

QUEENS PARADE, CLIFTON HILL BUILT FORM REVIEW

Prepared by **hansen partnership**
for **Yarra City Council**

15 DECEMBER 2017

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Acknowledgement

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1.0 Introduction

The following report has been prepared for the City of Yarra as a basis for a clear urban design vision for the Queens Parade corridor, between Hoddle Street and Alexandra Parade in Clifton Hill. It sets out a preferred built form framework, underpinned by urban design and heritage assessments.

This report documents the analysis and methodology used to justify the built form recommendation and sets out the prevailing attributes of Queens Parade (comprising both its existing buildings and spaces) to inform recommended future urban form directions for the corridor.

The preparation of the Queens Parade Built Form Review has been undertaken by a multidisciplinary team comprising Hansen Partnership (Urban Design & Planning) and GJM Heritage (Heritage) with the support of City of Yarra's internal working group.

A Queens Parade Built Form Heritage Analysis & Recommendations were undertaken by GJM Heritage concurrently with the Built Form Review. These Recommendations have been integrated within this Review.

Structure of the Built Form Review

1	Introduction
2	Contextual Analysis
	Policy Framework
	Heritage
	Landscape & Streetscape
	Subdivision Pattern
	Building Heights & Development Trajectory
	Road Network
3	Existing Built Form Character Areas
4	Built Form Framework Concept
	Built Form Principles
	Preferred Future Built Form Character
5	Precinct Guidelines

APPENDICES

A	Built Form Testing
B	Relevant Policy Framework Summary

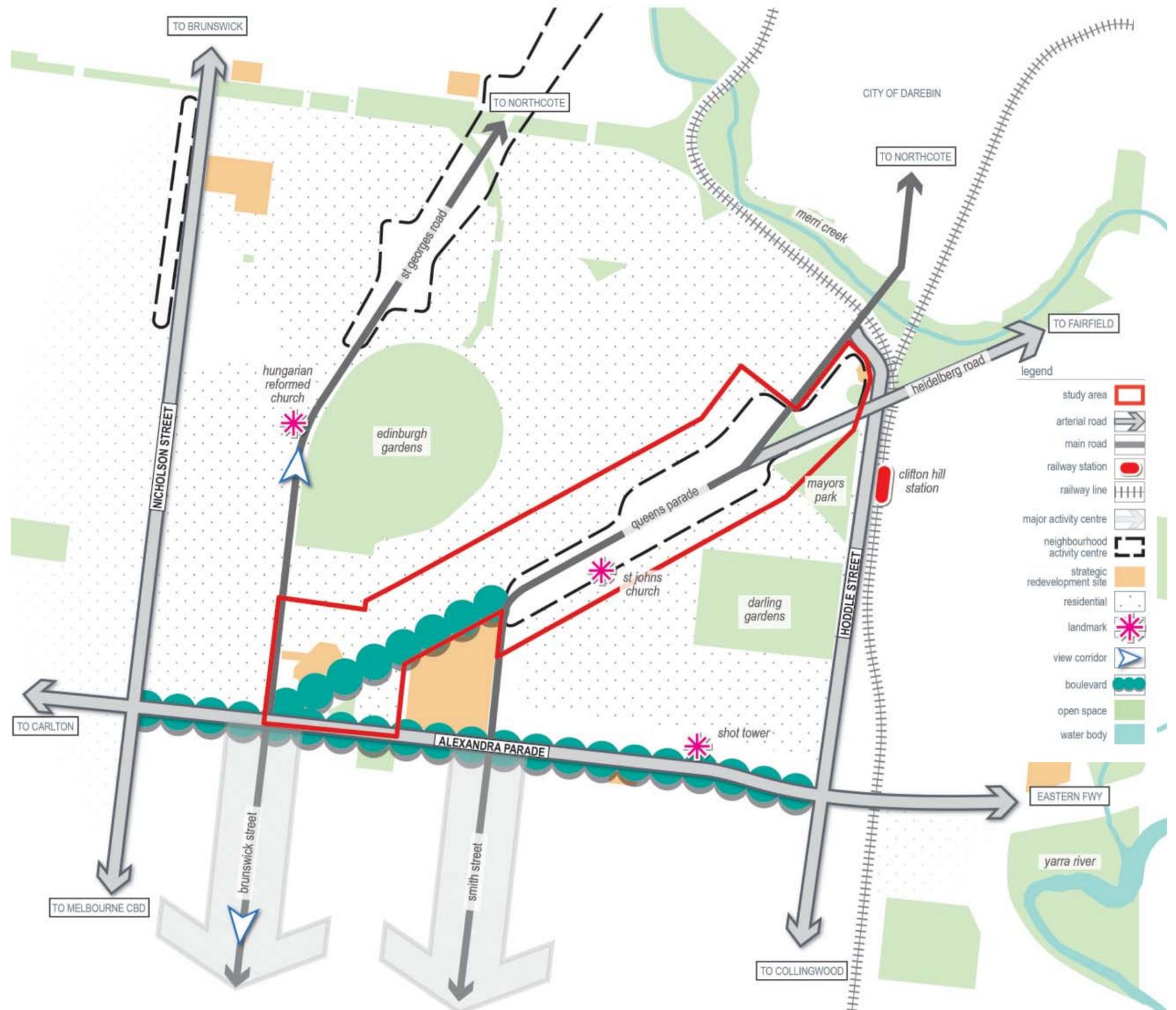


Figure 1: Strategic Context



Figure 2: Study Area Boundary Map

The Study Area & Focus Area

The Study Area for the Queens Parade Built Form Review (the Review) encompasses urban blocks bound by Brunswick Street to the west, McKean Street to the north, Rushall Crescent and Hoddle Street to the east and Hodgkingson Street and Alexandra Parade to the south (refer to Figure 1 and Figure 2).

The Municipal Strategic Statement and Local Planning Policies provide policy direction with regard to future land use and expected growth within the Municipality. Whilst the Local Planning Policies include high level built form strategies that seek to support Yarra's identity as a low-rise urban form with pockets of higher development (Clause 21.05-2), there are no specific height or setback controls that apply to the NAC or the broader Study Area (on non-residential land).

Recommendations of this Review will form the basis of future development controls applicable for land that are affected by C1Z, C2Z and MUZ within the Study Area. It is noted that future redevelopment of NRZ and GRZ land in the Study Area will continue to be influenced by its existing zoning provisions.

For the purpose of this Review, a Focus Area was identified, comprising properties with frontages to Queens Parade, or properties with the potential to influence future character of Queens Parade corridor. Specifically, the **Focus Area comprises:**

- The eastern portion of Queens Parade is designated as a **Neighbourhood Activity Centre** in the Yarra Planning Scheme (Clause 21.08-Neighbourhoods) and is a traditional retail strip with land within C1Z and MUZ, albeit with a significantly wider profile compared to other 'traditional' shopping streets within the City of Yarra and Metropolitan Melbourne. It is referred to as the Clifton Hill, Queens Parade NAC throughout this report.
- Notably, the Focus Area includes Commercial zoned land (C1Z, C2Z) within proximity to Queens Parade, forming the western and eastern parts of the **North Fitzroy Gasworks Precinct**. Both the Study and Focus Area boundaries have excluded the central urban block which is currently affected by Public Use Zone (PUZ1, PUZ6). A Council adopted Urban Development Framework (UDF, 2008- prepared by MGS) will continue to influence future activities for the designated Strategic Development Site (between George Street and Smith Street) including the pattern of streets, public spaces and building heights.
- The Focus Area also includes Mixed Use zone land (MUZ) which define its western portion. These urban blocks define the important junction of Queens Parade, Alexandra Parade and Brunswick Street. Within the Planning Context, Queens Parade is considered a **'main road'** and **'boulevard'** that is strategically important in the locality. Alexandra Parade, partially located within the Study Area, is also a major arterial road that connects Melbourne's eastern suburbs to Fitzroy and Collingwood to the south and Clifton Hill to the north.

- The Focus Area is also affected by multiple **Heritage Overlays** that include buildings of both contributory and individual significance, along with the protection of the Queens Parade avenue trees. Along its south western boundary (on properties adjoining Alexandra Parade), the Study Area is partially affected by Schedule 2 to the Design and Development Overlay which requires consideration of proposed development along boulevards, however this is not applied to Queens Parade.
- Three sites within the Focus Area are identified as **Strategic Redevelopment Sites** within the Yarra Planning Scheme (Clause 21.05), where higher development may be accommodated. Whilst some of these sites are influenced by existing Heritage Overlays and varied zoning (MUZ and PUZ1, PUZ6), future development greater than 5-6 storeys on Strategic Redevelopment Sites are guided by their ability to achieve specific benefits such as:
 - Significant upper level setbacks;
 - Architectural design excellence;
 - Best practice environmental sustainability objectives in design and construction;
 - High quality restoration and adaptive re-use of heritage buildings;
 - Positive contribution to the enhancement of the public domain; and
 - Provision of affordable housing.



2.0

CONTEXTUAL ANALYSIS

Contextual Analysis

Policy Framework

The following is a review of the relevant State and Local Planning Policies that influence the existing and future built form outcomes within the Study Area.

Plan Melbourne 2017-2050

The updated Plan Melbourne document provides a guiding framework for Metropolitan Melbourne. Whilst the Queens Parade Neighbourhood Activity Centre and its corridor is not identified as one of 121 Major Activity Centres, it remains an area that is well serviced by public transport and infrastructure. Some of the relevant directions are applicable to the Queens Parade Built Form Review, as follows:

- **Direction 2.1:** *Manage the supply of new housing in the right locations to meet population growth and create a sustainable city.*
- **Direction 2.2:** *Deliver more housing close to jobs and public transport.*
- **Direction 4.1:** *Create more great public places across Melbourne.*
- **Direction 4.4:** *Respect Melbourne's heritage as we build for the future.*
- **Direction 5.1:** *Create a city of 20- minute neighbourhoods.*

State Planning Policy Framework (SPPF)

- The State Planning Policy Framework (SPPF), underpinned by *Plan Melbourne 2017- 2050*, sets the planning and strategic context and metropolitan scale. It provides the basis for a network of Activity Centres (Clause 11.01-1) and the need to undertake appropriate Activity Centre planning (Clause 11.01-2). Whilst advocating for growth across Metropolitan Melbourne, particularly in areas well serviced by infrastructure (Clause 11.06-2), the SPPF also advocates for recognition of heritage value and amenable urban environment through careful management of the ongoing processes of growth and change in the urban environment (Clause 11.06-4).
- The SPPF also outlines a range of applicable policies relating to built form and heritage. Clause 15 seeks to ensure new development respond appropriately in terms of built form, landscape values and cultural context and that significant places are protected. It emphasises that good urban design should contribute positively to the local sense of place and urban character, reflects the identity and aspirations of the community, enhance the liveability and amenity of the public realm, and minimise the impact on neighbouring properties. Specific sub-clauses address Urban Design (Clause 15.01-1), Urban Design Principles (Clause 15.01-2), Cultural Identity and Neighbourhood Character (Clause 15.01-5) and Heritage Conservation (Clause 15.03-1).
- The SPPF sets out a policy framework for Housing at Clause 16 to ensure the sustainable supply of housing in readily serviceable locations within walking distance to activity centres, public transport and open space. Clause 16 seeks to locate new housing in or close to activity centres and employment corridors and at other Strategic Redevelopment Sites that offer good access to services and transport (Clause 16.01-2 – Location of residential housing), and to provide for a range of housing types to meet increasingly diverse needs (Clause 16.01-4 – Housing diversity).

Local Planning Policy Framework (LPPF)

- The Local Planning Policy Framework (LPPF) sets out the planning and strategic context at the municipal level and provides vision and policy guidance specific to the context of the City of Yarra. Clause 21.04 Activity Centres designates 5 Major Activity Centres, but as this does not include Queens Parade, by default it is designated as Neighbourhood Activity Centre.
- Clause 21.05 Built Form of the LPPF addresses matters relating to Heritage and Urban Design. Clause 21.05-1 Heritage establishing a strong policy position to acknowledge, protect and enhance heritage places within the City of Yarra. Relevant strategies include:
 - Conserve, protect and enhance identified sites and areas of heritage significance including pre-settlement ecological heritage (Strategy 14.1).
 - Support the restoration of heritage places (Strategy 14.2).
 - Protect the heritage skyline of heritage precincts (Strategy 14.3).
 - Protect the significant landscape and heritage within streets, parks, gardens, waterways or other open spaces (Strategy 14.5).
 - Protect buildings, streetscapes and precincts of heritage significance from the visual intrusion of built form both within places and from adjoining areas (Strategy 14.6).
- Clause 21.05-2 Urban Design recognises the valued low-rise urban form of the City of Yarra and that the existing urban form is punctuated by taller buildings located near activity centres as well as landmark buildings, with objectives to reinforce the existing urban framework and to retain Yarra's identity as a low-rise urban form with pockets of higher development. Relevant strategies include:
 - Maintain and strengthen the preferred character of each Built Form Character Type within Yarra (Strategy 16.2).
 - Ensure that development outside activity centres and not on Strategic Redevelopment Sites reflects the prevailing low-rise urban form (Strategy 17.1).
 - Development on Strategic Redevelopment Sites or within activity centres should generally be no more than 5-6 storeys unless it can be demonstrated that the proposal can achieve specific benefits such as: significant upper level setbacks; Architectural design excellence; best practice environmental sustainability objectives in design and construction; high quality restoration and adaptive re-use of heritage buildings; positive contribution to the enhancement of the public domain; and provision of affordable housing (Strategy 17.2).
- Further specifically relevant objectives and strategies of Clause 21.05-2 Urban Design include:
 - To retain, enhance and extend Yarra's fine grain street pattern (Objective 18).
 - Encourage the re-establishment of streets and laneways through new development sites where such links were part of the historic street pattern, except where this will cause detrimental traffic impacts (Strategy 18.1).
 - To create an inner city environment with landscaped beauty (Objective 19).
 - Require well resolved landscape plans for all new development (Strategy 19.1).
 - Encourage opportunities for planting suitable trees and landscape areas in new development (Strategy 19.2).
 - Encourage the retention of mature vegetation (Strategy 19.3).
 - Protect mature and healthy flora species where they have heritage value or are a valued part of the character of an area (Strategy 19.4).
 - To ensure that new development contributes positively to Yarra's urban fabric (Objective 20).
 - Ensure development is designed having particular regard to its urban context and specifically designed following a thorough analysis of the site, the neighbouring properties and its environs (Strategy 20.1).
 - Require development of Strategic Redevelopment Sites to take into account the opportunities for development on adjoining land (Strategy 20.2).
 - Reflect the fine grain of the subdivision pattern in building design where this is part of the original character of the area (Strategy 20.3).
 - To enhance the built form character of Yarra's activity centres (Objective 21).
 - Require development within Yarra's activity centres to respect and not dominate existing built form (Strategy 21.1).
 - Require new development within an activity centre to consider the context of the whole centre recognising that activity centres may consist of sub-precincts, each of which may have a different land use and built form character (Strategy 21.2).
 - Support new development that contributes to the consolidation and viability of existing activity centres (Strategy 21.3).
- Clause 21.08-4 Clifton Hill identifies the eastern extent of the Study Area being within the Clifton Hill Queens Parade Neighbourhood Activity Centre, which is characterised as a mixed use centre focused on convenience retailing. Relevant aspects of Clause 21.08-4 seek to support development that maintains and strengthens the preferred character of the relevant Built Form Character type; and maintain the visual prominence of the Spire of St John's Church and the Shot Tower.

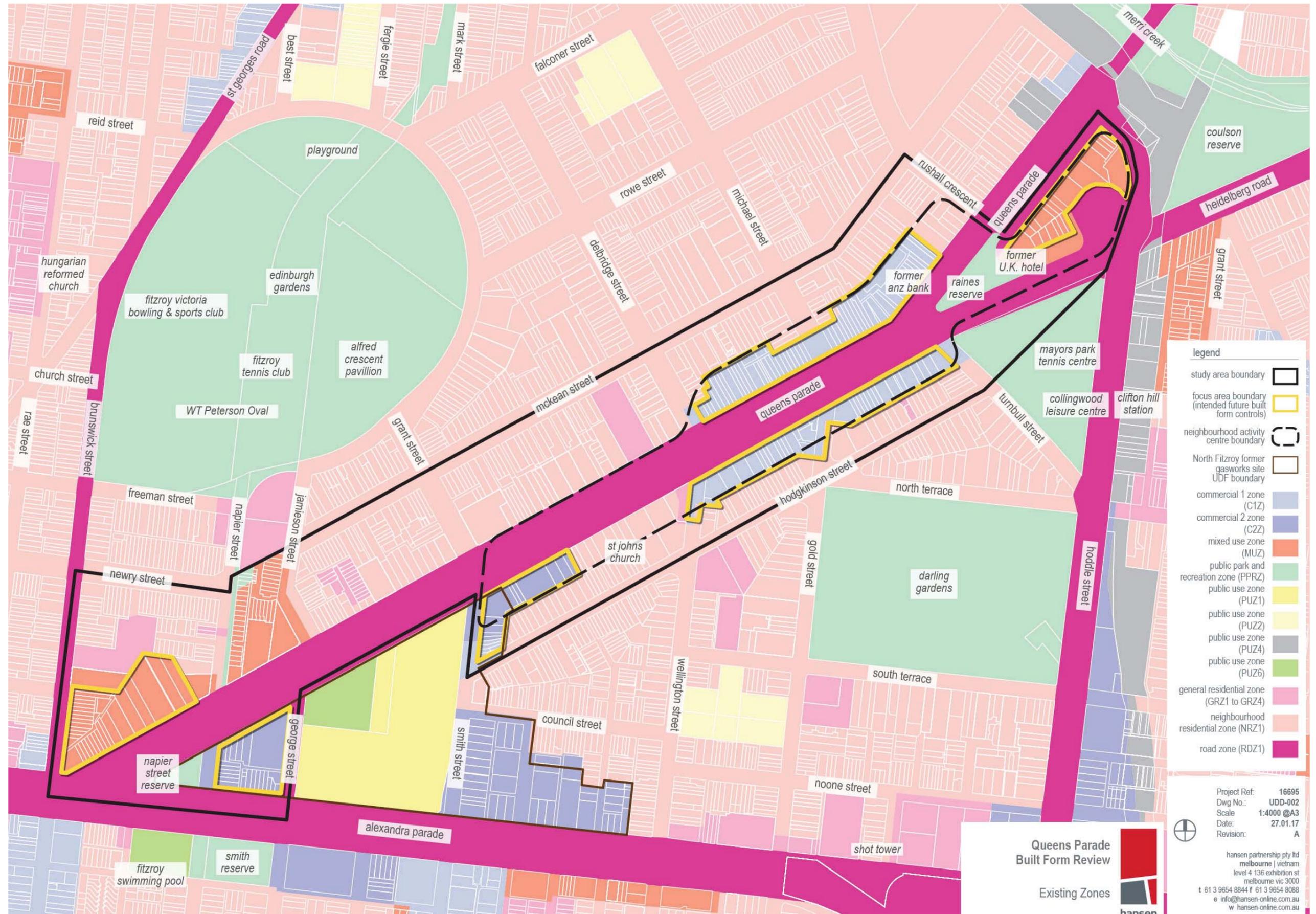


Figure 3: Existing Zoning Map

Contextual Analysis

Policy Framework

- Clause 21.08-8 North Fitzroy identifies part of the Study Area as the Queens Parade Neighbourhood Activity Centre, in addition to identifying the site at 26-56 Queens Parade as a Strategic Redevelopment Site. This seeks to encourage its redevelopment in a way that contributes positively to the urban fabric and public domain of Yarra, and (where subject to the Heritage Overlay), protect the heritage values of the site.
- With reference to the substantial extent of heritage buildings (both individually listed and precinct based), Clause 22.02 - Development Guidelines for Sites Subject to the Heritage Overlay, provides guidance for the protection and enhancement of heritage places in the City of Yarra.
- The LPPF contains further relevant Local Planning Policies relating to: landmarks and tall structures (Clause 22.03), interfaces between commercial, industrial and residential activities (Clause 22.05), development abutting laneways (Clause 22.07), built form and design for new development not affected by the Heritage Overlay (Clause 22.10) which includes design objectives to address urban form, character, setbacks and building height.
- The City of Yarra Planning Scheme has well-established heritage provisions at Clauses 21.05-1 and 22.02. Also of relevance to the protection of the heritage values of Queens Parade is Clause 22.03, which includes policy to protect the visual prominence of the St John Church spire in addition to other landmarks within the municipality.
- This section should be read in conjunction with Appendix B: Relevant Planning Framework. The following documents are also referred to and form part of the relevant Policy Context:
 - Urban Design Guidelines for Victoria (August 2017);
 - Urban Design Charter (2009); and
 - City of Yarra Urban Design Strategy (June 2011).

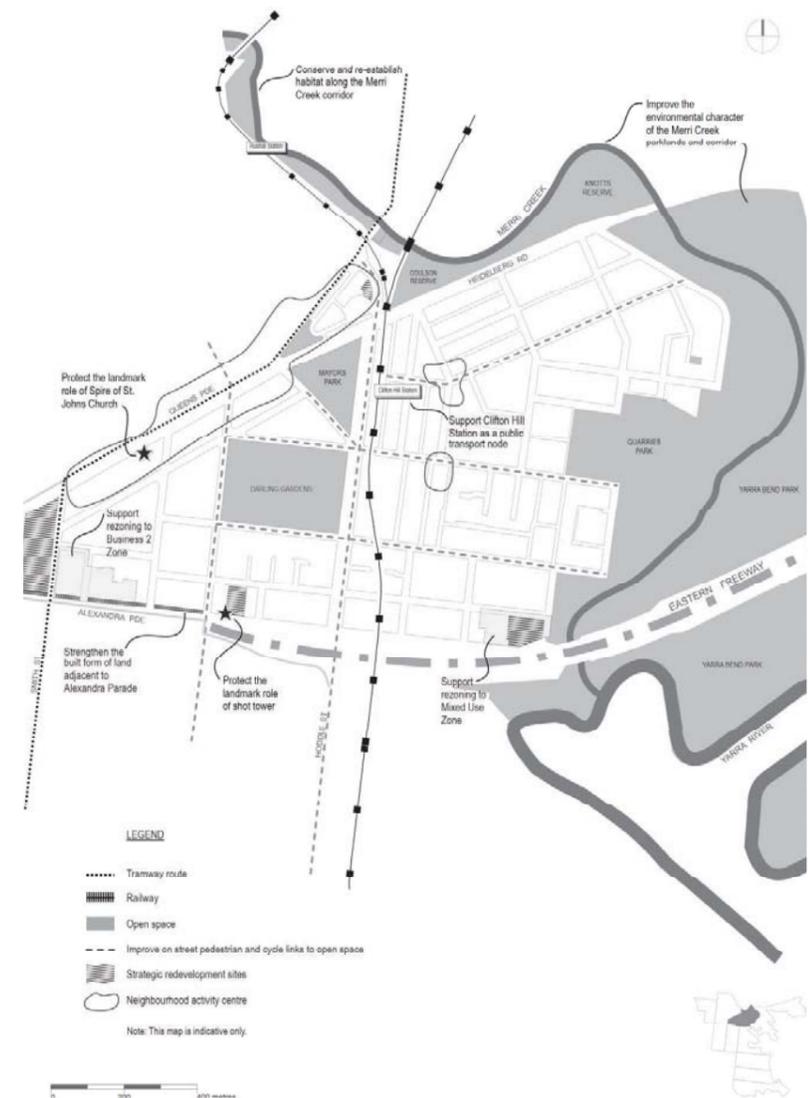
By way of providing an overarching summary of the most significant elements of the relevant policy context, the following are raised:

- The Queens Parade Study Area is comprehensively covered by Heritage Overlays which will be a key influence over its future character and opportunities for development within the area.
- The Queens Parade Neighbourhood Activity Centre is specifically covered by a heritage precinct overlay that recognises its heritage significance as a 19th century strip shopping centre. Policy provides further guidance on the heritage outcomes expected through new development.
- Strategies support enhancing the built form character of activity centres, to respect and not dominate existing built form and consider the context of the whole centre
- Policy seeks to protect the view lines to St John’s Church spire.
- The former ANZ bank building and the Clifton Motors and the UK Hotel are individually significant heritage buildings and important local landmarks within the centre. There are a range of other sites within the centre and along Queens Parade that are individually significant.
- H093 provides protection of the Queens Parade street trees.
- Development outside of Strategic Development Sites and activity centres should reflect the prevailing low-rise urban form.
- Two strategic sites are nominated within the Study Area in the Municipal Strategic Statement, 26 Queens Parade and 501-513 Hoddle Street (Dummett Crescent).
- The Dummett Crescent area has been accepted as a location for ‘taller buildings’ under local policy and as a strategic redevelopment site and through recent planning permit approvals.
- Development within activity centres and on Strategic Redevelopment Sites ‘should’ generally be no more than 5-6 storeys unless it can demonstrate specified benefits detailed in the local policy.
- The Queens Parade Activity Centre is considered a Neighbourhood Activity Centre and whilst growth expectation may be more moderated when compared to higher order Activity Centres (MAC/PAC), there is still opportunity for change in an area that is well serviced by infrastructure.
- The area surrounding, and parts of the Study Area are mostly low scale heritage residential areas with limited capacity for change due to their residential zoning (NRZ), subdivision pattern and existing use.

Activity Centres that are also subject to extensive Heritage Overlay controls (like Queens Parade) are examples of where the tension between competing planning objectives must be resolved in a balanced way.

Queens Parade has excellent public transport connections, vibrant retail, commercial and hospitality uses and a high demand for housing choice. It also contains a highly intact, turn of the century commercial precinct containing heritage fabric that is highly valued by the local community.

A balance between the demand for more intensive development with the protection of the heritage buildings and precincts is therefore required. To achieve this, the Built Form Review – and the background work that underpins it must be informed by heritage considerations which frame prospective built form parameters and related growth objectives.



Clause 21.08 (Figure 11): Neighbourhood Map - Clifton Hill

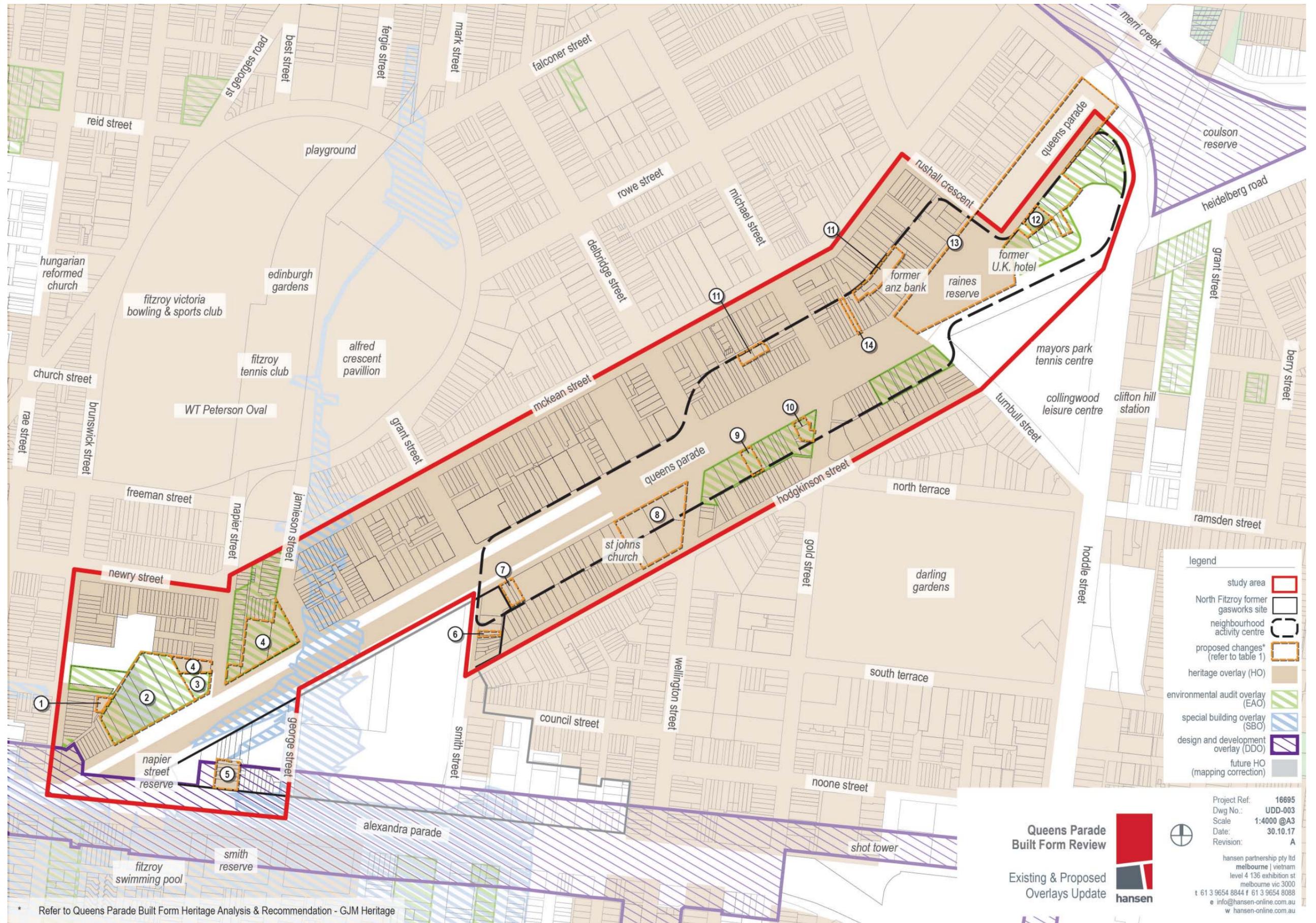


Figure 4: Existing & Proposed Overlays Map

Contextual Analysis

Heritage Attributes

Heritage Overlays

There are a number of existing Heritage Overlays that cover the Study Area (refer to Figures 4 and 5), including:

- Queens Parade Precinct, including the St John’s Church complex (HO330)
- Fitzroy North Precinct (HO327),
- Clifton Hill Western Precinct (HO317),
- Queens Parade Street Trees (HO93),
- Former ANZ Bank, 370-374 Queens Parade, Clifton Hill (HO221),
- Former United Kingdom Hotel, 199 Queens Parade, Clifton Hill (HO92),
- Baptist Church and Hall, 100 Hodgkinson Street, Clifton Hill (HO317), and
- Haselmere, 96 McKean Street, North Fitzroy (HO216).

A comprehensive heritage review through desktop analysis, fieldworks and internal workshops informed heritage considerations for the Study Area (Refer to Queens Parade Built Form Heritage Analysis & Recommendation - GJM Heritage).

The heritage review sets out recommendations for future management of heritage assets, which in turn influence built form recommendation for the Study Area. It considers:

- The suitability of the extent of the Heritage Overlays for places and precincts within the Study Area.
- The heritage grading of each property within the Heritage Overlay in the Incorporated Document *City of Yarra Review of Heritage Overlay Areas 2007: Appendix 8*.
- The currency of the existing Statements of Significance for places and/or precincts to ensure they provide adequate guidance for the management of important heritage features.
- Places not currently included in the Heritage Overlay, but which warrant further consideration for inclusion in the Heritage Overlay.
- Built form parameters necessary to appropriately manage increased commercial and residential development within the context of the existing heritage place and/or precinct.

A summary of recommendations by GJM Heritage pertaining to the Built Form Review is provided in **Table 1: Proposed Heritage Updates** and areas subject for review/ update are also graphically reflected on Figures 4 to 6.

Table 1: Proposed Heritage Overlay Changes *

No.	Address	Proposed Update* (Refer to Figures 4 to 6)
1	Lot 1 (TP806921)	Update grading to ‘non contributory’. The site is currently vacant.
2	54-56 Queens Parade (K.G. Luke Pty Ltd factory)	Extend the Heritage Overlay to cover the former K.G. Luke Pty Ltd factory site to the extent of the Art Deco façade and associated showroom and factory buildings.
3	58 Queens Parade	Update heritage grading from ‘individually significant’ to ‘non contributory’. This site has been redeveloped as a five-storeys apartment building
4	80, 86 and 88 Queens Parade, 32, 33 and 34 Jamieson Street and 497 Napier Street	Update heritage grading to ‘non contributory’. These sites are currently occupied by contemporary multi unit residential development.
5	472-484 Napier Street	To be included in the Heritage Overlay as an individually significant local heritage place.
6	662 Smith Street (former Fire Station)	Update heritage grading from ‘contributory’ to ‘individually significant’.
7	7, 9 and 11 Queens Parade	Update heritage grading from ‘contributory’ to ‘non- contributory’.
8	St John’s Church complex	To be included into a site specific Heritage Overlay in recognition of its significance within the City of Yarra and trigger internal controls for the Fincham Organ.
9	105 Queens Street (Doctor’s Surgery & Residence)	Retain ‘individually significant’ heritage grading. Prepare a site specific Statement of Significance to guide management of this atypical site.
10	137 Queens Parade	Designate ‘non contributory’ heritage grading to the vacant site.
11	390A Queens Parade and the rear parts of 304, 312, 316 and 380 Queens Parade	<ul style="list-style-type: none"> ▪ The properties at 390A and the rear of 304, 312, 316 and 380 be removed from HO327 – Fitzroy North Precinct and include within the boundary of HO330 – Queens Parade. ▪ 380-378 Queens Parade’ within HO327 – North Fitzroy Precinct be removed and that 380 Queens Parade be identified as a ‘contributory’ building within HO330 – Queens Parade Precinct. ▪ The following sites and associated gradings be identified in Appendix 8 under HO330 – Queens Parade Precinct: <ul style="list-style-type: none"> ▪ 304 Queens Parade (rear, off Koormiel Lane) – ‘not contributory’ ▪ 312 Queens Parade (rear, off Koormiel Lane) – ‘contributory’ ▪ 316 Queens Parade (rear, off Koormiel Lane) – ‘not contributory’ ▪ 380 Queens Parade (rear, behind 360-378) – ‘not contributory’ ▪ 390A Queens Parade (two-storeys building in north-east corner) – ‘contributory’ ▪ 390A Queens Parade (all buildings excluding two-storeys building) – ‘not contributory’
12	205-211 Queens Parade (former Clifton Motors Pty Ltd Building)	<ul style="list-style-type: none"> ▪ To be removed from HO330. ▪ To be included in its own site-specific Heritage Overlay (note current consideration for inclusion in VHR).
13	201-217 Queens Parade and 10-12 Dummett Crescent	<ul style="list-style-type: none"> ▪ To be removed from HO330. <p>HO330 boundary should be extended over the full extent of the historic layout of Raines Reserve and should cover the historic Queens Parade boulevard to the railway bridge.</p>
14	350 Queens Parade	Update heritage grading from ‘non-specified’ to ‘contributory’.
	Queens Parade Precinct (HO 330)	<ul style="list-style-type: none"> ▪ Update Statement of Significance for HO330 (Refer to updated Statement of Heritage Significance - Queens Parade Precinct - HO330 on page 12).

* Refer to *Queens Parade Built Form Heritage Analysis & Recommendation - GJM Heritage*



Figure 5: Existing and Proposed Heritage Precinct Overlays Map (refer to Table 1)

Contextual Analysis

Heritage Attributes

Statement of Heritage Significance

Queens Parade Precinct (H0330) - Updated 2017

- *The Queens Parade Precinct is located on a major thoroughfare that has linked Melbourne to the northern suburbs since the 1830s. It is centred on one of Melbourne's early reserved boulevards, having been surveyed by Hoddle and reserved in 1853. The wide boulevard retains distinctive median strip landscaping from the twentieth century, including Raines Reserve. The Queens Parade Precinct is an intact turn of the century 'High Street' that has functioned continuously as a key commercial centre since the 1870s. It contains a substantial collection of intact commercial buildings, predominantly from the Victorian and Edwardian periods, including shops and associated residences, hotels and other commercial and civic buildings, as well as a group of detached Edwardian residences at the north-eastern end. Together these buildings demonstrate the development of this 'High Street', particularly from the 1870s to c1920 when substantial growth along the boulevard occurred, and are illustrative of the enduring role the street has played in the economic and social life of North Fitzroy and Clifton Hill since the establishment of the suburbs [Criterion A].*
- *The highly intact streetscape of the Queens Parade Precinct clearly demonstrates the principal characteristics of a major turn of the century 'High Street' in the City of Yarra. Typical characteristics – including predominantly two-storeys Victorian and Edwardian wall heights, parapeted rendered or red brick facades with repetitive upper floor fenestration, and ground floor shopfronts – are displayed in the original forms, fabric and detailing of many of the buildings. The streetscapes on the northern side of Queens Parade from Delbridge Street to 410 Queens Parade and on the southern side of Queens Parade from Wellington Street to 169 Queens Parade are particularly intact and are highly consistent in their architectural form and expression, forming a cohesive and significant streetscape. A group of detached houses at the north-eastern end of the precinct are intact and consistent in their Edwardian character and form [Criterion D].*
- *The Queens Parade Precinct contains a number of landmark and individually significant buildings which are well considered and carefully detailed examples of commercial and civic buildings. These include, among others, the prominent three-storeys Former London Chartered Bank of Australia Ltd (later ANZ Bank building), 370-374 Queens Parade, the former Daintons Family Hotel (139 Queens Parade, built 1875), the former Melbourne Savings Bank (97-99 Queens Parade, built 1889), former National Bank of Australasia (270 Queens Parade, built 1886), Ryans Building (314 Queens Parade, built 1884), Campi's Buildings (149-167 Queens Parade, built c1880-c1890) and the corner shop at 336-338 Queens Parade, North Fitzroy (c1870-c1890). Key views to the local landmarks of the St John the Baptist Church complex and the Former United Kingdom Hotel, 199 Queens Parade, which bookend the precinct are afforded from within the precinct [Criterion E].*

North Fitzroy Precinct (H0327)

H0327 covers the northern section of the Study Area. The statement of significance outlines the following:

- *For the clear indication of important early land development phases in the suburb as follows:*
 - *East-west, relatively long and narrow streets originating from private subdivision of the 1839 agricultural allotments that originally fronted Merri Creek;*
 - *The evident effect of the 19th century Boom era when aggressive subdivision coincided with provision of public transport, creating dense late-Victorian development near the Nicholson St cable tram terminus;*
 - *The more generous post-1906 subdivisions (suited the construction of detached timber villas) representing changed values in land prices, and the relatively new suburban ideal of affordable house and garden lifestyle; and*
 - *The slow transformation into a completed residential suburb by WW2, with the last few vacant sites accommodating inter-war dwellings, some developed with medium-density housing, duplexes and flats.*
- *For the consistent and intact streetscapes of late Victorian terrace and row housing in the south-west corner of the area, and Italianate style and Edwardian timber villas, interspersed occasionally with inter-war houses, in the balance of the area;*
- *For the visual consistency and good period expression of streets in the north and east parts of the area, consistently one-storeys, timber construction, decorative detail, and detached siting with consistent garden setbacks;*
- *For the interwar medium density development pockets, including those contained within Pilkington St and parts of Barkly St, King and Miller Streets, significant for its intactness, form and high quality design.*
- *For the shopping strip streetscape of St Georges Rd, significant for its landmark Victorian-era buildings, plus intact early 20th century and interwar buildings in both Classical Revival and Moderne styles; and*
- *For important landscape and vistas, including the view of Merri Creek Bridge framed by palms and mature elms in the Merri Primary School reserve, and mature street planting of plane trees.*

Clifton Hill Western Precinct (H0317)

The southern section of the Study Area is protected by H0317. The statement of significance outlines the following:

- *As an expression, in the history of its creation as part of Collingwood East, of the aspirations of tradesmen of the Collingwood Slope for improved urban development and the provision of public facilities;*
- *For the role of local politicians and business figures in social, physical and industrial improvement and home ownership in the area;*
- *As the focus of community sentiment and resident protest from its initial development in the 1860s, from the actions of the Victorian-era Vigilance Committee to the preservation movements of the 20th Century, specifically the House of the Gentle Bunyip conservation campaign;*
- *For the distinctive street and allotment layout created under Government surveyor, Clement Hodgkinson (43), and the liberal allowance for garden squares and reserves for a market, public baths, a school, a recreation reserve and five churches, contrasting with private surveys in the City of Yarra;*
- *For Hoddle's provision of boulevards (Hoddle Street and Queen's Parade) skilfully merged with wide streets on a north-south grid, with unusual five way intersections and triangular public spaces at each end of Queen's Parade;*
- *For the unique series of vistas from the crest of the hill at the end of Hoddle street that includes views of significant landmarks like the shot tower, spires of St. Johns and the former Wesleyan Church, Town Hall towers at Collingwood and Fitzroy, the Exhibition Buildings, and long vistas to the Kew hill and Studley Park, plus those to and from the Darling Gardens;*
- *For the area's fine representation of Victorian-era life, as expressed by the street and public reserves, along with the dominantly Victorian-era building stock including churches, a State school, factories, early houses, a large number of late Victorian terrace houses, attached and free standing, and key house designs such as 12 North Terrace.*
- *For its focus on a representative and intact example of a residential garden square (Darling Gardens) based on British and European precedents, with associated significant trees;*
- *For the mature, largely exotic trees, including those planted by George David Langridge, MLA and former Mayor, bluestone kerbs, gutters, drains, channelling, and laneways from the area's major period of development;*
- *For the strong industrial theme, seen in the south of the area with several 19th Century industrial buildings including former boot factories, and a carriage factory, that links the area with the City's other creek and riverside industrial localities such as Clifton Hill East, Abbotsford and Collingwood;*
- *For well preserved Edwardian housing estates and individual houses as complements to the dominant Victorian-era residences; and*
- *For good examples of the Californian Bungalow style and other well preserved interwar houses.*

Contextual Analysis

Heritage Attributes

Landmarks & Tall Structures

The City of Yarra places great importance on its designated landmarks and tall structures. The MSS, (reinforced by Local Policies of Clauses 21.05 and 22.03) seek to **retain the prominence of its landmarks and key visual links.**

In the context of the Study Area, the following municipal landmarks and tall structures are identified:

- St John's Church spire;
- Alexandra Parade Shot Tower;
- Hungarian Reformed Church spire; and
- St Patricks Cathedral (City of Melbourne).

The following local landmarks are also identified within the Study Area:

- Former ANZ Bank, 370 Queens Parade, Clifton Hill (HO221, VHR H0892),
- Former United Kingdom Hotel, 199 Queens Parade, Clifton Hill (HO92, VHR H0684), and
- St John's Church complex (part of HO330).

Views to landmarks and tall structures

While Clause 22.03 identifies the visual protection 'spire' of the St John's Church only, the heritage analysis finds it is appropriate that views of the belfry and spire in combination should be considered (refer to diagram A).

In addition to the belfry and spire of St John's Church, GJM's heritage assessment also considered that views to the State-significant **former ANZ Bank** at 370-374 Queens Parade are important within the context of the Activity Centre. Its landmark quality is derived from its tall three-storeys scale within a lower context, the slate roofs and corner tower, the tall chimneys and the majority of the upper floor level that visually anchors the chimneys and roofs (refer to diagram B).

The Landscape & Streetscape Chapter of Contextual Analysis on page 18 have identified locations where views to these landmark buildings are available from.

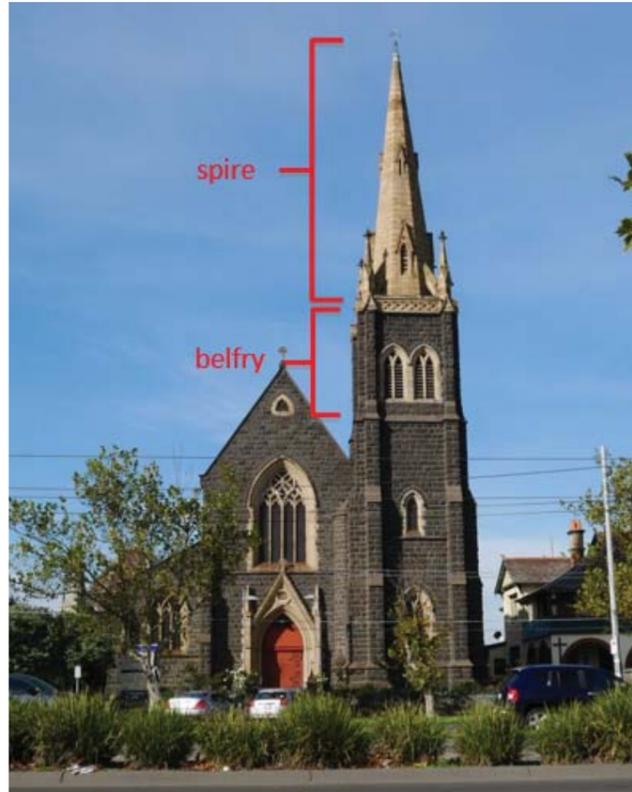


Diagram A (source: GJM Heritage)



Diagram B (source: GJM Heritage)

Significant Streetscape

GJM's heritage assessment (refer to Queens Parade Built Form Heritage Analysis & Recommendation - GJM Heritage) identifies parts of Queens Parade within the NAC to be of 'significant' streetscape value:

- The northern side of Queens Parade between Delbridge Street and Michael Street;
- The northern side of Queens Parade between Michael Street and number 410 Queens Parade;
- The southern side of Queens Parade between Wellington Street and Gold Street; and
- The southern side of Queens Parade between Gold Street and number 167 Queens Parade (see Figure 16).

These streetscapes demonstrate the following characteristics as a 'significant streetscape':

- Consist predominantly of buildings graded 'contributory' or 'individually significant' (approximately 90%) with few 'not-contributory' buildings or intrusive developments.
- Have a high degree of consistency in terms of their:
 - Overall scale;
 - Zero street setback;
 - Predominantly (Victorian) two-storeys street wall height and
 - Predominantly Victorian and early Edwardian architectural form and style.
- Date predominantly from the Victorian and early Edwardian period with few later infill developments.
- Demonstrate a high level of intactness to their turn of the century period of construction.
- Are recognised for their aesthetic significance in the existing Statement of Significance for HO330 as follows: *For the late 19th and early 20th century shops, hotels, banks, and public buildings, often with intact street verandahs, lining both sides of a wide boulevard that provides for exceptional vistas to fine commercial rows, and demonstrates the major role of Queens Parade as a commercial, banking, accommodation and public transport nucleus for the district.*
- While in some parts of Queens Parade the buildings are not considered to create a significant streetscape, the mature double avenue of trees planted throughout the wide Queens Parade boulevard are significant (HO93) and new development should be scaled to avoid diminishing the boulevard quality of Queens Parade.

Contextual Analysis

Heritage Attributes

Heritage Grading

A number of anomalies exist with regards to the designation of heritage overlay and grading within the Study Area. Heritage review (desktop and fieldworks) have identified and sought to rectify these anomalies and a summary of the proposed changes are reflected in Table 1: Proposed Heritage Overlay Changes (page 11) and Figure 6 (page 16). These grading are categorised into:

Individually Significant

- Most individually significant buildings are clustered at and around the junction of Queens Parade and Delbridge Street/ Wellington Street.
- Most individually significant buildings occupy corner sites, or are visually exposed in the open streetscape setting.
- Most individually significant buildings are located at the eastern end of the Queens Parade.
- Some of the identified individually significant buildings are also listed within the Victorian Heritage Register (VHR) and may require site specific built form responses.

Contributory

- Most buildings along Queens Parade are categorised as having contributory heritage value.
- They are often infill in nature, or parts of a collection of buildings, with varied potential to accommodate future development.

Non-Contributory

- Most non-contributory buildings are concentrated within the south-western portion of the Study Area, characterised by heavy modification through recent redevelopment.
- These sites have a greater opportunity for future infill development.

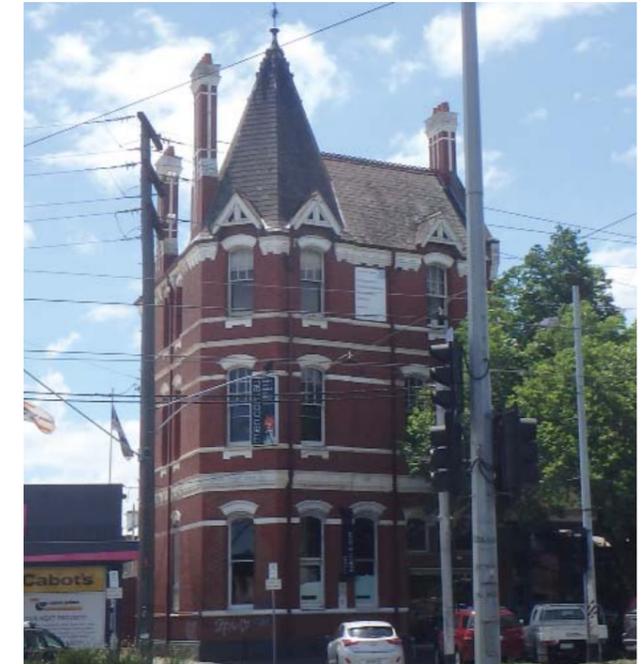
Common Heritage Attributes

The following characteristics and elements are commonly found in significant, or contributory heritage forms in the Study Area and should be retained:

- Attached or terraced construction with no side yards;
- Parapeted front facades with some pitched and hipped roofs;
- Varied setbacks from the street frontage for residential forms;
- No setback from Queens Parade for commercial forms; and
- Visible chimneys to single and double storey buildings (often located within half the depth of the front room of existing buildings).



Local Landmark: Former Clifton Motors (currently being considered for inclusion in the VHR)



Local Landmark: ANZ Bank (H0221)



Municipal & Local Landmark: St John's Church Complex & Spire (part of H0330)



Local Landmark: Former United Kingdom Hotel (H092)



Figure 6: Existing and Proposed Heritage Grading Map (Refer to Table 1)

Contextual Analysis

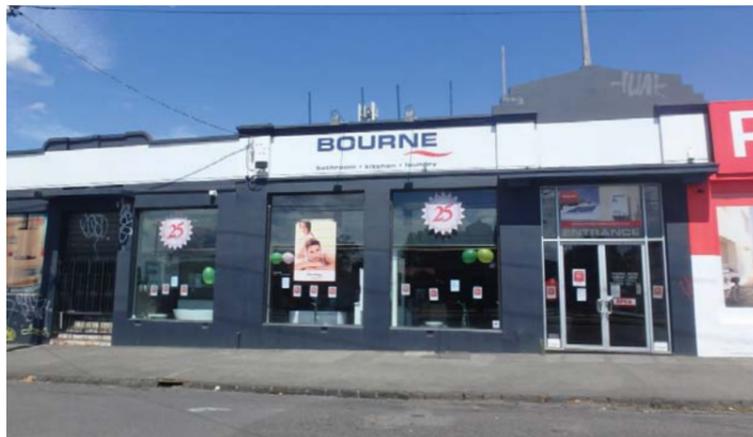
Heritage Attributes



Examples of individually significant, corner heritage buildings



Examples of contributory heritage buildings



Examples of non- contributory/ non- heritage buildings

Built Form Implications

Heritage gradings of specific sites or precincts will have implications for future proposed built form. Critical observations are:

- Heritage significance may restrict or influence future development outcomes both on heritage listed sites and adjacent land.
- Varied development opportunities exist behind heritage forms while retaining visual dominance of the existing heritage fabrics. Whilst the ambition is not about visually ‘concealing’ new addition, a balance between heritage retention and creation of a reasonable development envelope through enabling varying degree of ‘visibility’ of new built forms above is influenced by the road widths and streetscape effects. In built form terms, the desired ‘visibility’ measure can be managed through appropriate building heights and setbacks.
- Potential future character in areas which is identified as a ‘significant streetscape’ should reflect the consistent existing streetscape with new built form constructed to the street boundary. Future street wall should be influenced by the predominantly two (Victorian - era) storeys.
- Landmarks and tall structures within both the immediate and wider context influence the experience of Queens Parade. The protection of important view lines must be taken into consideration through upper level setback and street wall definitions including:
 - The importance of views to the St John’s Church belfry and spire against the sky; and
 - The importance of views to key features of local landmarks such as the former ANZ Bank and former UK Hotel
- New development should be scaled to avoid diminishing the boulevard quality of Queens Parade.
- Future infill facades should respect the materiality and relationship between solid and void established by the ‘contributory’ and ‘individually significant’ buildings.
- New development should also provide a sensitive transition to the predominantly single-storeys Victorian-era character of Hodgkinson Street to the south and the one and two-storeys Victorian-era character of McKean Street to the north.

Prospective key elements influencing built form framework:

- Retain the valued attributes of heritage buildings (i.e. facade, setbacks, verandahs, chimneys, etc).
- Retain view lines to landmarks, including the St John’s Spire and Tower, former ANZ Bank and former UK Hotel.
- The proportion of visibility of upper levels can be managed by applying varied upper level to heritage street wall principle.
- Future development should respond to individually significant heritage buildings.

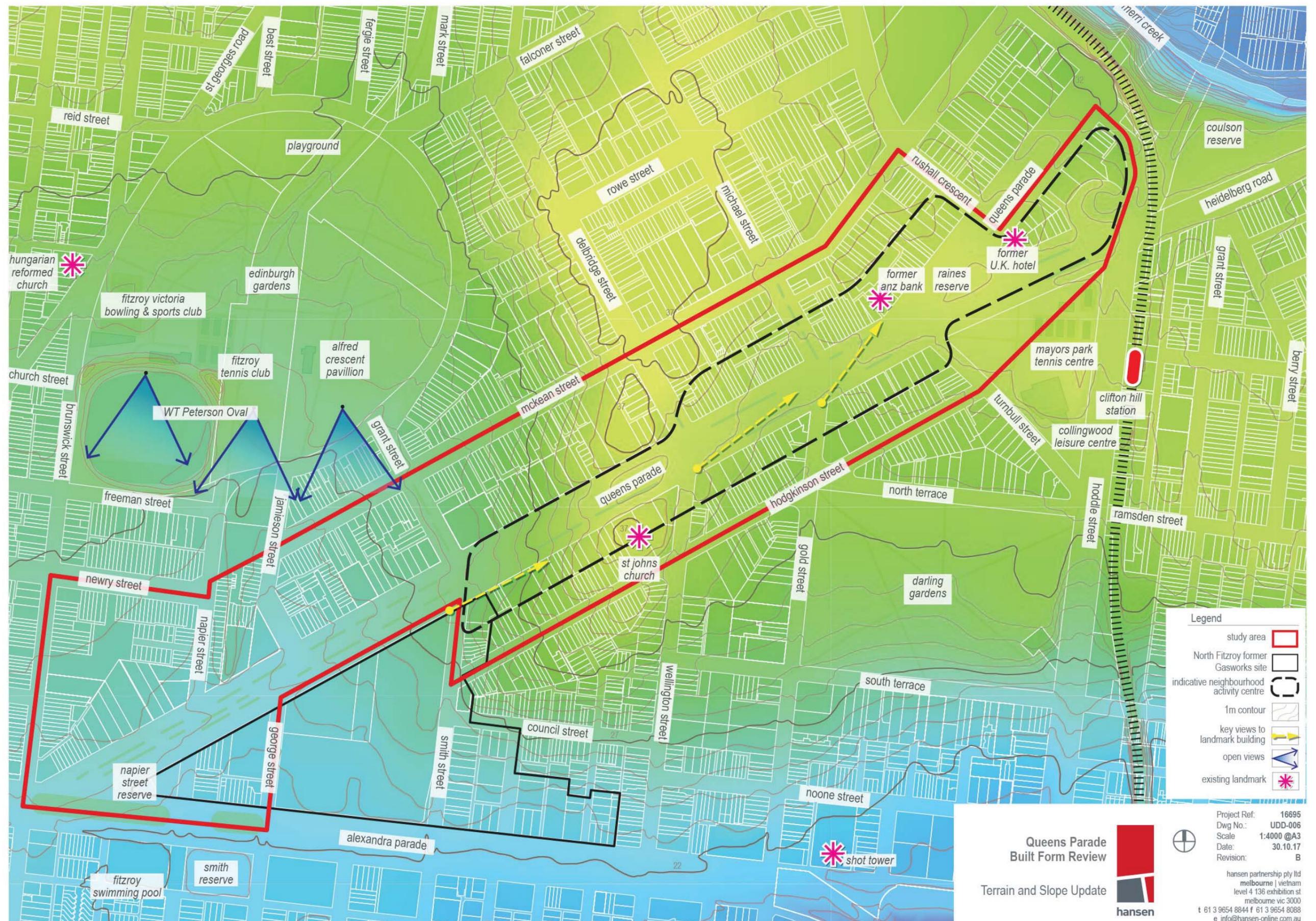


Figure 7: Terrain and slope

Contextual Analysis

Landscape & Streetscape

Terrain and Slope

- The experience of Queens Parade is significantly influenced by topography and the notable 'hill' located east of Delbridge and Wellington Streets, as well as the escarpment to the Merri Creek Reserve to the north-east.
- To the west and south, slope is less pronounced with the south side of Alexandra Parade in a relatively flat profile.
- The 'Delbridge Hill' offers long range views to the west and south, particularly along Queens Parade and north-south aligned streets.
- The topography of the precinct is critical to an understanding of Yarra's important skyline, comprising designated landmarks, traditional roofscape, notable open spaces and boulevards and a broad panorama to Central Melbourne's skyline.

Key Open Spaces

- A number of key open spaces are identified within and around the Study Area and the protection of these key open spaces is critical in shaping future urban form, including:
 - Edinburgh Gardens (H0213),
 - Darling Gardens (H0213),
 - Mayors Park,
 - Raines Reserve,
 - Napier Street Reserve (west of Napier Street), and
 - Smith Reserve (associated with the Fitzroy Swimming Pool).
- Existing canopy vegetation within the streetscapes and central median also offer high amenity and contribute substantially to the landscape character of Clifton Hill and its surrounds. As a significant streetscape feature such boulevard trees should be acknowledged and protected. These include:
 - Queens Parade Street Trees (between Brunswick Street and Delbridge Street – H093).
 - Central median of Alexandra Parade (between Brunswick Street and Hoddle Street).

Statement of Significance

Edinburgh Gardens- H0213

- *Edinburgh Gardens is locally significant as a major recreational facility within the Fitzroy area. The site is intrinsically linked to a number of local sporting groups and the Fitzroy community generally. It contains elements that illustrate the early use of the site, particularly the railway, and contributes significantly to the heritage character and general amenity of the local neighbourhood, particularly as a setting for adjacent significant housing which culminates in a landscape of notable grandeur within the City of Yarra. The site is also significant for the notable numbers of mature trees, one of which is recorded by the National Trust of Australia (Victoria).*

Queens Parade Street Trees (central median of Queens Parade, between Brunswick Street and Grant Street) – H093

- *The double avenue of trees on Queens Parade is locally significant as an extensive and intact avenue planting in the City of Yarra. The trees provide a significant contribution to the heritage character of the precinct, and to the amenity of the local neighbourhood generally.*

Darling Gardens – H0213

- *Darling Gardens are locally significant as an early and important recreational facility within the Collingwood and Clifton Hill area. The site has strong associations with the local community, at various times the home to sporting groups and the focus of community activities. The site effectively illustrates its ongoing development since the 1860s, and contains two trees recorded on the National Trust of Australia (Victoria) Significant Tree Register.*



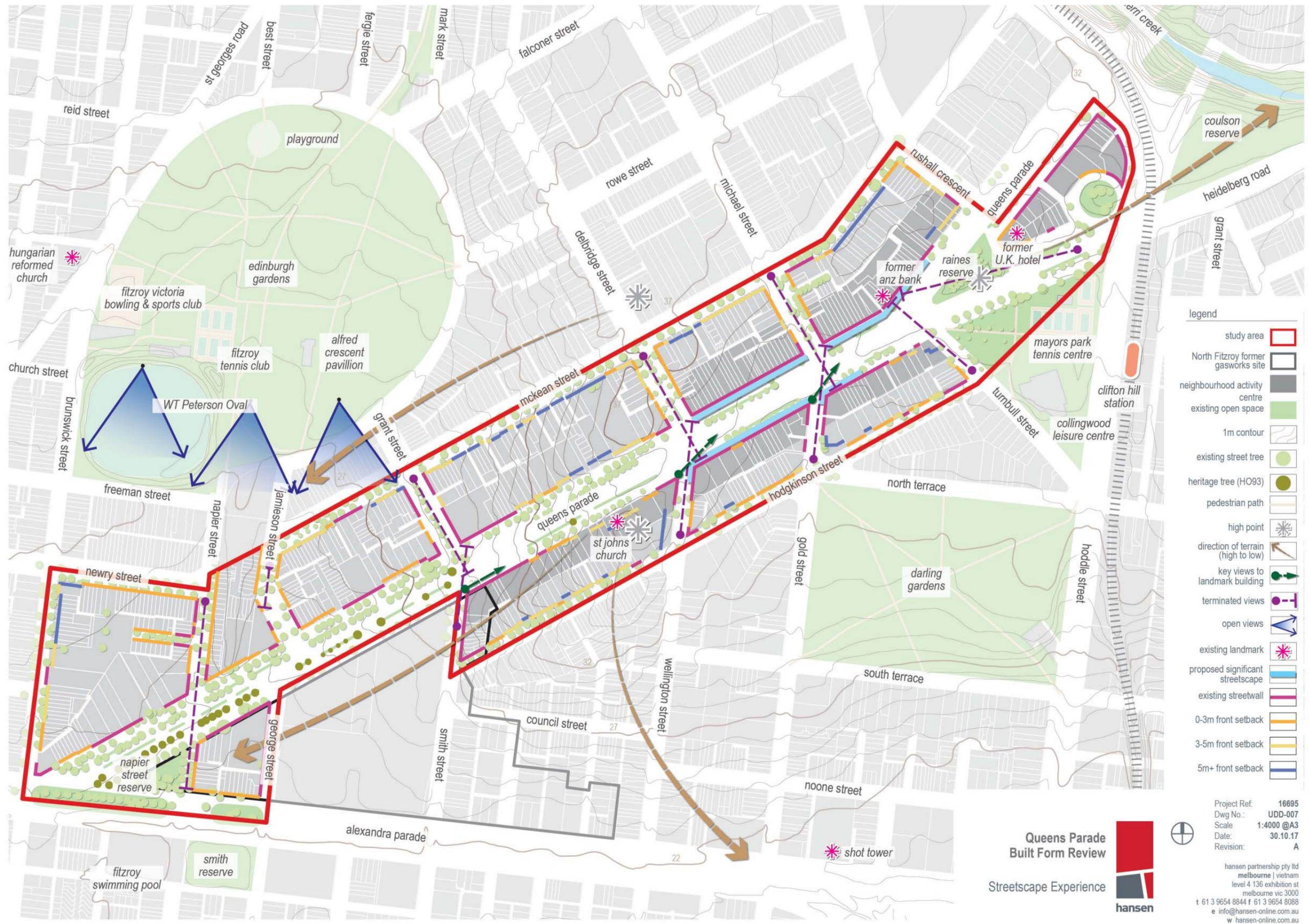
Napier Street Reserve, Fitzroy North



Edinburgh Gardens, North Fitzroy



Alexandra Parade central median



- legend
- study area
 - North Fitzroy former gasworks site
 - neighbourhood activity centre
 - existing open space
 - 1m contour
 - existing street tree
 - heritage tree (HO93)
 - pedestrian path
 - high point
 - direction of terrain (high to low)
 - key views to landmark building
 - terminated views
 - open views
 - existing landmark
 - proposed significant streetscape
 - existing streetwall
 - 0-3m front setback
 - 3-5m front setback
 - 5m+ front setback

Project Ref: 16695
 Dwg No.: UDD-007
 Scale: 1:4000 @A3
 Date: 30.10.17
 Revision: A

Queens Parade Built Form Review
 Streetscape Experience

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Figure 8: Streetscape Experience Map

Contextual Analysis

Landscape & Streetscape

Streetscape Experience

- Queens Parade (west of Grant and Smith Streets) is characterised by the double avenue street trees including the heritage listed Dutch Elms, framing views along Queens Parade between Brunswick Street and Smith Street.
- The full width of Queens Parade (60m) and views to the St John’s Church spire can be appreciated west of Grant and Smith Streets, where street trees are mainly accommodated within wide street verges on both sides.
- The shift in subdivision pattern and urban block arrangement from south to north means that view lines along local streets often terminate at notable corner forms.
- A higher degree of consistent and attached traditional street walls of predominantly 2 storeys define the street edges of Queens Parade in the Neighbourhood Activity Centre, between Delbridge and Turnbull Streets.
- At its north-eastern end, the Study Area is highly visible from multiple vantage points, including Hoddle Street and from the Heidelberg Road overpass.
- Residential streets that frame the Study Area boundary are typically characterised by low scale (1-2) heritage forms with consistent front gardens.
- At a macro scale level, long range views of the CBD skyline are available from a series of locations within the Edinburgh Gardens.

- Views to a number of municipal and local landmarks can be appreciated from within the Study Area. However, the contextual subdivision pattern, existing vegetation and urban block arrangement (including road width) tend to influence management of these views.
- Key oblique views of **St John’s Church** belfry and spire from the west are provided from the north-western intersection of Queens Parade and Grant Street and from the south-western side of Queens Parade and Smith Street. These views are where the belfry and spire of St John’s Church become a prominent landmark element within the streetscape. Whilst view from the intersection of Queens Parade and Grant Street is protected by the road reserve (similar to the view directly opposite from across Queens Parade).
- Some of the key views of the belfry and spire of St John’s Church are from within the Activity Centre and from Raines Reserve looking south. Views to the local landmark of the state-significant former ANZ Bank at 370 Queens Parade, are also afforded from within the Activity Centre from Raines Reserve.
- Key views of the **former ANZ Bank** are those of the tower, roof, chimneys and upper floor where the three-storeys form, roof and chimneys of the former ANZ Bank building becomes a prominent landmark within the streetscape. These views are provided from the south-eastern intersection of Queens Parade and Gold Street; from the south-western intersection of Queens Parade and Turnbull Street; from the western end of in Raines Reserve; and from the pedestrian traffic islands at the southwest end of Raines Reserve.

- The **former United Kingdom Hotel** occupies a prominent location at the junction of Queens Parade and Dummett Crescent/Heidelberg Road and key views are provided of the hotel from these streets and from within Raines Reserve. Oblique views of the former United Kingdom Hotel (VHR H0892) are provided from the northern end of the Activity Centre, but these are protected by the road reserve and do not require management through additional built form controls.
- Whilst a distant view of the State-significant **Shot Tower** on Alexandra Parade is available from within the Queens Parade Activity Centre – and particularly at the intersection of Queens Parade and Delbridge/Gold Street, this “glimpse” of the Shot Tower is not considered to be a key view and is not one that requires management through built form controls within the Queens Parade Study Area.



View of St John’s Church tower from the intersection of Smith Street



View of St John’s Church tower from pedestrian traffic island on the south side of Raines Reserve



View of the former ANZ Bank from the intersection of Gold Street

Contextual Analysis

Landscape & Streetscape

Built Form Implications

Critical observations and built form implications include:

- Respect the landform and urban structure by retaining the primacy of key landmark forms (St John's Baptist spire, the former ANZ Bank and the former UK Hotel).
- The coexistence of designated landmarks, heritage forms that project into the skyline and the silhouette of traditional commercial and residential neighbourhoods in North Fitzroy and Clifton Hill are important character elements.
- The visual dominance of the street trees is important to maintain a 'boulevard' effect and a unifying character to the south-west despite the varied building stock.
- Views to key landmarks that are visually exposed should be managed carefully. It is worth noting that these view lines are not always experienced from the centre of the street, but rather more often in a dynamic mode from footpaths to the traditional streetscape.
- The oblique views along Queens Parade (within the NAC) should continue to be defined by heritage street walls.
- Protect and preserve the intact heritage residential streetscapes along Newry and McKean Streets, including careful management of urban form within the Queens Parade corridor to the south.
- Retain the open profile of attractive, long range views to the Central City in particular from Edinburgh Gardens - looking south.
- Avoid overshadowing of footpaths, key open spaces and the central median of Queens and Alexandra Parade to ensure their long term viability and their image and amenity for existing and future residents.
- Built form controls will be required along the south side of Queens Parade to protect the key view of the belfry and spire of St John's Church from the intersection of Queens Parade and Smith Street.

Prospective key elements influencing built form framework:

- Reinforce the prevailing traditional 2 storeys street wall profile of the NAC along Queens Parade.
- Retain key view lines to landmarks including:
 - St John's belfry and spire from Queens Parade & Smith Street junction.
 - Former ANZ Building from Queens Parade & Wellington Street junction.
 - Former ANZ Building from Queens Parade & Gold Street junction.
- Retain visual dominance of the double avenue of trees along the south western part of Queens Parade and the sense of 'openness' elsewhere.
- Respect the aspect/ outlook from heritage streetscapes in residential areas beyond the Study Area.
- Shape prospective redevelopment to avoid overshadowing or amenity impact on pedestrian space/ open space.



View to St John's Church from the Delbridge Street intersection



Double avenue trees along Queens Parade

Contextual Analysis Subdivision Pattern

The Study Area comprises varied allotment sizes which results in development of diverse building types and land uses. The subdivision pattern is based on a historical grid configuration, orientated on a diagonal alignment in the 'wedge' between Queens Parade and Brunswick Street. The grid shifts to the south of Queens Parade to a more conventional east- west alignment.

Typical Lot Sizes

Lots have generally been classified into sizes as shown on the plan (refer to Figure 9, pg 24) and described below:

- Small: less than 300sqm;
- Medium: 300 - 600sqm;
- Large: 600 – 1,200sqm; and
- Extra Large: greater than 1,200sqm.

Typical Frontage Widths

Frontage widths have generally been classified into sizes as shown on the plan (refer to Figure 10, pg. 25) and described below:

- Small: greater than 5m, less than 10m;
- Medium: greater than 10m, less than 20m;
- Large: greater than 20m.

Typical Allotment Depths

Allotment depths have generally been classified into sizes as shown on the plan (refer to Figure 11, pg 26) and described below:

- Small: less than 30m;
- Medium: 30-40m;
- Large: 41-55m; and
- Extra Large: greater than 55m.

Strategic Sites

The City of Yarra Planning Scheme identifies the following sites as Strategic Redevelopment Sites within the Study Area:

- 496- 500 Brunswick Street;
- 26 Queens Parade; and
- 501-513 Hoddle Street.

The NAC

- Within the NAC (east of Delbridge and Wellington Streets), the subdivision pattern typically has a long northwest – southwest grid pattern, perpendicular to Queens Parade.
- On the north side of Queens Parade, between Delbridge Street and Rushall Crescent, allotments are primarily of small and medium size (between 0 – 600sqm), associated with traditional shop fronts and occasional attached terraces. Lot widths are mainly within the 'Small' category (less than 10m) with varied lot depth between 20m to 50m. To the rear of properties fronting Queens Parade there is a number of wide and shallow configured commercially zoned 'mid-block' sites, accessible via rear laneways.
- On the south side of Queens Parade, between Wellington Street and Turnbull Street, the subdivision pattern is of a consistent depth (approximately 30-35m). There is also a greater number of sites with wider site frontage (greater than 10m).
- Corner allotments are typically medium or large (up to 1,200sqm) and typically accommodate retail forms as well as former and current civic/ institutional buildings.
- To the north of Dummett Crescent, between Queens Parade and Heidelberg Road, allotments are generally large (600-1,200sqm), with primary frontage to the main road and additional access from rear/ side laneways. Lot widths are large (greater than 20m) with an occasional width greater than its lot depth.
- Between Hoddle Street and Raines Reserve, this part of the NAC is characterised by 'medium' to 'large' allotments with medium to large allotment widths. Lot depths are generally shallow (less than 40m), often with a single street access off Queens Parade service road and Dummett Crescent. However, recent lot consolidation has resulted in reconfigured allotment patterns, as demonstrated at 205-211 Queens Parade & 6-12 Dummett Crescent and 247& 249-251 Queens Parade, yielding allotment deeper, larger allotments with multiple street frontages.

Between Brunswick Street and Smith/ Grant Streets

- Along Brunswick Street, the subdivision pattern typically has a long east -west orientation with parallel laneway access. Allotments are typically 'small' (less than 300sqm) except for two extra- large sites identified in this Review as the 'Aquila Development' (496-500 Brunswick Street) and the 'Office of Housing' site (502 Brunswick Street).
- Properties fronting Queens Parade can be categorised as fine grained small to medium sized residential lots (0- 600sqm), or large and extra-large allotments associated with recent medium density residential development, or industrial remnant sites including the North Fitzroy Gasworks Precinct which anchor the south-western portion of the Study Area.

Residential Edges

- Properties within the NAC (between Delbridge Street and Turnbull Street) have direct abuttal to residential land to the rear (NRZ within Heritage Overlay). There are instances where mid-block sites (commercially zoned) behind the NAC, providing an additional 'buffer' to its residential edge.
- Rear laneways (approximately 3m) provide physical separation between land fronting Queens Parade and its rear residential interface. However, these laneways are often not continuous.
- Along Newry, McKean and Hodgkinson Streets, residential allotments are generally 'small' to 'medium' in size (below 600sqm) with occasional parallel laneway access from the rear. Lots consolidation and subdivision are generally limited to residential lots between Napier and Delbridge Streets. Private open space for properties fronting these streets are often accommodated within the rear garden of varying sizes and configuration.
- Residential lots fronting local side streets are typically orientated east -west, typically separated from the commercial spine by existing laneways. Allotments are typically small (less than 300sqm). Interface to existing laneway are often presented with side elevation with, or without habitable windows.



Existing side elevation of 338 Queens Parade (viewed from Michael Street)



Figure 9: Lot Sizes Map

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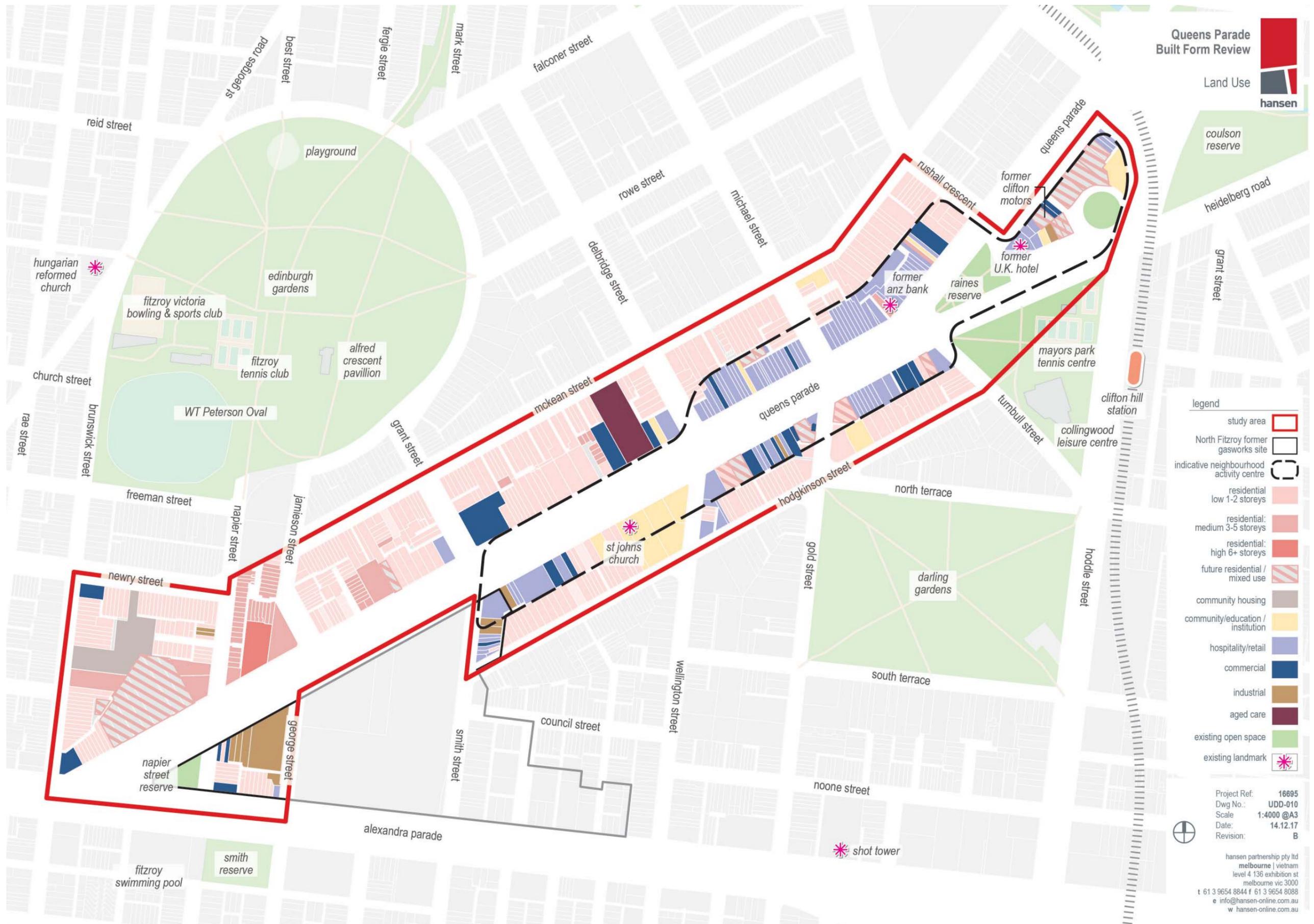


Figure 10: Lot Widths Map



Figure 11: Lot Depths Map

DRAFT



Queens Parade
Built Form Review

Land Use
hansen

- legend
- study area
 - North Fitzroy former gasworks site
 - indicative neighbourhood activity centre
 - residential: low 1-2 storeys
 - residential: medium 3-5 storeys
 - residential: high 6+ storeys
 - future residential / mixed use
 - community housing
 - community/education / institution
 - hospitality/retail
 - commercial
 - industrial
 - aged care
 - existing open space
 - existing landmark

Project Ref: 16695
 Dwg No.: UDD-010
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 Date: 14.12.17
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Figure 12: Land Use Map

Contextual Analysis

Subdivision Pattern



Existing laneway interface along Koormiel Lane (middle section)



Existing laneway interface along Koormiel Lane and Michael St junction



Existing side elevation of 662 Smith St (viewed from Hodgkinson St)

Built Form Implications

Critical observations and built form implications include:

- Large lots (determined by width and depth) are often more able to accommodate greater development opportunity as the off-site impacts can be minimised and managed. There is increased flexibility for wider sites to accommodate varied development footprints and to minimise excessive visual bulk from sensitive interfaces.
- Greater development potential can be accommodated on nominated strategic redevelopment sites, or 'Large' and 'Extra Large' sites (greater than 600sqm), where there is limited (or absence) of heritage and residential sensitivities.
- Moderated development potential on 'Small' allotments (less than 300sqm) with existing low rise (1-2 storey) heritage facade and direct abuttal to residential hinterland (NRZ).
- Within fine grained allotments, increased development opportunity exists for sites with 'Large' and 'Extra Large' lot depth (greater than 40m) as feasible floor plate can be accommodated behind upper level setbacks.
- For 'Small' site frontages (less than 10m), greater development potential can be achieved through lot consolidation.
- Typically, fine grain sites have limited capacity to accommodate side setbacks on one, or both sides. Party wall construction along common side boundaries is generally acceptable in this context.
- On corner sites (with heritage attribute), where side setback is often required along the primary and secondary street frontages, side setback requirement can possibly affect feasibility of the site to be redeveloped without consolidation.
- There is greater development potential for commercial properties without a direct residential interface. Such separation is provided by existing laneways, or mid-block allotments (in commercial zone) where reduced setbacks can be contemplated.
- Allotments with access to side/ rear laneways have greater opportunity to accommodate separated vehicular access with minimal, or no impact on the street frontage.
- Maximising ground level activation and ground level presentation to establish an inviting and high amenity urban environment while retaining most of the heritage fabric is a key influence in shaping the future urban form along Queens Parade.

Prospective key elements influencing built form framework:

- Optimise development potential on larger sites fronting the Boulevard, where the constraints of heritage/ residential sensitivities are limited.
- Encourage moderate development on smaller sites which may have a direct interface with residential land, or are affected by heritage conditions.
- Support greater development potential where lot consolidation, or amalgamation can be achieved, particularly in locations affected by fine subdivision grain.
- Recognise the limitations of narrow and shallow (less than 30m) lots in achieving upper level setback form, given minimum apartment (dwelling) dimensions defined in the Better Apartment Design Standards (BADs, Clause 58).
- Manage the profile of new development to avoid adverse impact to surrounding residential areas.

Contextual Analysis

Building Heights & Recent Development

- The NAC is generally characterised by low rise traditional fabric with larger form located on corner sites. The St John’s Church spire represents the tallest element (at approximately 44.5m) along the Queens Parade spine. The Queens Parade frontages are generally 1-2 storeys Victorian, Edwardian and later 19th to early 20th century buildings. Typically existing heritage buildings within the NAC are defined by parapet heights of 8-11m, usually the equivalent of 3 contemporary storeys.
- Corner forms along Queens Parade are particularly important for their heritage contribution to the streetscape/ precinct. Given the diagonal alignment of Queens Parade and perpendicular angled junctions with adjoining streets, corner sites should continue to perform a role of infill element in the broader streetscape.
- The north-eastern end of Queens Parade (NAC) has a greater concentration of early to mid-20th century single and double storeys buildings, including the Former U.K. Hotel (199 Queens Parade) and Clifton Motors Building (205-211 Queens Parade), both notable Art Deco buildings which are indicated, or currently being considered for inclusion into the VHR.
- Existing contemporary forms comprise medium density residential buildings in the form of attached townhouses and apartment (3- 6 storeys), and are primarily clustered around Napier, Jamieson and Grant Streets.
- Recently planning applications for development along Queens Parade are for taller and more intense building forms. Planning permits have been issued for buildings of up to 10 storeys that are currently under construction (VCAT approval) at 217-241 Queens Parade and 11 storeys (VCAT approval) at 243-247 Queens Parade. More recently, an application for 17 storeys at 249-265 Queens Parade has received Council’s approval with a height reduction at 14 storeys. These approvals are concentrated in location where there is an absence of existing heritage and residential sensitivity, noting large allotment sizes.
- To date, there are limited number of permit applications within the NAC, possibly due to small and narrow allotments, access constraints in absence of continuous rear laneways and concentration of heritage buildings. Furthermore, there are no development applications currently for residential allotments fronting McKean, Newry and Hodgkinson Streets.
- The broader area includes an eclectic mix of late 19th century through to mid-20th century residential, commercial and civic forms with some recent medium density residential infill. Pronounced skyline elements represented by the Shot Tower along Alexandra Parade, public housing high rise (20 storeys) further south east, Collingwood silo structures and developments (including the Porsche Sign Silos, Islington Silos and Northumberland Street silos). These latter industrial complexes range between 9-11 storeys in height and (by virtue of their proportion) have a strong sense of verticality set against their low rise context.



249-265 Queens Parade
(Council’s approval at 14 storeys)



243-247 Queens Parade - under construction
11 storeys (approved-VCAT)



217-241 Queens Parade- under construction
10 storeys (approved-VCAT)



205-211 Queens Parade & 6-12 Dummett Crescent
9-11 storeys (planning assessment)



101-103 Queens Parade
5 storeys (Council’s approval)



193 Queens Parade
5 storeys (Planning assessment)



26-56 Queens Parade
10 storeys (awaiting VCAT decision)



Rear 26-52 Queens Parade
4 storeys (awaiting VCAT decision)

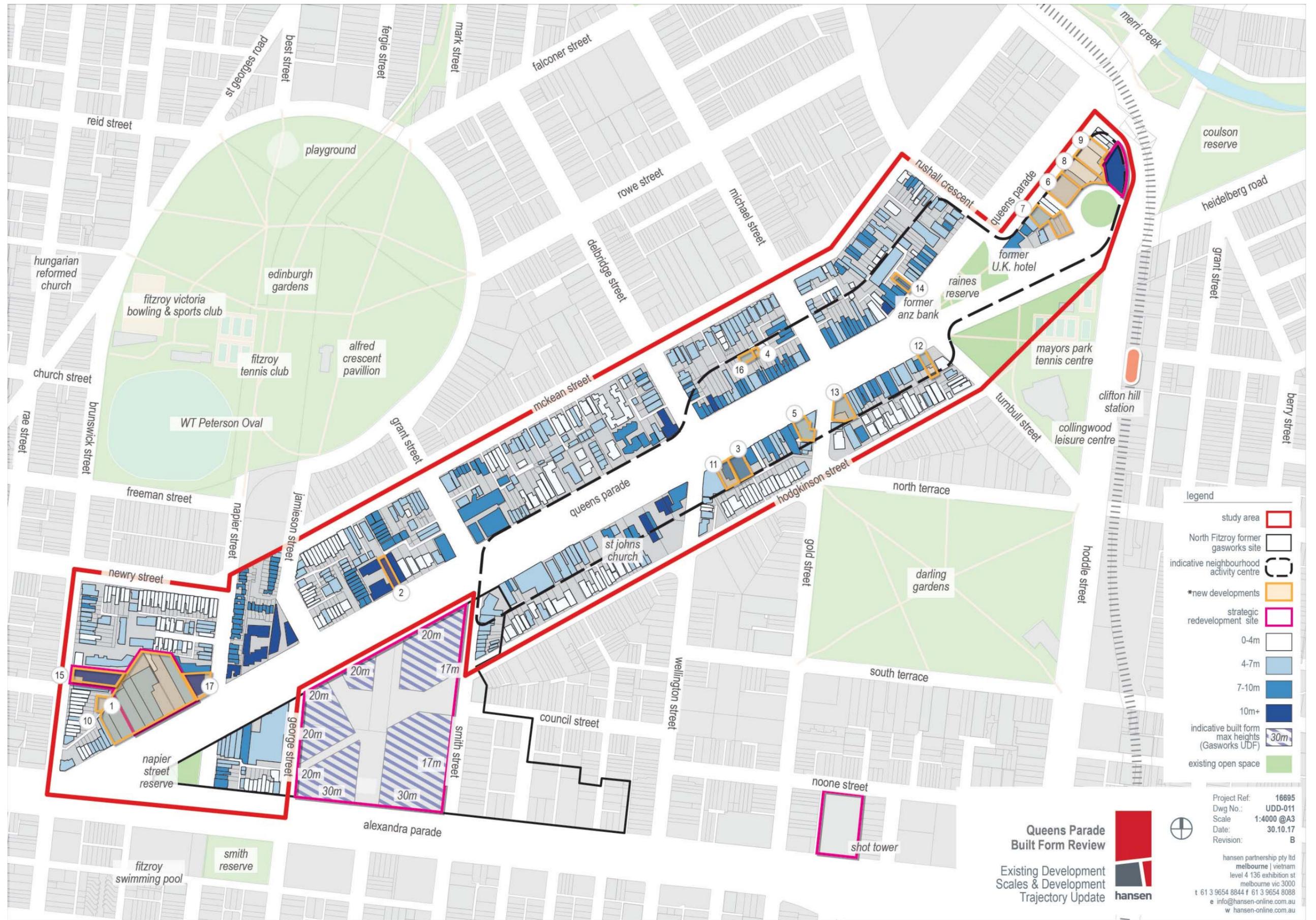


Figure 13: Building Heights & Development Trajectory Map *Refer to Table 2

Contextual Analysis

Building Heights & Recent Development

Table 2: Recent Development Approvals/ Proposals (refer to Figure 13)

Map No.	Application No.	Address	Proposed Development	Current Status
1	PLN16/0434	26-52 Queens Parade	10 storeys (31m)	Interim Order issued by VCAT, awaiting VCAT decision
2	PLN11/0906	142-146 Queens Parade	4 storeys	Approved
3	P1913/2017	101-103 Queens Parade	5 storeys (21.82m)	Planning Application
4	PLN16/0078	312 Queens Parade	3 storeys	Approved
5	PLN14/0209	137 -139 Queens Parade	4 storeys	Approved
6	PLN15/1101 PLN14/0989-06	217-241 Queens Parade	10 storeys (35.5m)	Under Construction
7	PLN16/0923	205-211 Queens Parade & 6-12 Dummett Crescent	9 and 11 storeys	Planning Application
8	PLN14/0311	243-247 Queens Parade	8 and 11 storeys (40.5m)	Under Construction
9	PLN16/0494	249-265 Queens Parade	17 storeys	Approved at 14 storeys
10	PLN16/0732	Rear 26-56 Queens Parade	4 storeys	Planning Application
11	PLN16/1097	97-99 Queens Parade	3 storeys (10.77m)	Planning Application
12	PLN16/1209	193 Queens Parade	5 storeys	Planning Application
13	PLN17/0718	141-147 Queens Parade	4 storeys	Planning Application
14	PLN17/0705	388-390 Queens Parade	5 storeys	Planning Application
15	PLN10/1057	496-500 Brunswick Street	5 storeys	Completed
16	PLN16/1201	Rear 304-308 Queens Parade	4 storeys	Planning Application
17	PLN160732	58-72 Queens Parade	5-6 storeys	Completed

Recent VCAT Proceedings

QPF Developments Pty Ltd v Yarra CC & Ors [2011] VCAT 1572 :
58-72 Queens Parade, North Fitzroy

- This case involves the proposal of a 5 storeys apartment building at 58-72 Queens Parade, North Fitzroy.
- The application lodged a failure to grant a permit within the prescribed time. If Yarra City Council were in a position to determine the application, it would have issued a notice of decision subject to conditions.
- A number of objectors held the view that proposed height was not consistent with the single, double and three storeys building heights in the area, particularly in Napier Street.
- The Tribunal found that the height, scale, building mass and design is an appropriate response to the policy and physical contexts of the site. Noting that the site is one of a few sites that abut a Strategic Redevelopment Site and not affected by a Heritage Overlay. The proposal is an appropriate fit to the emerging character of the area and does not detract from the tree lined ambience and character of the Queens Parade boulevard.

TLC Aged Care Pty Ltd v Yarra CC [2015] VCAT 1601 (6 October 2015):
217-241 Queens Parade, Fitzroy North

- VCAT refusal of an 11 storeys building with roof top garden and 3 levels of basement for an aged care facility. The proposal sought demolition of a building in a Heritage Overlay.
- Grounds of refusal based on failing to respond to the prevailing low rise built form and heritage context.
- The Tribunal determined that the proposal did not provide an appropriate transition with neighbouring buildings in a highly visible location when viewed from major roads and the surrounding neighbourhood. It did not provide architectural or sustainability design excellence to justify a building of this height, nor did it offer a social housing component.
- Permit issued 14 July 2016 for 10 storeys.

Intellect Projects Pty Lyd v Yarra CC [2012] VCAT 537:
137- 139 Queens Parade, Clifton Hill

- This is an application to partially demolish the existing building and construct a 4 storeys building at 137- 139 Queens Parade, Clifton Hill.
- The application was refused by the Responsible Authority on the grounds relating to heritage considerations.
- The site contains a 2 storeys hotel building which is identified as being individually significant.
- Yarra City Council and a number of objectors held the view that the key concern was the impact of the proposed upper most level (fourth floor) on the appearance and presentation of the existing hotel building.
- The Tribunal agreed with the Council and objectors that the proposed fourth floor will dominant the hotel building and detract from the building's prominence within and contribution to the heritage precinct.

Gurner 25-56 Queens Parade Pty Ltd v Yarra CC [2017] VCAT 1745:
25-56 Queens Parade, North Fitzroy

- This case involves the construction of a 10 storeys mixed use development comprising 295 dwellings (281 apartments and 14 townhouses). The arrangement of development comprises 4 tower elements above a 3 storeys podium. The application comprises 2 parcels; a main site (larger parcel) and rear site (smaller parcel) which are divided by a lane to the north west.
- The applicant made an application to the Tribunal given that Council did not decide within the prescribed period. Council decided that if it had been able to determine the application, it would have refused a planning permit.
- While there are a wide range of issues raised by Yarra City Council and a number of objectors, the Tribunal focused on two main issues:
 - Whether the development of the main site responds appropriately to the significance of the heritage place in which the main site is located.
 - Whether the development of the main site, particularly in its presentation to Queens Parade, responds appropriately to the relevant built form objectives in the scheme.
- At the time of this Review, the status of the VCAT proceeding is yet to be determined.

Contextual Analysis

Building Heights & Recent Development



58-72 Queens Parade
5-6 storeys (completed, approved at VCAT)



137-139 Queens Parade
4 storeys (unbuilt, approved at VCAT)

Built Form Implications

- Development interest around Dummett Crescent and Hoddle Street have the capacity for greater change given limited heritage and residential sensitivity.
- There is strategic support for increased development density and opportunity on Strategic Redevelopment Site at one of the Municipal entries. Future redevelopment of the site should transition to the Former UK Hotel landmark building.
- The eastern reach of the Study Area have recently experienced land amalgamation to accommodate taller mid rise forms (10 to 14 storeys).
- Generally, recent development approvals within the NAC have retained existing heritage facade. New street walls have typically matched the parapet height of adjoining heritage facade.
- Along sensitive residential interface (rear), recent developments within the NAC have typically adopted ResCode B17 envelope.
- Recent apartment approvals have generally observed a typical 4.5m setback from common boundaries (side and rear) above the street walls to achieve equitable development outcomes.
- Future development should minimise amenity impact onto existing development. A greater side, or rear setback may be required to achieve greater development opportunity.
- Existing contemporary apartment of a mid rise typology and townhouses (strata titled) has limited capacity to change in the long terms.
- The St John's Church complex and its tower profile continue to serve as important features in the streetscape, without any development potentially 'crowding in' or diluting its visual integrity, or prominence.

Prospective key elements influencing built form framework:

- Reinforce a consistent street wall presentation along Queens Parade, particularly for lots in commercial zone and in the NAC.
- Optimise development potential on larger sites along the Boulevard, with limited heritage/ residential sensitivities and on Strategic Redevelopment Sites.
- Ensure equitable development through appropriate side setbacks that allow for either 'common' party boundary walls, or otherwise, generous spacing for outlook.
- Manage the profile of new development to avoid adverse impact on adjoining residential land by adopting a rear transition embodied by the ResCode B17 envelope, or other agreed 'stepped' tests.

Contextual Analysis

Road Network & Circulations

The movement and connectivity network within the Study Area is dominated by the urban grid network of Clifton Hill and North Fitzroy. The Study Area itself is well- defined by main arterial roads including the Queens Parade spine, as well as Hoddle Street and Heidelberg Road (east), Brunswick Street (west) and Alexandra Parade (south).

Queens Parade

- Queens Parade is a 60m wide Category 1 roadway that runs diagonally between Brunswick Street to the west and Hoddle Street to the east.
- The 60m road reserve of Queens parade between Brunswick and Smith Streets accommodates 4 traffic lanes and parallel service roads on both sides and associated car parking separated by landscaping within central median.
- The Tram Route 86 runs along Smith Street and Queens Parade east, connecting the Activity Centre to Melbourne CBD to the south and Northcote to the north.
- There is a limited north – south movement across Queens Parade between Smith Street and Wellington Street due to change in levels between the main carriageway (including tram tracks) and the service lane.
- East of Gold Street and Michael Street, Queens Parade intersects with Heidelberg Road flyover, connecting the Study Area to Hoddle Street to the east.
- Access roads provide access for properties away from main thoroughfare.



Existing condition of parallel service road along Queens Parade

Local Streets

- Local streets are secondary north- south and east – west access roads within the Study Area.
- Within North Fitzroy (north of Queens Parade), local streets have a consistent width of 30m (except for Napier Street), comprising one traffic lane in each direction, dedicated bike lane, on street car park, central median and nature strip and pedestrian footpath on both sides. Examples of local streets within North Fitzroy includes Jamieson Street, Grant Street, Delbridge Street, Michael Street, Rushall Crescent and Newry and McKean Streets.
- The Collingwood urban grid and street network is extended further north beyond Alexandra Parade and within Clifton Hill (south of Queens Parade), local streets are generally more narrow with consistent width of 20m. Examples of local streets within Clifton Hill includes Smith Street, Wellington Street, Gold Street and Hodgkinson Street.
- Brunswick and Smith Streets accommodate public transport facilities including tram routes 112 and 86.



Existing service road along Queens Parade with limited north - south access

Laneways

- Some allotments within the Study Area have access to rear or side laneways.
- These laneways are varied in widths (3-4m) and have to date provided secondary egress points to facilitate car park access, or primary access for mid- block lots.
- It is noted that urban block north of Queens Parade generally has better access to laneways, predominantly from local streets.

Pedestrian Links

- The Clifton Hill railway station is located approximately 400m from the NAC, on the eastern side of Hoddle Street and pedestrian connections are available from Turnbull Street, or the pedestrian underpass across Heidelberg Road.
- Signalised pedestrian crossings are available at regular intervals east of Queens Parade between Smith Street and Rushall Crescent to facilitate pedestrian connection to existing median tram stops.
- Due to level changes and width of Queens Parade, there is limited north – south pedestrian movement.



Existing central median tram stop along Queens Parade

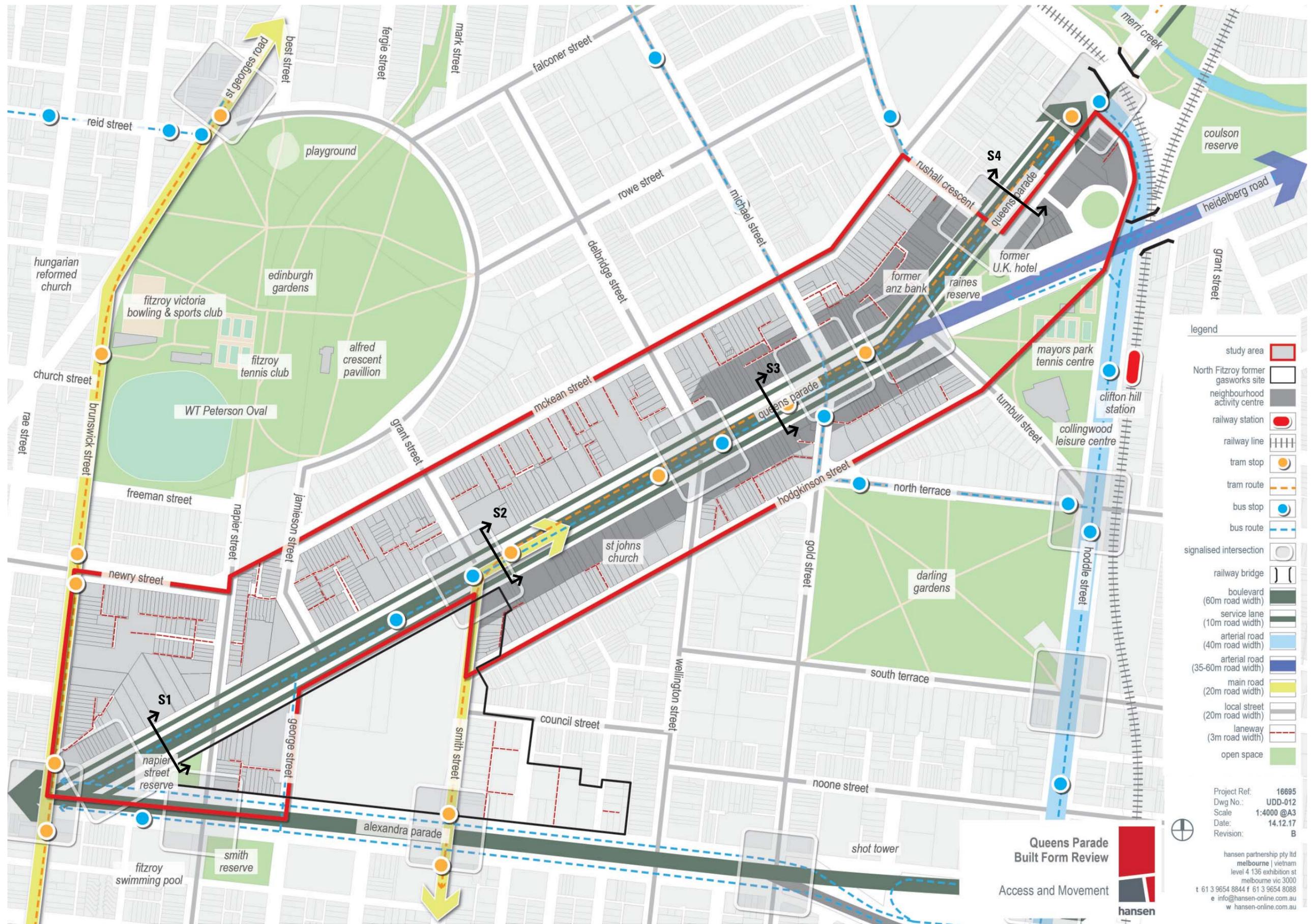
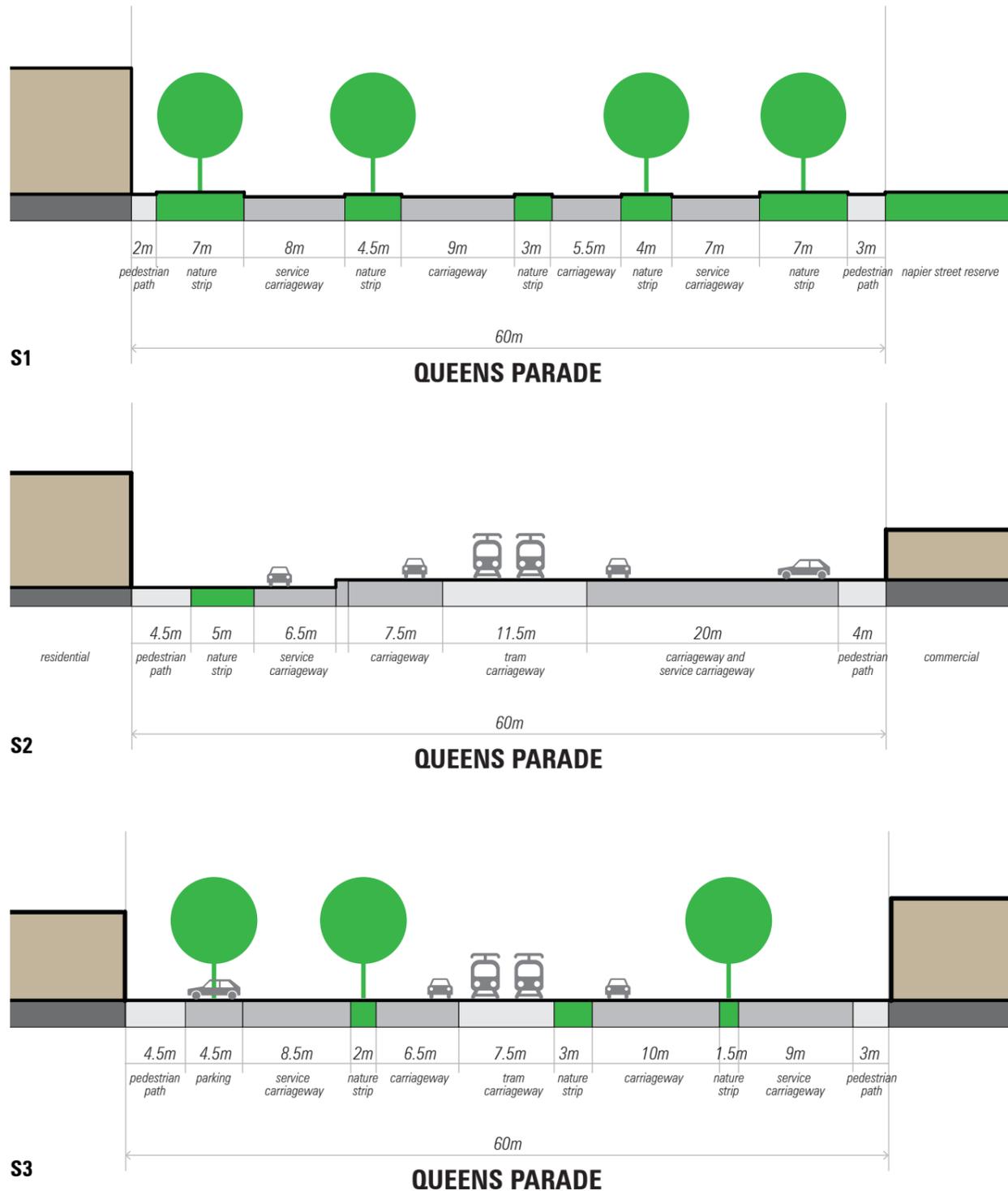


Figure 14: Access and Movement Map

Contextual Analysis

Road Network & Circulations

Queens Parade- Typical Sections



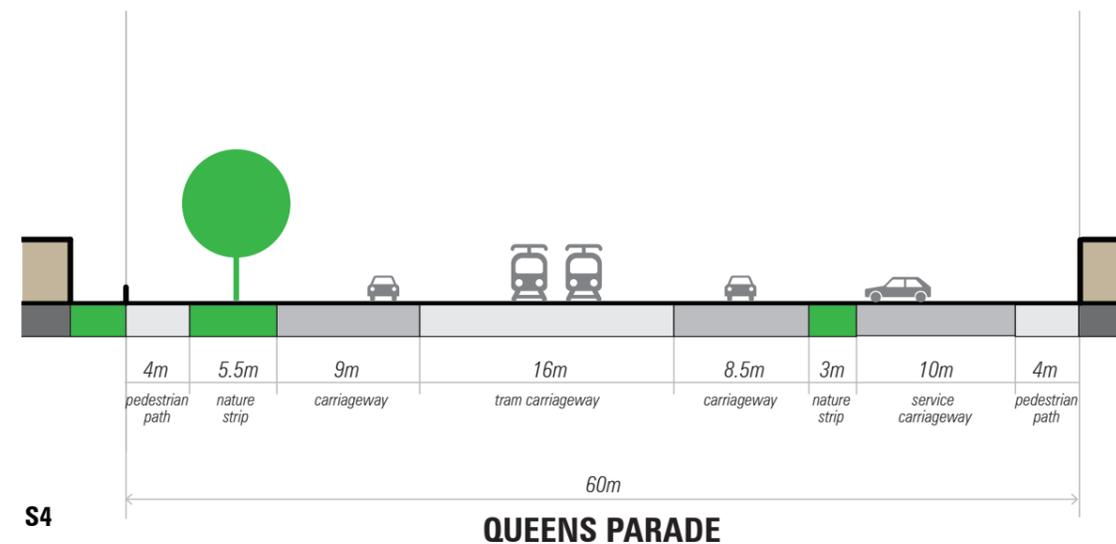
Built Form Implications

Critical observations and built form implications include:

- Streets within the Study Area could generally be categorised into 4 types:
 - Arterial road character: typified by Hoddle Street and Heidelberg Road.
 - Main road character: typified by Brunswick Street, Smith Street and the western part of Queens Parade.
 - Boulevard character: typified by Queens Parade and Alexandra Parade.
 - Local street character: typified by other streets with wide verges and nature strips.
- The oblique and long views to significant streetscapes (within the NAC) and landmarks are valued character attributes which are afforded by the generous road width along Queens Parade.
- Development potential can be enhanced with the provision of rear access via laneways or side streets, which maximises activation of the ground floor along Queens Parade.

Prospective key elements influencing built form framework:

- Retain the 'open' profile of Queens Parade, afforded by its width through setting back of upper level form where appropriate.
- Encourage vehicular access from rear laneway/ side streets to avoid intervention and interruption of street walls.



3.0

EXISTING CHARACTER AREAS

3.0 Existing Character Areas

Based on the preceding contextual analysis and the subsequent built form implications, the following precincts within the Study Area have been identified based on distinctive built form characteristics. Figure 15 on page 38 identifies the extent of each of the precincts, and potential constraints and opportunities:

Precinct 1: Brunswick Street Precinct

Precinct 1 defines the south-western corner of Queens Parade, anchored by the high quality heritage corner building which demarcates the entrance to Queens Parade and North Fitzroy more broadly. It currently comprises fine grain, low rise (predominantly 1-2 storeys) attached heritage fronting Brunswick Street and Queens Parade. Some buildings are setback from the streets to accommodate small front gardens or terraces, with primary open space and some car parking are accommodated within the rear backyards, abutting rear laneway. Recent development at 496-500 Brunswick Street (a Strategic Redevelopment Site known as 'Aquila'), is up to 6 storeys in scale. It is a contemporary mixed use form with a 2 storeys street wall and recessive upper levels behind, with car parking contained within the basement level.

Key Considerations

- Modest change accommodated on small allotments behind heritage form.
- Strengthen and retain the traditional facade height and setbacks.
- Notable heritage building demarcating the important corner site (at the Queens Parade and Brunswick Street junction) should retain the legibility of its heritage form along perpendicular side streets and along Queens Parade.
- Existing apartment development ('Aquila') has limited growth potential, or to change in the long terms.
- Refurbishment and protection of heritage buildings and its frontages (i.e. front setbacks).



Precinct 1B: Brunswick Street Precinct, Queens Parade

Precinct 2: Boulevard Precinct

Precinct 2 primarily comprises domestic and remnant industrial/ warehouse allotments (zoned C2Z) including existing attached terraces along Napier Street, currently used for residential purpose. A number of existing contemporary townhouse and apartments of 3- 5 storeys contribute to a 'renewal' character on the north side of Queens Parade, while responding to prevailing low rise residential surrounds (within Heritage Overlay). The existing Art Deco facade associated with the former K.G. Luke Pty Ltd. Electro plate manufacturers factory (part) at 26 Queens Parade defines the character of this precinct. Precinct 2 is hemmed in by low scale heritage forms to the north and west, which sits within the Fitzroy North heritage precinct (HO327). Properties fronting Queens Parade are generally low to mid rise, supporting the boulevard image of the corridor and associated established avenue planting. Avenue trees and the adjacent service road along Queens Parade create a strong streetscape character that is different to the more open and exposed Alexandra Parade condition.

Key Considerations

- Limited future opportunity on existing contemporary 5-6 storeys infill apartments in the long term.
- Greater development opportunity on large allotments with no heritage constraint.
- Continue the contemporary built form character established by recent mid rise infill that is respectful of its heritage context.
- Ensure a compatible scale transition to adjacent fine grained residential areas.
- Ensure the intensity and image of the Heritage Overlay intact heritage residential streetscape characters along Newry and McKean Streets.



Precinct 2A: Boulevard Precinct, Queens Parade

- Limit the profile of new development in the skyline and retain attractive long range views to the CBD to the south.
- Future development should take into consideration its broader visual impact including not substantially intervene into key view lines, such as the CBD views from Edinburgh Gardens.
- Ensure new development does not overwhelm, or diminish the civic quality of Queens Parade boulevard.
- Recognise the absence of rear laneways to facilitate vehicular access away from Queens Parade.
- Strengthen the street wall height datum established by existing heritage street walls.
- Ensure visual dominance of the street trees in Queens Parade to maintain a 'boulevard' effect and a unifying character along its southern extent despite the widely varied existing building stock.
- Realise improved activation to Queens Parade south and define a 'continuous' address and uniform 'infill' format to the north side of the streetscape.
- Opportunity for taller development on larger allotment, shaped so as to limit the extent of overshadowing of the Queens Parade avenue and other local open space including the Napier Street reserve and established residential precinct.
- Realise appropriate transition from taller development (where opportunities exist on larger sites) to existing heritage asset within, or outside the Study Area boundary.



Precinct 2D: Heritage terraces along Napier Street

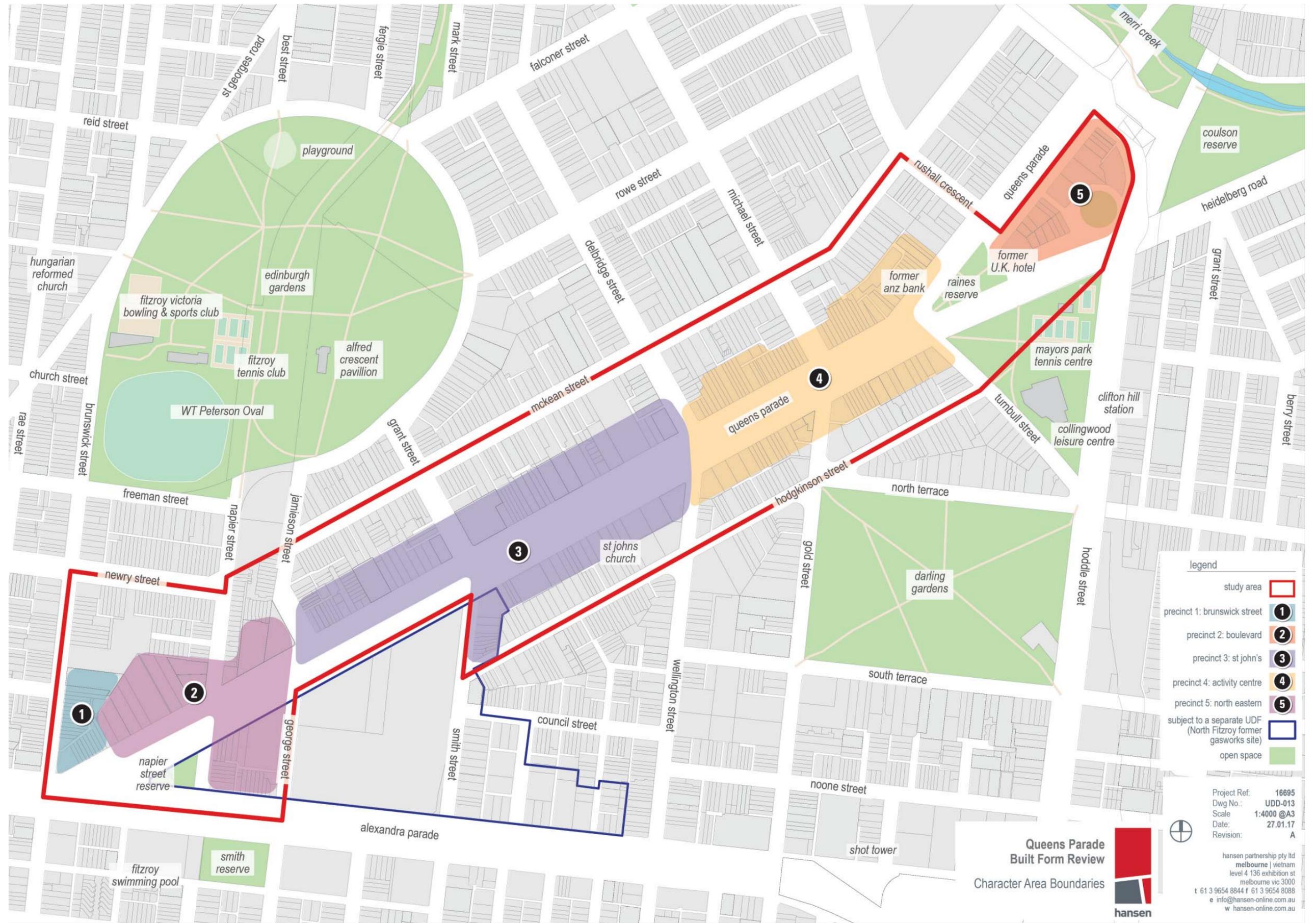


Figure 15: Built Form Character Areas Map

3.0 Built Form Character Areas

Precinct 3: St John's Precinct

Precinct 3 is primarily dominated by residential use fronting Queens Parade and the St John's Church complex but also includes a defined commercial cluster of the terminus of Smith Street. The prominence of the St John's Church belfry and spire is a key visual landmark within this precinct given its position on high ground (around Delbridge and Wellington Streets).

Existing built form is generally low-rise (up to 3 storeys) and varied in typology and architectural era including Victorian, Edwardian, Art Deco, large format commercial forms and some recent contemporary medium density residential construction (primarily at the north western section of Precinct 3).

The streetscape presentation of this part of Queens Parade is 'open' in an absence of the double avenue planting. However, the provision of central median tram track limits north - south movement and reinforces a sense of separation between the north and south sides of the street.

Key Considerations

- Inconsistent street wall facade due to varied setbacks.
- Limited future change on residential zoned land (acknowledged by Neighbourhood Residential Zone).
- Protection of unobstructed key view lines to St John's Church belfry and spire.
- Low scale, domestic attached and detached heritage buildings define character of this part of the corridor.
- Retention of existing heritage buildings.
- Opportunity to accommodate varied, or taller street walls along the northern end of Smith Street and along Queens Parade (non contributory sites) provided view to the St John's belfry and spire are retained.
- Provide transition between potential future development at the North Fitzroy Gaswork Site (south) and the St John's Church complex.



Precinct 4: Activity Centre Precinct, Queens Parade

Precinct 4: Activity Centre Precinct

Precinct 4 comprises a more consistent fine grain streetscape of Victorian and Edwardian shopfronts of 1-3 storeys scale and bookended by notable heritage corner forms. The heritage streetscape is highly intact, with limited recent alterations.

The former ANZ Bank (370 Queens Parade) represents a prominent heritage form in the streetscape, framing the change in Queens Parade alignment and terminating view line along Turnbull Street.

Rear laneways and mid-block allotments exist behind some of the heritage forms to the north and south, providing vehicular access to private car parking and garages to commercial and residential lots.

The streetscape experience along this part of Queens Parade is generally open given the absence of the double avenue planting and low scale heritage forms. The role, however, of the tram line continues to separate the north and south side of the corridor.

Key Considerations

- A more moderate opportunity for change within fine grain sites given heritage values and narrow frontage widths, with only occasional laneway access.
- Heritage significance will strongly influence (and may restrict) future development both on heritage listed sites and adjacent land.
- Potential loss of fine grain subdivision grain through lot consolidation.
- Width of Queens Parade means that future additions are more visible above street wall than along narrower streets.
- The need to ensure a sympathetic scale transition to adjacent fine grained residential areas behind.
- Compliment and connect the street wall height established by existing heritage street walls.
- A modest degree of change could be accommodated on small allotments, but to be subservient to main heritage facade.
- Realise partial activation of the rear laneway and back of house areas.
- Restore and repair traditional street walls and other features of heritage buildings.
- Highlight viewlines to corner heritage buildings.

Precinct 5: North Eastern Precinct

Precinct 5 is recognised as an 'island' precinct given its location surrounded by three major roads (Queens Parade, Hoddle Street and Heidelberg Road) and set behind layers of service roads.

The existing fabric of low scale showrooms and commercial buildings fronting Queens Parade, Hoddle Street and Dummett Crescent (service road) has the greater capacity to change given its zone and localised attributes. There is a degree of consistent street wall presentation along Queens Parade (south of Dummett Crescent) but a more ad-hoc presentation elsewhere. Dummett Crescent and Hoddle Street are currently perceived as the 'back of house' to the urban block.

Art Deco buildings define the heritage character of this precinct, in particular to the west with the Former United Kingdom Hotel (currently McDonald's) demarcating the important junction between Queens Parade and Heidelberg Road, as well as the Former Clifton Motors Building which is located mid-block.

Recent development approvals (under construction and unconstructed) demonstrate the precinct's capacity to accommodate change, befitting of its strategic location proximity to public transport hub (Clifton Hill Station), recreational facilities (Mayors Park) and an absence of immediate sensitive residential abutments.

Key Considerations

- The potential impact on the amenity of key open spaces.
- Poor activation and address at ground level fronting both Queens Parade, Heidelberg Road and Hoddle Street.
- Unusual subdivision pattern and lot shapes and sizes.
- The abutments to major road and bridge infrastructure.
- Maintaining the presence of notable corner heritage building demarcating the important corner site.
- Ensuring an acceptable and gradual transition to existing heritage forms.
- Establish a visual and contemporary urban presentation to the Hoddle Street junction at the Municipal threshold while still recognising the contextual attributes of the precinct, including significant heritage buildings further south.
- Exposure to Hoddle Street (and ramps), Heidelberg Road and further north beyond the creek corridor.
- Opportunity for slender projection to be located away from heritage sensitivity, closer to Hoddle Street and Heidelberg Road frontages with minimal visual impact along Queens Parade, or Raines Reserve.
- Opportunity to establish varied street interface condition to Dummett Crescent and Hoddle Street with taller street walls.
- Establish a built edge to Hoddle Street that recognises the precinct's role to define Yarra's municipal boundary
- Restore heritage facades and establish infill that can activate an isolated parcel.

4.0

BUILT FORM FRAMEWORK CONCEPT

4.0 Built Form Framework Concept

Framework Principles

Statement of Intent

Queens Parade is a key diagonal boulevard in Yarra's north east which defines a critical undulating passage through Clifton Hill and North Fitzroy on approach to Yarra's traditional main road grid (comprising Alexandra Parade, Smith Street, Brunswick Street).

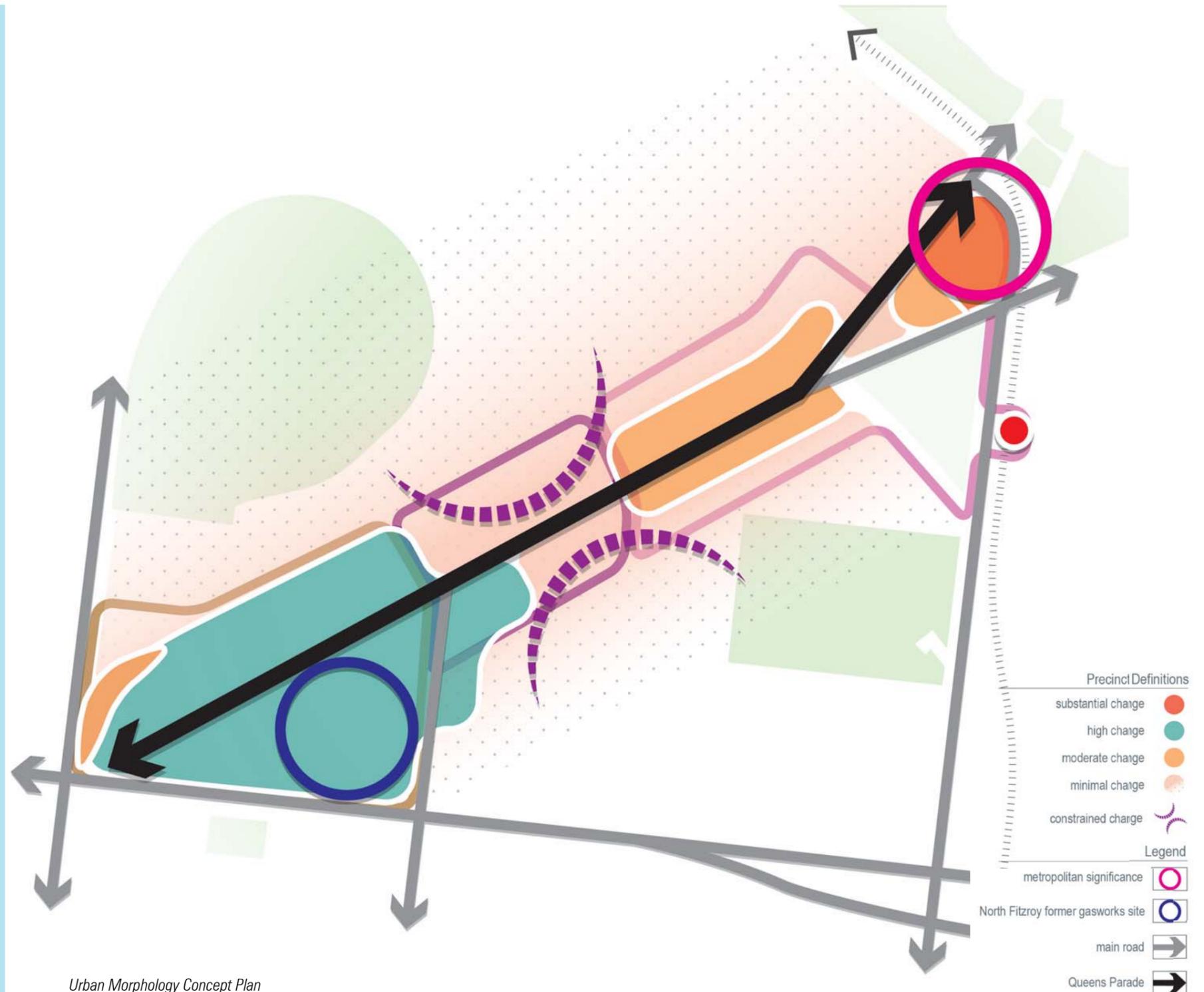
In response to typically varied fabric of the corridor (comprising Neighbourhood Activity Centre, Strategic Redevelopment Sites and established heritage residential neighbourhoods) **the future profile of the Parade will build on its very diversity.** This includes:

- Notable high density development in a concentrated cluster to the north east at the major metropolitan junction with Hoddle Street.
- Moderate evolution of the Clifton Hill NAC commercial precinct that supports protection of its valued heritage frontage.
- Strengthening of the Parade's boulevard qualities at the south western precincts, reinforced by mid rise development that respects the skyline profile of Yarra's heritage context.
- Reinforcing the integrity of traditional (heritage) residential subdivision and building stock typically on rising land around St John's Church in the 'neck' of the corridor.

Emanating from this Statement of Intent are **5 Built Form Principles** which underpin the urban morphological concept illustration.

Built Form Framework Principles

- 1** Acknowledge different precincts along Queens Parade defined by their heritage contexts.
- 2** Recognise and strengthen key view lines to key landmarks and structures.
- 3** Encourage built form outcomes that foster the character of each precinct.
- 4** Strengthen the sense of arrival into Queens Parade at its municipal gateway.
- 5** Respond to sensitive residential streetscape and interfaces.



Urban Morphology Concept Plan

4.0 Built Form Framework Concept

Preferred Future Character

Key Elements Influencing the Built Form Framework

The following preferred future character statements set out the urban form ambitions for each of the defined precincts, influenced by local existing conditions and the following key urban design determinants (underpinned by the preceding contextual analysis in Chapter 2), including:

Strategic Context

- Optimise development potential on larger sites along the Boulevard, with limited heritage/ residential sensitivities and on Strategic Redevelopment Sites.
- Encourage moderate development on smaller sites which may have a direct interface with residential land, or are affected by heritage conditions.
- Support greater development potential where lot consolidation, or amalgamation can be achieved, particularly in locations affected by fine subdivision grain.
- Recognise the limitations of narrow and shallow (less than 30m) lots in achieving upper level setback form, given minimum apartment (dwelling) dimensions defined in the Better Apartment Design Standards (BADs, Clause 58).

Heritage Significance

- Reinforce the prevailing traditional 2 storeys street wall profile of the NAC along Queens Parade.
- Retain the valued attributes of heritage buildings (i.e. Facade, setbacks, verandahs, chimneys, etc).
- The proportion of visibility of upper levels can be managed by applying varied upper level to heritage street wall principle.
- Future development should respond to individually significant heritage buildings.

Key View Lines

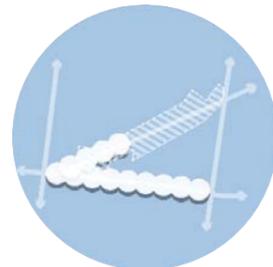
- Retain key view lines to landmarks including:
 - St John's belfry and spire from Queens Parade & Smith Street junction.
 - Former ANZ Building from Queens Parade & Wellington Street junction.
 - Former ANZ Building from Queens Parade & Gold Street junction.

Streetscape Character

- Reinforce a consistent street wall presentation along Queens Parade, particularly for lots in commercial zone and in the NAC.
- Retain visual dominance of the double avenue of trees along the south western part of Queens Parade and the sense of 'openness' elsewhere.
- Retain the 'open' profile of Queens Parade, afforded by its width through setting back of upper level form where appropriate.
- Respect the aspect/ outlook from heritage streetscapes in residential areas beyond the Study Area.
- Encourage vehicular access from rear laneway/ side streets to avoid intervention and interruption of street walls.

Amenity Impacts

- Manage the profile of new development to avoid adverse impact on adjoining residential land by adopting a rear transition embodied by the ResCode B17 envelope, or other agreed 'stepped' tests.
- Shape prospective redevelopment to avoid overshadowing or amenity impact on pedestrian space/ open space.
- Ensure equitable development through appropriate side setbacks that allow for either 'common' party boundary walls, or otherwise, generous spacing for outlook.



Understanding the Level of Anticipated Change

The following criteria were used to determine varying degree for change for each precinct to influence its preferred future character. It is noted that this work is not supported by any capacity or yield/ demand analysis.

Level of Anticipated Change	Criteria	Preferred Typology
Minimal Change	<ul style="list-style-type: none"> Recently developed, or strata titled Within residential land (NRZ) 	<ul style="list-style-type: none"> Retain existing
Moderate Change	<ul style="list-style-type: none"> Small to medium allotments Presence of low rise (1-2 storeys) contributory, or individually significant heritage forms on site Within a significant heritage streetscape context Proximity to sensitive residential abutments/ interface (NRZ within Heritage Overlay) Presence and/ or retention of viewlines to key landmark buildings 	<ul style="list-style-type: none"> Retain significant and contributory heritage forms Low to mid rise infill
High Change	<ul style="list-style-type: none"> Strategic Redevelopment Site designation Limited impact on viewline to key landmark buildings Large allotments, with greater opportunity to achieve consolidated land holding Limited heritage sensitivity Limited residential sensitivity Addresses (primary and/or secondary) to arterial roads including Alexandra Parade, Heidelberg Road and Hoddle Street Existing mid rise forms (3 to 5 storeys) 	<ul style="list-style-type: none"> Retain significant and contributory heritage forms Mid rise infill
Substantial Change	<ul style="list-style-type: none"> Strategic Redevelopment Site designation No Heritage Overlay No residential sensitivity Large allotments with multiple point of access and addresses Limited amenity impact to public realm Existing (under construction/ approved) taller mid rise development 	<ul style="list-style-type: none"> Tower infill

4.0 Built Form Framework Concept Preferred Future Character

Preferred Future Character

This Review identifies 5 distinct precincts along Queens Parade, each with different spatial qualities and characteristics. There are opportunities for more considerable development to be accommodated in certain precincts as distinct from a more tempered response where heritage and residential sensitivities exist. The preferred future character statements for each precinct is set out below (refer to Figure 16).

Precinct 1: Brunswick Street Precinct

Moderate infill setback behind fine grained heritage frontages.

Properties fronting Brunswick Street and turning the corner to Queens Parade will continue to be defined by fine grained low scaled heritage buildings with the opportunity for moderate future infill behind the main heritage frontage, supported by rear lane access. The heritage building on the corner of Brunswick Street and Queens Parade should retain primacy.

Summary of preferred outcomes

- Anticipated change: moderate.
- Preferred typology: low rise infill.
- Preferred maximum building height: 9m on properties fronting Brunswick Street and Queens Parade (typical).

Precinct 2: Boulevard Precinct

Consolidated mid rise infill addressing the boulevard and its sensitive heritage context.

The designated strategic redevelopment site and other large (former industrial and warehouse) parcels fronting either side of Queens Parade and Alexandra Parade will realise consolidated infill that reinforces the strong heritage and boulevard character of the streetscape with a transition down to the established surrounding heritage neighbourhood. The profile of redevelopment will complement Yarra's acknowledged heritage skyline and be sensitive to views from Newry Street and the Edinburgh Gardens.

Summary of preferred outcomes

- Anticipated change: high to minimal.
- Preferred typology: mid rise infill.
- Preferred maximum building height:
 - 28.5m to 31m on strategic redevelopment sites, and
 - 18m on heritage sites along Napier Street.

Precinct 3: St John's Precinct

Mixed residential heritage fabric with renewal and infill potential around the Smith Street junction.

The varied pattern of subdivision to either side of Queens Parade as it rises to St John's Church complex will retain a consistent heritage character, with a discrete opportunity for moderate consolidation around the Smith Street junction. Redevelopment of this commercial precinct will be shaped by its relationship to the adjoining Former Gasworks Site and an effective transition to heritage residential land (south and east), while retaining the primacy of the St John's Church landmark and view to its tower, as well as paying regards for heritage buildings along Smith Street.

Summary of preferred outcomes

- Anticipated change: moderate and minimal.
- Preferred typology: mid rise infill.
- Preferred maximum building height: 18m.

Precinct 4: Activity Centre Precinct

Recessive upper level redevelopment behind a heritage commercial streetscape.

The diverse arrangement of heritage buildings (varied eras, scale, subdivision grain and profile) in the Queens Parade, Clifton Hill NAC will be retained as the predominant feature, with the potential for redevelopment to include additional upper level. Sympathetic upper level infill will reinforce the street wall definition, subdivision grain of the significant streetscape and transition down to residential abutments to the rear. The profile of upper level redevelopment should acknowledge the importance of significant heritage corner forms and retain key view line to the local landmark (former ANZ Building).

Summary of preferred outcomes

- Anticipated change: moderate.
- Preferred typology: mid rise infill.
- Preferred maximum building height: 18m.

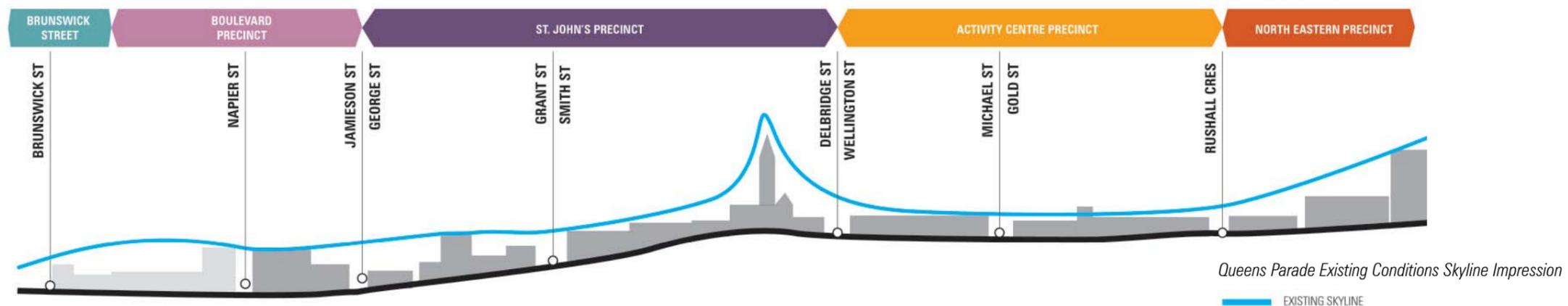
Precinct 5: North Eastern Precinct

Concentrated taller mid rise form on an island precinct defining the Municipal threshold.

The discrete pocket of mixed use land bound by Queens Parade, Heidelberg Road and Hoddle Street serves as a junction of Metropolitan presence and will accommodate taller, contemporary form on larger unencumbered sites (heritage and residential abutments). Commensurate with its subdivision grain, development opportunity and form will gradually transition down to the south west with regard for State- significant heritage buildings (and potentially Former Clifton Motors and UK Hotel). Land to the north east of Dummett Crescent will define a new urban character of taller forms contributing to the Yarra skyline, while retaining the prominence of the Former UK Hotel building from the southern reaches.

Summary of preferred outcomes

- Anticipated change: moderate to substantial.
- Preferred typology: mid rise infill.
- Preferred maximum building heights:
 - 18m on heritage site.
 - up to 27m south of Dummett Crescent, and
 - up to 45m on strategic redevelopment site north of Dummett Crescent.



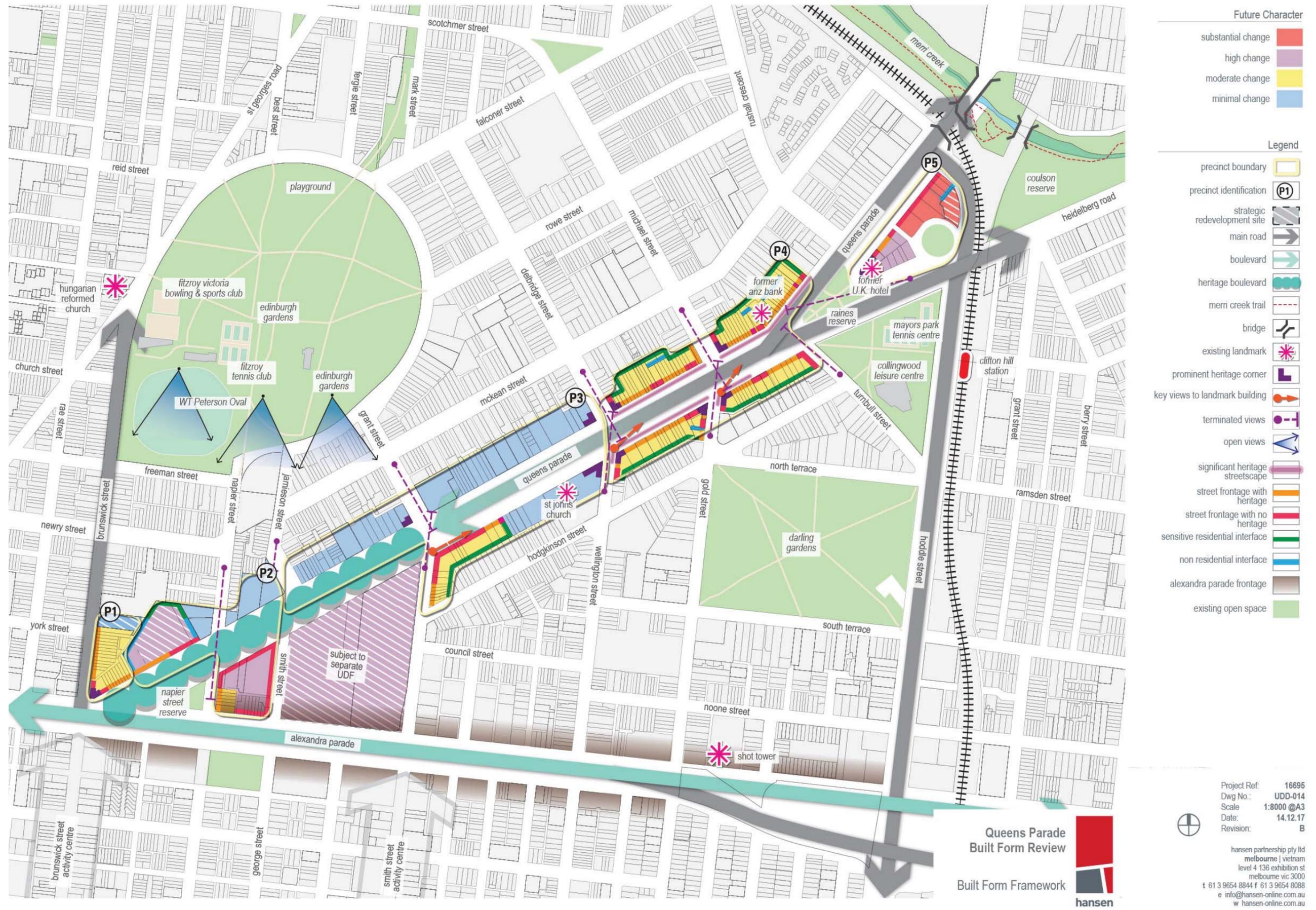


Figure 16: Built Form Framework Map

5.0
PRECINCT GUIDELINES

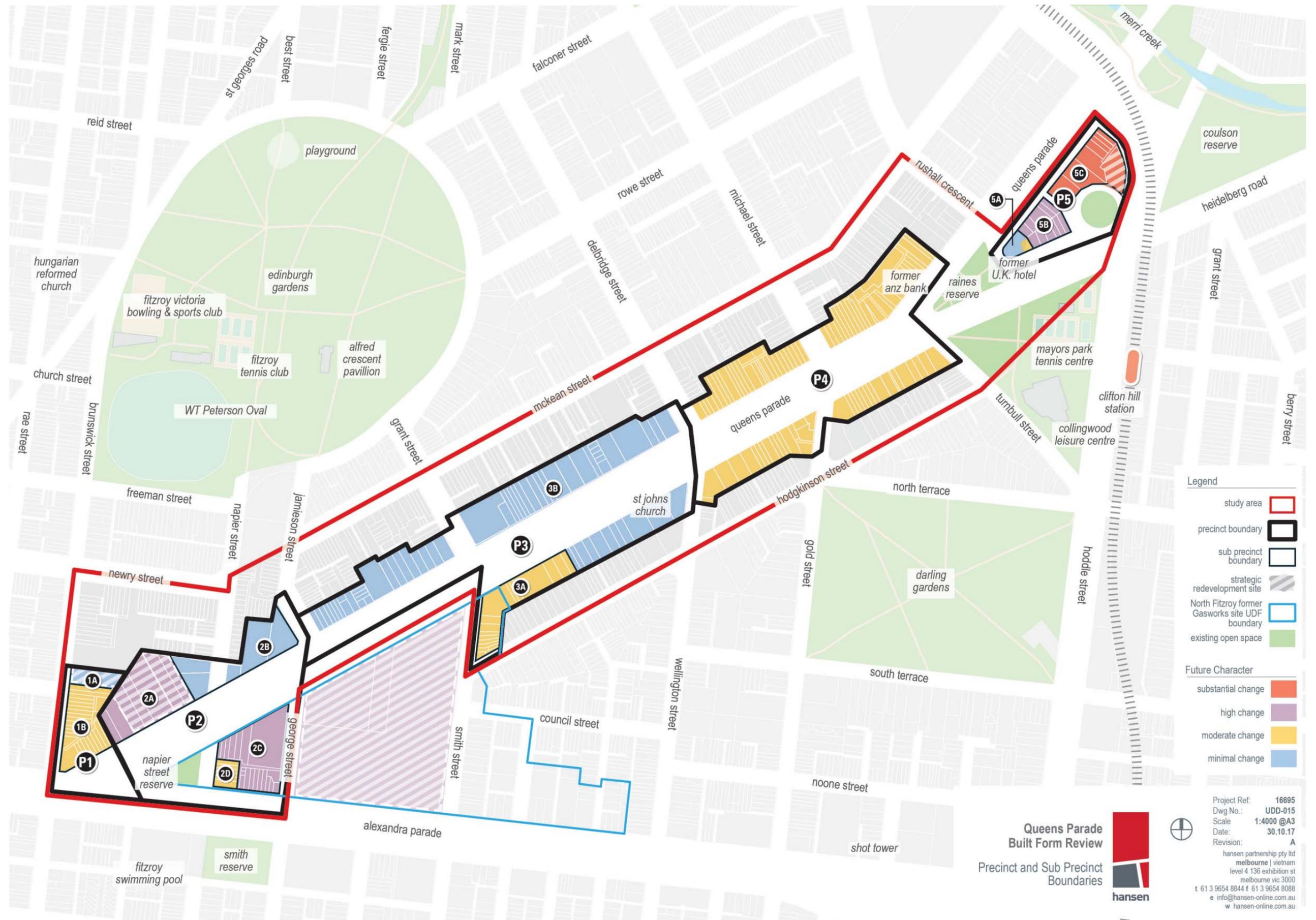


Figure 17: Precinct And Sub Precinct Boundaries Map

5.0 Precinct Guidelines

Built Form Recommendations

- A range of specific built form recommendations and design guidelines have been developed for all precincts.
- The built form guidelines focus on the following 5 precincts (refer to Table 3- Summary of Built Form Guidelines), where future development is anticipated and requires design guidance.
- The shaping of building heights within Queens Parade have been influenced by many factors, including:
 - Practice Note No.60 - Height and Setback Controls for Activity Centre;
 - Practice Note No.59- The Role of Mandatory Provisions in Planning Schemes;
 - Anticipated form outside the Study Area (i.e. Residential Zone);
 - Council adopted North Fitzroy Former Gasworks Urban Development Framework (2008);
 - Views to existing landmarks from the public realm;
 - Transitional relationships – especially to and around traditional or heritage elements and sensitive residential;
 - Recognition of Yarra’s heritage skyline;
 - Strategic Redevelopment Sites identified in Clause 21.03 of the Yarra Planning Scheme;
 - Recent development approvals (including those currently under construction) - refer to page 28 of this report;
 - 3-Dimensional computer modelling of built form testing for the Study Area (refer to Appendix A);
 - Heritage and existing character considerations, consistent with heritage advice and advice provided by heritage advisors (GJM Heritage); and
 - Extensive site inspections and workshops with Council’s officers.

Formula for Deriving Numerical Building Heights

The maximum building height has acknowledged the higher floor to floor heights typically found in heritage buildings (between 8-11m), with further allowance for other design elements usual to buildings (parapets, railings, etc) as follows:

- Ground floor: 4m/ floor
- Level 1 and above: 3.5m/ floor

It is noted that higher numerical floor levels for mixed use development where reduced floor to floor height requirement exist for residential use (typically measured at 3m-3.1m/ level). The Review has not precluded the opportunity for non- residential use to be accommodated within the upper levels (above ground and level 1).

Mandatory and Discretionary Height & Setback Controls

PPN59 notes that the VPPs are predominantly performance-based and that mandatory provisions are the exception. The Built Form and Heritage Analysis and Recommendations have identified some areas where mandatory controls can be contemplated on the basis of urban design and heritage attributes as follows:

- Maximum building height** on sites which have the capacity to influence Yarra’s acknowledged heritage skyline, heritage streetscape along Newry Street and heritage boulevard along Queens Parade.
- Protection of **key views to heritage landmarks** including:
 - St. John’s Church belfry and spire from the Smith Street intersection.
 - The former ANZ Bank building (upper level and roof) from the Gold Street and Wellington Street intersections.
- Protection of parts of Queens Parade identified as a **‘significant heritage streetscape’**.

Basis of Height Parameters

In most locations, preferred maximum building heights have been derived with regard to the necessary street wall height, front upper level setback and rear boundary transition conditions - noting a minimum dwelling depth of 10-12m. It has also been determined on heritage sites by proportional relationships between intact front elevations (street walls) and the upper form.

Upper Level Setbacks Behind Street Walls

In commercial areas, almost all urban design guidelines seek to introduce a ‘street wall’ and ‘upper level front setback’ measure. The purpose of such setbacks are to ensure predominance of any traditional parapet while also seeking to reinforce view lines to local landmarks from key vantage points.

Generally, and subject to the street wall conditions and heritage advice, a setback distance of 6m (to built form and balconies) is preferred. This allows for preservation of the heritage ‘volume’, and ensures a viable ‘articulation zone’ in the elevation with spatial separation between the street wall frontage and upper levels behind.

A 6m default setback also allows for usable terrace or outdoor space above the street wall parapet. In particular locations, the proposed setback behind the podium maybe reduced in the absence of heritage and residential sensitivities, or increased on sites with individually significant heritage forms, or key landmark views (Refer to Queens Parade Built Form Heritage Analysis & Recommendations - GJM Heritage).

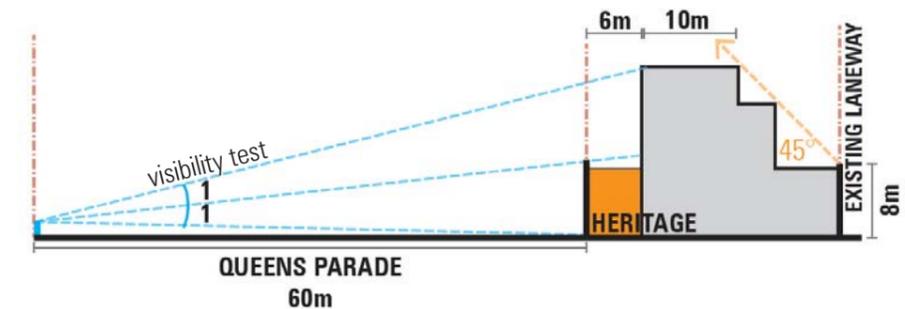


Table 3: Summary of Built Form Guidelines

Precincts	Sub-Precincts	Anticipated Change	Preferred Typology	Preferred Maximum Building Heights
Precinct 1: Brunswick Street Precinct <i>Moderate infill setback behind fine grained heritage frontages.</i>	1A	minimal	retain existing	retain existing
	1B	moderate	low rise infill	9m (up to 3 storeys residential)
Precinct 2: Boulevard Precinct <i>Consolidated mid rise infill addressing the boulevard and its sensitive heritage context.</i>	2A	high	mid rise infill	31m (up to 10 storeys residential)
	2B	minimal	retain existing	retain existing
	2C	high	mid rise infill	28.5m (8 storeys)
	2D	moderate	mid rise infill	18m (5 storeys)
Precinct 3: St John’s Precinct <i>Mixed residential heritage fabric with renewal and infill potential at the Smith Street junction.</i>	3A	moderate	mid rise infill	18m (5 storeys)
	3B	minimal	retain existing	retain existing
Precinct 4: Activity Centre Precinct <i>Recessive upper level redevelopment behind a heritage commercial streetscape.</i>	4	moderate	mid rise infill	18m (5 storeys)
Precinct 5: North Eastern Precinct <i>Concentrated taller mid rise form on an island precinct defining the Municipal threshold.</i>	5A	minimal to moderate	retain existing and mid rise infill	18m (5 storeys)
	5B	high	mid rise infill	28.5m (8 storeys)
	5C	substantial	tower infill	49.5m (14 storeys)

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Queens Parade
Built Form Review

Precincts 1 & 2



Legend

- precinct boundary
- sub precinct boundary
- boulevard
- strategic redevelopment site
- existing open space

Future Character

- high change
- moderate change
- minimal change

Interfaces

- street frontage with heritage*
- street frontage with no heritage**
- residential interface with laneway
- residential interface with no laneway
- non residential interface with no laneway
- heritage corner

refer to site specific setback as recommended by GJM Heritage (Chapter 12 of the Queens Parade Built Form Heritage Analysis & Recommendations, Dec 2017)

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* Properties within Heritage Overlay (HO) with existing contributory and significant buildings
 ** Properties within Heritage Overlay (HO) with non contributory buildings / vacant

Figure 18: Precinct 1 & 2 Framework Plan

5.0 Precinct Guidelines

Precinct 1: Brunswick Street

Moderate infill setback behind fine grained heritage frontages.

Preferred Character Statement for Precinct 1

Properties fronting Brunswick Street and turning the corner to Queens Parade will continue to be defined by fine grained low scaled heritage buildings with the opportunity for moderate future infill behind the main heritage frontage, supported by rear lane access. The heritage building on the corner of Brunswick Street and Queens Parade should retain primacy.

Summary of preferred outcome

- Anticipated change: moderate
- Preferred typology: low rise infill
- Preferred maximum building height: 9m (up to 3 residential storeys) on properties fronting Brunswick Street and Queens Parade (typical).

Precinct 1B

Built Form Objectives

- To encourage moderate infill development that is setback behind the traditional street frontage of Brunswick Street and Queens Parade that respects the prevailing streetscape character and subdivision grain (Clause 21.05).
- To reinforce the heritage value of the precinct and support the retention of the traditional street frontages, including street setbacks, facades and subdivision pattern (Clause 21.05, 22.02, 22.10).
- To retain the primacy of the significant heritage form on the Brunswick Street and Queens Parade corner (Clause 22.02).
- To encourage future vehicle access and services be provided off rear laneway (Clause 22.07).
- To ensure visually recessive, high quality and sympathetic upper level elevations that are exposed to the public domain (Clause 22.10).

(Refer to Figure 18: Precincts 1 & 2 Framework Plan)

Built Form Guidelines- Precinct 1B (Refer to Precinct Framework Plan on page 48)		
Built Form Elements	Requirements	Objectives
Building height	<ul style="list-style-type: none"> ▪ 9m (up to 3 storeys residential) for properties fronting Brunswick Street and Queens Parade. 	<ul style="list-style-type: none"> ▪ To realise a moderate mixed use redevelopment that respects the heritage and streetscape value of the precinct. ▪ To reinforce the heritage values of the precinct. ▪ To support the realisation of amenable mixed use redevelopment behind the traditional frontage.
Street wall height	<ul style="list-style-type: none"> ▪ Retain existing (significant, contributory). ▪ Development adjoining the individually significant corner building should match the parapet height of that building. 	
Front setback <i>Refer to Sections 1-1 and 1-2</i>	<ul style="list-style-type: none"> ▪ Retain existing (significant, contributory). ▪ Development adjoining the individually significant corner building should match the setback of that building. 	
Upper level front setback*	<ul style="list-style-type: none"> ▪ 6m behind the heritage façade/ street wall along Queens Parade and Brunswick Street. 	
Setback(s) from side boundary	<ul style="list-style-type: none"> ▪ ResCode Standard B17. 	
Setback(s) from rear boundary	<ul style="list-style-type: none"> ▪ 45° angle above 8m from rear boundary to a laneway. ▪ 45° angle above 5m from rear boundary (no laneway). 	

Built Form Guidelines - Precinct 1B (Refer to Precinct Framework Plan on page 48)		
Section No.	Interface	Typical Section
S1-1	Brunswick Street	
S1-2	Queens Parade	

Note: * For site specific upper level setbacks (as identified on Figure 18), refer to Queens Parade Built Form Heritage Analysis & Recommendations - GJM Heritage.

5.0 Precinct Guidelines

Precinct 2: Boulevard Precinct

Consolidated mid rise infill addressing the boulevard and its sensitive heritage context.

Preferred Character Statement for Precinct 2

The designated strategic redevelopment site and other large (former industrial and warehouse) parcels fronting either side of Queens Parade and Alexandra Parade will realise consolidated infill that reinforces the strong heritage and boulevard character of the streetscape with a transition down to the established surrounding heritage neighbourhood. The profile of redevelopment will complement Yarra’s acknowledged heritage skyline and be sensitive to views from Newry Street and the Edinburgh Gardens.

Summary of preferred outcome

- Anticipated change: minimal, moderate and high
- Preferred typology: mid rise infill
- Preferred maximum building height: 28.5m to 31m on strategic redevelopment site & 18m on heritage sites along Napier Street.

Precinct 2

Built Form Objectives- Precincts 2A, 2C and 2D

- To encourage redevelopment of the land and adaptive reuse of the former ‘K.G. Luke Pty Ltd. Electro plate manufacturers factory (part)’ in any re-development of the site (Clause 21.04, 21.05, 21.08, 22.02, 22.10).
- To support greater development intensity (high change) that contributes positively to the urban character of Fitzroy North (Clause 21.04, 21.05, 21.08).
- To encourage moderate infill development that is setback behind the traditional heritage street frontage of Napier Street that respects the prevailing streetscape character and subdivision grain in Precinct 2D (Clause 21.05).
- To retain, enhance and incorporate the existing heritage street wall into future redevelopment to realise a consistent parapet effect along the streetscape (Clause 22.02)
- To ensure that new development does not diminish, or detract from the heritage values of the boulevard streetscape, the heritage street wall and the heritage trees along Queens Parade (Clause 22.02, 22.10).
- To moderate the prominence of development above the street wall with respect to long range panoramic and streetscape views and the Yarra skyline from the Edinburgh Gardens (HO213) and Newry Street (HO327- Fitzroy North Precinct) (Clause 21.05, 22.02, 22.10).
- To ensure appropriate transition in building scale having regard to existing and preferred future format of land to the north and west (Clause 21.05, 22.02, 22.08).
- To recognise the discrete size and format of local development in the makeup of redevelopment as a series of parts, separated by links and/or connection through Precinct 2A (Clause 22.10).
- To establish new ‘urban grain’ to Queens Parade which reflects surrounding streetscape patterns, including a series of separate development parts (Clause 21.04, 21.05 21.08, 22.10).
- To ensure adequate solar access is provided to the Queens Parade boulevard and the adjoining Napier Street Reserve (Clause 22.10).
- To encourage future vehicle access and services be provided off existing or continuing rear laneways for Precincts 2C and 2D (Clause 22.07).

Built Form Guidelines - Precinct 2A (Refer to Precinct Framework Plan on pg 48 & Typical Sections on pg 52-53)



Built Form Elements	Requirements	Objectives
Building height	<ul style="list-style-type: none"> ▪ 31m (up to 10 storeys residential). 	<ul style="list-style-type: none"> ▪ To realise consolidated infill that reinforces the strong heritage and boulevard character of the streetscape. ▪ To ensure that projections above the street wall are not dominant in the skyline when viewed from Newry Street and the Edinburgh Gardens. ▪ To ensure adequate solar access to the Queens Parade boulevard and the adjoining Napier Street Reserve at the equinox (09.00-15.00). ▪ To ensure a gradual transition in development scale to the north and west.
Street wall height	<ul style="list-style-type: none"> ▪ Retain existing heritage facade (significant). ▪ Where there is no existing heritage facade: 11m. 	<ul style="list-style-type: none"> ▪ To incorporate the existing heritage street wall into redevelopment of the site and establish a consistent parapet along the streetscape.
Front setback	<ul style="list-style-type: none"> ▪ Retain existing heritage facade (significant). ▪ Where there is no existing heritage facade: 0m. 	<ul style="list-style-type: none"> ▪ To ensure the primacy of the landscape boulevard within the Queens Parade viewshed.
Upper level front setback <i>Refer to Section 2-1</i>	<p>Above existing heritage facade:</p> <ul style="list-style-type: none"> ▪ 8m above 11m vertical height; and ▪ 11m above 16m vertical height. <p>Above new street wall:</p> <ul style="list-style-type: none"> ▪ 5m above 11m vertical height; and ▪ 8 metres above 16m vertical height. 	<ul style="list-style-type: none"> ▪ To ensure new development does not detract from the heritage values of the boulevard streetscape, the heritage street wall and the heritage trees along Queens Parade.
Setback(s) from side/ rear boundaries – North and North West (NRZ and GRZ) <i>Refer to Section 2-4</i>	<ul style="list-style-type: none"> ▪ ResCode Standard B17 measured from rear boundary of adjoining properties; ▪ 45° angle above 11m up to 25m vertical height; and ▪ 30m from the boundary above 25m vertical height. 	<ul style="list-style-type: none"> ▪ To realise an appropriate interface arrangement and minimise visual bulk and mass when viewed from neighbouring properties. ▪ To avoid repetitive stepped form within the 45° profile. ▪ To ensure the heritage and streetscape character of Newry Street is not compromised.
Setback(s) from side/ rear boundaries – East (NRZ)	<ul style="list-style-type: none"> ▪ 0m to match party wall of existing adjoining development up to 10 metres; ▪ 45° angle above 10m up to 25m vertical height; and ▪ 30m from the boundary above 25m vertical height. 	<ul style="list-style-type: none"> ▪ To realise an appropriate interface arrangement and minimise visual bulk and mass when viewed from neighbouring properties. ▪ To avoid repetitive stepped form within the 45° profile. ▪ To ensure adequate amenity to existing apartments located to the east.
Setback(s) from side boundary – East (MUZ) <i>Refer to Section 2-3</i>	<ul style="list-style-type: none"> ▪ 0m to match party wall of existing adjoining development. ▪ 9m from the windows/ balconies of adjoining apartments up to 5 storeys. ▪ 15m above 16m vertical height. 	
Setback(s) from side/ rear boundaries – West and North (MUZ) <i>Refer to Section 2-5</i>	<ul style="list-style-type: none"> ▪ 0m to match party wall of existing adjoining development to the west, or 10m where there is no party wall; ▪ 45° angle above 10m up to 25m vertical height; and ▪ 45° angle above 25m. 	<ul style="list-style-type: none"> ▪ To realise an appropriate interface arrangement and minimise visual bulk and mass when viewed from neighbouring properties. ▪ To avoid repetitive stepped form within the 45° profile. ▪ To ensure adequate amenity to existing apartments located to the north west. ▪ To ensure a gradual transition in development scale to the north and west.

(Refer to Figure 18: Precincts 1 & 2 Framework Plan)

5.0 Precinct Guidelines

Precincts 2C & 2D

Built Form Guidelines - Precinct 2C (Refer to Precinct Framework Plan on pg 48)		
Built Form Elements	Requirements	Objectives
Building height	<ul style="list-style-type: none"> 28.5m (8 storeys). 	<ul style="list-style-type: none"> To realise consolidated infill that reinforces the strong boulevard character of the streetscape along Queens Parade and Alexandra Parade. To ensure adequate solar access to the adjoining Napier Street Reserve at the equinox. To ensure adequate solar access to the south side of Alexandra Parade at winter solstice (UDF, 2008). To ensure a gradual transition in development scale from east of George Street (Former Gasworks Site) to south west (heritage properties along Napier Street).
Street wall height*	<ul style="list-style-type: none"> 18m 	<ul style="list-style-type: none"> To ensure the primacy of the landscape boulevard within the Queens Parade viewshed (UDF, 2008) To minimise the visual impact of upper levels from adjoining street and when viewed in the oblique along the street above parapets (UDF, 2008) To ensure new development does not detract from the heritage values of the boulevard streetscape and the heritage trees along Queens Parade.
Front setback	<ul style="list-style-type: none"> 0m 	
Upper level front setback*	<ul style="list-style-type: none"> 6m above street wall 	
Setback(s) from rear/ side boundary	<ul style="list-style-type: none"> 0m 	
Setback(s) from rear/ side boundary - (Precinct 2D interface)*	<ul style="list-style-type: none"> 45° angle above 18m vertical height 	<ul style="list-style-type: none"> To ensure adequate amenity to existing residential located in Precinct 2D. To realise appropriate interface arrangement and minimise visual bulk and mass when viewed from neighbouring heritage properties. To avoid repetitive stepped form within the 45° profile.

2C

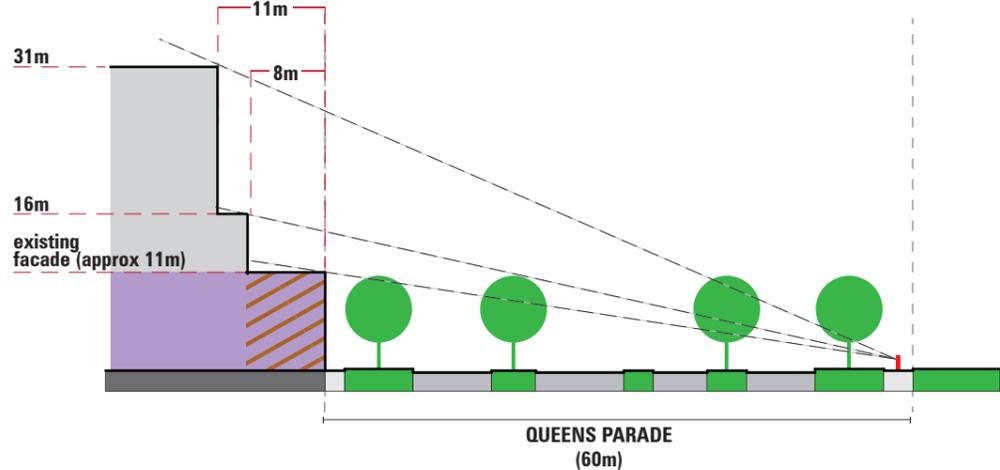
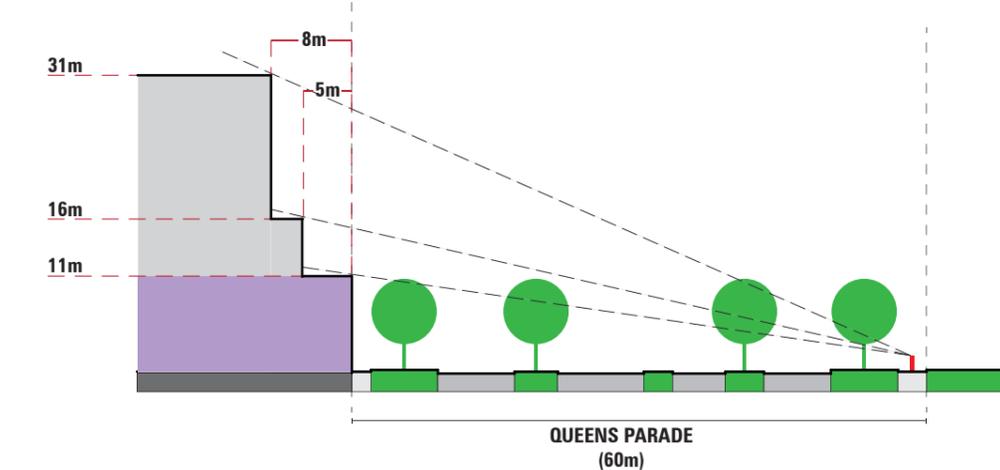
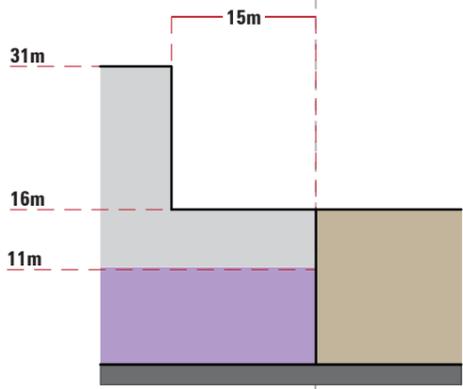
Built Form Guidelines - Precinct 2D (Refer to Precinct Framework Plan on pg 48 & Typical Sections on pg 53)		
Built Form Elements	Requirements	Objectives
Building height	<ul style="list-style-type: none"> 18m (5 storeys). 	<ul style="list-style-type: none"> To realise a moderate infill redevelopment that respects the heritage and streetscape value of the precinct.
Street wall height	<ul style="list-style-type: none"> Retain existing. 	<ul style="list-style-type: none"> To reinforce the heritage values of the precinct. To support the realisation of amenable mixed use redevelopment behind the traditional frontage.
Front setback	<ul style="list-style-type: none"> Retain existing. 	
Upper level front setback	<ul style="list-style-type: none"> 6m above heritage facade to Napier Street. 	
Setback(s) from side boundary	<ul style="list-style-type: none"> 0m 	
Setback(s) from rear boundary	<ul style="list-style-type: none"> 0m 	

2D

Note: * For site specific upper level setbacks (as identified on Figure 18), refer to Queens Parade Built Form Heritage Analysis & Recommendations - GJM Heritage.

5.0 Precinct Guidelines

Precinct 2A: Typical Interfaces

Built Form Guidelines - Precinct 2A (Refer to Precinct Framework Plan on page 48)		
Section No.	Interface	Typical Section
S2-1 	Queens Parade (With Heritage Facade)	 <p style="text-align: center;">QUEENS PARADE (60m)</p>
S2-2 	Queens Parade (New Street Wall)	 <p style="text-align: center;">QUEENS PARADE (60m)</p>
S2-3 	Mixed Use Zone Interface (East)	

2A

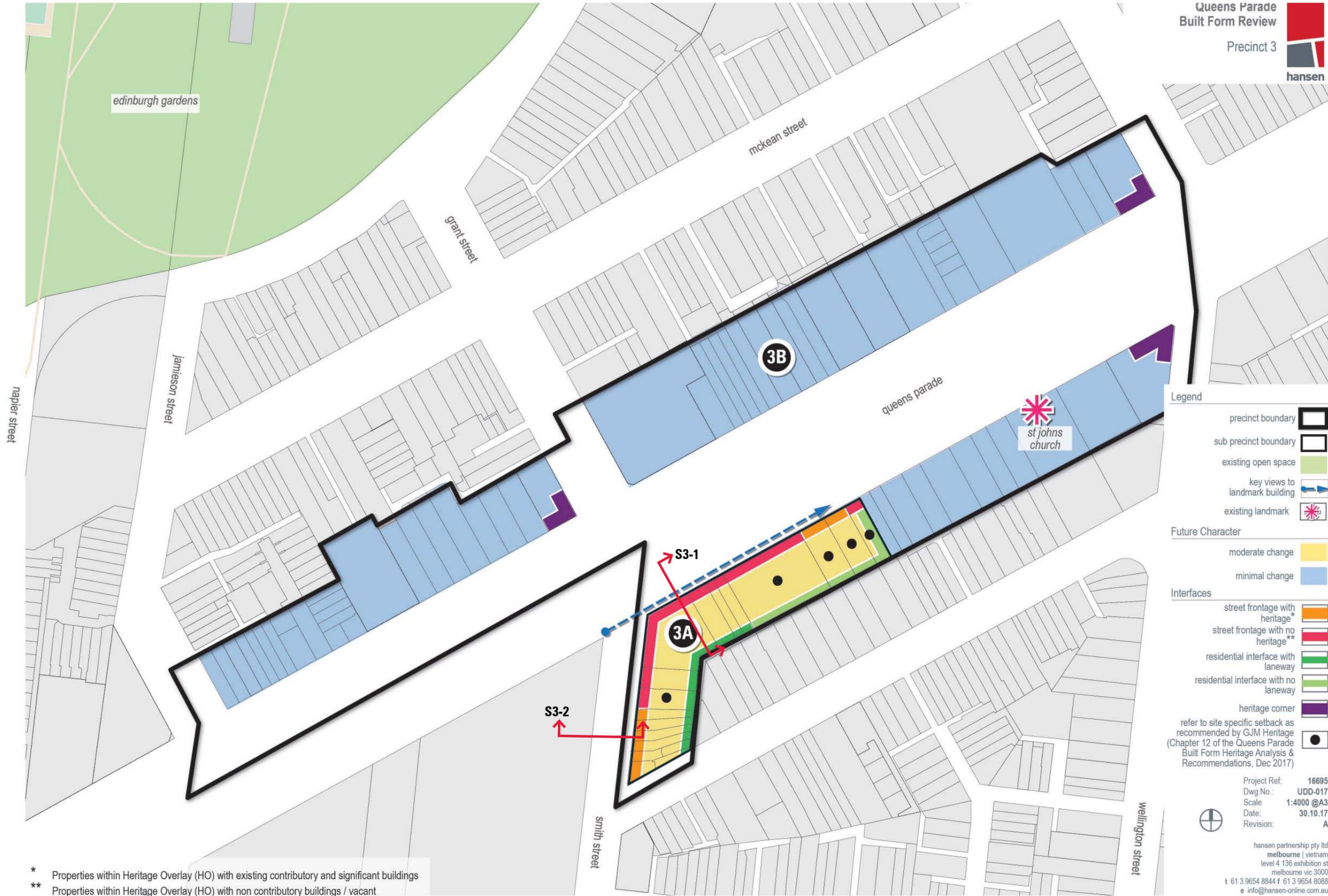
5.0 Precinct Guidelines

Precinct 2A & Precinct 2D: Typical Interfaces

Built Form Guidelines - Precinct 2A (Refer to Precinct Framework Plan on page 48)		
Section No.	Interface	Typical Section
S2-4	Residential Zone Interface (North)	<p>NEWRY STREET</p> <p>COLEMAN STREET</p>
S2-5	Mixed Use Zone Interface (West)	<p>(Precinct 1B)</p>
Built Form Guidelines - Precinct 2D (Refer to Precinct Framework Plan on page 48)		
Section No.	Interface	Typical Section
S2-6	Napier Street	<p>20m</p> <p>6m</p> <p>LANEWAY (3m)</p> <p>28.5m</p> <p>18m</p> <p>11m</p> <p>45°</p> <p>NAPIER STREET</p> <p>PRECINCT 2D</p> <p>PRECINCT 2C</p>

2A

2D



* Properties within Heritage Overlay (HO) with existing contributory and significant buildings
 ** Properties within Heritage Overlay (HO) with non contributory buildings / vacant

Legend

- precinct boundary
- sub precinct boundary
- existing open space
- key views to landmark building
- existing landmark

Future Character

- moderate change
- minimal change

Interfaces

- street frontage with heritage*
- street frontage with no heritage**
- residential interface with laneway
- residential interface with no laneway
- heritage corner

refer to site specific setback as recommended by GJM Heritage (Chapter 12 of the Queens Parade Built Form Heritage Analysis & Recommendations, Dec 2017)

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Figure 19: Precinct 3 Framework Plan

5.0 Precinct Guidelines

Precinct 3: St John's Precinct

Mixed residential heritage fabric with renewal and infill potential at the Smith Street junction.

The varied pattern of subdivision to either side of Queens Parade as it rises to St John's Church complex will retain a consistent heritage character, with a discrete opportunity for moderate consolidation around the Smith Street junction. Redevelopment of this commercial precinct will be shaped by its relationship to the adjoining Former Gasworks Site and an effective transition to heritage residential land (south and east), while retaining the primacy of the St John's Church landmark and view to its belfry and spire, as well as paying regards for heritage buildings along Smith Street.

Summary of preferred outcome

- Anticipated change: moderate and minimal
- Preferred typology: mid rise infill
- Preferred maximum building height: 18m.

Precinct 3A

Built Form Objectives

- To support greater development intensity (moderate change) that contributes positively to the urban character of Clifton Hill (Clause 21.04, 21.05, 21.08).
- To support infill redevelopment on larger parcels that defines the Smith Street junction with a transition away from the Former Gasworks Site (west) (Clause 21.04).
- To setback building frontages to maintain the visual prominence and primacy of the St Johns complex (including tower and spire) against sky backdrop from the public realm (Clause 22.02, 22.03, 22.10).
- To reinforce the heritage value of the precinct and support the retention of the traditional street frontages, including street setbacks, facades and subdivision pattern (Clause 21.05, 22.02, 22.10).
- To ensure appropriate transition in building scale across the site having regard to existing format of land to the south and east (Clause 21.05, 22.02, 22.08).
- To encourage future vehicle access and services be provided off existing or continuing rear laneways (Clause 22.07).
- To ensure high quality and sympathetic upper level elevations that are exposed to the public domain (Clause 22.10).

(Refer to Figure 19: Precinct 3 Framework Plan)

Built Form Guidelines- Precinct 3A (Refer to Precinct Framework Plan on pg 54)

3A

Built Form Elements	Requirements	Objectives
Building height	<ul style="list-style-type: none"> ▪ 18m (5 storeys). 	<ul style="list-style-type: none"> ▪ To realise a moderate infill redevelopment that respects the heritage and streetscape value of the precinct.
Street wall height*	<ul style="list-style-type: none"> ▪ Retain existing (contributory/ significant). ▪ 14.5m (4 storeys) for non- contributory sites. 	<ul style="list-style-type: none"> ▪ To reinforce the heritage values of the precinct, including the traditional street wall along Smith Street. ▪ To retain views to the St John's Church spire and belfry. ▪ To ensure a suitable transition to sensitive residential land to south and east.
Front setback	<ul style="list-style-type: none"> ▪ Retain existing (contributory/ significant). ▪ 0m (non- contributory sites). 	
Upper level front setback*	<ul style="list-style-type: none"> ▪ 6m above street wall/ heritage facade. 	
Setback(s) from side boundary	<ul style="list-style-type: none"> ▪ 0m. 	
Setback(s) from side boundary (NRZ)	<ul style="list-style-type: none"> ▪ ResCode Standard B17. 	
Setback(s) from rear boundary (NRZ)	<ul style="list-style-type: none"> ▪ 45° angle above 8m from rear boundary to a laneway. 	

Built Form Guidelines - Precinct 3A (Refer to Precinct Framework Plan on page 54)

3A

Section No.	Interface	Typical Section
S3-1	Queens Parade (New Street Wall)	
S3-2	Smith Street (With Heritage Facade)	

Note: * For site specific upper level setbacks (as identified on Figure 19), refer to Queens Parade Built Form Heritage Analysis & Recommendations - GJM Heritage.

DRAFT

Built Form Review

Precinct 4



Legend

- precinct boundary
- existing open space
- key views to landmark building
- significant heritage streetscape
- existing landmark

Future Character

- moderate change

Interfaces

- street frontage with heritage*
- street frontage with no heritage**
- residential interface with laneway
- residential interface with no laneway
- non residential interface with laneway
- heritage corner

refer to site specific setback as recommended by GJM Heritage (Chapter 12 of the Queens Parade Built Form Heritage Analysis & Recommendations, Dec 2017)

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 Scale: 1:4000 @A3
 Date: 30.10.17
 Revision: A



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* Properties within Heritage Overlay (HO) with existing contributory and significant buildings
 ** Properties within Heritage Overlay (HO) with non contributory buildings / vacant

Figure 20: Precinct 4 Framework Plan

5.0 Precinct Guidelines

Precinct 4: Activity Centre Precinct

Recessive upper level redevelopment behind a heritage commercial streetscape.

Preferred Character Statement for Precinct 4

The diverse arrangement of heritage buildings (varied eras, scale, subdivision grain and profile) in the Queens Parade, Clifton Hill NAC will be retained as the predominant feature, with the potential for redevelopment behind the street wall at upper levels. Sympathetic upper level infill will reinforce the prevailing street wall and subdivision grain of significant streetscapes and transition down to residential abuttals to the rear. The profile of upper level redevelopment should also acknowledge the importance of significant heritage corner forms and retain key view lines to local landmarks (former ANZ Building).

Summary of preferred outcome

- Anticipated change: moderate
- Preferred typology: mid rise infill
- Preferred maximum building height: 5 storeys (18m).

Precinct 4

Built Form Objectives

- To reinforce the heritage value of the precinct and support the retention of the traditional street frontages, including street setbacks, facades and subdivision pattern (Clause 21.05, 22.02, 22.10).
- To retain the primacy of the significant heritage forms on Queens Parade (Clause 22.02).
- To support infill development behind the traditional street wall that contributes positively to the urban character of the Clifton Hill NAC (Clause 21.04, 21.05 21.08).
- To retain heritage frontages to maintain the visual prominence and primacy of the St Johns complex and other significant heritage buildings within the NAC (Clause 22.02, 22.03, 22.10).
- To ensure appropriate transition in building scale across the site having regard to existing format of land to the north and south (Clause 21.05, 22.02, 22.08).
- To encourage future vehicle access and services be provided off existing or continuing rear laneways (Clause 22.07).
- To ensure high quality and sympathetic upper level elevations that are exposed to the public domain (Clause 22.10).

(Refer to Figure 20: Precinct 4 Framework Plan)

Built Form Guidelines- Precinct 4 (Refer to Precinct Framework Plan on page 56)

Built Form Elements	Requirements	Objectives
Building height	<ul style="list-style-type: none"> ▪ 18m (5 storeys). 	<ul style="list-style-type: none"> ▪ To realise a moderate infill redevelopment that respects the heritage and streetscape value of the precinct.
Street wall height*	<ul style="list-style-type: none"> ▪ Retain existing (contributory/ significant). ▪ 11m (3 storeys) for non contributory sites. 	<ul style="list-style-type: none"> ▪ To reinforce the heritage values of streetscape for this part of Queens Parade, including the traditional street wall.
Front setback	<ul style="list-style-type: none"> ▪ Retain existing (contributory/ significant). ▪ 0m (non- contributory). 	<ul style="list-style-type: none"> ▪ To retain views to the St John’s Church’s (spire and belfry) and other significant heritage buildings including the Former ANZ Building at 376 Queens Parade.
Upper level front setback*	<ul style="list-style-type: none"> ▪ 6m above street wall/ heritage facade. 	<ul style="list-style-type: none"> ▪ To ensure a suitable transition to residential land.
Setback(s) from side/ rear boundary (NRZ interface)	<ul style="list-style-type: none"> ▪ 45° angle above 8m from rear boundary to a laneway. ▪ 45° angle above 5m from rear boundary (no laneway). 	<ul style="list-style-type: none"> ▪ To ensure equitable development opportunity and amenity to mid- block sites (C1Z). ▪ To avoid repetitive stepped form within the 45° profile.
Setback(s) from rear boundary (C1Z interface)	<ul style="list-style-type: none"> ▪ 0m up to 11m. ▪ 3m setback above 11m. 	<ul style="list-style-type: none"> ▪ To realise an appropriate interface arrangement to minimise visual bulk and mass when viewed from neighbouring properties. ▪ To minimise overshadowing impact onto residential properties to the south.

Built Form Guidelines - Precinct 4 (Refer to Precinct Framework Plan on page 56)

Section No.	Interface	Typical Section
S4-1	Queens Parade (With Heritage Facade)	

Note: * For site specific upper level setbacks (as identified on Figure 20), refer to Queens Parade Built Form Heritage Analysis & Recommendations - GJM Heritage.



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Built Form Review
Precinct 5
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Legend

- precinct boundary [thick black line]
- sub precinct boundary [thin black line]
- recent lot consolidation [dotted line]
- strategic redevelopment site [orange hatched box]
- existing open space [green box]
- existing landmark [pink star icon]

Future Character

- substantial change [orange box]
- high change [purple box]
- moderate change [yellow box]
- minimal change [blue box]

Interfaces

- street frontage with heritage* [orange box]
- street frontage with no heritage** [red box]
- non residential interface with laneway [blue box]
- heritage corner [purple box]

refer to site specific setback as recommended by GJM Heritage (Chapter 12 of the Queens Parade Built Form Heritage Analysis & Recommendations, Dec 2017)

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* Properties within Heritage Overlay (HO) with existing contributory and significant buildings
** Properties within Heritage Overlay (HO) with non contributory buildings / vacant

Figure 21: Precinct 5 Framework Plan

5.0 Precinct Guidelines

Precinct 5: North East Precinct

Concentrated mid rise and tower infill within an island precinct defining the Municipal threshold.

Preferred Character Statement for Precinct 5

The discrete pocket of mixed use land bound by Queens Parade, Heidelberg Road and Hoddle Street serves as a junction of Metropolitan presence and will accommodate taller, contemporary forms on larger unencumbered sites. Commensurate with its broad subdivision grain, development opportunity and scale will gradually transition down from the north-east terminal junction to the south west with an interface with the significant heritage buildings (the Former Clifton Motors and UK Hotel buildings). Land to the north east of Dummett Crescent will define a new urban character of tower forms contributing to the Yarra skyline.

Summary of preferred outcome

- Anticipated change: moderate to substantial
- Preferred typology:** mid rise infill (south of Dummett Crescent) & taller mid rise infill (north of Dummett Crescent)
- Preferred maximum building heights:** between 18m to 28.5m (5-8 storeys) south of Dummett Crescent & up to 49.5m (14 storeys) north of Dummett Crescent.

Built Form Objectives- Precincts 5A, 5B and 5C (refer to Figure 21)

- To encourage land consolidation and substantial redevelopment of the land in Precinct 5C that contributes positively to the urban character of the Queens Parade precinct and the Yarra skyline (Clause 21.04, 21.05 21.08).
- To support the presentation of contemporary taller forms to the north east of the precinct (Precinct 5C), comprising a new street wall to Queens Parade, with increased height to the Hoddle Street frontage (Clause 21.05).
- To ensure suitable separation between rising taller forms to enable development equity and amenity, while also contributing to the management of building/ visual bulk in Precinct 5C (Clause 22.10).
- To support higher density mixed use development of attached mid rise form and sensitive adaptive reuse of individual significant heritage parcels in Precincts 5A (south west) that complement the significant heritage elements (Clause 21.04, 21.05, 21.08, 22.02, 22.10).
- To retain, conserve and incorporate the existing heritage frontage into redevelopment of Precinct 5B to realise a compatible streetscape effect (Clause 22.02).
- To ensure the significant heritage fabric at the south western corner (the Former UK Hotel in Precinct 5A is conserved and remains a prominent feature in any redevelopment (Clause 22.02).
- To moderate the prominence of development above the heritage frontage with respect to long range panoramic and streetscape views and the Yarra skyline (Clause 21.05, 22.02, 22.10).
- To ensure appropriate transition in building scale across the precincts (5C to 5A) having regard to existing and preferred future format of land (Clause 21.05, 22.02, 22.10).
- To avoid a singular vertical projection which detracts from the prominence of key landmark buildings from dominating the precinct skyline (Clause 21.05, 22.02, 22.10).

Built Form Guidelines- Precinct 5A (Refer to Precinct Framework Plan on page 58)		
Built Form Elements	Requirements	Objectives
Building height*	<ul style="list-style-type: none"> Retain the existing Former UK Hotel building (state significant heritage). 	<ul style="list-style-type: none"> To realise a mid rise infill redevelopment that complements the heritage value of the site. To reinforce the heritage values of the Former UK Hotel building and protect its integrity from the principal south west approach.
Street wall height*	<ul style="list-style-type: none"> Retain existing. 	
Front setback*	<ul style="list-style-type: none"> Retain existing heritage setback. 	
Upper level front setback*	<ul style="list-style-type: none"> 6m above street wall along Dummett Crescent. 	
Setback(s) from side boundary	<ul style="list-style-type: none"> 0m 	
Setback(s) from rear boundary	<ul style="list-style-type: none"> 0m 	

Built Form Guidelines- Precinct 5B (Refer to Precinct Framework Plan on page 58)		
Built Form Elements	Requirements	Objectives
Building height	<ul style="list-style-type: none"> 28.5m (8 storeys). 	<ul style="list-style-type: none"> To realise a mid rise infill To reinforce the heritage values of the precinct and protect the heritage integrity of the principal south west corner form. To create a consistent street wall condition to all street frontages. To realise attached mid rise form, with marginal variance in upper level setbacks.
Street wall height*	<ul style="list-style-type: none"> Retain existing heritage facade of the Former Clifton Motors Building (state significant heritage). 11m (3 storeys) for non contributory sites along Queens Parade. 	
Front setback	<ul style="list-style-type: none"> 0m 	
Upper level front setback*	<ul style="list-style-type: none"> 6m above street wall/ heritage facade to Queens Parade. Mandatory 6m above heritage facade at the Former Clifton Motors Building. 	
Setback(s) from side boundary	<ul style="list-style-type: none"> 0m 	
Setback(s) from rear boundary	<ul style="list-style-type: none"> 0m 	

Built Form Guidelines- Precinct 5C (Refer to Precinct Framework Plan on page 58)		
Built Form Elements	Requirements	Objectives
Building height	<ul style="list-style-type: none"> 49.5m (14 storeys) 	<ul style="list-style-type: none"> To realise tower redevelopment of the Metropolitan junction with a profile to Hoddle Street. To establish skyline projections that complement the profile of Yarra's existing skyline and designated landmarks.
Street wall height	<ul style="list-style-type: none"> 35.5m (10 storeys) along Queens Parade. 	
Front setback	<ul style="list-style-type: none"> 0m 	
Upper level front setback	<ul style="list-style-type: none"> 10m above street wall 	<ul style="list-style-type: none"> To denibstrate a progressive shift in form that addresses the junction of Queens Parade and Hoddle Street. To ensure adequate amenity and development equity to future development.
Setback(s) from side boundary	<ul style="list-style-type: none"> 4.5m from centreline of laneway, or from adjoining habitable windows/ balconies. 	
Setback(s) from rear boundary	<ul style="list-style-type: none"> 4.5m from centreline of laneway, or from adjoining habitable windows/ balconies. 	

Note: * For site specific upper level setbacks (as identified on Figure 21), refer to Queens Parade Built Form Heritage Analysis & Recommendations - GJM Heritage.

APPENDIX A
BUILT FORM TESTING

A. Built Form Testing

A. Built Form Testing

To test the validity of the 'Recommended Built Form Parameters' and support their useful translation into a DDO control, Hansen has prepared 3D computer massing modelling of the precinct. The tests demonstrate the visual implications of built form outcomes to enable assessment. Details of the modelling approach and methodology are provided below.

Purpose and Scope of Built Form Testing

- The Queens Parade Built Form Review Recommendations were tested a high-level 3D computer modelling of development envelopes. It was established and operated as a 'working' massing model used to informally measure built form heights and setbacks to properties along the length of the Queens Parade corridor (within the Study Area) as a useful general tool in comparative analysis.
- The development and use of such 3D massing models is common for strategic built form work of this kind to examine the general relationships between new urban form (various options or scenarios), topography and key views to existing landmarks from identified vantage points as advised by GJM Heritage.
- 3D massing models are commonly used in addition to more conventional 2D cross-sections (and other tools) when determining built form controls and assessing off-site impacts on surrounding land such as overshadowing and visual bulk.

Massing Model

- The massing model utilised is 'fit for purpose' for a strategic corridor study of its kind. It does not rely on detailed site survey data, rather more general available contour, landform and cadastral information. Such modelling has been reliably applied in other strategic work across Metropolitan Melbourne.
- The massing model is prepared in SketchUp Pro (2016 and 2017) and utilises automatic Google terrain as the basis for topography and basic aerial imagery (via 'Geo-Location' command).
- The existing building envelopes surrounding the site are depicted as massing representations only and do not seek to represent existing building detail, in terms of architectural form or appearance – but rather overall scale.
- The existing 'landmark' building envelopes have been modelled based on 'Google Earth – Street View' tests to determine their overall scale. These include:
 - St John the Baptist Church;
 - Former ANZ Bank building;
 - Former United Kingdom Hotel; and
 - Former Clifton Motors Building .
- Within the Study Area (areas identified for moderate, high and substantial change), the development envelope has been represented in 3-dimension based on the site and cadastral information available from the City of Yarra and DataVIC with an assumption of 100% site coverage.
- Further, a number of recent development envelopes (approved, but unbuilt and under construction) have been modelled to represent their overall scales and setbacks, based on endorsed architectural plans provided by the City of Yarra.
- We acknowledge that the basis of the model (i.e. site boundaries and levels) is not as accurate as one generated with a detailed site survey.
- Development massing for contributory and significant heritage sites has been modelled based on the following measurements:
 - 11m 'street wall' (as a typical measurement for 2-storeys Victorian-era parapet); and
 - 3.5m floor to floor height for upper levels above the 'street wall'.
- Development massing for non-contributory, or non-heritage sites has been modelled based on the following measurements:
 - 4.0m floor to floor height for ground level; and
 - 3.5m floor to floor height for level 1 and above.

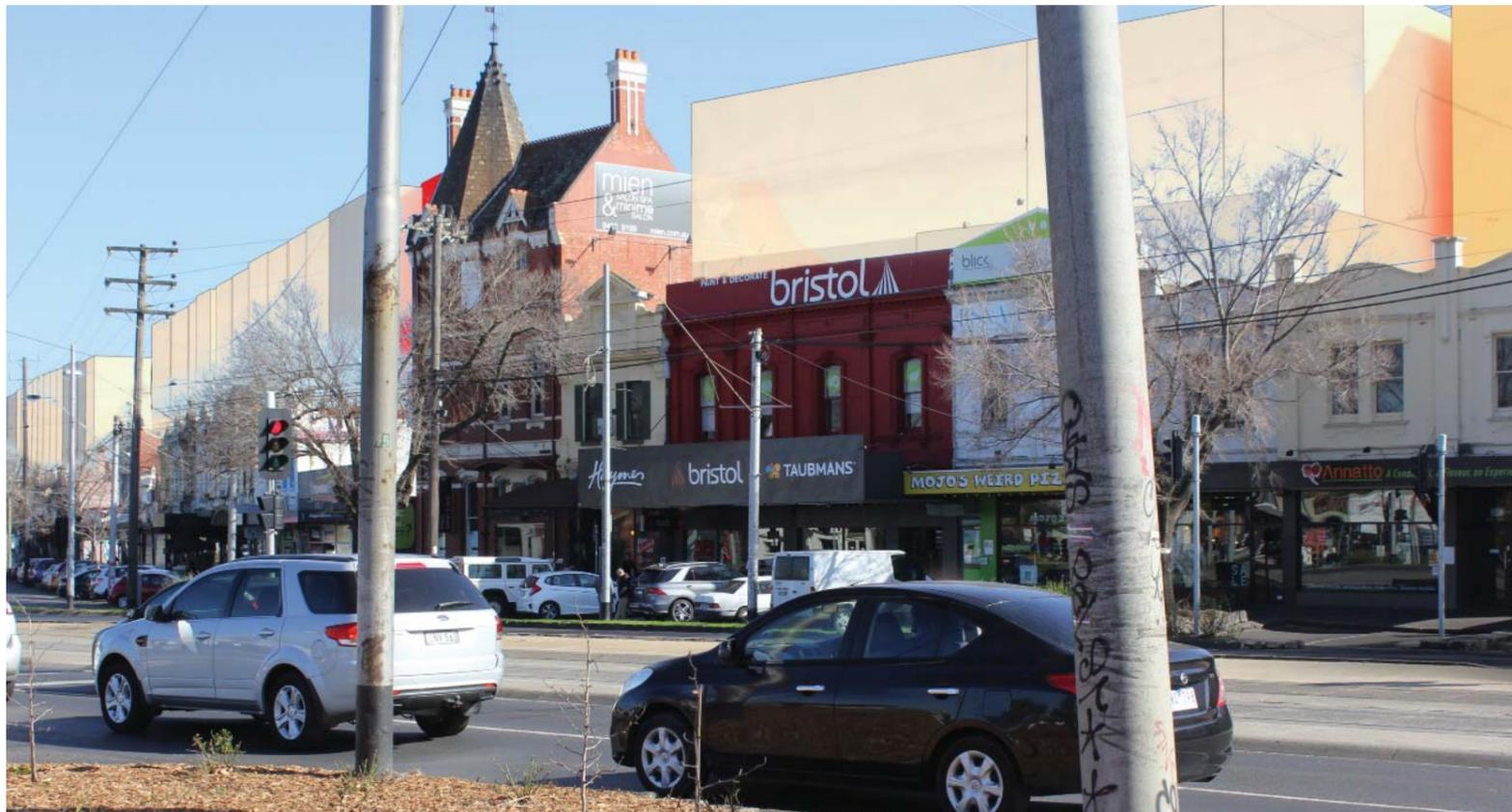


B. Photo Match Model Views

Purpose and Scope of Built Form Testing

- 10 locations are identified by GJM Heritage to determine critical key views to heritage landmarks from the public realm and the required built form response as identified on Figure 1 (overleaf). This testing has utilised the working massing model (prepared in Sketch Up, as described in Part A), but was registered accurately with surveyor’s information and photographic settings to represent a genuine eye level views.
- The photos used in the photomontages were taken using a Digital SLR camera (Canon EOS 60D) with a 18mm lens setting. The digital lens has a 1.6x multiplier, hence a digital lens setting of 18mm is equivalent to a ‘full frame’ 35mm film camera using a 28.8mm lens ($30 \times 1.6 = 28.8$), which provides an angle of view in the order of 64 degrees per frame.
- The positioning of the camera was set upon a spirit levelled tripod oriented towards the heritage landmarks and taken at a height of 1.6m above ground level. The photographs were taken on the 31 July 2017.

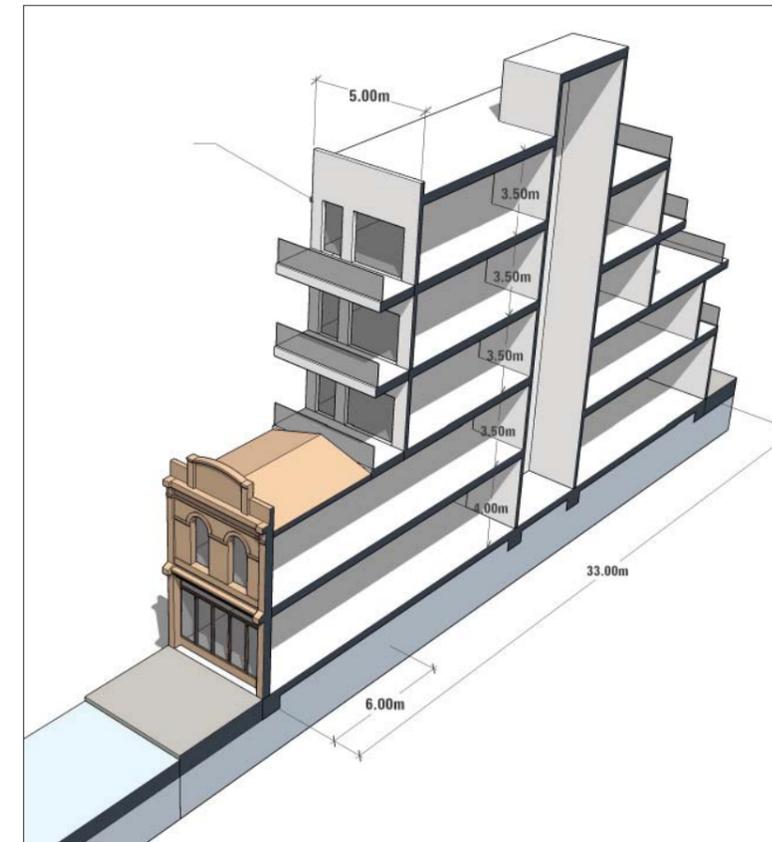
- The preparation of photo match model views undertaken utilising the following software programmes:
 - **3ds Max 2016** (3D modeller); for importing the massing model (prepared in Sketch Up as described in Part A). Positioning and alignment of the three-dimensional massing model is based on photo locations and control points obtained on site by Geocomp Consulting Pty Ltd, referenced to both Australian Height Datum and Australian Map Grid data.
 - **VRay** (rendering software); for applying colours to the massing model to express varying attributes.
 - **Adobe Photoshop CC2016**; for rendering views from the 3 dimensional massing model camera. Locations are superimposed into the photograph without any distortion or manipulation, except for necessary changes to provide a true representation of the proposal within its context.

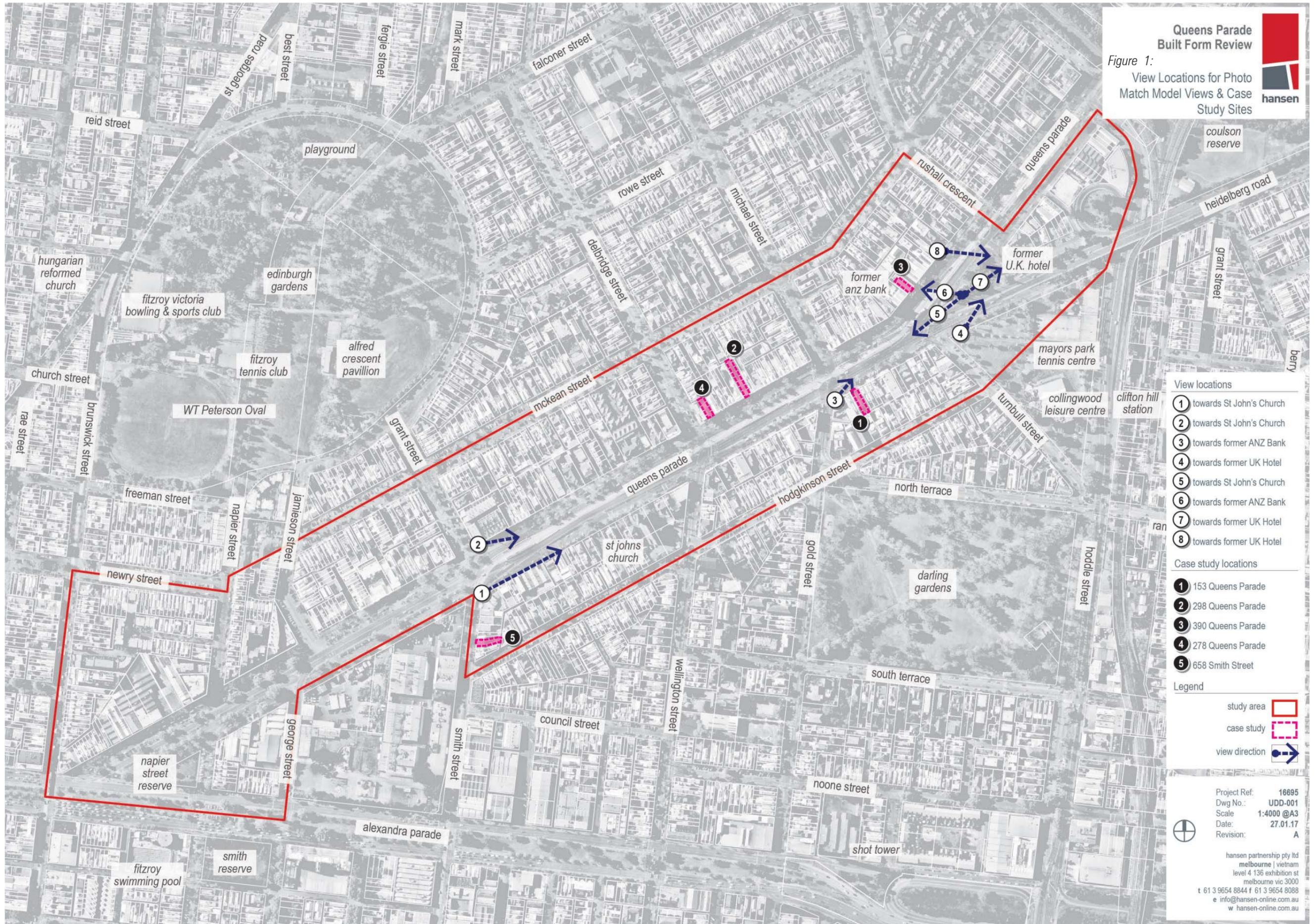


C. Case Studies

Purpose and Scope of Built Form Testing

- 5 sites in Precincts 3 and 4 were selected by the Council project team to test the feasibility of the built form recommendation on typical fine grained sites along Queens Parade and Smith Street, with varying allotment depths as identified on Figure 1 (overleaf).
- This case study test has utilised both 2D and 3D testing tools to demonstrate how the built form recommendation are realised on single, or consolidated sites, noting varied site attributes and without detrimental impact on the heritage and residential sensitivities.





Queens Parade Built Form Review
 Figure 1:
 View Locations for Photo Match Model Views & Case Study Sites



- View locations
- ① towards St John's Church
 - ② towards St John's Church
 - ③ towards former ANZ Bank
 - ④ towards former UK Hotel
 - ⑤ towards St John's Church
 - ⑥ towards former ANZ Bank
 - ⑦ towards former UK Hotel
 - ⑧ towards former UK Hotel

- Case study locations
- ① 153 Queens Parade
 - ② 298 Queens Parade
 - ③ 390 Queens Parade
 - ④ 278 Queens Parade
 - ⑤ 658 Smith Street

Legend

- study area
- case study
- view direction

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View location 01: View from intersection of Smith Street to the St John's Church



Existing condition



Key

-  Possible future envelope on non heritage sites (precinct 3)
-  Possible future envelope on heritage sites (precinct 4)
-  Possible future future envelope on non heritage sites (precinct 5)

3D massing demonstrating built form and heritage recommendations for precinct 3A

View location 02: View from intersection of Grant Street to the St John's Church



Existing condition



3D massing demonstrating built form and heritage recommendations for precinct 3A

Key

-  Possible future envelope on non heritage sites (precinct 3)
-  Possible future envelope on heritage sites (precinct 3)
-  Possible future envelope on heritage sites (precinct 4)

View location 03: View from intersection of Gold Street to the former ANZ Bank



Existing condition



Key

- Possible future envelope on non heritage sites (precinct 4)
- Possible future envelope on heritage sites (precinct 4)
- Possible greater upper level setback is required to retain key view line to the former ANZ building (precinct 4)
- Possible future envelope (precinct 5)
- Development approval indicative envelope (precinct 5)

3D massing demonstrating built form and heritage recommendations for precinct 4

View location 04: View form Mayors Park (east of Heidelberg Road) to the former UK Hotel



Existing condition



Key

-  Possible future envelope (precinct 5)

3D massing demonstrating built form and heritage recommendations for precinct 5

View location 05: View from Raines Reserve to St John's Church



Existing condition



Key

-  Possible future envelope on non heritage sites (precinct 4)
-  Possible future envelope on heritage sites (precinct 4)
-  Possible greater upper level setback is required to retain key view line to the former ANZ building (precinct 4)

3D massing demonstrating built form and heritage recommendations for precinct 4

View location 06: View from Mayors Park (east of Heidelberg Road) to the former ANZ Bank



Existing condition



3D massing demonstrating built form and heritage recommendations for precinct 4

Key

-  Possible future envelope on non heritage sites (precinct 4)
-  Possible future envelope on heritage sites (precinct 4)
-  Possible greater upper level setback is required to retain key view line to the former ANZ building (precinct 4)
-  Development proposal indicative envelope (precinct 4)

View location 07: View from Raines Reserve to the former UK Hotel



Existing condition



Key

-  Existing development indicative envelope - under construction (precinct 5)
-  Possible future envelope (precinct 5)
-  Development approval indicative envelope (precinct 5)

3D massing demonstrating built form and heritage recommendations for precinct 5

View location 8: View from Queens Parade (north side) to the former UK Hotel



Existing condition



3D massing demonstrating built form and heritage recommendations for precinct 5

Key

-  Existing development indicative envelope - under construction (precinct 5)
-  Possible future envelope (precinct 5)

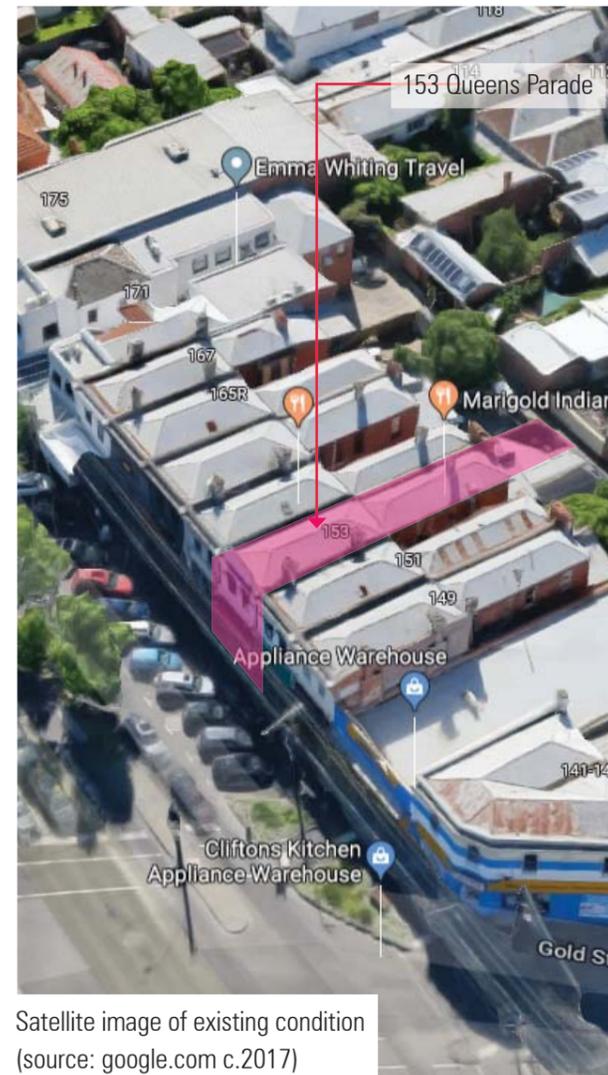
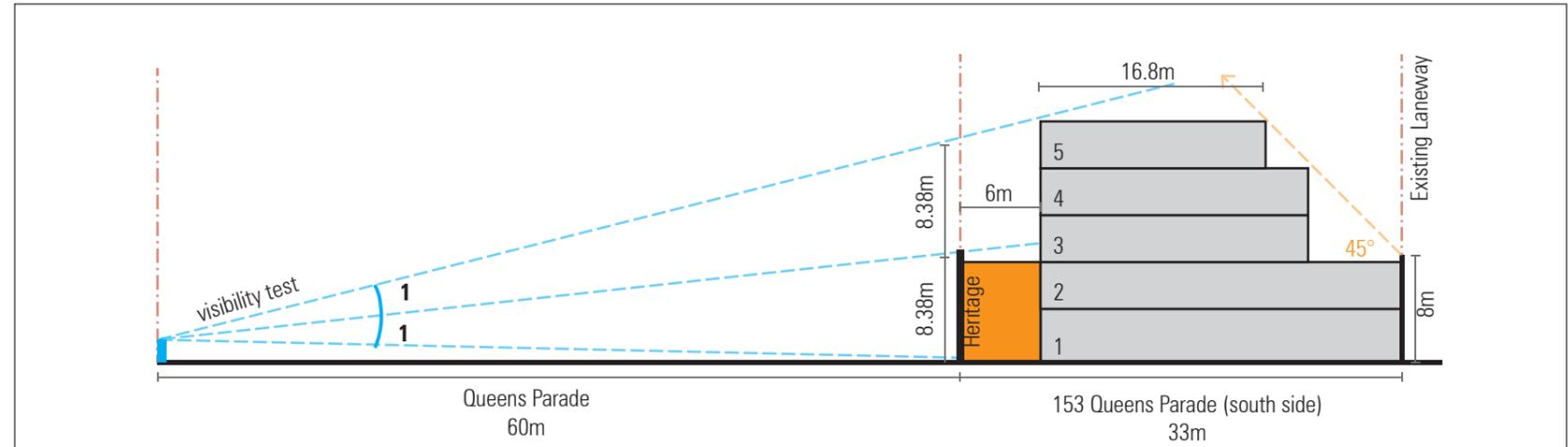


CASE STUDY 01: Precinct 4

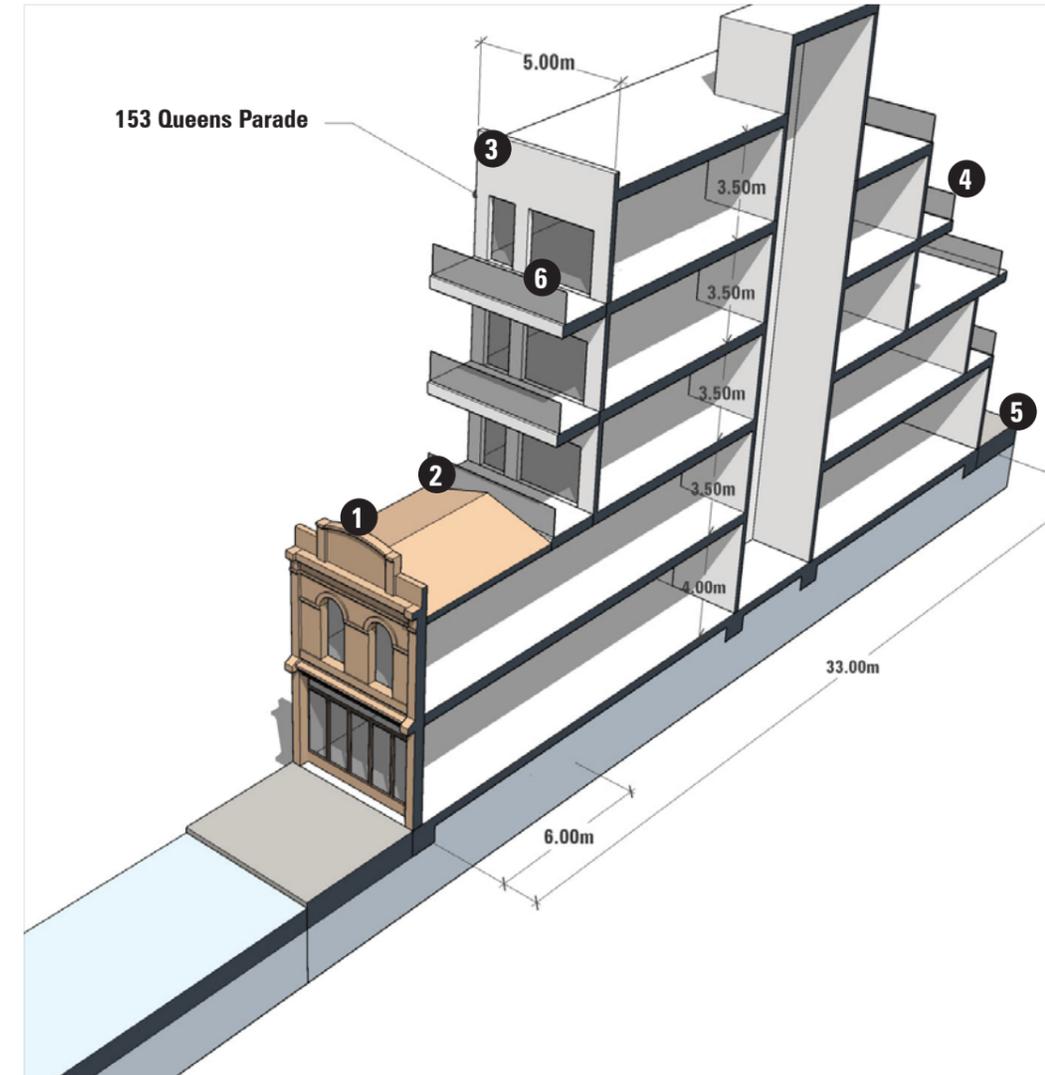
Context	
Address	153 Queens Parade (south side)
Lot width	5m
Lot depth	33m
Heritage grading	Individually significant
Rear laneway	Yes
Rear interface	NRZ + HO

Precinct Guidelines	
1	Reinforce the heritage value of the precinct and support the retention of the traditional facade.
2	Retain the primacy of significant heritage form on Queens Parade.
3	Support infill development behind the traditional street wall that contributes positively to the urban character of Clifton Hill.
4	Ensure appropriate transition in scale to sensitive interfaces.
5	Encourage future vehicular access and services be provided of existing laneway.
6	Ensure high quality and sympathetic upper level elevations that are exposed to the public domain.

Discussion	
Heritage 'visibility' test*	Based on heritage 'visibility' test requirement of maximum 1:1 ratio (1 part heritage to 1 part new upper levels), viewed from the opposite side of Queens Parade (60m width), the recommended 6m setback from Queens Parade frontage will allow development height of up to 18m to be accommodated on the site.
Lot consolidation test	Should the site be consolidated to gain a wider street frontage, the limited lot depth cannot achieve a feasible floor plate depth above 5 storeys whilst retaining the necessary setbacks.
Rear interface test	The rear transition recommendations aim to minimise amenity impact onto residential properties along Hodgkinson Street (NRZ + HO). The 2D + 3D testings demonstrate that without site consolidation, a feasible development footprint of up to 5 storeys can be accommodated on the site.
Overshadowing test	The recommended 5 storey (18m) form and setback provisions can successfully minimise overshadowing impact to residential hinterland (NRZ), measured at the equinox.
Visual bulk test	The rear interface (to NRZ and laneway) will need to be carefully managed so as not to result in an overtly stepped building, or 'wedding cake' profile. The 3D modelling demonstrates this could be effectively managed by adopting 2 setback measurements to the rear.



Satellite image of existing condition (source: google.com c.2017)



Note: * Refer to Queens Parade Built Form Heritage Analysis & Recommendations - GJM Heritage.

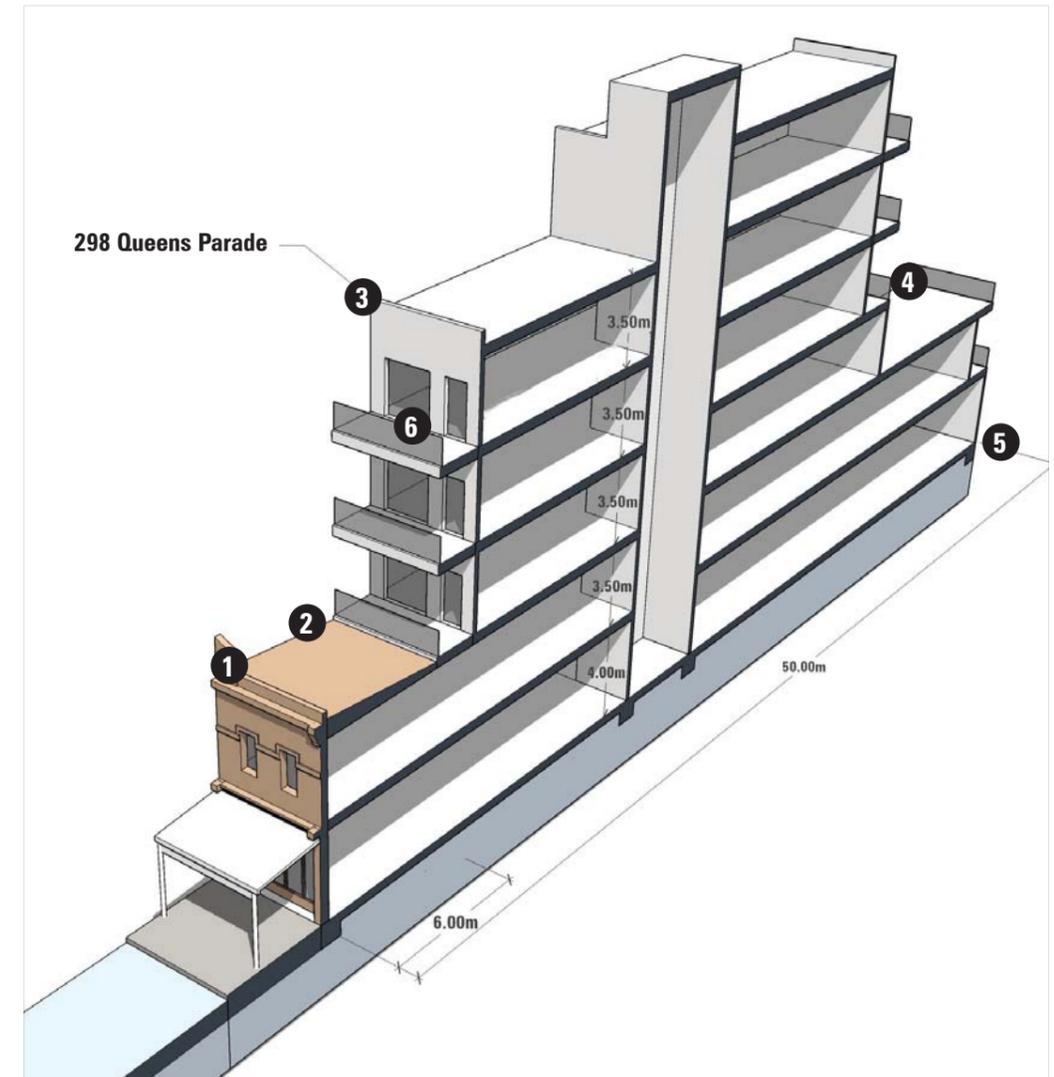
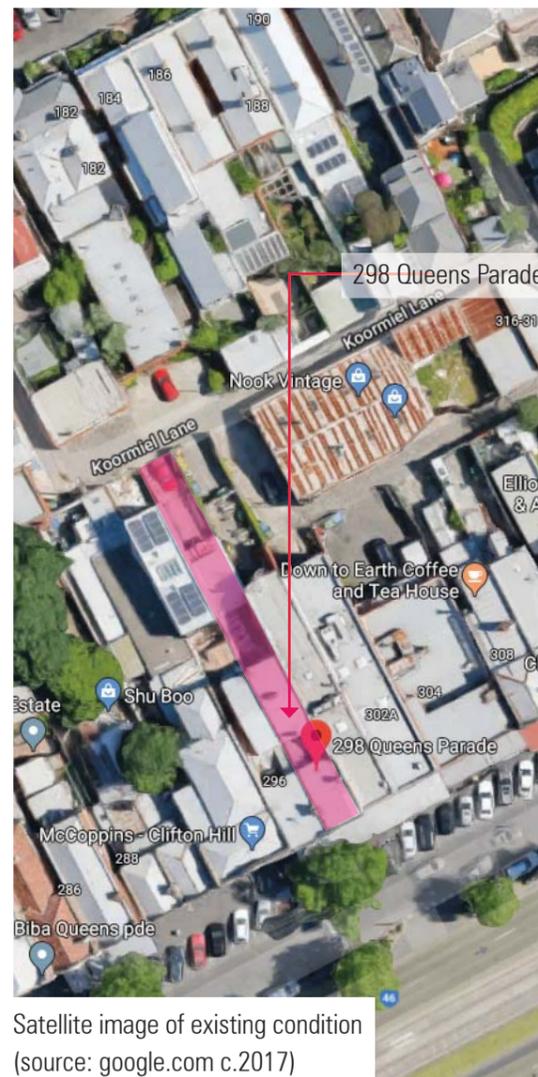
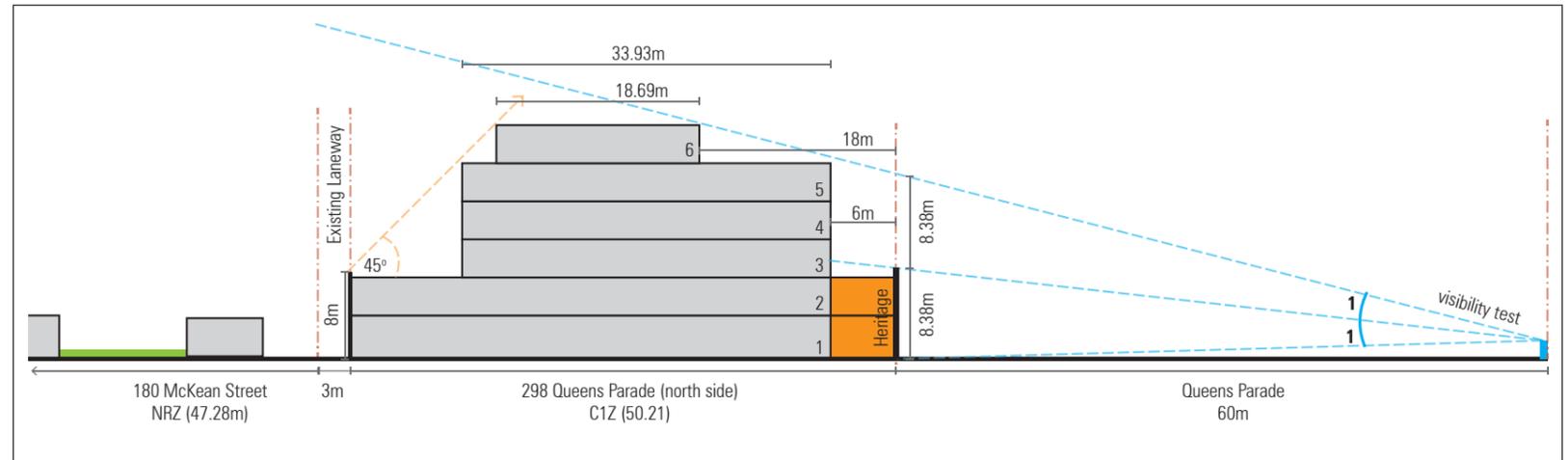


CASE STUDY 02: Precinct 4

Context	
Address	298 Queens Parade (north side)
Lot width	4.65m
Lot depth	50.31m
Heritage grading	Contributory
Rear laneway	Yes
Rear interface	NRZ

Precinct Guidelines	
1	Reinforce the heritage value of the precinct and support the retention of the traditional facade.
2	Retain the primacy of significant heritage form on Queens Parade.
3	Support infill development behind the traditional street wall that contributes positively to the urban character of Clifton Hill.
4	Ensure appropriate transition in scale to sensitive interfaces.
5	Encourage future vehicular access and services be provided of existing laneway.
6	Ensure high quality and sympathetic upper level elevations that are exposed to the public domain.

Discussion	
Heritage 'visibility' test*	Based on heritage 'visibility' test requirement of maximum 1:1 ratio (1 part heritage to 1 part new upper levels), viewed from the opposite side of Queens Parade (60m width), the recommended minimum 6m setback from Queens Parade frontage can comfortably accommodate development height of up to 18m on this site. With greater setback from the Queens Parade frontage (greater than 16m), an additional floor can be accommodated (up to 21.5m) whilst meeting the 'visibility' test.
Lot consolidation test	Given the site depth (up to 50m), the site can accommodate development scale of up to 21.5m (6 storeys) without site consolidation.
Rear interface test	The rear transition recommendations aim to minimise amenity impact onto residential properties along Hodgkinson Street (NRZ + HO). The 2D + 3D testings demonstrate that without site consolidation, a feasible development footprint of 5-6 storeys can be accommodated on the site.
Overshadowing test	The site is located south of NRZ properties and does not result in unreasonable amenity impact (overshadowing) onto NRZ properties to the north.
Visual bulk test	The rear interface (to NRZ and laneway) will need to be carefully managed so as not to result in an overtly stepped building, or 'wedding cake' profile. The 3D modelling demonstrates this could be effectively managed by adopting 2 setback measurements to the rear.



Note: * Refer to Queens Parade Built Form Heritage Analysis & Recommendations - GJM Heritage.

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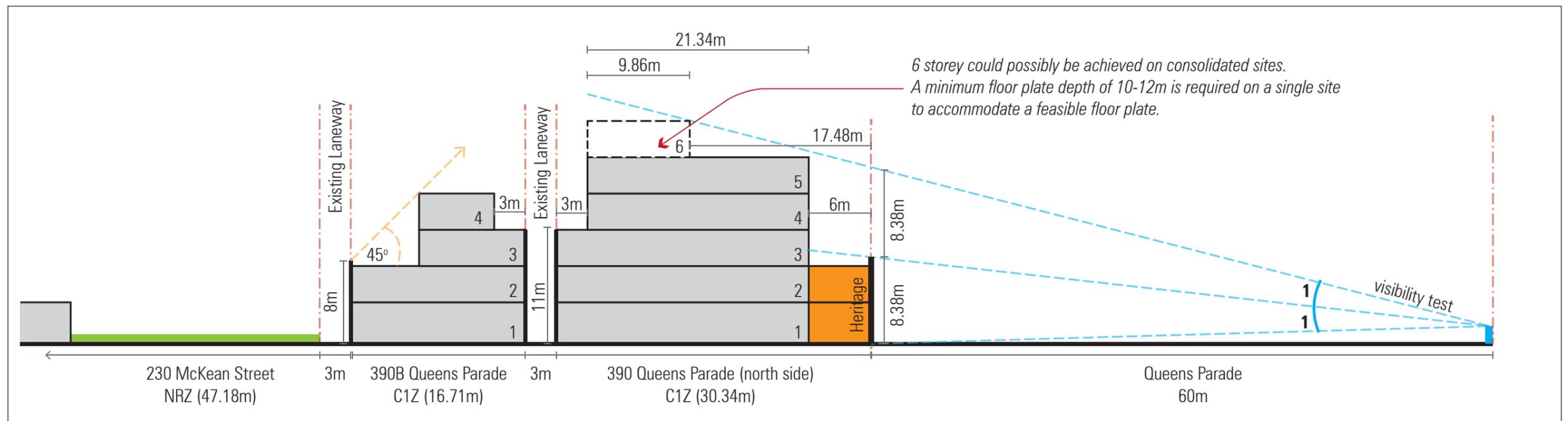
CASE STUDY 03: Precinct 4

Context	
Address	390 Queens Parade (north side)
Lot width	4.5m
Lot depth	30m
Heritage grading	Contributory
Rear laneway	Yes
Rear interface	C1Z

Context	
Address	390A Queens Parade (north side/ mid- block)
Lot width	approx. 50m (irregular)
Lot depth	approx. 16-17m (irregular)
Heritage grading	former warehouse (now substation) - contributory; balance of site - not contributory
Rear laneway	Yes
Rear interface	NRZ + HO



Satellite image of existing condition (source: google.com c.2017)





CASE STUDY 03: Precinct 4 (continued)

Precinct Guidelines	
1	Reinforce the heritage value of the precinct and support the retention of the traditional facade.
2	Retain the primacy of significant heritage form on Queens Parade.
3	Support infill development behind the traditional street wall that contributes positively to the urban character of Clifton Hill.
4	Ensure appropriate transition in scale to sensitive interfaces.
5	Encourage future vehicular access and services be provided of existing laneway.
6	Ensure high quality and sympathetic upper level elevations that are exposed to the public domain.

Discussion - 390 Queens Parade	
Heritage 'visibility' test*	Based on heritage 'visibility' test requirement of maximum 1:1 ratio (1 part heritage to 1 part new upper levels), viewed from the opposite side of Queens Parade (60m width), the recommended 6m setback from Queens Parade frontage will allow development height of up to 18m to be accommodated on the site.
Lot consolidation test	The site's depth (30m) is insufficient to accommodate feasible floor plate (above 18m) whilst meeting the heritage 'visibility' test. Diagram B demonstrates that wider site frontage (9m) can be achieved through lot consolidation. There is opportunity to accommodate an additional floor with a floor plate depth of 9-10m to yield a feasible development footprint, increasing the overall building height to 21.5m.
Rear interface test	The rear transition recommendations aim to provide equitable development response to mid-block commercial allotment to the rear (C1Z + non contributory HO). The 2D + 3D testings demonstrate that without site consolidation, a feasible development footprint of up to 18m (5 storeys) can be accommodated on the site. Noting its rear interface to a laneway and C1Z, a less onerous setback (compared to standard B17) to the rear can be contemplated. In this instance, a minimum 4.5m setback from the laneway centreline (above 11m) will achieve the necessary 9m separation at the upper levels when replicated across the laneway.
Overshadowing test	The site is located south of NRZ properties and does not result in unreasonable amenity impact (overshadowing) onto NRZ properties to the north.
Visual bulk test	The rear interface can effectively be managed by adopting a single setback, which can be replicated on 390B Queens Parade.

Note: * Refer to Queens Parade Built Form Heritage Analysis & Recommendations - GJM Heritage.

Diagram A

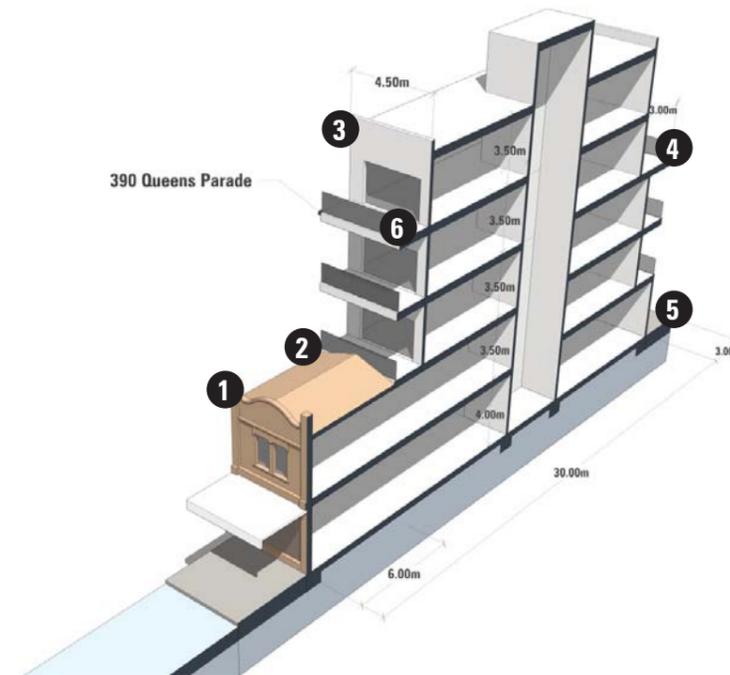
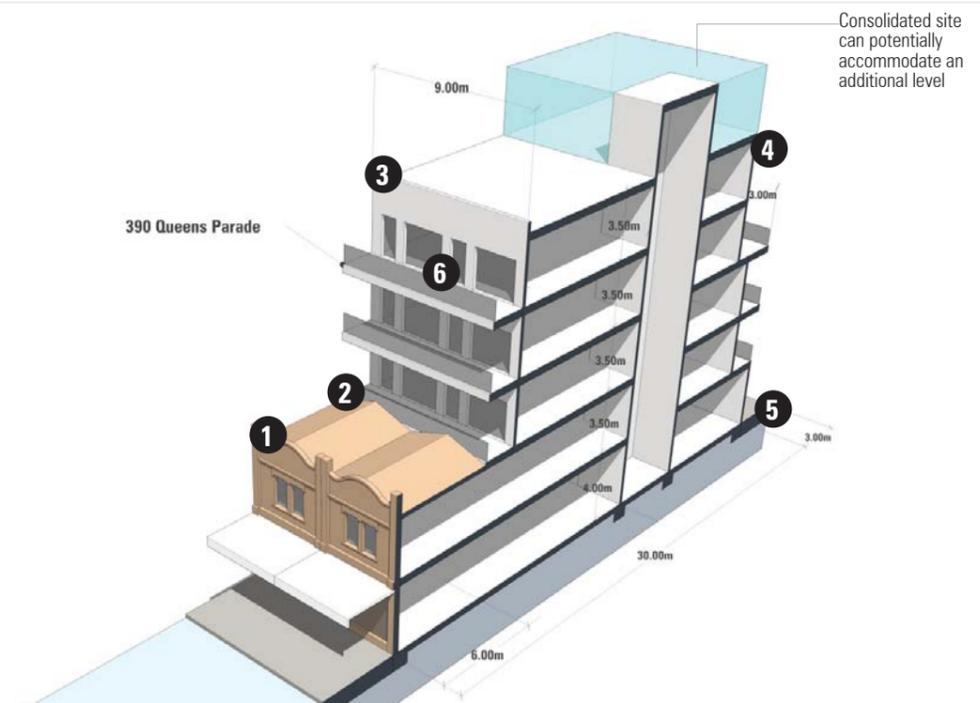


Diagram B





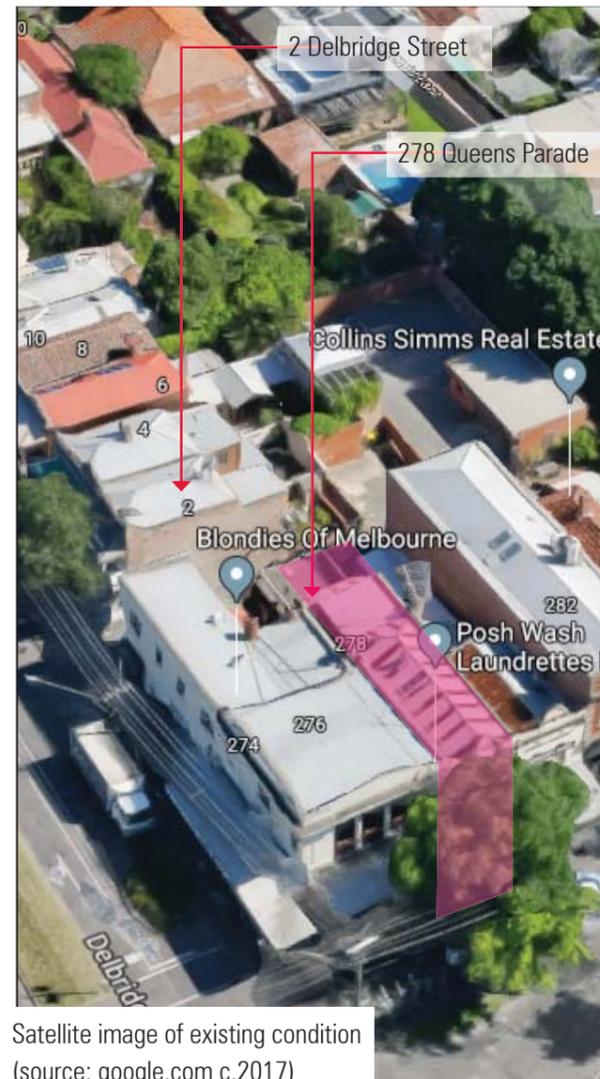
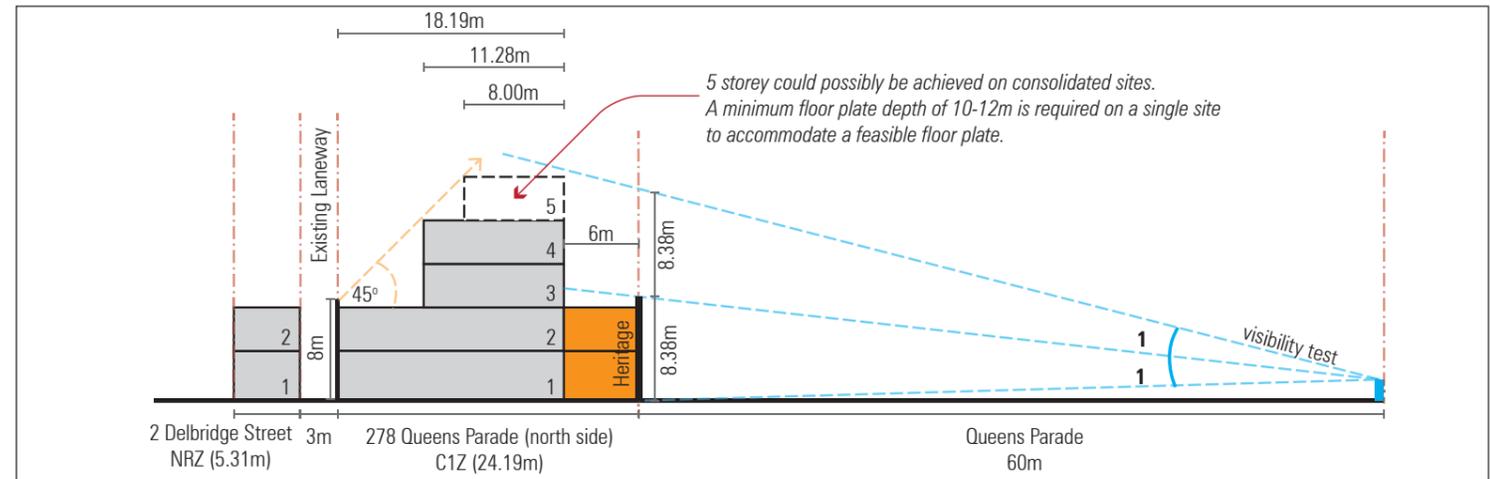
CASE STUDY 04: Precinct 4

Context	
Address	278 Queens Parade (north side)
Lot width	5.35m
Lot depth	24.19m
Heritage grading	Contributory
Rear laneway	Yes
Rear interface	NRZ

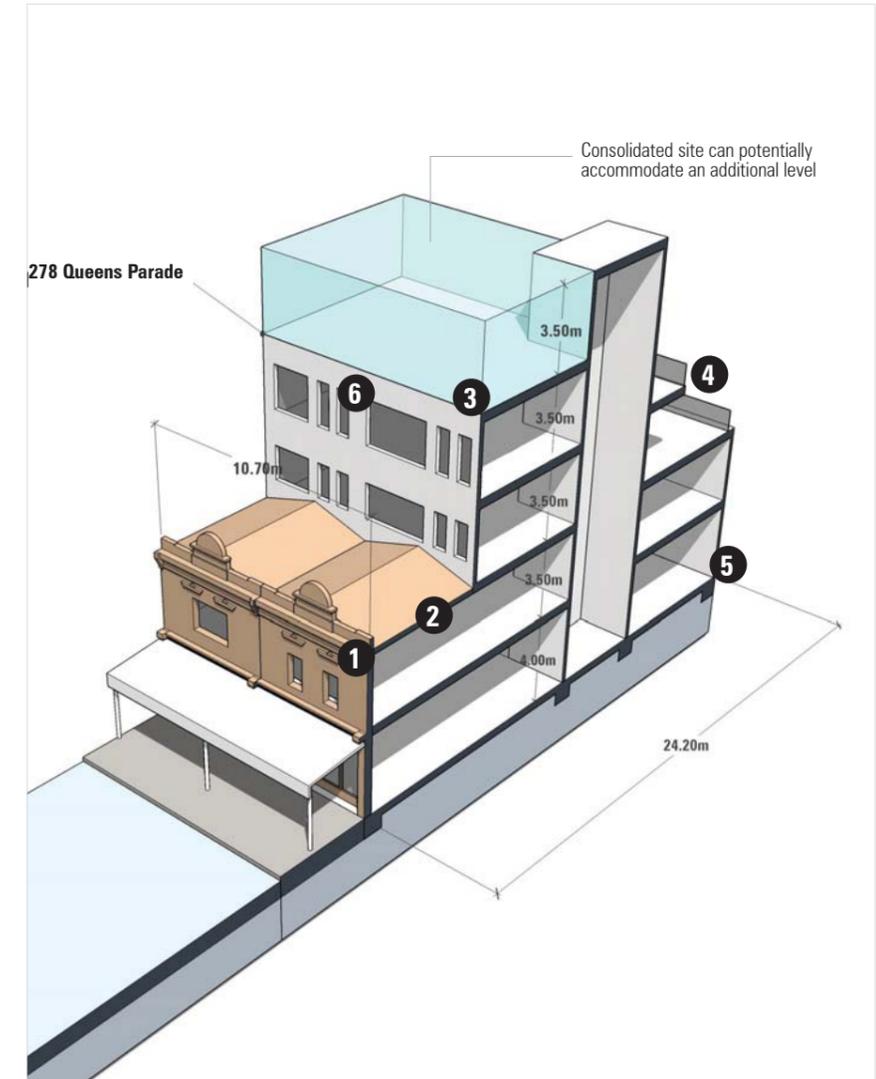
Precinct Guidelines	
1	Reinforce the heritage value of the precinct and support the retention of the traditional facade.
2	Retain the primacy of significant heritage form on Queens Parade.
3	Support infill development behind the traditional street wall that contributes positively to the urban character of Clifton Hill.
4	Ensure appropriate transition in scale to sensitive interfaces.
5	Encourage future vehicular access and services be provided of existing laneway.
6	Ensure high quality and sympathetic upper level elevations that are exposed to the public domain.

Discussion	
Heritage 'visibility' test*	Based on heritage 'visibility' test requirement of maximum 1:1 ratio (1 part heritage to 1 part new upper levels), viewed from the opposite side of Queens Parade (60m width), the preferred 18m (5 storeys) form is unlikely to be achieved on this site (if not consolidated).
Lot consolidation test	Whilst the site depth is limited, the preferred 18m (5 storeys) outcome can be achieved through lot consolidation to yield a wider site frontage. It demonstrates that on a consolidated site, a shallow but wide floor plate can be accommodated within the top floor, whilst meeting the 'visibility' and rear setback requirement.
Rear interface test	The rear transition recommendations aim to minimise amenity impact onto residential properties along Hodgkinson Street (NRZ + HO). It is noted that in this instance, the site's rear interface abuts a laneway and a side boundary (not rear boundary), with 1-2 storeys party wall with no window. Whilst this condition may change in the future, the existing interface condition is less sensitive with opportunity to vary the rear setback accordingly. The 2D + 3D testings demonstrate that without site consolidation, a feasible development footprint of up to 5 storeys can be accommodated on a consolidated site.
Overshadowing test	The site is located south of NRZ properties and does not result in unreasonable amenity impact (overshadowing) onto NRZ properties to the north.
Visual bulk test	The rear interface (to NRZ and laneway) will need to be carefully managed so as not to result in an overtly stepped building, or 'wedding cake' profile. The 3D modelling demonstrates this could be effectively managed by adopting a single setback measurement to the rear.

Note: * Refer to Queens Parade Built Form Heritage Analysis & Recommendations - GJM Heritage.



Satellite image of existing condition (source: google.com c.2017)





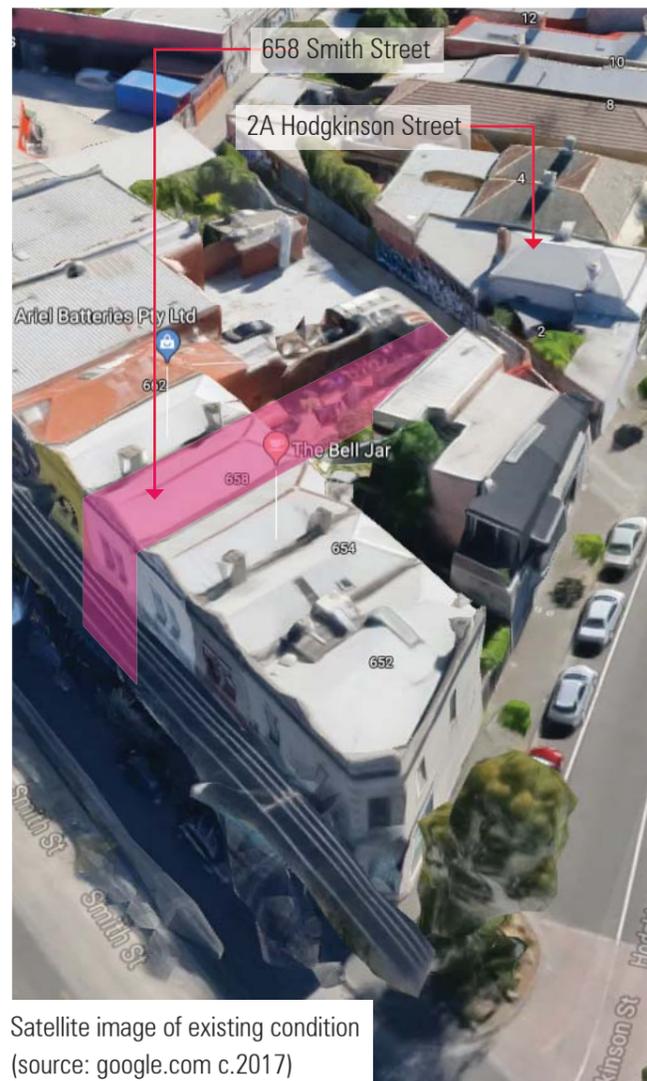
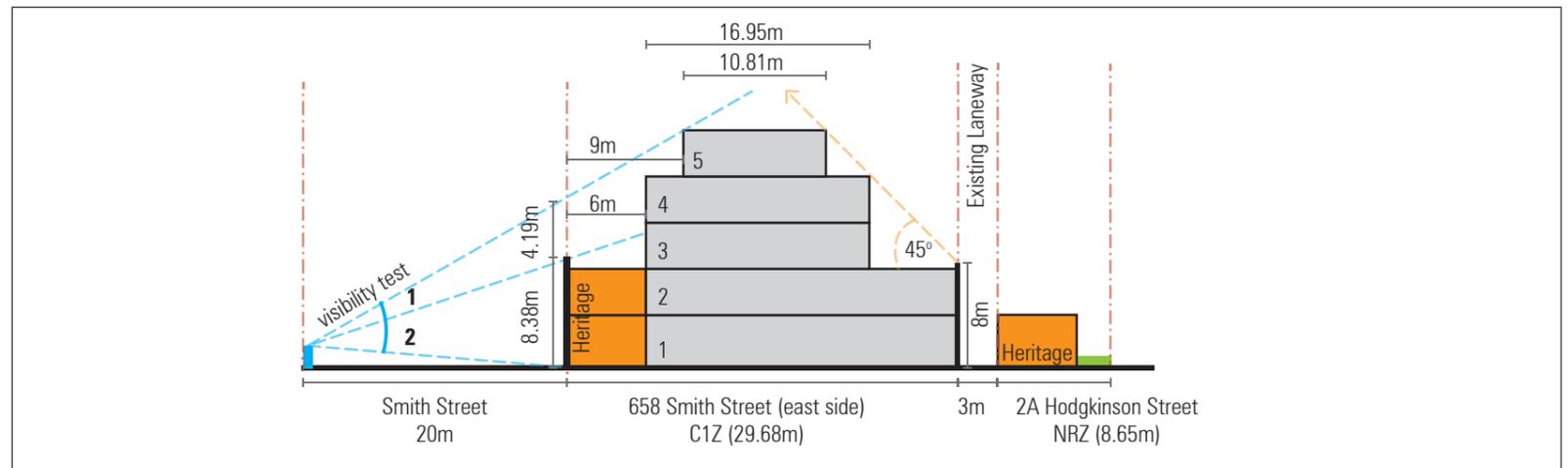
CASE STUDY 05: Precinct 3

Context	
Address	658 Smith Street (east side)
Lot width	5.11m
Lot depth	29.68m
Heritage grading	Contributory
Rear laneway	Yes
Rear interface	NRZ + HO

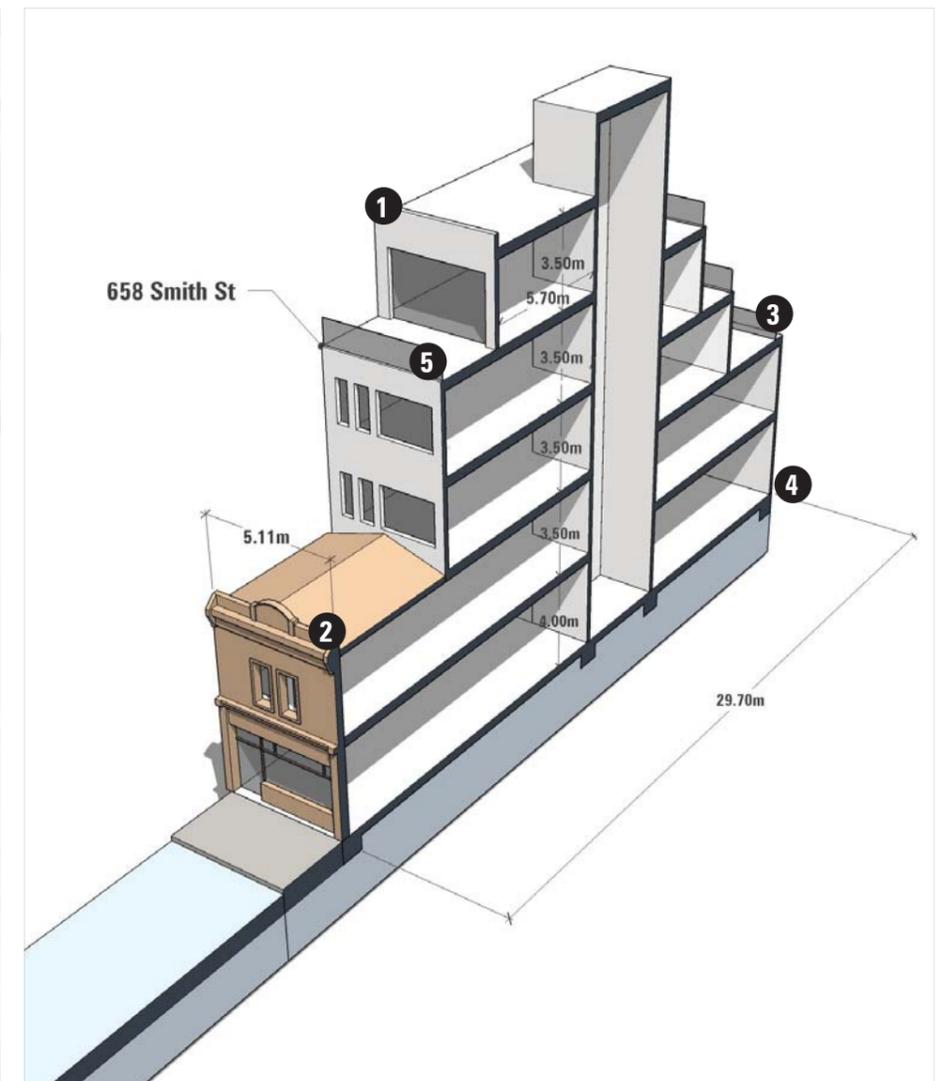
Precinct Guidelines	
1	Support greater development intensity.
2	Reinforce the heritage value of the precinct and support the retention of traditional street frontages.
3	Ensure appropriate transition in scale in response to sensitive residential interface.
4	Encourage future vehicular access and services be provided of existing laneway.
5	Ensure high quality and sympathetic upper level elevations that are exposed to the public domain.

Discussion	
Heritage 'visibility' test*	Based on heritage 'visibility' test requirement of maximum 2:1 ratio (2 parts heritage to 1 part new upper levels), viewed from the opposite side of Smith Street (20m width), the preferred 18m (5 storeys) can be achieved with a setback of 6-9m above the heritage street wall.
Lot consolidation test	Given limited lot depth and decreasing lot width to the rear, there is limited opportunity for development greater than 5 storeys on a single, or consolidated sites.
Rear interface test	The rear transition recommendations aim to minimise amenity impact onto residential properties along Hodgkinson Street (NRZ + HO). The 2D + 3D testings demonstrate that without site consolidation, a feasible development footprint of up to 5 storeys can be accommodated on the site.
Overshadowing test	Development scale up to 18m (5 storeys), paired with the recommended setback provisions can successfully minimise overshadowing impact to residential hinterland (NRZ), measured at the equinox.
Visual bulk test	The rear interface (to NRZ and laneway) will need to be carefully managed so as not to result in an overtly stepped building, or 'wedding cake' profile. The 3D modelling demonstrates this could be effectively managed by adopting 2 setback measurements to the rear.

Note: * Refer to Queens Parade Built Form Heritage Analysis & Recommendations - GJM Heritage.



Satellite image of existing condition (source: google.com c.2017)



APPENDIX B

POLICY FRAMEWORK SUMMARY

QUEENS PARADE BUILT FORM POLICY REVIEW

State Planning Policy Framework

The State Planning Policy Framework (SPPF) sets out state level policies to guide planning in Victoria. The following provisions of the SPPF are considered relevant to the study area:

Clause 9: Plan Melbourne

The relevant objectives of Plan Melbourne include:

- To plan for the expanded central city to become Australia’s Largest Commercial and Residential Centre by 2040
- To create a City of 20-minute neighbourhoods.
- To protect Melbourne and its suburbs from inappropriate development.
- To create neighbourhoods that support safe communities and healthy lifestyle.
- To respect our heritage as we build for the future.
- To achieve and promote design excellence.

Clause 11 – Settlement

The objective of Clause 11 is to ensure that planning responds appropriately to the needs of existing and future communities by providing for appropriately zoned and serviced land. It specifically identifies objectives and strategies relevant to the planning and development of activity centres. Relevant objectives include:

Clause 11.01-1 – Activity Centre Network

To build up activity centres as a focus for high-quality development, activity and living for the whole community by developing a network of activity centres.

Clause 11.01-2 – Activity Centre Planning

To encourage the concentration of major retail, residential, commercial, administrative, entertainment and cultural developments into activity centres which provide a variety of land uses and are highly accessible to the community.

Clause 15 – Built Environment and Heritage

Clause 15 ensures that new uses and developments respond appropriately in terms of built form, landscape values and cultural context and that significant places are protected. Good urban design should contribute positively to the local sense of place and urban character, reflects the identity and aspirations of the community, enhance the liveability and amenity of the public realm, and minimise the impact on neighbouring properties. Relevant objectives include:

Clause 15.01-1 – Urban Design

To create urban environments that are safe, functional and provide good quality environments with a sense of place and cultural identity.

Clause 15.01-2 – Urban Design Principles

To achieve architectural and urban design outcomes that contribute positively to local urban character and enhance the public realm while minimising detrimental impact on neighbouring properties.

Clause 15.01-5 – Cultural Identity and Neighbourhood Character

To recognise and protect cultural identity, neighbourhood character and sense of place.

Clause 15.03-1 – Heritage Conservation

To ensure the conservation of places of heritage significance.

Clause 16 – Housing

Clause 16 ensures the sustainable supply of housing in readily serviceable locations within walking distance to activity centres, public transport and open space. Relevant objectives include:

Clause 16.01-2 – Location of residential housing

To locate new housing in or close to activity centres and employment corridors and at other strategic redevelopment sites that offer good access to services and transport.

Clause 16.01-4 – Housing diversity

To provide for a range of housing types to meet increasingly diverse needs.

Local Planning Policy Framework

The Local Planning Policy Framework (LPPF) of the Yarra Planning Scheme contains the Municipal Strategic Statement (MSS) and Local Planning Policies which elaborate on and add local content to the objectives of the SPPF.

Municipal Strategic Statement

The MSS outlines the vision for the future development of the City of Yarra. It outlines how the municipality will accommodate the expected population growth through housing, employment and services and defines the objectives and strategies to achieve this vision. The objectives and strategies relate to the four categories of land use, built form, transport, and environmental sustainability. Relevant clauses are outlined below.

Clause 21.03 – Vision

The relevant objectives of the City of Yarra Vision include:

Built Form

- Yarra’s historic fabric which demonstrates the development of metropolitan Melbourne will be internationally recognised;
- Yarra will have a distinctive identity as a low-rise urban form, with areas of higher development and highly valued landmarks; and
- All new development will demonstrate design excellence.

Clause 21.04 – Land Use

Clause 21.04-1 – Accommodation and housing

It is identified at clause 21.04-1 that, due to the established nature of residential areas in Yarra, the majority of new residential development is expected to be located on strategic redevelopment sites near activity centres as well as mixed use and commercial zones. Relevant objectives and strategies include:

Objective 1

- *To accommodate forecast increases in population.*

Strategy 1.1

- *Ensure that new residential development has proper regard for the strategies applicable to the neighbourhood in question identified in clause 21.08.*

Strategy 1.2

- *Direct higher density residential development to Strategic Redevelopment Sites identified at clause 21.08 and other sites identified through any structure plans or urban design frameworks.*

Strategy 1.3

- *Support residual population increases in established neighbourhoods.*

Objective 3

- *To reduce potential amenity conflicts between residential and other uses.*

Strategy 3.1

- *Ensure new residential development in the Mixed Use, Business 1, Business 2, and Business 5 Zones and near Industrial and Business Zones is designed to minimise the potential negative amenity impacts of existing non-residential uses in the vicinity.*

Clause 21.04-2 Activity Centres

The focus of activity centres in Yarra is on creating vibrant communities through the presence of easily accessible service, retail and entertainment uses. Clause 21.04-2 places an emphasis on the need to ensure neighbourhood activity centres are capable of providing for the local day-to-day needs of the community. Relevant objectives and strategies include:

Objective 5

- *To maintain the long term viability of activity centres.*

Strategy 5.1

- *Limit expansion of the Business 1 Zone and new parcels of Business 1 zoning.*

Strategy 5.2

- *Support land use change and development that contributes to the adaptation, redevelopment and economic growth of existing activity centres.*

Strategy 5.3

- *Discourage uses at street level in activity centres which create dead frontages during the day.*

Strategy 5.4

- *Permit residential development that does not compromise the business function of activity centres.*

Clause 21.05 – Built Form

Clause 21.05-1 – Heritage

The large amount of heritage sites and places within the City of Yarra underpins the valued character of the municipality. Clause 21.05-1 outlines objectives and strategies to protect and enhance the heritage values of Yarra.

Objective 14

- *To protect and enhance Yarra's heritage places.*

Strategy 14.1

- *Conserve, protect and enhance identified sites and areas of heritage significance including pre-settlement ecological heritage.*

Strategy 14.2

- *Support the restoration of heritage places.*

Strategy 14.3

- *Protect the heritage skyline of heritage precincts.*

Strategy 14.5

- *Protect the significant landscape and heritage within streets, parks, gardens, waterways or other open spaces.*

Strategy 14.6

- *Protect buildings, streetscapes and precincts of heritage significance from the visual intrusion of built form both within places and from adjoining areas.*

Clause 21.05-2 – Urban Design

Clause 21.05-2 recognises the valued low-rise urban form of the City of Yarra. This urban form is punctuated by taller buildings located near activity centres as well as landmark buildings. Relevant objectives and strategies include:

Objective 16

- *To reinforce the existing urban framework of Yarra*

Strategy 16.2

- *Maintain and strengthen the preferred character of each Built Form Character Type within Yarra.*

Objective 17

- *To retain Yarra's identity as a low-rise urban form with pockets of higher development.*

Strategy 17.1

- *Ensure that development outside activity centres and not on Strategic Redevelopment Sites reflects the prevailing low-rise urban form.*

Strategy 17.2

Development on strategic redevelopment sites or within activity centres should generally be no more than 5-6 storeys unless it can be demonstrated that the proposal can achieve specific benefits such as:

- *Significant upper level setbacks*
- *Architectural design excellence*
- *Best practice environmental sustainability objectives in design and construction*
- *High quality restoration and adaptive re-use of heritage buildings*
- *Positive contribution to the enhancement of the public domain*
- *Provision of affordable housing.*

Objective 18

- *To retain, enhance and extend Yarra's fine grain street pattern.*

Strategy 18.1

- *Encourage the re-establishment of streets and laneways through new development sites where such links were part of the historic street pattern, except where this will cause detrimental traffic impacts.*

Objective 19

- *To create an inner city environment with landscaped beauty.*

Strategy 19.1

- *Require well resolved landscape plans for all new development.*

Strategy 19.2

- *Encourage opportunities for planting suitable trees and landscape areas in new development.*

Strategy 19.3

- *Encourage the retention of mature vegetation.*

Strategy 19.4

- *Protect mature and healthy flora species where they have heritage value or are a valued part of the character of an area*

Objective 20

- To ensure that new development contributes positively to Yarra's urban fabric.

Strategy 20.1

- Ensure development is designed having particular regard to its urban context and specifically designed following a thorough analysis of the site, the neighbouring properties and its environs.

Strategy 20.2

- Require development of Strategic Redevelopment Sites to take into account the opportunities for development on adjoining land.

Strategy 20.3

- Reflect the fine grain of the subdivision pattern in building design where this is part of the original character of the area.

Objective 21

- To enhance the built form character of Yarra's activity centres.

Strategy 21.1

- Require development within Yarra's activity centres to respect and not dominate existing built form.

Strategy 21.2

- Require new development within an activity centre to consider the context of the whole centre recognising that activity centres may consist of subprecincts, each of which may have a different land use and built form character.

Strategy 21.3

- Support new development that contributes to the consolidation and viability of existing activity centres

Clause 21.08 – Neighbourhoods

Clause 21.08-4 – Clifton Hill

Clause 21.08-4 identifies part the study area as the Queens Parade Neighbourhood Activity Centre within Clifton Hill. It is characterised as a mixed use centre focused on convenience retailing. There is limited scope for intense development of this centre.

Clause 21.08-4 seeks to facilitate the implementation of built form strategies in clause 21.05 includes:

- Supporting development that maintains and strengthens the preferred character of the relevant Built Form Character type.
- Encouraging the redevelopment of the following sites in a way that contributes positively to the urban fabric and public domain of Yarra, and where subject to a Heritage Overlay, protects the heritage of the site and of the area: Site 1 94 Alexandra Parade, Clifton Hill (shot tower site), Site 2 135 – 169 Noone Street (Australian Dyeing Company Precinct), Site 3 Dummet Crescent.
- Strengthening the built form of land adjacent to Alexandra Parade ☼
- Maintaining the visual prominence of the Spire of St Johns and the Shot Tower

Local Planning Policies

Clause 22.02 – Development Guidelines for Sites Subject to the Heritage Overlay

Provides guidance for the protection and enhancement of heritage places in the City of Yarra. Objectives include:

- To conserve Yarra's natural and cultural heritage.
- To conserve the historic fabric and maintain the integrity of places of cultural heritage significance.
- To retain significant view lines to, and vistas of, heritage places.

- To preserve the scale and pattern of streetscapes in heritage places.
- To encourage the preservation, maintenance, restoration and where appropriate, reconstruction of heritage places.
- To ensure the adaptation of heritage places is consistent with the principles of good conservation practice.
- To ensure that additions and new works to a heritage place respect the significance of the place.
- To encourage the retention of 'individually significant' and 'contributory' heritage places.
- To protect archaeological sites of cultural heritage significance.

Clause 22.03 – Landmarks and tall structures

The purpose of Clause 22.03 is to ensure that important landmarks and tall structures within the City of Yarra are retained and view lines towards these sites are maintained and the silhouettes/profiles are protected.

The objective includes:

- To maintain the prominence of Yarra's valued landmarks and landmark signs.

The policy identifies the spire of St Johns Church on Queens Parade, the Shot tower on Alexandra Parade and St Patrick's Cathedral at the intersection of Brunswick Street and St Georges Road as significant landmarks within and nearby to the study area.

Clause 22.05 – Interface Uses Policy

Clause 22.05 provides guidelines for the development of diverse land mixes to reduce conflict between commercial, industrial and residential activities. Objectives include:

- To enable the development of new residential uses within and close to activity centres, near industrial areas and in mixed use areas while not impeding the growth and operation of these areas as service, economic and employment nodes.
- To ensure that residential uses located within or near commercial centres or near industrial uses enjoy a reasonable level of amenity.

Clause 22.07 – Development Abutting Laneways

Recognising the importance of retaining access to laneways, Clause 22.07 provides guidance for development abutting laneways. Objectives include:

- To provide an environment which has a feeling of safety for users of the laneway.
- To ensure that development along a laneway acknowledges the unique character of the laneway.
- To ensure that where development is accessed off a laneway, all services can be provided to the development.
- To ensure that development along a laneway is provided with safe pedestrian and vehicular access.

Clause 22.10 – Built Form and Design Policy

Clause 22.10 applies to new development not affected by the Heritage Overlay. Objectives include:

- Ensure that new development positively responds to the context of the development and respects the scale and form of surrounding development where this is a valued feature of the neighbourhood character.
- Ensure that new development makes a positive contribution to the streetscape through high standards in architecture and urban design.
- Limit the impact of new development on the amenity of surrounding land, particularly residential land.
- Design buildings to increase the safety, convenience, attractiveness, inclusiveness, accessibility and 'walkability' of the City's streets and public spaces.
- Create a positive interface between the private domain and public spaces.
- Encourage environmentally sustainable development.

22.10-3.2 Urban form and character

Design objectives include:

- To retain and extend the City's fine grain of street pattern and urban form.
- To ensure that developments contribute positively to the urban fabric and public realm.

- *To improve the transparency and legibility of the city's urban form and structure.*
- *To achieve continuity in the built form having regard to rhythm and spacing of buildings and any distinctive street pattern (as identified in the Site Analysis Plan and Design Response).*

22.10-3.3 Setbacks & Building Height

Design objectives include:

- *To ensure that the setbacks of new development complement the desired neighbourhood character of the area (as identified in the Site Analysis Plan and Design Response, the Municipal Strategic Statement and any relevant local planning policies).*
- *To ensure that the height of new development is appropriate to the context of the area (as identified in the Site Analysis Plan and Design Response) and respects the prevailing pattern of heights of the area where this is a positive contribution to neighbourhood character.*
- *To ensure new roof forms respect any prevailing roof forms in the area (as identified in the Site Analysis Plan and Design Response) and contribute to the skyline silhouette.*

Zoning

The study area is characterised by a mix of zones. A summary of each follows.

Commercial 1 Zone (C1Z)

The north east of Queens Parade (surrounding the Heidelberg Road junction) is subject to the Commercial 1 Zone (C1Z). The C1Z seeks to:

- *Create vibrant mixed use commercial centres for retail, office, business, entertainment and community uses.*
- *Provide for residential uses at densities complementary to the role and scale of the commercial centre*

Commercial 2 Zone (C2Z)

Land subject to the Commercial 2 Zone is located to the south west of the study area along Queens Parade and Alexander Parade. The C2Z prohibits residential use and seeks to

- *encourage commercial areas for offices, appropriate manufacturing and industries, bulky goods retailing, other retail uses, and associated business and commercial services.*
- *ensure that uses do not affect the safety and amenity of adjacent, more sensitive uses*

Mixed Use Zone (MUZ)

The MUZ is applied to the northeast and southwest of the study area along Queens Parade. The MUZ seeks to:

- *Provide for a range of residential, commercial, industrial and other uses which complement the mixed-use function of the locality.*
- *Provide for housing at higher densities.*
- *Encourage development that responds to the existing or preferred neighbourhood character of the area.*
- *Facilitate the use, development and redevelopment of land in accordance with the objectives specified in a schedule to this zone.*

General Residential Zone (GRZ)

Small pockets of land within the study area are located within the General Residential Zone (GRZ). The GRZ seeks to

- *encourage development that respects the neighbourhood character of the area.*
- *implement neighbourhood character policy and adopted neighbourhood character guidelines.*
- *provide a diversity of housing types and moderate housing growth in locations offering good access to services and transport.*
- *allow educational, recreational, religious, community and a limited range of other nonresidential uses to serve local community needs in appropriate locations.*

Neighbourhood Residential Zone (NRZ)

The majority of residential land within the study area is located within the Neighbourhood Residential Zone (NRZ). The NRZ seeks to:

- *Recognise areas of predominantly single and double storey residential development.*
- *Limit opportunities for increased residential development.*
- *Manage and ensure that development respects the identified neighbourhood character, heritage, environmental or landscape characteristics.*
- *Implement neighbourhood character policy and adopted neighbourhood character guidelines.*
- *Allow educational, recreational, religious, community and a limited range of other nonresidential uses to serve local community needs in appropriate locations.*

Public Park and Recreation Zone (PPRZ)

The Public Park and Recreation Zone (PPRZ) applies to areas designated for public recreation and open space.

Public Use Zone (PUZ)

The PUZ applies to land to the southwest of the study area and seeks to:

- *Recognise public land use for public utility and community services and facilities.*
- *Provide for associated uses that are consistent with the intent of the public land reservation or purpose.*

Overlays

Heritage Overlay (HO)

The study area contains a number of heritage overlays covering both heritage precincts and individual buildings and sites.

Queens Parade Precinct (HO330)

HO330 covers the main commercial strip of Queens Parade and includes contributory, non-contributory and individual significant buildings. The statement of significance identifies the following features as significant to the precinct:

- *As one of Melbourne's early surveyed boulevards (1853) and one of the few associated with the prominent surveyor Robert Hoddle, enhanced by mature street trees (elms) and extensive beautification in the inter-war period in the form of plane trees and rockeries;*
- *For the contribution of the old government surveyed town of Northcote (part), as a valuable historical depiction of Melbourne's early relationship to then nearby country districts, with early extant buildings such as the Terminus Hotel at the Merri Creek bridge (in use since 1854), substantial 1860s row houses and other indications of residential development prior to the government suburban subdivisions and their development in the 1880s Boom era;*
- *For the late 19th and early 20th century shops, hotels, banks, and public buildings, often with intact street verandahs, lining both sides of a wide boulevard that provides for exceptional vistas to fine commercial rows, and demonstrates the major role of Queens Parade as a commercial, banking, accommodation and public transport nucleus for the district;*
- *As a good representation of building styles from the mid-19th century to the late 1930s, enhanced by prominent landmarks such as the former banks, St. John's Catholic Church complex, and the United Kingdom Hotel, the latter two being primary foci in the precinct;*
- *For the remarkable collection of original street verandahs particularly on the north side of the street;*
- *For the picturesque shop-row skyline, visible from across Queens Parade, with its gabled or hipped roof forms and many original chimneys; and*
- *For fine groups of early 20th century villas, set in gardens, in the residential areas to the west and north-east ends of Queens Parade.*

North Fitzroy Precinct (HO327)

HO327 covers the northern residential section of the study area.

- *For the clear indication of important early land development phases in the suburb as follows:*

- *East-west, relatively long and narrow streets originating from private subdivision of the 1839 agricultural allotments that originally fronted Merri Creek;*
- *The evident effect of the 19th century Boom era when aggressive subdivision coincided with provision of public transport, creating dense late-Victorian development near the Nicholson St cable tram terminus;*
- *The more generous post-1906 subdivisions (suited to the construction of detached timber villas) representing changed values in land prices, and the relatively new suburban ideal of affordable house and garden lifestyle;*
- *The slow transformation into a completed residential suburb by WW2, with the last few vacant sites accommodating inter-war dwellings, some developed with medium-density housing, duplexes and flats.*
- *For the consistent and intact streetscapes of late Victorian terrace and row housing in the south-west corner of the area, and Italianate style and Edwardian timber villas, interspersed occasionally with inter-war houses, in the balance of the area;*
- *For the visual consistency and good period expression of streets in the north and east parts of the area, consistently one-storey, timber construction, decorative detail, and detached siting with consistent garden setbacks;*
- *For the interwar medium density development pockets, including those contained within Pilkington St and parts of Barkly St, King and Miller Streets, significant for its intactness, form and high quality design.*
- *For the shopping strip streetscape of St Georges Rd, significant for its landmark Victorian-era buildings, plus intact early 20th century and interwar buildings in both Classical Revival and Moderne styles; and*
- *For important landscape and vistas, including the view of Merri Creek Bridge framed by palms and mature elms in the Merri Primary School reserve, and mature street plantings of plane trees.*

Clifton Hill Western Precinct (HO317)

The southern section of the study area is protected by HO317. The statement of significance outlines the following:

- *As an expression, in the history of its creation as part of Collingwood East, of the aspirations of tradesmen of the Collingwood Slope for improved urban development and the provision of public facilities;*
- *For the role of local politicians and business figures in social, physical and industrial improvement and home ownership in the area;*
- *As the focus of community sentiment and resident protest from its initial development in the 1860s, from the actions of the Victorian-era Vigilance Committee to the preservation movements of the 20th Century, specifically the House of the Gentle Bunyip conservation campaign;*
- *For the distinctive street and allotment layout created under Government surveyor, Clement Hodgkinson (43), and the liberal allowance for garden squares and reserves for a market, public baths, a school, a recreation reserve and five churches, contrasting with private surveys in the City of Yarra;*
- *For Hoddle's provision of boulevards (Hoddle Street and Queen's Parade) skilfully merged with wide streets on a north south grid, with unusual five way intersections and triangular public spaces at each end of Queen's Parade;*
- *For the unique series of vistas from the crest of the hill at the end of Hoddle street that includes views of significant landmarks like the shot tower, spires of St. Johns and the former Wesleyan Church, Town Hall towers at Collingwood and Fitzroy, the Exhibition Buildings, and long vistas to the Kew hill and Studley Park, plus those to and from the Darling Gardens;*
- *For the area's fine representation of Victorian-era life, as expressed by the street and public reserves, along with the dominantly Victorian-era building stock including churches, a State school, factories, early houses, a large number of late Victorian terrace houses, attached and free standing, and key house designs such as 12 North Terrace.*
- *For its focus on a representative and intact example of a residential garden square (Darling Gardens) based on British and European precedents, with associated significant trees;*
- *For the mature, largely exotic trees, including those planted by George David Langridge, MLA and former Mayor, bluestone kerbs, gutters, drains, channelling, and laneways from the area's major period of development;*
- *For the strong industrial theme, seen in the south of the area with several 19th Century industrial buildings including former boot factories, and a carriage factory, that links the area with the City's other creek and riverside industrial localities such as Clifton Hill East, Abbotsford and Collingwood;*
- *For well preserved Edwardian housing estates and individual houses as complements to the dominant Victorian-era residences; and*
- *For good examples of the Californian Bungalow style and other well preserved interwar houses.*

Other sites of heritage significance within the study area include:

- Queens Parade Street Trees (HO93)
- Elm & Plane double avenue, street trees (HO93)
- Haselmere, 96 McKean Street, North Fitzroy (HO216)
- Former ANZ Bank, 370 Queens Parade, Clifton Hill (HO221)
- Former United Kingdom Hotel, 199 Queens Parade, Clifton Hill (HO92)
- Baptist Church and Hall, 100 Hodgkinson Street, Clifton Hill (HO317)

Environmental Audit Overlay (EAO)

The EAO affects a number of the sites within the study area. The EAO applies to land that may potentially be contaminated and requires assessment before development.

Special Building Overlay (SBO)

The SBO applies to land identified as liable to inundation from floodwaters and requires new development to allow for the free passage of floodwaters and to minimise flood damage.

Design and Development Overlay – Schedule 2(DDO2)

A portion of the study area along Alexandra Parade is affected by the DDO2 which applies to main roads and boulevards within the municipality, providing design objectives and guidelines. The key objectives include:

- To recognise the importance of main roads to the image of the City.
- To retain existing streetscapes and places of cultural heritage significance and encourage retention of historic buildings and features which contribute to their identity.
- To reinforce and enhance the distinctive heritage qualities of main roads and boulevards.
- To recognise and reinforce the pattern of development and the character of the street, including traditional lot width, in building design.
- To encourage high quality contemporary architecture.
- To encourage urban design that provides for a high level of community safety and comfort.
- To limit visual clutter.
- To maintain and where needed, create, a high level of amenity to adjacent residential uses through the design, height and form of proposed development.



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