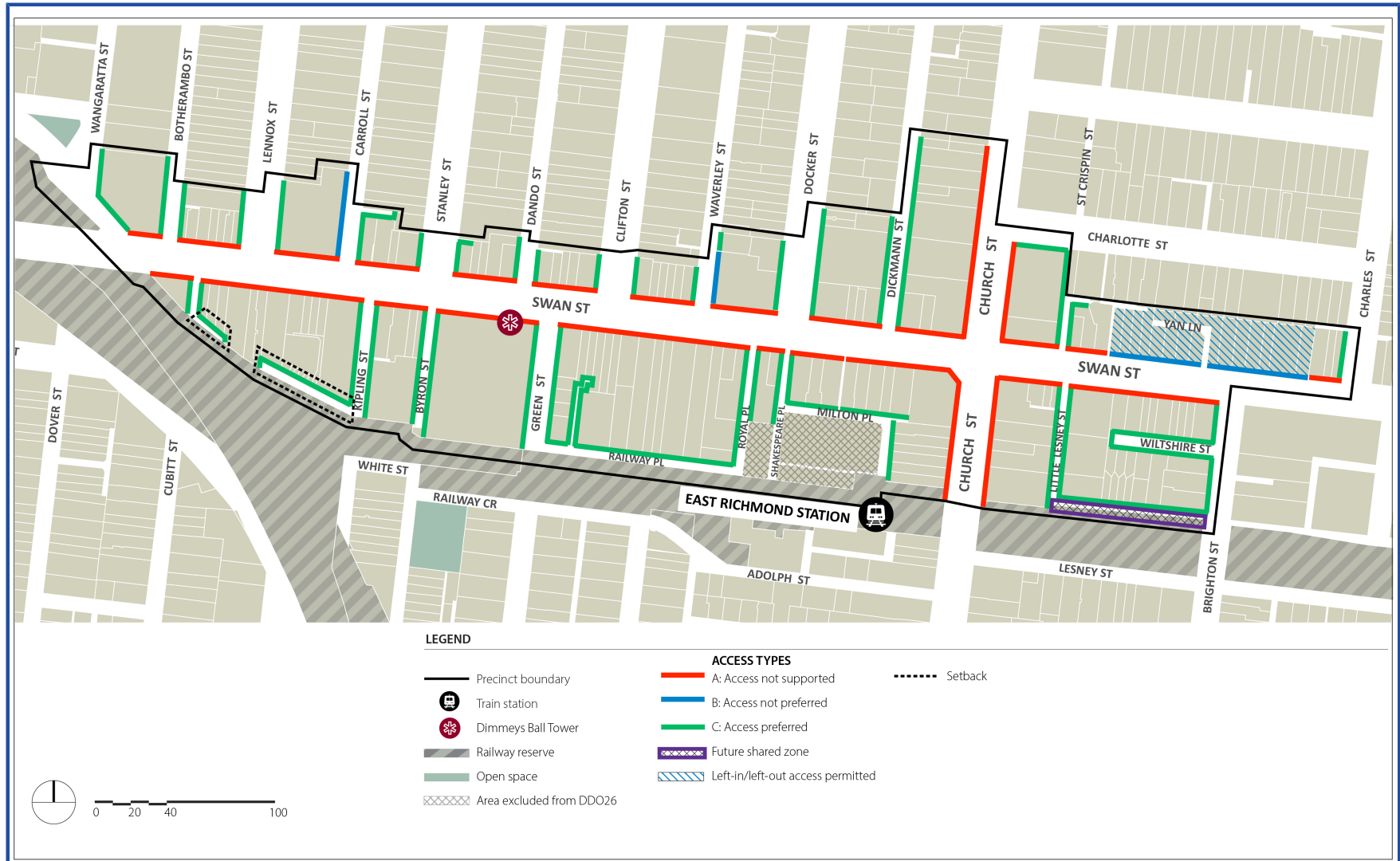
YARRA PLANNING SCHEME

Map 1 to Schedule 26 to Clause 43.02: Height and Interface Plan – Precinct 2 Swan Street Retail Centre



YARRA PLANNING SCHEME

Map 2 to Schedule 26 to Clause 43.02: Access and Movement Plan – Precinct 2 Swan Street Retail Centre



3.0

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Subdivision

None specified.

4.0

10/02/2022
C191yara

Signs

None specified.

5.0

10/02/2022
C191yara

Application requirements

The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- A desktop wind effects assessment for the proposed development when the building height is 15m or higher from natural ground level.

6.0

10/02/2022
C191yara

Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Whether the Design Requirements in Clause 2.3 are met.
- Whether design excellence is achieved (in terms of building siting, scale, massing, articulation and materials).
- The design of the streetscape interface and its contribution to an active street environment.
- Whether the proposal contributes to and improves the pedestrian connectivity and amenity of the public realm.
- The shadowing impacts of the development on footpaths and public spaces.
- The wind effects created by the development.
- The separation between buildings at upper levels when viewed from the opposite side of Swan Street and from local streets.
- The prominence of the heritage street wall in the vistas along Swan Street, Church Street, and local streets.
- Whether heritage buildings on street corners retain their prominence when viewed on both streets.
- Whether heritage buildings retain their three-dimensional form as viewed from the public realm.
- Whether upper level development above the heritage street wall is visually recessive and does not overwhelm the heritage buildings.
- The impact of development on view lines to the Dimmeys Clock Tower.
- The impact of development on the operation of the tram routes along Swan Street and Church Street.

Figure 1 to Schedule 26 to Clause 43.02 – Interface with an existing laneway

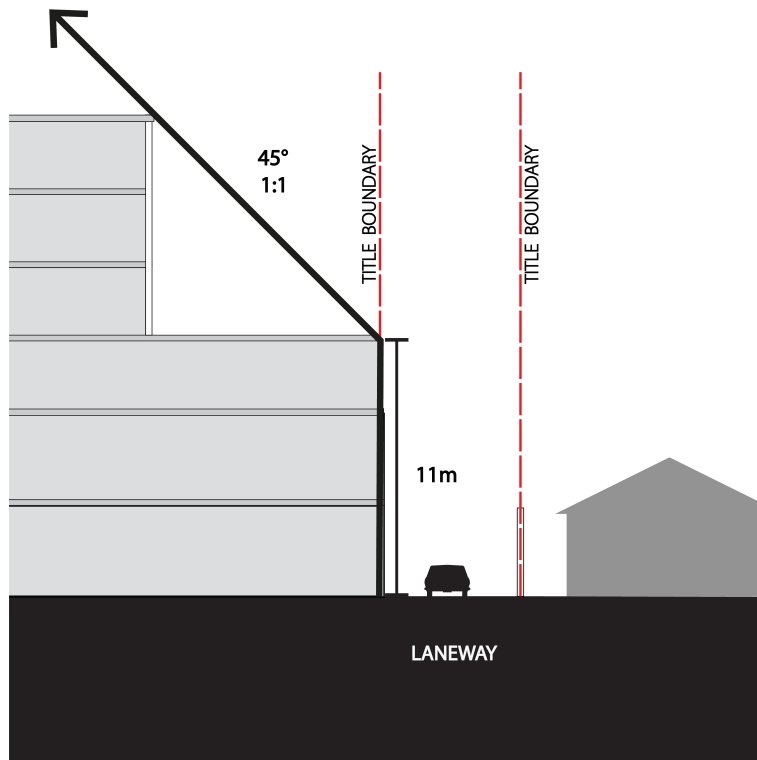


Figure 2 to Schedule 26 to Clause 43.02 – Interface direct abuttal

