



Queens Parade Built Form Heritage Analysis & Recommendations



Figure 1: Queens Parade, Fitzroy North and Clifton Hill (©nearmap, 7 Feb 2017)

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Prepared for the City of Yarra

GJM Heritage

a: Level 3, 124 Exhibition Street [GPO Box 2634], Melbourne, VIC 3001

t: 0481 284 130

e: enquiries@gjmheritage.com

w: www.gjmheritage.com

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Personnel:

Jim Gard’ner, Director	GJM Heritage Registered Architect
Renae Jarman, Director	GJM Heritage Heritage Planner
Ros Coleman, Associate	GJM Heritage Architectural Historian
Jessi Briggs, Associate	GJM Heritage Architectural Historian

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Executive Summary

Queens Parade, straddling the suburbs of Fitzroy North and Clifton Hill in the City of Yarra, was originally a track shown on Robert Hoddle's Crown survey of 1837, linking Melbourne to Heidelberg. Established by 1839, it was Melbourne's first major road¹. The track originally extended from the top of Bourke Street and followed an irregular course to the northeast, following the top of the Collingwood escarpment and running along the current alignments of Queens Parade, Heidelberg Road, Upper Heidelberg Road and Lower Plenty Road². Queens Parade was surveyed by Hoddle as a three chain (60m) wide boulevard and reserved in 1853. It was one of Melbourne's earliest surveyed boulevards³.

Today Queens Parade is an area where more intensive development is starting to occur, particularly in the former light industrial areas to the south-west and north-east, but also within the commercial Neighbourhood Activity Centre.

Hansen Partnership, on behalf of the City of Yarra (Council), is completing a Built Form Review of Queens Parade (the Review) to determine where and how new development can occur. The desired built form outcomes will be translated into Design and Development Overlay (DDO) controls for the Parade.

This heritage advice will help ensure that the Review and the subsequent DDO appropriately responds to the heritage fabric and values of Queens Parade, leading to fully integrated decision-making when considering new development within the Queens Parade corridor.

This heritage advice analyses the existing heritage values and qualities along Queens Parade. It identifies any gaps, inconsistencies or inaccuracies with the current heritage controls and provides recommendations for addressing these issues. The advice then considers the built form parameters that are needed to ensure the heritage values of the area are appropriately managed in any proposal for more intensive development. This includes a consideration of whether mandatory or discretionary controls are appropriate to achieve the particular parameter.

Presentation of the Report

This following Heritage Report is presented in three parts:

Part I: The Project and Planning Framework

Part I introduces the project, the methodology applied to the project and the planning framework in which the project is occurring.

Part II: Heritage Analysis

Part II contains a heritage analysis of each Study Area precinct. It details the heritage qualities and values of each precinct, identifies any gaps or issues with the existing heritage framework and provides recommendations for appropriately managing heritage places within the study area.

Part III: Heritage Recommendations

Part III contains specific built form recommendations to ensure heritage places and values are appropriately managed within a changing Activity Centre. The specific recommendations are informed by modelling prepared by Hansen Partnership.

¹ Maxwell Lay, 'Roads', *eMelbourne: The City Past and Present* (www.emelbourne.net.au/biogs/EM01255b.htm). Accessed 13 June 2017. Lay also states that the road was first surveyed to Eltham in 1840 and officially opened in 1841. Hoddle's survey in 1853 may have been a re-survey of the road.

² Maxwell Lay, 'Roads', *eMelbourne*.

Lewis, Miles, 'The First Suburb' in *Fitzroy: Melbourne's First Suburb* (1989), 7.

³ Graeme Butler and Associates, *City of Yarra Review of Heritage Overlay Areas* (2007), 120.

Part I: The Project and the Study Area

1. Introduction

1.1 Queens Parade, Clifton Hill/Fitzroy North

The City of Yarra (Council) is endowed with one of the largest and most highly intact collections of turn of the century 'High Streets' in the State of Victoria. These High Streets include the four Major Activity Centres of Swan Street and Bridge Road in Richmond, Brunswick Street in Fitzroy, and Smith Street straddling the suburbs of Fitzroy and Collingwood. They also include a number of Neighbourhood Activity Centres, including Rathdowne Street and Nicholson Street in Carlton North, St Georges Road in Fitzroy North, Queens Parade in Fitzroy North/Clifton Hill, Gertrude Street in Fitzroy, and Johnston Street in Fitzroy and Collingwood.

These High Streets help to define the character of the municipality and their value to the community is recognised by their inclusion in the Heritage Overlay of the Yarra Planning Scheme. However, the Activity Centre status of these High Streets presents a difficult challenge: how do we balance the retention of these highly valued streets with the need to ensure the long-term sustainability of these centres and meet the growth objectives of the Yarra Planning Scheme?

1.1.1 Brief History of Queens Parade

The following brief history is drawn from the Statement of Significance for HO330 Queens Parade Precinct and supplemented with additional research.

First established as a track linking Melbourne and Heidelberg in the late 1830s, Queens Parade was one of Melbourne's first major roads. Originally extending from the top of Bourke Street, the route followed an irregular course to the northeast and continued across Merri Creek. The road was surveyed by Hoddle as a substantial three chain (60 metre) wide boulevard, reserved in 1853, and known as Heidelberg Road at the southwest end and Plenty Road further to the northeast and crossing Merri Creek. This thoroughfare to Northcote and Heidelberg formed part of the boundary between Clifton Hill and North Fitzroy and was renamed Queens Parade in the early twentieth century.

Allotments were sold in Queens Parade from 1853, on the northwest side, south of Merri Creek as part of the Northcote township reserve. The Scotch Thistle Hotel, the present Terminus Hotel, had been built as part of this township by 1854 and some early bluestone terrace houses remain nearby at the corner of Rushall Crescent. Allotments fronting both sides of Queens Parade sold from 1864, however the street remained largely undeveloped until the construction of buildings such as the Daintons Family Hotel at the corner of Gold Street in 1875 and St John's Roman Catholic Church in 1876.

This thoroughfare between Melbourne and the northern districts experienced a development boom in the 1880s, serving local residents as well as those travelling through, and much of the present building stock in the precinct was constructed at this time. Development on the North Fitzroy (north) side was predominantly two-storey, including shops with residences above, such as the corner building at 336-338 Queens Parade (1870-1890) and banks, including the National Bank of Australasia (1886) and the three-storey landmark building, the former London Chartered Bank (later the ANZ Bank, 1889). The Clifton Hill (south) side of the street developed with some shops, large commercial enterprises and some public buildings, including the Post and Telegraph Office (1893), a row of seven shops and residences known as Campi's Buildings (1880s), the State Savings Bank (1889), and the Clifton Hill Hotel (1884) on the south-east corner of Wellington Street.

Public transport was established in the area during the Boom years of the 1880s. A cable tram service was provided along the developing Queens Parade commercial strip in 1887, terminating at the Merri Creek and this was extended to Northcote in 1889. Increasing demand for public transport resulted in the opening of the Royal Park to Clifton Hill railway in 1888.

Development in Queens Parade decreased during the depression years of the 1890s however a 1904 Melbourne and Metropolitan Board of Works detail plan indicates it was a tree lined commercial street with verandahs over the footpaths on both sides of Queens Parade. Commercial development re-commenced in the early twentieth century, adding an Edwardian presence to the existing Victorian character of the precinct.

Edwardian buildings include the Clifton Hill & Northcote United Friendly Societies Dispensary (1914), the Clifton Hill Post Office (c1915-20) and the former doctor's surgery and residence (c1915). Additionally, a substantial group of detached Edwardian houses were built on the North Fitzroy side of Queens Parade, at the north-east end.

By the close of the Edwardian period (c1918) the streetscape, that continues today to mark the entrance to Melbourne's northern suburbs, had largely been established. Notable Interwar buildings were added to the precinct in the 1930s including a pair of landmark Moderne buildings at the north-east end - the former United Kingdom Hotel (1937-38), located on the prominent intersection of Queens Parade and Heidelberg Road, and the nearby Clifton Motors Garage (1938 façade).

Extensive beautification took place in the Interwar period in the form of landscaping and further street tree plantings. Grassed median strips were planted with plane and elm trees at the west end and a triangular garden (Raines Reserve) was created at the junction with Heidelberg Road.

1.1.2 Brief Description of the Queens Parade Study Area

Queens Parade, straddling the suburbs of Clifton Hill and Fitzroy North, is a corridor of diverse functions and character and is lined with a mixture of residential, industrial and commercial buildings dating from all eras of its development. Within the Queens Parade Study Area (Figure 2), Queens Parade includes a highly intact, predominantly nineteenth century, shopping strip and important local landmarks in the form of the Church of St John the Baptist and the former ANZ Bank Building at 370-374 Queens Parade. This central part of Queens Parade, in particular, is highly valued by local residents and its heritage buildings provide a rich environment for retail, hospitality, commercial and community uses.

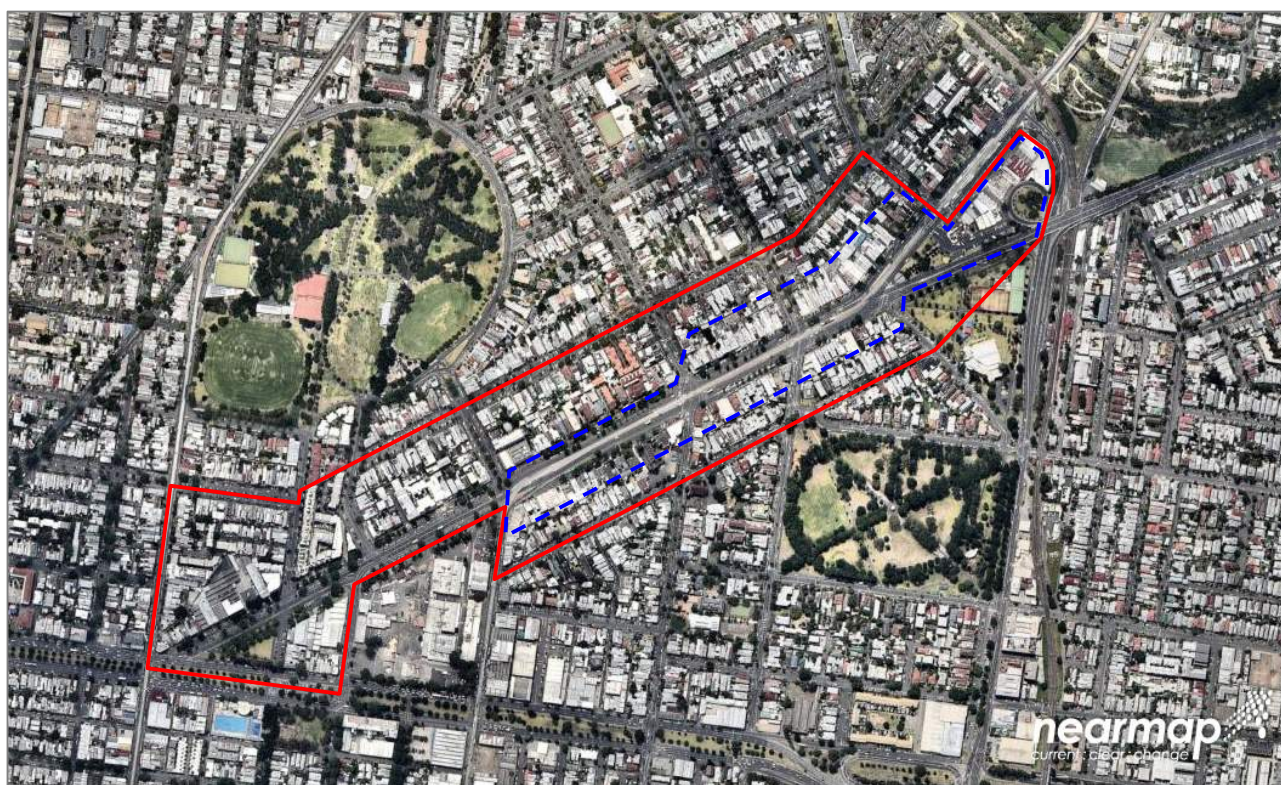


Figure 2: Extent of Study Area shown in red and Neighbourhood Activity Centre dashed in blue (base image ©nearmap, 7 Feb 2017)

The Study Area extends along either side of Queens Parade between the intersection of Brunswick Street and Alexandra Parade to the southwest and Coulson Reserve in the north-east. It generally extends one block either side of Queens Parade to Newry and McKean Streets in Fitzroy North and Hodgkinson Street in Clifton Hill. The Study Area excludes the former Fitzroy Gasworks site (bounded by Queens Parade, Alexandra Parade, George Street and Smith Street), which is identified as a 'strategic redevelopment site' and is managed

through a separate Urban Design Framework. The Study Area is approximately 1.6 kilometres in length and 250 metres in width.

The character of the Study Area varies along the length of Queens Parade, moving from the mixed residential and industrial character of the southwestern portion, which transitions to a mix of commercial and residential buildings in the centre of the Study Area with the prominent Church of St John the Baptist. North of this landmark the Study Area is characterised by a highly intact turn of the century retail and commercial Neighbourhood Activity Centre. The triangle of land bounded by Queens Parade, Heidelberg Road and Hoddle Street at the northeastern end of the Study Area returns to more industrial character.

Part II of this report describes the Study Area in greater detail.

1.2 Scope of the Heritage Analysis & Recommendations Report

In December 2016 GJM was engaged to provide high-level advice into initial work for the Review. The input constituted verbal advice on the adequacy of the Statements of Significance for Heritage Overlays within the Study Area and the appropriateness of the heritage gradings identified in the Incorporated Document *City of Yarra Review of Heritage Overlay Areas 2007: Appendix 8* (as amended) (Appendix 8). In the early stages of this work, and in response to a development application for the former KG Luke site at 26 – 56 Queens Parade, GJM provided verbal heritage advice on Schedule 16 to the DDO (Queens Parade West) (DDO16) and the supporting urban design analysis.

In April 2017 GJM was commissioned to provide detailed analysis of the heritage considerations for the Queens Parade Study Area (Figure 2) and to detail recommendations for its future management in the context of new development.

The purpose of our advice is to ensure that DDO controls arising from the Built Form Review take proper account of the heritage values of the precincts and individual buildings within the Study Area, leading to fully integrated decision-making when considering new development within the Queens Parade corridor.

The analysis within this report considers:

- The suitability of the extent of the Heritage Overlays for places and precincts within the Study Area.
- The heritage grading of each property within the Heritage Overlay in Appendix 8.
- The currency of the existing Statements of Significance for places and/or precincts to ensure they provide adequate guidance for the management of important heritage features.
- Places not currently included in the Heritage Overlay but which warrant further consideration for inclusion in the Heritage Overlay.
- Built form parameters necessary to appropriately manage increased commercial and residential development within the context of the existing heritage place and/or precinct.

Within this report, the term ‘Study Area’ or ‘Queens Parade’ refers to the area identified in red in Figure 2.

1.3 Methodology

The key background documents on which the heritage analysis is based are:

- Yarra Planning Scheme Heritage Overlay Maps 1 and 2
- Relevant Statements of Significance for heritage places and precincts within the Study Area and associated heritage studies
- Heritage Overlay ‘Heritage Grading’ data provided by Council in plan form
- Appendix 8.

The above documents have been reviewed in the context of the following clauses from the Yarra Planning Scheme and the relevant Planning Practice Notes (PPNs) published by the Department of Environment, Land, Water and Planning:

- The relevant provisions of the Yarra Planning Scheme in particular:

- Clause 15.03 'Heritage'
- Clause 21.05-1 'Heritage'
- Clause 22.02 'Development Guidelines for Sites Subject to the Heritage Overlay'
- Clause 22.03 'Landmarks and Tall Structures'
- Clause 43.01 'Heritage Overlay'
- Clause 43.01 'Schedule to the Heritage Overlay'
- Clause 55.07 'Apartment Developments'
- PPN 1: *Applying the Heritage Overlay* (July 2015) (PPN1)
- PPN 59: *The role of mandatory provisions in the planning schemes* (June 2015) (PPN59)
- PPN 60: *Height and setback controls for activity centres* (June 2015) (PPN60).

The following Planning Panels Victoria (Panel) reports are relevant to the implementation of the Review as they consider the appropriateness of DDOs (containing both mandatory and discretionary provisions) within activity centres (or in the case of Melbourne Amendment C240 the Capital City Zone) that are also subject, in part, to the Heritage Overlay:

- Boroondara C108 'Neighbourhood Centres and Commercial Corridors' (26 February 2014)
- Banyule Planning Scheme Amendment C93 'Implementation of the Ivanhoe Structure Plan' (1 July 2014)
- Moreland Planning Scheme Amendment C134 'Brunswick Activity Centre' (15 May 2015)
- Melbourne Planning Scheme Amendment C240 'Bourke Hill' (4 May 2015)
- Bayside Planning Scheme Amendments C113, C114 and C115 'Mandatory provisions for the Sandringham Village, Bay Street and Church Street Activity Centres' (14 January 2015).

We have approached the preparation of this analysis as follows:

1. Completion of a desktop review of the above listed documents, Panel Reports, heritage mapping and grading information, and the Statements of Significance for heritage precincts and individually significant buildings, including those places registered on the VHR. The extent of the Heritage Overlays were cross-checked against Google Streetview. This preliminary review familiarised the project team with the heritage fabric of the Study Area prior to fieldwork being undertaken.
2. Completion of fieldwork by Jim Gard'ner and Renae Jarman. All buildings and structures within the Study Area were inspected from the public realm with particular attention paid to the presentation of heritage buildings to Queens Parade (and intersecting streets for corner sites), views along Queens Parade, views towards the spire of the Church of St John the Baptist, and views towards the local landmarks of the former ANZ Bank (370-374 Queens Parade, VHR H0892) and the former United Kingdom Hotel (199 Queens Parade, VHR H0684). The rear and side interfaces to the neighbouring residential areas subject to the Heritage Overlay were also considered. The purpose of the fieldwork was to:
 - Review the suitability of the extent of the existing Heritage Overlays and to identify if gaps existed.
 - Review the suitability of the existing Statements of Significance for heritage places and precincts against the extant heritage fabric and to identify where the statements required updating for the purposes of properly considering built form recommendations.
 - Review the extant heritage fabric against the heritage gradings contained within Appendix 8 and to identify any inconsistencies and inaccuracies.
 - Review the heritage buildings and streetscapes within the Study Area to identify the architectural and streetscape heritage features (e.g. parapets, roof forms, view lines, corner sites) that are relevant to a consideration of built form recommendations.
3. Participation in multiple workshops with Council and Hansen Partnership. The workshops:
 - Established potential 'precincts' within the Study Area that were driven by existing built form characteristics.

- Identified the desired future character of the Study Area precincts against heritage analysis and State and local planning policy drivers.
 - Tested built form parameters for new development against the existing fabric of Queens Parade through modelling prepared by Hansen Partnership.
4. Finalisation of heritage recommendations for new built form parameters having considered the above.

2. Planning Context

2.1 Activity Centre Planning and Heritage

The *Planning & Environment Act 1987* and the Victoria Planning Provisions (VPP) requires planning and responsible authorities to take a balanced approach to strategic and statutory planning functions that consider potentially competing objectives in an integrated manner to deliver a net community benefit for current and future generations.

The objectives of planning in Victoria as set out in Section 4(1) of the Planning and Environment Act are:

- *To provide for the fair, orderly, economic and sustainable use and development of land.*
- *To provide for the protection of natural and man-made resources and the maintenance of ecological processes and genetic diversity.*
- *To secure a pleasant, efficient and safe working, living and recreational environment for all Victorians and visitors to Victoria.*
- *To conserve and enhance those buildings, areas or other places which are of scientific, aesthetic, architectural or historical interest, or otherwise of special cultural value.*
- *To protect public utilities and other assets and enable the orderly provision and coordination of public utilities and other facilities for the benefit of the community.*
- *To facilitate development in accordance with the objectives set out in the points above.*
- *To balance the present and future interests of all Victorians.*

Clause 10.04 of the VPP addresses ‘integrated decision making’, and states:

Society has various needs and expectations such as land for settlement, protection of the environment, economic well-being, various social needs, proper management of resources and infrastructure. Planning aims to meet these by addressing aspects of economic, environmental and social well-being affected by land use and development.

Planning authorities and responsible authorities should endeavour to integrate the range of policies relevant to the issues to be determined and balance conflicting objectives in favour of net community benefit and sustainable development for the benefit of present and future generations.

Activity Centres that are also subject to extensive Heritage Overlay controls (like Queens Parade) are examples of where the tension between competing planning objectives must be resolved in a balanced way. Queens Parade has excellent public transport connections, vibrant retail, commercial and hospitality uses and a high demand for housing choice. It also contains a highly intact, turn of the century commercial precinct containing heritage fabric that is highly valued by the local community. A balance between the demand for more intensive development with the protection of the heritage buildings and precincts is therefore required. To achieve this, it is considered necessary that the DDO – and the background work that underpins it – specifically includes heritage considerations which frames the design objectives in terms of mandatory and discretionary controls.



Figure 3: Existing zones covering the Study Area (outlined in black) and surrounds (© Hansen Partnership, 2017)

2.2 Yarra Planning Scheme – Heritage Provisions

Council has well-established heritage provisions within its planning scheme at Clauses 21.05-1 and 22.02. Also of relevance to the protection of the heritage values of Queens Parade is Clause 22.03, which includes policy to protect the visual prominence of the St John the Baptist spire in addition to other landmarks within the municipality.

2.2.1 Heritage policy

The relevant objective within Clause 21.05-1 'Heritage' of the Municipal Strategic Statement (MSS) is *Objective 14: To protect and enhance Yarra's heritage places*. The relevant strategies to implement this objective are:

- *Strategy 14.1 - Conserve, protect and enhance identified sites and areas of heritage significance including pre-settlement ecological heritage.*
- *Strategy 14.3 - Protect the heritage skyline of heritage precincts.*
- *Strategy 14.4 - Protect the subdivision pattern within heritage places.*
- *Strategy 14.6 - Protect buildings, streetscapes and precincts of heritage significance from the visual intrusion of built form both within places and from adjoining areas.*

Objective 14 and its associated strategies are considered to be compatible with appropriately sited and scaled higher density development on Queens Parade, although it would need to be accepted that in most cases Strategy 14.3 'Protect the heritage skyline of heritage precincts' would not be effectively achieved.

Clause 22.02 'Development Guidelines for Sites Subject to the Heritage Overlay' provides detailed guidance within the Local Planning Policy Framework (LPPF) on development within the Heritage Overlay, including demolition. The relevant objectives of Clause 22.02 are:

- *To conserve Yarra's natural and cultural heritage.*

- *To conserve the historic fabric and maintain the integrity of places of cultural heritage significance.*
- *To retain significant view lines to, and vistas of, heritage places.*
- *To preserve the scale and pattern of streetscapes in heritage places.*
- *To encourage the preservation, maintenance, restoration and where appropriate, reconstruction of heritage places.*
- *To ensure the adaptation of heritage places is consistent with the principles of good conservation practice.*
- *To ensure that additions and new works to a heritage place respect the significance of the place.*
- *To encourage the retention of 'individually significant' and 'contributory' heritage places.*
- *To protect archaeological sites of cultural heritage significance.*

Again, these objectives do not preclude higher density development along Queens Parade with the possible exception of *'To preserve the scale ... of streetscapes in heritage places'*.

The demolition policy provided at Clause 22.02-5.1 encourages the retention of 'individually significant' and 'contributory' buildings within a heritage precinct. Removal of part of a heritage place or contributory element is contemplated if (in general terms) it can be demonstrated that the removal of the part will not adversely affect the significance of the building, or – for a contributory building – the part is not visible from the street, abutting a park or public open space.

Given that the significance of most heritage places along Queens Parade lies predominantly in their streetscape presentation, facade detailing and fine-grained pattern of subdivision, it is considered that a certain amount of rear demolition and redevelopment can be contemplated under the existing heritage policy.

Further, with the exception of those heritage places included on the VHR – and therefore regulated under the *Heritage Act 1995* – internal controls do not apply to the Study Area.

In most circumstances, the planning scheme effectively limits the control of heritage fabric within the Study Area to that which is visible from the public realm, including street facades, rear laneway views (where they exist) and visible roof and chimney elements.

In relation to 'New Development, Alterations and Additions', Clause 22.02-5.7.1 sets out the following policy:

General

Encourage the design of new development and alterations and additions to a heritage place or a contributory element to a heritage place to:

- *Respect the pattern, rhythm, orientation to the street, spatial characteristics, fenestration, roof form, materials and heritage character of the surrounding historic streetscape.*
- *Be articulated and massed to correspond with the prevailing building form of the heritage place or contributory elements to the heritage place.*
- *Be visually recessive and not dominate the heritage place.*
- *Be distinguishable from the original historic fabric.*
- *Not remove, cover, damage or change original historic fabric.*
- *Not obscure views of principle façades.*
- *Consider the architectural integrity and context of the heritage place or contributory element.*

Encourage setbacks from the principal street frontage to be similar to those of adjoining contributory buildings; where there are differing adjoining setbacks, the greater setback will apply.

Encourage similar façade heights to the adjoining contributory elements in the street. Where there are differing façade heights, the design should adopt the lesser height.

Minimise the visibility of new additions by:

- *Locating ground level additions and any higher elements towards the rear of the site.*
- *Encouraging ground level additions to contributory buildings to be sited within the 'envelope'*

created by projected sight lines (see Figure 1).

- *Encouraging upper level additions to heritage places to be sited within the 'envelope' created by projected sight lines (for Contributory buildings refer to Figure 2 and for Individually significant buildings refer to Figure 3).*
- *Encouraging additions to individually significant places to, as far as possible, be concealed by existing heritage fabric when viewed from the front street and to read as secondary elements when viewed from any other adjoining street.*

Discourage elements which detract from the heritage fabric or are not contemporary with the era of the building such as unroofed or open upper level decks or balconies, reflective glass, glass balustrades and pedestrian entrance canopies.

To achieve a reasonable level of development capacity, discretion would need to be applied in relation to the requirements for the full or partial concealment of rear additions described in Figures 2 and 3 of Clause 22.02 (refer Appendix 1). This sightline-based guidance in the heritage policy is designed to preserve and enhance the character and appearance of predominantly one and two-storey dwellings within more typical narrow residential streets and cannot be readily applied to multi-storey development within an Activity Centre that has a 60 metre wide carriageway without unreasonably constraining development.

Likewise, the policy to '*Discourage elements which ... are not contemporary with the era of the building such as unroofed or open upper level decks or balconies, reflective glass, glass balustrades and pedestrian entrance canopies*' may not achieve appropriate urban design and architectural outcomes in areas such as Queens Parade. In such areas a 'contrasting' or 'interpretative' design approach for new taller development is likely to be more recessive than a 'respectful' or 'historicist' one that would lead to the new additions inappropriately mimicking the historic form and potentially being more visually intrusive.

Clause 22.02-5.7.2 provides the following specific policy that applies to buildings within the Commercial Zone along Queens Parade that are subject to the Heritage Overlay:

Corner Sites and Sites with Dual Frontages

Encourage new building and additions on a site with frontages to two streets, being either a corner site or a site with dual street frontages, to respect the built form and character of the heritage place and adjoining or adjacent contributory elements to the heritage place.

Encourage new buildings on corner sites to reflect the setbacks of buildings that occupy other corners of the intersection.

...

Industrial, Commercial and Retail Heritage Place or Contributory Elements

Encourage new upper level additions and works to:

- *Respect the scale and form of the existing heritage place or contributory elements to the heritage place by being set back from the lower built form elements. Each higher element should be set further back from lower heritage built forms.*
- *Incorporate treatments which make them less apparent.*

The above two specific policies will help to effectively inform development proposals and statutory planning decision-making to ensure that the heritage values along Queens Parade are maintained while accommodating more intensive levels of development.

2.2.2 Landmarks and Tall Structures

Clause 22.03 – 'Landmarks and Tall Structures' identifies a number of landmark buildings and advertising signs to which views should be protected. The 'spire' of St John the Baptist Church is one such landmark.

The relevant policies include:

- *Maintain the prominence of Yarra's valued landmark signs.*
- *Protect views to the silhouette and profile of Yarra's valued landmarks to ensure they remain as the principal built form reference.*
- *Ensure the profile and silhouette of new tall structures adds to the interest of Yarra's urban form and skyline.*

The policy seeks to ensure new buildings within the vicinity of St John the Baptist Church are designed to ensure the landmark remains the principal built form reference in the area.

While Clause 22.03 identifies the 'spire' of the Church only, it is our view that it is appropriate that views of the belfry and spire in combination should be considered.

The belfry has openings (often with louvres) to allow the sound of the bells to travel. The spire of the church sits above the belfry stage and was designed to both symbolically reach towards the heavens and signal the church's presence as a landmark in the local area.

The belfry provides a visual anchor to the spire of the church and the keys views of these structures should include both the belfry of the belfry and the spire. The key views to be managed within the Study Area are identified in the analysis for each Study Area precinct in this report.

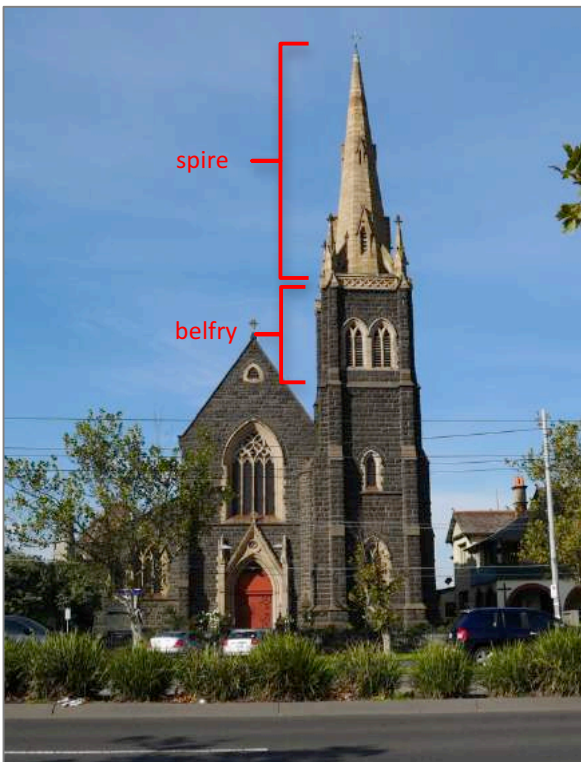


Figure 4: Elements of St John's Church to be captured in key views.

In addition to the belfry and spire of St John the Baptist Church, it is considered that views to the State-significant former ANZ Bank at 370-374 Queens Parade are important within the context of the Activity Centre. The former ANZ Bank is an imposing three-storey Queen Anne Revival style commercial building constructed of red brick with a steeply pitched slate roof and corner tower. The building occupies a prominent corner on Queens Parade where the road angles towards the north. Its landmark quality is derived from its tall three-storey scale within a lower context, the slate roofs and corner tower, the tall chimneys and the majority of the upper floor level that visually anchors the chimneys and roofs.

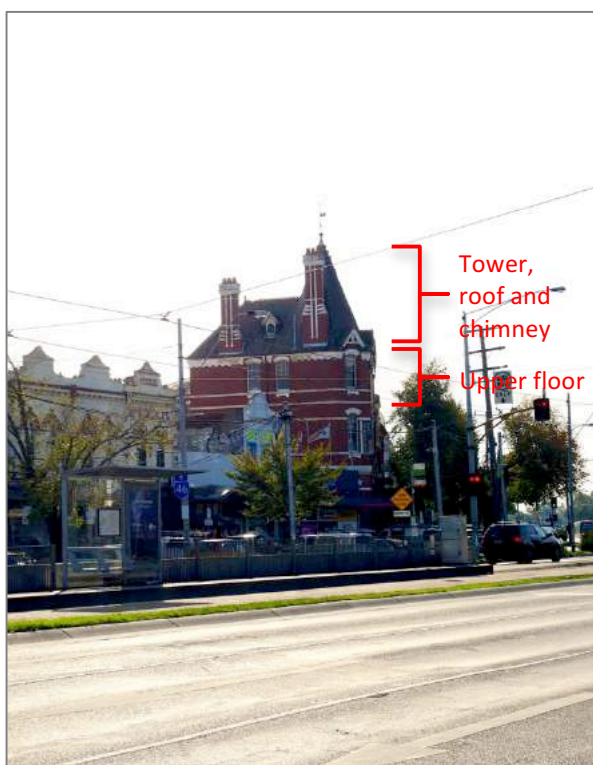


Figure 5: Elements of the former ANZ Bank to be captured in key views.

Occupying the key corner site at the fork of Queens Parade and Heidelberg Road, the former United Kingdom Hotel at 199 Queens Parade is also a visually prominent State-significant building in the Activity Centre. Given its siting and surrounding road reserve and public open space, it is not necessary to manage views to the building.

From within the Queens Parade Activity Centre – and particularly at the intersection of Queens Parade and Delbridge/Gold Street – a distant view of the State-significant Shot Tower on Alexandra Parade is available. This “glimpse” of the Shot Tower is not considered to be a key view to the Shot Tower and is not one that requires management through built form controls within the Queens Parade Study Area.

2.2.3 Heritage Overlay

The head heritage provision of the VPP, Clause 43.01 ‘Heritage Overlay’, has the following purpose:

- *To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*
- *To conserve and enhance heritage places of natural or cultural significance.*
- *To conserve and enhance those elements which contribute to the significance of heritage places.*
- *To ensure that development does not adversely affect the significance of heritage places.*
- *To conserve specifically identified heritage places by allowing a use that would otherwise be prohibited if this will demonstrably assist with the conservation of the significance of the heritage place.*

Clause 43.01-4 sets out decision guidelines - in addition to those included in Clause 65 - that the Responsible Authority must consider before determining a permit application. These are:

- *The State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*
- *The significance of the heritage place and whether the proposal will adversely affect the natural or cultural significance of the place.*
- *Any applicable statement of significance, heritage study and any applicable conservation policy.*
- *Whether the location, bulk, form or appearance of the proposed building will adversely affect the*

significance of the heritage place.

- Whether the location, bulk, form and appearance of the proposed building is in keeping with the character and appearance of adjacent buildings and the heritage place.
- Whether the demolition, removal or external alteration will adversely affect the significance of the heritage place.
- Whether the proposed works will adversely affect the significance, character or appearance of the heritage place.
- Whether the proposed subdivision will adversely affect the significance of the heritage place.
- Whether the proposed subdivision may result in development which will adversely affect the significance, character or appearance of the heritage place.
- Whether the proposed sign will adversely affect the significance, character or appearance of the heritage place.
- Whether the lopping or development will adversely affect the health, appearance or significance of the tree.

While some of these considerations are not obviously consistent with the addition of higher density development behind heritage buildings, the first purpose and first decision guideline encompasses the whole SPPF and LPPF (integrated decision-making). Therefore a balance must be struck between achieving the objectives of the Heritage Overlay and meeting the objectives of other parts of the VPPs including Activity Centre policy and commercial zoning. It is noted that new rear development can often be accommodated behind heritage buildings in commercial precincts without substantially compromising the identified significant values of these heritage places.

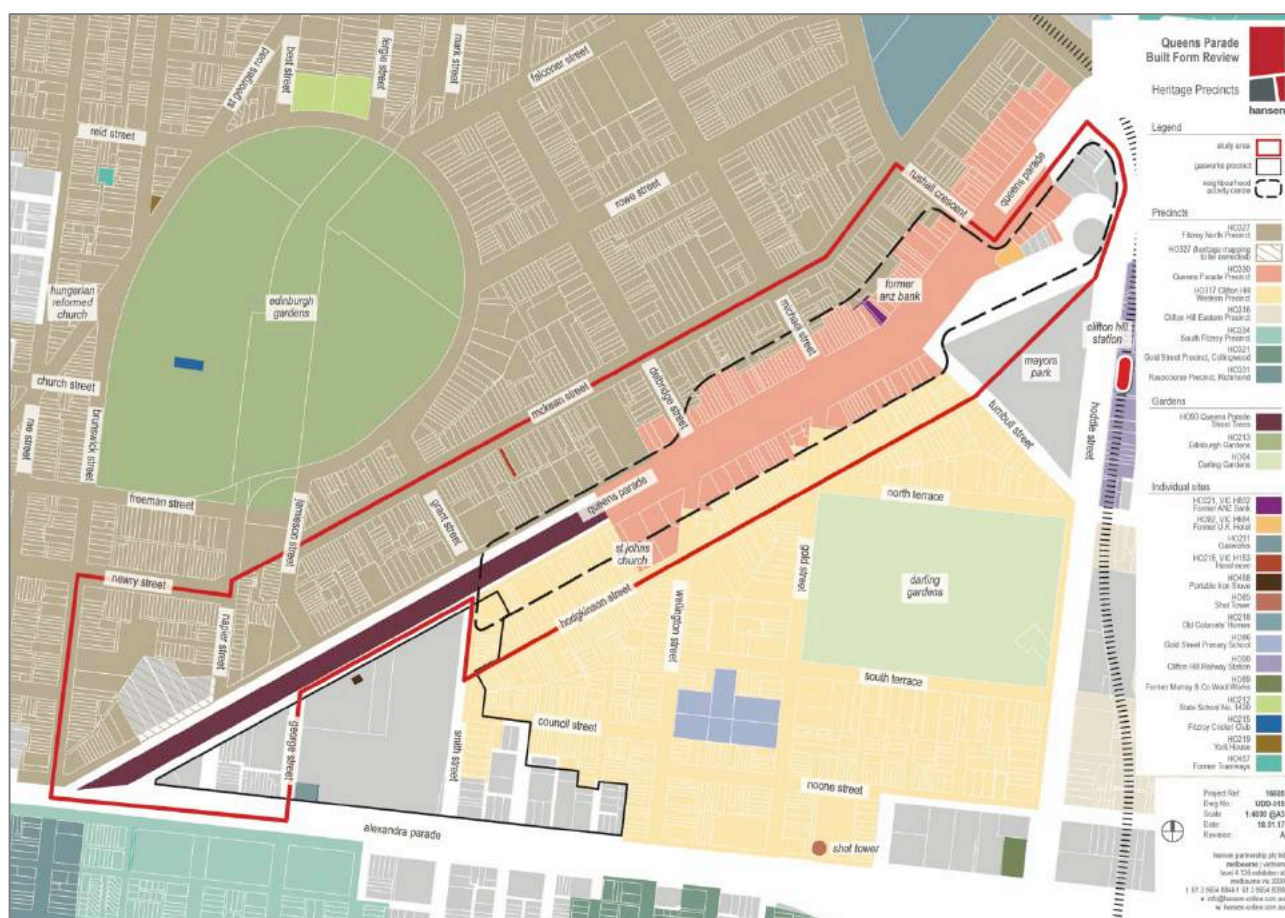


Figure 6: Heritage Overlays covering the Study Area and surrounds (© Hansen Partnership, 2017)

2.3 Significant Streetscapes

After completing a detailed heritage review of Queens Parade and its historical development, it became evident that the heritage significance of parts of the corridor extended beyond being a collection of ‘individually significant’ and ‘contributory’ buildings, but that the significance was more fine-grained than a precinct-wide consideration. In effect, within specific sections of Queens Parade, the significance of those sections is greater than the sum of their parts.

This is not true of the entire length of Queens Parade, but rather those highly intact streetscapes in which there is homogenous built form, high quality architectural design and a consistent period of development.

2.3.1 Criteria and Threshold for a ‘Significant Streetscape’

PPN1 does not contain guidance with respect to significant streetscapes (nor does it provide guidance on the grading of individual buildings within a precinct); however, the City of Melbourne utilises a streetscape grading – proposed to be simplified through Melbourne Amendment C258 – which may have some utility in considering the significance of Queens Parade and other of Yarra’s historically significant High Streets. In addition to grading individual buildings within the Heritage Overlay, the City of Melbourne has long defined the quality of streetscape to inform the application of its Heritage Policy outside the Capital City Zone contained at Clause 22.05.

The current Clause 22.05 of the Melbourne Planning Scheme defines the Streetscape Gradings as:

Grading of Buildings and Streetscape Levels

Every building of cultural significance has been assessed and graded according to its importance. Streetscapes, that is complete collections of buildings along a street frontage, have also been graded for planning control purposes. The individual buildings are grade A to D, the streetscapes from Level 1 to 3, both in descending order of significance. The grade of every building and streetscape is identified in the incorporated document Heritage Places Inventory 2000.

...

Level 1 Streetscapes

Level 1 streetscapes are collections of buildings outstanding either because they are a particularly well preserved group from a similar period or style, or because they are highly significant buildings in their own right.

Level 2 Streetscapes

Level 2 streetscapes are of significance either because they still retain the predominant character and scale of a similar period or style, or because they contain individually significant buildings.

Level 3 Streetscapes

Level 3 streetscapes may contain significant buildings, but they will be from diverse periods or styles, and of low individual significance or integrity.

The City of Melbourne is currently progressing Amendment C258 which, amongst other things, includes an amended Heritage Policy for places outside the Capital City Zone at Clause 22.05 which defines a “Streetscape” as:

A streetscape is a collection of buildings along a street frontage. When referred to in relation to a precinct, a streetscape typically contains a majority of buildings which are graded significant or contributory.

Clause 22.05 (as proposed to be amended) defines a “Significant streetscape” as:

Significant streetscapes are collections of buildings outstanding either because they are a particularly well preserved group from a similar period or style, or because they are highly significant.

In relation to Queens Parade and other Yarra High Streets, a similarly high threshold for identifying what would constitute a 'significant streetscape' could be applied and emphasis should be placed on streetscapes that demonstrate the following characteristics:

- The vast majority of buildings are 'contributory' or 'individually significant' with few 'not-contributory' buildings or intrusive developments.
- There is a high degree of consistency in terms of:
 - scale
 - setbacks
 - street wall height
 - architectural form and style.
- The streetscape consists of development from a similar construction period.
- The streetscape demonstrates a high level of intactness.
- There is a recognised high level of architectural/aesthetic significance and/or architectural quality.

2.3.2 Addressing 'Significant Streetscapes' in Queens Parade

While desirable, we do not consider it necessary for a 'streetscape' designation to be identified in Council's Heritage Policy or Appendix 8 (as occurs in the City of Melbourne). In our view, it is appropriate for the significant streetscapes to be identified in the broader relevant precinct Statement of Significance and for built form controls proposed through the DDO to specifically address these considerations.

Having completed the detailed heritage analysis of Queens Parade, it is considered that significant streetscapes exist in the Study Area and these are discussed in greater detail within the precinct-by-precinct analysis in Part II of this report.

3. Heritage in Design and Development Overlays – Panel Findings

Planning Panels Victoria has recently considered four Planning Scheme Amendments that are of relevance to this project: Banyule Amendment C93, Boroondara C108, Moreland Amendment C134, and Melbourne Amendment C240.

All four amendments considered the appropriateness of mandatory controls in the context of PPN59 and provide guidance in which circumstances they should be applied. In response to submissions they also considered the issue of whether or not the DDO control should include objectives to protect heritage or whether this should be the sole domain of the Heritage Overlay provisions.

These reports provide useful guidance on the form and wording of DDO controls. In summary, Panel has concluded that:

- The Heritage Overlay identifies what is significant within an Activity Centre.
- Heritage is an appropriate issue for DDOs to provide guidance on to inform future development.
- Mandatory controls should be used in exceptional circumstances and their application should be guided by PPN59 and PPN60.
- Formulae defining the proportion of new built form that can be viewed above the street wall is an appropriate mechanism for informing the design and massing of new built form.

A discussion of the most relevant of these Panel reports, Moreland Amendment C134 and Boroondara C108, is provided below.

3.1 Moreland Amendment C134

Sydney Road, Brunswick is a Major Activity Centre with highly intact, predominantly Victorian streetscapes covered by the Heritage Overlay. Sydney Road and Queens Parade Activity Centres share common traits within their commercial cores including a tram route, a similar mix of historic and current uses, similar historic built form (predominantly two-storey Victorian-era or early twentieth-century commercial buildings), a high proportion of 'contributory' and 'individually significant' buildings with a high level of intactness, and similar existing street wall heights (generally between 8m and 11m). However, it is noted that Sydney Road is a Major Activity Centre with a carriageway width of approximately 20m while Queens Parade is a Neighbourhood Activity Centre with a boulevard width of approximately 60m.

The Statement of Significance for Moreland HO149 – Sydney Road Precinct⁴ notes the precinct is of historical, architectural and social significance to the City of Moreland. It includes a number of close similarities with the Statement of Significance for HO330 – Queens Parade Precinct, including:

- Importance as a predominantly intact late 19th and early 20th century retail and commercial strip;
- Reflecting the considerable expansion and growth of the streets, and the suburbs as a whole, during the 19th century Boom period; and
- Largely intact upper floor facades of the shops.

Gazetted on 11 August 2016, Moreland Amendment C134 introduced DDO18, DDO19 and DDO20. DDO18 set mandatory street wall heights on Sydney Road north of Brunswick Road of between 8m and 11m, which would be an appropriate precedent for the Queens Parade Activity Centre given the similarities in their architectural form.

DDO18 also provides a preferred minimum 5m setback for development above the street wall and to establish a preferred ratio of $\frac{3}{4}$: $\frac{1}{4}$ street wall to new built form through the following design objective:

- *Be designed to ensure that it occupies no more than one quarter of the vertical angle defined by the*

⁴ Retrieved from Victorian Heritage Database, 16 June 2017
(<http://vhd.heritagecouncil.vic.gov.au/places/56076#sthash.7LcbbSIM.dpuf>)

whole building in the view from an eye-level of 1.7 metres on the opposite side of the street, as illustrated in Figure 1 below.

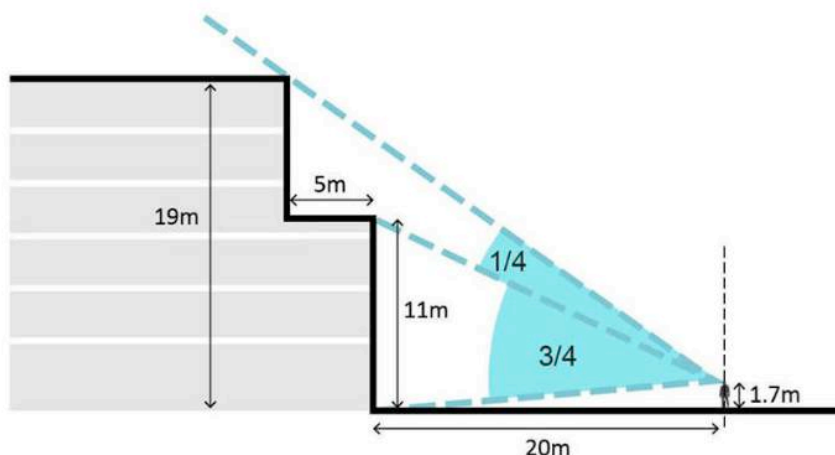


Figure 7: Upper level setbacks along Sydney Road (Figure 1 in Moreland DDO18, retrieved 2 June 2017).

As Queens Parade is a boulevard of approximately three times the width of Sydney Road, the $\frac{3}{4} : \frac{1}{4}$ guidance in DDO18 is not considered to be a useful model. From the opposite side of the boulevard, the street wall appears in close to true elevation, making upper level “concealment” of new built form from this distance extremely challenging. It is therefore necessary to establish an alternative framework for new upper level development that does not dominate or visually overwhelm heritage buildings and the streetscape when viewed from within Queens Parade and relevant side streets. An appropriate framework is considered further in Parts II and III of this report.

DDO18 does provide a useful model for dealing with upper level development where the existing heritage building has a street wall height of less than the 11m street wall height provided in that control:

- *Where an existing building with a street wall height of less than 11 metres is to be retained for heritage reasons new development may occupy more than one quarter of the vertical angle defined by the whole building outlined in Figure 1 above.*

A similar approach can be adopted in the Queens Parade context, which will allow for a greater degree of visibility of new built form above single-storey heritage buildings. This will provide an appropriate balance between heritage retention and the creation of a reasonable development envelope.

3.2 Boroondara Amendment C108

The Panel considering Boroondara Amendment C108 discussed the use of mandatory street wall height, upper level setbacks and overall heights across 31 Neighbourhood Activity Centres and three commercial corridors (Camberwell Road/Burwood Road and Canterbury Road).

In relation to heritage the Panel noted its strong support for the protection of heritage assets in Boroondara and recommended reinstatement of policy in the exhibited Amendment that encouraged new development on or adjoining a heritage place to be moderated. In particular, the Panel recommended that policy guidance be included that:

The combination of the height, setbacks and design treatment of new buildings should ensure a heritage place on or adjoining the site is not overwhelmed or dominated.

The Panel also considered the use of mandatory height and setback controls, and recognised that the version of *Plan Melbourne* at that time foreshadowed stronger policy support for the use of mandatory provisions in neighbourhood centres (and residential areas) to increase certainty.

The Panel report recognised that mandatory provisions that prescribed standards without a capacity for

departures have been supported in areas of consistently high heritage value with consistent character. While acknowledging the heritage values and 'main street' character of the Neighbourhood Activity Centres subject to C108, the Panel also recognised that new development will be visible behind the retained façades – particularly from oblique views – and that invisibility of upper level development is either unreasonable or not necessary to achieve the primacy of the street wall.

In conclusion, the Panel accepted some use of mandatory controls within Boroondara's neighbourhood centres, but not in the commercial corridors:

The Panel recognises that Plan Melbourne foreshadows stronger policy support for the use of mandatory provisions in neighbourhood centres (and residential areas) to increase certainty. The Panel considers the combination of the street wall and upper level setbacks is critical in neighbourhood centres to maintain the established main street character and in these situations mandatory controls can be justified. However, we consider development with elements that exceed the nominated height and/or adopt alternative setbacks should not be precluded as they may produce better outcomes in some circumstances. The overall maximum height limits should therefore remain discretionary to allow for such circumstances.

It was the Panel's conclusion mandatory street wall heights that reflected the dominant character of the neighbourhood centres were acceptable (either 8m or 11m, depending on the context). It also found that if a mandatory upper level setbacks were to be adopted, they should be sufficient to ensure that in most cases the upper storey will be clearly distinguishable from the street wall of the heritage building and be a recessive element in neighbourhood centre streetscapes. To achieve this Panel identified 5m as being an appropriate mandatory minimum setback for upper level development in the context of Boroondara's neighbourhood activity centres.

4. Mandatory and Discretionary Height and Setback Controls

PPN59 notes that the VPPs are predominantly performance-based and that mandatory provisions are the exception. The PPN sets out a series of five criteria against which to test proposed mandatory provisions, being:

- Is the mandatory provision strategically supported?
- Is the mandatory provision appropriate to the majority of proposals?
- Does the mandatory provision provide for the preferred outcome?
- Will the majority of proposals not in accordance with the mandatory provision be clearly unacceptable?
- Will the mandatory provision reduce administrative costs?

While the Study Area is zoned C1Z and C2Z rather than Activity Centre Zone (ACZ), PPN60 still provides useful guidance on the application of height and setback controls within the Queens Parade corridor and particularly the use of discretionary and mandatory controls. PPN60 establishes a threshold of ‘exceptional circumstances’ that may justify the use of mandatory height and setback controls, and notes that a number of Panels have confirmed that discretionary is the preferred form of control in an Activity Centre. The PPN identifies that:

When appropriate maximum and minimum height and setback controls are identified, they should be included in the relevant planning scheme as discretionary controls with clear design objectives.

Mandatory height and setback controls (that is, controls that cannot be exceeded under any circumstance) will only be considered in exceptional circumstances.

PPN60 identifies the following criteria for ‘exceptional circumstances’ that “...may be identified for individual locations or specific and confined precincts”. These are (as relevant):

- *significant heritage places where other controls are demonstrated to be inadequate to protect unique heritage values*
- *sites of recognised State significance where building heights can be shown to add to the significance of the place, for example views to the Shrine of Remembrance...*

The Panels that considered Moreland Amendment C134 and Boroondara C108, provide further guidance on the application of mandatory street wall height and upper level setback controls along Queens Parade. The Panels concluded that mandatory controls were appropriate for both street wall heights and upper level setbacks along Sydney Road and in 31 neighbourhood centres in Boroondara. It is our view that Sydney Road and a number of the Boroondara neighbourhood centres share similarities with Queens Parade in terms of heritage fabric and streetscape characteristics.

Further discussion around where mandatory and discretionary controls are considered appropriate in the context of the Queens Parade Study Area can be found in Part II and Part III of this report.

Part II: Heritage Analysis

5. Precinct Boundaries

For the purposes of this project, the Study Area has been divided into five (5) precincts:

Precinct 1: Brunswick Street Precinct

Precinct 2: Boulevard Precinct

Precinct 3: St John's Precinct

Precinct 4: Activity Centre Precinct

Precinct 5: North Eastern Precinct

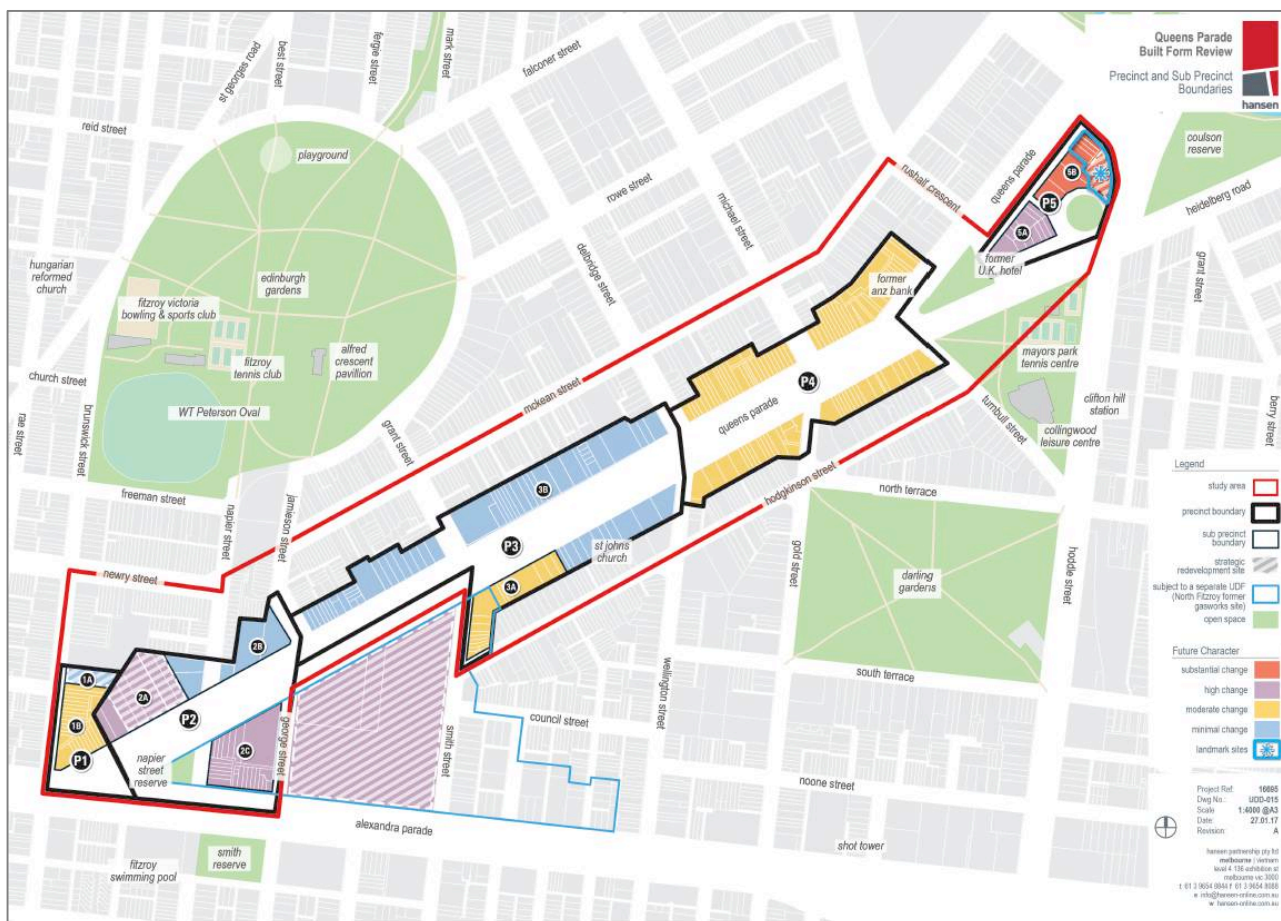


Figure 8: Study Area Precincts (© Hansen Partnership, 2017)

Following is an analysis of the heritage components and qualities of each of the Study Area Precincts, including significant views and streetscapes found within the precincts. An analysis of future built form character considerations has been provided along with recommended built form parameters to appropriately manage heritage values.

6. Precinct 1 – Brunswick Street Precinct

6.1 Description

Precinct 1 (Brunswick Street Precinct) is located at the northeast corner of Brunswick Street and Alexandra Parade/Queens Parade.

Precinct 1 is made up of two sub-precincts:

- Sub-precinct 1A – a strategic development site occupied by a recently constructed six-storey apartment development with no heritage values or issues associated with this site.
- Sub-precinct 1B – which is dominated by intact single-storey terraced houses along Brunswick Street and intact single and two-storey terraced houses along Queens Parade. The two-storey former National Bank is located prominently at 460 Brunswick Street, forms a southern gateway to Queens Parade and to Fitzroy North more broadly. There is a vacant site at the rear of the terraced houses at 484 to 490 Brunswick Street (known as Lot 1 on Title Plan TP806921).

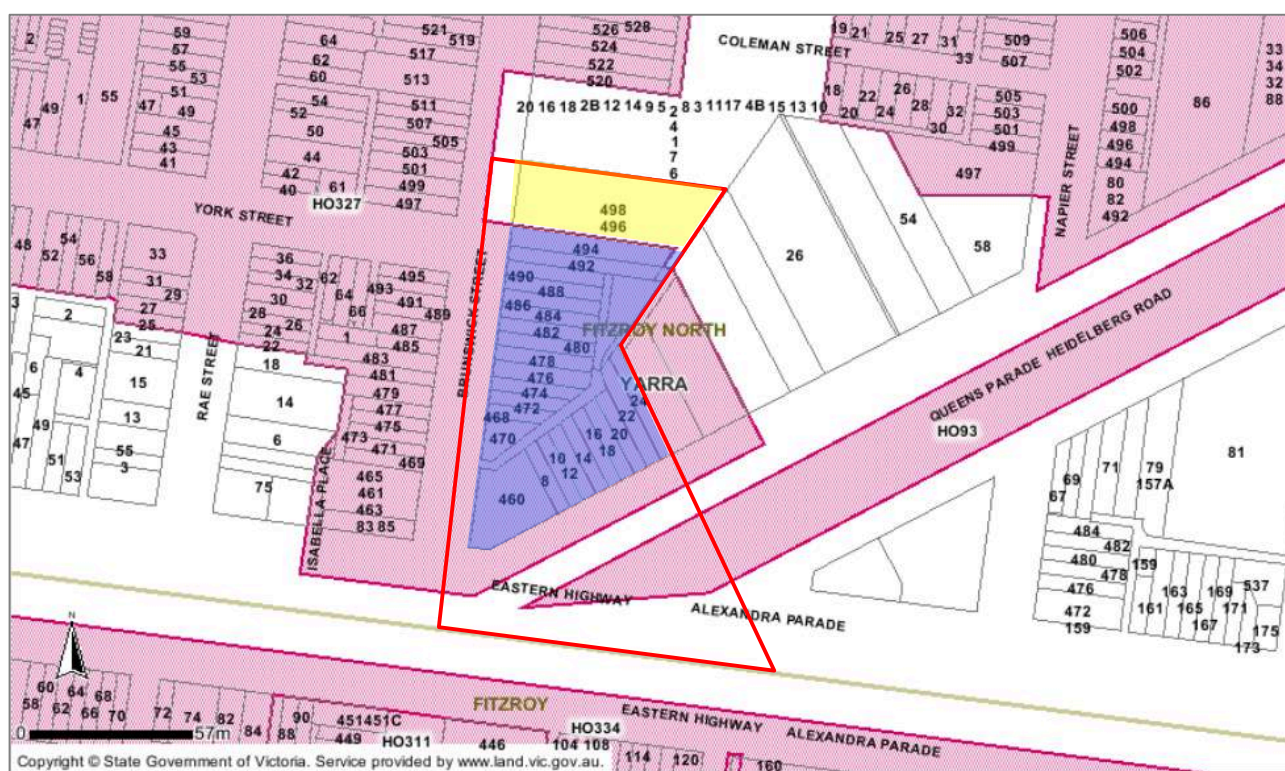


Figure 9: Heritage Overlay map – Precinct 1 outlined in red (sub-precinct 1A shaded in yellow and sub-precinct 1B in blue) (Planning Maps Online, accessed 14 August 2017)



Figure 10: Recent development at 496-498 Brunswick Street (sub-precinct 1A)



Figure 11: 460 Brunswick Street (sub-precinct 1B)



Figure 12: Single storey terraced houses Brunswick (sub-precinct 1B)



Figure 13: Double storey terraced houses on Queens Street Parade (sub-precinct 1B)

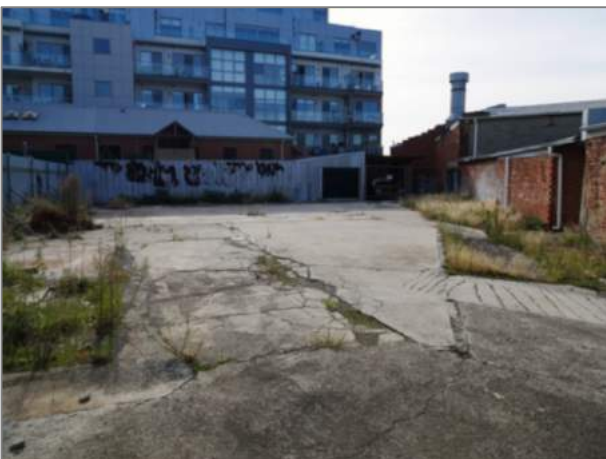


Figure 14: Vacant land (Lot 1 on Title Plan TP806921) (sub-precinct 1B)

6.2 Heritage Status

6.2.1 Existing Conditions

Sub-precinct 1A

Sub-precinct 1A falls outside of the Heritage Overlay and does not contain heritage fabric. It is noted that the site is identified in Appendix 8 as being 'not contributory' to the North Fitzroy Precinct (HO327) despite not being included within the Heritage Overlay precinct boundary.

Sub-precinct 1B

All the buildings within sub-precinct 1B are included within the North Fitzroy Precinct (HO327). The buildings are predominantly of Victorian-era construction and architectural style. With the exception of the corner former National Bank building at 460 Brunswick Street (Figure 11), they are one or two-storey residential or former commercial/residential buildings of the Victorian and Edwardian eras that generally demonstrate the following characteristics:

- Attached or terraced construction with no side yards
- Masonry construction with less than 40% of the street wall face comprised with openings such as windows and doors
- Painted render or face brick façades
- Parapeted front facades with some pitched and hipped roofs to single-storey buildings
- Small setbacks from Brunswick Street within gardens
- Small or no setback from Queens Parade
- Early or altered shop fronts to the ground floor of two-storey buildings on Queens Parade
- Verandahs to single-storey buildings
- Visible chimneys to single-storey buildings

The former National Bank building is a two-storey Neo-Classical commercial building that occupies the prominent corner of Brunswick Street and Alexandra Parade/Queens Parade. It is rendered with a parapeted form built to the street boundary. The hipped roof is clad in corrugated steel and there are five prominent rendered chimneys. The two-storey building is flanked by less adorned lower wings, and there is an at-grade car park behind to the building, which is suitable for redevelopment.

Appendix 8 identifies all buildings as being 'contributory' to the precinct, with the exception of the former National Bank Building at 460 Brunswick Street, which is identified as being 'individually significant'.

Precinct 1

The street trees within the central part of the Queens Parade road reserve are included within HO93. This Heritage Overlay falls partially within Precinct 1.

In summary, the existing heritage status for Precinct 1 is:

Victorian Heritage Register

None

Individual Heritage Overlays

HO93 – Queens Parade, Between Alexandra Parade & Delbridge Street Clifton Hill/ North Fitzroy - Street Trees (part)

Precinct Heritage Overlays

HO327 – North Fitzroy Precinct (part)

6.2.2 Recommended Changes

The following changes to the heritage controls are recommended for Precinct 1:

1. 496-500 and 498 Brunswick Street are identified as 'not contributory' in Appendix 8. The property (identified as 496-498 in Planning Maps Online) is not in the Heritage Overlay and is not a heritage place. Reference to '496-500 Brunswick Street' and '498 Brunswick Street' should be removed from Appendix 8.
2. The site known as Lot 1 on Title Plan TP806921 is vacant and should be identified in Appendix 8 as 'not contributory'.

6.3 Zoning

6.3.1 Existing Conditions

All land within Precinct 1 is included within the Mixed Use Zone (MUZ).

6.3.2 Recommended Changes

Given the heritage status and intact heritage fabric within sub-precinct 1B, the current use and built form character of this sub-precinct is considered to more readily accord with either the Neighbourhood Residential Zone (NRZ) (consistent with the zoning of the land generally to the north and west) or, alternatively, the General Residential Zone (GRZ). Consideration should be given to the merits of rezoning the land to NRZ or GRZ to reflect that use and character.

The 'individually significant' former National Bank at the corner of Brunswick Street and Queens Parade is not residential in character and has development opportunities on the vacant land to the north and east of it. It is considered to be appropriately zoned MUZ to enable a wider range of uses than NRZ or GRZ would allow. Likewise, the vacant land at the rear of 478-494 Brunswick Street – known as Lot 1 on Title Plan TP806921 – transitions to the MUZ-zoned development site at 26 Queens Parade and the MUZ is therefore considered appropriate in this location.

6.4 Key views

Distant views of the spire of St John the Baptist Church are afforded from the intersection of Alexandra and Queens Parades, although the heritage street trees largely obscure this view. This is not considered a key view of the Church belfry and spire and management of this view is not necessary.

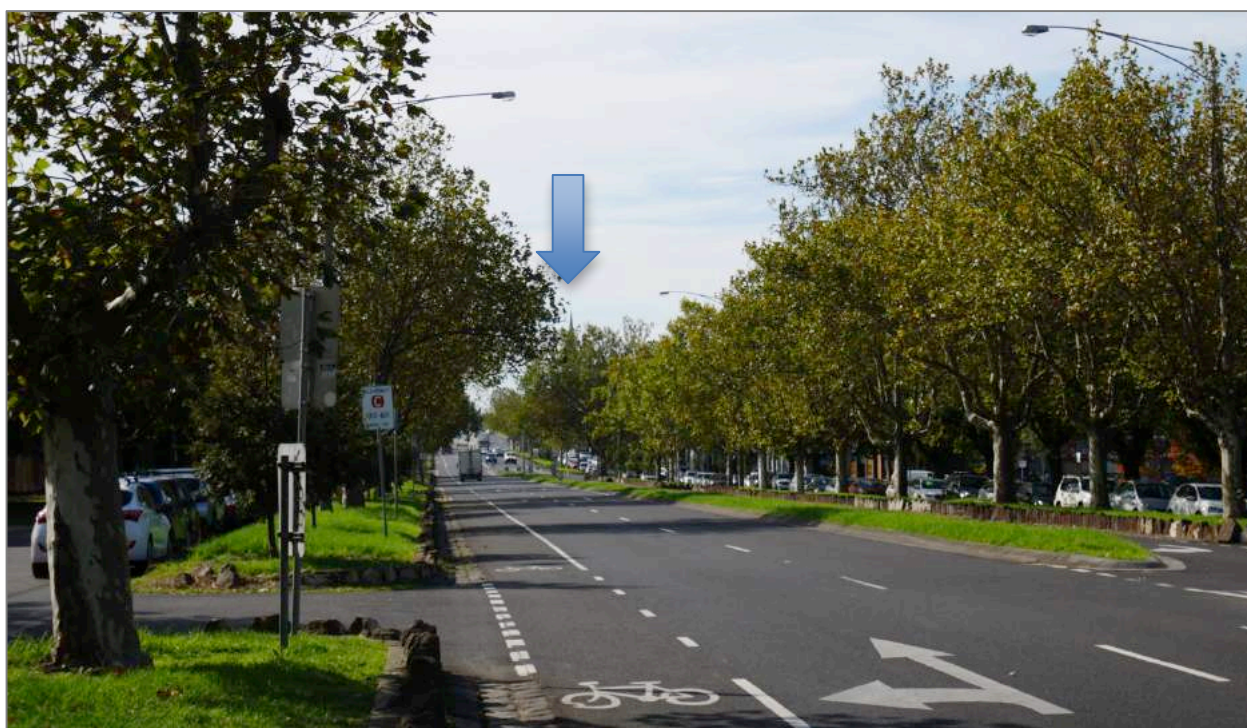


Figure 15: Distant view of the spire of St John's Church (blue arrow) – note it is largely obscured by trees (View 1)

6.5 Significant Streetscapes

The rows of Victorian terraced houses at 470-494 Brunswick Street and 8-24 Queens Parade are highly intact and warrant their 'contributory' status in the context of the North Fitzroy Precinct. While they demonstrate a high degree of built form consistency, they are not considered to display the level of architectural and aesthetic quality necessary to be categorised as a 'significant streetscape' that would warrant additional built form considerations as part of this project.

While the buildings are not considered to create a significant streetscape, the mature double avenue of trees planted throughout the wide Queens Parade boulevard are significant (HO93) and new development should be scaled to avoid diminishing the boulevard quality of Queens Parade.

6.6 Potential Future Character Considerations

Sub-precinct 1A

The future character of sub-precinct 1A has been established by the recent development constructed on the site.

Sub-precinct 1B

With the exception of 460 Brunswick Street, sub-precinct 1B is residential in character with predominantly single-storey terraced houses on Brunswick Street and one and two-storey terraced houses to Queens Parade, set within the broader context of the wide Queens Parade boulevard. The heritage status of these properties will see the heritage fabric largely retained. The predominantly low scale of these residential properties should be retained. Rear development of two to three-storeys in height consistent with the provisions of Clause 22.02 relating to new development, additions and alterations would be appropriate.

The former National Bank building and the vacant site at the rear of 484-490 Brunswick Street are not residential in character and can accommodate more substantial development. Redevelopment of the former National Bank and land to the immediate north and west should respect the height of the existing building and any additional levels should be set back behind the parapet. Development on the vacant site at the rear of 478-494 Brunswick Street should ensure its scale protects the setting of the single-storey houses fronting Brunswick Street.

6.7 Recommended Built Form Parameters

Sub-precinct 1A

Sub-precinct 1A has recently been developed to a height of six-storeys and is unlikely to undergo further redevelopment for many years. It is considered that additional controls are not required for this site.

Sub-precinct 1B

Should the residential properties within sub-precinct 1B be rezoned GRZ or NRZ, a DDO is not considered necessary for 8-24 Queens Parade and 468-494 Brunswick Street. Their development would instead be guided by Clause 22.02 of the Yarra Planning Scheme and the underlying zoning.

If the land is not rezoned, it would be appropriate to introduce a DDO with height and setback controls consistent with the application of the Heritage Policy at Clause 22.02 and the intent of the residential zones to ensure the heritage fabric is appropriately managed.

Additional built form controls are required to inform development of the former National Bank building, the adjacent at-grade car parking at 460 Brunswick Street and the vacant land behind 484-490 Brunswick Street. These controls should:

- Ensure that any new development in the car park adjacent to the former National Bank building adopts the parapet height of the heritage building for the street wall.

- Ensure that any upper level additions to the former National Bank building and infill development adjacent to former National Bank building and at the rear of 484-490 Brunswick Street are subservient to the heritage fabric and are visually recessive in mass, scale and materiality.
- Ensure that any upper level additions to the former National Bank building are set back from the street wall to ensure the prominence of the heritage fabric is retained and the three-dimensional form of the heritage building is preserved.
- For the former National Bank building, require the retention of chimneys and encourage the retention of roof form that is visible from the public realm.

7. Precinct 2 – Boulevard Precinct

7.1 Description

Precinct 2 is located northeast of the intersection of Brunswick Street and Alexandra Parade. All buildings north of Queens Parade within this precinct are included within the North Fitzroy Precinct (HO327), with the exception of part of the former K.G. Luke site at 26-58 Queens Parade, which is not included in the Heritage Overlay.

Precinct 2 is made up of three sub-precincts:

- Sub-precinct 2A – primarily made up of the strategic development site at 26-54 Queens Parade which is currently occupied by the former K.G. Luke Pty Ltd factory.
- Sub-precinct 2B – comprising recently constructed three to five-storey apartment buildings and townhouses.
- Sub-precinct 2C – contains a mix of altered nineteenth century houses and later light industrial buildings. This sub-precinct is subject to a separate Urban Development Framework (UDF).
- Sub-precinct 2D – contains row of intact two-storey nineteenth century terraced houses at 472-484 Napier Street.

The Napier Street Reserve lies outside the sub-precincts and contains an electrical substation.

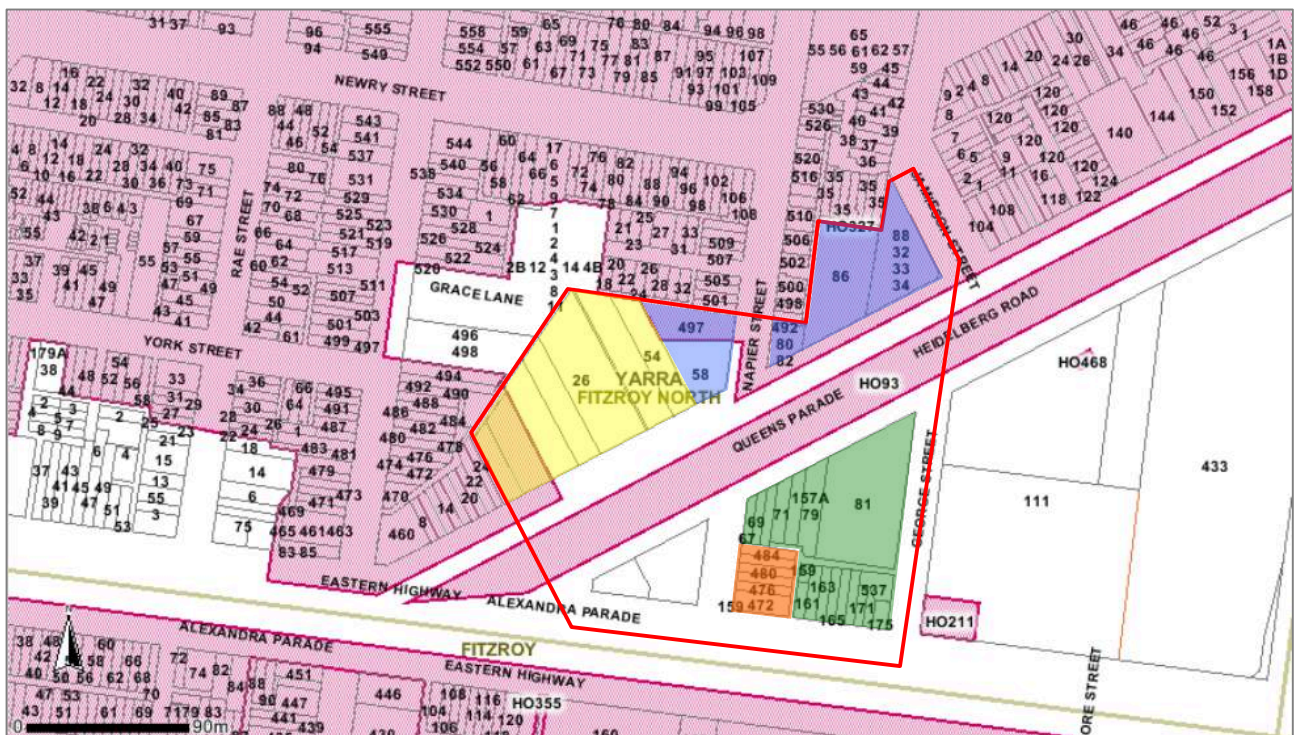


Figure 16: Heritage Overlay map – Precinct 2 outlined in red (sub-precinct 2A shaded in yellow, sub-precinct 2B in blue, sub-precinct 2C in green and sub-precinct 2D in orange) (Planning Maps Online, accessed 14 August 2017)



Figure 17: Former K.G. Luke Pty Ltd factory, 26-58 Queens Parade (sub-precinct 2A)



Figure 18: Contemporary apartments and townhouses (sub-precinct 2B)



Figures 19 and 20: Terraces houses at 472-484 Napier Street (sub-precinct 2D)



Figure 21: Light industrial buildings (sub-precinct 2C)



Figure 22: Electrical substation on Alexandra Parade in Napier Street Reserve

7.2 Heritage Status

7.2.1 Existing Conditions

Sub-precinct 2A

The former K.G. Luke Pty Ltd factory in sub-precinct 2A is partly covered by the North Fitzroy Precinct Heritage Overlay (HO327) and is partly outside the Heritage Overlay. At present approximately two-thirds of the Art Deco façade and associated factory buildings are included in the Heritage Overlay. Appendix 8 currently grades 26 Queens Parade and 28-58 Queens Parade as ‘individually significant’ within HO327, despite only part of the site being captured by the overlay.

The K.G. Luke Pty Ltd factory comprises a series of buildings with front facades to Queens Parade constructed in the 1930s and 1960s. The western part of the site appears to have been fully developed by the late 1930s (or early 1940s) and additional buildings were constructed in the 1960s. All buildings are of two-storeys and are painted in a consistent colour across the extensive Queens Parade façade.

The 1930s Art Deco facade is of brick and steel-frame construction with a render finish applied to the body of the main façade and piers that divide the façade into nine unevenly spaced bays. Spandrels below the first floor windows are of face brickwork that has been overpainted. The highly distinctive parapet consists of a series of uneven overpainted brick and cement rendered vertical elements which rise and fall across the façade, creating a castellated appearance. Openings are set between the piers and some original steel-framed windows remain at first floor level, however the majority of openings have been modified. A pyramidal hood, supported by heavy corbels, remains over a secondary entrance at street level.

The contrasting highly restrained façade of the 1960s building to the east is of seven bays with simple strips of high windows to the ground floor, larger windows to the first floor and a plain parapet above. Two bays at the eastern end are recessed at ground floor level and the upper floor is supported on two plain, square columns.

The showroom and factory buildings behind the 1930s façade and 1960s building are a mix of saw-tooth and pitched roofed structures that occupy the majority of the site.

Sub-precinct 2B

The buildings within sub-precinct 2B are all affected by HO327. Planning Maps Online identifies these properties (from west to east) as:

- 497 Napier Street
- 492 Napier Street & 80-82 Queens Parade
- 86 Queens Parade
- 88 Queens Parade & 32, 33 and 34 Jamieson Street.

All sites within this sub-precinct contain contemporary apartment/townhouse complexes that do not contribute to the heritage values of HO327. Appendix 8 identifies that 497 Napier Street and 80 & 86 Queens Parade are ‘not contributory’ to HO327; however other addresses are not listed.

Sub-precinct 2C

Sub-precinct 2C is not covered by the Heritage Overlay. The sub-precinct comprises a row of single-storey Victorian terraced houses facing Alexandra Parade flanked by two timber Edwardian-era houses to the west and a post-war two-storey shop to the east. The terraced houses are built to the street and are of rendered brick construction with decorative parapets and later timber and steel fences.

The balance of sub-precinct 2C contains a mix of twentieth century single-storey light industrial buildings and two highly altered Edwardian-era houses at the corner of Napier Street and Queens Parade.

Sub-precinct 2D

Sub-precinct 2D is not covered by the Heritage Overlay.

The sub-precinct contains an intact row of five double-storey Victorian terrace houses – ‘Elizabeth Terrace’ – at 472-484 Napier Street. These polychromatic brick terrace houses have double-storey front verandahs, rendered and balustraded parapeted facades that conceal hipped roofs, and rectangular window openings. The terraces are designed as a group with a large and elaborate central arched pediment containing an acroterion ornament, a central name plate displaying the name ‘Elizabeth Terraces’ and rows of rosettes across all facades. Dividing wing walls, which display consoles and masks, rise to plinths and urns at parapet level. Roofed with corrugated iron, the verandahs are decorated with cast iron friezes and balustrading, and cast iron palisade fences run between wing walls at street level.

The house at 472 Napier Street is a large two-storey polychromatic brick terrace house which is located on the corner of Alexandra Parade. The front elevation to Napier Street has a double storey verandah with decorative cast iron friezes and balustrade, an exposed hipped roof, wing walls and a cast iron palisade fence. The side façade to Alexandra Parade is rendered and painted and contains simple rectangular window openings. A large rendered chimney towards the front of the house is visible from this southern view.

Precinct 2

The street trees within the central part of the Queens Parade road reserve are included within HO93. This Heritage Overlay falls partially within Precinct 2.

In summary, the existing heritage status for Precinct 2 is:

Victorian Heritage Register

None

Individual Heritage Overlays

HO93 – Queens Parade, Between Alexandra Parade & Delbridge Street Clifton Hill/ North Fitzroy - Street Trees (part)

Precinct Heritage Overlays

HO327 – North Fitzroy Precinct (part)

7.2.2 Recommended Changes

The following changes to the heritage controls are recommended for Precinct 2:

1. The heritage significance of the former K.G. Luke Pty Ltd factory site has been reassessed as part of this review (see Appendix A). The reassessment has found that the Heritage Overlay (HO327) should cover the former K.G. Luke Pty Ltd factory site to the extent of the Art Deco façade and associated showroom and factory buildings (refer to Appendix A for details). It is recommended that the citation prepared for the place be included within the *Yarra High Streets: Statements of Significance* reference document at Clause 22.02 of the Yarra Planning Scheme (see Appendix H). Appendix 8 should be updated to reflect this change.
2. 58 Queens Parade is not included within the Heritage Overlay but is currently identified as part of the former K.G. Luke Pty Ltd factory and graded as ‘individually significant’ in Appendix 8. This site has been redeveloped as a five-storey apartment building and reference to it should be removed from Appendix 8.
3. 80, 86 and 88 Queens Parade, 32, 33 and 34 Jamieson Street and 497 Napier Street are occupied by contemporary multi-unit residential development. Appendix 8 should be updated to clearly identify these properties as ‘not contributory’ to HO327.
4. The row of terraced houses at 472-484 Napier Street in sub-precinct 2D are highly intact and their heritage significance has been assessed as part of this review (see Appendix B). The assessment has found that the row warrants inclusion on the Heritage Overlay. The citation prepared for the place should be included within the *Yarra High Streets: Statements of Significance* reference document at Clause 22.02 of the Yarra Planning Scheme (Appendix H). Appendix 8 should be updated to reflect this change.

7.3 Zoning

7.3.1 Existing Conditions

With the exception of 497 Napier Street (which is zoned NRZ), all land within sub-precincts 2A and 2B are included within the MUZ. The properties in sub-precincts 2C and 2D are all included in the Commercial 2 Zone (C2Z).

7.3.2 Recommended Changes

The current zoning for sub-precincts 2A, 2B and 2C is considered appropriate in heritage terms.

As the terraced houses at 472-484 Napier Street (in sub-precinct 2D) are considered to warrant inclusion within the Heritage Overlay, consideration should be given to applying the GRZ or NRZ to these properties in recognition of their current and historic residential use and low-scale residential character, rather than the current C2Z.

7.4 Key views

Distant views of the St John's Church spire are afforded from the north side of Queens Parade and the intersections of Napier and Jamieson Streets, although the heritage street trees largely obscure this view. These views are not considered key views of the Church belfry and spire and management of the views is not necessary.

7.5 Significant Streetscapes

The mixed nature of Precinct 2 and the amount of recent development and non-contributory buildings means that there are no streetscapes that are considered to be significant.

While the buildings are not considered to create a significant streetscape, the mature double avenue of trees planted throughout the wide Queens Parade boulevard are significant (HO93) and new development should be scaled to avoid diminishing the boulevard quality of Queens Parade.

7.6 Potential Future Character Considerations

Sub-precinct 2A

Sub-precinct 2A is a large former factory site that can accommodate higher built form; however, the site exists within a rich and fine-grained heritage context to the west and north, and contains an elaborate Art Deco façade of aesthetic significance. Any new development should be moderated so as to not visually dominate the Art Deco façade and to respect the two-storey scale of the Victorian-era terraces to the west and the predominantly single-storey scale of the Victorian-era streetscapes on Coleman and Newry Streets to the north of the site. The Victorian Civil and Administrative Tribunal (VCAT) recently considered an application for review (Gurner 26-56 Queens Parade Pty Ltd v Yarra CC [2017] VCAT 1745) in relation to planning permit applications (PLN16/0434 & PLN16/0732) for the redevelopment of the former K.G. Luke Pty Ltd factory. VCAT granted leave to prepare amended plans incorporating the changes referred to in the reasons for this order.

Sub-precinct 2B

The future character of sub-precinct 2B has been established by the three to five-storey apartment and townhouse developments. These sites are unlikely to undergo further redevelopment for many years.

Sub-precinct 2C

The absence of heritage buildings within sub-precinct 2C means greater height can be accommodated. An appropriate street wall height should be established that retains the openness and boulevard quality of both Alexandra and Queens Parades. The Napier Street and Alexandra Parade street wall should respect the two-storey Victorian-era street wall established by the parapets of the terraced houses in sub-precinct 2D where it

adjoins these buildings, with higher development set back to allow the heritage fabric to remain prominent in the streetscape and the Napier Street Reserve.

Sub-precinct 2D

The row of terraced houses at 472-484 Napier Street should be conserved. If included in the Heritage Overlay, the heritage status of these properties will see the heritage fabric largely retained. Rear extensions and additions that are consistent with the provisions of Clause 22.02 of the Yarra Planning Scheme will ensure the future character of these residential properties remains predominantly low-scale.

7.7 Recommended Built Form Parameters

Sub-precinct 2A

A DDO should apply to sub-precinct 2A to inform the redevelopment of the former K.G. Luke Pty Ltd factory. The DDO should focus on retaining the prominence of the aesthetically significant Art Deco facade within the streetscape and providing a sensitive interface with adjacent heritage buildings including those to the west and on Coleman and Newry Streets. The controls should:

- Require the retention, conservation and incorporation of the existing Art Deco façade into the redevelopment of the site. This includes ensuring that internal alterations respect the exterior form of the building, its fenestration pattern and existing inter-floor height.
- Adopt a street wall height for infill development on the site that is no higher than the top of the existing parapet at the former factory entrance to create a consistent parapet height along this portion of Queens Parade.
- Ensure that the heritage building retains its prominence within the streetscape and its three-dimensional form as viewed from the public realm to avoid ‘facadism’. This will require new upper-level development to be set back from the street wall.
- Ensure that new development does not visually dominate the existing heritage fabric by requiring that new upper level built form is no greater than the volume of the heritage façade when the site is viewed from within the Queens Parade boulevard.
- Ensure new development does not diminish, or detract from the heritage values of the boulevard streetscape and the heritage trees along Queens Parade.
- Recognise the low-scale, fine grain heritage form of existing surrounding development and ensuring appropriate transitions to the one to two-storey adjacent heritage fabric. New development should not dominate views to the south over the rooftops of the terraced houses on Coleman and Newry Streets.

Sub-precinct 2B

Sub-precinct 2B has recently been developed to heights of three to five-storeys and additional controls are not required for this sub-precinct.

Sub-precinct 2C

For sub-precinct 2C, either the UDF should be modified to require consideration of the impact of development on the setting of 472-484 Napier Street, particularly when viewed from Napier Street, or a DDO be applied with the objective of protecting the visual prominence of the heritage buildings. A DDO control should:

- Ensure that any new development adjacent to the heritage buildings on Napier Street and Alexandra Parade adopts the parapet height of the heritage buildings for the street wall.
- Recognise the low-scale, fine grain heritage form of the heritage buildings and ensure appropriate transitions to the two-storey adjacent heritage fabric. New development should not dominate views over the rooftops of the two-storey heritage buildings on Napier Street when viewed from the opposite side of Napier Street.
- Ensure that any development adjacent to the heritage buildings are subservient to the heritage fabric and are visually recessive in mass, scale and materiality.

- Ensure new development does not diminish, or detract from the heritage values of the boulevard streetscape of Queens Parade.

Sub-precinct 2D

Should 472-484 Napier Street be rezoned GRZ or NRZ, a DDO is not considered necessary for those properties as their development would instead be guided by Clause 22.02 of the Yarra Planning Scheme and the underlying zoning.

If 472-484 Napier Street is not rezoned, it would be appropriate to introduce a DDO with height and setback controls consistent with the application of the Heritage Policy at Clause 22.02 to ensure the heritage fabric is appropriately managed.

8. Precinct 3 – St John’s Precinct

8.1 Description

Precinct 3 extends along the north side of Queens Parade between Jamieson and Delbridge Streets to the depth of a single property. It extends along the south side of Queens Parade between Smith and Wellington Street to the depth of a single property and includes the properties on the east side of Smith Street between Hodgkinson Street and Queens Parade.

The southern side of Queens Parade falls within the extent of the Neighbourhood Activity Centre. All properties in Precinct 3 are included in the Heritage Overlay.

Precinct 3 is made up of two sub-precincts:

- Sub-precinct 3A – is primarily made up of the commercially zoned land on the east side of Smith Street and the south side of Queens Parade, which is occupied by single and two-storey commercial buildings.
- Sub-precinct 3B – comprises primarily residential properties on the north side of Queens Parade that range from single and two-storey Victorian and Edwardian-era houses to recent multi-unit apartments and townhouses. On the south side of Queens Parade, sub-precinct 3B includes a small number of two-storey Victorian-era houses and is dominated by the St John the Baptist Church complex (including the church, school, hall, residence and presbytery) at the eastern end of the precinct.

The former Fitzroy Gas Works site, which is bound by Queens Parade, Alexandra Parade, George Street and Smith Street, is excluded from the study area and is subject to a UDF. The site includes a ‘Heritage Object’ included on the VHR (Porter Prefabricated Iron Store, VHR H2243) – also included in the Heritage Overlay as HO467 – and the Former Fitzroy Gas Works Valve House and Store (HO211); however, the heritage impacts on this site have not been considered as part of this review as it is outside the study area.

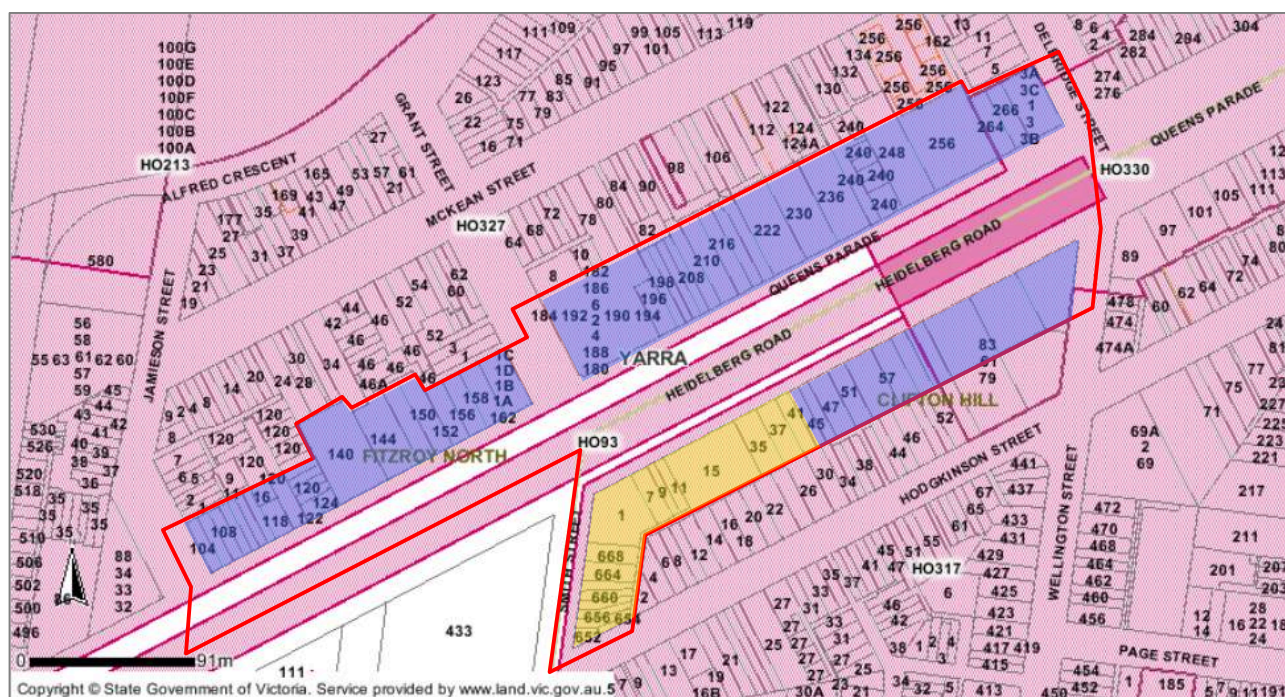


Figure 23: Heritage Overlay map – Precinct 3 outlined in red (sub-precinct 3A shaded in yellow and sub-precinct 3B in blue) (Planning Maps Online, accessed 28 August 2017)



Figure 24: East side of Smith Street (sub-precinct 3A) former Fire Station, 662 Smith Street identified with arrow



Figure 25: 11A, 11 and 7 Queens Parade (sub-precinct 3A)



Figure 26: Commercial buildings on the south side of Queens Parade (sub-precinct 3A)



Figure 27: Recent townhouse development on the north side of Queen Parade (sub-precinct 3B)



Figure 28: Detached Victorian-era houses on the south side of Queens Parade (sub-precinct 3B)



Figure 29: St John the Baptist Church (sub-precinct 3B)

8.2 Heritage Status

8.2.1 Existing Conditions

Sub-precinct 3A

Sub-precinct 3A extends down Smith Street to Hodgkinson Street and includes the commercial strip from 1 to 41 Queens Parade. The whole of sub-precinct 3A falls within HO317 – Clifton Hill West Precinct.

Along Smith Street, sub-precinct 3A has a relatively consistent two-storey street wall derived from the smaller-scale, two-storey Victorian-era commercial buildings with a parapet height of approx. 9m. These shop/residences are built to Smith Street, constructed of rendered brick and have retained their first floor windows and early timber shopfronts on the ground floor.

Of particular note within this group is the former Fire Station at 652-662 Smith Street. The facade of the Fire Station is of tuckpointed, polychromatic brickwork with the main body of brown brick, bands of red brick and cream brick window voussoirs. An elaborate rendered parapet above contains a central raised balustraded section and flanking sections comprised of circular motifs. Four urns sit atop dividing pedestals and the whole parapet is supported on pairs of rendered console brackets. The upper facade contains three rectangular double hung windows with chamfered reveals and a row of decorative tiles laid within a red brick band.

The facade at street level contains two arch-headed openings of unequal size, breaking the symmetry of the upper facade. The large flat-arched opening contains four doors with glazed top panels and the adjoining semi-circular arched opening contains a single panelled door with glazed fanlight. A tiled red brick band, matching that of the upper facade, forms an impost for cream brick voussoir arches which frame both openings.

The row of two-storey Victorian-era commercial buildings and the small former Fire Station are identified in Appendix 8 as 'contributory'.

To the north of the Fire Station are two storey brown brick post-war warehouse buildings and a single-storey showroom building.

Near the corner of Smith Street and Queens Parade are three altered commercial buildings at 7, 9 and 11 Queens Parade. The building at 7 Queens Parade is single-storey with a tall parapet with projecting brick panels at the centre and each end. There is no decorative architectural detail below the parapet and the ground floor facade has been heavily altered with no original openings evident. The two-storey pair of terraced shop residences at 9 and 11 Queens Parade have a relatively simple rendered form with a single pair of plain window openings with timber sash windows to the first floor. These three buildings are identified in Appendix 8 as 'contributory'.

North-east of 11 Queens Parade, at 15-33 Queens Parade is a post-war single-storey showroom/warehouse building along with the double-fronted, single-storey Victorian-era former house at 35 Queens Parade and a single-storey Victorian commercial building at 37 Queens Parade. 41 Queens Parade is a heavily altered late-nineteenth or early twentieth century single-storey house.

Nos 15-33 and 41 Queens Parade are identified in Appendix 8 as being 'not contributory' to the Clifton Hill West Precinct while nos 35 and 37 are identified as 'contributory'.

Sub-precinct 3B

North of Queens Parade, sub-precinct 3B is subject to either HO327 – North Fitzroy Precinct, or HO330 – Queens Parade Precinct, North Fitzroy/Clifton Hill. This portion of sub-precinct 3B has a mixed character with single and two-storey Victorian terraced houses and freestanding Edwardian-era houses interspersed with Inter-war period and 1960s blocks of flats, a former hotel and a bank as well as recent townhouse and apartment developments.

Buildings identified as 'Individually Significant' include:

- The bluestone house at 118 Queens Parade

- The former Selotta Shoes Pty Ltd Factory, 122 Queens Parade
- The house at 216 Queens Parade
- The Clifton Court Flats, 230 Queens Parade
- The front part of 240 Queens Parade
- The former Christian Brothers Monastery, 256-260 Queens Parade
- Residence and Surgery, 264 Queens Parade
- The former National Bank of Australasia, 270 Queens Parade.

On the south side of Queens Parade, sub-precinct 3B is subject to either HO317 – Clifton Hill Western Precinct or HO330 – Queens Parade Precinct, and is dominated by the ‘Individually Significant’ St John the Baptist Church complex, comprising the church with its prominent belfry and spire, the school, presbytery, former hall/shops, former presbytery and the Queens Parade boundary fence to the church and presbytery.

To the west of the St John’s Church complex are four ‘contributory’ Victorian-era houses comprising a pair of rendered two-storey terraced houses built to the street boundary at nos 43 and 45, a free-standing polychromatic brick two-storey terraced house set back from the street at no. 47, and a double-fronted brick single-storey house at no. 51.

Precinct 3

The street trees within the central part of the Queens Parade road reserve are included within HO93. This Heritage Overlay falls partially within Precinct 3.

In summary, the existing heritage status for Precinct 3 is:

Victorian Heritage Register

None

Individual Heritage Overlays

HO93 – Queens Parade, Between Alexandra Parade & Delbridge Street Clifton Hill/ North Fitzroy - Street Trees (part)

Precinct Heritage Overlays

HO317 – Clifton Hill Western Precinct

HO327 – North Fitzroy Precinct

HO330 - Queens Parade Precinct, North Fitzroy/Clifton Hill

8.2.2 Recommended Changes

The following changes to the heritage controls are recommended for Precinct 3:

- The St John the Baptist Church Complex is a highly significant complex within the locality. The landmark status of the Church belfry and spire within the municipality is recognised in Yarra’s ‘Landmarks and Tall Structures’ policy at Clause 22.03. It is recommended that the complex be included within its own Heritage Overlay in recognition of its significance within the City of Yarra and the need to trigger internal controls to manage the significant organ. See Appendix C for the heritage citation and detailed recommendations for the site. The citation should be included within the *Yarra High Streets: Statements of Significance* reference document at Clause 22.02 of the Yarra Planning Scheme (Appendix H). Appendix 8 should be updated to reflect this change.
- The former Fire Station at 662 Smith Street is currently identified as a ‘contributory’ building within HO317, however, it is an early and rare example of a suburban fire station which pre-dated the establishment of the Metropolitan Fire Brigade (see Heritage Citation at Appendix D). It is recommended that the property be re-graded within Appendix 8 to ‘Individually Significant’ and that the citation should be included within the *Yarra High Streets: Statements of Significance* reference document at Clause 22.02 of the Yarra Planning Scheme (Appendix H).
- The commercial Victorian-era buildings at 7, 9 and 11 Queens Parade are currently identified as ‘contributory’ within HO317. These simple and altered buildings are bookended by two large ‘not

contributory' sites at 1-5 Queens Parade and 15-33 Queens Parade and their contribution to the HO317 is considered to be minimal. Appendix G to this report provides a detailed rationale for regrading these three properties to 'not contributory' in Appendix 8.

8.3 Zoning

8.3.1 Existing Conditions

Most of sub-precinct 3A is zoned C2Z with 652-658 Smith Street zoned Commercial 1 Zone (C1Z). The vast majority of sub-precinct 3B is zoned NRZ with isolated sites zoned GRZ at 120 Queen Street, 256 Queen Street and the St John's Parish Hall on the corner of Queens Parade and Wellington Street.

8.3.2 Recommended Changes

The use of a commercial zone for sub-precincts 3A and 3B is appropriate in heritage terms, and the predominately residential character of sub-precinct 3B is appropriately recognised through the existing GRZ and NRZ zoning.

8.4 Key views

A number of key views of the St John the Baptist Church belfry and spire are provided from within Precinct 3.

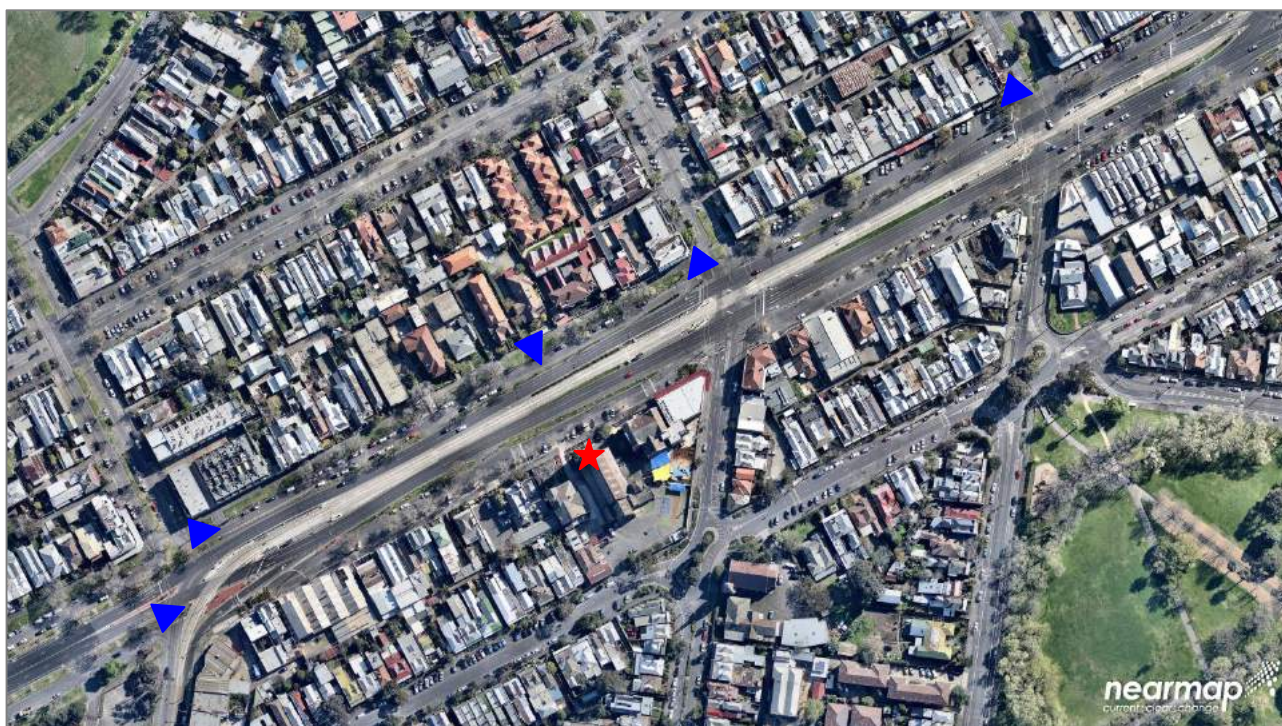


Figure 30: Location of key views (blue arrows) of St John's Church belfry and spire (red star) (©nearmap, 17 Sept 2017)

The principal view of St John's Church is from the opposite (northern) side of Queens Parade, particularly between Grant Street to the west and Delbridge Street to the east (Figure 31). These views are protected by the road reserve and HO93, which will trigger a consideration of heritage issues if development of intrusive street furniture, including tram infrastructure, is proposed.

Key oblique views of St John the Baptist Church belfry and spire from the west are provided from the intersection of Queens Parade and Delbridge Street (Figure 32), the northwestern intersection of Queens Parade and Grant Street (Figure 33) and from the southwestern side of Queens Parade and Smith Street (Figure 34). These views are where the belfry and spire of St John the Baptist Church become a prominent landmark element within the streetscape. Similar to the view directly opposite the Church, the view from the intersection of Queens Parade and Grant Street is protected by the road reserve and HO93. However, built

form controls will be required along the south side of Queens Parade to protect the key view of the landmark form from the intersection of Queens Parade and Smith Street.



Figure 31: View of St John's Church from the opposite (northern) side of Queens Parade



Figure 32: View of St John's Church from intersection of Delbridge Street



Figure 33: View of St John's spire from intersection of Grant Street



Figure 34: View of St John's spire from the intersection of Smith Street

8.5 Significant Streetscapes

The mixed character of Precinct 3 and the amount of recent development and not-contributory buildings means that there are no streetscapes that are considered to be significant. While the two-storey Victorian-era shops and small former Fire Station at 652-662 Smith Street are highly intact and are consistently two-storeys, they comprise a short row (six buildings) that are relative simple in their architectural expression and quality. Within the wider context of the City of Yarra, they are not considered to form a significant streetscape.

While the buildings are not considered to create a significant streetscape, there are a small number of mature trees planted throughout the wide Queens Parade boulevard that are significant (HO93). New development should be scaled to avoid diminishing the boulevard quality of Queens Parade.

8.6 Potential Future Character Considerations

Sub-precinct 3A

Sub-precinct 3A has two distinct sections: the consistent and intact two-storey Victorian-era commercial buildings and former Fire Station from 652 to 662 Smith Street, and the mixed and less intact section on the northeast corner of Queens Parade and Smith Street and along Queens Parade itself.

The intact streetscape to Smith Street should retain the existing buildings and the existing street wall height with new development set back from the façade and designed to not dominate the Victorian-era buildings. The remainder of sub-precinct 3A has fewer site-specific heritage issues but will need to be massed to retain key views to the belfry and spire of St John's Church and to provide a sensitive transition to the predominantly single-storey Victorian-era character of Hodgkinson Street to the south.

Sub-precinct 3B

The residential component of sub-precinct 3B on the north side of Queens Parade, although predominantly single or two-storey, has accommodated apartment or townhouse development of up to four-storeys in recent years. The current zoning will limit future infill or rear development to two or three-storeys in height and the application of Clause 22.02 of the Yarra Planning Scheme will ensure the future character of this area remains predominantly low-scale.

The St John the Baptist Church complex and the Victorian-era houses to the west are unlikely to undergo significant change as there is only limited opportunity for redevelopment (with the exception of the 'not-contributory' vacant site on the grounds of St John the Baptist Church at 55-57 Queens Parade). The existing GRZ and NRZ zoning will ensure the future character of these properties remains predominantly low-scale and the prominence of the Church complex is maintained. Clause 22.02 will appropriately manage the infill development on the vacant site and rear additions to the existing buildings.

8.7 Recommended Built Form Parameters

Sub-precinct 3A

A DDO should apply to sub-precinct 3A to inform the redevelopment of this commercial strip both in terms of new development and rear additions behind graded buildings. The DDO should moderate new built form along Queens Parade to protect key views of the belfry and spire of St John the Baptist Church, ensure set back of new built form from the intact heritage street wall along Smith Street, and avoid new rear development dominating the single-storey Victorian-era streetscape on Hodgkinson Street.

This should occur through controls for the sub-precinct that:

- Adopts a street wall height and setback for infill development that protects the views of the belfry and spire of St John the Baptist Church along Queens Parade from the south-west corner of Smith Street, allowing the belfry and spire to be appreciated with clear sky around these features.
- Adopts a street wall height along Smith Street that respects the existing façade heights of 652-662 Smith Street.
- Ensures that new development does not visually dominate the existing heritage fabric and that heritage buildings – particularly those on Smith Street - retain their three-dimensional form as viewed from the public realm to avoid 'facadism'. This will require new upper level built form to be set back from the heritage façades.
- Ensures that any upper level or infill development adjacent to the heritage buildings are subservient to the heritage fabric and are visually recessive in mass, scale and materiality.
- Recognises the low-scale, fine grain heritage form of existing surrounding development and ensure appropriate transitions to the one to two-storey adjacent heritage fabric. New development should not dominate views to the northwest over the rooftops of the single-storey houses on Hodgkinson Street.
- Ensures new development does not diminish, or detract from the heritage values of the boulevard streetscape of Queens Parade.

Sub-precinct 3B

Sub-precinct 3B is either zoned GRZ or NRZ and therefore additional built form controls are not required to protect the heritage values of these areas.

9. Precinct 4 – Neighbourhood Activity Centre Precinct

9.1 Description

Precinct 4 contains the core of the retail high street. On the north side of Queens Parade it extends between Delbridge Street and number 410 Queens Parade to the depth of a single property, including the properties known as 304, 312 and 390A Queens Parade at the rear of the buildings fronting Queens Parade. On the south side of Queens Parade, Precinct 4 extends from Wellington Street to Turnbull Street to the depth of a single property (but also including 245 Gold Street near the corner of Queens Parade and Gold Street).

The precinct is characterised by highly intact, predominantly two-storey nineteenth and early twentieth century commercial buildings, with a single three-storey building (the former ANZ Bank, 370 Queens Parade, VHR H0892).

The whole of Precinct 4 falls within the extent of the Neighbourhood Activity Centre and is subject to the Heritage Overlay.

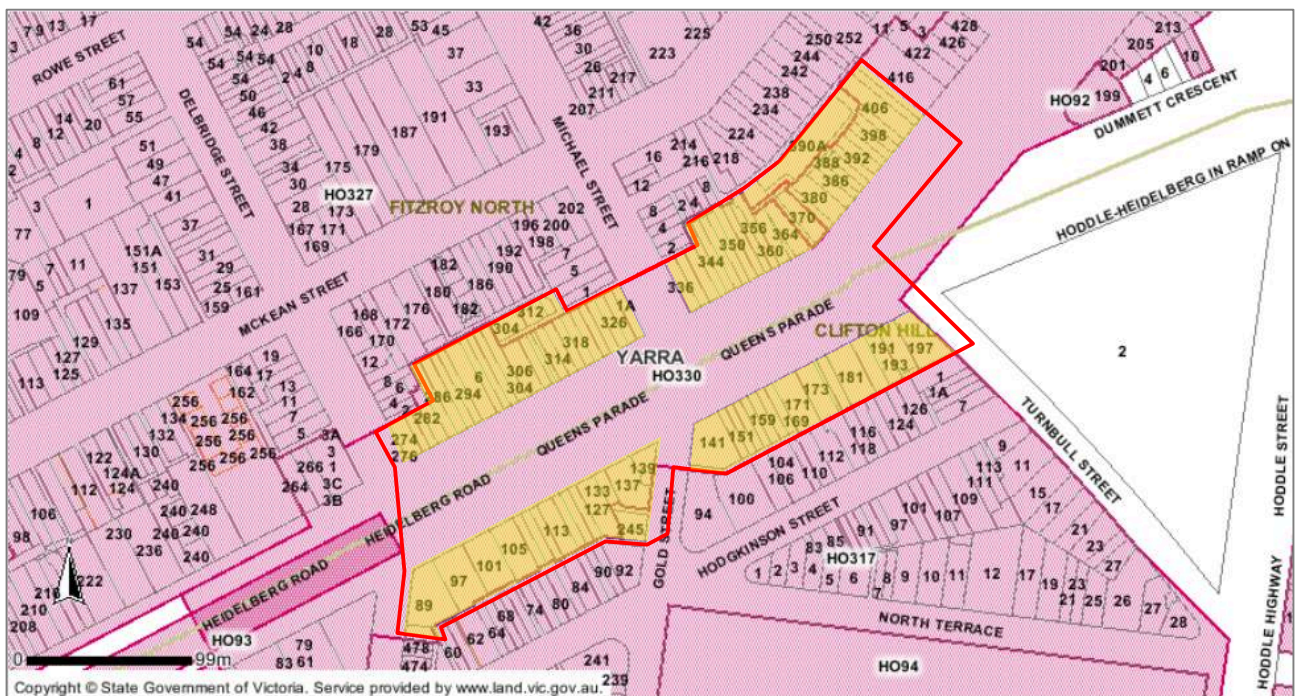


Figure 35: Heritage Overlay map – Precinct 4 outlined in red (buildings within Precinct 4 shaded in yellow) (Planning Maps Online, accessed 29 August 2017)

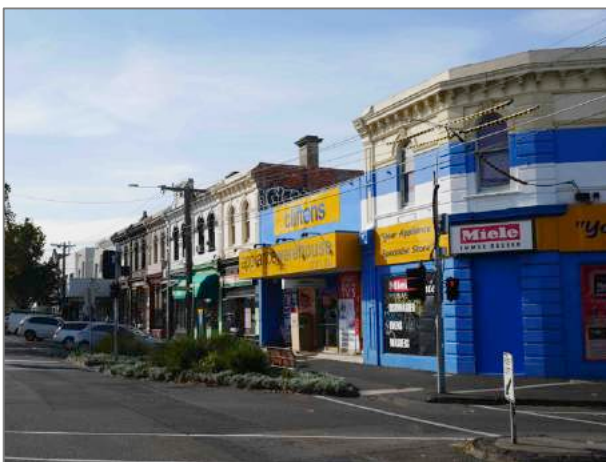


Figure 36: South side of Queens Parade



Figure 37: North side of Queens Parade

9.2 Heritage Status

9.2.1 Existing Conditions

Precinct 4 is predominantly made up of intact rows of two-storey shop-residences dating from the late nineteenth and early twentieth century with a small number of later single and two-storey infill buildings. The three-storey former ANZ Bank at 370 Queens Parade is a local landmark and is included on the VHR (H0892).

The buildings along Queens Parade within the precinct generally share a similar parapeted building form with zero street setback. They are of rendered brick construction with roofs that are generally hidden but chimneys are often visible above the decorative parapets. The parapet heights of the consistent rows of two-storey shop and residences – such as 149-167 Queens Street (Campi's Buildings) (Figure 38) and 344-356 Queens Parade (Figure 39) – establish a consistent street wall height of 8m-11m. The roof forms of the front two rooms of the nineteenth century shops and residences are generally between 8m and 12m deep. The chimneys common to most party walls and visible from the public realm are generally located approximately 2-3m from the building's façade, that is, about half the depth of the front room of the building.

Grander commercial buildings such as former hotels, a bank and post office, generally occupy the intersections of Queens Parade and other streets within Precinct 4. The facades of these buildings at the intersection of Gold Street and Queens Parade continue on the side street, as do those on the buildings on the eastern side of the intersection of Delbridge, Michael, and Wellington Streets. The building on the western side of the intersection of Michael Street and Queens Parade has a plain elevation to Michael Street with no return façade (Figure 42). The intersection of Turnbull Street and Queens Parade is not occupied by a building.

The south side of Queens Parade contains some atypical heritage buildings that do not share the predominant two-storey parapeted form built to the street boundary. These buildings include the 'individually significant' Edwardian-era Doctor's Surgery & Residence at 105 Queens Street, the 'contributory' Clifton Hill Post Office at 181 Queens Parade, and the 'contributory' houses at 191 and 193 Queens Parade.

The whole of Precinct 4 is included within the HO330 - Queens Parade Precinct, North Fitzroy/Clifton Hill with the exception of 390A Queens Parade and the rear parts of 304, 312 and 316 Queens Parade, which are included within HO327 – North Fitzroy Precinct (with no identified grading in Appendix 8). These buildings are a variety of utilitarian brick and timber structures including remnants of an early former stables, garages of more recent origins and a substation that possibly previously functioned as a warehouse. 245 Gold Street also sits outside HO330 and is a 'contributory' building within HO317 – Clifton Hill Western Precinct.

A very high proportion of the buildings within Precinct 4 are identified in Appendix 8 as 'contributory' or 'individually significant'.

The former ANZ Bank, an impressive example of English Queen Anne Revival architecture designed by Oakden, Addison and Kemp, occupies a prominent location at the point at which Queens Parade bends into Heidelberg Road. It is of State-level heritage significance for the following reasons:

The ANZ Bank building in Queens Parade Fitzroy North is of architectural significance as one of the best examples of English Queen Anne Revival style commercial architecture in Melbourne. The building is prominent in the Queens Parade/Heidelberg Road intersection and its importance is emphasized by the corner tower, steep pitched roof and tall chimneys. The decorative brick and render bands give contrast to the precise red brick work. The building's architect, Henry Kemp, was one of Melbourne's best exponents of the style. Kemp was also responsible for the Australian Building in Elizabeth Street, Melbourne, which, when built around the same time as the ANZ Bank building, was reputed to be Australia's tallest building. The demolition of the Australian Building in 1980 gives the ANZ Bank building added significance, given the latter appears to have been a scaled down version of the former. The North Fitzroy bank is the only metropolitan example of Queen Anne style bank buildings in Victoria, the other seven being country buildings. The influence of the important English architect, Richard Shaw, the leading architect of the Queen Anne Revival style in London, is clearly evident in the ANZ Bank building.

The ANZ Bank building in Queens Parade, Fitzroy North is of historical and social significance for what it reveals about the banking industry in late 19th century Melbourne. The importance of the bank in the local community was emphasised by its prominent street corner location and its distinctive and attractive architecture. The manager's residence above the banking chamber is a reminder of the different organisational and working arrangements that characterised 19th century cities. The building continues to have social significance due to its landmark qualities.

HO93 - Queens Parade, Between Alexandra Parade & Delbridge Street Clifton Hill/ North Fitzroy - Street Trees does not extend into Precinct 4, however the carriageway retains a boulevard character albeit with less mature specimens of trees and less consistency of planting.

In summary, the existing heritage status for Precinct 4 is:

Victorian Heritage Register

VHR H0892 – Former ANZ Bank, 370-374 Queens Parade, North Fitzroy (HO221)

Individual Heritage Overlays

None

Precinct Heritage Overlays

HO327 – North Fitzroy Precinct

HO330 – Queens Parade Precinct, North Fitzroy/Clifton Hill

HO317 – Clifton Hill Western Precinct

9.2.2 Recommended Changes

The following changes to the heritage controls are recommended for Precinct 4:

- 350 Queens Parade (Figure 39) is part of a highly intact row of shops and should be identified as 'contributory' in Appendix 8 (currently the neighbouring properties at 346-348 & 352-356 are all identified as 'contributory') (see Appendix G for further information).
- The 'individually significant' Doctor's Surgery & Residence at 105 Queens Street is an atypical heritage building in the context of HO330. A site-specific Statement of Significance has been prepared to assist in guiding appropriate management of the site (see Appendix E). The citation should be included within the *Yarra High Streets: Statements of Significance* reference document at Clause 22.02 of the Yarra Planning Scheme (Appendix H).
- 137 Queens Parade (Figure 41) is a vacant site following fire damage to the building. It is currently not graded in Appendix 8 but should be identified as 'not contributory'.
- 390A Queens Parade and the rear parts of 304, 312 and 316 Queens Parade (Figures 44-51) contain a variety of utilitarian structures including former stables, garages and a substation. The contribution these structures make to HO327 has been reviewed as part of this project (see Appendix G for a detailed analysis). As a result of this review it is recommended that:
 - (i) The properties at 390A and the rear of 304, 312, 316 and 380 be removed from HO327 – Fitzroy North Precinct and include within the boundary of HO330 – Queens Parade Precinct.
 - (ii) The entry in Appendix 8 for 'Shops & residences' at '380-378 Queens Parade' within HO327 – North Fitzroy Precinct be removed and that 380 Queens Parade be identified as a 'contributory' building within HO330 – Queens Parade Precinct.
 - (iii) The following sites and associated gradings be identified in Appendix 8 under HO330 – Queens Parade Precinct:
 - 304 Queens Parade (rear, off Koormiel Lane) – 'not contributory'
 - 312 Queens Parade (rear, off Koormiel Lane) – 'contributory'
 - 316 Queens Parade (rear, off Koormiel Lane) – 'not contributory'
 - 380 Queens Parade (rear, behind 360-378) – 'not contributory'
 - 390A Queens Parade (two-storey building in north-east corner) – 'contributory'
 - 390A Queens Parade (all buildings excluding two-storey building) – 'not contributory'



Figure 38: 149-167 Queens Parade (Campi's Buildings) (©Google)



Figure 39: 342-364 Queens Parade – no. 350 indicated by arrow (©Google)



Figure 40: 400-410 Queens Parade

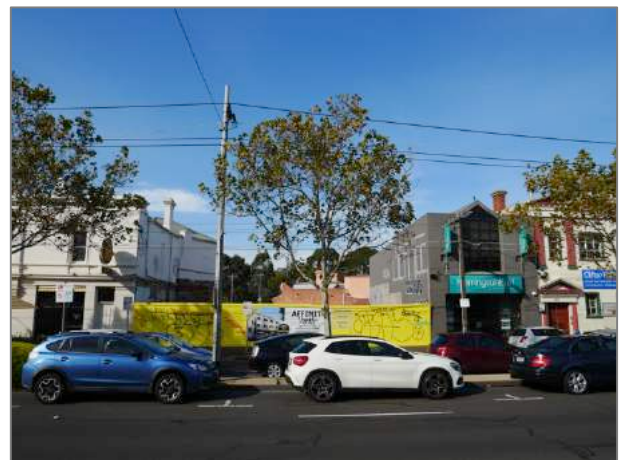


Figure 41: 139 (left), 137 (centre) and 133 (right) Queens Parade



Figure 42: 330 Queens Parade (from Michael Street) (©Google)



Figure 43: 245 Gold Street, Clifton Hill (©Google)



Figure 44: The southern elevations of the outbuildings at (left to right) 304, 312 & 316 (rear of all) Queens Parade



Figure 45: The northern elevations of the outbuildings at (right to left) 304, 312 & 316 (rear) Queens Parade



Figure 46: The western elevation of the outbuilding at 304 (rear) Queens Parade



Figure 47: The southern elevation of the outbuilding at 312 (rear) Queens Parade



Figure 48: The south-west elevation of the outbuilding at 390A Queens Parade (painted red). In the foreground is the vacant lot at 380 (rear) Queens Parade



Figure 49: The south-east elevations of the outbuildings at 390A Queens Parade



Figure 50: The north-east elevations of the outbuildings at 390A Queens Parade



Figure 51: The north-west elevations of the outbuildings at 390A Queens Parade

9.3 Zoning

9.3.1 Existing Conditions

All of the properties within Precinct 4 are zoned C1Z which is appropriate for the historic and current use of this area, with the exception of 245 Gold Street, Clifton Hill (Figure 43). This single-storey late-Victorian residence is highly intact from the street and has been included in C1Z but its character and historic use is more aligned to a residential zone (GRZ or NRZ).

9.3.2 Recommended Changes

Consideration should be given to rezoning 245 Gold Street, Clifton Hill from C1Z to GRZ or NRZ.

9.4 Key views

Some of the key views of the belfry and spire of St John the Baptist Church are from within Precinct 4 and from Raines Reserve (including at the pedestrian crossing) looking southwest, through Precinct 4. Views to the local landmark of the state-significant former ANZ Bank at 370 Queens Parade, are also afforded from within Precinct 4, from Raines Reserve, and from Precinct 5.

The boundary of Precincts 3 and 4 at the intersection of Queens Parade and Delbridge Street provides a key view of St John's Church and spire (see 'Key Views' discussion for Precinct 3). Other key views occur from Raines Reserve within the fork of Queens Parade and Heidelberg Road. This view is protected by the road reserve and the street wall heights of the heritage buildings and do not require management through additional built form controls.

Key views of the former ANZ Bank are those where the three-storey form, roof and chimneys of the former ANZ Bank building becomes a prominent landmark within the streetscape. These views are provided from the south-eastern intersection of Queens Parade and Gold Street; from the south-western intersection of Queens Parade and Turnbull Street; from the western end of in Raines Reserve within Precinct 5; and from the

pedestrian traffic islands at the southwest end of Precinct 5 (Figure 56). Additional built form controls are required to protect the landmark quality and visual prominence of the upper floor, roof form and chimneys of the former ANZ Bank when viewed from the intersection with Gold Street (Figure 53) and from Raines Reserve (Figure 55). The views from the intersection with Turnbull Street and the traffic island (Figure 54) is protected by the road reserve.



Figure 52: Location of key views (blue arrows) of the former ANZ Bank (red star) (©nearmap, 17 Sept 2017)

Oblique views of the former United Kingdom Hotel (VHR H0892) are provided from the northern end of Precinct 4, but these are protected by the road reserve and do not require management through additional built form controls.

Glimpses of the Alexandra Parade Shot Tower are visible from the intersection of Queens Parade and Delbridge and Gold Streets, however these are not considered to be key views of the shot tower that should be protected or require additional built form controls.



Figure 53: Former ANZ Bank from the intersection of Queens Parade and Gold Street

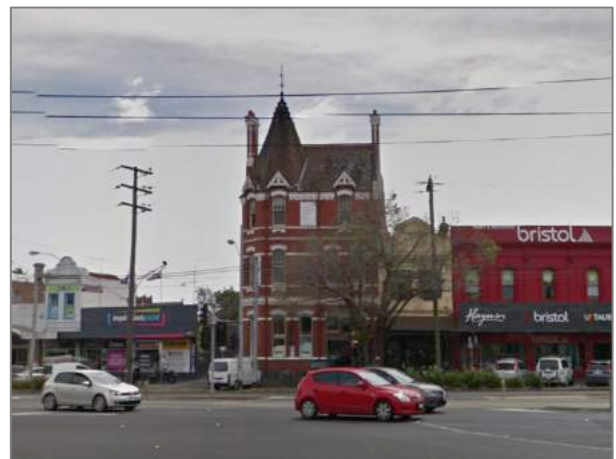


Figure 54: Former ANZ Bank from the intersection of Queens Parade and Turnbull Street (©Google)



Figure 55: Former ANZ Bank from Raines Reserve



Figure 56: View of the belfry and spire of St John's Church from the traffic island

9.5 Significant Streetscapes

The following lengths of Queens Parade within Precinct are considered to have 'significant' streetscape value:

- The northern side of Queens Parade between Delbridge Street and Michael Street.
- The northern side of Queens Parade between Michael Street and number 410 Queens Parade.
- The southern side of Queens Parade between Wellington Street and Gold Street.
- The southern side of Queens Parade between Gold Street and number 167 Queens Parade.

These streetscapes:

- Consist predominantly of buildings graded 'contributory' or 'individually significant' in Appendix 8 (approximately 90%) with few 'not-contributory' buildings or intrusive developments.
- Have a high degree of consistency in terms of their:
 - Overall scale
 - Zero street setback
 - Predominantly (Victorian) two-storey street wall height
 - Predominantly Victorian and early Edwardian architectural form and style.
- Date predominantly from the Victorian and early Edwardian period with few later infill developments.
- Demonstrate a high level of intactness to their turn of the century period of construction.
- Are recognised for their aesthetic significance in the existing Statement of Significance for HO330 as follows:

For the late 19th and early 20th century shops, hotels, banks, and public buildings, often with intact street verandahs, lining both sides of a wide boulevard that provides for exceptional vistas to fine commercial rows, and demonstrates the major role of Queens Parade as a commercial, banking, accommodation and public transport nucleus for the district.

As a result, these streetscapes are considered to satisfy the test for being 'significant streetscapes'. It is recommended that the Statement of Significance for HO330 be updated to ensure the intactness and quality of these identified streetscapes is appropriately recognised and the elements of the streetscape that contribute to its significance are clearly defined (see updated Statement of Significance in Appendix H).

The setbacks and form of the buildings from 169 Queens Parade to Turnbull Street (197 Queens Parade) are less consistent and there is a much higher proportion (approx. 45%) of 'not contributory' graded buildings. This section of the Queens Parade streetscape is therefore not considered significant.

While HO93 – Queens Parade does not extend into Precinct 4, the Statement of Significance for HO330 captures the significance of the boulevard as follows under 'Why is it significant?':

As one of Melbourne's early surveyed boulevards (1853) and one of the few associated with the prominent surveyor Robert Hoddle, enhanced by mature street trees (elms) and extensive beautification in the inter-war period in the form of plane trees and rockeries.

New development should be scaled to avoid diminishing the boulevard quality of Queens Parade.



Figure 57: Queens Parade, North Fitzroy & Clifton Hill – significant streetscapes dashed in red (adapted from Google maps)

9.6 Potential Future Character Considerations

Precinct 4 is dominated by a highly intact and consistent two-storey Victorian-era commercial streetscape with some consistently scaled early twentieth century infill buildings and later low-rise development. The Heritage Overlay (HO330) over this intact streetscape should ensure the retention of all 'contributory' and 'individually significant' buildings.

New infill development opportunities are limited to a relatively small number of sites occupied by 'not-contributory' buildings, including:

- Part of 97 Queens Parade (Figure 58)
- 133-137 Queens Parade (Figure 41)
- Part of 141-147 Queens Parade (Figure 59)
- 171-175 Queens Parade (Figure 60)
- 197 Queens Parade (Figure 61)
- 300-306 Queens Parade (Figure 62)
- 324-328 Queens Parade (Figure 63)
- 360 and 364-366 Queens Parade (Figure 64)
- 408 Queens Parade (Figure 65).

In these locations the potential future character should reflect the consistent existing streetscape with new built form constructed to the street boundary with a street wall height no higher than the predominant two

(Victorian-era) storeys. Single-storey development should be discouraged. Infill facades should respect the materiality and relationship between solid and void established by the ‘contributory’ and ‘individually significant’ buildings.



Figure 58: 97 Queens Parade



Figure 59: 141-147 Queens Parade



Figure 60: 171-175 Queens Parade



Figure 61: 197 Queens Parade (left)



Figure 62: 300-306 Queens Parade

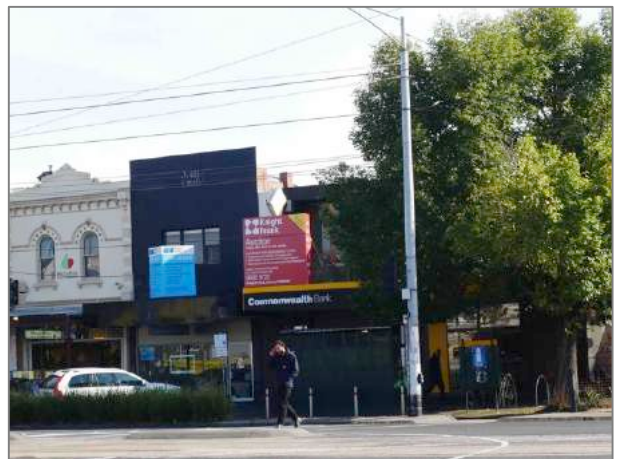


Figure 63: 324-328 Queens Parade



Figure 64: 360 (left) and 364-366 (centre right) Queens



Figure 65: 408 Queens Parade (centre) (©Google)

Any new upper-level development should be set back from the street wall to retain the low-scale, neighbourhood character of the commercial strip and to retain the prominence of the heritage fabric in the streetscape. New upper-level development should be designed so as not to dominate the decorative façades of the Victorian-era buildings when viewed from the opposite side of Queens Parade. New development should also provide a sensitive transition to the predominantly single-storey Victorian-era character of Hodgkinson Street to the south and the one and two-storey Victorian-era character of McKean Street to the north.

Any new built form adjacent to the former ANZ Bank should be massed to retain key views to the upper level, highly decorative and prominent roof form and chimneys of the former bank.

9.7 Recommended Built Form Parameters

A DDO should apply to Precinct 4 to inform development within the Queens Parade Neighbourhood Activity Centre both in terms of new infill development and rear additions behind heritage buildings. The DDO should ensure new built form protects the strong two-storey character of the highly intact Queens Parade streetscape, to protect views to the local landmark of the former ANZ Bank building, and to avoid new rear development dominating the single-storey streetscapes on Hodgkinson Street and the single and two-storey streetscapes on McKean Street through controls which:

- Adopts a street wall height for infill development that reflects the established two (Victorian-era) storey scale of the precinct and discourages single-storey infill development.
- Ensures zero setback from the Queens Parade boundary for infill development.
- Adopts a street wall height and upper-level setbacks for infill development that protects the key views to the former ANZ Bank, 370 Queens Parade, from the south-west and north-east, in particular to the upper floor, roof form and chimneys.
- Ensures that the heritage buildings remain prominent within the Queens Parade streetscape and retain their three-dimensional form as viewed from the public realm to avoid 'facadism'. This will require new upper-level development to be set back from the street wall and for redevelopment to respect the existing inter-floor heights of the heritage fabric.
- Retains the visual prominence of the return façades of buildings that address both Queens Parade and Delbridge, Gold, and Michael Streets.
- Requires the retention of chimneys visible from the public realm.
- Ensures that new development does not visually dominate the existing heritage fabric by requiring that new upper level built form is no greater than the volume of the heritage façade when the site is viewed from the opposite side of the Queens Parade boulevard.
- Ensures that any upper level or infill development is subservient to the heritage fabric and is visually recessive in mass, scale and materiality.

- Ensures new development does not diminish, or detract from the heritage values of the boulevard streetscape of Queens Parade.
- Recognises the low-scale, fine grain heritage form of existing surrounding development and ensures appropriate transitions to the one to two-storey adjacent heritage fabric. New development should not dominate views over the rooftops of the single and two-storey houses on Hodgkinson and McKean Streets.

10. Precinct 5 - North Eastern Precinct

10.1 Description

The North Eastern Precinct is not contiguous with the rest of the main retail area (Precinct 4) and is a triangular shaped block bound by Raines Reserve (originally named Rain's Reserve) to the west, Queens Parade to the north, Dummett Crescent/Heidelberg Road on-ramp to the south, and Hoddle Street to the east. Dummett Crescent loops to the north to bisect the precinct. Precinct 5 is entirely commercial or industrial in its current use and is an island of land encircled by major thoroughfares.

Precinct 5 is made up of two sub precincts:

- Sub-precinct 5A – comprises the two-storey former United Kingdom Hotel (VHR H0892) and associated land (see Figure 67 & 68).
- Sub-precinct 5B – is made up of the land between the former United Kingdom Hotel and Dummett Crescent and is occupied by single-storey commercial buildings including the former Clifton Motors building at 205-211 Queens Parade, which is currently being considered for inclusion in the VHR (Figure 69). A single heavily altered Edwardian-era house is located at 4 Dummett Crescent (Figure 71) is the only domestic-scale building with the precinct.
- Sub-precinct 5C – is made up of land northeast of Dummett Crescent and comprises single-storey warehouse/factory buildings or land currently under redevelopment (Figure 70). A c.1980s office building is located at 501-513 Hoddle Street.

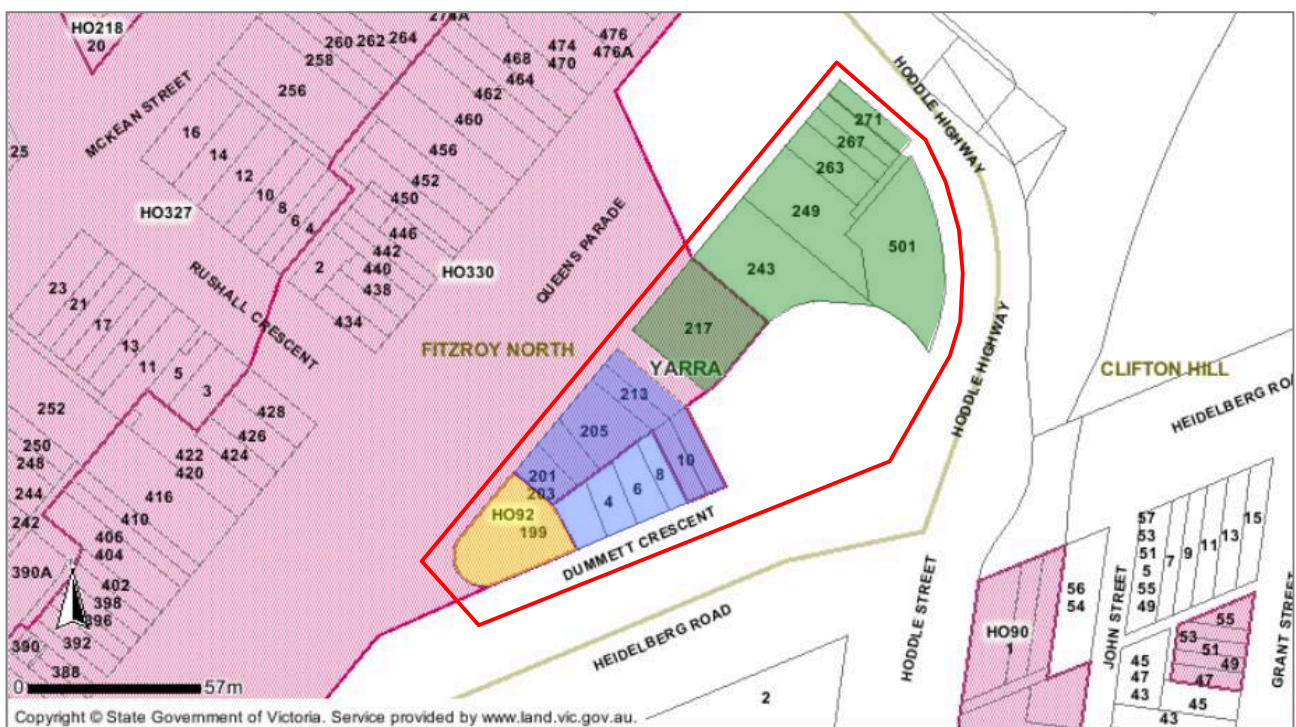


Figure 66: Heritage Overlay map – Precinct 5 outlined in red (sub-precinct 5A shaded in yellow, sub-precinct 5B in blue and sub-precinct 5C) (Planning Maps Online, accessed 30 August 2017)



Figure 67: Former United Kingdom Hotel from Queens Parade (sub-precinct 5A)



Figure 68: Former United Kingdom Hotel from Heidelberg Road (@Google) (sub-precinct 5A)



Figure 69: 199-213 Queens Parade (sub-precincts 5A & 5B)

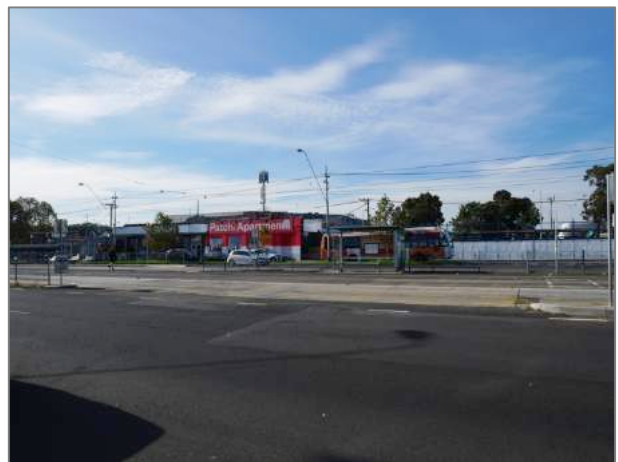


Figure 70: 241-241 Queens Parade (sub-precinct 5C)



Figure 71: 4 Dummett Crescent (sub-precinct 5B) (@Google)

10.2 Heritage Status

10.2.1 Existing Conditions

Sub-precinct 5A

Sub-precinct 5A contains the two-storey Moderne former United Kingdom Hotel (now MacDonald's), at 199 Queens Parade (H092), which is included on the VHR (H0892). The building was constructed in 1937-38, replacing a hotel of the same name that occupied the site. This two-storey brick building has cantilevered

concrete balconies with slim metal railings and light cantilevered canopies that accentuate the rounded horizontal mass of the ground and first floors. Manganese, tapestry and cream bricks provide polychrome and textural contrast, and the massive vertical fins rising through the centre of the western facade are striking features.

The building is of State-level significance for the following reasons:

The Former United Kingdom Hotel is of architectural significance as possibly Victoria's most exquisite and intact example of the Jazz Moderne style of architecture designed by one of the most notable proponents of the style, J. H. Wardrop. The building is greatly enhanced by its near-island siting and is externally and internally almost original, with the exception of post-war rear additions. It provides an interesting three-dimensional comparison with Wardrop's slightly earlier Alkira House in Queen Street, Melbourne.

The Former United Kingdom Hotel is of historical significance as an exemplar of the material culture of the late 1930s and of prevailing social customs. The survival of much of the hotel's interior provides important evidence of hotel design and usage in the pre-WW2 period.

Sub-precinct 5B

Sub-precinct 5B (with the exception of 2-8 Dummett Street) falls within HO330 - Queens Parade Precinct, North Fitzroy/Clifton Hill. The former Clifton Motors Pty Ltd Building (later Bayford Motors), 205-211 Queens Parade with its elaborate single-storey Moderne facade and dominant fin over the central bay is identified as 'individually significant' in Appendix 8. It is currently being considered for inclusion in the VHR for the following reason:

The Former Clifton Motor Garage, designed by J H Wardrop is of architectural significance as a notable example of Moderne style architecture in Victoria. This is expressed through the striking 1938 street frontage to Queens Parade. Art Deco and Moderne style architecture became synonymous with car showrooms and garages, office buildings, cinemas and hotels in the 1920s and 1930s. The Former Clifton Motor Garage references the adjacent Former United Kingdom Hotel (VHR H0684), also designed by Wardrop through its scale, Moderne design and materials. The Former Clifton Motor Garage exhibits a streamlined, symmetrical design through the use of strong horizontal and vertical lines, cubic forms, vertical fins, and decorative brick and tile work. The Moderne frontage unifies the rear garage, showrooms and residence and conveys an image of the developing Australian motor car industry as modern, fast and forward thinking. [Criterion D]

All other properties subject to HO330 within sub-precinct 5B are either vacant land or occupied by single-storey twentieth century commercial buildings or a heavily altered Edwardian-era former house and are all identified as 'not contributory' in Appendix 8.

Sub-precinct 5C

HO330 only extends over one property within sub-precinct 5C, 217 Queens Parade. This site, now being redeveloped as a 10-storey building, is identified as 'not contributory' within Appendix 8.

In summary, the existing heritage status for Precinct 5 is:

Victorian Heritage Register

VHR H0892 – Former United Kingdom Hotel (now McDonald's), 199 Queens Parade, Clifton Hill (HO92)

A nomination for inclusion of the Former Clifton Motors Building is currently being considered.

Individual Heritage Overlays

None

Precinct Heritage Overlays

HO330 - Queens Parade Precinct, North Fitzroy/Clifton Hill

10.2.2 Recommended Changes

The following changes to the heritage controls are recommended for Precinct 5:

- The former Clifton Motors Pty Ltd Building, 205-211 Queens Parade is identified in Appendix 8 as an ‘individually significant’ building within HO330. Being located on the island site to the north of Queens Parade the building is isolated from the balance of buildings within HO330 and is surrounded by ‘not contributory’ buildings and sites. While the former Clifton Motors Building has very strong architectural similarities with the nearby Former United Kingdom Hotel, the hotel building is not within HO330 and is instead covered by its own Heritage Overlay by virtue of its state-heritage listing. Further, the former Clifton Motors Building is an atypical building within the identified significance of the Queens Parade Precinct and is considered to be of significance in its own right as an important Moderne example of a motor garage. For these reasons it is recommended that the former Clifton Motors building be removed from HO330 and included in its own site-specific Heritage Overlay (see Appendix F for a heritage citation and recommendations). It is further noted that if the place is included in the VHR it will automatically be included within its own Heritage Overlay and excluded from HO330. The heritage citation for the place should be included within the *Yarra High Streets: Statements of Significance* reference document at Clause 22.02 of the Yarra Planning Scheme (Appendix H) and Appendix 8 updated accordingly.
- With the exception of the former Clifton Motors building and the state-significant former United Kingdom Hotel, there are no other heritage buildings within Precinct 5. It is therefore recommended that the extent of HO330 be amended to exclude 201-217 Queens Parade and 10-12 Dummett Crescent from HO330. HO330 should be extended over the full extent of the historic layout of Raines Reserve (a contributory element within HO330) and should cover the historic Queens Parade boulevard to Hoddle Highway to enable heritage considerations to inform development of tram stops and other infrastructure and street furniture within the road reserve (see Appendix G for a more detailed analysis of the appropriate Heritage Overlay extent). The Statement of Significance for HO330 should be updated accordingly and included within the *Yarra High Streets: Statements of Significance* reference document at Clause 22.02 of the Yarra Planning Scheme (Appendix H). Appendix 8 should also be updated to reflect these changes.

10.3 Zoning

10.3.1 Existing Conditions

Precinct 5 is zoned MUZ.

10.3.2 Recommended Changes

The current zoning is considered appropriate for Precinct 5.

10.4 Key views

The former United Kingdom Hotel occupies a prominent location at the junction of Queens Parade and Drummett Crescent/Heidelberg Road and key views are provided of the hotel from these streets and from within Raines Reserve. These views are protected by the road reserve and public open space and do not require management through additional built form controls.



Figure 72: Former United Kingdom Hotel from Raines Reserve

10.5 Significant Streetscapes

The highly variable nature of Precinct 5 and the limited presence of heritage buildings means that there are no streetscapes that are considered to be significant.

While HO93 – Queens Parade does not extend into Precinct 5, the Statement of Significance for HO330 captures the significance of the boulevard as follows under ‘Why is it significant?’:

As one of Melbourne's early surveyed boulevards (1853) and one of the few associated with the prominent surveyor Robert Hoddle, enhanced by mature street trees (elms) and extensive beautification in the inter-war period in the form of plane trees and rockeries.

New development should be scaled to avoid diminishing the boulevard quality of Queens Parade.

10.6 Potential Future Character Considerations

Sub-precinct 5A

Sub-precinct 5A contains the two-storey former United Kingdom Hotel and a vacant parcel of land to its rear on Dummett Crescent. New development on the vacant land should be respectful of the State-significant heritage building and should ensure its prominence is maintained when viewing the building from Queens Parade, Heidelberg Road and Raines Reserve.

Sub-precinct 5B

More intensive development can be accommodated within sub-precinct 5B as long as it does not visually dominate the potentially State-significant Moderne façade of 205-211 Queens Parade or the former United Kingdom Hotel in adjoining sub-precinct 5A. The street wall height of new development on 201-203 and 213 Queens Parade should not exceed the two-storey scale of the former United Kingdom Hotel and the Moderne façade of 205-211 Queens Parade. Higher development behind the retained front section of 205-211 Queens Parade and on adjoining properties should be set back to retain the integrity of the vertical fins (which extend back from the street boundary by approximately 4m) and allow this to be viewed as a prominent, standalone element within the streetscape.

Sub-precinct 5C

The lack of heritage buildings within sub-precinct 5C, and the island nature of the site mean that future development within this precinct is unlikely to adversely impact on heritage places.

10.7 Recommended Built Form Parameters

Sub-precinct 5A

A DDO should apply to sub-precinct 5A to inform the redevelopment of the vacant land – currently the McDonald’s drive-through – at the rear of the former United Kingdom Hotel. The DDO should moderate new built form to protect the visual prominence of the former United Kingdom Hotel when viewed from Queens Parade, Heidelberg Road and Raines Reserve.

This should be achieved through built form controls that:

- Adopts a street wall height for new development adjacent to the former United Kingdom Hotel that respects the façade height of the building.
- Ensures that new development does not visually overwhelm the three-dimensional form of the State-significant former United Kingdom Hotel, particularly when it is viewed from Raines Reserve and on the north side of Queens Parade.

Sub-precinct 5B

A DDO should apply to sub-precinct 5B to inform the redevelopment of this sub-precinct. The DDO should moderate new built form to protect the visual prominence of the former United Kingdom Hotel in sub-precinct 5A and the potentially State-significant Moderne façade of the former Clifton Motors building when viewed along Queens Parade from the north-east and south-west and from the opposite side of the boulevard.

This should be achieved through built form controls that:

- Adopts a street wall height for new development adjacent to the former United Kingdom Hotel and the former Clifton Motors building that respects the façade heights of these buildings.
- Retains, conserves and incorporates the Moderne façade of the former Clifton Motors building into any redevelopment of the site. This includes ensuring that internal alterations respect the exterior form of the building and its fenestration pattern as well as ensuring the decorative vertical fin element remains prominent as a freestanding element when viewed from the public realm.
- Ensures that the aesthetically significant façade treatment of the former Clifton Motors building remains prominent and that the building retains its three-dimensional form as viewed from the public realm. This will require new upper-level development to be set back from the street wall.
- Ensures that new development does not visually overwhelm the State-significant former United Kingdom Hotel (particularly when it is viewed from Raines Reserve) or the potentially State-significant former Clifton Motors buildings (when viewed from the opposite side of Queens Parade).

Sub-precinct 5C

No built form controls are recommended on heritage grounds for sub-precinct 5C.

Section III – Built Form Testing and Recommendations

11. Built Form Testing

In order to translate the ‘Recommended Built Form Parameters’ in Part II into specific guidance that can be translated into a DDO control, Hansen Partnership prepared 3D computer modelling to test the appropriateness of particular built form outcomes that achieved the intent of the recommended parameters. Hansen Partnership has prepared details of the modelling approach and the methodology applied. These details are provided below.

11.1 Purpose and Scope of Built Form Testing

The Queens Parade Built Form Review Recommendations have been determined based on a comprehensive built form testing and a high-level 3D computer modelling of schematic development envelopes for the study area. It was established and operated as a ‘working’ massing model used to informally measure built form heights and setbacks to the properties along the length of the Queens Parade corridor (within the study area) to serve as a useful general tool in comparative visual analysis.

The development and use of such 3D massing models is common for strategic built form work of this kind to examine the general relationships between new urban form (various options or scenarios), topography and key views to existing landmarks from identified vantage points as advised by GJM Heritage.

3D massing models are commonly used in addition to more conventional 2D cross-sections (and other tools) when determining built form controls and assessing off-site impacts on surrounding land such as overshadowing and visual bulk.

The massing model utilised is ‘fit for purpose’ for a strategic corridor study of its kind. It does not rely on detailed site survey data, rather more general available contour, landform and cadastral information.

The modelled images provided and the base information utilised in generation of the material are general in nature and ‘fit for purpose’ for a strategic urban design study of a corridor of this kind. Such modelling has been reliably applied in other strategic work across Metropolitan Melbourne and presented to PPV and other Authorities.

11.2 Massing Model

The massing model is prepared in SketchUp Pro (2016 and 2017) and utilises automatic Google terrain as the basis for topography and basic aerial imagery (via ‘Geo-Location’ command).

The existing building envelopes surrounding the site are depicted as massing representations only and do not seek to represent existing building detail, in terms of architectural form or appearance – but rather overall scale.

The existing ‘landmark’ building envelopes have been modelled based on ‘Google Earth’ – Street View tests to determine their overall scale. These included:

- St John the Baptist Church
- Former ANZ Bank building
- Former United Kingdom Hotel
- Former Clifton Motors Building

Within the study area (areas identified for moderate, high and substantial change), the development envelope has been represented in 3-dimensions based on the site and cadastral information available from the City of Yarra and DataVIC with an assumption of 100% site coverage.

Further, a number of recent development envelopes (approved, unbuilt and/or under construction) have also been modelled to represent their overall scales and setbacks, based on endorsed architectural plans provided by the City of Yarra.

We acknowledge that the basis of the model (i.e. site boundaries and levels) is not as accurate as one generated with a detailed site survey.

For the purposes of general assessment in a broad corridor context, the use of readily available landform and development envelope information assists in examining the overall extent of compliance with or departure from (broadly represented) relevant built form controls.

Development massing for contributory and significant heritage sites has been modelled based on the following measurements:

- 11m 'street wall' (as a typical measurement for 2-storey Victorian-era parapet).
- 3.5m floor to floor height for upper levels above the 'street wall'.

Development massing for non-contributory, or non-heritage sites has been modelled based on the following measurements:

- 4.0m floor to floor height for ground level and level 1.
- 3.5m floor to floor height for level 1 and above.

11.3 Eye Level Views

Eye level view representations are approximate only. They are based on locating the 'camera' within the SketchUp Pro model and positioning it 1.7m above the Google terrain, with no tilt. The camera focal length chosen is either 50mm or 20mm (35mm equivalent), depending on the required camera position in relation to the subject.

These eye-level views are not (nor have they claimed to be) 'photomontages' prepared according to the required VCAT methodology. They do not represent a detailed representation of the proposal in terms of architectural expression, materials and finishes or landscape.

11.4 Permit Application Review

During the course of the project a number of permit applications within the Study Area were lodged with Council and were reviewed to consider the appropriateness of the built form response to the heritage fabric of the place and the precinct. These permit applications were for the development of:

101 Queens Parade
141-147 Queens Parade
193 Queens Parade
304-308 Queens Parade
388-390 Queens Parade

Having considered the applications in light of heritage analysis work undertaken, the following conclusions have been reached:

- The new street wall height should fall within the predominant height of the existing street wall (i.e. between 8m and 11m).
- New upper level development needs to be set back a minimum of 6m behind the street wall to retain the prominence of the streetscape and the legibility of the retained heritage building as having a three dimensional form.
- Preferred overall building heights combined with appropriate setbacks can achieve an appropriate built form outcome in heritage terms.
- Given the 60m width of Queens Parade, a ratio of 1:1 of new built form to street wall will generally not dominate or visually overwhelm the heritage fabric.
- Development on Queens Parade may affect the character and setting of residential properties that back onto the commercially zoned land and this interface requires management.

12. Built Form Recommendations

Having regard to the Built Form Testing utilising modelling prepared by Hansen Partnership, we recommend the following built form controls be applied to ensure an appropriate balance is struck between new development and the retention of heritage values within the study area.

12.1 Precinct 1

Built Form Element	Requirement	Rationale
Sub-precinct 1A		
No controls recommended	-	-
Sub-precinct 1B		
Facade height (heritage buildings)	Retain existing	The 'contributory' and 'individually significant' status of heritage places within the sub-precinct will ensure heritage facades are retained.
Facade height (infill development)	Match the parapet height of adjacent taller heritage building (preferred)	To ensure new built form responds to the heritage context. A discretionary control is appropriate given the variation in heights within the sub-precinct.
Street wall setback (heritage buildings)	Retain existing	The 'contributory' and 'individually significant' status of heritage places within the sub-precinct will ensure existing setbacks are retained.
Street wall setback (infill development)	Match the setback of adjacent heritage building with the lesser setback (preferred)	To ensure new built form responds to the heritage context. A discretionary control is appropriate given the variation in street wall setbacks within the sub-precinct.
Upper level setbacks (excluding the 'individually significant' building at 460 Brunswick St)	Minimum 6m (preferred)	A 6m setback will ensure new development is generally set back behind the main roof ridgeline or hip of residential heritage buildings within the sub-precinct, consistent with Council's heritage policy at Clause 22.02. It will also be sufficient to ensure that existing chimneys are retained. A discretionary approach is required to ensure an appropriate response can be achieved for each place given the variety of roof forms and the variations in height in the sub-precinct.
Upper level setback (460 Brunswick St)	Minimum 5m (mandatory)	This 'individually significant' heritage place is located prominently at the corner of Brunswick Street and Alexandra Parade/Queens Parade and marks the entrance to Fitzroy North via both Brunswick Street and Queens Parade. Given the width of Alexandra and Queens Parade, any new built form above this building will be highly visible. To ensure the volume and detail of the heritage building remains a prominent feature in the streetscape, new built form should be setback a mandatory minimum of 5m from both street frontages. A 5m setback will place new built form just behind the existing roof ridgeline and will allow for the retention of chimneys.
Building height (excluding the 'individually significant' building at 460 Brunswick St)	9m (preferred)	Given the predominantly single-storey residential nature of this sub-precinct, it is considered that the height of new development at the rear of these buildings should generally

significant' building at 460 Brunswick St)		accord with the NRZ to adequately protect the heritage features and qualities of the area. It is therefore considered that a discretionary height control of 9m should be applied. We note that the two-storey buildings on Queens Parade may be able to achieve new rear development that exceeds 9m while meeting the desired setback requirements, therefore a discretionary control is considered appropriate.
Building height (460 Brunswick St)	18m (preferred), which equates to a 2:1 heritage street wall to new built form when viewed from the western side of Brunswick Street	Ensures that new development does not visually dominate the existing heritage fabric by requiring that new upper level built form is no greater than one third of the volume of the heritage façade when the site is viewed from the opposite side of Brunswick Street.

12.2 Precinct 2

Built Form Element	Requirement	Rationale
Sub-precinct 2A		
Street wall height (Art Deco facade)	Retain existing	The Art Deco façade, specifically identified as being of aesthetic significance in the Statement of Significance for the place, must be retained.
Street wall height (infill development)	Match the height of the top of the parapet at the former factory entrance (preferred)	The Art Deco façade is a prominent and significant decorative element within the streetscape. Adjacent built form should ensure the façade's decorative features remain prominent. It is recommended that the street wall height for infill development on the site be no higher than the top of the existing parapet at the former factory entrance (approximately 11m). However, given the variety of heights evident along the heritage parapet, an alternative infill street wall height may create an appropriate transition while ensuring the façade remains prominent, therefore a discretionary control is recommended.
Street wall setback (Art Deco facade)	Retain existing	The Art Deco façade, specifically identified as being of aesthetic significance in the Statement of Significance for the place, must be retained.
Street wall setback (infill development)	Match existing (preferred)	To ensure new infill built form responds to the heritage context. A discretionary control is appropriate as some street wall setback from the Art Deco façade may assist in ensuring the façade remains prominent in the streetscape.
Upper level setback (behind Art Deco facade)	Minimum 8m (mandatory)	The Art Deco façade is a highly decorative, aesthetically significant element within the streetscape and a mandatory upper level setback is required to ensure its prominence and elaborate architectural form is retained. An upper level setback of new built form is also necessary to ensure the three-dimensional form of the heritage building is retained and the building is not reduced to a façade. To this end, it is considered appropriate to draw on the existing fabric of the building to inform adequate setbacks. The structural bays of the factory building with the saw-tooth roof form at the western end of the site have a depth of approximately 8m. It is therefore

		considered that a mandatory 8m setback is appropriate to achieve a positive heritage outcome.
Upper level setbacks (infill development)	Minimum 5m (preferred)	A 5m upper level setback from the street wall of new infill development will ensure the Art Deco façade remains the prominent element within the streetscape and that the three-dimensional form of the former factory building retains legibility.
Building height (behind Art Deco facade)	1:1 heritage street wall to new built form (preferred)	Ensures that new development does not visually dominate the existing heritage street wall by requiring that new upper level built form is no greater than the volume of the heritage façade when the site is viewed from the opposite side of the Queens Parade boulevard.
Residential heritage precinct interface	Generally in accordance with ResCode Standard B17	To ensure an appropriate transition to the intact low-scale single-storey heritage character of Coleman Street and Newry Street.
Sub-precinct 2B		
No controls recommended	-	-
Sub-precinct 2C		
Street wall height (infill development immediately adjacent to Elizabeth Terrace on Napier Street and Alexandra Parade)	Match the parapet height of adjacent heritage building (preferred)	To ensure new built form responds to the heritage context. A discretionary control is appropriate to allow for a transition of street wall heights from the heritage fabric towards the north (Queens Parade) and east (along Alexandra Parade).
Street wall setback (infill development immediately adjacent to Elizabeth Terrace, Napier Street)	Match existing (preferred)	To ensure new infill built form responds to the heritage context. A discretionary control is appropriate as some street wall setback from the heritage terraces may assist in ensuring these buildings remain prominent in the streetscape.
Upper level setbacks (infill development immediately adjacent to Elizabeth Terrace, Napier Street and Alexandra Parade)	Minimum 6m (preferred)	A 6m upper level setback from the street wall of new infill development will ensure the heritage terrace form remains the prominent element within the streetscape. A discretionary control is appropriate to allow for a transition of upper level setbacks from the heritage fabric towards the north (Queens Parade) and east (along Alexandra Parade).
Building Height (immediate rear of Elizabeth Terrace, Napier Street)	Generally in accordance with ResCode Standard B17	To ensure Elizabeth Terrace remains prominent within the streetscape when viewed from the opposite side of Napier Street a 45 degree angle building envelope created above 11m (3 storeys) is appropriate to provide a transition to higher built form in the balance of the sub-precinct and ensure that new built form does not dominate the heritage fabric.
Sub-precinct 2D		
Facade height	Retain existing	Heritage facades must be retained. New development to the

		north of 472 Napier Street should be no higher than the existing parapet height of the heritage buildings.
Street wall setback	Retain existing	Heritage facades must be retained. New development to the north of 472 Napier Street should adopt the same setback as the adjacent heritage buildings.
Upper level setbacks	Minimum 6m (mandatory)	A 6m setback will ensure new development is set back behind the main roof ridgeline of the heritage buildings comprising Elizabeth Terrace and will ensure existing chimneys are retained. A mandatory minimum upper level setback of 6m is considered appropriate to ensure the volume and detail of the heritage terraces remains the prominent feature in the streetscape.
Building height	18m (preferred)	Application of the site line diagram in Figure 3 of Clause 22.02 (which guides the location and height of new built form behind heritage buildings in residential areas) results in a height of approximately 18m being able to be achieved behind a double-storey terraced house with a 6m setback. This is therefore considered to be a reasonable preferred height for the sub-precinct.

12.3 Precinct 3

Built Form Element	Requirement	Rationale
Sub-precinct 3A		
Street wall height (heritage buildings)	Retain existing	The 'contributory' and 'individually significant' status of heritage places within the sub-precinct will ensure heritage facades are retained.
Street wall height (infill development immediately adjacent to heritage buildings, excluding 15-33 Queens Parade)	Match the parapet height of adjacent taller heritage building (preferred)	To ensure new built form responds to the heritage context. A discretionary control is appropriate to achieve a transition to taller new built form where this can be achieved within the sub-precinct.
Street wall height (15-33 Queens Parade)	11m (mandatory)	A mandatory 11m street wall height is required for 15-33 Queens Parade to ensure key views of the St John the Baptist belfry and spire are maintained along the south side of Queens Parade from the southwest corner of Smith Street and Queens Parade.
Street wall setback (heritage buildings)	Retain existing	The 'contributory' and 'individually significant' status of heritage places within the sub-precinct will ensure existing setbacks are retained.
Street wall setback (infill development)	0m (preferred)	To ensure new built form responds to the heritage context, which overwhelmingly has a 0m street wall setback within the sub-precinct. A discretionary control is appropriate as some street wall setback from the heritage buildings within the sub-precinct may assist in ensuring these buildings remain prominent in the streetscape.

Upper level setbacks (heritage buildings, excluding 664 Smith Street and 35 & 37 Queens Parade)	Minimum 6m (preferred)	The main roof forms of the heritage buildings along Smith Street measure at approximately 11.5m deep, indicating a room depth of approximately 5-6m. Therefore, a preferred 6m upper level setback of new built form will ensure the heritage buildings remain prominent in the streetscape, will ensure that existing chimneys visible from the street are retained, and will avoid façadism by retaining a room's depth of the heritage building. A discretionary approach is required to ensure an appropriate response can be achieved for each place in the sub-precinct given the variations in building height and roof forms.
Upper level setback (664 Smith Street)	Minimum 6m (mandatory)	To ensure the volume and detail of this 'individually significant' heritage place remains a prominent feature in the streetscape, new built form should be setback a mandatory minimum of 6m from the street frontage. A 6m mandatory minimum setback will avoid façadism by retaining a room's depth of the heritage building, ensuring the building can continue to be read as a former two-storey fire station.
Upper level setbacks (15-33, 35, 37 & 41 Queens Parade)	Minimum 6m (mandatory)	A mandatory 6m upper level setback from the street frontage is required for 15-41 Queens Parade to ensure key views of the St John the Baptist belfry and spire are maintained along the south side of Queens Parade when viewed from the south-west corner of Smith Street and Queens Parade. A mandatory 6m upper level setback will ensure that the belfry and spire remain prominent with clear sky separating these elements from any new built form.
Upper level setback (666 Smith Street)	Minimum 6m (preferred)	A 6m upper level setback from the street wall will ensure the adjoining 'individually significant' former fire station building at 664 Smith Street remains a prominent element within the streetscape. A discretionary control is appropriate to allow for a transition of upper level setbacks from the heritage fabric towards the north (Queens Parade).
Building height (heritage buildings)	1:1 heritage street wall to new built form from opposite side of Queens Parade 2:1 heritage street wall to new built form from opposite side of Smith Street (approximately 18m, 5 storeys)	Ensures that new development does not visually dominate the existing heritage street wall when the site is viewed from the opposite side of the Queens Parade boulevard or Smith Street (as relevant).
Residential heritage precinct interface	Generally in accordance with ResCode Standard B17.	To ensure an appropriate transition to the intact low-scale single-storey character of Hodgkinson Street and that new development does not dominate the scale of the heritage buildings.
Sub-precinct 3B		
No controls recommended	-	-

12.4 Precinct 4

Built Form Element	Requirement	Rationale
Precinct 4		
Street wall height (heritage buildings)	Retain existing	The 'contributory' and 'individually significant' status of heritage places within the precinct will ensure heritage facades are retained.
Street wall height (infill development)	Match the parapet height of adjacent taller heritage building (mandatory) Where there is no adjoining heritage fabric 8m minimum and 11m maximum (mandatory)	To maintain and reinforce the heritage values of the highly consistent two (Victorian) storey era street wall within the traditional Queens Parade 'High Street'. A mandatory control is appropriate given the highly consistent heritage street wall throughout the precinct.
Street wall setback (heritage buildings)	Retain existing	The 'contributory' and 'individually significant' status of heritage places within the precinct will ensure existing setbacks are retained.
Street wall setback (infill development)	0m (mandatory)	To maintain and reinforce the heritage values of the highly consistent traditional Queens Parade 'High Street' street wall. A mandatory control is appropriate given the highly consistent application of zero street wall setback throughout the precinct.
Upper level setbacks (excluding 364 and 169-197 Queens Parade)	Minimum 6m (mandatory)	To ensure the significant streetscape of the Queens Parade Activity Centre remains as a prominent and highly intact two-storey 'turn of the century' High Street, mandatory setbacks for upper-level new built form are required. The main roof forms of the heritage buildings along Queens Parade measure between approximately 8m and 12m deep, indicating room depths of approximately 4-6m. A mandatory 6m upper level setback of new built form will therefore ensure the heritage buildings within the intact streetscape remain prominent, that existing chimneys visible from the street are retained, and that façadism is avoided through the retention of at least one room's depth of the heritage building.
Upper level setback (364 Queens Parade)	Minimum 8m (mandatory)	A mandatory 8m upper level setback from the street frontage is required for 364 Queens Parade to ensure key views of the former ANZ Bank building are maintained when viewed from the south-east corner of Gold Street and Queens Parade. A mandatory 8m upper level setback will ensure that the upper storey, decorative roof form and elaborate chimneys remain prominent in the streetscape.
Upper level setbacks (169-197 Queens Parade)	Minimum 6m (preferred)	The degree of intactness of heritage fabric declines toward the south-eastern end of the precinct. A discretionary 6m upper level setback is therefore considered appropriate for 169-197 Queens Parade to ensure the strong two-storey street wall remains prominent, but allows some flexibility to respond to the more varied conditions in this portion of the precinct.
Upper level setbacks (side)	Minimum 6m (preferred)	To maintain the prominence of return facades to buildings that front both Queens Parade and either Delbridge, Gold or

streets)		Michael Streets, a discretionary 6m upper level setback from the street wall is required. A discretionary control is appropriate to respond to a variety of secondary street wall conditions while ensuring heritage fabric is managed appropriately.
Building height	18m (5 storeys) (preferred), equating to an approximate 1:1 heritage street wall to new built form	Ensures that new development does not visually dominate the existing heritage street wall by requiring that new upper level built form is no greater than the volume of the heritage façade when the site is viewed from the opposite side of the Queens Parade boulevard.
Residential heritage precinct interface	Generally in accordance with ResCode Standard B17.	To ensure an appropriate transition the intact low-scale, double and single-storey heritage character of McKean Street and Hodgkinson Streets.

12.5 Precinct 5

Built Form Element	Requirement	Rationale
Sub-precinct 5A		
Street wall height	Retain existing	The State-significant building must be retained. New development to the rear of the building must not exceed the existing parapet height of the heritage building.
Street wall setback	Retain existing	The State-significant building must be retained. New development to the rear of the building should adopt the existing street wall setback of the heritage building at its south-eastern end or be further recessed to provide a visual separation between heritage and new built form.
Upper level setback (infill development)	Minimum 6m (preferred)	The depth of the parapet on the upper level of the former United Kingdom Hotel is approximately 4m. It is therefore recommended that upper level setbacks for infill development at the rear of the State-significant building be a discretionary 6m to ensure the highly significant form of the heritage building remains prominent in its three dimensional form.
Building height (infill development)	18m (5 storeys) (preferred)	To ensure that new development does not visually dominate the existing State-significant heritage place, particularly when viewed from within Raines Reserve, it is recommended that a discretionary 18m height limit be established.
Sub-precinct 5B		
Street wall height (Clifton Motors façade)	Retain existing	The Moderne façade, identified as being of potential State-significance, must be retained.
Street wall height (infill development, Queens Parade)	Match the parapet height of the former Clifton Motors building and the eaves line of the former United Kingdom Hotel building (mandatory)	The Moderne façades of the former Clifton Motors building and the former United Kingdom Hotel (both designed by the same architect) are prominent and highly significant decorative elements within the streetscape. Infill street wall along Queens Parade must preserve the strong decorative lines of the two Moderne buildings by adopting the same parapet height as the façade of the Clifton Motors building, which accords with the eaves lines of the former United Kingdom Hotel building.

Street wall setback (Clifton Motors façade)	Retain existing	The Moderne façade, identified as being of potential State-significance, must be retained.
Street wall setback (infill development, Queens Parade)	Match existing (preferred)	To ensure new infill built form responds to the heritage context. A discretionary control is appropriate as some street wall setback from the Moderne façade may assist in ensuring the façade remains prominent in the streetscape.
Upper level setback (behind Clifton Motors façade)	Minimum 6m (mandatory)	The highly decorative central 'fin' of the Moderne façade extends to a depth of approximately 4m. It is therefore appropriate that a mandatory minimum upper level setback of 6m be imposed to ensure its prominence and three dimensional form is retained within the streetscape. An upper level setback of new built form is also necessary to ensure the three-dimensional form of the garage building is retained and the building is not reduced to a facade.
Upper level setbacks (infill development)	Minimum 6m (preferred)	A 6m upper level setback from the street wall of new infill development will ensure the Moderne façades of the both the Clifton Motors building and the former United Kingdom Hotel building remain the prominent elements within the streetscape and that the three-dimensional form of the former Clifton Motors building retains legibility.
Building height (behind Clifton Motors façade and 203 Queens Parade)	1:1 heritage street wall to new built form (preferred)	Ensures that new development does not visually dominate the existing heritage street wall of the former Clifton Motors building by requiring that new upper level built form is no greater than the volume of the heritage façade when the site is viewed from the opposite side of the Queens Parade boulevard. Ensures that new development on 203 Queens Parade does not visually dominate the existing State-significant former United Kingdom Hotel, particularly when viewed from within Raines Reserve.
Sub-precinct 5C		
No controls recommended	-	-

12.6 Additional guidance

In addition to the above recommendations relating to street wall height, upper level setback and preferred ratio of new built form to street wall, we recommend that following design objectives be applied in a DDO:

- New infill development within the street wall should:
 - Interpret the historic façade rhythm, including fenestration patterns and proportions, the relationship between solid and void, and the module of structural bays.
 - Be distinguishable from the original heritage fabric and adopt a high quality and respectful contextual design response.
 - Ensure façade treatments and the articulation of new development are simple and do not compete with the more elaborate detailing of nineteenth century buildings.
 - Ensure fenestration patterns of new development generally reflects the vertical proportions of nineteenth and early twentieth century façades and avoids large expanses of glazing with a horizontal emphasis except to ground floor shopfronts.
 - Maintain the existing canopy/verandah height.

- Avoid the use of unarticulated curtain glazing or highly reflective glass.
- Avoid the replication of existing decorative features and architectural detail.
- Ensure ground floor facades facilitate activated street frontages.
- The adaptation of existing 'contributory' and 'individually significant' buildings should:
 - Discourage highly reflective glazing in historic openings.
 - Ensure the inter-floor height of the existing building is maintained and avoid new floor plates and walls cutting through historic openings.
 - Encourage the retention of solid built form behind retained facades and avoid balconies behind existing openings.
- New upper level development behind the heritage street wall should:
 - Ensure that the design and setback of the addition does not visually dominate the heritage building or surrounding heritage places.
 - Retain the primacy of the three-dimensional form of the heritage building within the streetscape.
 - Incorporate materials and finishes that are recessive in texture and colour.
 - Utilise visually lightweight materials that create a juxtaposition with the heavier masonry of the heritage facades.
 - Incorporate simple architectural detailing so it does not detract from significant elements of the existing building or streetscape.
 - Provide a recessive backdrop to the heritage street wall and individual heritage buildings.
 - Avoid highly articulated facades with recessed and projecting elements.
 - Avoid highly contrasting or vibrant primary colours.
 - Avoid unarticulated façades that give a bulky appearance, especially from oblique views.
 - Be articulated to reflect the fine grained character of narrow sites.

Appendix A: Former KG Luke Pty Ltd Factory & Showroom Heritage Citation



Heritage Citation

KG LUKE PTY LTD FACTORY AND SHOWROOMS

Address: 26-52 Queens Parade, Fitzroy North (part)

Prepared by: GJM Heritage

Date: September 2017

Place type: Factory, factory offices, showroom	Architects: Not known
Grading: Individually	Builder: Not known
Integrity: Fair	Construction Date: 1933 - 1965
Recommendation: Extend HO327 to include 26-52 Queens Parade (part) as shown in Figure 29. Update Appendix 8 accordingly.	Extent of Overlay: Refer to plan at Figure 29



Figure 1. The factory and showroom complex at 26-52 Queens Parade, Fitzroy North (GJM Heritage, May 2017).

Statement of Significance

What is significant?

The K G Luke Pty Ltd Factory and Showrooms, 26-52 Queens Parade, Fitzroy North, built from 1933 - 1965.

Elements that contribute to the significance of the place include the form, materials and detailing of the Art Deco façade and the ability to understand the place as a former factory and showroom complex.

Alterations and additions to the factory and showrooms after 1965 do not contribute to the significance of the place.

How is it significant?

The K G Luke Pty Ltd Factory and Showrooms is of local historical and architectural significance to the City of Yarra.

Why is it significant?

The K G Luke Pty Ltd Factory and Showrooms is of historical significance as a large industrial complex in Fitzroy North, which was established close to the Collingwood Gas Company gasworks and the Inner Circle Railway branch line. It is a remnant example of industrial development that occurred in this area from the 1860s through to the post-war period (Criterion A).

The K G Luke Pty Ltd Factory and Showrooms is of aesthetic significance for its particularly unusual and distinctive Art Deco façade which utilises a complex arrangement of castellated and hexagonal decorative elements (Criterion E).

The K G Luke Pty Ltd Factory and Showrooms is of historical significance for its association with Victorian manufacturer and sporting administrator, Kenneth G Luke, who moved his fledgling business to this site in 1929 and subsequently developed a successful business enterprise. Knighted in 1962, Luke was a highly successful businessman, with a range of interests and involvements in various committees and clubs (Criterion H).

Historical Themes

The place illustrates the following themes as outlined in the *City of Yarra Thematic History* (1998):

- 4 Developing Local Economy
 - 4.2 Secondary Industry
 - 4.3 Retail: Warehouses and Large Scale Purveyors

Contextual History

Lots at the west end of Queens Parade, Fitzroy North, were sold by the Crown from the mid-1860s. The south side of the Queens Parade was reserved (from east to west: Smith Street to Alexandra Parade) for the Collingwood Gas Company, Church of England (disposed of by the church in 1877) and a public reserve (Figure 2). The gasworks operated on the site bound by Queens Parade, Smith Street, Alexandra Parade and George Street from the 1860s, around which further industrial sites established, resulting in a mix of residential and manufacturing development along Queens Parade, constructed during the Victorian, Edwardian and Interwar periods.

These sites were served by a branch line of the Inner Circle Railway, which operated between 1888 and 1948. The line ran from Royal Park along Park Street through North Carlton and Clifton Hill, with a branch line running south through Edinburgh Gardens, before terminating at 'Fitzroy' station at the southern end of the gardens (since demolished). The branch line through Edinburgh Gardens was closed to passengers in 1892 after which it was used as a goods line, mainly delivering coal to the gasworks on Queens Parade. While most of the network was electrified in 1921, the branch line through Edinburgh Gardens remained



unelectrified. The line closed in 1948 and was largely removed in the mid-1980s (Fitzroy Historical Society 2014; Butler 2007:104).

The footprints of the factories and warehouse buildings establishing along the western part of Queens Parade, predominantly west of Wellington Street, are evident on the series of 1896-1902 Melbourne and Metropolitan Board of Works (MMBW) plans (Figures 3-7). Aerials dating to c1925-c1935 and 1945 show the increased industrial development at this end of Queens Parade during the Edwardian and Interwar periods, filling the vacant lots evident on the MMBW plans (Figures 8 and 9).

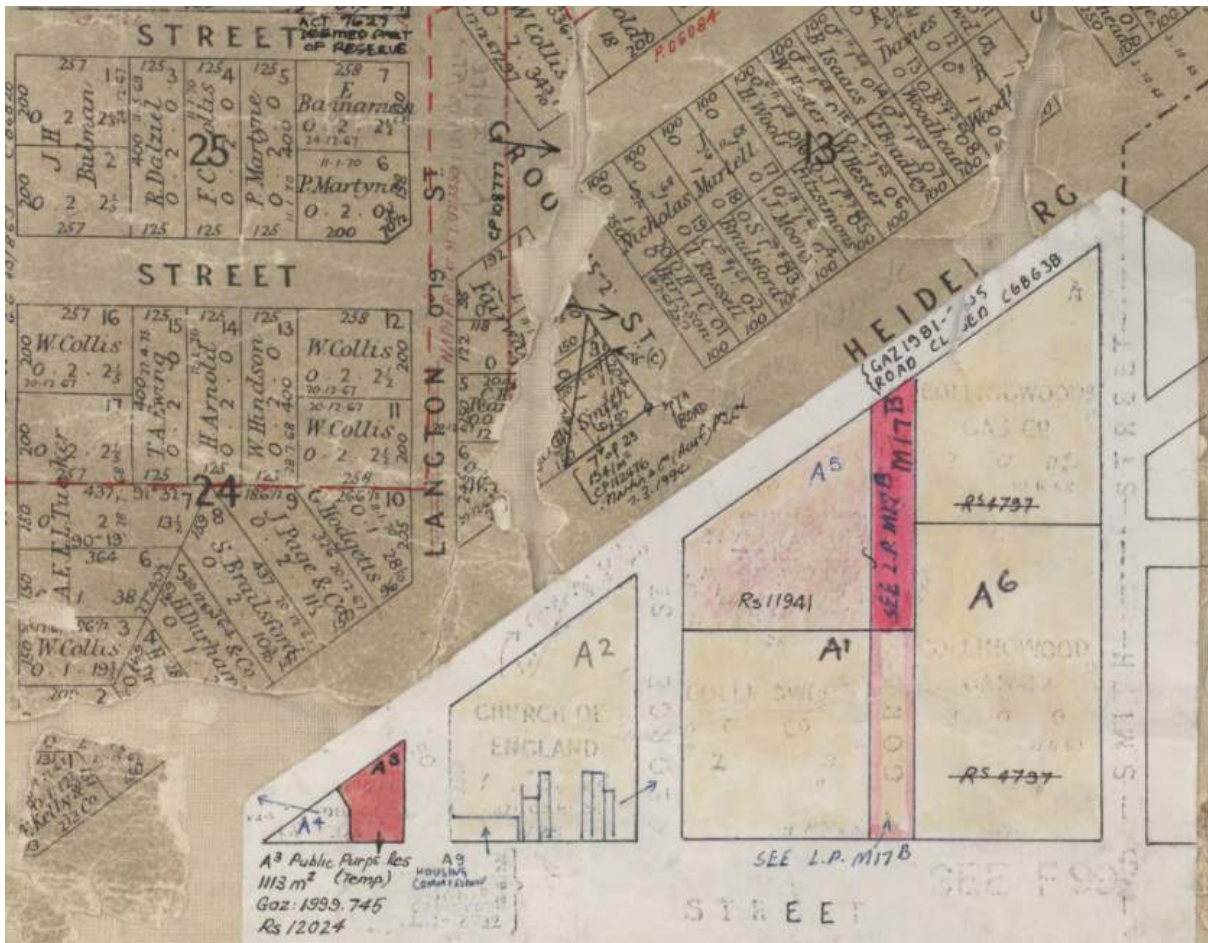


Figure 2. The North Fitzroy Township Plan (Parish of Jika Jika) showing the lots first sold by the Crown on the north side, and those on the south side reserved for (east-west) the Collingwood Gas Co, Church of England and public reserve.

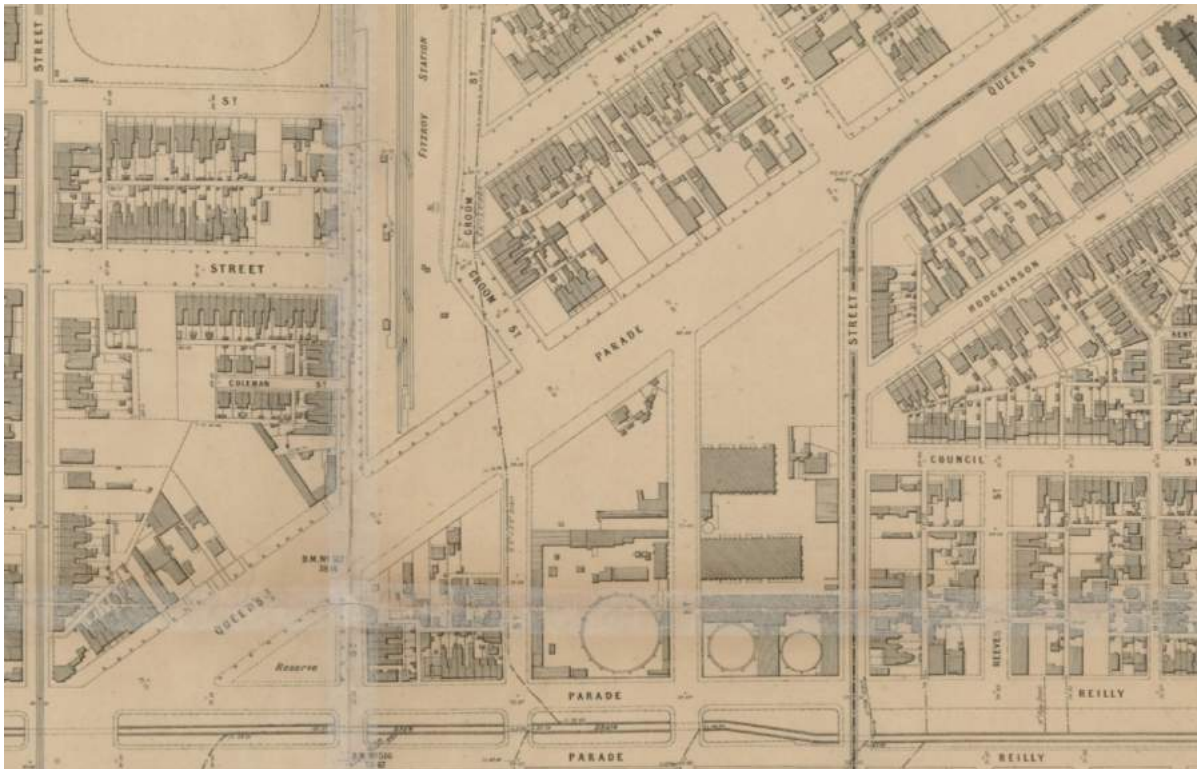


Figure 3. The west end of Queens Parade in 1896, showing the footprints of large-scale buildings amongst vacant lots and residential development (MMBW Base Map No. 29, 1896).

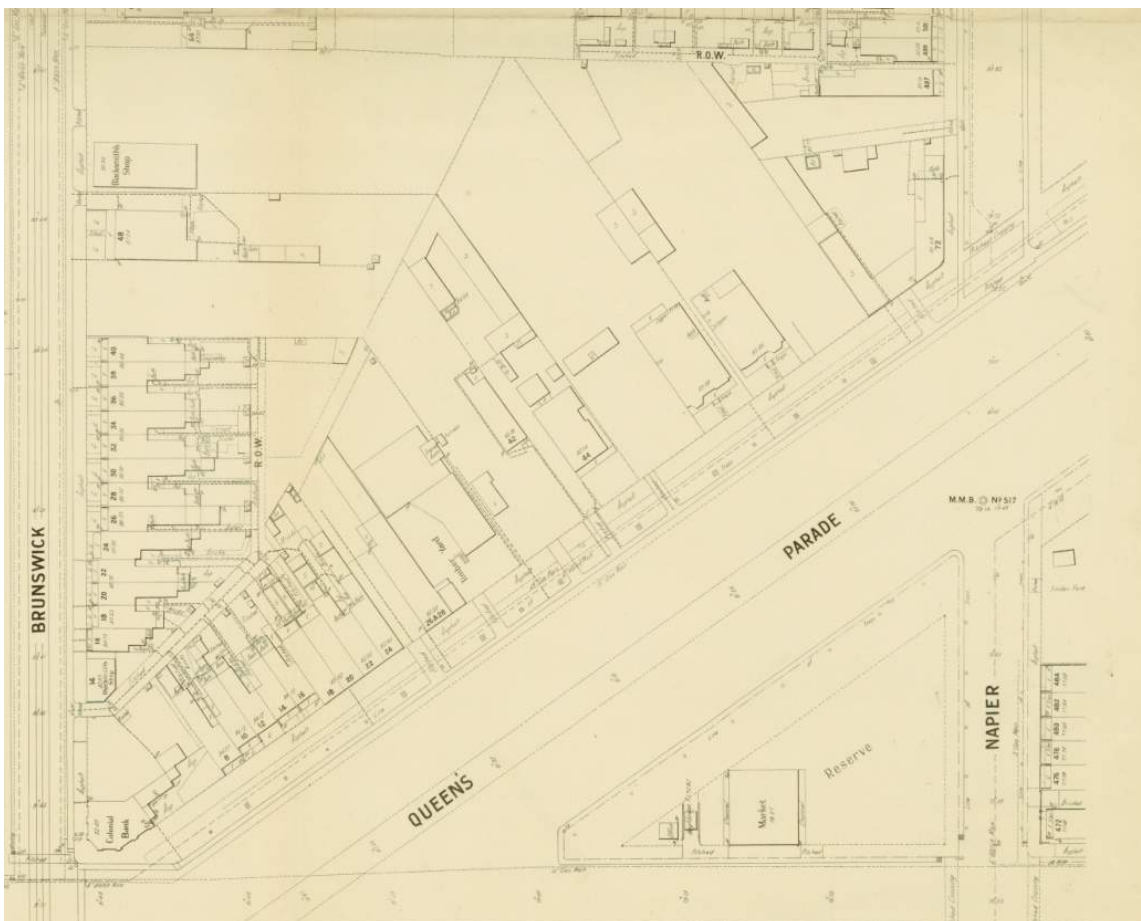
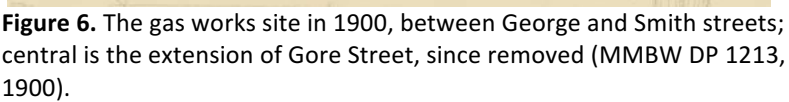
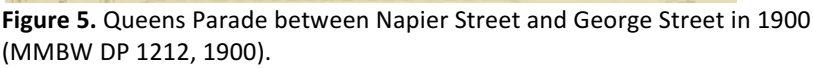


Figure 4. The west end of Queens Parade between Alexandra Parade and Napier Street in 1901 (MMBW DP No. 1257, 1901).



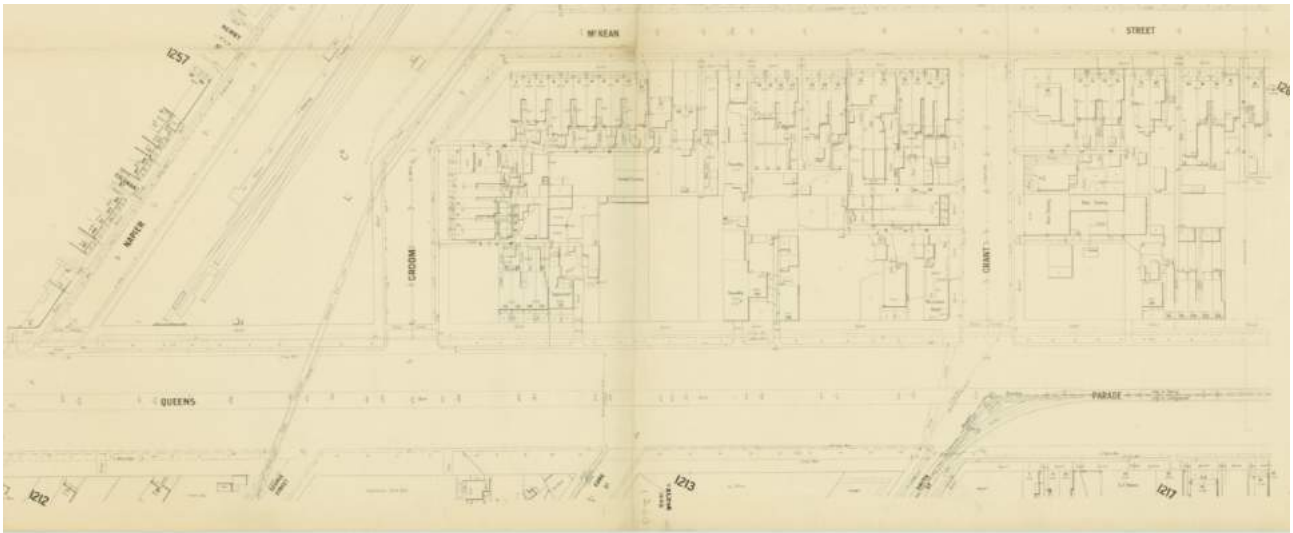


Figure 7. The north side of Queens Parade, east of Napier Street, in 1901 (MMBW DP 1260, 1901).



Figure 8. A view looking south-east at the west end of Queens Parade (which runs from the top of image to right of image), c1925-c1935. Smith Street extends off Queens Parade to the right. The gasometers of the gasworks are visible to the right (Pratt, c1925-c1935).



Figure 9. Industry in the area in 1945 (Land Victoria aerial, 1945).

Some of the industrial fabric at the western end of Queens Parade remains in 2017, while many sites previously occupied by industry have been developed with modern residential apartments. Remnants of industrial heritage in this location (between Alexandra Parade and Wellington Street) remain at (from west to east): the K G Luke complex at 26-52 Queens Parade (c1860s-c1960s), the factories and saw-tooth roof buildings on the south side of Queens Parade between George and Napier streets (some appear to date to the Interwar period), remnant gasworks buildings at 111 Queens Parade, the Selotta Shoes Pty Ltd building at no. 122 Queens Parade (1934), a factory/warehouse at no. 142-146 (c1915-c1925; the facade of which remains), and former factories at 7 Queens Parade (c1915-c1925) and 37 Queens Parade, Clifton Hill (c1900-c1915).

Place History

Kenneth George Luke became a partner in a small metal-spinning and silverware business in Carlton in 1921 and by 1925 was the proprietor, with seven employees (Dunstan, 2000). In 1926, Luke established the business K G Luke Pty Ltd, with 11 employees. Luke first 'commenced with the manufacture of Paramount brand silverware, concentrating principally on trophy cups, tea sets, cake baskets and similar products of a utility nature. An assured demand was immediately established' (*Decoration and Glass*, Vol 4, No. 5, 1 Sep 1938:66).

In 1929 Luke purchased a factory in Queens Parade, Fitzroy North and the same year K G Luke was listed for the first time as a metal spinner at 28 Queens Parade (Dunstan, 2000; S&Mc). The Sands & McDougall Directories indicate that in 1930, this section of Queens Parade was occupied by Tait & Bird, sheet metal workers, at 26 Queens Parade. Adjacent was K G Luke, metal spinner, now addressed at 28-34 Queens Parade (S&Mc). The factory was located near the Inner Circle Railway branch line that ran through Edinburgh Gardens to 'Fitzroy' station at the southern end of the gardens (since demolished), which operated between 1888 and 1948.

The K G Luke complex expanded rapidly in the 1930s. Drawings dating to 1933 show proposed additions and alterations to an existing office and factory building for K G Luke Pty Ltd at 30 Queens Parade (Figure

10). The drawings show the conversion of a single-storey workshop into a two-storey building with an Art Deco facade (Figures 11-12); the design of the parapet to Queens Parade is different to that which remains in 2017 (altered in 1937).

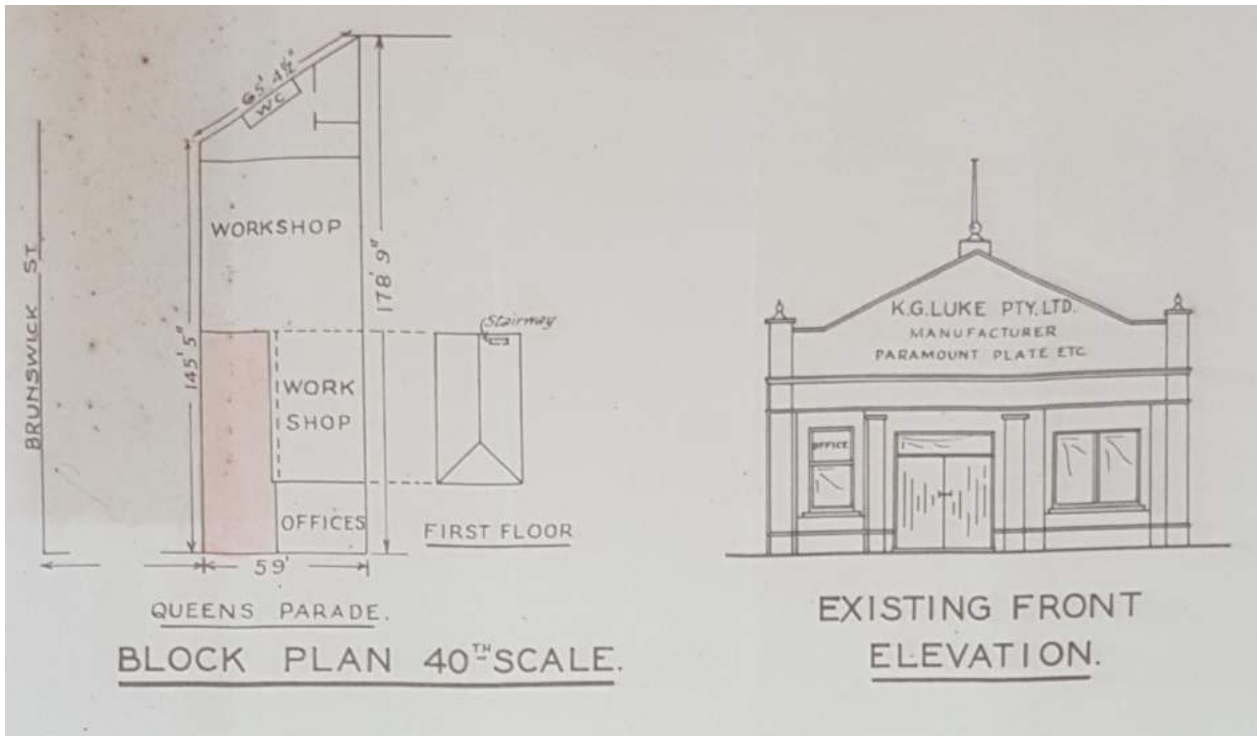


Figure 10. 1933 drawings – The 1933 footprint and facade of the factory; altered to form the section that now has a double-gabled roof (PROV, 1933).

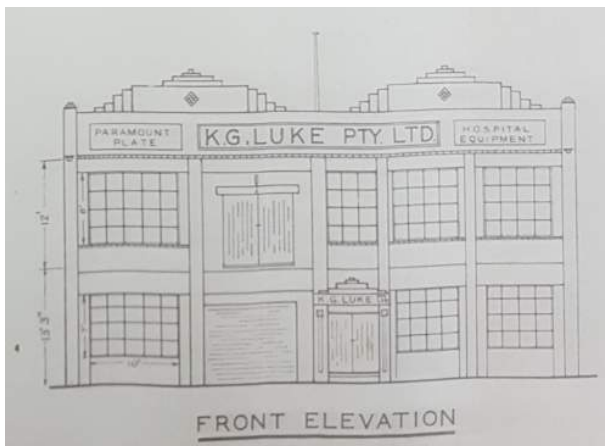


Figure 11. 1933 drawings – proposed design of the Queens Parade facade to the double-gabled building (PROV, 1933).

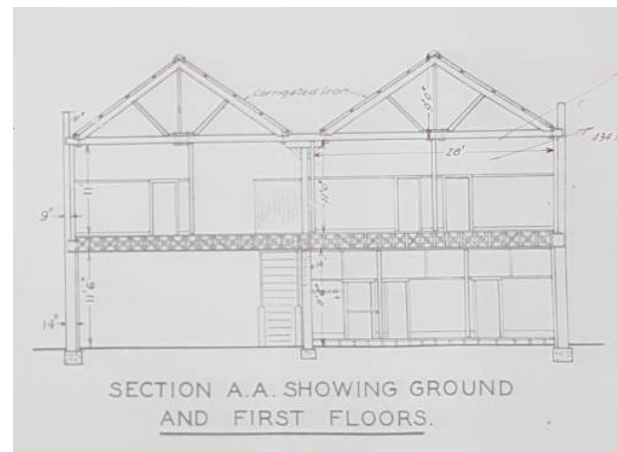


Figure 12. 1933 drawings – section of the proposed double-gabled building (PROV, 1933).

The 1936-37 rate books confirm that K G Luke Pty Ltd was the owner of a brick factory, addressed at 30 Queens Parade, with a Net Annual Value (NAV) of £170. In the same year Luke purchased a six room brick house at 26 Queens Parade (NAV of £70) from Alfred Bird and John Tait, iron merchants, and a lot of land to the east of the factory from Mary McLennan (RB).

Architectural drawings dating to 1937 (Figures 13-15) show designs for the addition of the eastern half of the Art Deco facade and its building; however the facade is shown with a simpler design compared to what was constructed, suggesting it was not the final design. The drawings show that the western half of the two-storey building (with the double-gabled roof) existed – an annotation instructs ‘facade of existing



building to be altered to correspond with new elevation' which indicates that the facade of the earlier building was updated in 1937.

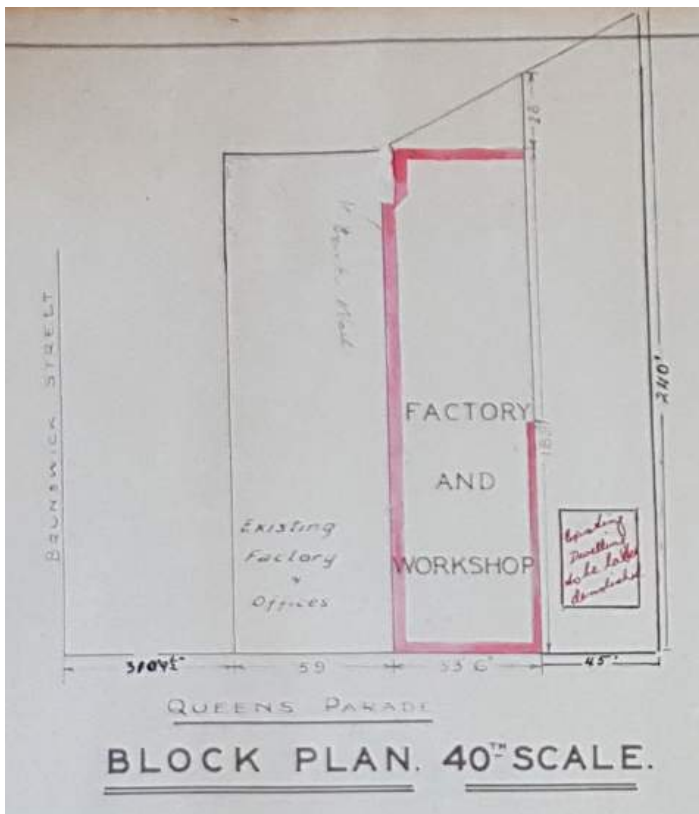


Figure 13. 1937 drawings – showing the existing factory and offices, being the double-gabled roof building with a 59' (approx 18m) frontage to Queens Parade. The 1937 addition is located to the east (red) (PROV, 1937).

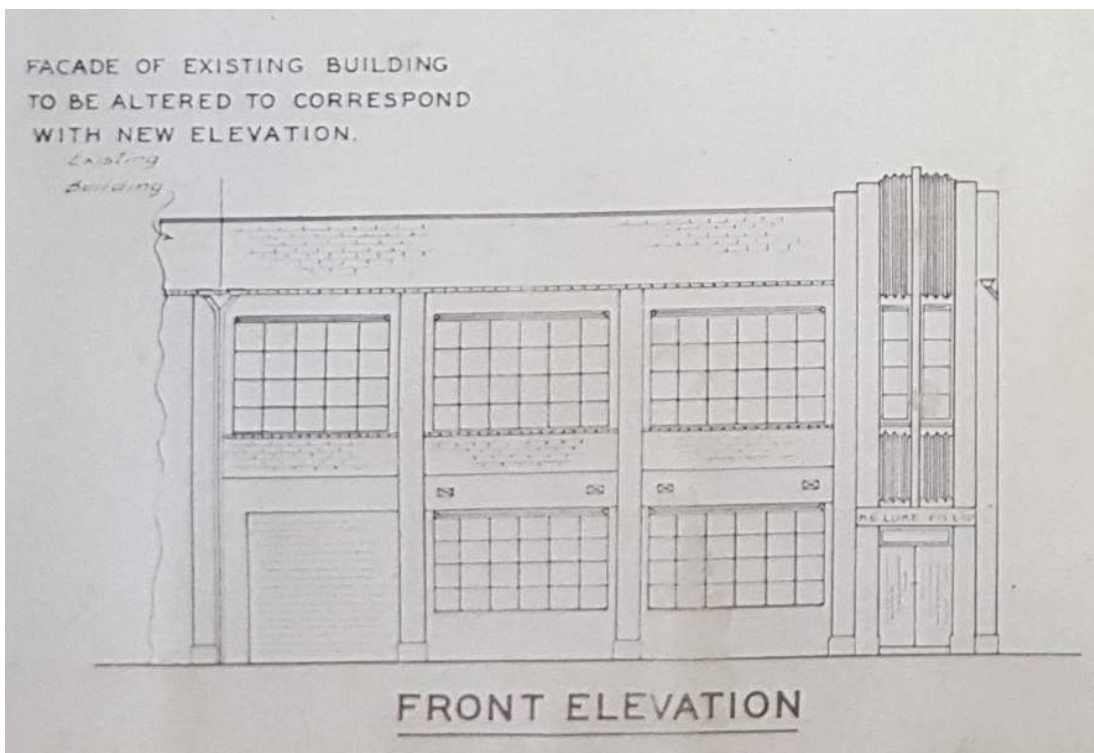


Figure 14. 1937 drawings – the proposed facade to the new section. The annotation top left indicates the facade of the existing section to the west was to be altered to match this new facade (PROV, 1937).

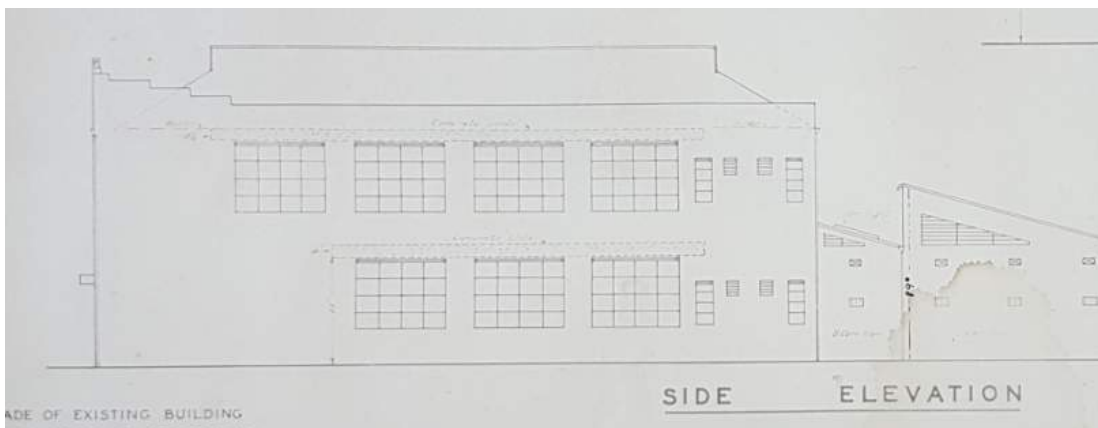


Figure 15. 1937 drawings – detail of the east elevation of the new section (PROV, 1937).

The 1937-38 rate books confirmed that K G Luke Pty Ltd owned and occupied 26-42 Queens Parade. The brick factory at 30-42 Queens Parade now had an increased NAV of £380 (RB), reflecting recent works to the property. The brick house at 26 Queens Parade had a separate NAV of £70. The 1938-39 rate books show a slight increase of the combined NAV (for both the house and factory) at 26-42 Queens Parade to £530. This value remained the same until at least 1944 (RB).

The newly completed building was featured in the journal *Decoration and Glass* (Vol 3, No. 12, 1 Apr 1938:28-29), entitled 'Southern Capitals Latest Commercial Structure'. The article featured photos and an illustration of the new facade (which remains in 2017; Figures 16-19). The illustration shows the extent of the Art Deco facade, completed by publication in April 1938.

The illustration also shows an earlier (possibly Victorian) building located at the west end of the complex, to the left of the 1937 facade (Figure 17). This building was later altered, or a new building constructed, with a facade that was sympathetic in style to the adjacent 1937 design. A 1945 aerial shows the current saw-tooth roof building, which may suggest that the existing facade was also constructed by this date (Figure 21).

The April 1938 journal article reported that

The new building at Queen's Parade, Fitzroy, Victoria, which houses the showrooms, administrative offices and factory of K. G. Luke Pty Ltd, marks the culmination of eleven years of progress.

Designed in brick, with steel frame construction, a distinctly modern feeling has been imparted to the elevations. The skyline is irregular, and the cemented parapet is ornamented with several drop features in brick and cement. Both the plan and elevation were evolved with due regard to the building's location on a tree-lined street.

The article continued, to describe in detail the interior administration area, showroom, counters and stairs, and their features and finishes, noting the modern round corners and bent glass. Further, it states:

Over the factory section the roof is a saw-tooth type, designed to admit daylight into the centre of the factory floor. It is covered with corrugated asbestos cement.

Bricks used in the main front are texture surfaced and show to advantage between the cement work. The firm's name appears in large letter on the parapet, as well as an enumeration of its manufactures.

The article noted that the architect was Eric J. Ziebell and Pollard Bros the builders, however, the May edition of *Decoration and Glass* (Vol 4, 1 May 1938:69) amended that the 'new headquarters of K. G. Luke Pty Ltd, makers of Paramount brand silverware and hospital and kitchen equipment, including work in



stainless steel, were designed and built by the company, and not by the architect and builders named in our last issue, in which the building was reviewed’.



Figure 16. A 1938 photo of the new facade (*Decoration and Glass*, Vol 3, No. 12, 1 Apr 1938:28-29).



Figure 17. A 1938 'line drawing of the entire front' of the 'new building' (*Decoration and Glass*, Vol 3, No. 12, 1 Apr 1938:28-29).



Figure 18. 1938 photo of the new interior and the curved veneer panelling of the enquiry counter with its glass screens above (*Decoration and Glass*, Vol 3, No. 12, 1 Apr 1938:28-29).

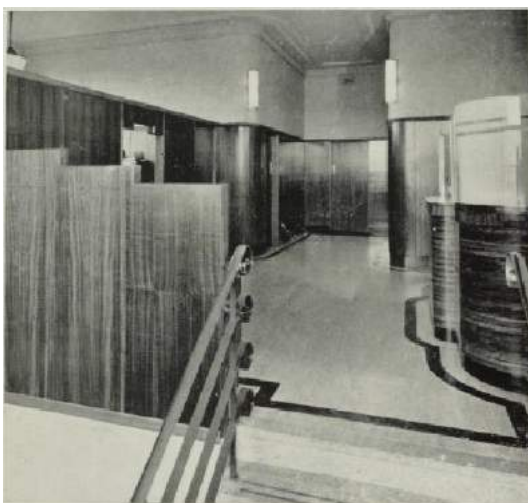


Figure 19. 1938 photo of the new interior design – the main stairs leading to the offices and showrooms (*Decoration and Glass*, Vol 3, No. 12, 1 Apr 1938:28-29).



In September 1938 *Decoration and Glass* (Vol 4, No. 5, 1 Sep 1938:64-66) again featured the Australian Firm, K G Luke Pty Ltd. The article reported that the company's activities had become nation-wide, known all over Australia as 'manufacturers of fine quality silver and electroplate ware, and hospital and kitchen equipment'. At this date the company employed over two hundred people, with the Paramount range encompassing a huge range of products for kitchens and hospitals listed in the article, which included a high number of medals and college badges. The company also served as the agents for the Sheffield Silver Plate and Cutlery Co. of England, marketed under the brands of Paramount and Cambridge (*Decoration and Glass*, Vol 4, No. 5, 1 Sep 1938:64-66).

A photo of the 'recently completed' building was also published in *Building* magazine in July 1940 (Vol 66, No. 395, 26 Jul 1940:36), which described the premises as 'modern and distinctive, particularly in regard to the serrated parapet treatment. Emphasis has also been directed towards the main entrance by a series of vertical reeds in the spandrel panels' (Figure 20). The detail to this eastern entrance bay has since been altered and the entrance removed. Other openings to the 1937 facade have also since been altered.



Figure 20. A 1940 photo of K G Luke Pty Ltd factory premises addressed at 32 Queens Parade, North Fitzroy (*Building*, Vol 66, No. 395, 26 Jul 1940:36).



Figure 21. Detail of a 1945 aerial of the site (Land Victoria, *Melbourne 848 B2D*, 1945).

During World War II, production increased at the factory (Dunstan, 2000). K G Luke Pty Ltd is known to have also functioned as a private mint that made medals, medallions, badges and buttons for all levels of government, universities and the military, including medals for the 1956 Olympic Games in Melbourne (MV).

The building at the east end of the complex was added in 1965, described as an extension to the ‘factory and office block providing a large section of warehouse accommodation’. The extensions were designed by architects Meldrum & Partners (PROV). This new section is evident in the much simpler facade to Queens Parade, without a parapet (Figures 22-24). The drawings, dated 12 March 1965, show the two-storey Art Deco facade and its detail (Figures 23-24). The 1965 site plan (Figure 22) suggests that a building at the west end of the site existed, however, the elevation drawing does not illustrate it (Figures 22-23). The site plan shows Luke’s increased holdings by this date.

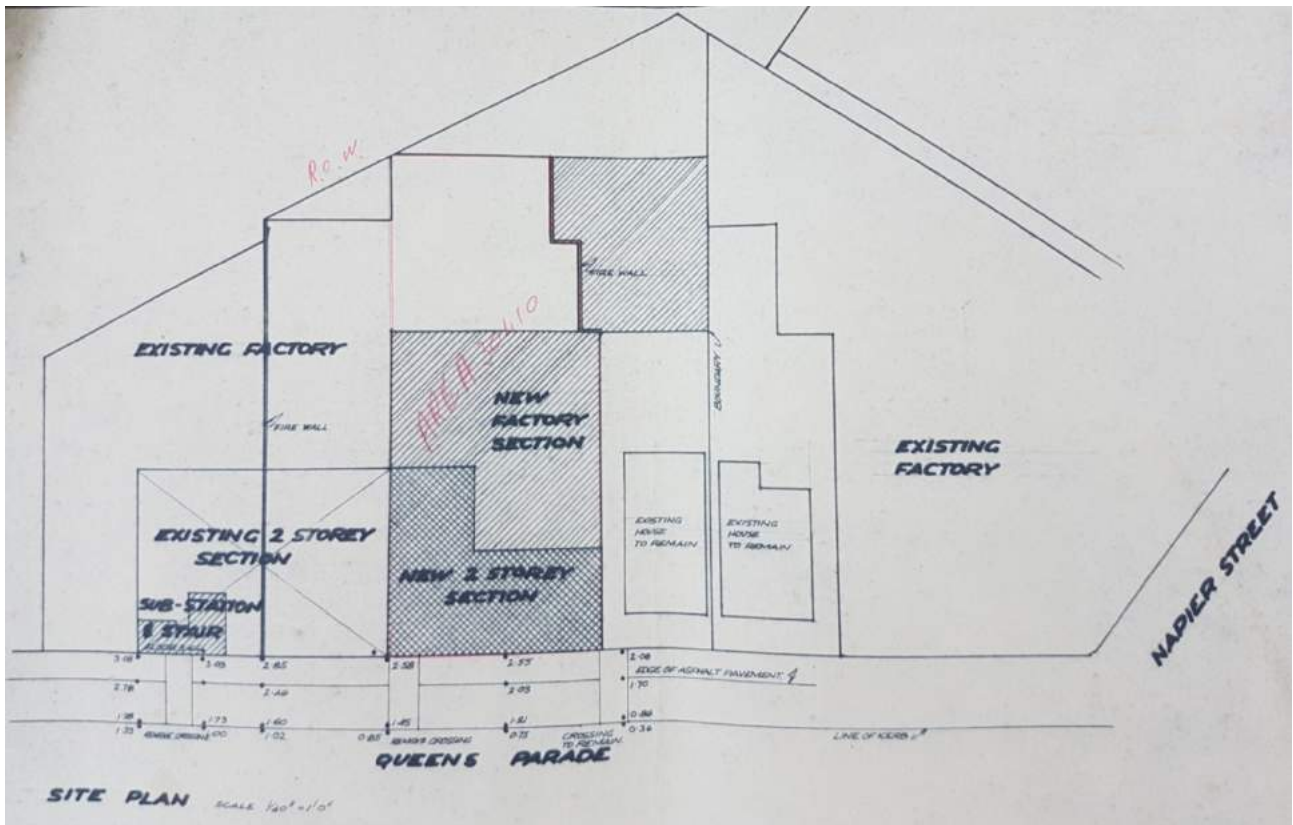


Figure 22. 1965 drawings – site plan of the 1965 extensions to the complex (PROV, 12 March 1965).

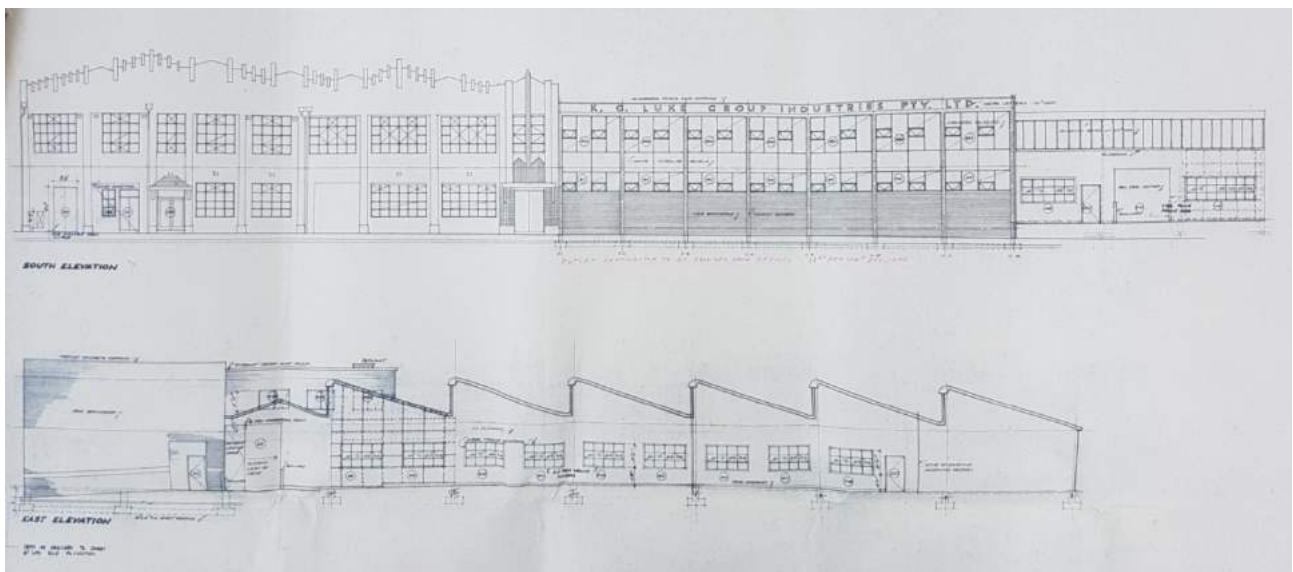


Figure 23. 1965 drawings – the south and east elevations showing the two-storey 1937 Art Deco facade and the proposed section to the east (right) (PROV, 12 March 1965).

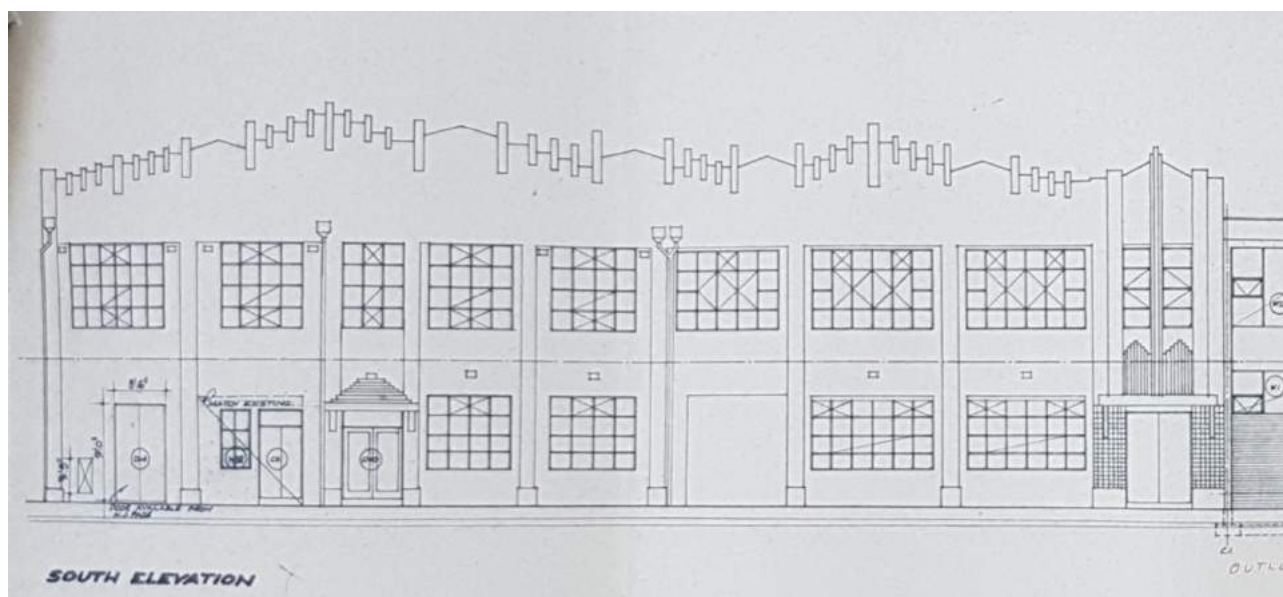


Figure 24. 1965 drawings - detail of the two-storey Art Deco facade and its detail in 1965 (PROV, 12 March 1965).

The Queens Parade complex was operated by K G Luke until at least the mid-1970s. K G Luke Group Industries Ltd changed its name to Luke Limited on 20 December 1976. Luke Limited was taken over by National Consolidated Limited on 19 October 1983 (MV).

Sir Kenneth G. Luke

The following is the *Australian Dictionary of Biography* entry for Sir Kenneth Luke (Dunstan, 2000):

Sir Kenneth George (Ken) Luke (1896-1971), manufacturer and sporting administrator, was born on 11 November 1896 in Port Melbourne, son of London-born parents George Edwin Luke, labourer, and his wife Minnie Annie, née Bensley. Ken attended South Brunswick State School and Ballarat High School before being apprenticed to an engraver in a silver factory at the age of 14.

Diligent and ambitious, he saved enough from his wages to become a partner (1921) in a small metal-spinning and silverware business at Carlton. By 1925 he was its proprietor and an employer of seven. For them there was no Depression. They were still with him thirty years later—with 650 others—making an ever-increasing range of products: silverware, stainless-steel surgical equipment, plated goods and glass-washing machines. For ten years Luke never knew an evening or a weekend off; he had an alarm clock to wake him at regular intervals at night so that he could keep the machinery going. In 1929 he bought a larger factory in Queen's Parade, Fitzroy, doubled his staff and introduced new lines. At the outbreak of World War II production was again stepped up and Luke became an honorary adviser to the Department of Supply and Shipping. On 11 February 1939 he had married 29-year-old Valda Richardson with Anglican rites at the Church of the Annunciation, St Marylebone, London.

Luke extended his interests after 1945. He had purchased the property, Deepfields, at Romsey as a weekend retreat, but the city-bred industrialist developed a passion for farming and made it a champion Dorset Horn and Poll Hereford stud. In November 1949 the Hollway government appointed him a trustee of the (Royal) Exhibition Building. During his terms as chairman (1954-57 and 1961-63) trade exhibitions came to the fore, the stadium annexe was constructed for the 1956 Olympic Games, unwanted tenants were removed, and a new western annexe was built for an international trade fair in 1963. Luke had founded (1952) the White Ensign Club for sailors. He became a notable supporter of many other charitable causes. In the 1950s and 1960s he travelled abroad to keep abreast of manufacturing trends, such as automation. By then a millionaire, he still maintained a craftsman's as

well as a proprietor's eye over the workings of his plants. K. G. Luke (Australasia) Ltd was registered as a public company in 1953.

A cricketer, motorcyclist and yachtsman in his youth, Luke also enjoyed racing and owned the successful 'FF' horses, with names like Fighting Force and Feeling Fine. In his view, sport bred character. He was best known, however, for his involvement with Australian Rules football. In 1938-55 he was president of the Carlton Football Club. A delegate (from 1935) to the Victorian Football League, he was its vice-president (1946-55) and president (1956-71). With postwar growth generating record crowds, he consolidated central administration and professionalized the game for players. In 1962 the V.F.L. bought land at Waverley for a new ground, which Luke envisaged as an alternative to the Melbourne Cricket Ground for football finals. V.F.L. Park, his legacy, opened in 1970.

'KG', as he was known, was a self-made man, hard-working and disciplined, but also far-sighted, courteous and even-tempered. The range of his interests and the number of his involvements was remarkable—he believed that a busy man could always take on another job. He was a councillor of the Royal Agricultural Society of Victoria and a member of at least fourteen clubs, including the Savage, the Victoria Racing and the Melbourne Cricket clubs. Luke was appointed C.M.G. in 1954 and knighted in 1962. Survived by his wife and daughter, Sir Kenneth died on 13 June 1971 at his Hawthorn home and was cremated. By that time K. G. Luke Group Industries Ltd, with twelve subsidiaries, had sales of \$17.2 million and an annual profit of nearly \$3 million. Luke's estate was sworn for probate at \$412,156. A stand at Waverley Park is named after him and a portrait by Paul Fitzgerald is held by the Australian Football League.

Physical Description

The K G Luke Pty Ltd Factory and Showrooms, 26-52 Queens Parade, Fitzroy North occupies part of a large triangular site. It comprises a series of buildings with front facades to Queens Parade constructed in the 1930s and 1960s. The western part of the site appears to have been fully developed by the late 1930s (or early 1940s) and includes a sawtooth-roofed building, with detailing to the façade parapet similar in style to the adjoining decorative parapet, and three gable roofed buildings of varying width to the east. Further east is an additional building constructed in the 1960s. All buildings are of two-storeys and are painted in a consistent colour across the extensive Queens Parade façade.

The 1930s Art Deco facade is of brick and steel-frame construction with a render finish applied to the body of the main façade and piers that divide the façade into nine unevenly spaced bays. Spandrels below the first floor windows are of face brickwork (overpainted). The highly distinctive parapet consists of a series of uneven brick (overpainted) and cement rendered vertical elements which rise and fall across the façade, creating a castellated appearance. Openings are set between the piers and some original steel-framed windows remain at first floor level, however the majority of openings have been modified. A pyramidal hood, supported by heavy corbels, remains over a secondary entrance at street level.

The contrasting highly restrained façade of the 1960s building to the east is of seven bays with simple strips of high windows to the ground floor, larger windows to the first floor and a plain parapet above. Two bays at the eastern end are recessed at ground floor level and the upper floor is supported on two plain, square columns.

The showroom and factory buildings behind the 1930s façade and 1960s building are a mix of saw-tooth and pitched roofed structures that occupy the majority of the site.

Integrity

The Art Deco façade retains a fair level of integrity to the 1937-1939 period of construction in fabric, form and detail. While the 1930s facade has undergone alterations – including overpainting, modification of

openings, removal of façade signage and remodelling of the eastern entrance bay – the place can still be understood and appreciated as a reasonably intact example of a 1930s factory complex.

The 1960s eastern addition retains a higher degree of integrity than the Art Deco façade. The façade has been overpainted and signage has been removed, otherwise the form and detailing remain largely as constructed.

The structures behind the Art Deco façade and 1960s addition are not generally visible from the public realm, but current aerial photographs suggest the roof forms are reasonably intact.

Comparative Analysis

The K G Luke Pty Ltd Factory and Showrooms at 26-52 Queens Parade, Fitzroy North is an example of a large industrial development constructed in the 1930s. The distinctive and unusual front façade of the building, illustrated in a number of contemporary journals soon after construction, does not appear to have any direct comparators in the City of Yarra. Buildings of the period were more typically designed in the popular Moderne style of the 1930s. Within the City of Yarra there are a number of buildings designed in Moderne style which are included in the Heritage Overlay of the Yarra Planning Scheme as individually significant buildings. They include:

- HO92 (& VHR H0684), Former United Kingdom Hotel, 199 Queens Parade, Clifton Hill, 1937-38
- HO252, Former Repco Offices and Laboratory, 26 Doonside Street, Richmond, c1939
- HO391, Former Relova Redressing Laundry, 129 Hoddle Street, Richmond, 1937
- HO375, Former Russell Manufacturing Company, 81-95 Burnley Street, Richmond, 1942



Figure 25. Former United Kingdom Hotel (VHD)



Figure 26. Former Russell Manufacturing Co (VHD)



Figure 27. Former Relova Redressing Laundry (VHD)



Figure 28. Former Repco Offices (VHD)

These individual comparators are representative of buildings of the interwar period and are architecturally significant as distinctive examples of the Moderne style. They exhibit characteristics typical of this style including vertical 'towers', contrasting horizontal lines of the façade and canopies, parapet signage and contrasting materials such as brickwork and render.

In comparison, the highly unusual façade of the K G Luke Pty Ltd Factory and Showrooms at 26-52 Queens Parade, Fitzroy North does not display these typical characteristics, particularly the strong horizontal emphasis of the Moderne style. Contrasting materials were part of the original design, however these have been obscured by overpainting of the façade, and the original detailed vertical entrance bay to the east has been modified.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (July 2015).

Criterion A: Importance to the course or pattern of our cultural or natural history (historical significance).

The K G Luke Pty Ltd Factory and Showrooms is of historical significance as a large industrial complex in Fitzroy North, which was established close to the Collingwood Gas Company gasworks and the Inner Circle Railway branch line. It is a remnant example of industrial development that occurred in this area from the 1860s through to the post-war period.

Criterion E: *Importance in exhibiting particular aesthetic characteristics (aesthetic significance).*

The K G Luke Pty Ltd Factory and Showrooms is of aesthetic significance for its particularly unusual and distinctive Art Deco façade which utilises a complex arrangement of castellated and hexagonal decorative elements.

Criterion H: *Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).*

The K G Luke Pty Ltd Factory and Showrooms is of historical significance for its association with Victorian manufacturer and sporting administrator, Kenneth G Luke, who moved his fledgling business to this site in 1929 and subsequently developed a successful business enterprise. Knighted in 1962, Luke was a highly successful businessman, with a range of interests and involvements in various committees and clubs.

Grading and Recommendations

Only part of the Art Deco façade (at 26 Queens Parade) is currently included in the North Fitzroy Precinct Heritage Overlay (HO327).

It is recommended that HO327 be extended to include 26-52 Queens Parade (part, see Figure 29) and that the place (as defined in Figure 29) be identified as an ‘individually significant’ heritage place within the ‘City of Yarra: Review of Heritage Overlay Areas, Appendix 8’.

Recommended extension of the Heritage Overlay (HO327)



Figure 29. Recommended extent of the place to be included in HO327 shaded in red. (adapted from nearmap, 4 May 2017)

Identified by:

Gary Vines & Matthew Churchward (1992), *Northern Suburbs Factory Study*

The 1992 Study recommended that ‘K. H. Luke metal works, 28 Queens Parade, Fitzroy North’ was ‘of local significance as a prominent local landmark with an unusual facade treatment. Also of interest as an example of the transport related industries which were concentrated along Heidelberg Rd from the early twentieth century.’

Allom Lovell & Associates (1998), *City of Yarra Heritage Review*

The 1998 Study recommended that the ‘Former K G Luke Metal Works, 28 Queens Parade, North Fitzroy’ was of individual significance to the North Fitzroy Precinct (Vol 4, Appendix B).

However, the precinct boundary shown for North Fitzroy Precinct in this Study does not clearly include or exclude the complex.

Graeme Butler and Associates (2007, 2013), *City of Yarra Review of Heritage Overlay Areas*

The 2007 Study included two citations for the complex (with almost duplicate information):

- K.G. Luke Pty Ltd. electro plate manufacturers factory (part), 26 Queens Parade, Fitzroy North (dated 1938)



- K.G. Luke Pty Ltd. electro plate manufacturers factory, former (part), 28-58 Queens Parade, Fitzroy North (dated 1937)

Both places were found to be individually significant to North Fitzroy Precinct (HO327). The duplicate Statements of Significance found the complex to be '*historically and architecturally significant to the locality of Fitzroy North and the City of Yarra*' as

- '*An unusual large 'Art Deco' (or Moderne style) factory/warehouse that has a very intact façade of architectural merit especially in its parapet profile*' (part 26-58, bricks painted).
- '*This (factory) was co-located on the spur railway line through the Edinburgh Gardens and the Queens Pde 'Fitzroy' rail station which was a lucrative goods railway line from 1891 to 1980, serving this and other interwar industries nearby*' (Wight 2001).
- '*The building is closely associated with the nationally known (Sir) KG Luke and his highly successful business enterprise as well as his sporting links, both local and national.*

However the precinct boundary for North Fitzroy Precinct (HO327) shown in this Study included the western half of the complex and excluded the eastern half.

References:

Advocate [Melb., Vic]

Building: the magazine for the architect, builder, property owner and merchant [Australia].

City of Fitzroy Rate Books (RB), Central Ward, as cited in Graeme Butler and Associates, *City of Yarra Review of Heritage Overlay Areas*, 2007, pp 436-443.

Daily Commercial News and Shipping List [Sydney, NSW].

Decoration and Glass [periodical; NSW].

Dunstan, David, 'Luke, Sir Kenneth George (Ken) (1896–1971)' in *Australian Dictionary of Biography*, <<http://adb.anu.edu.au/>>, published first in hardcopy 2000, accessed online 17 August 2017.

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Graeme Butler and Associates, *City of Yarra Review of Heritage Overlay Areas*, 2007.

Land Victoria, 'MELBOURNE 848B2D' aerial, 1945.

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Museum Victoria (MV), 'K.G. Luke, Medal & Trophy Makers, Melbourne, Victoria', <<https://collections.museumvictoria.com.au/articles/2172>>, accessed 18 august 2017. Objects made by K. G. Luke are shown in the online Trove pictures, photos, objects collection <<http://trove.nla.gov.au/picture/>>.

Pratt, Charles, Airspy collection, *Football ground in Brunswick Street North Fitzroy now known as Fitzroy Community Oval*, c1925-c1935, SLV Image H91.160/447.

Public Records Office of Victoria (PROV), KG Luke architectural drawings: VPRS 16127/P2/Unit 5, drawings dated 1933; VPRS 16127/P2/Unit 9, drawings date to 1937 (according to catalogue entry); VPRS 10150/P0/Unit 162, drawings dated 12 March 1965.

Sands & McDougall Directories (S&Mc).

The Age.

Appendix B: Row of Houses, Elizabeth Terrace Heritage Citation

Heritage Citation

ROW OF HOUSES, ELIZABETH TERRACE

Address: 472-484 Napier Street, Fitzroy North

Prepared by: GJM Heritage

Date: November 2017

Place type: Residential	Architects: Not known
Grading: Locally significant	Builder: Not confirmed
Integrity: Very High	Construction Date: 1885, 1889
Recommendation: Include in the Heritage Overlay	Extent of Overlay: Refer to plan at Figure 10



Figure 1. Left to right: 476-484 Napier Street, 472 Napier Street.



Figure 2. Detail of 472 Napier Street.

Statement of Significance

What is significant?

Elizabeth Terrace, 476-484 Napier Street and the terrace house at 472 Napier Street, Fitzroy North, built in 1885 and 1889 respectively.

Elements that contribute to the significance of the place include (but are not limited to):

- The houses' original external form, materials and detailing
- The houses' high level of integrity to its original design
- The original front fences and gates.

Later alterations and additions to the rear of the terraces and the addition to the north of 472 Napier Street, are not significant.

How is it significant?

Elizabeth Terrace, 476-484 Napier Street and the terrace house at 472 Napier Street, Fitzroy North are of local architectural and aesthetic significance to the City of Yarra.

Why is it significant?

Elizabeth Terrace, 476-484 Napier Street and the terrace house at 472 Napier Street, Fitzroy North are fine and representative examples of terrace housing from the Victorian period. They display typical features of the Victorian Italianate architectural style popular in the 1880s boom period in Fitzroy North and across Melbourne more broadly, including a two-storey form with front verandahs and balconies, polychromatic brickwork, decorative cast iron, rendered decorative elements including balustrading and cast iron palisade fencing (Criterion D).

Elizabeth Terrace, 476-484 Napier Street and the terrace house at 472 Napier Street, Fitzroy North are well-considered and carefully detailed examples of Victorian Italianate terrace housing. The row of polychromatic terraces, with repetitive decorative elements across the facades, presents a picturesque composition of this architectural style (Criterion E).

Historical Themes

The place illustrates the following themes as outlined in the *City of Yarra Thematic History* (1998):

- 3 Mansions, Villas and Sustenance Housing: the Division between Rich and Poor
 - 3.1 A home to call one's own

Place History

The land bound by Napier Street, Alexandra and Queens parades and George Street was originally reserved for the Church of England in 1869 (Figure 3). An application to dispose of the land by the church was gazetted in 1877, at which date the land was recorded to have held the foundations of a church and a wooden school building (ministered or occupied by Benjamin Rodda) (VGG 89, 1877:1675).

472 Napier Street

George Pickup, blacksmith, purchased the lot on the north-east corner of Napier Street and Alexandra Parade in 1880 and built the eight room brick house in 1885 (with a Net Annual Value of 40 pounds), which he occupied. In 1890, the NAV increased to 52 pounds, suggesting improvements or additions to the property (RB). Notices in *The Age* from c1891 (31 Jul 1891:8) advertised board and residence available at 472 Napier Street; Pickup remained listed in the rate books as the occupant of the house during this period (RB).

The 1896 and 1900 Melbourne and Metropolitan Board of Works (MMBW) plans show that a building occupied the rear of the property, addressed as 157 Alexandra Parade (since demolished) (Figures 4 & 5).

Upon death of Pickup in July 1905, it was noted that he had worked for Victorian Railways and that his wife Mary Ann Pickup survived him (*Argus*, 28 Jul 1905:1). In 1917, the Pickup family still resided at 472 Napier Street (*Daily Examiner*, 16 Jan 1917:6).

In 1949, the corner property was advertised for sale, described as a two-storey brick house with 8 rooms and a 3 room weatherboard cottage (*Argus* 27 Aug 1949:12; 29 Sep 1893:8). In 1982, 472 Napier Street was designated for use by the Housing Commission (North Fitzroy Parish of Jika Jika plan, Figure 3). In 2017 the house serves Yarra Community Housing Ltd, under the Department of Human Services (VGG 31, 2008).

Elizabeth Terrace (476-484)

Joseph Oliver purchased the land in 1888 and constructed the row of five houses, Elizabeth Terrace, in 1889. Each of the five terrace houses was described in the rate books as a six room brick house (each with a Net Annual Value of 46 pounds), owned by William Reynolds and Joseph J. Oliver (RB). In 1889 four of the five terrace houses were let; to a builder, caretaker, printer and waiter (RB). The 1896 and 1900 MMBW plans show the footprints of the row at this date, with verandahs to the facades and rear elevations and water closets on the rear boundaries (Figures 4 & 5).

Joseph J. Oliver was a local contractor 'of Queens Parade, North Fitzroy', as reported in 1910 (*The Advertiser*, 16 Jun 1910:7). Nothing else is known of Oliver but it is possible that he built the row.

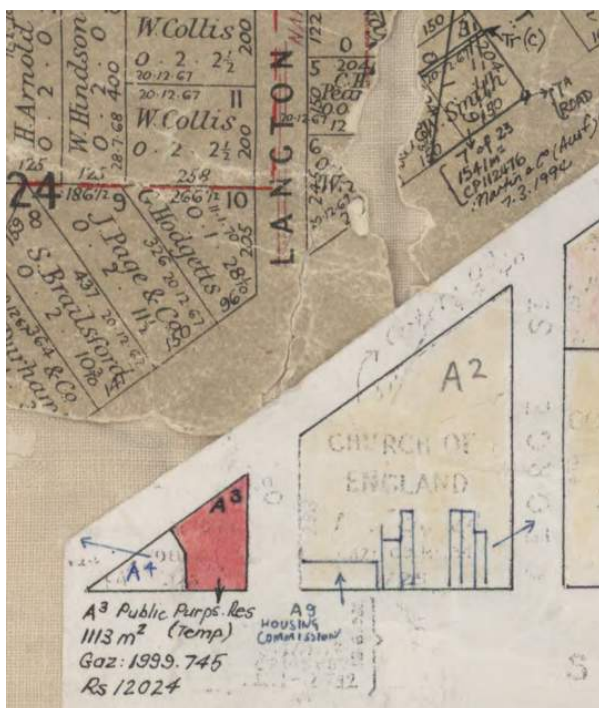


Figure 3. A detail of the North Fitzroy Parish of Jika Jika Plan, showing the block between Napier Street and George Street reserved for the Church of England, and 472 on the southern corner later reserved for the Housing Commission.

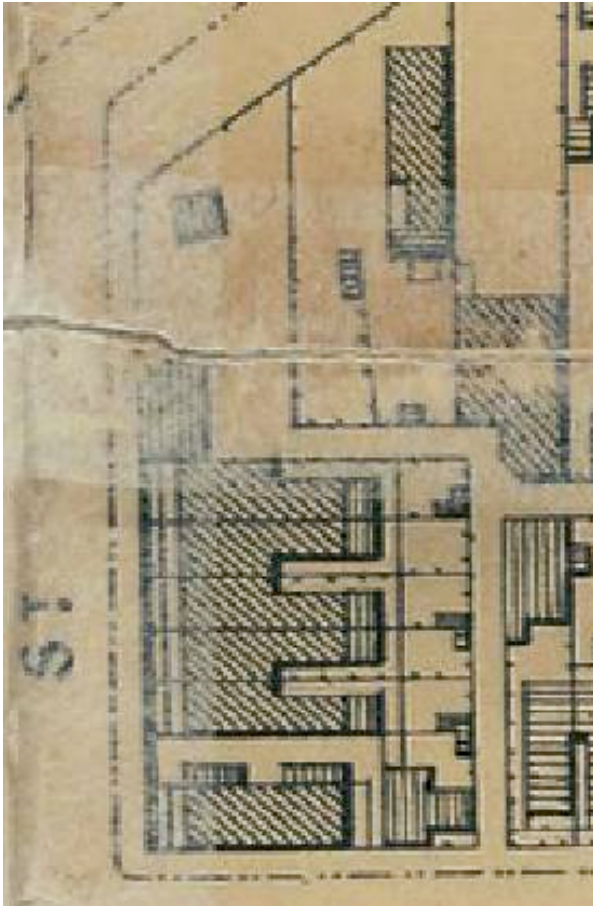


Figure 4. The footprints of Elizabeth Terrace and no. 472 in 1896 (MMBW Base Map 29).

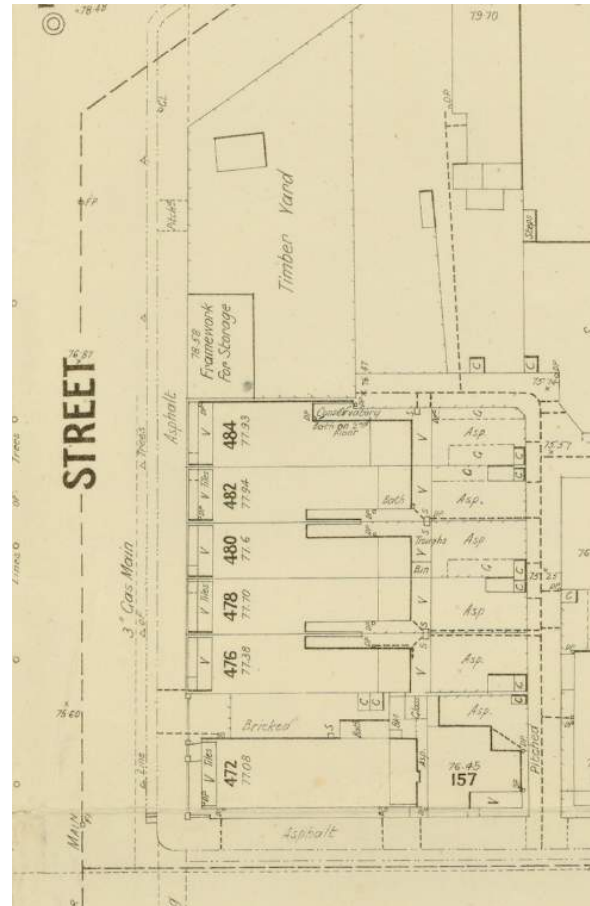


Figure 5. The row of houses in 1900 (MMBW DP 1212).

Description

The terraced houses at 472 and 476-484 Napier Street, Fitzroy North are located on the east side of Napier Street, which runs between Alexandra Parade and Queens Parade, Fitzroy North. They face a grassed triangular allotment which is located at the junction of these two main roads.

Elizabeth Terrace, 476-484 Napier Street is a row of five attached two-storey polychromatic brick terrace houses with double storey front verandahs, rendered and balustraded parapeted facades that conceal hipped roofs, and rectangular window openings. The terraces are designed as a group with a large and elaborate central arched pediment containing an acroterion ornament, a central name plate displaying the name 'Elizabeth Terraces' and rows of rosettes across all facades. Dividing wing walls, which display consoles and masks, rise to plinths and urns at parapet level. Roofed with corrugated iron, the verandahs are decorated with cast iron friezes and balustrading, and cast iron palisade fences run between wing walls at street level.

The house at 472 Napier Street is a large two-storey polychromatic brick terrace house which is located on the corner of Alexandra Parade. The front elevation to Napier Street has a double storey verandah with decorative cast iron friezes and balustrade, an exposed hipped roof, wing walls and a cast iron palisade fence. The side façade to Alexandra Parade is rendered and painted and contains simple rectangular window openings. A large rendered chimney towards the front of the house is visible from this southern view.

Integrity

The buildings retain a high degree of integrity to the Victorian period in fabric, form and detail. While the buildings have undergone some alterations – including an infill addition to the north side of 472 Napier Street – these do not diminish the ability to understand and appreciate the places as a highly intact example of Victorian terrace housing.

Comparative Analysis

The two-storey terrace houses at 472-484 Napier Street, Fitzroy North are of note as an intact and representative row of residential buildings, constructed in the Victorian period. The size of these two-storey houses, and the extent of the row of terraces, is somewhat unusual for this location in the City of Yarra, which contains predominantly single-storey Victorian terrace rows.

Substantial numbers of terrace houses were constructed within the City of Yarra, and Melbourne more broadly, particularly in the 1880s, and these typically took the form of one or two-storey rows with single or double storey front verandahs and parapeted front facades. Facades were commonly rendered or constructed in decorative polychromatic brickwork. Classical elements, such as cornices, architraves, balustrading, urns, stringcourses and pediments were commonly applied to facades, and window openings were most commonly rectangular.

Within the City of Yarra, large numbers of residential terraces built in the Victorian period are included in the Heritage Overlay, both on an individual basis and as individually significant places within precincts.

Examples of two-storey terraces include:

- 218-220 McKean Street, Fitzroy North (individually significant in North Fitzroy Precinct HO327)
- 39-41 Rushall Crescent, Fitzroy North (individually significant in North Fitzroy Precinct HO327)
- 247-249 Scotchmer Street, Fitzroy North (individually significant in North Fitzroy Precinct HO327)
- 474-480 Canning Street, Carlton North (individually significant in North Carlton Precinct HO326)



Figure 6. 218-20 McKean Street, Fitzroy North
(Google Maps)



Figure 7. 39-41 Rushall Crescent, Fitzroy North
(Google Maps)



Figure 8. 247-249 Scotchmer Street, Fitzroy North (Google Maps)



Figure 9. 474-480 Canning Street, Carlton North (Google Maps)

Like the places listed above, the terraces at 472-484 Napier Street, Fitzroy North display a range of characteristics that have associations with the Victorian Italianate style and the terraces remain highly intact to demonstrate these associations.

The terraces at 472-484 Napier Street, Fitzroy North demonstrate the following Victorian Italianate characteristics:

- Two-storey parapeted form (476-484) and unparapetted form (472)
- Front verandahs and balconies with decorative cast iron
- Polychromatic brickwork with cement render detailing
- Balustraded parapets concealing hipped roofs
- Rectangular window openings
- Row of attached buildings with central pediment and name plate
- Dividing wing walls with decorative detailing
- Cast iron palisade fencing and gate.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (July 2015).

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).

Elizabeth Terrace, 476-484 Napier Street and the terrace house at 472 Napier Street, Fitzroy North are fine and representative examples of terrace housing from the Victorian period. They display typical features of the Victorian Italianate architectural style popular in the 1880s boom period in Fitzroy North and across Melbourne more broadly, including a two-storey form with front verandahs and balconies, polychromatic brickwork, decorative cast iron, rendered decorative elements including balustrading and cast iron palisade fencing.

Criterion E: *Importance in exhibiting particular aesthetic characteristics (aesthetic significance)*

Elizabeth Terrace, 476-484 Napier Street and the terrace house at 472 Napier Street, Fitzroy North are well-considered and carefully detailed examples of Victorian Italianate terrace housing. The row of

polychromatic terraces, with repetitive decorative elements across the facades, presents a picturesque composition of this architectural style.

Grading and Recommendations

It is recommended that the place be included in the Heritage Overlay of the Yarra Planning Scheme as a locally significant heritage place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Yarra Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Outbuildings or Fences not exempt under Clause 43.01-3?	No
Prohibited Uses Permitted?	No
Incorporated Plan?	Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014
Aboriginal Heritage Place?	No

Each property should be identified in 'City of Yarra: Review of Heritage Overlay Areas, Appendix 8' as 'individually significant'.

Extent of the recommended Heritage Overlay

To the property title boundaries, as indicated by the polygon on the aerial below:



Figure 10. Recommended extent of the Heritage Overlay (nearmaps, May 2017)



Identified by:

Andrew C Ward & Associates (1989), *Collingwood Conservation Study*

472-484 Napier Street were identified as the significant Napier Street Streetscape (Streetscape B22) 'proposed as appropriate for special consideration by the Fitzroy City Council in development control procedures.'

GJM Heritage (2017), *Queens Parade Built Form Review*.

References:

City of Fitzroy Rate Books (RB), Central Ward:

Nos. 476-484: 1888, entries 1311-13; 1889, entries 1339-43.

No. 472: 1880, entry 615; 1885, entry 510; 1885, entry 512; 1890, entry 1349; 1892, entry 1360.

Daily Examiner [Grafton, NSW].

Melbourne and Metropolitan Board of Works (MMBW): Base Map 29 (1896), Detail Plan 1212 (1900).

North Fitzroy, Parish of Jika Jika plan.

The Advertiser [Adelaide, SA].

The Age.

The Argus.

Victoria Government Gazette (VGG):

Issue No. 31 Thursday 31 July 2008,

<<http://www.gazette.vic.gov.au/gazette/Gazettes2008/GG2008G031.pdf>> accessed 24 July 2017.

Issue No. 89, Friday 31 August 1877, page 1675.

Appendix C: St John the Baptist Roman Catholic Church Complex Heritage Citation



Heritage Citation

ST JOHN THE BAPTIST ROMAN CATHOLIC CHURCH COMPLEX

Address: 61-87 Queens Parade, Clifton Hill

Prepared by: GJM Heritage

Date: August 2017

Place type: Church complex	Architects: J. B. Denny (church), Kempson & Connolly (church spire and school), C. W. Vanheems (hall)
Grading: Locally significant	Builder: Swanson Bros (school)
Integrity: Very High	Construction Date: 1876 - 1918
Recommendation: Remove from HO330 and include in a site specific Heritage Overlay with fence controls (fence to Queens Parade in front of the Church & Presbytery) and internal controls for the Church as it relates to the Fincham Organ	Extent of Overlay: To property title boundaries (refer to Figure 20)



Figure 1. Left to right: St John's School, St John's Church, presbytery, and the former house at 57-59 Queens Parade.



Figure 2. Left to right: Parish Hall, St John's School and St John's Church

Statement of Significance

What is significant?

St John the Baptist Roman Catholic Church Complex, 61-87 Queens Parade, Clifton Hill, built from 1876 to 1918, comprising the church, school, presbytery, former hall/shops, former presbytery and the Queens Parade boundary fence to the church and presbytery.

Elements that contribute to the significance of the place include (but are not limited to):

- The original external form, materials and detailing of the buildings
- The high level of integrity to their original design
- The Queens Parade fence to the church and presbytery.

Later alterations and additions, particularly the recent addition to the rear of the shops and school, are not significant.

How is it significant?

St John the Baptist Roman Catholic Church Complex, 61-87 Queens Parade, Clifton Hill, is of local historical, architectural and aesthetic significance to the City of Yarra.

Why is it significant?

St John the Baptist Roman Catholic Church Complex, 61-87 Queens Parade, Clifton Hill is a large and intact group of religious buildings, including a church, school, presbytery, hall/shops and former presbytery. This group of buildings is illustrative of a large suburban parish, with place of worship and associated educational and community facilities, established from the late nineteenth century through to the twenty-first century (Criterion A).

St John the Baptist Roman Catholic Church Complex, 61-87 Queens Parade, Clifton Hill is a fine, intact and representative example of a religious complex. It contains buildings from the Victorian and Federation periods which display typical characteristics of a range of styles, including the Victorian Decorated Gothic style of the late nineteenth century (church) and the Gothic Tudor (school), Bungalow (presbytery) and Free Style (hall) of the Federation period (Criterion D).

St John the Baptist Roman Catholic Church Complex, 61-87 Queens Parade, Clifton Hill is a well-considered and carefully detailed complex of church buildings. The church is a richly composed bluestone building with freestone dressings, designed in a Decorated Gothic style. The soaring church spire is a prominent landmark in the Clifton Hill/Fitzroy North area. The church contains several important stained glass windows including works by Ferguson and Urie and Hardman of Birmingham. The school building is an imposing two-storey red brick building, designed in a Gothic Tudor style, and the former Church Hall is a carefully composed two-storey red brick triangular building, designed in a Federation Free Style. (Criterion E).

Historical Themes

The place illustrates the following themes as outlined in the *City of Yarra Thematic History* (1998):

6 Developing Urban Institutions

- 6.1 The Establishment of a Religious and Spiritual Network

Place history

The Parish of Jika Jika plan illustrates that one acre (comprising lots 8, 9, 11 & 12) was reserved for the Roman Catholic Church in 1864, with an 88 metre frontage to Queens Parade, extending to Hodgkinson Street to the south (Figure 3).

In 1864 there were reportedly too few Catholic parishioners in Clifton Hill to warrant a church. By 1875, Thomas Edmund Verge, St John's 'princely benefactor' discovered that a memorial (petition) was being presented to the government that the Catholics were not carrying out their obligation to build in the location, petitioning the government to resume the land for other purposes. Verge's immediate response was to organise a cartload of stone and building materials delivered to the site and have it fenced off, at his own expense. A public meeting was then held at the Clifton Hill Hotel. Only six people attended, but a collection raised £52/17/-, including £25 from Verge himself. The Committee resolved that the proposed church would be 'as magnificent as any to be found anywhere in Australia' (Peterson 1999:38).

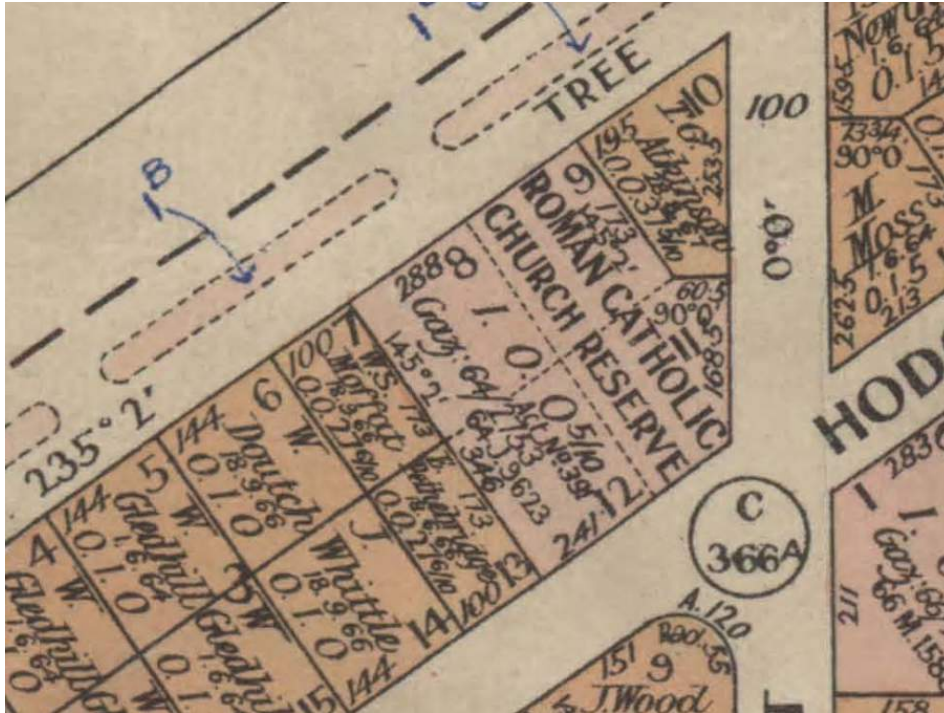


Figure 3. Detail of the Jika Jika Parish Plan, showing the allotments reserved for the Roman Catholic Church.

St John the Baptist Roman Catholic Church

The foundation stone of the church was laid by Archbishop Gould on 27 February 1876. Architect J. B. Denny of the firm Reed, Smart & Tappin designed the church on Puginesque principles. By July 1876 'the work of the foundation was completed' and by 1882 the first stage of works was complete, comprising the eastern aisle and nave. The first mass was held by priests from St Patrick's Cathedral on 19 November 1882. By November 1885 St John's became a separate parish under Reverend M. Carroll (Peterson 1999:38).

The foundation stone for the tower was laid by Archbishop Carr in 1887, at the commencement of the second stage of works to the church (Peterson 1999:38; NTAV; Ward 1995:469). The church was substantially completed by 1893 and on 5 March 1893 the church was dedicated (Figures 4-6) (Allom Lovell 1998:124). In 1903 the Lady Chapel and Sacristy was opened by the Archbishop and in 1906-07 the sandstone spire was completed, designed by architects Kempson & Connolly. The church was blessed in 1933 (Peterson 1999:38).

Stained glass for the church was created by Ferguson & Urie and Hardman of Birmingham (NATV). The church retains a 1924 George Fincham & Sons Pty Ltd organ, which was built to the specification of Melbourne City Organist, Dr W.G. Price. The firm was awarded the contract in December 1922 for an instrument to cost £1800. It is a two-manual organ of 24 speaking stops divided on either side of the rear gallery. The instrument includes a generous complement of romantic registers, including several string and reed stops. It is the second largest Fincham organ in Melbourne from the period to survive intact, retaining its original console with free combination pistons, tubular-pneumatic action and 1,309 pipes. The

instrument survives completely unaltered, apart from the addition of a new blowing plant, retaining its tubular-pneumatic action and voicing (NTAV; Organ Historical Trust of Australia).

George Fincham & Sons, organbuilders

George Fincham (1828-1910) was born in England in 1828 to Jonathon George Fincham, an organbuilder. Between 1842 and 1849 Fincham was apprenticed to London organbuilder Henry Bevington, and then worked as a foreman for James Bishop & Son. He arrived in Victoria in 1852 and set up as an organ-tuner and repairer at 113 Queen Street, Melbourne. Next year he visited the Ballarat diggings but returned in 1854. In 1855 he bought land in Bridge Road, Richmond, where he built his home and a bluestone factory; in 2017 the brick factory remains at 2 Stawell Street, Richmond, just off Bridge Road. For a period, Fincham worked to finance equipment and stock for his factory. By 1862 he was able to start organbuilding; churches then had funds for pipe organs and interest in organ music was stimulated by the newly-arrived organists Charles Horsley, David Lee and Rev. George Torrance. In June 1866 the Victorian government awarded Fincham £100 for organbuilding with colonial materials and metal pipes of his own manufacture. In 1878 he bought the firm of Lee & Kaye, and in 1881 established an Adelaide branch, managed by Arthur Hobday, his ex-apprentice, until it was sold in 1894 to Josiah Dodd. In 1904 he opened a branch in Sydney, while he had agents in Perth (1897) and Brisbane (1902) (Henwood 1972).

Fincham's first organ was of ten stops; at the same time he built an organ of seventeen stops. This was the first organ of any considerable size built in the colony and was opened in the factory on 21 December 1864. His organ for the Melbourne Exhibition in 1866 won an award, the first of many for his work. In 1879 his tender for an organ for the Melbourne Exhibition Building was accepted against overseas competition. The four-manual organ of seventy speaking stops was completed for the 1880-81 Melbourne International Exhibition, and remained in use in the building for nearly fifty years (Henwood 1972).

Altogether Fincham built about 200 organs for cathedrals and churches and supplied pipe work and parts to organbuilders throughout Australasia. His integrity and the quality of the organs he built overcame the prejudice towards colonial work. He was considered outstanding among Australian organbuilders for his skill, his business ability and his readiness to keep pace with modern trends. He patented many improvements; most of the organs he built had mechanical action and from 1886 some had tubular-pneumatic (Henwood 1972).

A number of Fincham organ's remain throughout Victoria, often at prominent churches and buildings. Key examples of his career's work remain at St Ignatius Church Complex, 326-348 Church Street Richmond (HO359, VHR H2146); St Bartholomew's Anglican Church, 290 Burnley Street, Burnley (HO236); Wilson Hall, 156-292 Grattan Street, Parkville (HO361, VHR H1012); Assembly Hall at 156-160 Collins Street, Melbourne (HO580, VHR H418); St Mary's Star of the Sea Church Complex, Howard and Victoria Streets, West Melbourne (HO979, VHR H2182); Church Of All Nations, 180 Palmerston Street, Carlton (HO976, VHR H2179); St Judes Anglican Church on Lygon, Palmerston and Keppel streets, Carlton (HO65, VHR H14); the former College Church, 149 Royal Parade, Parkville (HO312, VHR H394); and the former Congregational Church at 17 Black Street, Brighton (HO75, VHR H724).

Fincham was a member of the Chamber of Manufactures and was a committee member of the Workingmen's College, the Victorian Society of Organists and the Melbourne Philharmonic Society and joined the Metropolitan Liedertafel and Old Colonists' Association, amongst other interests. His business was continued by his descendants (Henwood 1972).



Figure 4. St John's Roman Catholic Church in 1893 (Museums Victoria, Item MM 8213).



Figure 5. St John's Roman Catholic Church in 1893 (Museums Victoria, Item MM 30074).



Figure 6. St John's Roman Catholic Church in 1893. The earlier shops on the corner of Wellington Street are left. Immediately right of the church is the earlier house that occupied the site of the current presbytery. Right of this is the two-storey house at 59 Queens Parade which remains today and was acquired by the Church in the 1990s. A timber fence enclosed the church grounds at this date (Museums Victoria, Item MM 8211).

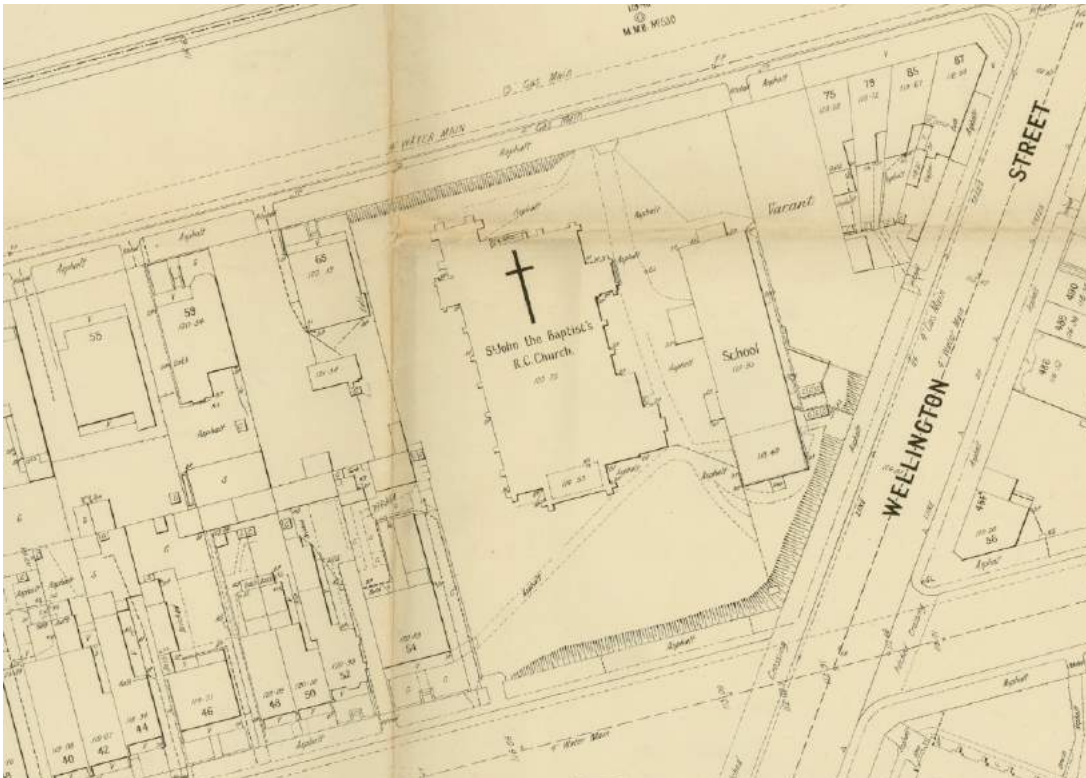


Figure 7. The complex in 1901; buildings that remain in 2017 as part of the church complex are the church, house at 59 Queens Parade and house at 54 Hodgkinsons Street (MMBW DP 1217).

Catholic Primary School, 65 Queens Parade

The first St John's school opened in 1885, held in the church for 80 children. A new school was built in 1889 by Rev. R. Collins, which became the responsibility of the Sisters of Charity in 1894 (their convent was located at the former private residence at 12 North Terrace, built 1883, converted to a convent in 1924). The 1901 Melbourne and Metropolitan Board of Works (MMBW) plan shows the earlier school building on the site, within the boundaries of the original church reserve (since demolished) (Figure 7).

The foundations for the new school were laid on 18 October 1903 by Archbishop Carr. In March 1904 Carr opened a timber building to serve as a temporary school for boys. In 1906, the existing school was opened, designed by architects Kempson & Connolly and constructed by Swanson Bros (Peterson 1999:38).

Presbytery, 61 Queens Parade (and former presbytery at 54 Hodgkinson Street)

When Clifton Hill became a separate parish in 1885 a temporary residence was rented in Delbridge Street to serve as St John's presbytery (Peterson 1999:40). Later, a cottage adjoining the rear of the church property was purchased, which appears to have been 54 Hodgkinson Street (see Figure 7). The Sands & McDougall Directories confirm that no. 54 was occupied by Rev. R. Collins by 1892, and by subsequent clergy until c1914. By 1920 the house at 54 Hodgkinson Street served as a Roman Catholic music school and by 1930 also a library (S&Mc).

The current two-storey presbytery fronting Queens Parade opened on 2 August 1914 by Archbishop Mannix (Peterson 1999:40). The architect is not known.

A cast iron palisade fence with a bluestone plinth and pedestrian and vehicular gates remains along the front boundary of the church, school and presbytery.

St John's Parish Hall (former)

The foundation stone for St John's Parish Hall on the corner of Queens Parade and Wellington Street was laid on 2 September 1917 by Archbishop Mannix and the building constructed in 1917-18 (Ward 1995:474).

The building replaced four earlier brick shops owned by the church, which were evident on the 1896 MMBW plan (Figure 7). The new hall was designed with four shopfronts to Queens Parade, flanking the main entrance to the hall to the rear (Peterson 1999:40; Ward 1995:474).

The hall was designed by architect C. W. Vanheems and opened by the Apostolic Delegate, His Excellency Archbishop Caltaneo on 18 April 1918. In the same year it was leased by Robert McLeish to show films and became an early silent movie theatre. McLeish was a notable figure in the film industry in Victoria – he operated the Northcote, Austral in Collingwood, Rivoli's in Camberwell and East Malvern, and Regal in Hartwell, operating as Junction Theatre Pty Ltd. In 1923 McLeish was president of the Victorian Exhibitors' Association and, previously, of the Green Room Club (Peterson 1999:40).

By 1919-20, the property was owned by the Trustees of the Clifton Theatre (Ward 1995:474). From 1920 that Sands & McDougall Directories note occupants of the four shops (addressed as nos. 79, 81, 85 & 87), including Percy Roberts a confectioner (who remained at no. 79 for many years), a boot shop, estate agent and hairdresser. Clifton Picture Theatre was listed at 83 Queens Parade.

In 1921, Hoyts Pictures took over the lease but attendance fell by 1929. In 1932 McLeish installed sound equipment and re-opened the Clifton Picture Theatre. The hall later became an early specialist ethnic cinema and in 1965 World Film Distributors converted the Clifton into an Italian language cinema. Fire severely damaged the interior in August 1970 and after refurbishment, the Cinema Italia re-opened on 21 December 1970. The cinema closed in 1983. In 1999 the hall and fly gallery at the rear were demolished (Peterson 1999:40). In 2017 the building bears the name Aikenhead Hall.

Other church land adjacent to the complex

The church purchased 55 Queens Parade in 1975 (now a carpark; part of 57-59 Queens Parade) and the Victorian house at 57-59 Queens Parade in 1993. In 2011, 57-59 Queens Parade was transferred into the ownership of The Salesian Society (Vic) Inc (LV:V6829/F712; V7097/F318).

Description

The complex of buildings at St John the Baptist Roman Catholic Church is located on a large site at the intersection of Queens Parade and Wellington Street, Clifton Hill. This site has a rear frontage to Hodgkinson Street. Fronting Queens Parade, from the west are the presbytery, church, school and the former hall at the corner of Wellington Street. An associated house is located to the south of the site, facing Hodgkinson Street.

Church

Facing Queens Parade, the church is a bluestone building with freestone dressings, designed in a Decorated Gothic style (see Figure 8). It comprises a six-bay nave, with clerestorey windows, side aisles and a tall tower with spire to the front north-west corner. Aisle and clerestorey windows are generally triple lancet with intersecting tracery, and the main front window contains four lancets with an oculus above. A front portal is of elaborately carved freestone with side pinnacles and a bas-relief tympanum. The spire rises from a three stage, buttressed tower with lancet windows and a pierced parapet, and is supported by flying buttresses at the angles. Four corner chapels, two side porches, a sacristy and octagonal Lady Chapel complete the composition.

The church contains several important stained glass windows including works by Ferguson and Urie and Hardman of Birmingham, and the gallery contains the largest Fincham organ (1924) to survive intact in Melbourne (Figure 9).

A cast iron palisade fence on a bluestone base lines the Queens Parade frontage of the church and adjacent presbytery and school.



Figure 8. Church and presbytery (right of church) (GJM Heritage, July 2017).



Figure 9. The 1924 Fincham organ in the church (Organ Historical Trust of Australia).

Presbytery

St John's Presbytery is a two-storey Federation Bungalow house, built of red brick with roughcast render contrast and a slate roof (see Figure 8). The main roof is hipped with small top gablets and two secondary gabled bays facing the front (Queens Parade) and the side. The hipped roof continues over a two storey, L-shaped verandah which runs between these gabled bays. This verandah has a timber (or shingled), bellcast upper balustrade and large semi-circular arcading below.

School

St John's Catholic School is a two-storey red brick building with slate roof, designed in a Gothic Tudor style (see Figure 10). Facing Queens Parade, the front façade is symmetrical and of tripartite composition with recessed central bay, containing a pedimented entrance with crocket, cusped fanlight and embossed name. Flanking side bays have gabled parapets containing oculi. Heavy buttresses divide the façade into seven bays containing rectangular windows with flat label moulds at ground level and pointed segmental-headed windows with label moulds above. Central eaves are lined with a stylised dentilled moulding and the transverse hipped roof has terracotta ridging and finials.

Parish Hall (former)

St John's Parish Hall originally consisted of four shops in Queens Parade which flanked the entrance to a rear hall/theatre. Although the rear hall/theatre has been demolished, the four shops and hall entrance remain on the Queens Parade frontage.

The remaining structure is a two-storey red brick triangular building with rendered dressings, designed in a Federation Free Style. The composition of the main Queens Parade façade is of five parts, with three canted oriel windows at first floor level and pairs of arch-headed windows inbetween. The façade is articulated with pilasters, stringcourse and cornice line, and the plain parapet is broken with two curved sections. The central bay contains the entrance to the former hall/theatre and presently bears the name 'Aikenhead Hall'. The façade continues along Wellington Street with repetition of detailing such as the stringcourse, cornice line, simple parapet and arch-headed windows at first floor level. Modifications have been made to the shopfronts however tiling, and the form of some shopfronts, have been retained.



Figure 10. Former Parish Hall (left) and School (right) (GJM Heritage, July 2017)

Former presbytery (54 Hodgkinson Street)

The Former St John's Presbytery is a single-storey Victorian brick (?) house with a substantial red brick parapeted addition to the Hodgkinson Street frontage, dating c1920s-30s. This addition has a terracotta tiled gable roof and rendered wall and three rectangular double-hung windows facing the school yard to the east. The general form of the original house has been retained however it appears that modifications were made to the fabric at the time when the large addition was constructed, including re-roofing with terracotta tiles to match the addition.



Figure 11. Former presbytery (Google, Dec 2016)

Integrity

St John the Baptist Roman Catholic Church Complex retains a very high degree of integrity to the early twentieth century in fabric, form and detail. This is particularly apparent at the church, school, presbytery and the remaining section of the hall building. While these buildings have undergone some alterations to various degrees – including demolition of the hall/theatre behind the shops in Queens Parade - these do not diminish the ability to understand and appreciate the place as a highly intact example of a church complex.

The former presbytery at 54 Hodgkinson Street has undergone additions and alterations in the 1920s/1930s and this building has a lesser degree of integrity, however the form of the earlier building can be understood and appreciated.

Comparative Analysis

St John the Baptist Roman Catholic Church Complex comprises a church, school, presbytery, hall and former presbytery building on a single site in Queens Parade, Clifton Hill. These buildings were constructed in the period from 1876 to 1918 and they remain to form a fine complex of church buildings in the City of Yarra.

A large number of churches dating from the late nineteenth and early twentieth centuries remain in the City of Yarra, however fewer complexes of church buildings remain. Church complexes in the Heritage Overlay of the Yarra Planning Scheme include:

- St Joseph's Roman Catholic Church Complex, Otter Street, Collingwood (HO117-HO120)
- St Brigid's Roman Catholic Church, 378 Nicholson Street, North Fitzroy (within North Fitzroy Precinct HO327)
- St Bartholomew's Church Complex, 290-300 Burnley Street, Richmond (HO236).

St Joseph's Roman Catholic Church Complex, Otter Street, Collingwood

St Joseph's Roman Catholic Church Complex comprises the following buildings:

- Church (1861, completed 1875 and 1891)
- School (1886), converted to a hall after construction of new school buildings
- Presbytery (1903)



- School (1904 and 1912) (Petersen).

These are all included in the City of Yarra Heritage Overlay (with separate overlay numbers HO117-HO120) as buildings of individual significance.



Figures 12-15. Former St Joseph's Catholic Church (after fire), presbytery, school and former school (Victorian Heritage Database)

St Brigid's Roman Catholic Church, 378 Nicholson Street

St Brigid's Roman Catholic Church Complex comprises the following buildings:

- Church (1870, enlarged 1881 and 1885)
- Presbytery (c1880/90)
- School (c1870/90).



Figures 16-18. St Brigid's Catholic Church, presbytery and school (Victorian Heritage Database)

St Bartholomew's Anglican Church Complex, 290-300 Burnley Street, Richmond

This church complex comprises the following buildings, all constructed in 1925-26 to designs by Gawler and Drummond:

- Church
- Hall
- Vicarage.



Figure 19. St Bartholomew's Anglican Church Complex (Victorian Heritage Database)

Summary

Like the places listed above, the St John the Baptist Roman Catholic Church Complex retains a highly intact group of church-related buildings. These buildings display a range of characteristics that have associations with a range of periods and architectural styles and remain highly intact to demonstrate these associations.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (July 2015).

Criterion A: Importance to the course or pattern of our cultural or natural history (historical significance).

St John the Baptist Roman Catholic Church Complex, 61-87 Queens Parade, Clifton Hill is a large and intact group of religious buildings, including a church, school, presbytery, hall/shops and former presbytery. This group of buildings is illustrative of a large suburban parish, with place of worship and associated educational and community facilities, established from the late nineteenth century through to the twenty-first century.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).

St John the Baptist Roman Catholic Church Complex, 61-87 Queens Parade, Clifton Hill is a fine, intact and representative example of a religious complex. It contains buildings from the Victorian and Federation periods which display typical characteristics of a range of styles, including the Victorian Decorated Gothic style of the late nineteenth century (church) and the Gothic Tudor (school), Bungalow (presbytery) and Free Style (hall) of the Federation period.

Criterion E: Importance in exhibiting particular aesthetic characteristics (aesthetic significance)

St John the Baptist Roman Catholic Church Complex, 61-87 Queens Parade, Clifton Hill is a well-considered and carefully detailed complex of church buildings. The church is a richly composed bluestone building with freestone dressings, designed in a Decorated Gothic style. The soaring church spire is a prominent landmark in the Clifton Hill/Fitzroy North area. The church contains several important stained glass windows including works by Ferguson and Urie and Hardman of Birmingham. The school building is an imposing two-storey red brick building, designed in a Gothic Tudor style, and the former Church Hall is a carefully composed two-storey red brick triangular building, designed in a Federation Free Style.

Grading and Recommendations

It is recommended that the St John the Baptist Roman Catholic Church Complex, 61-87 Queens Parade, Clifton Hill, be removed from HO330 Queens Parade Precinct and included in a site-specific Heritage Overlay in the Yarra Planning Scheme in recognition of its significance as an individual heritage place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Yarra Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	Yes – Church only as it relates to the Fincham Organ
Tree Controls?	No
Outbuildings or Fences not exempt under Clause 43.01-3?	Yes – Queens Parade fence only
Prohibited Uses Permitted?	Yes
Incorporated Plan?	No
Aboriginal Heritage Place?	No

Extent of the recommended Heritage Overlay

To the property title boundary, as indicated by the polygon on the aerial below.





Peterson, Richard (1999), *Brimstone to Bunyip: churches of Collingwood, Clifton Hill and Abbotsford, 1852-1999*, Abbotsford [Vic].

Sands & McDougall Directories (S&Mc).

Appendix D: Former Fire Station (No.11) Heritage Citation



Heritage Citation

FIRE STATION NO. 11 (FORMER)

Address: 662 Smith Street, Clifton Hill

Prepared by: GJM Heritage

Date: August 2017

Place type: Fire station	Architects: Not known
Grading: Individually significant within HO317	Builder: Not known
Integrity: Very High	Construction Date: 1884



Figure 1. Former Fire Station No. 11 at 662 Smith Street, Clifton Hill



Statement of Significance

What is significant?

The Former Fire Station, 662 Smith Street, Clifton Hill, built in 1884 as the Clifton Hill Temperance Fire Brigade.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing
- The building's high level of integrity to its original design.

Later alterations and additions are not significant.

How is it significant?

The Former Fire Station, 662 Smith Street, Clifton Hill is of local historical and architectural significance to the City of Yarra.

Why is it significant?

The Former Fire Station, Clifton Hill is of historic significance as an early and rare example of a suburban fire station which pre-dated the establishment of the Metropolitan Fire Brigade (created through the *Fire Brigades Act 1890*). The building demonstrates the period of voluntary fire brigades established prior to the formalisation of the metropolitan fire service (Criterion A & B).

The Former Fire Station, Clifton Hill is a fine and representative example of a suburban fire station. The large arch-headed driveway entrance with panelled doors, and adjacent office entry at street level, are features that clearly demonstrate the use of the building as a nineteenth century fire station (Criterion D).

Historical Themes

The place illustrates the following themes as outlined in the *City of Yarra Thematic History* (1998):

5 Local Council and Council Services

- 5.2 Civic Buildings

Thematic context

The first known fire brigade in Melbourne was the Volunteer Melbourne Fire Prevention Society, which was established in 1845. Over the years a number of volunteer brigades were formed, bearing the names of insurance companies, municipalities and other institutions such as the Carlton Brewery and the Fitzroy Temperance. By 1890 there were 56 such volunteer brigades. The *Melbourne Fire Brigades Act 1890* led to the establishment of the Melbourne Fire Brigade and the disbanding of these groups in 1891, although they were invited to join the newly created Melbourne Fire Brigade.

Fire stations have historically been situated all over what is now the City of Yarra, classed as 'A District' and 'B District'. There were four 'B District' stations: No. 10 was located on Hoddle Street, Abbotsford (opened 1891, closed 1966); No. 16 on Somerset Street, Burnley (opened in 1907 and closed in 1916); No. 17 in Lord Street, Richmond (opened 1893, replaced by a new station in Church Street in 1966); and No. 11 was located at 662 Smith Street, Clifton Hill. The reel shed for all these stations was behind the Richmond Town Hall (Allom Lovell 1998: 56).

Place history

The *Fitzroy City Press* reported on 13 December 1884 (13 Dec 1884:3) that the 'recently formed Clifton Hill Temperance Fire Brigade formally opened their new station on Thursday last', 'erected on a piece of ground with a frontage of 19 feet to Smith-street and a depth of 90 feet.' The station was 'constructed of

brick, and has cost, including the ground, about £300.' Mr S. Mauger was noted as the Superintendent of the brigade and Mr J. Trovena the Captain.

A photo dating to 1893 showed a hose cart and firemen in front of the Clifton Hill Fire Station (Figure 2). An annotation listed each fireman's name and W. A. Griff as Officer in Charge. The 1901 Melbourne and Metropolitan Board of Works (MMBW) plan shows the building with a vehicular entrance off Smith Street and outbuildings to the rear of the building (Figure 3). Stables appear to have been located at the rear of the main building. An oblique aerial dating to c1925-c1935 showed the façade during this period (Figure 4).

An article published in the *Fitzroy City Press* in March 1913 (8 Mar 1913:3) reported on the impending closure of the Clifton Hill Fire Station on Smith Street, near Queen's Parade, along with 'several others within the suburban radius'. Headquarters were to move to the St George's Road, North Fitzroy station.

The facade of the building has been recently restored and the paint removed from the brickwork.



Figure 2. Clifton Hill Fire Station in 1893 (SLV Image H8738).



Figure 3. The footprint of the building and outbuildings at 662 Smith Street in 1901 (MMBW DP 1271).



Figure 4. Detail of a c1925-c1935 oblique aerial showing 662 Smith Street (green arrow) (SLV Image H91.160/447).

Description

The Former Fire Station, 662 Smith Street, Clifton Hill is one of a row of two-storey buildings situated on the east side of Smith Street. It is flanked by a row of five two-storey Victorian commercial premises to the south and a recent commercial building to the north. There are no front or side setbacks.

The facade of the fire station is of tuckpointed, polychromatic brickwork with the main body of brown brick, bands of red brick and cream brick window voussoirs. An elaborate rendered parapet above contains a central raised balustraded section and flanking sections comprised of circular motifs. Four urns sit atop dividing pedestals and the whole parapet is supported on pairs of rendered consoles. The upper façade contains three rectangular double hung windows with chamfered reveals and a row of decorative tiles laid within a red brick band.

The façade at street level contains two arch-headed openings of unequal size, breaking the symmetry of the upper façade. The large flat-arched opening contains four doors with glazed top panels and the

adjoining semi-circular arched opening contains a single panelled door with glazed fanlight. A tiled red brick band, matching that of the upper façade, forms an impost for cream brick voussoir arches which frame both openings.

Integrity

The building retains a high degree of integrity to the Victorian period in fabric, form and detail. While the building has undergone some alterations – including to the rear – these do not diminish the ability to understand and appreciate the place as a highly intact example of a Victorian fire station.

Comparative Analysis

Built in 1884 by the Clifton Hill Temperance Society, this fire station pre-dates the establishment of the Metropolitan Fire Brigade in Melbourne. It is an early, rare and intact example of a volunteer fire brigade building in the City of Yarra.

A small number of fire station buildings are included in the Heritage Overlay of the Yarra Planning Scheme and these all date from the period after the establishment of the Metropolitan Fire Brigade in Melbourne. They include:

- Former Carlton Metropolitan Fire Station, 131 Amess Street, Carlton North
- Former Fire Station, 131 Lord Street, Richmond
- Former Richmond Metropolitan Fire Station, 154 Somerset Street.

Former Carlton Metropolitan Fire Station, 131 Amess Street, Carlton North (included in North Carlton Precinct HO326)

This fire station was opened as the No 7 station in 'A District' in 1893, soon after the introduction of the *Melbourne Fire Brigades Act 1890* and the subsequent establishment of the MFB. It was subsequently closed in 1915 (Allom Lovell & Associates (1998), *City of Yarra Heritage Review Thematic History*: 56).

This simple two-storey parapetted, red brick and render (overpainted) building is considered to contribute to the North Carlton Precinct (HO326) as a building of individual significance.



Figure 5. Former Carlton Metropolitan Fire Station (Google Maps)

Former Fire Station, 131 Lord Street, Richmond (HO274)

This fire station was built as the No 16 station in 'B District' in 1893 to designs by prominent Melbourne architect J A B Koch, soon after the introduction of the *Melbourne Fire Brigades Act 1890* and the

subsequent establishment of the Metropolitan Fire Brigade. It was replaced by a new fire station in Church Street in 1966 (Allom Lovell & Associates (1998), *City of Yarra Heritage Review Thematic History*: 56).

Located in a predominantly residential location, this two-storey late Victorian red brick domestic-scaled building is considered to have historical and architectural significance to the City of Yarra. The exterior of the building remains largely intact.



Figure 6. Former Fire Station, Richmond (Google Maps)

Former Richmond Metropolitan Fire Station, 154 Somerset Street (HO404)

This fire station started operation as the No 16 station in 'B District' in 1907 and was possibly designed by Melbourne architect Percy Oakden, who was appointed architect to the Metropolitan Fire Brigade in 1899 (City of Yarra Citation for HO404). It is a two-storey building with gabled residential wing and attached first floor balcony that is considered to have historical and architectural significance to the City of Yarra.

Alterations have been made to the building (including the replacement of main entry doors) however it is considered to remain recognisable as a former fire station.



Figure 7. Former Richmond Metropolitan Fire Station (Google Maps)

Fire Station No 11, 662 Smith Street, Clifton Hill predates these examples and, in contrast, was built as a voluntary fire station in the City of Yarra before 1890. Similar to these examples, Fire Station No 11 retains its large carriageway and prominent driveway entrance.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (July 2015).

Criterion A: Importance to the course or pattern of our cultural or natural history (historical significance).

The Former Fire Station, Clifton Hill is of historic significance as an early example of a suburban fire station which pre-dated the establishment of the Metropolitan Fire Brigade (created through the *Fire Brigades Act 1890*).

Criterion B: Possession of uncommon, rare or endangered aspects of our cultural or natural history (rarity).

The Former Fire Station, Clifton Hill is of significance as a rare example of a suburban fire station which pre-dated the establishment of the Metropolitan Fire Brigade (created through the *Fire Brigades Act 1890*). The building demonstrates the period of voluntary fire brigades established prior to the formalisation of the metropolitan fire service (Criterion B).

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).

The Former Fire Station, Clifton Hill is a fine and representative example of a suburban fire station. The large arch-headed driveway entrance with panelled doors, and adjacent office entry at street level, are features that clearly demonstrate the use of the building as a nineteenth century fire station (Criterion D).

Grading and Recommendations

It is recommended that the place be included in HO317 of the Yarra Planning Scheme as an individually significant heritage place.

Identified by:

Graeme Butler and Associates (2007, 2013), *City of Yarra Review of Heritage Overlay Areas*

Clifton Hill Fire Brigade Station at 662 Smith Street is listed in Appendix 8 (revised 2017) as contributory to the Clifton Hill Western Precinct (HO317).

GJM Heritage (2017), *Queens Parade Built Form Review*.

References:

Allom Lovell & Associates (1998), *City of Yarra Heritage Review Thematic History*.

Fitzroy City Press [Vic.]

Melbourne and Metropolitan Board of Works (MMBW) Detail Plan No. 1271 (1901).

Melbourne Fire Brigade, 'Our History', <<http://www.mfb.vic.gov.au/>>, accessed 16 August 2017.

State Library of Victoria (SLV), photo collection.

Appendix E: Former Doctor's Surgery & House Heritage Citation

Heritage Citation

DOCTOR'S SURGERY AND HOUSE (FORMER)

Address: 105 Queens Parade, Clifton Hill

Prepared by: GJM Heritage

Date: September 2017

Place type: Doctor's surgery, residence	Architect: Not known
Grading: Individually significant within HO330	Builder: Not known
Integrity: Very High	Construction Date: c1915



Figure 1. 105 Queens Parade, Clifton Hill (GJM Heritage, September 2017).

Statement of Significance

What is significant?

The Former Doctor's Surgery and House, 105 Queens Parade, Clifton Hill, built c1915.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing
- The building's high level of integrity to its original design.

Later alterations and additions to the rear are not significant.

How is it significant?

The Former Doctor's Surgery and House, 105 Queens Parade, Clifton Hill is of local architectural and aesthetic significance to the City of Yarra.

Why is it significant?

The Former Doctor's Surgery and House, 105 Queens Parade, Clifton Hill is a fine and representative example of a Federation house with combined use as a doctor's surgery. It displays typical features of the Federation Arts and Crafts architectural style popular in the first decades of the twentieth century in Clifton Hill and across Melbourne more broadly, including roughcast walls and chimney, both hip and gable roofs, prominent exposed rafters and projecting window bay with fishscale shingle cladding (Criterion D).

The Former Doctor's Surgery and House, 105 Queens Parade, Clifton Hill is a well-considered and carefully detailed example of a Federation Arts and Crafts house. The design, with main hipped roof, prominent front bay and central chimney, presents a picturesque composition of this architectural style, particularly within the commercial context of Queens Parade (Criterion E).

Historical Themes

The place does not illustrate a theme from the *City of Yarra Thematic History* (1998). The place does illustrate the following themes from the *Victorian Framework of Historical Themes* (2010):

8 Building community life

- 8.3 Providing health and welfare services

Place history

The 1901 Melbourne and Metropolitan Board of Works (MMBW) plan indicates that an earlier building and outbuildings, including stables, existed on the site at that time (Figure 2). The Sands & McDougall Directories listed residents at 105 Queens Parade until 1911 when Alfred L. Bishop, cartage contractor, was listed at the address until 1914 (S&Mc). No. 105 was omitted from the Sands & McDougall Directories in 1915, and was listed again in 1916, now occupied by Forbes Mackenzie, physician and surgeon. This strongly suggests that the existing building was constructed in 1915 to serve as a doctor's surgery and residence. Analysis of the architectural style of the building supports this construction date.

A notice in *The Argus* in April 1916 reported that Dr Forbes Mackenzie now practiced at both Clifton Hill and 58 Collins Street (*Argus*, 1 Apr 1916:18). The 1916 electoral rolls confirmed that John Forbes Cock Mackenzie, medical practitioner, also resided at 105 Queens Parade, Clifton Hill. Dr John Forbes Mackenzie occupied 105 Queens Parade until his death 1970 (at the age of 90 years old); Directories confirm that to c1960 Forbes Mackenzie, surgeon occupied 105 Queens Parade, and in 1970 F. Mackenzie, surgeon, was listed (S&Mc; *Argus*, 11 Jul 1921:1; 17 Mar 1943:6; PROV).

In 1940, artist Max Meldrum was awarded the Archibald prize for a painting of Dr J. Forbes Mackenzie (*Argus*, 22 Jan 1941:1). John Forbes Mackenzie was a senior consulting surgeon at St Vincent's Hospital in Melbourne (dates not known) (NLA). In 2017 the building serves as a chiropractic clinic.

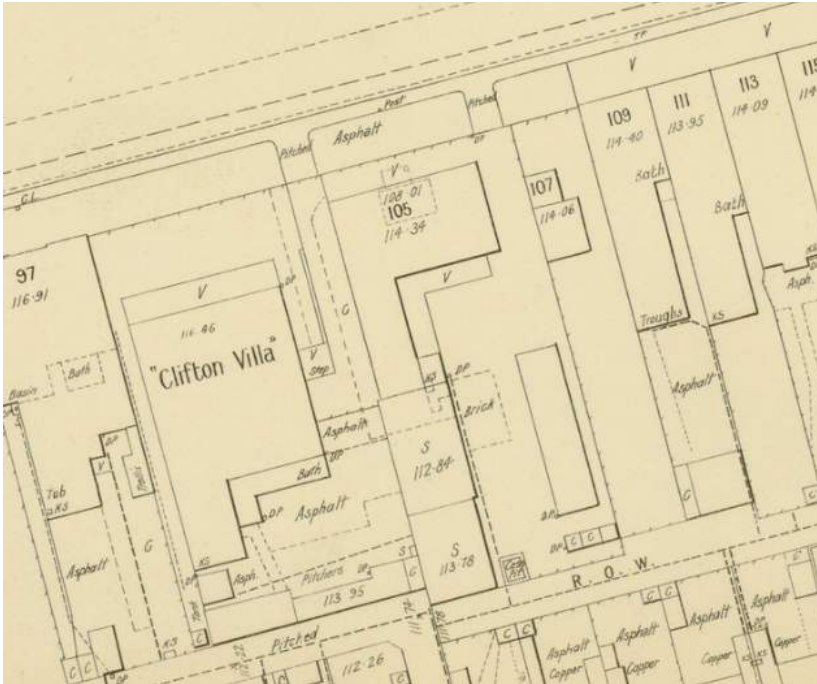


Figure 2. The 1901 MMBW shows an earlier building on the site at 105 Queens Parade (MMBW DP 1217).

Description

The Former Doctor's Surgery and House, 105 Queens Parade, Clifton Hill, is located within a commercial row of buildings which front a service road on the south side of Queens Parade. Unlike the flanking premises, the building has a side setback on the west side and a front setback with low fence of rendered masonry piers and ironwork panels and gate.

Designed in a Federation Arts and Crafts style, the two-storey red brick (overpainted) building is of domestic appearance. The upper façade, above a prominent stringcourse, is of roughcast render and the roof is clad with terracotta tiles. The roof form comprises a front transverse hip, longitudinal rear hip and gable-ends to both the front and rear. Asymmetrically composed, the front façade has a projecting side gable to the east with double-storey rectangular window bay and fishscale shingle cladding, and a smaller projecting hipped bay to the west. Rafter ends are exposed, windows are of simple rectangular form and the recessed central bay contains a corbelled chimney breast at first floor level and plain rendered chimney above. A side entrance is located on the west side of the building.

Integrity

The building retains a high degree of integrity to the Federation period in fabric, form and detail. While the building has undergone some alterations, including overpainting of the exterior brick and render walls, these do not diminish the ability to understand and appreciate the place as a highly intact example of a Federation Arts and Crafts house.

Identified by:

Graeme Butler and Associates (2007, 2013), *City of Yarra Review of Heritage Overlay Areas*

'House also doctor's surgery' at 105 Queens Parade is listed in Appendix 8 (revised 2017) as individually significant to the Queens Parade Precinct, North Fitzroy/Clifton Hill (HO330). No Statement of Significance provided.

GJM Heritage (2017), *Queens Parade Built Form Review*.



References:

Australian Electoral Roll, Division of Batman, Subdivision of Clifton Hill, 1916, page 60.

Melbourne and Metropolitan Board of Works (MMBW) Detail Plan No. 1217 (1901).

National Library of Australia (NLA), catalogue entry for 'John Forbes Mackenzie'.

Public Records Office of Victoria (PROV), online will & Probate listing for John Forbes Cock Mackenzie VPRS 7591/P4 unit 121, item 704/646.

Sands & McDougall Directories (S&Mc).

The Argus.

Appendix F: Former Clifton Motors Garage, Showroom & Residence Heritage Citation



Heritage Citation

CLIFTON MOTORS GARAGE, SHOWROOM AND RESIDENCE (FORMER)

Address: 205-211 Queens Parade, Fitzroy North

Prepared by: GJM Heritage

Date: September 2017

Place type: Motor garage, motor showroom, residence	Architect: J. H. Wardrop
Grading: Locally significant	Builder: Not known
Integrity: Very High	Construction Date: 1920s, 1938-39
Recommendation: Remove from HO330 and include in a site specific Heritage Overlay	Extent of Overlay: To property title boundaries



Figure 1. 205-211 Queens Parade, Clifton Hill (GJM Heritage)

Statement of Significance

What is significant?

The Former Clifton Motors Garage, Showroom and Residence, 205-211 Queens Parade, Fitzroy North.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's 1938-39 external form, materials and detailing
- The building's high level of integrity to its 1938-39 design.

How is it significant?

The Former Clifton Motors Garage, Showroom and Residence, Fitzroy North is of local historical and architectural significance to the City of Yarra.

Why is it significant?

The Former Clifton Motors Garage, Showroom and Residence, Fitzroy North is of significance as an early motor garage constructed in a prominent location in Queens Parade, Fitzroy North. Operating as a garage and vehicle-related facility from at least the 1920s until the late twentieth century, the place demonstrates the increasing use of motor vehicles in Melbourne and suburbs, and their need for repair and service, for much of the twentieth century. The Moderne façade in particular illustrates the motoring age of the 1930s (Criterion A).

The Former Clifton Motors Garage, Showroom and Residence, Fitzroy North is a fine and intact example of a distinctive Moderne style motor garage, designed by noted architect James H Wardrop. The building displays typical features of the Moderne architectural style popular in the 1930s, including a dominant central element comprising a series of vertical fins and contrasting decorative horizontal treatment (Criterion E).

Historical Themes

The place does not illustrate a theme from the *City of Yarra Thematic History* (1998). The place does illustrate the following themes from the *Victorian Framework of Historical Themes* (2010):

3 Connecting Victorians by transport and communications

- 3.4 Linking Victorians by road in the 20th century

Place History

The 1904 Melbourne and Metropolitan Board of Works (MMBW) Detail Plan (Figure 2) shows that the land behind the United Kingdom Hotel remained vacant at this date, except for a saw mill. From the 1910s the east side of Queens Parade within this block was occupied by motor, coach, carriage and buggy related businesses. In 1920, Clifton Motors was flanked by a coach trimmer at no. 201-203 and coach and carriage builders, Empire Motor & Carriage Works at no. 213 (S&Mc). Two cast iron posts (possibly the remains of hitching posts) located on the footpath in front of the Clifton Motors building may date to this period.

Nos. 205-207 and 209-211 Queens Parade first appeared in the Sands & McDougall Directories in 1917. No. 205-207 was occupied by George H. Wheeler, asphalter, from 1917 to 1927 (S&Mc). In 1917 no. 209-211 was listed in the Sands & McDougall Directory as 'vacant'.

In 1918 and 1919, J. Markby was listed as the proprietor of the Clifton Motor Garage (S&Mc). A footprint of a proposed building for owner John Markby is shown on the March 1918 Property Sewerage Plan, adjacent to saw mills (Figure 3). In 1919, George Laity purchased 209-211 Queens Parade, which held a timber workshop. In 1921 the Laitys replaced the timber workshop, with a two-storey brick building (remains at the centre of the complex) and an adjoining building to the north – a footprint of the buildings owned by G. A. Laity & Son were shown on the Property Sewerage Plan dated October 1921 (Figure 4) (PSP; Catrice & Summerton 1997:99). In 1922, George Alfred Laity and Lindsay Laity were reported in *The Age* (22 Feb



1922:12) as having carried on 'business at the Clifton Hill motor garage, Queen's Parade'. The Sands & McDougall Directories in 1925 listed the business at 209-211 Queens Parade as George A. Laity & Son motor garage (S&Mc).



Figure 2. The vacant land and saw mill behind the United Kingdom Hotel at 199 Queens Parade in 1904 (MMBW Detail Plan No. 1264).

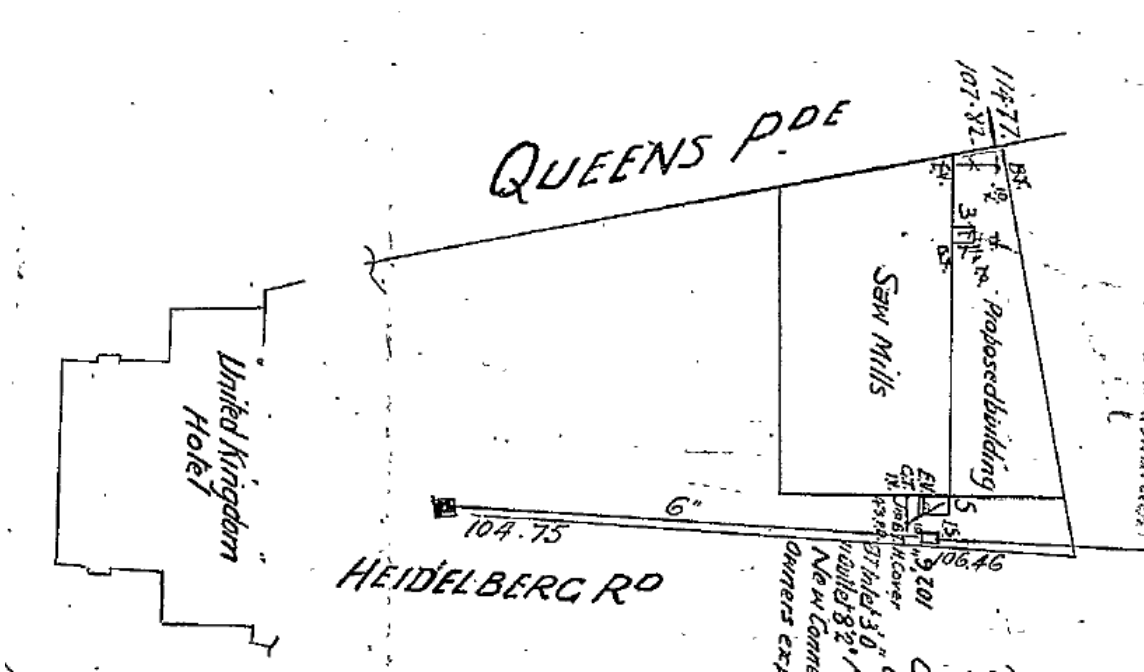


Figure 3. The site of the proposed building for owner John Markby – plans dated 1918 (PSP No. 53990).





occupant L. H. Laity by agent S. J. Howden of Surrey Hills (PSP); Howden is known to have been a plumber in 1939 (*Argus*, 28 Nov 1939:6).

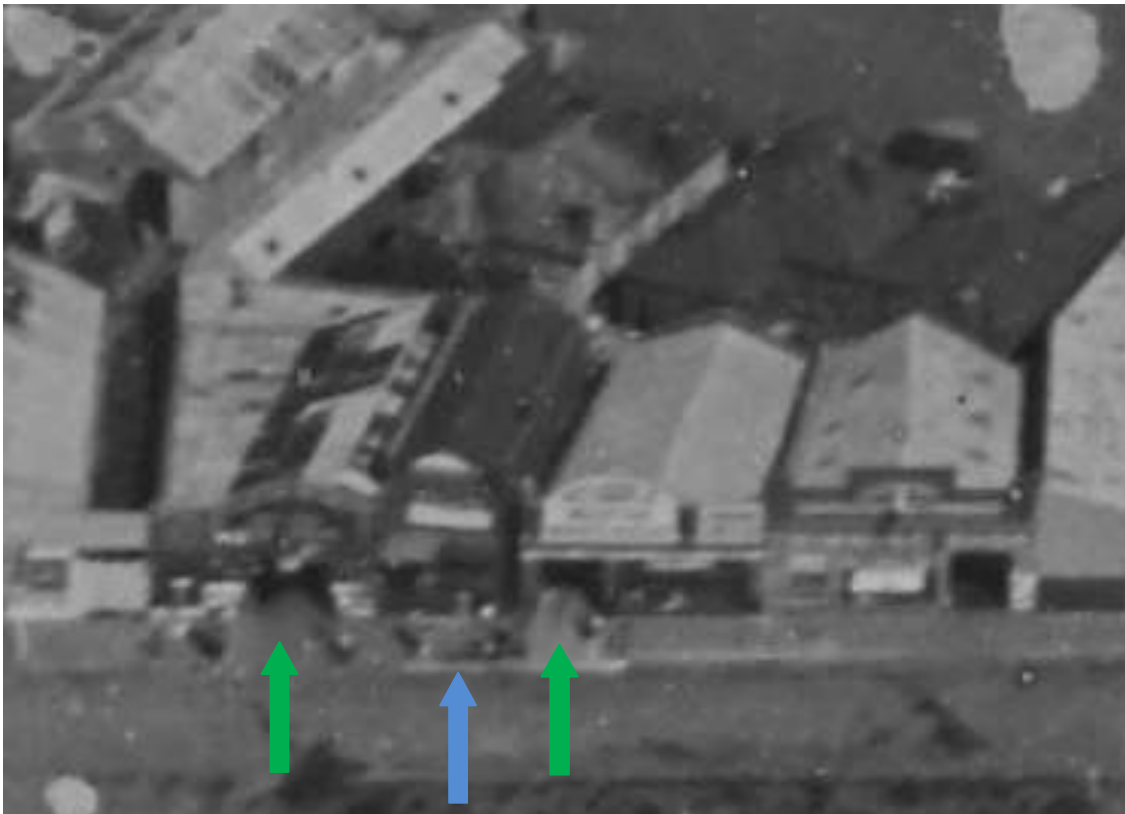


Figure 5. Detail of an aerial dating to c1927-c1937, showing the central two-storey house (blue arrow) and the flanking buildings with their driveway entrances (green arrows) (SLV Image H91.160/1611, c1925-c1940).

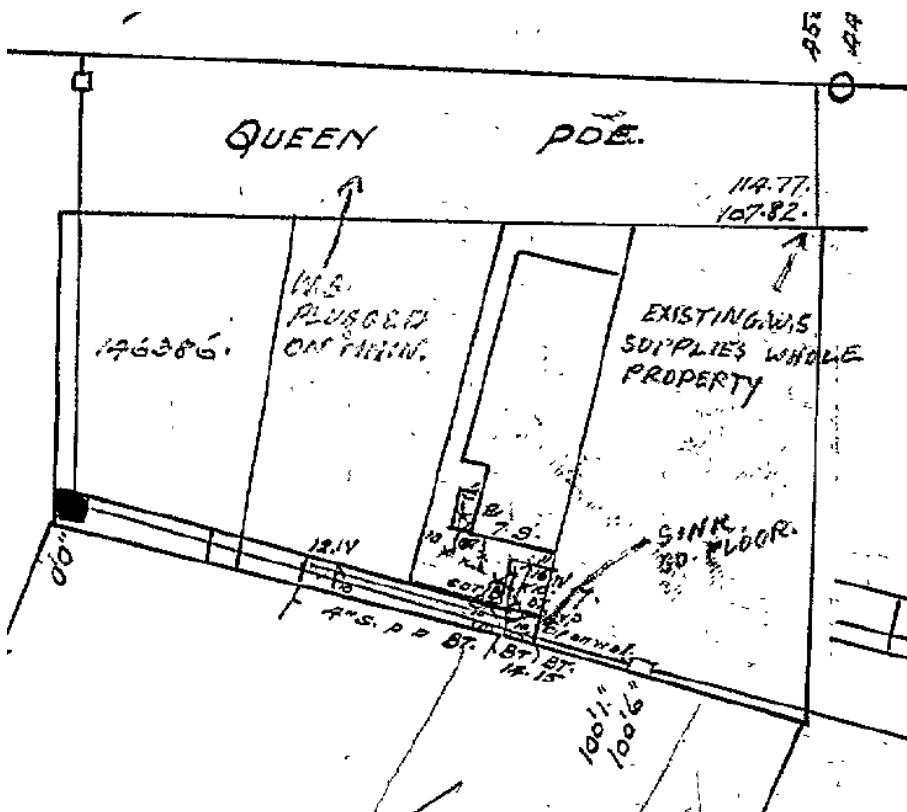


Figure 6. The property and footprint of existing buildings in 1939 – plan dated December 1939 (PSP No. 53990).

Lindsay H. Laity remained the owner of Clifton Motors Pty Ltd showroom and garage until 1944, before Edwin McKeown became the proprietor in 1945 (RB; Catrice & Summerton 1997:99). In 1949, George Alfred Laity and Lindsay Harold Laity (motor engineer) both resided at 454 Queens Parade, opposite the garage (AER).

In April 1954, Clifton Motors addressed at 205 Queens Parade, was advertised for sale by auction. The property was described as a 'garage, service station and mod flat', a 'lucrative old established business, one of the best of its kind in the Nthn district' (*Age*, 3 Apr 1954:31). Rate books indicate that R. Bayford Pty Ltd had purchased the building prior to this sale ad in 1953, with McKeown remaining the occupant (Catrice & Summerton 1997:99). In August 1954, Bayford Motors advertised at 205 Queens Parade (*Argus*, 14 Aug 1954:38). A 1955 ad for Bayfords, 'Melbourne's oldest and most experienced Ford dealers', noted locations at Clifton Hill and 75 Victoria Parade, Fitzroy (Figure 7). In 1955 the property was modified (details not confirmed, but appear to be internal as the façade remains intact in 2017). Bayford sold to Tru-Mould Tyre Service in 1964 (Catrice & Summerton 1997:99). From the mid-2000s the place served as a restaurant, and in 2017 is vacant.

FOR 37 YEARS FORD AND BAYFORD'S HAVE BEEN SYNONYMOUS WITH SERVICE

Ford's the fashion!

Today Bayford's proudly present the New Ford V8 Customline

Now, more than ever, you'll want to step up to Customline — at

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MELBOURNE'S OLDEST AND MOST EXPERIENCED FORD DEALERS

Showrooms at 75 Victoria Parade, Fitzroy — JA 1128 and 205 Queen's Parade, Clifton Hill

Never in 37 years' association with Ford, has Bayford's had greater pride in introducing a model than it has in presenting this entirely new Ford V8 Customline Sedan. This is a car which is "new from tyre to top." Its distinguished new styling has changed the many other features, the new front grille, the wider wrap-around windshield and the smart jetable tail-light. Ford's exclusive ball-joint suspension makes Customline's "Mileage Rider" even smoother and sturdier. Ford engineers have produced a new overhead-valve, "V" block V8 engine which runs more smoothly, more economically and gives longer engine-life, and class is proud representative because of the new "Tipper-Torque" power. See the new Customline at Bayford's. We invite you to test-drive and value check — and see for yourself why "Ford's the fashion."

Figure 7. A 1955 ad for Bayfords Motors, located at 205 Queens Parade, Clifton Hill and 75 Victoria Parade, Fitzroy (*Argus*, 28 Jul 1955:42).

Motor garages and showrooms

The following is taken from Robin Grow's *Melbourne Art Deco* (2014:99-100):

Speed and Art Deco styling: what a wonderful combination! 'Faster! Faster!' became the catchcry of the Art Deco period, as the world rushed headlong into the Jet Age...

The automobile was the future and became sleeker and faster as body shapes were rounded, running-boards disappeared, and extrusions (such as headlights and spare tyres) incorporated into the body work. The rise of the automobile transformed the layout and form of cities around the world. Cars had to be serviced, refuelled, repaired and stored and a number of new building types, including service stations,

showrooms, repair shops, parking garages and entrances to road tunnels, emerged to service the motor industry. They represented an opportunity for architects to produce some advanced and highly stylish designs...

Glamorous and elegant showrooms were constructed to meet the growing needs of an intensely competitive motor market and were adorned with Modernistic forms and detailing designed to show the shiny vehicles at their very best. Melbourne's most impressive was Melford Motors (1936), designed by prolific architect, Harry Norris, for the Ford Company ... located on a prominent corner site on wide Elizabeth Street... A prominent example was Clifton Motors in Queens Parade, Clifton Hill, designed by James Wardrop.

J. H. Wardrop, architect

James Hastie Wardrop (1891-1975) formed a partnership with Philip Hudson (1887-1952) c1919. Early commissions included the St Kilda Army & Navy Club in Acland Street, St Kilda (1923) and the Members' Luncheon Room at the Moonee Valley Racing Club (1923). In 1924, Hudson and Wardrop won first prize in the international competition for the design of the national war memorial, Melbourne's Shrine of Remembrance (completed in 1934), which became the city's most important public monument. In 1929 the firm was joined by Kingsley Ussher (1899-1973) (Statham 2012:34), however, the firm dissolved in 1932 (*Argus*, 30 Sep 1932:1).

Wardrop continued to practice and completed a range of commissions, the most notable of which were Moderne in style. Key Moderne examples are Alkira House at 18 Queen Street, Melbourne (1936-37; HO729, VHR H397), the former United Kingdom Hotel at 199 Queens Parade (1938; HO92, VHR H684), and the former Clifton Motors Garage and Showrooms at 205-211 Queens Parade, Clifton Hill (1938-39). In 1939 Wardrop is also known to have remodeled the Orrong Hotel in Armadale (*Construction*, 5 Apr 1939:20). Known residential commissions were Zaneth Manor at 33 Brighton Road, St Kilda (1930; HO7); 24 Murchison Street, St Kilda East (1933; HO391); 4A Meredith Street, Elwood (c1934; HO365); the flats at 125-135 Mooltan Street, Travancore (1939; HO133) and later, the house at 28 Carmichael Street, Hamilton (1956).

Description

The Former Clifton Motors Garage, Showroom and Residence is located on the south-east side of Queens Parade, Clifton Hill, near the northern end of Hoddle Street. The complex comprises three gable roofed buildings and a two-storey façade which was applied across the Queens Parade frontage.

Designed in a Moderne style, the front façade is symmetrically composed about a central vertical element, with flanking parapetted horizontal wings. Strong horizontal and vertical lines dominate the composition with horizontal bands of cream and slim dark glazed brick, large signage panels and curved, ribbed concrete elements, contrasting with a vertical group of three tall rendered fins which rise from the centre of the façade. Square brown glazed tiles line both the lower façade and the vertical elements that flank the central concrete fins.

The tripartite facade corresponds to three earlier buildings behind – a central residence, showroom to the right and garage to the left. At street level the façade contains three banks of windows, two large openings and a pair of entrances with cream tiled frames and curved cantilevered hoods. Openings retain glazed brick sills and tiled reveals, but windows have been replaced. At first floor level, the dominant central element is flanked by large, brick-framed signage panels set in the brick façade and a simple banded parapet of horizontal ladder-form brown brick.

The forms of the pre-1938 brick buildings, behind the front façade, are clearly evident from the rear of the property. These structures include a central, two-storey red brick building with terracotta tiled gable roof (former house) and flanking buildings with steel clad roofs.

Two cast iron posts (possibly hitching posts, but missing hitching hooks) remain on the footpath at the north and south ends of the building. The south post has the top section detached. The northern post has been broken.



Figure 8. The two cast iron posts, possibly hitching posts. Left is the more intact post in front of the south end of the building. Right is the remains of the post at the north end of the building (GJM Heritage, September 2017).

Integrity

The front façade of the building retains a very high degree of integrity to its Interwar period of construction and to its former use as a motor garage, in fabric, form and detail. While the facade has undergone some minor alterations to windows, these do not diminish the ability to understand and appreciate the place as a highly intact example of a Moderne style Interwar building and former motor garage.

The original buildings behind the façade retain a high degree of integrity to the Interwar period in fabric, form and detail. While these have undergone internal alterations, such as reconfiguration of planning, they can still be understood and appreciated as an early motor garage.

Comparative Analysis

Motor garages

A small number of motor garages are included in the Heritage Overlay of the Yarra Planning Scheme. Four motor garages in the City of Yarra were identified in D Catrice & M Summerton 'The Motor Garage & Service Station in Victoria, a Survey', 1997. These were:

- Former Laity Brothers Motor Garage, 205-211 Queens Parade, Clifton Hill (The Former Clifton Motors Garage, Showroom and Residence)
- Former Motor Garage, 214 Brunswick Street, Fitzroy, described as 1920s kerbside
- Former Motor Garage, 396 Brunswick Street, Fitzroy, described as 1920s kerbside
- Mobil Service Station, corner Nicholson and Johnston Streets, Fitzroy, described as late 1960s and rebuilt 1996. (This example is not a relevant comparator).

The motor garage at 396 Brunswick Street, Fitzroy is included in the Heritage Overlay as an individually significant building in the Brunswick Street Precinct (HO311) and the motor garage at 214 Brunswick Street, Fitzroy is included as a contributory building in this precinct. Another motor garage at 18-22 Johnston

Street, Fitzroy, not identified by Catrice and Summerton, is included in the Heritage Overlay as a contributory building in the South Fitzroy Precinct (HO334).

Motor Garage, 396-398 Brunswick Street, Fitzroy (individually significant building in precinct HO311)

Constructed c1920s at the corner of Brunswick and Leicester Streets, Fitzroy, this motor garage is a simple gable-roofed building with symmetrical front façade and central arched pediment. It retains much of its exterior form, including the front façade with large central opening.



Figure 9. Motor Garage, 396-98 Brunswick Street, Fitzroy (Google Maps)

Motor Garage, 214 Brunswick St Fitzroy (contributory building in precinct HO311)

Constructed c1930, this motor garage is a simple gable roofed building with top skylight and symmetrical front façade with simplified classical elements. It retains much of its exterior form and its front façade with large central opening.



Figure 10. Motor Garage, 214 Brunswick St Fitzroy (Google Maps)

Motor Garage, 18-22 Johnston St Fitzroy (contributory building in precinct HO334)

Constructed c1920-35, this motor garage is a simple gabled roof building with brick (overpainted) and render symmetrical front façade. A central entrance porch is flanked by large openings.



Figure 11. Motor Garage, 18-22 Johnston St Fitzroy (Google Maps)

These comparators are representative of small motor garages that were established on main streets in the City of Yarra. Their existing form demonstrates their original use. The Former Clifton Motors Garage, Showroom and Residence is a much more substantial and elaborately detailed building which clearly demonstrates a similar use.

Moderne Style Buildings

The Former Clifton Motors Garage, Showroom and Residence is a highly distinctive and intact example of the Moderne style of the 1930s and early 1940s. A number of buildings designed in this architectural style are included in the Heritage Overlay of the Yarra Planning Scheme as individually significant buildings. They include:

- HO92 (& VHR H0684), Former United Kingdom Hotel, 199 Queens Parade, Clifton Hill, 1937-38
- HO252, Former Repco Offices and Laboratory, 26 Doonside Street, Richmond, c1939
- HO391, Former Relova Redressing Laundry, 129 Hoddle Street, Richmond, 1937
- HO375, Former Russell Manufacturing Company, 81-95 Burnley Street, Richmond, 1942



Figure 12. Fmr United Kingdom Hotel, Clifton Hill (VHD)



Figure 13. Former Repco Offices, Richmond (VHD)



Figure 14. Former Kelova Laundry, Richmond (VTHB)



Figure 15. Phil Russell Manufacturing Co, Richmond (VTHB)

These individual comparators are buildings of the Interwar period that are architecturally significant as distinctive examples of the Moderne style. As with the Former Clifton Motors, they exhibit characteristics typical of this style including vertical 'towers', contrasting horizontal lines of the façade and canopies, parapet signage and contrasting materials such as brickwork and render.

The United Kingdom Hotel was constructed in close proximity to the Former Clifton Motors in Queens Parade and pre-dates the construction of the Former Clifton Motors facade by approximately one year. Both were designed by architect James H Wardrop. The United Kingdom Hotel is included in the Victorian Heritage Register for its:

...architectural significance as possibly Victoria's most exquisite and intact example of the Jazz Moderne style of architecture designed by one of the most notable proponents of the style, J. H. Wardrop. The building is greatly enhanced by its near-island siting and is externally and internally almost original, with the exception of post-war rear additions. It provides an interesting three-dimensional comparison with Wardrop's slightly earlier Alkira House in Queen Street, Melbourne.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (July 2015).

Criterion A: Importance to the course or pattern of our cultural or natural history (historical significance).

The Former Clifton Motors Garage, Showroom and Residence, Fitzroy North is of significance as an early motor garage constructed in a prominent location in Queens Parade, Fitzroy North. Operating as a garage and vehicle-related facility from at least the 1920s until the late twentieth century, the place demonstrates the increasing use of motor vehicles in Melbourne and suburbs, and their need for repair and service, for much of the twentieth century. The Moderne façade in particular illustrates the motoring age of the 1930s.

Criterion E: Importance in exhibiting particular aesthetic characteristics (aesthetic significance).

The Former Clifton Motors, Fitzroy North is a fine and intact example of a distinctive Moderne style motor garage, designed by noted architect, James H Wardrop. The building displays typical features of the Moderne architectural style popular in the 1930s, including a dominant central element comprising a series of vertical fins and contrasting decorative horizontal treatment.

Grading and Recommendations

It is recommended that the place removed from HO333 (Queens Parade Precinct) and be included in a site-specific Heritage Overlay in the Yarra Planning Scheme as a locally significant heritage place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Yarra Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Outbuildings or Fences not exempt under Clause 43.01-3?	No
Prohibited Uses Permitted?	No
Incorporated Plan?	Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014
Aboriginal Heritage Place?	No

Extent of the recommended Heritage Overlay

To the property title boundary, as indicated by the polygon on the aerial below:



Figure 16. Recommended extent of the Heritage Overlay (dotted red line) (Planning Maps Online)

Identified by:

Andrew Ward (1995), *Collingwood Conservation Study Review*.

The place was identified as 'outside of an Urban Conservation Area'. It was recommended for inclusion on the National Estate Register, Historic Buildings Register and for Planning Scheme protection. No citation was provided.

Graeme Butler and Associates (2007, 2013), *City of Yarra Review of Heritage Overlay Areas*

Recommended as Individually Significant as part of HO330 Queens Parade Precinct, North Fitzroy/Clifton Hill, with a Statement of Significance provided.

References:

Australian Electoral Rolls (AER), Victoria, Batman, Clifton Hill, 1949.

Catrice, Daniel & Michele Summerton (1997), *The motor garage and service station in Victoria : a survey*.

City of Collingwood Rate Books (RB), Lock Ward, as cited in Graeme Butler & Associates (2007) *City of Yarra Review of Heritage Overlay Areas*, Appendix 7.

Construction [Sydney, NSW].

Graeme Butler & Associates (2007) *City of Yarra Review of Heritage Overlay Areas*, Appendix 7: citation for 'Clifton Motors Pty Ltd , Motor Engineers, Show Room and Garage, later Bayford Motors, 205-211 Queens Parade, Clifton Hill'.

Grow, Robin (2014), *Melbourne Art Deco*, Melbourne.

Melbourne & Metropolitan Board of Works Detail Plan No. 1256 (dated 1904).

Museums Victoria (MV), online collection, < <https://collections.museumvictoria.com.au/>>.

Property Sewerage Plan (PSP) No. 53990, dated 1918, 1921, 1939.

Sands & McDougall Directories (S&Mc).

State Library of Victoria (SLV) picture collection.

Statham, John (2012), 'Philip Hudson' in Philip Goad & Julie Willis' (Eds.), *The Encyclopedia of Australian Architecture*, Port Melbourne.

The Age.

The Argus.

Appendix G: Recommendations for amendments to Heritage Gradings & Heritage Overlay Boundaries



Recommendations for amendments to Heritage Gradings and Heritage Overlay Boundaries

1. 7, 9 and 11 Queens Parade, Clifton Hill



Figure 1. (Right to left) 7, 9 and 11 Queens Parade, Clifton Hill (GJM Heritage 5 May 2017).

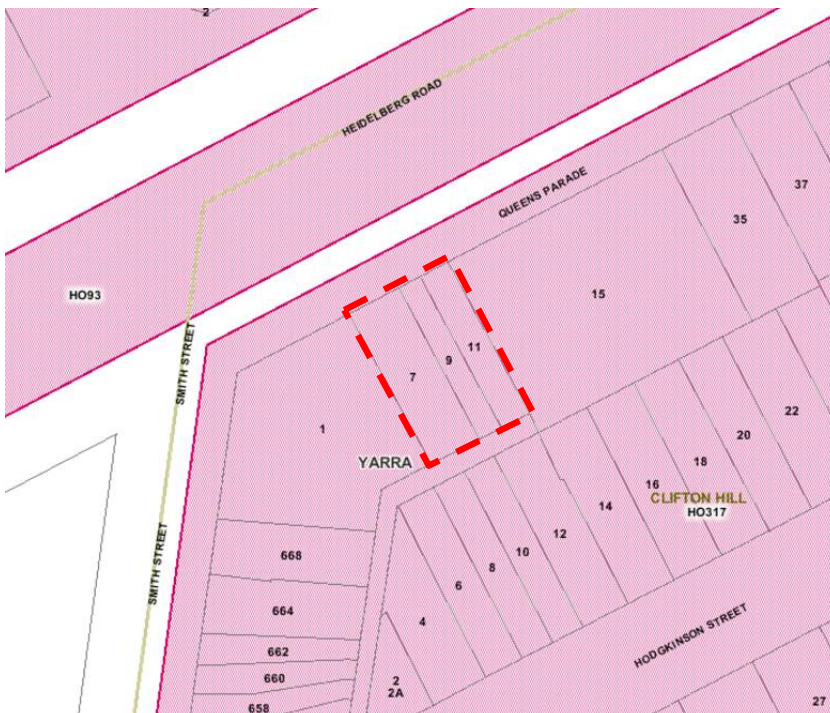


Figure 2. Extract of Heritage Overlay map showing 7-11 Queens Parade, Clifton Hill within HO317 (© Planning Maps Online).

1.1 Current grading

The properties at 7, 9 and 11 Queens Parade are currently graded as being ‘contributory’ within HO317 – Clifton Hill Western Precinct¹.

Queens	Parade	7	Clifton Hill	Factory	131875	contributory	1915-1925
Queens	Parade	9	Clifton Hill	Shop & residence, former	131880	contributory	1880-1890
Queens	Parade	11	Clifton Hill	Shop & residence	131885	contributory	1880-1890

Table 1. Current entries in Appendix 8 (Graeme Butler & Associates, 2007, revised May 2017) for HO317 – Clifton Hill Western Precinct

1.2 Description

The building at 7 Queens Parade is single-storey with a tall parapet with projecting brick panels at the centre and each end. There is no decorative architectural detail below the parapet and the ground floor façade has been heavily altered with no original openings evident.

The two-storey pair of terraced shop residences at 9 and 11 Queens Parade have a relatively simple rendered form with a single pair of plain window openings with timber sash windows to the first floor. 11 Queens Parade is wider than 9 Queens Parade, but each share the same solid parapet with inlaid panel, string course and cornices terminating in vermiculated brackets. The parapet of 11 Queens Parade is surmounted by a triangular pediment while 9 Queens Parade has a semi circular pediment capped with decorative scroll work. The ground floor shopfront to 11 Queens Parade has been replaced with later aluminium framed glazing and the ground floor of 9 Queens Parade has a partly rendered masonry wall with a door and window, which appear to have been altered. The architectural detail at the top of the ground floor of 9 Queens Parade has been covered or replaced with a hoarding. Rendered brick chimneys are visible at either end of the pair; roofs are not visible from the public realm.



Figure 3. Aerial photograph of the 7, 9 and 11 Queens Parade (outlined in red) (©nearmap, 4 May 2017).

¹ Graeme Butler & Associates *City of Yarra – Review of Heritage Overlay Areas 2007: Appendix 8* (revised May 2017) (Appendix 8)

1.3 Historical Overview

The main buildings (fronting Queens Parade) at 9 and 11 Queens Parade, Clifton Hill (numbered 11 and 13 in 1901) were evident on the 1901 Melbourne & Metropolitan Board of Works (MMBW) plan and their form and remnant decorative treatment indicates a c1880s/90s construction date. The plan also shows an earlier building at 7 Queens Parade in 1901, with a driveway along the eastern boundary (Figure 4). This earlier building remains evident on a map dated c1933 (Figure 5).

An oblique aerial identified as dating between c1925 and c1935 shows the pair of two-storey buildings at 9 and 11 Queens Parade (11 with a verandah), and the current parapeted building at 7 Queens Parade, occupying the full width of the site (Figure 6). This evidence suggests that the aerial image dates from after 1933 with the current building on the front boundary of 7 Queens Parade constructed soon after 1933.

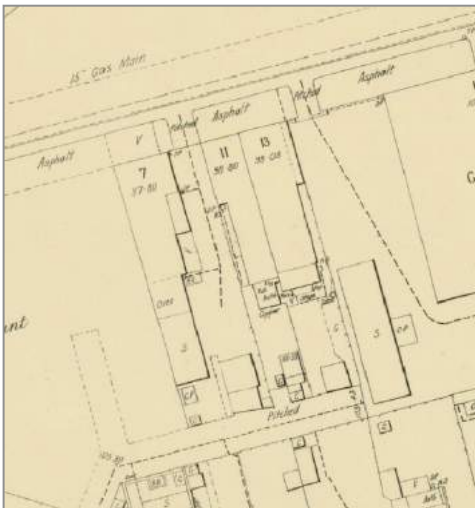


Figure 4. Footprints of the buildings on the properties in 1901 (MMBW DP 1217, 1901).



Figure 5. Footprints of the buildings on a map dating c1933 (MMBW Base Map No. 29, c1933).

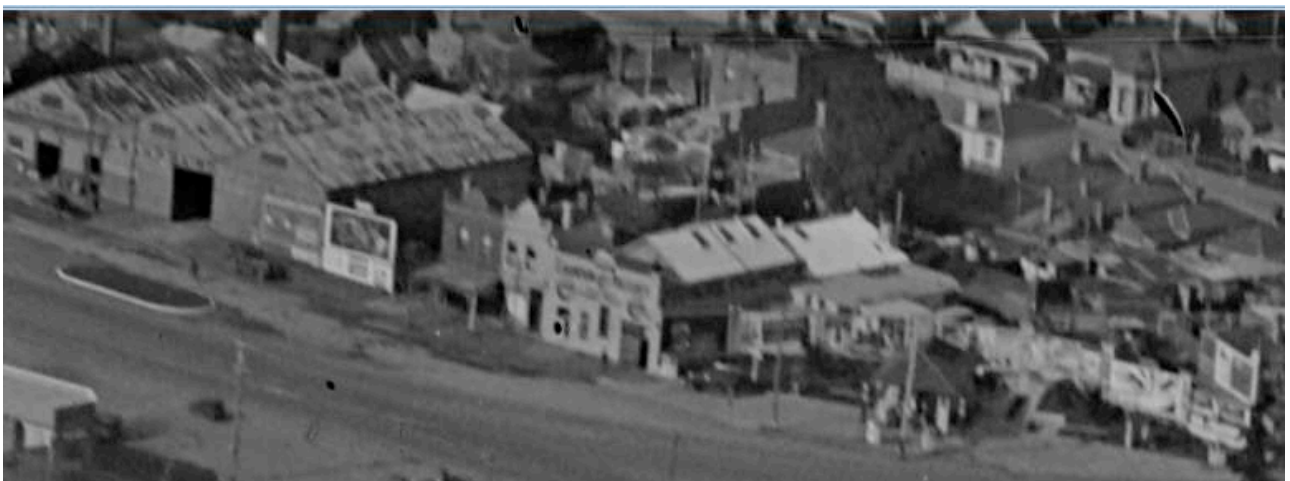


Figure 6. Detail of an oblique aerial photograph showing 7, 9 and 11 Queens Parade (State Library of Victoria, Image H91.160/447, c1925-c1935).

1.4 Context

To the east of the properties, a large single-storey warehouse showroom (currently vacant) adjoins 11 Queens Parade. Adjacent to 7 Queens Parade is a post-war showroom currently occupied by a bicycle shop and two c1970/80 office/warehouses at 664 & 668 Smith Street. These neighboring properties are identified as 'not-contributory' to the precinct.



1.5 Analysis

In summary, HO317 – Clifton Hill Western Precinct is identified primarily as being of heritage significance for its Victorian and Edwardian-era residential development, its public parks and landscaping, and its 19th century industrial buildings. The three properties at 7-11 Queens Parade, Clifton Hill, are broadly captured by the following parts of the precinct Statement of Significance:

What is significant?

...

Main development period

The main development period evident in the heritage overlay is that of the Victorian-era with a substantial contribution from the Edwardian-period. There is also a contribution from some well preserved inter-war buildings and individually significant places of all eras.

Contributory elements

...

1. *Corner shops and residences with display windows and zero boundary setbacks*
And
2. *Well preserved buildings, including one storey houses plus one and two storey industrial buildings from the pre Second World War era;*

...

What is significant?

...

For the area's fine representation of Victorian-era life, as expressed by the street and public reserves, along with the dominantly Victorian-era building stock including churches, a State school, factories, early houses, a large number of late Victorian terrace houses, attached and free standing, and key house designs such as 12 North Terrace.

...

It is considered that the 1930s building at 7 Queens Parade does not readily accord with the identified significance of the precinct. It does not date from the key periods of significance (Victorian and Edwardian) and is not a “well preserved” inter-war building, with its façade having been substantially altered since the taking of the aerial photograph in Figure 6. It is considered that the property does not contribute to HO317.

As simple Victorian shops/residences, 9 and 11 Queens Parade broadly reflect the key development period and architectural form of the precinct’s identified significance; however, they are isolated Victorian buildings within an immediate context of ‘not-contributory’ buildings. It is our view that while these two buildings would be identified as ‘contributory’ within a reasonably intact streetscape, this section of HO317 fronting Queens Parade is heavily dominated by buildings identified as ‘not-contributory’ and the contribution nos. 9 and 11 make to the Clifton Hill Western Precinct is very marginal. The pair do not read as part of the heritage precinct.

1.6 Recommendation

It is recommended that Appendix 8 be amended to identify 7, 9 and 11 Queens Parade as ‘not contributory’ within HO317.



2. 350 Queens Parade, Fitzroy North



Figure 7. (Left to right) 350, 532, 354 & 356 Queens Parade, Fitzroy North (GJM Heritage 6 September 2017).

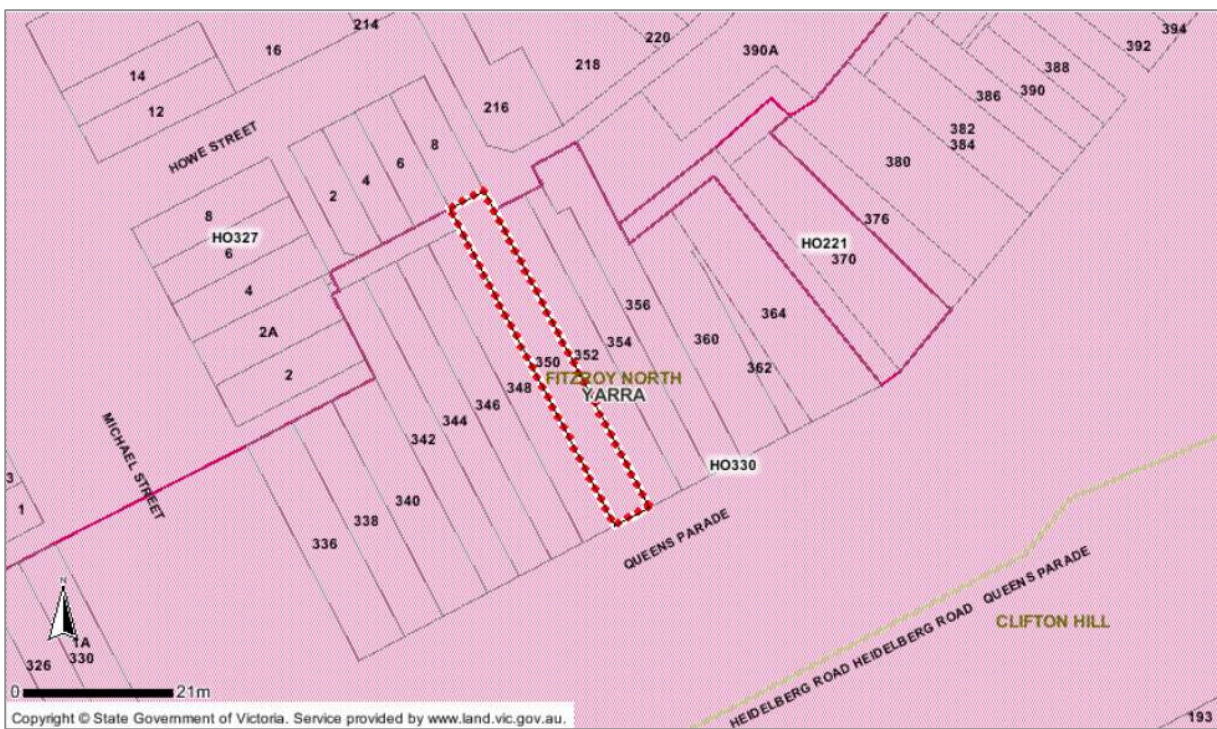


Figure 8. Extract of Heritage Overlay map showing 350 Queens Parade within HO330 (© Planning Maps Online).



2.5 Analysis

The absence of 350 Queens Parade from the Appendix 8 entry for HO330 – Queens Parade Precinct, North Fitzroy/Clifton Hill appears to be an error. As part of a consistent group of ‘contributory’ Victorian buildings within this highly intact heritage precinct, the property should also be identified as being ‘contributory’ to HO330.

2.6 Recommendation

Amend Appendix 8 to include 350 Queens Parade and grade this property as ‘contributory’.



3. 201-217 Queens Parade, 10-12 Dummett Crescent, Raines Reserve & Queens Parade

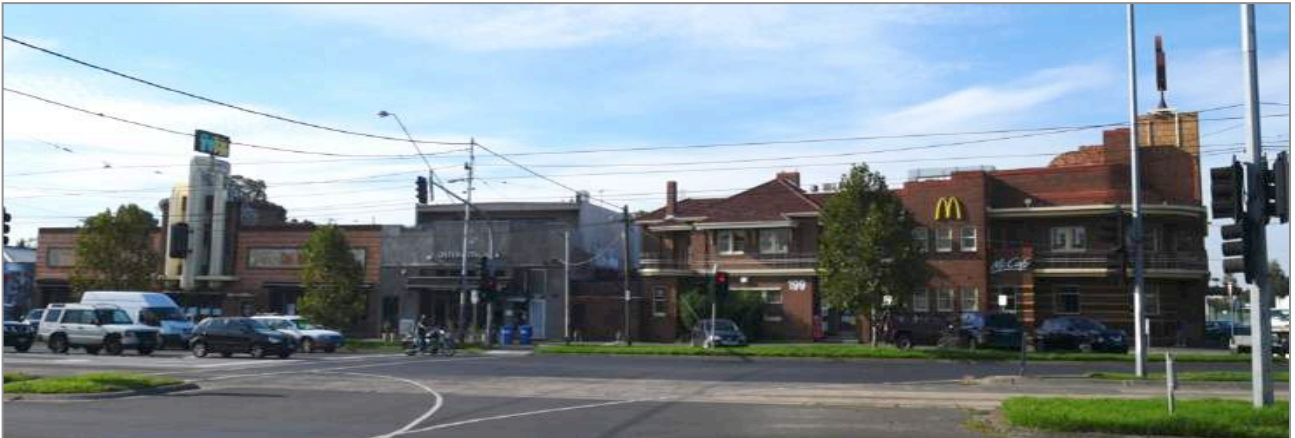


Figure 10. Left to right is 205-211, 201-203 (grey) and 199 Queens Parade, Fitzroy North (GJM Heritage, 5 May 2017).



Figure 11. Left to right is 271 to 243 Queens Parade, Fitzroy North (GJM Heritage, 5 May 2017).

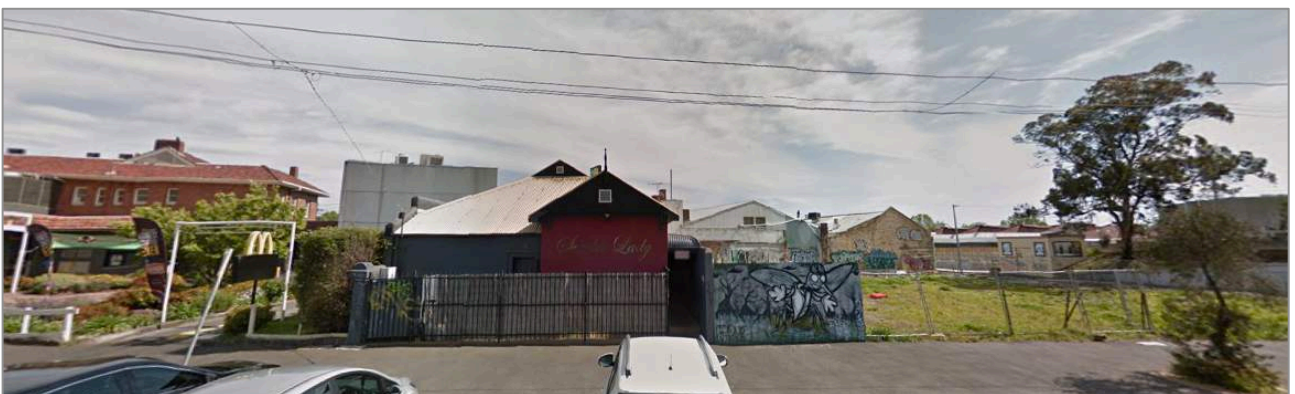


Figure 12. Dummett Crescent, Fitzroy North. The vacant land to the right includes nos. 10-12 (© Google, Oct 2016).



Figure 13. Raines Reserve looking towards the former United Kingdom Hotel (GJM Heritage, 5 May 2017).

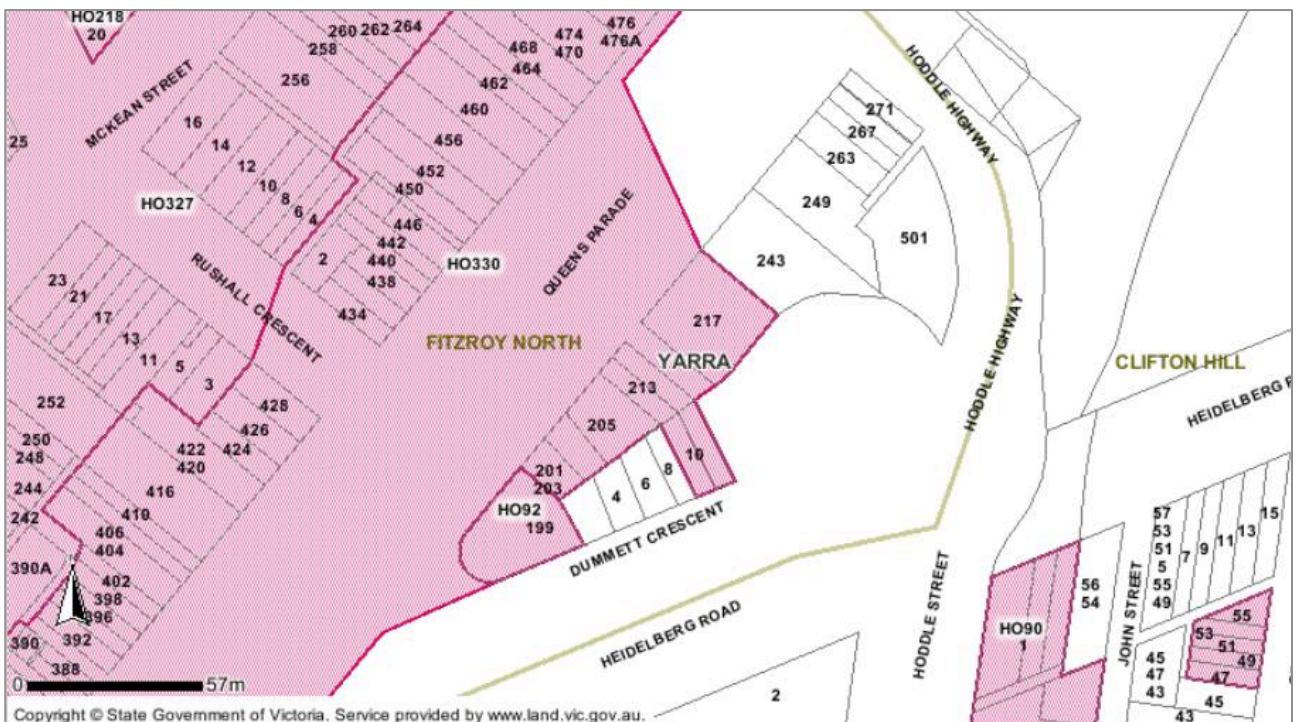


Figure 14. Extract of Heritage Overlay map showing 201-217 Queens Parade and 10-12 Dummett Crescent within HO330 (© Planning Maps Online).

3.1 Current Grading

Within the part of HO330 comprising 201-217 Queens Parade and 10-12 Dummett Crescent, Fitzroy North, only the former Clifton Motors Pty Ltd building at 205-211 is identified as being of heritage significance ('individually significant'). It is also noted that the former Clifton Motors Pty Ltd building has been recommended for inclusion in the Victorian Heritage Register (a registration decision is pending). The remaining buildings and sites are 'not contributory' to the precinct. It is noted that the former United Kingdom Hotel at 199 Queens Parade is included in the Victorian Heritage Register (H0892) and is therefore included in its own Heritage Overlay (HO92) rather than HO330.

Dummett	Crescent	10 -12	Clifton Hill	Factory/warehouse	132215	not contributory	1950-1960
Queens	Parade	201 -203	Clifton Hill		132150	not contributory	1925-35
Queens	Parade	205 -211	Clifton Hill	Clifton Motors Pty Ltd, Motor Engineers, Show Room and Garage, later Bayford Motors	132155	individually significant	1938 facade, 1921
Queens	Parade	213	Clifton Hill	Factory/warehouse	132160	not contributory	unknown
Queens	Parade	217	Clifton Hill	Factory/warehouse	132165	not contributory	1950-1960

Table 3. Current entries in Appendix 8 (Graeme Butler & Associates, 2007, revised May 2017) for HO330 – Queens Parade Precinct, North Fitzroy/Clifton Hill.

A portion of Raines Reserve is currently included within HO330 while the Heritage Overlay does not cover the remaining section (see Figure 15). The Reserve is not graded in Appendix 8.



Figure 15. Extract of Heritage Overlay map showing 199-217 Queens Parade and 10-12 Dummett Crescent within HO330, with a 2014 aerial image (© Planning Maps Online).

3.2 Description

The land subject to HO330 within the island site bound by Queens Parade, Dummett Crescent and Hoddle Street, includes the main Queens Parade carriageway generally between 199 to 217 Queens Parade and Raines Reserve (originally known as Rain's Reserve) - a small triangular public garden at the intersection of Queens Parade and Heidelberg Road/Dummett Crescent with mature plantings including a Holm oak (*Quercus ilex*). The southern-most lane of Queens Parade retains bluestone kerbs and gutters in front of the buildings and two cast iron posts (possibly the base of hitching posts) that are located in front of 205-211 Queens Parade (see Figures 16 & 17).

10-12 Dummett Crescent is identified in Appendix 8 as a 'not-contributory' factory built c.1950-1960; this land is now vacant.

201-203 Queens Parade is occupied by a heavily altered single-storey building that may date originally from 1925-1935 and is identified in Appendix 8 as 'not-contributory'.

The Moderne styled former Clifton Motors Pty Ltd building (later Bayford Motors) occupies 205-211 Queens Parade. It is identified as 'individually significant' in Appendix 8 and is currently being considered for inclusion in the Victorian Heritage Register.

213 Queens Parade is a single-storey showroom/warehouse building identified in Appendix 8 as 'not-contributory'.

North of Dummett Crescent is 217 Queens Parade which is included within HO330, identified as 'not-contributory', and is currently being developed as a ten-story building.



Figures 16 and 17. Cast iron posts outside 205-211 Queens Parade (GJM Heritage, 5 Sep 2017).

3.3 History

Queens Parade

Queens Parade was a track shown on Robert Hoddle's Crown survey of 1837, linking Melbourne to Heidelberg. Established by 1839, it was Melbourne's first major road.² The track originally extended from the top of Bourke Street and followed an irregular course to the northeast, following the top of the Collingwood escarpment and running along the current alignments of Queens Parade, Heidelberg Road, Upper Heidelberg Road and Lower Plenty Road.³ Queens Parade was surveyed by Hoddle as a three chain (60m) wide boulevard and reserved in 1853. It was one of Melbourne's earliest surveyed boulevards.⁴ The 1904 MMBW plan shows the alignment of Queens Parade at its northern-most extent at that time (see Figure 18) while an aerial dated c1925-c1940 also shows the alignment and layout during the interwar period (see Figure 19).



Figure 18. This section of Queens Parade in 1904. Brook Street shown, is the current alignment of Hoddle Street (MMBW DP 1264, 1904).



Figure 19. An aerial dated c1925-c1940 showing the triangular block of land, looking south. Left is Brook Street, the current alignment of Hoddle Street (SLV Image H91.160/1611, c1925-c1940).

Raines Reserve

² Maxwell Lay, 'Roads', *eMelbourne: The City Past and Present* (www.emelbourne.net.au/biogs/EM01255b.htm). Accessed 13 June 2017. Lay also states that the road was first surveyed to Eltham in 1840 and officially opened in 1841. Hoddle's survey in 1853 may have been a re-survey of the road.

³ Maxwell Lay, 'Roads', *eMelbourne*.

Lewis, Miles, 'The First Suburb' in *Fitzroy: Melbourne's First Suburb* (1989), 7.

⁴ Graeme Butler and Associates, *City of Yarra Review of Heritage Overlay Areas* (2007), 120.



A photograph of Raines Reserve, dating between 1907 and 1925, shows it planted as a garden with a similar layout to that which remains in 2017 (Figure 22). The tower and spire of St John's Church and the former ANZ Bank are clearly visible beyond. The aerial photograph at Figure 19 (c1925-1940) also clearly shows the layout of the reserve.



Figure 20. A photo dating between 1907 and 1925 of Rain's Reserve (named after Cr. William Rain) (now Raines Reserve), at the intersection of Heidelberg Road and Queen's Parade, looking west (COYL, Image No. CL PIC 13).

201-217 Queens Parade & 10-12 Dummett Crescent

The 1904 MMBW Detail Plan shows the triangular block of land and the extent of its development at this date (Figure 21); the first United Kingdom Hotel (rebuilt 1906 and 1937-38) was located at the south end, adjacent in turn to a saw mill, weighbridge, hay and corn store, coachbuilder's workshop, shoeing forge and other unlabelled buildings. When compared to a 2017 aerial (Figure 22), it does not appear that any of the buildings shown on the 1904 plan remain in 2017. From the 1910s, the east side of Queens Parade within this block was occupied by a majority of motor, coach, carriage and buggy related businesses (Sands & McDougall Directory).



Figure 21. The triangular block of land and the extent of its development in 1904. Brook Street appears to have become the alignment of Hoddle Street (MMBW Detail Plan No. 1264).



Figure 22. 2017 aerial photograph (©nearmap, 4 May 2017)

The oblique aerial dated c1925-c1940 (Figure 19) shows the triangular block of land and its complete development. Some early twentieth century buildings shown in the aerial appear to remain in 2017, but are altered from their original appearance – including the former Clifton Motors buildings, which had its façade remodeled in the 1930s after the photo was taken.



Part of this triangular block was later cleared to allow for the alignment of the on-ramp from Hoddle Street to Heidelberg Road.

3.4 Context

The two heritage buildings within this portion of Queens Parade – the former United Kingdom Hotel and the former Clifton Motors Building – exist within a context that otherwise lacks built heritage fabric.

3.5 Analysis

The Queens Parade carriageway is one of Melbourne's very early northern transport routes and is one of the earliest surveyed boulevards. It is appropriate that the full extent of this early boulevard is included within the Heritage Overlay boundary.

Raines Reserve is a turn of the century public reserve that retains its original extent and layout. It is appropriate that the full extent of the reserve is included in the Heritage Overlay boundary.

The former Clifton Motors Pty Ltd building at 205-211 Queens Parade is identified in Appendix 8 as an 'individually significant' building within HO330 and is currently being considered for state-level heritage significance. Being located on the island site to the north of Queens Parade, the building is isolated from the balance of buildings within HO330 and is surrounded by 'not contributory' buildings and sites. While the former Clifton Motors Building has very strong architectural similarities with the nearby Former United Kingdom Hotel, the hotel building is not within HO330 and is instead covered by its own Heritage Overlay by virtue of its state-heritage listing. Further, the former Clifton Motors Building is an atypical building within the identified significance of the Queens Parade Precinct (being a precinct characterised by its highly consistent two-storey Victorian and Edwardian shop/residences) and is considered to be of significance in its own right as an important Moderne example of a motor garage. For these reasons it is considered appropriate that the former Clifton Motors building be removed from HO330 and included in its own site-specific Heritage Overlay (see the Heritage Citation at Appendix F). It is noted that if the place is included in the Victorian Heritage Register it will automatically be included within its own Heritage Overlay.

With the exception of the former Clifton Motors building and the state-significant former United Kingdom Hotel, there is no other built heritage fabric within this section of Queens Parade. It is therefore considered appropriate that the extent of HO330 be amended to exclude 201-217 Queens Parade and 10-12 Dummett Crescent from HO330.

3.6 Recommendation

1. Remove the former Clifton Motors Pty Ltd building at 205-211 Queens Parade from HO330 and introduce an individual Heritage Overlay with a separate Statement of Significance to manage this property's heritage values (noting that if the place is found to be of state-level significance, this recommendation will automatically be enacted).
2. Remove 10-12 Dummett Crescent, 201-203, 213 and 217 Queens Parade from the extent of HO330.
3. Include the Queens Parade road reserve (including the main carriageway, two laneways and footpaths) as shown in Figure 23 within HO330.
4. Include the full extent of Raines Reserve within HO330 (see Figure 23).
5. Update Appendix 8 to reflect the above recommendations.



Figure 23. Heritage Overlay map – extent of proposed new individual Heritage Overlay for 205-211 Queens Parade shaded in blue. Properties to be removed from HO330 shaded in red. Proposed new Heritage Overlay boundary for HO330 dashed in red (adapted from Planning Maps Online, accessed 25 September 2017).



4. 304, 312, 316, 380 (rear of all) & 390A Queens Parade, Fitzroy North



Figure 24. The southern elevations of the outbuildings at (left to right) 304, 312 & 316 (rear of all) Queens Parade (GJM Heritage, 6 Sep 2017).



Figure 25. The northern elevations of the outbuildings at (right to left) 304, 312 & 316 (rear) Queens Parade (GJM Heritage, 6 Sep 2017).



Figure 26. The western elevation of the outbuilding at 304 (rear) Queens Parade (GJM Heritage, 6 Sep 2017).



Figure 27. The southern elevation of the outbuilding at 312 (rear) Queens Parade (GJM Heritage, 6 Sep 2017).



Figure 28. Extract of Heritage Overlay map showing 304, 312 and 316 (rear of all) Queens Parade within HO327 (© Planning Maps Online).



Figure 29. The south-west elevation of the outbuilding at 390A Queens Parade (painted red). In the foreground is the vacant lot at 380 (rear) Queens Parade (GJM Heritage, 6 Sep 2017).



Figure 30. The south-east elevations of the outbuildings at 390A Queens Parade (GJM Heritage, 6 Sep 2017).



Figure 31. The north-east elevations of the outbuildings at 390A Queens Parade (GJM Heritage, 6 Sep 2017).



Figure 32. The north-west elevations of the outbuildings at 390A Queens Parade (GJM Heritage, 6 Sep 2017).

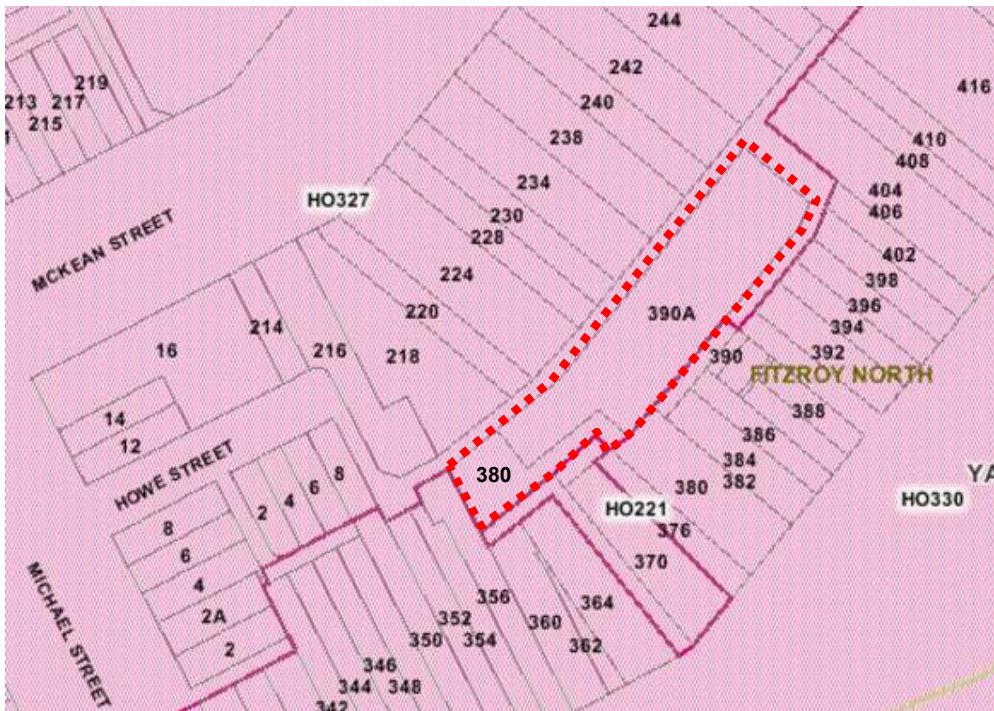


Figure 33. Extract of Heritage Overlay map showing 380 (rear) and 390A Queens Parade within HO327 (© Planning Maps Online).

4.1 Current Grading

304, 312 and 316 Queens Parade fall within HO327 – North Fitzroy Precinct but relate to properties that have a frontage to Queens Parade and fall within HO330 – Queens Parade Precinct. None of the properties are identified in Appendix 8 within the North Fitzroy Precinct; however 312 and 316 Queens Parade are identified as being ‘contributory’ to the Queens Parade Precinct in Appendix 8 and 304 is identified as ‘not contributory’.

380 Queens Parade, Fitzroy North, is identified in Appendix 8 as ‘Shops & residences’ at ‘380-378 Queens Parade’ and graded ‘contributory’ within HO327 – North Fitzroy Precinct. This is an incorrect entry and should relate to the buildings fronting Queens Parade in HO330 (which are not currently graded in Appendix 8, within HO330).

390A Queens Parade is currently ungraded within HO327 or HO330.

4.2 Description

304, 312 & 316 (rear of all) Queens Parade

The site is bound on three sides by Koormiel Lane, a right of way that is accessed off Michael Street to the east and McKean Street to the north. The buildings are located behind 304-316 Queens Parade; signs on some buildings indicate they are owned/occupied by the corresponding properties fronting Queens Parade.

The buildings occupying the site are constructed of red and cream brick and form solid walls to the north, east and west sides of the site, with (vehicular and pedestrian) access provided off the south sides. The buildings were constructed at various dates. At the east end (rear of 316) is a cream brick garage, the central property (rear of 312) includes an early two-storey brick and timber stables and adjacent single-storey brick building that are no longer in use, and at the west end (rear of 304) is a large red brick building occupied by a business.



Figure 34. 2017 aerial photograph (©nearmap, 17 Sep 2017).

380 (rear) & 390A Queens Parade

The site is bound on three sides by a laneway that is accessed by Howe Street to the west and two right of ways off Queens Parade. The site is located behind 360 to 402 Queens Parade. The multiple buildings occupying the site are constructed of red brick (overpainted on the south-east elevations), built during various construction phases. They form a solid wall on the northern side which has few window openings.

At the south-west end is no. 380, a vacant lot that serves as a car park. The car park and adjacent buildings within the site are occupied by the paint store at 380 Queens Parade. At the east end is a two-storey building with one remaining entrance that bears a sign warning that the building houses a Citipower substation. Next to it, a single-storey building serves a business.



Figure 35. 2017 aerial photograph (©nearmap, 17 Sep 2017).

4.3 Historical Overview

304, 312 & 316 (rear of all) Queens Parade

The buildings appear to have been established as outbuildings for the adjacent properties, separated by a right of way that granted access to the stables (including those to the rear of 312) and other buildings that are evident on the 1904 MMBW plan (Figure 36). In 1904, the eastern end also had a washhouse with a bath. A MMBW plan dated c1933-c1950 shows the footprint of the stables as well as other buildings occupying the site by this date (Figure 37). The heritage fabric of the site indicates that the brick walls of the western-most stables (rear of 304) evident on the 1904 MMBW plan were incorporated into new structures.

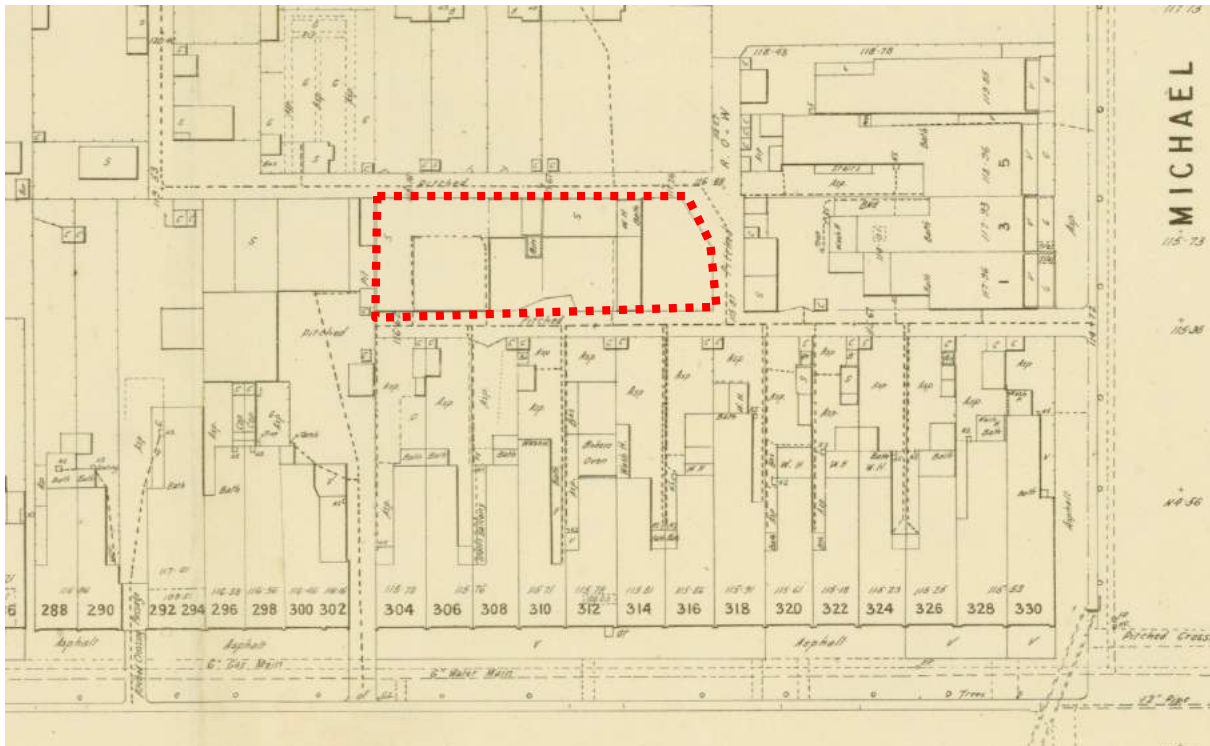


Figure 36. The area in 1904 (MMBW DP 1263, 1904).



Figure 37. The area in c1933-c1950 (MMBW Base Map 29, c1933-c1950).



380 (rear) & 390A Queens Parade

This area appears to have developed to serve the adjacent properties, providing land for stables and fenced areas (presumably to hold horses) that were accessed by the right of ways, as evident in the 1904 MMBW plan (Figure 38).

An aerial dated c1925-c1940 (Figure 39) clearly shows the buildings on the site, as viewed from the north – the large two-storey building shown at the east end, and the large single-storey building at the west end, remain in 2017.

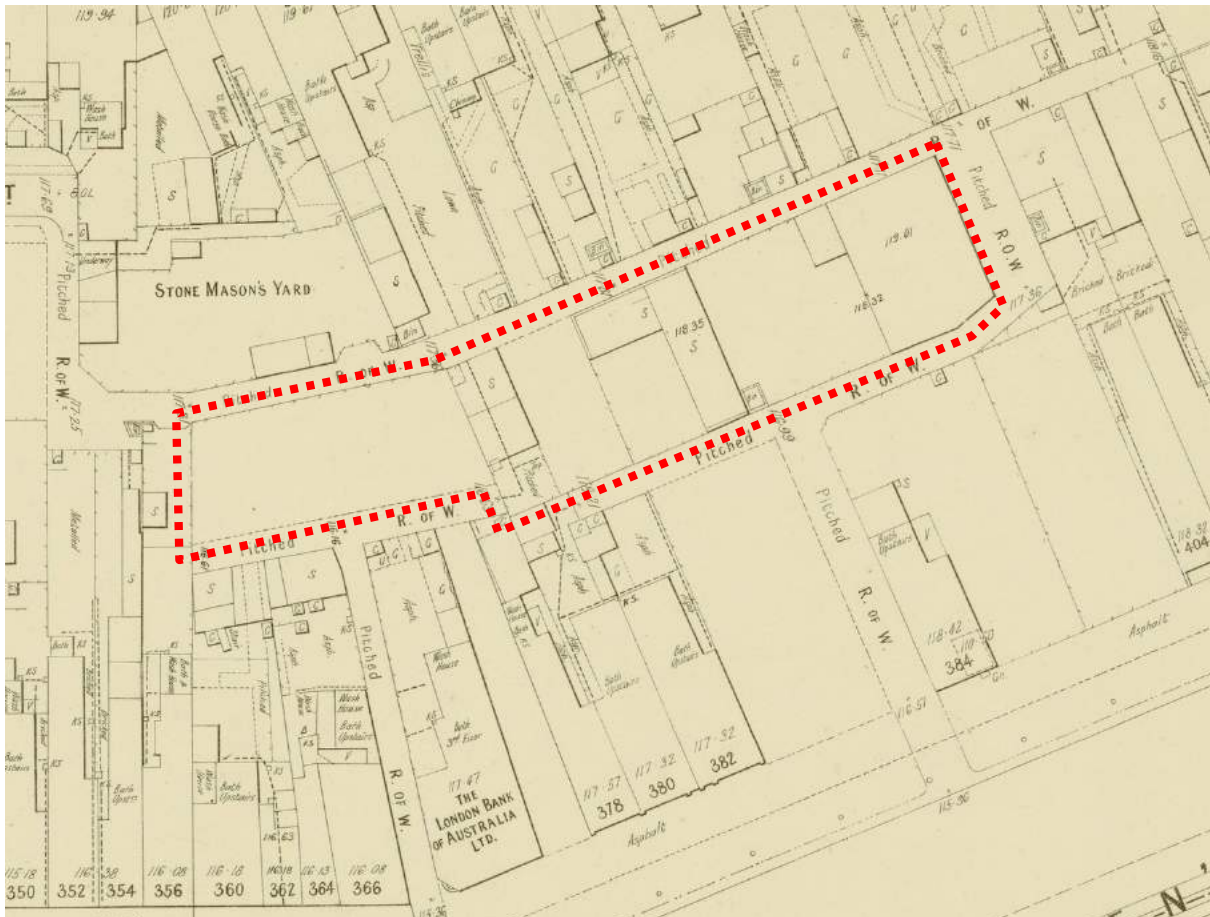


Figure 38. The area in 1904 (MMBW DP 1264, 1904).



Figure 39. Aerial dating to c1925-c1940. Looking south, showing the buildings occupying the site at this date (Pratt, SLV Image H91.160.1611).

4.5 Analysis

Historically it appears that all of the buildings at the rear of Queens Parade serviced properties fronting Queens Parade. It is therefore considered appropriate that they be removed from HO327 – North Fitzroy Precinct and included within HO330 – Queens Parade Precinct.

304, 312 & 316 (rear) Queens Parade

The existing building at the rear of 316 Queens Parade is a utilitarian cream brick garage that appears to date from the c1950s/60s. It is not considered to have heritage value.

The existing building at the rear of 312 Queens Parade retains the same footprint as shown in the 1904 MMBW plan and comprises a two-storey brick and weatherboard structure and associated yard from the late nineteenth century. While the building is in very poor condition, it retains its historic fabric and is considered to contribute to the significance of the precinct. The adjacent single-storey building at 312 is not considered to have heritage value.

The existing building at the rear of 304 Queens Parade retains some brickwork that dates from the late nineteenth century which has been incorporated into a new structure and appears to have been developed in stages throughout the twentieth century. It is a simple utilitarian structure that can no longer be understood as dating from a particular period and is not considered to have heritage value.

380 (rear) & 390A Queens Parade

The site at the rear of 380 Queens Parade is vacant and is used as an at-grade car park. It is not of heritage value.



390A Queens Parade is a large parcel of land containing four discreet structures. Based on an analysis of the built fabric on the site and the historical plans and aerial, it is considered that the only largely intact building remaining is the two-storey substation in the northeast corner of the site. The brickwork indicates the building dates from the late nineteenth century, and although some original openings have been closed, the original form and fenestration pattern remain. This building is considered to contribute to the significance of the precinct. The other buildings on the property are of more recent construction or have been substantially altered over time. They are not considered to contribute to the significance of the precinct.

4.6 Recommendation

1. Remove the properties at 390A and the rear of 304, 312, 316 and 380 from HO327 – Fitzroy North Precinct and include within the boundary of HO330 – Queens Parade Precinct.
2. Remove the entry in Appendix 8 for ‘Shops & residences’ at ‘380-378 Queens Parade’ within HO327 – North Fitzroy Precinct and include 380 Queens Parade (the property fronting Queens Parade) as a ‘contributory’ building within HO330 – Queens Parade Precinct.
3. Identify the following sites and associated gradings in Appendix 8 under HO330 – Queens Parade Precinct:
 - 304 Queens Parade (rear, off Koormiel Lane) – ‘not contributory’
 - 312 Queens Parade (rear, off Koormiel Lane; two-storey building on north boundary) – ‘contributory’
 - 316 Queens Parade (rear, off Koormiel Lane) – ‘not contributory’
 - 380 Queens Parade (rear, behind 360-378) – ‘not contributory’
 - 390A Queens Parade (two-storey building in north-east corner) – ‘contributory’
 - 390A Queens Parade (all buildings excluding two-storey building) – ‘not contributory’

Appendix H: Yarra High Streets: Statements of Significance (Reference Document)

Yarra High Streets: Statements of Significance

October 2017 (updated November 2017)

This reference document contains the Statement of Significance for all Heritage Precincts and Individually Significant Places (where a Statement of Significance has been prepared) within:

- *Swan Street Built Form Review Study Area* (City of Yarra & Tract, Oct 2017).
- *Swan Street Built Form Study: Heritage Assessments & Analysis* (GJM Heritage, Oct 2017)
- *Queens Parade Built Form Heritage Analysis and Recommendations Report* (GJM Heritage, Nov 2017)

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Ordered by Heritage Overlay number

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Individually Significant Places

	Individual HO No. / VHR No.	Name	Address	Page No.
1.	HO92 VHR H0684	Former United Kingdom Hotel (now McDonald's)	199 Queens Parade, Clifton Hill	30
2.	HO93	Street Trees	Queens Parade, Between Alexandra Parade & Delbridge Street Clifton Hill/ North Fitzroy	30
3.	HO216 VHR H0163	Haselmere	96 Mckean Street, Fitzroy North	30
4.	HO221 VHR H0892	Former ANZ Bank	370-374 Queens Parade, North Fitzroy	30
5.	HO245	House	234 Coppin Street, Richmond	30
6.	HO285	Former Central Club Hotel	291 Swan Street, Richmond	30
7.	HO286	Former Burnley Theatre	365 Swan Street, Richmond	31
8.	HO288 VHR H732	Former State Bank	214-216 Swan Street, Richmond	31
9.	HO294	House	15 Wellington Street, Cremorne	31
10.	HO357 VHR H48	Former Richmond South Post Office	90-92 Swan Street, Richmond	31
11.	HO360	Dimmeys	140-160 Swan Street, Richmond	31

	Individual HO No. / VHR No.	Name	Address	Page No.
	VHR H2184		(Cremorne)	
12.	HO405	The Greyhound Hotel, later Depot Hotel, now Precinct Hotel	60-62 Swan Street, Richmond	32
13.	HO429	-	400-402 Burnley Street, Richmond	32
14.	HO440	Swan Street Drill Hall	309 Swan Street, Richmond	33
15.	HO441	-	319 Swan Street, Richmond	34
16.	HO496	St Johns Church Complex	61-87 Queens Parade, Clifton Hill	34
17.	HO498	Row of houses, Elizabeth Terrace	472-484 Napier Street, Fitzroy North	35
18.	HO504	Clifton Motors (former)	205-211 Queens Parade, Fitzroy North	36
19.	HO522	Shop and Residence	273A Swan Street, Richmond	36
20.	HO523	Pair of Shops	323-325 Swan Street, Richmond	37

Individually Significant Places within a Precinct

	Precinct HO No.	Name	Address	Page No.
1.	HO317	-	12 Hodgkinson Street, Clifton Hill	38
2.	HO317	William B Fox House, later House of Gentle Bunyip	94 Hodgkinson Street, Clifton Hill	38
3.	HO317	Baptist Church & Hall	100 Hodgkinson Street, Clifton Hill	38
4.	HO317	Residence	122 Hodgkinson Street, Clifton Hill	38
5.	HO317	Fire Station No. 11 (former)	662 Smith Street, Clifton Hill	38
6.	HO327	National Bank, former	460 Brunswick Street, Fitzroy North	39
7.	HO327	House	17 Delbridge Street, Fitzroy North	39
8.	HO327	-	218 McKean Street, Fitzroy North	40
9.	HO327	-	220 McKean Street, Fitzroy North	40
10.	HO327	Hatherlie	224 McKean Street, Fitzroy North	40
11.	HO327	K. G. Luke Pty Ltd factory (former)	26-52 Queens Parade, Fitzroy North	40

	Precinct HO No.	Name	Address	Page No.
12.	HO327	Selotta Shoes Pty Ltd factory (former)	122 Queens Parade, Fitzroy North	41
13.	HO327	Christian Brothers Monastery, later units, G Maher House	256-262 Queens Parade, Fitzroy North	41
14.	HO330	Clifton Hill Hotel	89 Queens Parade, Clifton Hill	42
15.	HO330	Melbourne Savings Bank, later State Savings Bank	97-99 Queens Parade, Clifton Hill	42
16.	HO330	Doctor's surgery and house (former)	105 Queens Parade, Clifton Hill	42
17.	HO330	Albert Hall, also Masonic Hall, later Samian Social Club	127-129 Queens Parade, Clifton Hill	43
18.	HO330	Daintons Family Hotel, later Normanby Hotel	139 Queens Parade, Clifton Hill	43
19.	HO330	Clifton Hill Post Office, former	141 Queens Parade, Clifton Hill	43
20.	HO330	National Bank of Australasia, former	270 Queens Parade, Fitzroy North	43
21.	HO335	Shops and Residences	454-456 Church Street, Cremorne	44
22.	HO335	Corner Hotel	57-61 Swan Street, Richmond	44
23.	HO335	H. E. McNaughton ironmongery & residence, former	69 Swan Street, Richmond	44
24.	HO335	National Bank of Australasia	105 Swan Street, Richmond	45
25.	HO335	Shops and residences	232-234 Swan Street, Richmond	45
26.	HO335	M. Ball & Co, former	236-240 Swan Street, Richmond	45
27.	HO335	Whitehorse Hotel, former	250-252 Swan Street, Richmond	45
28.	HO474	Shops and Residences	413-415 Swan Street, Richmond	45

STATEMENTS OF SIGNIFICANCE

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1. Bendigo Street Precinct, Richmond (HO309)

Source: Graeme Butler & Associates (2007, 2013), *City of Yarra Review of Heritage Overlay Areas*
Updated by GJM Heritage (2017), *Swan Street Built Form Review*

What is significant?

The Bendigo Street Heritage Overlay Area was part of Crown Allotment 16 as sold to J M Chisholm in 1840.17 Plans from 1895 show that, by then, three-quarters of the area was developed with housing, mostly in Park Grove, Kimber, Brooks and Survey Streets. The Wertheim Piano Factory (HO224), later the GTV9 television studios, dominated the area from the Edwardian-era. The factory was once the largest piano factory in Australia, occupying a four acre site, complete with its own power generator and tramline. Designed c1909 by architect Nahum Barnet, the buildings are important heritage elements in the streetscape.

Nearby Richmond Park (now Burnley Park) was the pleasure ground for this area as well as the rest of inner Melbourne and now forms the eastern boundary of the area.

Main development era

The main development era evident in the heritage overlay is that of the Victorian and Edwardian-eras, with a contribution from well preserved inter-war buildings and individually significant places of all eras, such as the former Wertheim Piano Factory.

Contributory elements

The contributory buildings in the Bendigo St Heritage Overlay Area include mainly (but not exclusively) small attached and detached Victorian-era and Edwardian-era one-storey houses, but with some well preserved residential examples from the immediate post First-War era, having typically:

- Consistent building scale and setbacks
- Pitched gabled or hipped roofs, with some façade parapets;
- One storey wall heights;
- Weatherboard, face brick (red, bichrome and polychrome), bluestone, or stucco walls;
- Corrugated iron roof cladding, Marseilles pattern terra-cotta tiles, with some slate roofing;
- Chimneys of either stucco finish (with moulded caps) or of matching face brickwork with corbelled capping courses;
- Post-supported verandah or porch elements facing the street;
- Less than 40% of the street wall face comprised with openings such as windows and doors; and
- Front gardens, originally bordered by typically timber picket front fences or wire fences (inter-war) of around 1m height; also
- Corner shops and residences with large display windows and zero boundary setbacks.

Public infrastructure, expressive of the Victorian and Edwardian-eras such as stone pitched road paving, kerbs and channels, and asphalt paved footpaths

How is it significant?

HO309 Bendigo Street Heritage Overlay Area, Richmond is **aesthetically and historically** significant to the City of Yarra (National Estate Register [NER] Criteria E1, A4)

Why is it significant

The Bendigo Street Heritage Overlay Area is significant for:

- Its substantially intact single-storey Victorian-era housing that varies between modest and

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- ornate;
 - Edwardian house examples, particularly in Swan and Moore Streets, being both typical and highly decorated Edwardian dwelling types, complemented by the significant Edwardian-era former Wertheim Piano Factory;
 - The retention of early materials and elements in the public domain, such as street construction, and the retention of many bluestone laneways;
 - The demonstration of a typical 19th century suburban area with its attached and detached housing stock and corner shops, that has been subsequently lost in other parts of the inner suburbs; and
 - The consistency of building scale and setbacks, creating cohesive and homogeneous streetscapes that are enhanced by mature plane tree avenue plantings.
-

2. Church Street Precinct, Richmond (HO315)

Source: Graeme Butler & Associates (2012), *City of Yarra Heritage Gaps Review (Review 1)*

What is significant?

Subdivision

The Church Street Heritage Overlay Area includes parts of the first suburban Crown Allotments sold in the City, being Crown Portions 20, 21, 26 and 27, each 25 acres in area. Allotments 21 and 22 were purchased in 1839 by Rev. Joseph Docker (squatter), Allotment 20 by Charles Williams (auctioneer), and Allotment 26 by W H Yaldwyn (squatter, banker).

The Waltham Street and Darlington Parade areas were subdivided in 1853 and further subdivided in the 1880s. Docker had subdivided his two allotments by 1853, with plans for a model village set out on the flat below his townhouse at 370 Church Street. By the turn of the century, most of the Heritage Overlay Area was developed. The topography of the Heritage Overlay Area, the highest point in Richmond, attracted both the churches and the wealthier colonists with the result that the majority of the earliest residences were of a more substantial nature compared with other sections of Richmond.

This area has remained one of the most prestigious parts of Richmond for residential development. As an example, Howard Lawson's Elmhurst Flat block of 1934 aimed to tap into this prestigious residential location, paralleling with his significant Hollywood style Beverley Hills and Stratton Heights Flats, sited across the Yarra River at South Yarra.

Large villas

By 1855, villas with large gardens and orchards had been established in Church Street between Brougham and Elm Streets. Early houses which survive include Doery House (353 Church Street) and Messenger House (333 Church Street, formerly Stonehenge), the latter being built prior to 1843 for Captain John Roach⁴ and remodelled in the Edwardian period.

Major church complexes

Three major church complexes were established in the Heritage Overlay Area in the mid-1800s. St Stephen's Anglican Church (1850-1876) at 360 Church Street was designed by Blackburn and Newson on land donated to the church by the Rev. Joseph Docker and is one of the earliest bluestone churches built in Victoria. The Wesleyans began the construction of a temporary timber chapel (later the schoolhouse) in 1853, bluestone chapel in 1858, and added a schoolhouse (1871) and a parsonage (1876). St Ignatius' Roman Catholic Church (326) was built in stages between 1867 and 1928, to a design by prominent architect William Wardell, with the bluestone Presbytery added in 1872.

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Civic buildings

Other non-residential developments in the Heritage Overlay Area included the former Richmond United Friendly Society Dispensary (1884; 294 Church Street), and the Hibernian Hall (1872; 316 Church Street), which was built as a temperance hall. The Richmond RSL was built in 1922, as an expression of the continuing premier civic status of this part of Church Street in the 20th century. The Richmond Library is the most recent civic development in the area.

Commercial development

Commercial development extended north from the major thoroughfares of Swan St and south from Bridge Road in the late Victorian and Edwardian-eras.

Main development era

The main development period evident in the heritage overlay is that of the Victorian and Edwardian-period, with a contribution from some well preserved inter-war buildings and individually significant places of all eras. Large houses, religious and public buildings from this period are the key elements in the heritage overlay.

Contributory elements

The Church Street Heritage Overlay contributory elements include (but not exclusively) large detached Victorian-era and Edwardian-era and small attached Victorian-era, one and two storey houses having typically:

- pitched gabled or hipped roofs, with some façade parapets;
- face brick (red, bichrome and polychrome) or stucco walls;
- corrugated iron, unglazed Marseilles pattern terra-cotta tiles, and slate roofing;
- chimneys of either stucco finish (with moulded caps) or of matching face brickwork with corbelled capping courses;
- typically with post-supported verandah elements facing the street;
- less than 40% of the street wall face comprised with openings such as windows and doors; and
- front gardens, originally bordered typically by timber picket front fences of around 1m height;

Contributory elements also include shops and residences of the Victorian and Edwardian-eras, with:

- display windows and recessed entries;
- zero boundary setbacks;
- mainly one storey scale;
- attached rectilinear plan form, a parapeted roofline; and

Substantial Victorian-era ecclesiastical buildings with:

- free standing rectilinear form
- pitched roofs, some towers and spires positioned to be visible from a distance;
- fenced yards, with potential use of timber or iron pickets and a stone base for the frontage fence;
- two storey and greater wall heights;
- stone, masonry or stuccoed masonry facades, slate or tiled roofs; and
- less than 40% of the street wall face comprised with openings such as windows and doors.

Contributory elements also include:

- Public infrastructure, expressive of the Victorian and Edwardian-eras such as stone pitched road paving, kerbs and channels, and asphalt paved footpaths - mainly in side streets; and
- Many significant buildings within the Heritage Overlay Area have their own heritage overlay (HO241, HO242, and the St Ignatius complex) but nevertheless are contributory to the Church St Heritage Overlay Area.

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How is it significant?

HO315 Church Street Heritage Overlay Area, Richmond is aesthetically and historically significant to the City of Yarra (National Estate Register [NER] Criteria E1, A4).

Why is it significant?

The Church Street Heritage Overlay Area is significant:

- As one of the first parts of Richmond to be subdivided and developed, as expressed by early buildings like Messenger House 333 Church Street, from the 1840s;
- As the chosen site for a high number of individually significant 19th and early 20th century buildings set in grounds and including early ecclesiastical and civic buildings, and some Melbourne landmarks, as well as substantial residential buildings that were attracted to the area by its elevated topography, high amenity and proximity to churches;
- As the site of key civic or institutional buildings in Richmond from the 19th century through to the 1920s (i.e. The Richmond RSL Hall); and
- For its significant architecture such as the William Wardell designed St. Ignatius Roman Catholic Church as a well known and prominent landmark across the metropolitan area.

The heritage character of the precinct is also supported by the commercial development extending up Church St from the Swan St and Bridge Road shopping areas with shops dating from the late 19th and early 20th centuries, as part of the cultural context of Victorian and Edwardian-era life on the hill.

3. Clifton Hill Western Precinct (HO317)

Source: Graeme Butler & Associates (2007, 2013), *City of Yarra Review of Heritage Overlay Areas* [see Study for footnote references]

What is significant?

Survey

Following the establishment of the East Collingwood Council in 1855, The East Collingwood Local Committee successfully sought permission for East Collingwood to annex what is now Clifton Hill. East Collingwood wanted to extend East Collingwood's north south streets (Smith, Wellington and Hoddle) northwards to the Heidelberg Road (today's Queens Parade) to tap the traffic and trade coming from country areas such as Heidelberg; to gain access to the quarrying area for street making materials; and for space to erect public buildings, such as a town hall and market.

Distinguished naturalist and engineer, Clement Hodgkinson, as Victorian Assistant-Commissioner of Crown Lands and Survey 1861-74, was responsible for the government subdivisions of Carlton (south of Princes St, 1860), North Carlton, North Fitzroy and Clifton Hill (1865-9), Hotham Hill (1866), South and North Parkville (1868-9). Under his supervision, suburban planning employed the cost-efficient grid system used by Hoddle. Hodgkinson's predecessor.

The P. M. Goldbrick's 1864 *Plan of Allotments in the Boroughs of East Collingwood and Fitzroy* shows the distinctive geometric forms of Darling Gardens and Mayor's Park in Clifton Hill and Edinburgh Gardens in North Fitzroy.³⁵ The streets of Clifton Hill, North Fitzroy and North Carlton, as set out by the Colonial Government, were broader and better ordered than those created privately in Richmond, South Fitzroy and Collingwood, with the added distinction of the curved street forms in Fitzroy North.

Sale of land commenced in the 1860s with ample reserves for public purposes, the Darling Gardens and Mayors Park, a Market Reserve in Smith Street extending from Alexandra Parade to Council Street, a Public Baths Reserve in Smith Street from Council Street to Hodgkinson Street, a School Reserve in Gold Street and five Church Reserves throughout the area. By way of contrast, all the

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land sold in East Clifton Hill between 1871-1874 had no provision for public reserves.

Early Residential Development

In the three years from the first land sales in 1864 only six houses were built and in the next five years to 1872, 58 houses, four commercial premises (Queens Parade) and one industrial building (in Hoddle Street) were built. Early residential concentrations were at the west end of Alexandra Parade and the west end of Hodgkinson and Council Streets. These were near the horse drawn omnibuses to Northcote along Smith Street and Queens Parade (started in 1869) and employment opportunities at the Collingwood Gas Works in Smith Street, opened in 1861.

Amenity protection

Members of the public, including councils and organised pressure groups, wrote annually in relation to crown land reserves. In 1862-62 a petition from the 'Municipal District of East Collingwood' was presented to the Legislative Assembly citing the good work of the local Vigilance Committee towards improving Clifton Hill.³⁶

The level of community involvement engaged in 'articulating public interest priorities' can be gauged by the level and nature of the correspondence of which there was a great deal.³⁷ Demands for public parks, recreation areas, sporting grounds and botanic gardens increased.³⁸

More recently, The House of the Gentle Bunyip, constructed in three phases by two families between 1867 and the 1920s was the subject of controversy in the late 1990s when the local community successfully saved the building from demolition, after staging a picket lasting over 400 days.

Early public gardens

Preparations for planting the two Reserves (Darling Gardens and Mayors Park) proceeded with an application made in 1864 to Dr. Mueller FRS, Botanical Gardens Melbourne, for an assortment of trees, plants and shrubs and a liberal supply of Victorian *Hakea*, for the planting of Darling Gardens.³⁹ Many significant trees in Mayors Park and Darling Gardens have been identified as significant, including elm groups, cotton and Canary Island palms, and oaks.⁴⁰ The National Trust of Australia (Vic) has identified a *Quercus ilex* and *Ulmus procera* as significant trees in the Darling Gardens.

Trees

The 1897 MMBW Record Plan 29 shows that Hoddle Street had a double avenue of trees in Clifton Hill, Wellington Street was fully planted both sides with street trees from one end to the other, and Noone Street had trees at the east end. North Terrace had ten trees planted by local identity, George Langridge, MLA and former Mayor.

Boom era

During the metropolitan boom of 1881-91, the population of Collingwood increased by half, from 23,829 to 35,070, and the number of dwellings rose from nearly 5,000 to 7,000, mostly reflecting the development of Clifton Hill.⁴¹ The character of the area, as later described in *Victoria and its Metropolis*, was of a residential suburb "... that has of late years been extensively built on with a good class of houses and numerous handsome shops. It has an elevated position, and commands an excellent view of the metropolis."⁴² Local politicians and business figures (such as George Langridge) promoted development and aided in home ownership via building societies.

By the end of the boom in 1891, West Clifton Hill was almost fully developed. The 1897 MMBW record plan shows few vacant blocks. Most of this development took place between 1881 and

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1891, more quickly and more completely than in East Clifton Hill, North Fitzroy or North Carlton, the other government planned suburbs. This growth was due to Clifton Hill's closer proximity to employment and commerce in the south, with industries in Collingwood and Abbotsford being within walking distance of Clifton Hill, and aided by cable trams running along Queens Parade and down Smith Street.

Victorian-era industrial development

Industries such as the Clifton Hill Brewery, Ridgeway's Tannery and Stacey's Boot Factory, continued to be located in the south east of the area fronting Alexandra Parade and Hoddle Street, adjacent to the former Reilly Street drain that was essential for effluent disposal. There was also Richard Hodgson's distinctive shot manufacturer's tower.

Post Boom

The early years of the 20th century saw some reinvigoration of industry after the financial trials of the 1890s. Comparatively little residential development took place after the Boom, except for development in two small subdivisions of the original Crown allotments in streets around the Darling Gardens.

Main development period

The main development period evident in the heritage overlay is that of the Victorian-era with a substantial contribution from the Edwardian-period. There is also a contribution from some well preserved inter-war buildings and individually significant places of all eras.

Contributory elements

Contributory buildings are typically (but not exclusively) detached and attached Victorian-era and Edwardian-era mainly one-storey houses having:

- Expressed pitched gabled or hipped roofs, with some façade parapets;
- Mainly one storey wall heights but with some two storey house rows;
- Weatherboard, face brick (red, bichrome and polychrome), or stucco walls;
- Corrugated iron roof cladding, Marseilles pattern terra-cotta tiles, with some slate roofing;
- Chimneys of either stucco finish (with moulded caps) or of matching face brickwork with corbelled capping courses;
- Typically with post-supported verandah elements facing the street, set out on two levels as required with cast-iron detailing;
- Less than 40% of the street wall face comprised with openings such as windows and doors; and
- Front gardens, originally bordered by typically timber picket front fences of around 1m height; and
- Corner shops and residences with display windows and zero boundary setbacks.

And

- Well preserved buildings, including one storey houses plus one and two storey industrial buildings from the pre Second World War era;
- The Darling Gardens as a typical Victorian-era Garden Square, with mature exotic formally arranged planting;
- Significant and mature park, street and private tree plantings (including plane, oak and elm trees, palms in Mayors Park, and National Trust of Australia (Vic) significant trees);
- Provision of public and church reserves in the town plan; and
- Public infrastructure, expressive of the Victorian and Edwardian-eras such as bluestone pitched road paving, crossings, stone kerbs, and channels, and asphalt paved footpaths.

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How is it significant?

HO317 Clifton Hill Western Heritage Overlay Area is aesthetically, socially and historically significant to the City of Yarra (National Estate Register [NER] Criteria E1, A4)

Why is it significant?

Clifton Hill Western Heritage Overlay Area annexed by East Collingwood Council in 1855 and substantially developed by World War One is significant:

- As an expression, in the history of its creation as part of Collingwood East, of the aspirations of tradesmen of the Collingwood Slope for improved urban development and the provision of public facilities;
- For the role of local politicians and business figures in social, physical and industrial improvement and home ownership in the area;
- As the focus of community sentiment and resident protest from its initial development in the 1860s, from the actions of the Victorian-era Vigilance Committee to the preservation movements of the 20th Century, specifically the House of the Gentle Bunyip conservation campaign;
- For the distinctive street and allotment layout created under Government surveyor, Clement Hodgkinson⁴³, and the liberal allowance for garden squares and reserves for a market, public baths, a school, a recreation reserve and five churches, contrasting with private surveys in the City of Yarra;
- For Hoddle's provision of boulevards (Hoddle Street and Queen's Parade) skilfully merged with wide streets on a north south grid, with unusual five way intersections and triangular public spaces at each end of Queen's Parade;
- For the unique series of vistas from the crest of the hill at the end of Hoddle street that includes views of significant landmarks like the shot tower, spires of St. Johns and the former Wesleyan Church, Town Hall towers at Collingwood and Fitzroy, the Exhibition Buildings, and long vistas to the Kew hill and Studley Park, plus those to and from the Darling Gardens;
- For the area's fine representation of Victorian-era life, as expressed by the street and public reserves, along with the dominantly Victorian-era building stock including churches, a State school, factories, early houses, a large number of late Victorian terrace houses, attached and freestanding, and key house designs such as 12 North Terrace.
- For its focus on a representative and intact example of a residential garden square (Darling Gardens) based on British and European precedents, with associated significant trees;
- For the mature, largely exotic trees, including those planted by George David Langridge, MLA and former Mayor, bluestone kerbs, gutters, drains, channelling, and laneways from the area's major period of development;
- For the strong industrial theme, seen in the south of the area with several 19th Century industrial buildings including former boot factories, and a carriage factory, that links the area with the City's other creek and riverside industrial localities such as Clifton Hill East, Abbotsford and Collingwood;
- For well preserved Edwardian housing estates and individual houses as complements to the dominant Victorian-era residences; and
- For good examples of the Californian Bungalow style and other well preserved interwar houses.

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4. North Fitzroy Precinct (HO327)

Source: Graeme Butler & Associates (2007, 2013), *City of Yarra Review of Heritage Overlay Areas* [see Study for footnote references]

North Fitzroy has two sub-areas:

- (A) The Government planned section south of Holden St
- (B) The privately planned section north of Holden St

(A) NORTH FITZROY HERITAGE OVERLAY AREA (SOUTH OF HOLDEN ST)

What is significant?

Early subdivision

The south section of North Fitzroy (south of Holden Street) was retained in Crown ownership until 1865, as part of the Melbourne township reserve. This was a ring of land extending 5 miles from Hoddle's original Melbourne town plan that was set aside in 1844 for 'orderly' development in government-planned subdivisions.⁷⁵

North of Holden Street, large agricultural allotments had been sold in 1839, their boundaries surviving in the east-west streets of Miller, Barkly and Clausen Streets. There was also an area, bounded by (approximately) Nicholson, Church, Rae and Scotchmer Sts, that was sold as private quarry allotments in 1851 to encourage production of building stone.⁷⁶

The future suburb was bordered by a road to Heidelberg and the Plenty districts (later Queen's Parade) that ran diagonally to Hoddle's survey grid through the North Fitzroy's Crown reserve. It was proclaimed in 1850 as one of Melbourne's 3 chain (60 metre) government roads, now called 'Hoddle boulevards'.

To the north, the township of *Northcote on the Merri-Merri Creek* (later Westgarth) was laid out by Hoddle in 1852 with some allotments extending south of the Merri Creek to Rushall Crescent in North Fitzroy. These allotments now have substantial buildings dating from the 1850s and 1860s (see Queen's Parade Heritage Area, HO331).

St. George's Rd was another diagonal route, on the western flank of the area, used to transport construction materials to the 1854-8 Yan Yean water supply scheme near Whittlesea.⁷⁷ By 1860, Fitzroy Council annexed the 480 acres now comprising North Fitzroy.

Distinguished naturalist and engineer, Clement Hodgkinson, as Victorian Assistant-Commissioner of Crown Lands and Survey 1861-74, was responsible for the government subdivisions of Carlton (south of Princes St, 1860), North Carlton, North Fitzroy and Clifton Hill (1865-9), Hotham Hill (1866), South Parkville and North Parkville (1868-9). Under his supervision, suburban planning employed the cost-efficient grid system used by Hoddle. A model town design⁷⁸ in the area by Hodgkinson's predecessor, Andrew Clarke (the designer of St Vincent's Place, South Melbourne), is thought to have inspired the curved streets of Alfred and Rushall Crescents in North Fitzroy, although both streets were laid out under Hodgkinson.⁷⁹

Edinburgh Gardens

Lacking a public recreation reserve, the new Fitzroy Council was temporarily granted 7 acres in 1858 bounded by Reilly Street (Alexandra Parade), Queens Parade and Smith St.⁸⁰ The 1858 reserve was for a future Anglican parish church and the Collingwood (later the Metropolitan) Gas Company which commenced production in 1861. In 1862, Fitzroy Council requested an oval-shaped 50 acre public

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reserve flanking the Yan Yean tramway (St. George's Road). The oval reserve was laid out under Hodgkinson and extended south in 1863, as a squared-off addition to the reserve to the line of Freeman St, to provide the Prince of Wales Cricket Club an extra playing ground.⁸¹ In 1882-3, Edinburgh Gardens was permanently granted to the Council and planting of its avenues commenced.

Land sales and development

Sale of North Fitzroy's $\frac{1}{4}$ - $\frac{1}{2}$ acre allotments commenced in 1865, extending west from Rushall Crescent. Further east, lots between Brunswick and Nicholson Street were sold between 1867 and 1875.⁸² Settlement increased after 1869 when horse-drawn omnibuses began running from North Fitzroy along Nicholson St and Queen's Parade to the city. Development concentrated around the established quarry route (Nicholson Street) and the road to the Yan Yean Reservoir (St. George's Road).

St. Brigid's Catholic Church in Nicholson Street was commenced in 1869 and the Methodist Church, further north, in 1874. In the pre-Boom years (before 1883) this was North Fitzroy's most established area, characterised by modestly scaled brick and wood houses, shops, hotels, and commercial premises, the latter prevailing on main routes such as Rae, Reid, Brunswick Sts and St Georges Rd.

North Fitzroy Primary School was built in Alfred Crescent (HO212) overlooking Edinburgh Gardens. This was typical of 19th century government-planned suburbs where public schools were located on or near public recreation reserves. A police station was established west of the school, giving the north-west corner of the gardens a civic character, embellished by an ornamental fountain after the turn of the century.⁸³ St Luke's Church of England in St Georges Rd was commenced in 1879.

Suburban development was rare east of St Georges Road prior to the Boom, but in 1869 philanthropist George Coppin created the Old Actor's Association village overlooking Merri Creek close to Northcote, later the site of the Old Colonists' Association (HO218). Nearby land was granted to the Licensed Victuallers' Association for asylum homes and a school (site of Fitzroy Secondary School since 1915).⁸⁴

Transport

When cable tram routes along Queen's Parade, Nicholson Street and St. Georges Road commenced construction in 1883, North Fitzroy landowners began subdividing their allotments. On the Nicholson Street tram route, owners of the 1850s stone quarries and the 1839 farm allotments north of Holden St, followed suit.

When tram services began in 1887 many new houses were ready for sale or under construction. North Fitzroy emerged as a late-Victorian commuter suburb with local shopping strips along the cable tram routes, the commercial strip of St Georges Road extending east and west along Scotchmer Street. Convenience shops were built on pedestrian street corners as households multiplied. The Inner Circle Railway running via Royal Park, North Carlton, Nicholson St, and Clifton Hill was completed in 1888 with a spur line dividing the Edinburgh Gardens into two, and terminating at the 'Fitzroy' station, Queen's Parade. A new rail link direct to the city (the Clifton Hill to Princes Bridge line) opened in 1901 and saw Edwardian buildings filling out the suburban streets east of St. Georges Road and the revitalising of the main shopping strips.⁸⁵ Public transport continued to support North Fitzroy as a commuter suburb during the 1920s with the opening of Rushall railway station and the electrification and extension of the St Georges Rd and Nicholson St tramways.

North Fitzroy's suburban development, especially east of St George's Road to Rushall Crescent, was far from complete when the Boom collapsed in 1893. However its good access to public transport led to a rapid recovery. A number of small factories were built in or near the 19th century commercial strip of Scotchmer St, the best architectural examples being of the late 1930s.

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Main development era, south of Holden St

The main development period evident in the heritage overlay south of Holden St is that of the Victorian era with a substantial contribution from the Edwardian-period. There is also a contribution from some well-preserved inter-war buildings and individually significant places of all eras.

Contributory elements, south of Holden St

The North Fitzroy Heritage Overlay Area (south of Holden St) contributory elements include (but not exclusively) generally detached and attached Victorian-era and Edwardian-era houses having:

- Pitched gabled or hipped roofs, with some façade parapets, many elaborate;
- One storey wall heights but with many two storey house rows,
- Rectilinear floor plans, with many bayed room projections on the plans of large houses;
- Face brick (red, bichrome and polychrome) or stucco walls, some weatherboard;
- Corrugated iron and slate roof cladding, some Marseilles pattern terra-cotta tiles;
- Chimneys of either stucco finish (with moulded caps) or of face brickwork with corbelled or cemented capping courses;
- Post-supported verandah elements facing the street, set out on two levels as required with cast-iron and timber detailing, and many curved verandah wing-walls;
- Less than 40% of the street wall face comprised with openings such as windows and doors; and
- Front gardens, originally bordered by timber or iron picket front fences of around 1m height; often set between brick or cemented pillars and curved brick garden wing walls.
- Face brick (typically red) privies set on rear lanes, with some stables and lofts to the larger houses;
- Shops and residences sited on corners with display windows and zero boundary setbacks;

Contributory elements also include attached Victorian and Edwardian-era shops, and residences over, with

- Façade parapets and pitched roofs behind,
- Two storey wall heights,
- Post-supported street verandahs as shown on the MMBW Detail Plans,⁸⁶
- No front or side setbacks; also
- Timber framed display windows and entry recesses.

Contributory elements also include:

- Well preserved buildings from the pre Second War era, that are visually related to the dominant scale, siting and form of the area;
- Service buildings, like pre WW2 electric substations;
- The distinctive suburban plan, enhanced by curving street forms, and defined by boulevards;
- Edinburgh Gardens as a Victorian-era residential circus, and for the other garden, boulevard and median reserves (such as Queens Parade), with mature exotic and formally arranged planting;
- Mature street tree plantings (such as plane and elm tree rows, Queensland brush box);
- The provision of public and church reserves in the town plan, including the Inner Circle Railway reserve;
- The rectilinear Victorian-era allotment plans and street layout with wide main streets, rear service lanes, all counter posed with circular parkland reserves, major angled streets and boulevards;
- The dominance of spires and towers of public buildings, churches and some large houses in the skyline; and
- Public infrastructure, expressive of the Victorian and Edwardian-eras such as bluestone pitched road paving, crossings, stone kerbs, and channels, and asphalt paved footpaths.

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How is it significant?

HO327 North Fitzroy Heritage Overlay Area (south of Holden St) is aesthetically and historically significant to the City of Yarra (National Estate Register [NER] Criteria E1, A4)

Why is it significant

The Government planned section of Fitzroy North (south of Holden St) is significant

- As a demonstration of the earliest stages in the development of North Fitzroy, commencing with the 1850s Yan Yean tramway and the quarry route of Nicholson St, the establishment of North Fitzroy's first churches and its pre-Boom suburban mixture of small residential and commercial buildings coinciding with provision of horse drawn public transport.;
- For its late 19th century buildings that represent rapid growth and change in the character of the relatively remote suburb to an established residential and business area with a range of commercial and institutional buildings serving the wider population of North Fitzroy;
- For the aesthetic value of its suburban planning, with the combination of curving streets and garden reserves, and the vistas created by the intersections of standard rectilinear subdivision with the strong diagonals formed by St Georges Road and Queens Parade, the exceptionally wide streets and crescents, the triangular garden reserves, and focal views to buildings and parkland. This aesthetic is underscored by the built form seen in the construction of commercial and institutional buildings to the property alignment along a number of streets and on corners;
- The generous public domain, with street plantings of historic elms and 20th century plane trees,
- For its low rise streetscapes of intact Victorian and Edwardian buildings one and two-storey terrace and villa housing;
- For the range of Victorian and Edwardian-era building form and finish, from the modestly decorated timber cottages and stuccoed Italianate style houses, simply designed corner hotels and shops, to the rich variety of decorative buildings including an extraordinary concentration of decorative bichrome and polychrome brickwork and flamboyantly decorated Italianate residential and commercial terraces, banks and hotels, interspersed very occasionally with dominating narrow spire and tower elements of religious, commercial and institutional buildings.
- As one of Melbourne's early residential commuter suburbs served by train and cable tram services linking it to the city by 1888, with extensive Boom era terrace buildings and closely built row housing within this sub-area providing evidence of the effects of public transport on early development;
- As essentially a well preserved Boom-era suburb that, despite the abrupt economic collapse of the early 1890s, continued developing during the Great Depression years and into the first decades of the 20th century due to the amenity of its planning, parkland, local schools and shops and extensive public transport. This yielded both the generous frontages and sizes of the post-Depression villa houses and the row house forms and narrow frontages of the Boom era;
- For its traditional Victorian-era residential character, evoked by the formal presentation of the decorated façade to the street with its small ornamental front garden, low front fence, pedestrian gateway and front path, with the functional necessities of delivering coal, removal of nightsoil and occasional stabling provided by the back lanes;
- For landmark buildings and sites that formed key meeting places in the area during the main development era of the 1860s to the 1930s, including religious institutions, schools, monasteries and churches, and the buildings associated with charitable bodies such as the Salvation Army, Church of Christ Bible School, and the temperance movement. Also the former Nth Fitzroy Police Station, the former Licensed Victualler's School and Asylum site and complexes such as the Old Colonists Homes;
- For the asphalt footpaths, pitched lanes, gutters and lane crossovers and mature street and

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individual plantings (such as mature elms, planes, palms, and Kurrajongs) that reinforce the unified character of the dense, relatively low-rise residential development;

- The 19th century landscape of Edinburgh Gardens and its representation of Fitzroy's cultural history in its plantings, memorials, recreation sports club grounds and pavilion buildings, plus the Inner Circle Railway reserve as a cultural landscape strip across the north of the area;
- For the outstanding Victorian and Edwardian-era streetscapes such as those surrounding the Edinburgh Gardens (Alfred Crescent, St Georges Road, Brunswick and Freeman Streets) that include a rich collection of Victorian-era Gothic and Italianate style buildings interspersed with fine buildings from the Edwardian period;
- For the important views and vistas within the area, including those of the Edinburgh Gardens, its mature trees and historic structures, as seen from many parts of the Heritage Overlay Area, and views obtained from Edinburgh Gardens to the many significant buildings at its curtilage and the city skyline, the vista from the elevated position of the Cricket Club grandstand toward the upper façades of buildings in Freeman and Brunswick Streets, and the Brunswick Street vistas (south to the spire of St Patrick's Cathedral, and north to St Luke's spire)
- For the contribution of well-preserved inter-war buildings, particularly the small intact inter-war houses where the building design has adapted to the prevailing built character of the area in siting, scale, decorative quality and stylistic variety.

(B) NORTH FITZROY HERITAGE OVERLAY AREA (NORTH OF AND INCLUDING HOLDEN ST)

What is significant?

Development north of Holden St

(Refer also to *Development south of Holden St*)

North of Holden St, the 1839 farm allotments closest to Nicholson St were subdivided for row-housing during the late Victorian-era Boom years but remained empty until after 1900. Suburban development followed in the years to 1920 with timber villas on relatively wide (approximately 10 metre frontages). Some empty sites were developed in the 1930s and 1940s with medium density, duplex and estate housing development, some of these being architecturally distinctive. Mature street tree planting includes plane trees, typical of Edwardian-era and inter-war planting. The Merri State (now Primary) School 3110 and landscaping, in Miller St, is a key early non-residential building in this part of the Heritage Overlay Area.

Main development era, north of Holden St

The main development period evident in the heritage overlay is that of the Edwardian-period with a contribution from the Victorian era. There is also a contribution from some well preserved inter-war buildings and individually significant places of all eras.

Contributory elements, north of Holden St

The North Fitzroy Heritage Overlay Area (north of and including Holden St) contributory elements include (but not exclusively) generally detached (and some attached) Victorian-era and Edwardian-era mainly one-storey houses having typically:

- Pitched gabled or hipped roofs, with few façade parapets;
- One storey wall heights but with some two storey house rows;
- Weatherboard or block fronted wall cladding, with face brick (red, bichrome and polychrome), or stucco walls;
- Corrugated iron roof cladding, with some Marseilles pattern terra-cotta tiles, with some slate roofing;
- Chimneys of either stucco finish (with moulded caps) or of matching face brickwork with corbelled capping courses;
- Post-supported verandah elements facing the street, with timber (Edwardian-era) or cast-iron

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detailing;

- Less than 40% of the street wall face comprised with openings such as windows and doors; and
- Front gardens, originally bordered by timber picket front fences of around 1m height.

Contributory elements also include:

- Corner shops and residences, with display windows and zero boundary setbacks;
- One and two storey commercial strips (i.e. St Georges Road) with some key corner Victorian and Edwardian-era buildings and well preserved inter-war examples;
- Well preserved buildings, including visually related one and two storey residential buildings from the pre Second War era, are contributory to the heritage overlay;
- Long east-west streets as former rural allotment boundaries, with repeating allotment sizes and rectilinear allotment forms;
- The inner circle railway reserve, with associated railway infrastructure;
- Mature street tree plantings (typically plane trees) and reserve planting (typically palms), and
- Public infrastructure, expressive of the Victorian and Edwardian-eras such as bluestone pitched road paving, crossings, stone kerbs and channels, and asphalt paved footpaths.

How is it significant?

H0327 North Fitzroy Heritage Overlay Area (NORTH OF AND INCLUDING HOLDEN ST) is aesthetically and historically significant to the City of Yarra (National Estate Register [NER] Criteria E1, A4)

Why is it significant

North Fitzroy Heritage Overlay Area (NORTH OF AND INCLUDING HOLDEN ST) is important:

- For the clear indication of important early land development phases in the suburb as follows:
 - East-west, relatively long and narrow streets originating from private subdivision of the 1839 agricultural allotments that originally fronted Merri Creek;
 - The evident effect of the 19th century Boom era when aggressive subdivision coincided with provision of public transport, creating dense late-Victorian development near the Nicholson St cable tram terminus;
 - The more generous post-1906 subdivisions (suited the construction of detached timber villas) representing changed values in land prices, and the relatively new suburban ideal of affordable house and garden lifestyle;
 - The slow transformation into a completed residential suburb by WW2, with the last few vacant sites accommodating interwar dwellings, some developed with medium-density housing, duplexes and flats.
- For the consistent and intact streetscapes of late Victorian terrace and row housing in the south-west corner of the area, and Italianate style and Edwardian timber villas, interspersed occasionally with inter-war houses, in the balance of the area;
- For the visual consistency and good period expression of streets in the north and east parts of the area, consistently one-storey, timber construction, decorative detail, and detached siting with consistent garden setbacks;
- For the interwar medium density development pockets, including those contained within Pilkington St and parts of Barkly St, King and Miller Streets, significant for its intactness, form and high quality design.
- For the shopping strip streetscape of St Georges Rd, significant for its landmark Victorian-era buildings, plus intact early 20th century and interwar buildings in both Classical Revival and Moderne styles; and
- For important landscape and vistas, including the view of Merri Creek Bridge framed by palms and mature elms in the Merri Primary School reserve, and mature street plantings of plane trees.

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5. Queens Parade Precinct, North Fitzroy/Clifton Hill (HO330)

Source: GJM Heritage (2017), *Queens Parade Built Form Heritage Analysis & Recommendations Report*

What is significant?

Queens Parade, North Fitzroy from south-west of Delbridge Street to Brennand Street (nos. 264-492); Queens Parade, Clifton Hill from Wellington Street to Turnbull Street (nos. 61-197), Queens Parade Road Reserve from St John the Baptist Church Presbytery to the railway overpass, and Raines Reserve. NOTE: 12 and 14 Brennand Street (not contributory) are included in HO330 in Appendix 8 but mapped in HO327.

History

First established as a track linking Melbourne and Heidelberg in the late 1830s, Queens Parade was one of Melbourne's first major roads. Originally extending from the top of Bourke Street, the route followed an irregular course to the north-east and continued across Merri Creek. The road was surveyed by Hoddle as a substantial three chain (60 metre) wide boulevard, reserved in 1853, and known as Heidelberg Road at the south-west end and Plenty Road further to the north-east and crossing Merri Creek. This thoroughfare to Northcote and Heidelberg formed part of the boundary between Clifton Hill and North Fitzroy and was renamed Queens Parade in the early twentieth century.

Allotments were sold in Queens Parade from 1853, on the northern side, south of Merri Creek as part of the Northcote township reserve. The Scotch Thistle Hotel, the present Terminus Hotel, had been built as part of this township by 1854 and some early bluestone terrace houses remain nearby at the corner of Rushall Crescent. Allotments fronting both sides of Queens Parade sold from 1864, however the street remained largely undeveloped until the construction of buildings such as the Daintons Family Hotel at the corner of Gold Street in 1875 and St John's Roman Catholic Church (now St John the Baptist Church), in 1876.

This thoroughfare between Melbourne and the northern districts experienced a development boom in the 1880s, with commercial functions serving local residents as well as those travelling through, and much of the present building stock in the precinct was constructed at this time. Development on the North Fitzroy (northern) side was predominantly two-storeys, including shops with residences above, such as the building at the corner of Michael Street (336-338 Queens Parade, 1870-1890) and banks, including the National Bank of Australasia (1886) and the three-storey landmark building, the former London Chartered Bank (later the ANZ Bank, 1889). The Clifton Hill (southern) side of the street developed with some shops, large commercial enterprises and some public buildings, including the Post and Telegraph Office (1893), a row of seven shops and residences known as Campi's Buildings (1880s), the State Savings Bank (1889), and the Clifton Hill Hotel (1884) on the south-east corner of Wellington Street.

Public transport was established in the area during the Boom years of the 1880s. A cable tram service was provided along the developing Queens Parade commercial strip in 1887, terminating at the Merri Creek and this was extended to Northcote in 1889. Increasing demand for public transport resulted in the opening of the Royal Park to Clifton Hill railway in 1888.

Development in Queens Parade decreased during the depression years of the 1890s, however a 1904 Melbourne and Metropolitan Board of Works detail plan indicates it was a tree lined commercial street with verandahs over the footpaths on both sides of Queens Parade by that time. Commercial development re-commenced in the early twentieth century, adding an Edwardian presence to the existing Victorian character of the precinct. Edwardian buildings include the Clifton Hill & Northcote United Friendly Societies Dispensary (1914), the Clifton Hill Post Office (c1915-20) and the former

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doctor's surgery and residence (c1915). Additionally, a substantial group of detached Edwardian houses were built on the North Fitzroy side of Queens Parade, at the north-east end.

By the close of the Edwardian period (c1918) the streetscape, that continues today to mark the entrance to Melbourne's northern suburbs, had largely been established. Notable Interwar buildings were added to the streetscape in the 1930s including a pair of landmark Moderne buildings at the north-east end - the former United Kingdom Hotel (1937-38), located on the prominent intersection of Queens Parade and Heidelberg Road, and the nearby Clifton Motors Garage (1938 façade). Extensive beautification took place in the inter-war period in the form of landscaping and further street tree plantings. Grassed median strips were planted with plane and elm trees at the western end and a triangular garden (Raines Reserve, originally Rain's Reserve) was created at the junction with Heidelberg Road.

Description

The main development period of the Queens Parade Precinct is from the 1870s to c1920 and the streetscape largely dates to this period. A small number of buildings from both earlier and later periods make a contribution to the precinct. A number of individually significant buildings are contained within the precinct, dating predominantly from the 1870s-1920 period.

Buildings are predominantly attached Victorian and Edwardian shops and residences. They are predominantly two-storey with some single-storey shops interspersed. Towards the north-eastern end of the precinct are a row of detached single and two-storey residences, predominantly from the Edwardian period.

Elements that contribute to the significance of the place include (but are not limited to):

- The wide, open boulevard character with associated landscaping (including Raines Reserve, the planted medians, bluestone pitched road paving, crossings, stone kerbs and channels, and asphalt paved footpaths).
- Views afforded to significant buildings in and beyond the precinct (St John the Baptist Church, former ANZ Bank building, and former United Kingdom Hotel)
- The consistent Victorian and Edwardian commercial character of the precinct, which includes:
 - A consistent two-storey scale with some single-storey buildings
 - A variety of simple and some highly decorative façade parapets, with pitched roofs behind
 - No front or side setbacks
 - Face red brick or rendered walls
 - Rendered window frames, sills and hoods to upper stories
 - Rendered ornament to upper stories
 - Brickwork with corbelled capping courses
 - Strong horizontal lines formed by parapets, cornices, string courses
 - Repetitive upper floor fenestration patterns
 - Corrugated iron, slate and terracotta tiled roof cladding
 - Decorative chimneys (some with pots)
 - Original post-supported street verandahs
 - Shop fronts with display windows, timber or tiled plinths, and entry recesses.
- The predominantly Edwardian residential character at the north-eastern end, which includes:
 - Steeply pitched gabled or hipped roofs, predominantly with terracotta tiles and terracotta ridge capping and/or finials
 - Prominent, often highly decorative brick chimneys
 - Prominent gable ends
 - Predominantly red brick construction
 - Front gardens

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How is it significant?

Queens Parade, North Fitzroy/Clifton Hill is of local historical, architectural and aesthetic significance to the City of Yarra.

Why is it significant?

The Queens Parade Precinct is located on a major thoroughfare that has linked Melbourne to the northern suburbs since the 1830s. It is centred on one of Melbourne's early reserved boulevards, having been surveyed by Hoddle and reserved in 1853. The wide boulevard retains distinctive median strip landscaping from the twentieth century, including Raines Reserve. The Queens Parade Precinct is an intact turn of the century 'High Street' that has functioned continuously as a key commercial centre since the 1870s. It contains a substantial collection of intact commercial buildings, predominantly from the Victorian and Edwardian periods, including shops and associated residences, hotels and other commercial and civic buildings, as well as a group of detached Edwardian residences at the north-eastern end. Together these buildings demonstrate the development of this 'High Street', particularly from the 1870s to c1920 when substantial growth along the boulevard occurred, and are illustrative of the enduring role the street has played in the economic and social life of North Fitzroy and Clifton Hill since the establishment of the suburbs [Criterion A].

The highly intact streetscape of the Queens Parade Precinct clearly demonstrates the principal characteristics of a major turn of the century 'High Street' in the City of Yarra. Typical characteristics – including predominantly two-storey Victorian and Edwardian wall heights, parapeted rendered or red brick facades with repetitive upper floor fenestration, and ground floor shopfronts – are displayed in the original forms, fabric and detailing of many of the buildings. The streetscapes on the northern side of Queens Parade from Delbridge Street to 410 Queens Parade and on the southern side of Queens Parade from Wellington Street to 169 Queens Parade are particularly intact and are highly consistent in their architectural form and expression, forming a cohesive and significant streetscape. A group of detached houses at the north-eastern end of the precinct are intact and consistent in their Edwardian character and form [Criterion D].

The Queens Parade Precinct contains a number of landmark and individually significant buildings which are well considered and carefully detailed examples of commercial and civic buildings. These include, among others, the prominent three-storey Former London Chartered Bank of Australia Ltd (later ANZ Bank building), 370-374 Queens Parade, the former Daintons Family Hotel (139 Queens Parade, built 1875), the former Melbourne Savings Bank (97-99 Queens Parade, built 1889), former National Bank of Australasia (270 Queens Parade, built 1886), Ryans Building (314 Queens Parade, built 1884), Campi's Buildings (149-167 Queens Parade, built c1880-c1890) and the corner shop at 336-338 Queens Parade, North Fitzroy (c1870-c1890). Key views to the local landmarks of the St John the Baptist Church complex and the Former United Kingdom Hotel, 199 Queens Parade, which bookend the precinct are afforded from within the precinct [Criterion E].

6. Richmond Hill Precinct (HO332)

Source: Graeme Butler & Associates (2007, 2013), *City of Yarra Review of Heritage Overlay Areas* [see Study for footnote references]

ALL SUB-PRECINCTS

What is significant?

Subdivision types

The land which now comprises the Richmond Hill Area was purchased from the Crown in 1839 and consisted of six portions each of 25 acres in the parish of Jika Jika (CPs 21-26). The purchasers were Dr.

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Farquhar McCrae (CP24, surgeon), Rev. Joseph Docker (CP21-22, squatter), W H Yaldwyn (CP26, squatter, banker), Henry Gordon Brock (CP25), and John McNall (CP23, Melbourne's first butcher)⁹⁶.

From 1840 onwards, Dr. McCrae sold parts of his allotment (at the north west corner of the heritage overlay) to prominent Melbourne figures, including Alexander McCrae, Alfred Woolley, Charles Williams, George Arden, and Thomas Strode (proprietors of the *Port Phillip Gazette*).⁹⁷ He also subdivided off 36 half acre blocks, creating Rowena Parade, Sherwood and Rotherwood Streets. Further subdivisions took place in the 1870s and 1880s.

Yaldwyn sold his allotment (at the north-east corner of the heritage overlay) to William Meek in 1840 and, by 1853, the Waltham Street and Darlington Parade areas were subdivided, and further subdivided in the 1880s. The Vaucluse area was laid out in the 1860s and a private street was created to link Rowena Parade and Church Street, for the use of abutting landholders only. The Vaucluse, thought to be the only Victorian-era private street in the inner suburbs, has its eastern entry at St Ignatius Church. Large houses were erected on this section, including Richmond Hill for James Henty (Waltham Street, 1851) and a two-storey Italianate house for distinguished architect, James Blackburn Jr.

Docker had subdivided his two allotments by 1853 (at the south-east corner of the heritage overlay), creating a model village (Village of Clifton) set out as 365 lots on a grid plan designed by Charles Laing. Its regular layout was unlike the other haphazardly planned private subdivisions in the area. The village was bordered by Wangaratta St (inclusive) on the west, the Richmond Terrace service lane on the north, the Church St on the east and Swan Street on the south⁹⁸. By 1857 Docker still owned many of the houses built on these allotments. His own townhouse was at 370 Church Street. By the 1880s, this area was almost fully developed. (See South Residential Sub-precinct)

Brock's allotment (at the north-centre of the heritage overlay) was purchased by overlander John Gardiner⁹⁹ who erected a villa on it when he retired from his grazing activities to take up the position of managing director of the Port Phillip Bank in 1840.¹⁰⁰ By 1853, Lennox Street, Rowena Parade and Goodwood Street had been laid out. Further subdivisions occurred in the 1870s and 1880s.

The allotment purchased by McNall (at the south-west corner of the heritage overlay) had undergone minor subdivision by 1853. McNall erected his house there, and his widow continued to live there following his death in the 1850s.¹⁰¹ In 1859, the railway was established, and Richmond Station was constructed at the south-west corner of the allotment. The land had undergone major subdivision by the 1870s and 1880s.

Major industry development

In the early 20th century the expansion of manufacturing across the nation was reflected in new industrial centres that were developed close to rail and road transport, as distinct from the Victorian-era industrial development that had occupied coastal sites or river and creek banks. Near to the transport hub of Richmond Railway Station and busy Punt Road, grew a distinctive group of factories and warehouses, mainly associated with the growth of the clothing manufacturing industry in the City and dating substantially from the early decades of the 20th century. This area had previously been residential.¹⁰²

The Australian Knitting Mills Ltd. (41-43 Stewart St, knitted goods manufacturers) complex was at the centre of the Stewart-Tanner Streets industrial area development area. It was developed from 1912 when the supply for World War One uniforms was an impetus for its expansion and had another major building addition in 1922-5.¹⁰³ The company created the 'Golden Fleece' and 'Kookaburra' brands.

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Inter-war residential estates

Set away from this concentrated industrial strip, but related historically to it, was the Pelaco factory (1922-1928), located on a hill on the former site of a Victorian-era mansion.

Houses in Fordham Court and the associated part of Goodwood Street were built speculatively in 1939 for Mrs B.E. Fordham of Yarradale Rd., Toorak, on land sold by Pelaco.¹⁰⁴ These houses provide a distinctive enclave within the surrounding Victorian and Edwardian-era development.

A. RICHMOND HILL HERITAGE OVERLAY AREA (WEST SUB-AREA)

Main development era

The main development period evident in the Richmond Hill west sub-area of the Heritage Overlay Area is that of the Victorian era with a substantial contribution from the Edwardian-period. There is also a contribution from some well preserved inter-war buildings and individually significant places of all eras.

Contributory elements

The Heritage Overlay Area contributory elements include (but not exclusively) mainly small, detached and some attached Victorian-era and Edwardian-era houses having typically:

- Pitched gabled or hipped roofs, with some façade parapets,
- One storey wall heights but with some two storey house rows,
- Face brick (red, dichrome and polychrome), weatherboard, or stucco walls;
- Corrugated iron roof and slate cladding, some unglazed Marseilles pattern terra-cotta tiles;
- Chimneys of either stucco finish (with moulded caps) or of matching face brickwork with corbelled capping courses;
- Post-supported verandah elements facing the street, set out on two levels as required with cast-iron detailing for Victorian-era houses and typically timber for Edwardian-era;
- Less than 40% of the street wall face comprised with openings such as windows and doors; and
- Small front gardens, originally bordered by typically timber picket front fences of around 1m height.

Contributory elements also include:

- Corner shops and residences with display windows and zero boundary setbacks.
- Well preserved buildings including typically one storey buildings from the pre Second War era.
- Public infrastructure, expressive of the Victorian and Edwardian-eras such as bluestone pitched road paving, crossings, stone kerbs, channels, and asphalt paved footpaths.

B. RICHMOND HILL HERITAGE OVERLAY AREA (NORTH SUB-AREA)

Main development era

The main development period of the Richmond Hill north sub-area of the Heritage Overlay Area is that of the Victorian-era with a substantial contribution from the Edwardian-period. There is also a contribution from some well preserved inter-war buildings and individually significant places of all eras.

Contributory elements

The Heritage Overlay Area contributory elements include (but not exclusively) mainly detached and some attached Victorian-era and Edwardian-era mainly one and two -storey houses having typically:

- Pitched gabled or hipped roofs, with some façade parapets,
- One and two storey wall heights but with some two storey house rows,
- Face brick (red, dichrome and polychrome), or stucco walls;
- Corrugated iron roof and slate cladding, some Marseilles pattern terra-cotta tiles;
- Chimneys of either stucco finish (with moulded caps) or of matching face brickwork with corbelled capping courses;

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- Post-supported verandah elements facing the street, set out on two levels as required with cast-iron detailing for Victorian-era houses;
- Less than 40% of the street wall face comprised with openings such as windows and doors; and
- Front gardens, originally bordered by typically timber or iron picket front fences of around 1m height.

Contributory elements also include:

- Corner shops and residences with display windows and zero boundary setbacks.
- Well preserved buildings including typically one storey buildings from the pre Second War era.
- Public infrastructure, expressive of the Victorian and Edwardian-eras such as bluestone pitched road paving, crossings, stone kerbs, channels, and asphalt paved footpaths.

C. RICHMOND HILL HERITAGE OVERLAY AREA (PELACO, FORDHAM COURT/PART GOODWOOD STREET SUB-AREA)

Main development era

The main development period of the Richmond Hill Fordham Court/Goodwood Street sub-area of the Heritage Overlay Area is that of the Inter-war era.

Contributory elements

Contributory buildings in the Fordham Court/Goodwood Street sub-area are typically:

- Residential;
- Single storey;
- Constructed in brick and rendered masonry;
- Of a hipped and gabled tiled roof form, some with a single hipped or gabled roof form over the two dwellings to appear as single larger houses;
- Semi detached duplexes;
- Set in relatively deep garden setbacks; and
- Fenced originally with front fences of low (500-700mm panel height) brick and rendered masonry pier and panel walls.

And

- Public infrastructure, part expressive of the Victorian and Edwardian-eras such as asphalt paved footpaths but most of the kerb and channel is concrete, as typical of the inter-war period.
- Former Pelaco factory (c1922) as an icon in the area, but unrelated in scale and form to the inter-war housing nearby.

D. RICHMOND HILL HERITAGE OVERLAY AREA (SOUTH SUB-AREA)

Main development era

The main development period evident in south sub-area of the Richmond Hill Heritage Overlay Area is that of the Victorian-era. There is also a contribution from the Edwardian-era and some well preserved inter-war buildings and individually significant places of all eras.

Contributory elements

The Heritage Overlay Area contributory elements include (but not exclusively) mainly detached and some attached Victorian-era (some early Victorian-era), one-storey houses having typically:

- Steeply pitched gabled or hipped roofs;
- One storey wall heights;
- Weatherboard (square or bead edge), face brick (dichrome), stone, or stucco walls;
- Corrugated iron roof and slate cladding;

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- Chimneys of either stucco finish (with moulded caps) or of matching face brickwork with corbelled capping courses;
- Simple post-supported timber verandah elements facing the street;
- Less than 40% of the street wall face comprised with openings such as windows and doors; and
- Front gardens, sometimes minimal, originally bordered by typically timber picket front fences of around 1m height.

Contributory elements also include:

- Corner shops and residences with display windows and zero boundary setbacks;
- Well preserved buildings, including typically one storey buildings from the pre Second War era.
- A regular subdivision plan with alternating wide principal streets and narrow service streets; and
- Public infrastructure, expressive of the Victorian and Edwardian-eras such as bluestone pitched road paving, crossings, stone kerbs, channels, and asphalt paved footpaths.

E. RICHMOND HILL HERITAGE OVERLAY AREA (SOUTH INDUSTRIAL SUB-AREA)

Main development era

Main development period in the Richmond Hill south industrial sub-area of the Heritage Overlay Area is of the Edwardian-era and inter-war period.

Contributory elements

Contributory elements include (but not exclusively) industrial buildings from the early decades of the 20th century with typically:

- Wall heights ranging from 1-5 levels;
- Façade parapets, sometimes with proprietary logos, with pitched roofs behind;
- Limited or no setback from street frontages; and
- Walls of face red brick (some over-painted) with rendered bands.

Contributory elements also include:

- Public infrastructure, part expressive of the Victorian and Edwardian-eras such as some bluestone pitching and asphalt paved footpaths.

How is it significant?

HO332 Richmond Hill Heritage Overlay Area as a whole is aesthetically and historically significant to the City of Yarra (National Estate Register [NER] Criteria E1, A4)

Why is it significant

A. The Richmond Hill Heritage Overlay Area (west sub-area)

The Richmond Hill Heritage Overlay Area (west sub-area) is significant:

- As an illustration of a typical early private subdivision and development in the City, shown by the irregular street patterns, widely varying allotment sizes, and unusual house siting (onto lanes);
- As one of the earliest private development areas in the City for worker housing, dating from the 1840s, as expressed today by the many early small cottages linked historically to developers who resided in the more salubrious elevated parts of this area;

B. The Richmond Hill Heritage Overlay Area (north sub-area)

The Richmond Hill Heritage Overlay Area (north) is significant:

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- For the well preserved, well-situated and sometimes large Victorian and Edwardian period houses and for the contribution of well preserved buildings from the inter-war period and individually significant buildings from all periods;
- As one of the early private housing development areas for the wealthy, evolving from the 1840s, and associated with some of Melbourne's most prominent early settlers as seen in their gracious residences, elevated siting and proximity to religious centres of most denominations;
- As particularly indicative (like the west sub-area) of Victorian-era private subdivision with irregular street patterns and lot sizes, and one private road; and
- For the views, from both inside and outside the area, to The Vaucluse Convent, the church spires and towers of St Ignatius and the utilitarian four storey red brick Pelaco factory, with its early neon sign above.

C. The Richmond Hill Heritage Overlay Area (former Pelaco factory, Fordham Court/Goodwood Street sub-area)

The Richmond Hill Heritage Overlay Area (Pelaco, Fordham Court/Goodwood Street sub-area) is significant:

- For the well preserved and visually cohesive groups of inter-war and early post WW2 residential development
- For the historical and visual links of this inter-war development with the adjacent inter-war landmark Pelaco Factory;
- For the contribution of the iconic Pelaco factory complex and illuminated sign, that is well-preserved externally, large in scale and set prominently on the hill as, historically, a symbol of Richmond's special role in the development of key manufacturing centres in the first half of the 20th century.

D. The Richmond Hill Heritage Overlay Area (south residential sub-area)

The Richmond Hill Heritage Overlay Area (south) is significant:

- As one of the earliest private development areas in the City for worker housing, dating initially from the 1840s but extending in the gold-era of the 1850s, as early small cottages set on small allotments;
- For the historical links of the street layout and subsequent housing development with the Docker family and the estate's designer, the noted architect and surveyor, Charles Laing;
- As an illustration of a rare type of model private subdivision and development in the Melbourne area in the form of a planned 'village', as shown by the regular street patterns, similar allotment sizes, and the originally residential land use.

E. The Richmond Hill Heritage Overlay Area (south industrial sub-area)

The Richmond Hill Heritage Overlay Area (south industrial sub-area) is significant:

- As a distinctive and visually related group of externally well-preserved factories and warehouses, associated with the growth of the clothing manufacturing industry in the City, dating from the early decades of the 20th century and symbolic of Richmond's special role in the development of key manufacturing centres in the first half of the 20th century.
- For the precinct's strategic location, next to major transport links (railway, Punt Road) and the resultant distinctive angled siting of key buildings to face the railway.

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7. Swan Street Precinct, Richmond (HO335)

Source: GJM Heritage (2017), *Swan Street Built Form Study: Heritage Assessments & Analysis*

What is significant?

Swan Street, Richmond from Botherambo Street to Brighton Street (nos. 63-221 & 90-272), Church Street, south of Swan Street to the railway line (nos. 421-425 & 454-468), Byron Street (nos. 2-8 & 140-160) and Kipling Street (nos. 1, 2, 2A, 3, 5 & 7).

History

Swan Street was designated as a road reserve in Hoddle's Crown survey of 1837. Allotments on the north side of Swan Street were sold from 1839 and the south side from 1846. By 1857 a number of commercial businesses had been established in Swan Street, particularly at the west end, and traders included butchers, drapers, fruiterers, tailors, shoemakers, hairdressers and hoteliers. Amongst the early hotels was the Swan Inn after which the street was named, and the predecessor of the present three-storey Swan Hotel (1889) at the corner of Church Street.

Swan Street ran from Punt Road to the Survey Paddock (now Burnley Park) before extension to the Yarra River sometime between 1874 and 1888. In 1859 a railway line from Princes Bridge to Punt Road provided access to Swan Street and this was extended to Church Street (East Richmond Station) and beyond to the present Burnley Park the following year. Running south of, and parallel to, Swan Street, this railway line provided transport to and from the city. In 1916 an electric tram service provided additional transport along Swan Street, encouraging further development along the length of Swan Street.

The commercial western end of Swan Street experienced a development boom in the 1880s and much of the present commercial building stock, particularly between the railway line (which was raised above Swan Street in 1887) and the Church Street intersection, was constructed at this time. This included a number of predominantly two-storey shops with residences above, including the extensive Perrins Building, 128-38 Swan Street (1884), shops opposite at 95-97 Swan Street (1885) and a highly decorative group of buildings at 224-234 Swan Street.

Swan Street was sealed in 1901 and construction of commercial buildings continued on allotments at the western end of Swan Street. Substantial and distinctive commercial and public buildings, such as the Maples Piano Showroom and the Richmond South Post Office in 1905, and Dimmeys and the former State Savings Bank of Victoria in 1907 added an Edwardian presence to the existing Victorian character of the precinct. A highly prominent clock tower with ball, added to the Dimmeys store in the 1910s, became a landmark feature in Swan Street.

Swan Street's long history as a commercial centre has also seen it play a central role in the social life of Richmond. For over 150 years, the street has provided the community with social and recreational opportunities, with the long-term commercial success of the street being predicated upon its attractiveness as a social space. It is this rich social legacy that binds the various phases of the street's development together, and which continues today to attract new residents and visitors.

Description

The main development period of the Swan Street Precinct is from the 1880s to 1920 and the streetscape dates largely from this period. A small number of buildings from both earlier and later periods make a contribution to the precinct. A number of individually significant buildings are

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contained within the precinct, dating predominantly from the 1880s-1920 period.

Buildings are predominantly attached Victorian and Edwardian shops and residences. They are predominantly two-storey with some three/four and single-storey shops interspersed.

Elements that contribute to the significance of the place include (but are not limited to):

- A variety of simple and highly decorative façade parapets, with pitched roofs behind
- No front or side setbacks
- Face red brick (including polychrome) or rendered walls
- Rendered window frames, sills and hoods to upper stories
- Rendered ornament and incised decoration to upper stories
- Brickwork with corbelled capping courses
- Original post-supported street verandahs
- Strong horizontal lines formed by parapets, cornices, string courses
- Repetitive upper floor fenestration patterns
- Consistent two-storey scale with some one and three-storey buildings
- Shop fronts with display windows, timber or tiled plinths, and entry recesses
- Some red brick storage or stable buildings at the rear or side lane frontage
- Corner buildings with secondary façades to side streets or lanes
- Splayed corners to buildings at intersections
- Corrugated iron and slate roof cladding
- Bluestone pitched road paving, crossings, stone kerbs and channels and asphalt paved footpaths.

How is it significant?

Swan Street, Richmond is of local historical, architectural and aesthetic significance to the City of Yarra.

Why is it significant?

The Swan Street Precinct is a major 'High Street' in the City of Yarra and has functioned continuously as one of Richmond's two key commercial centres since the 1840s. It retains a substantial collection of intact commercial buildings, predominantly from the Victorian and Edwardian periods, including shops and associated residences, hotels and other commercial and civic buildings. Together these buildings demonstrate the development of this major 'High Street', particularly from the 1880s to c1920 when substantial growth in the street occurred, and are illustrative of the enduring role the street has played in the economic and social life of Richmond since the establishment of the suburb [Criterion A].

The highly intact streetscape of the Swan Street Precinct clearly demonstrates the principal characteristics of a major turn of the century 'High Street' in the City of Yarra. Typical characteristics, including predominantly two-storey Victorian and Edwardian wall heights, parapeted rendered or red brick facades with repetitive upper floor fenestration, and ground floor shopfronts, are displayed in the original forms, fabric and detailing of many of the buildings. The streetscapes on the south side of Swan Street between the former Richmond Post Office and Church street, on the north side of Swan Street between Carroll and Dando Streets, and the west side of Church Street between Swan Street and the railway line are particularly intact and consistent in their architectural form and expression [Criterion D].

The Swan Street Precinct contains a number of landmark and individually significant buildings which are well-considered and carefully detailed examples of commercial and civic buildings. These include, among others, the former State Savings Bank of Victoria (216 Swan Street); the former Richmond South Post Office (90-92 Swan Street); large retail stores such as Maples Pianos (122-126 Swan Street); Dimmeys (140-48 Swan Street); and M Ball & Co (236-240 Swan Street), as well as hotels such as the

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Swan Hotel (425 Church Street). The clock tower and ball of the Dimmeys building is of particular prominence and is a local landmark. Variations in façade detailing throughout the precinct, including parapet ornamentation, balustrading and pediments, incised and applied decoration and polychromatic brickwork, make an aesthetic contribution to the overall character of the precinct [Criterion E].

8. Wellington Street Precinct (HO364)

Source: Graeme Butler & Associates (2012), *City of Yarra Heritage Gaps Review (Review 1)*

What is significant?

Historical background

In 1839, two years after the first land sales in the township reserve of Melbourne, Crown allotments were auctioned in Richmond, Fitzroy and Collingwood. These allotments were mainly intended for development as farmlets. However many of the purchases in Richmond were speculative for, very soon, allotments were subdivided and advertised for sale in the "Port Phillip Patriot". The first was William Wilton's Crown allotment 46 which was to be sold in one or more acre lots. In 1840, at a subdivision sale of Dr. Farquhar McCrae's allotment 24, the auctioneer described Richmond as "...the abode of aristocracy, wealthy and retired opulence..." and 36 half-acre blocks were sold.

This was the boom period leading up to the recession of the early 1840s. As a sign of the times, subdivisions on the Richmond flats were advertised in 1842 as "...well deserving public attention among the working class", in contrast to earlier advertising of the higher parts of Richmond as for gentlemen only.

By the mid 1840s the depression had ended and resumption of the Immigration Act resulted in a new influx of workers. The sale of Crown allotments recommenced in Richmond in 1845 and by 1851 a further fifteen Crown Portions were sold. Reserves were also created for police purposes (Crown allotments 13-15), and for churches, recreation, produce market, schools and a mechanics' institute (Crown allotment 35). Thirty-one quarry sites were set aside on Crown allotments 9 to 15 where they abutted the river. The only other clay pits shown are at the locality of Yarraberg which David Mitchell operated in Crown Portion 42, off Burnley St.

Richmond's population in 1846 was 4029. At this time, Fitzroy and Collingwood were also being rapidly subdivided, St. Kilda and Port Melbourne were fashionable picnic spots and Williamstown a busy port. The village at Brighton was the leading pleasure resort, and Heidelberg a prosperous farming community. East Melbourne was little built upon until after 1848 when Bishop Perry chose a site there for the Anglican Bishop's Palace. This gave an impetus to building and the Richmond area went ahead as a select and convenient one in which to live. In 1852 North Melbourne, St. Kilda, South Melbourne, Port Melbourne, Essendon, Remington, Carlton and Hawthorn were laid out. Melbourne's population had trebled by 1853 with people returning from the goldfields, while in Richmond major residential subdivisions had occurred in the north and west. Within the next four years, men who established their suburban villas on the Richmond hills included senior Government officials, Alexander McCrae and William Hull; newspaper proprietors Thomas Strode, George Cavanaugh and George Arden; merchants Patrick Welsh, David Stodart Campbell and Alfred Woolley; and the bankers William Highett and John Gardiner. Their "...comfortable, if not architecturally stylish villas began to dot the place".

Richmond was created a separate municipality in 1855. The survey maps of Magee and Kearney show that at this time many of the existing major streets had been laid out but that almost all buildings, with the exception of those in the Yarraberg area to the northeast, were concentrated in the western half of Richmond, near to Melbourne town and the railway route: large suburban villas and gardens on the hill, and cottages on small blocks in the north and south, often in areas of relatively intense development

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isolated to individual streets. The factors influencing the location of the earliest development appear to have been a preference for high ground and a position on government roads, especially at cross roads.

Richmond's population in 1857 was 9,029 with 2,161 houses and five architects. The electors' roll for 1856-7 indicates an established retail and service trade in Swan Street and Bridge Road - butchers, drapers, shoemakers, hotels, fruiterers, tailors, hairdressers, grocers and blacksmiths.

With separation from Melbourne in 1855, Richmond, along with Collingwood, became exempt from the 'Melbourne Building Act' of 1849 which controlled building and subdivision standards. Developers were free to plan streets, reduce frontages and build what they liked. Closer development of Richmond was also encouraged by the railway which was extended to Brighton from Melbourne by 1859, and by horse drawn omnibuses which connected Richmond with Melbourne along Bridge Road.

Melbourne's population in 1861 was 37,000 (including Carlton and East Melbourne); Richmond, Collingwood and Fitzroy each had about 12,000, Prahran 10,000, South Melbourne 9,000, North Melbourne 7,000 and St. Kilda 6,000. Development was apparent along Punt Road c.1860, with little development in south-east Richmond was in 1869. Unemployment was a major issue during the 1860s and in 1862 the Richmond Council sought the repeal of the 'Yarra Pollution Prevention Act' of 1855 (which forbade fellmongeries, starch and glue factories, and boiling down works discharging waste into the Yarra River upstream from Melbourne) so that the river frontages could be opened to manufacturing. By 1865 a quarry, stone crushing mill, fellmongery and abattoir had been established on the river flats in Burnley, and by the 1870's a panoramic view of Richmond carried the caption 'Industry in Arcady'.

As with Melbourne and its other suburbs, the most active period of development in Richmond was in the 1870s and 1880s. The eastern half of the town was partly subdivided by 1874 and by 1888 most subdivision patterns were complete, the major exception being Cole's paddock on Victoria Street. Richmond was proclaimed a town in 1872 and a city in 1882. Its population in 1880 was 23,395 and in 1890 it was 38,797. The residential development trend was a marked increase from the 1850s, steeply rising until c1881 and then a plateau into the 1890s Great Depression. The rate books list 52 industrial establishments in 1880.

Houses constructed between Federation and World War One make up a substantial proportion of Richmond's building stock particularly in the eastern half of the city. Cole's paddock was subdivided by this time.

Encouraged by high tariff protection, new factories and stores were also being established, most notably Bryant & May, Wertheim's piano factory, Dimmey's Model Store, Ruwolt, Rosella, Moore Paragon and Mayall's tannery. By 1919 there were nine tanneries.

This industrial expansion continued after World War One when small gaps in the urban development were filled by inter-war housing estate and Wren's race course was changed to public housing. The Second War was the end of the first wave of urban development in Richmond and hence forms a perceptible period in the historic environment that is the basis for proposed heritage precincts in Richmond, Cremorne and Burnley.

Specific history

This area is part of the 17 acre Crown Portion (CP) 1 sold to Messrs William Burnley, David Lyons and Matthew Cantler in 1849: land sales started immediately in the south-west corner with subdivided lots going to Burnley, Thomas King and Mitchell, Black & Follett. Inspired by the major population increase caused by gold finds in the Colony, William Burnley began to sell more house lots further north in 1852

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from an estate plan that included the formation of today's Rout and Blanche Streets running east-west, joined by Wellington Street running north-south. Lots of 32-35 feet width faced onto Wellington Street and backed onto CP2 on the east or the 15 feet wide Huckerby Street, on the west, that Burnley had created to serve the lots facing Punt Road.

The 1853 plan shows Jessie and Cremorne Streets in place within Crown Portions 1&2 and the 1855 plan has buildings distributed across the north part of the Crown Portions, along Wellington (as far as Blanche) and Cremorne Streets, while to the south they front only Cremorne Street. The 1874 plan shows the north part of Wellington, Huckerby, Blanche and Jessie Streets in this precinct.

King, Mitchell, Black and Follett's block, created from the south part of Crown Portion 1 in 1849, was to eventually contain the residential subdivision of Melrose and Kelso Streets in 1884 (Lodged Plan 605) with lots of 33-45 feet frontages. This estate is shown on the Tuxen 1888 plan, along with added streets such as Rout, but still there was no continuity for Wellington Street which stopped at Blanche St. The MMBW Plan 911 of 1896 showed the extension of Wellington Street southwards, past Blanche Street, but named as Melrose Street.

Description

The Wellington Street, Cremorne Heritage Precinct is a largely Victorian-era residential area centred on Wellington Street and extends north from the riverside industrial precinct south of Gough Street to the commercial strip of Swan Street West on the north. The arbitrary crank in the line of Wellington Street shows the two development phases (early and late Victorian-era) and exemplifies the piecemeal nature of private development, generally, in the Richmond area.

The haphazard street alignments generate unexpected house groups and vistas. There is the long weatherboard cottage row in Gough Place that now faces out across a large development site towards Punt Road: its unbroken roofline is another testimony of how Richmond, as well as being planned on a free-market basis, was also outside of the building laws that initially applied to the other inner suburbs of Melbourne (Melbourne Building Act). The construction of small, weatherboard and brick cottages in the narrow confines of the early Huckerby and Jessie Streets is another illustration of this evasion of standard building codes. The Richmond Conservation Study (1985) notes of Cremorne Cottage, at 50 Jessie Street: '...Similar size building shown in similar location on Lands Dept 1855 Map of Richmond...' Other early houses such as 375-377 Punt Road can also be traced back in plan form to the 1855 survey map, adjoining the Rout Street entry to the precinct. A small Wellington Street house row (66-68) had rare and early brick-nogged wall construction as an indication of early construction techniques in this precinct. This method of wall construction involves brickwork placed between timber frame members and overlaid with weatherboard providing for an uncommon and environmentally sound building method. The Australian Architecture Index cites two other brick nogged houses nearby in Cremorne St auctioned in 1879.

The precinct has a number of individually significant Victorian-era buildings and building rows within its boundaries.

Key buildings

Key buildings include late Victorian-era houses like the row-house pair at 397- 395 Punt Road, described in the 1990s as:

'... A double-storey, rendered, Boom terrace pair, set back with a parapet. The centrepiece is (set) between abstracted Doric pilasters, supported by scrolls. Cornice and frieze-mould has vermiculated corbels; also to verandah, these on scrollbrackets. The skillion verandah, between wing-walls, has cast-iron lace valence and Composite posts, with first-storey balustrade in an unusual pattern of panels between balusters. Ground-window is tripartite with Tuscan fluted mullions. Doors have fan and sidelights. Chimneys have corbelled brick-bands' as an illustration of the range of ornament that was

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used in the late 19th century... ‘

More typical, late Victorian-era masonry row houses line Wellington Street. Balino Cottage at 44 Wellington St, is an exception:

‘A characteristic double-fronted, symmetrical, rendered, Boom cottage, on the street line, with rich decoration. There is a balustraded parapet between piers, surmounted by balloons. The centrepiece has a scallop-shell in a round arch, with acroterion. Piers are supported by small scroll-brackets. A frieze and cornice-mould is supported by brackets, between festoons. The parapet and verandah wing-wall corbels are vermiculated, the latter on scroll-brackets. The brickwork beneath the verandah was exposed, decorated with diamond ceramic tiles. The tripartite window has barleysugar Tuscan mullions and bluestone cill and fanlight over door. The verandah is convex, with cast-iron posts, lace-valence and brackets. There are encaustic geometric tiles. The chimney has deep rendered Classical mould’...

Edwardian-era development is seen in houses facing Kelso Street (5, 9) as well as the former grocer's shop at 12 Kelso Street (Peter Byrne's shop in 1904 and Marcus Steel's in 1920), providing the sense of a self contained domain where provisions were available to householders within walking distance. Intermixed with these are the numerous Victorian-era houses, mainly weatherboard clad, with corrugated iron clad hipped roofs (but with some parapeted forms such as 17 Kelso Street) and little in the way of front gardens. Cremorne Court Flats in Punt Road and the Old English style house Teragram in Wellington Street, represent the well-preserved inter-war buildings that make up a minority of sites in the precinct.

Main development period

The main development period evident in the heritage overlay is that of the Victorian and Edwardian-eras, with a contribution from well preserved interwar buildings and individually significant places of all eras.

Contributory elements

Contributory elements include mainly (but not exclusively) Victorian-era and Edwardian-era houses, with some well preserved residential examples from the immediate post First-War era, having typically:

- pitched gabled or hipped roofs;
- one storey wall heights;
- weatherboard, face brick, or stucco wall cladding; corrugated iron, with some slate roofing;
- chimneys of either stucco finish (with moulded caps) or of matching face brickwork with capping courses;
- post-supported verandah elements facing the street;
- less than 40% of the street wall face comprised with openings such as
- windows and doors; and
- front gardens, bordered by low front fences, typically of timber picket for the Victorian and Edwardian-eras.

Contributory elements also include public infrastructure, expressive of the Victorian and Edwardian-eras such as stone pitched road paving, kerbs and channels, and asphalt paved footpaths.

How is it significant?

The Wellington Street, Cremorne, Heritage Precinct is aesthetically and historically significant (National Estate Register Criteria E1, A4) to the locality of Cremorne and the City of Yarra.

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Why is it significant?

Wellington Street, Cremorne, Heritage Precinct is significant:

- As a well defined area of Victorian and Edwardian-era houses that matches the major growth periods in Richmond's and the City's housing history, complementing the existing adjoining Cremorne Heritage Overlay Area and individual heritage overlays within its boundaries;
 - For some distinctive house groups such as in Gough Place, well preserved inter-war examples such as Cremorne Court Flats, and significant individual house examples; and
 - For its role as one of the first development plans launched in Richmond, with some houses reflecting the 1850s estates.
-

9. Burnley Street Precinct, Richmond (HO474)

Source: Context Pty Ltd (2014), *Heritage Gap Study, Review of Central Richmond*.

What is significant?

The Burnley Street Precinct, comprising 345-389 & 370-404 Burnley Street and 395-419 Swan Street, Richmond is significant. The following buildings and features contribute to the significance of the precinct:

- The buildings constructed from c.1880 to c.1940, as shown on the precinct map.
- The overall consistency of building form (buildings with roofs concealed by parapets, with residential quarters above if two storey and behind if single storey), materials and detailing (front walls of stucco with decorative parapets, some original timber or metal-framed shopfronts with timber or tiled stallboards and recessed entries), and siting (no front and side setbacks).
- The landmark qualities of the former Bank of Australasia.
- The nineteenth century subdivision pattern comprising regular allotments served by rear bluestone laneways.

The following places are Individually Significant and have their own statement of significance:

- Former Bank of Australasia, 377 Burnley Street,
- Former shop and residence, 380 Burnley Street,
- Shops and residences, 400-402 Burnley Street, and
- Shops and residences, 413-15 Burnley Street.

Non-original alterations and additions to the Contributory buildings shown on the precinct map, and the buildings at 381 & 382 Burnley Street, and 411 Swan Street are Not Contributory.

How is it significant?

The Burnley Street Precinct is of local historic and architectural significance to the City of Yarra.

Why is it significant?

Historically, the precinct is a representative example of a shopping centre serving local needs that developed in response to the significant population growth of Richmond in the late nineteenth and early twentieth centuries. The terrace row at nos. 345-67 Burnley Street provides evidence of the first significant phase of residential development that created the need for the centre in the late nineteenth century. (Criterion A)

The location, close to a railway station, and around a major intersection and the mix of single and double storey commercial premises, some with original shopfronts, the corner hotel and former bank

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are all characteristic of these local centres. The mix of residential and commercial premises is also typical with places such as nos. 373 and 375 Burnley Street that combine a Victorian house with an Edwardian shopfront demonstrating the evolution of the precinct from residential to commercial. (Criterion D)

The precinct contains late Victorian, Federation, and Inter-war shops and one hotel with consistent and characteristic parapeted form, siting and detailing, including some original shopfronts, which contrast with the Victorian residential terrace row. The former Bank of Australasia is notable as a landmark within the precinct. (Criterion E)

10. Swan Street West Precinct (HO524)

Source: GJM Heritage (2017), *Swan Street Built Form Study: Heritage Assessments & Analysis*

What is significant?

The Swan Street West Precinct comprising 30-42 Swan Street, Cremorne.

Elements that contribute to the significance of the place include (but are not limited to):

- The original external form, materials and detailing of the four buildings
- The high level of integrity of the buildings to their late nineteenth and early twentieth century design.

Later (post 1940) alterations and additions to the rear and shopfront are not significant.

How is it significant?

The Swan Street West Precinct is of local historical and architectural significance to the City of Yarra.

Why is it significant?

The Swan Street West Precinct is illustrative of historical development along a major, early commercial thoroughfare in the City of Yarra. As the only remaining group of intact commercial buildings from the Victorian and Edwardian periods west of the Swan Street railway bridge, this precinct demonstrates the commercial development at the west entrance of the major Swan Street 'High Street' up to the 1920s [Criterion A].

The small but intact Swan Street West Precinct clearly demonstrates the principal characteristics of a major Victorian and Edwardian 'High Street' in the City of Yarra. Typical characteristics, including parapeted facades with repetitive upper floor fenestration, rendered facades and ground floor shopfronts, are displayed in the variety of original forms, fabric and detailing of the four buildings [Criterion D].

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1. **Former United Kingdom Hotel (now McDonald's)**
199 Queens Parade, Clifton Hill (HO92, VHR H0684)

Refer to Victorian Heritage Database for Statement of Significance

2. **Street Trees**
Queens Parade, Between Alexandra Parade & Delbridge Street Clifton Hill/ North Fitzroy (HO93)

Source: Allom Lovell & Associates and John Patrick Landscape Architects Pty Ltd (1998), *City of Yarra Heritage Review*

Statement of Significance

The double avenue of trees on Queens Parade is locally significant as an extensive and intact avenue planting in the City of Yarra. The trees provide a significant contribution to the heritage character of the precinct, and to the amenity of the local neighbourhood generally.

3. **Haselmere**
96 McKean Street, Fitzroy North (HO216, VHR H0163)

Refer to Victorian Heritage Database for Statement of Significance

4. **Former ANZ Bank**
370-374 Queens Parade, North Fitzroy (HO221, VHR H0892)

Refer to Victorian Heritage Database for Statement of Significance

5. **House**
234 Coppin Street, Richmond (HO245)

Source: Allom Lovell & Associates (1998), *City of Yarra Heritage Review*

234 Coppin Street, Richmond, is of local architectural significance. The house is representative of the late 19th century double-storey form, and is a good example of the Italianate style. The house is substantially intact, retaining most of the original cement render and cast iron decoration, and is notable for its unusual broken pedimented parapet.

6. **Former Central Club Hotel**
291 Swan Street, Richmond (HO285)

Source: Allom Lovell & Associates (1998), *City of Yarra Heritage Review*

The former Central Club Hotel is of local architectural significance. The hotel is a good example of the late 19th century Italianate Boom style, notable for its lively asymmetrical facade composition and florid Victorian Mannerist cement rendered decoration. The three-storey building is a significant local landmark in Swan Street. Its association with the locally prominent Cremean family and their involvement in Catholic politics is of local historical interest.

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7. **Former Burnley Theatre**
365 Swan Street, Richmond (HO286)

Source: Allom Lovell & Associates (1998), *City of Yarra Heritage Review*;
Updated by GJM Heritage (2017), *Swan Street Built Form Heritage Review*

The former Burnley Theatre is of local social and architectural significance. Until its closure in 1958, the theatre was popular with the residents of Richmond as a social gathering place. The Swan Street facade, although not of individual architectural importance, contributes to the streetscape and is a notable local landmark.

Additional contributory elements:

- Capacious building with wide symmetrical façade to Swan Street
- Strong horizontal lines define levels
- Front façade has pattern of windows and engaged columns with wider central bay
- Located on a corner with undecorated side façade to Edinburgh Street
- Large gabled hall behind front façade.

8. **Former State Bank**
214-216 Swan Street, Richmond (HO288, VHR H732)

Refer to Victorian Heritage Database for Statement of Significance

9. **House**
15 Wellington Street, Cremorne (HO294)

Source: Allom Lovell & Associates (1998), *City of Yarra Heritage Review*;
Updated by GJM Heritage (2017), *Swan Street Built Form Heritage Review*

The house at 15 Wellington Street, Richmond, is of local architectural significance. Although the overall form of the house is relatively common, this building is distinguished by its highly unusual Dutch gables, and also by the unusual proportions of the fenestration to the projecting bay. The house is an important heritage element in Wellington Street.

Works in 2016/2017 have resulted in the re-rendering of external walls, removal and replacement of cast iron friezes and balustrading and the reinstatement of a previously bricked in ground level window opening.

10. **Former Richmond South Post Office**
90-92 Swan Street, Richmond (HO357, VHR H48)

Refer to Victorian Heritage Database for Statement of Significance

11. **Dimmeys**
140-160 Swan Street, Richmond (Cremorne) (HO360, VHR H2184)

Refer to Victorian Heritage Database for Statement of Significance

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12. The Greyhound Hotel, later Depot Hotel, now Precinct Hotel 60-62 Swan Street, Richmond (HO405)

Source: Graeme Butler & Associates (2012), *City of Yarra Heritage Gaps Review (Review 1)*;
Updated by GJM Heritage (2017), *Swan Street Built Form Heritage Review*

What is significant?

The Greyhound Hotel, later Depot Hotel and Precinct Hotel has been the site of a public house and gathering place since the 1850s-60s (as 52 Swan St) when licensees included John Davies and William Perrin. The Swan Street West area had consolidated by the 1890s with continuing commercial uses evolving around the new Bowling Club Hotel. The former Bowling Club Hotel, at 36-38 Swan Street, was licensed at another Richmond location to one John Smith in 1868, with a Miss Julia Topey keeping a hotel on this site by the 1880s. The hotel was kept by a M Fitzgerald in the early 1900s but as the new century progressed, the hotel had been delicensed such that by 1920, the only hotel that had survived in this part of Swan Street was the Greyhound Hotel at the Cremorne Street corner (and rebuilt in 1926). Meanwhile shops had occupied the former Bowling Club Hotel. The hotel is a 2 storey Neo-Grec style building, with a simple and boldly executed cemented facade. A deep projecting cornice with brackets underscores the raised parapet entablature with its symmetry to the two elevations expressed through panels, with the focus at the splayed corner. Leadlight glass is evident as is the upper level and ground level joinery (part).

Additional contributory elements include:

- Two-storey wall height
- Zero front setback
- Regular pattern of rectangular fenestration at upper level
- Corner building which address both Swan Street and Cremorne Street by continuing the pattern of openings and parapet detailing
- Splayed corner
- Strong horizontal lines defining levels.

How is it significant?

The building is aesthetically, socially and historically significant (National Estate Register Criteria E1, G1, A4) to Richmond.

Why is it significant?

The building is significant: - for its good representation of a key period in the City's history, being as a site, the initial growth of commercial Swan St and as a building, the rebirth of hotel development in the 1920s after the Licence Reduction Board had eliminated other less salubrious pubs; and - as a well-preserved example of a Greek revival style public house in the local context.

13. 400-402 Burnley Street, Richmond (HO429)

Source: Lovell Chen (2012), *City of Yarra Heritage Gaps Study (Heritage Gaps Amendment two)*

What is significant?

The property at 400-402 Burnley Street, Richmond, dates from 1912, and comprises a pair of two storied Federation red brick shops with combined residences. No. 402 is the larger of the two, with both building components matching in terms of design. The buildings have transverse gable roof forms, and rear roof pitches concealed by brick parapet walls to form asymmetrical side gables. On the east façade to Burnley Street, both buildings are walled in exposed face brick with two oriel gabled bays to the first floors. The bays and the transverse gable roofs are clad in terracotta tiles; the

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expressed central and side walls are topped by stepped moulded brackets with orbs; and the gables to the bays are half-timbered with roughcast stucco, crown four-light bay windows, and have apron panels clad in roughcast stucco. The ground floor shopfronts are also original or early.

How is it significant?

The property at 400-402 Burnley Street, Richmond, is of local historical and aesthetic/architectural significance.

Why is it significant?

The property at 400-402 Burnley Street, Richmond, dates from 1912, and is of local historical significance. It is associated with the later development of eastern Richmond, in an area of Burnley Street, near the junction with Swan Street, which had developed by the early twentieth century into an established retail precinct. The property is also of local aesthetic/architectural significance. It is a well preserved and substantially externally intact example of a Federation two-storey combined residence and shop, in exposed face brick. It is distinguished by the transverse gable roof form, the prominent oriel gabled bays to the first floors, the substantially intact ground floor shopfronts, and the asymmetrical side gable evident on the south elevation which was increasingly common in early twentieth century shop design. Other elements of note include the roof decoration, brackets with orbs, half-timbered gables to the oriel bays, and the oriel apron panels clad in roughcast stucco.

14. **Swan Street Drill Hall** **309 Swan Street, Richmond (HO440)**

Source: Lovell Chen (2012), *City of Yarra Heritage Gaps Study (Heritage Gaps Amendment two)*

What is significant?

The property at 309 Swan Street, Richmond, is a rectangular shaped allotment with three buildings dating from 1916 and 1937. The buildings comprise the large former drill hall abutting the Duke Street (west) boundary; the narrower storage building abutting the Lord Street (east) boundary; and a smaller brick building between these to the Swan Street boundary. Both the hall and storage shed date from 1916 and are single storey, gable-roofed and gable-ended structures, clad in corrugated galvanised iron. Both buildings retain most of their original window framing, with some exceptions. The space between the two original buildings is concreted over. The third building dates from 1937, and is a single storey, overpainted brick building, with a transverse gable roof. The 1916 drill hall is the largest building on the site, has the distinctive 'drill hall' form, and was the focus of the original training operations and subsequent Commonwealth use. The 1916 storage shed, although original, and the later 1937 building, are less distinguished elements, and more utilitarian in character and form.

How is it significant?

The property at 309 Swan Street, Richmond, is of local historical and architectural significance.

Why is it significant?

The property at 309 Swan Street, Richmond, was established as a drill hall complex in 1916 and is of local historical significance. It dates from the period when compulsory military service was introduced, and a large number of drill halls were constructed in Australia. Richmond men between the ages of eighteen and thirty, who were called upon to enlist for military service in World War One, did so at the Swan Street drill hall. They were also given some training on the site. Later Commonwealth uses included housing the 2/11th Field Regiment in the 1940s; the Department of Technical Engineering copywriting section, and the Training Depot for the Australian Army's Royal Corps of Australian Electrical and Mechanical Engineers in the 1950s; and cadet battalions in the

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1970s. The former drill hall building is also of local architectural significance for demonstrating some of the principal characteristics of World War One drill halls. These include the simple gabled form, albeit carried over a large building, and the large internal space. The galvanised and overpainted corrugated iron cladding is also typical of suburban and regional drill halls around the country. In addition, it is a comparatively externally intact example of a drill hall of this era.

15. 319 Swan Street, Richmond (HO441)

Source: Lovell Chen (2012), *City of Yarra Heritage Gaps Study (Heritage Gaps Amendment two)*

What is significant?

No. 319 Swan Street, Richmond, was constructed in 1889 as a two storey corner shop and residence. The building is rectangular in plan form with a chamfered corner entry and a hipped roof clad in galvanized corrugated steel, with two stuccoed chimneys with cornices. The first floor is largely externally intact, with original detailing including moulded stringcourses, double-hung sashes with stilted segmental arches, and moulded architraves with accentuated keystones. Other details include half-fluted pilasters (piers) which support a dentilled entablature and above that a continuous bracketed cornice and parapet with waisted balustrading. The chamfered corner is capped with a triangular pediment on two broad piers, enclosing a cartouche panel and topped by an orb finial. At ground level, the shop front has been altered. The rear portion of 319 Swan Street, facing Lord Street, is largely externally intact, albeit more simply detailed than the corner shop component. Beyond this wing is an adjoining contemporary development which is not of heritage significance.

How is it significant?

No. 319 Swan Street, Richmond, is of local historical and aesthetic/architectural significance.

Why is it significant?

No. 319 Swan Street is of local historical significance, as a combined shop and residence constructed in 1889 for James Davison, a baker. At that time commercial development was being consolidating in Swan Street; the 1880s date is also consistent with the core period of commercial building construction in the street. Unusually, the bakery operation in the building was sustained until the mid-1970s. No. 319 Swan Street is also of local aesthetic/architectural significance. While the building is broadly consistent with many nineteenth century two-storey shop and house combinations in inner suburban main road locations, it is distinguished by the complexity and vigour of the first floor elevations in particular, and the reasonably intact side elevation to Lord Street. The segmentally arched first floor windows are usual in terraced shops, enlivened here by the Corinthian pilasters with cornice breakfronts above. The parapet and corner pediment, with baluster waisting, dentil mouldings and bracketing, are also largely intact. The chamfered corner enhances the streetscape presentation.

16. St Johns Church Complex 61-87 Queens Parade, Clifton Hill (HO496)

Source: GJM Heritage (2017), *Queens Parade Built Form Heritage Analysis & Recommendations Report*

What is significant?

St John the Baptist Roman Catholic Church Complex, 61-87 Queens Parade, Clifton Hill, built from 1876 to 1918, comprising the church, school, presbytery, former hall/shops, former presbytery and the Queens Parade boundary fence to the church and presbytery.

Elements that contribute to the significance of the place include (but are not limited to):

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- The original external form, materials and detailing of the buildings
- The high level of integrity to their original design
- The Queens Parade fence to the church and presbytery.

Later alterations and additions, particularly the recent addition to the rear of the shops and school, are not significant.

How is it significant?

St John the Baptist Roman Catholic Church Complex, 61-87 Queens Parade, Clifton Hill, is of local historical, architectural and aesthetic significance to the City of Yarra.

Why is it significant?

St John the Baptist Roman Catholic Church Complex, 61-87 Queens Parade, Clifton Hill is a large and intact group of religious buildings, including a church, school, presbytery, hall/shops and former presbytery. This group of buildings is illustrative of a large suburban parish, with place of worship and associated educational and community facilities, established from the late nineteenth century through to the twenty-first century (Criterion A).

St John the Baptist Roman Catholic Church Complex, 61-87 Queens Parade, Clifton Hill is a fine, intact and representative example of a religious complex. It contains buildings from the Victorian and Federation periods which display typical characteristics of a range of styles, including the Victorian Decorated Gothic style of the late nineteenth century (church) and the Gothic Tudor (school), Bungalow (presbytery) and Free Style (hall) of the Federation period (Criterion D).

St John the Baptist Roman Catholic Church Complex, 61-87 Queens Parade, Clifton Hill is a well-considered and carefully detailed complex of church buildings. The church is a richly composed bluestone building with freestone dressings, designed in a Decorated Gothic style. The soaring church spire is a prominent landmark in the Clifton Hill/Fitzroy North area. The church contains several important stained glass windows including works by Ferguson and Urie and Hardman of Birmingham. The school building is an imposing two-storey red brick building, designed in a Gothic Tudor style, and the former Church Hall is a carefully composed two-storey red brick triangular building, designed in a Federation Free Style. (Criterion E).

17. **Row of houses, Elizabeth Terrace 472-484 Napier Street, Fitzroy North (HO498)**

Source: GJM Heritage (2017), *Queens Parade Built Form Heritage Analysis & Recommendations Report*

What is significant?

Elizabeth Terrace, 476-484 Napier Street and the terrace house at 472 Napier Street, Fitzroy North, built in 1885 and 1889 respectively.

Elements that contribute to the significance of the place include (but are not limited to):

- The houses' original external form, materials and detailing
- The houses' high level of integrity to its original design
- The original front fences and gates.

Later alterations and additions to the rear of the terraces and the addition to the north of 472 Napier Street, are not significant.

How is it significant?

Elizabeth Terrace, 476-484 Napier Street and the terrace house at 472 Napier Street, Fitzroy North are

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of local architectural and aesthetic significance to the City of Yarra.

Why is it significant?

Elizabeth Terrace, 476-484 Napier Street and the terrace house at 472 Napier Street, Fitzroy North are fine and representative examples of terrace housing from the Victorian period. They display typical features of the Victorian Italianate architectural style popular in the 1880s boom period in Fitzroy North and across Melbourne more broadly, including a two-storey form with front verandahs and balconies, polychromatic brickwork, decorative cast iron, rendered decorative elements including balustrading and cast iron palisade fencing (Criterion D).

Elizabeth Terrace, 476-484 Napier Street and the terrace house at 472 Napier Street, Fitzroy North are well-considered and carefully detailed examples of Victorian Italianate terrace housing. The row of polychromatic terraces, with repetitive decorative elements across the facades, presents a picturesque composition of this architectural style (Criterion E).

18. **Clifton Motors (former) 205-211 Queens Parade, Fitzroy North (HO504)**

Source: GJM Heritage (2017), *Queens Parade Built Form Heritage Analysis & Recommendations Report*

What is significant?

The Former Clifton Motors Garage, Showroom and Residence, 205-211 Queens Parade, Fitzroy North. Elements that contribute to the significance of the place include (but are not limited to):

- The building's 1938-39 external form, materials and detailing
- The building's high level of integrity to its 1938-39 design.

How is it significant?

The Former Clifton Motors Garage, Showroom and Residence, Fitzroy North is of local historical and architectural significance to the City of Yarra.

Why is it significant?

The Former Clifton Motors Garage, Showroom and Residence, Fitzroy North is of significance as an early motor garage constructed in a prominent location in Queens Parade, Fitzroy North. Operating as a garage and vehicle-related facility from at least the 1920s until the late twentieth century, the place demonstrates the increasing use of motor vehicles in Melbourne and suburbs, and their need for repair and service, for much of the twentieth century. The Moderne façade in particular illustrates the motoring age of the 1930s (Criterion A).

The Former Clifton Motors Garage, Showroom and Residence, Fitzroy North is a fine and intact example of a distinctive Moderne style motor garage, designed by noted architect James H Wardrop. The building displays typical features of the Moderne architectural style popular in the 1930s, including a dominant central element comprising a series of vertical fins and contrasting decorative horizontal treatment (Criterion E).

19. **Shop and Residence 273A Swan Street, Richmond (HO522)**

Source: GJM Heritage (2017), *Swan Street Built Form Study: Heritage Assessments & Analysis*

What is significant?

The two-storey corner shop and residence at 273A Swan Street, Richmond, built c1885-90.

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Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing
- The building's high level of integrity to its original design.

Later (post 1900) alterations and additions to the rear, shopfront and eastern side are not significant.

How is it significant?

The two-storey corner shop and residence at 273A Swan Street, Richmond is of local historical and architectural significance to the City of Yarra.

Why is it significant?

The two-storey corner shop and residence at 273A Swan Street, Richmond is illustrative of historical development that occurred along a major, early commercial thoroughfare in the City of Yarra, particularly in the 'boom' period of the 1880s [Criterion A].

The two-storey corner shop and residence at 273A Swan Street, Richmond is a fine, intact and representative example of a Victorian shop and residence. It displays typical features of the Victorian style popular in the 1880s in Richmond and across Melbourne more broadly, including a parapeted façade with repetitive ground and upper floor fenestration, articulated facades to both streets with splayed corner, rendered facades and ground floor shopfronts [Criterion D].

20. **Pair of Shops** **323-325 Swan Street, Richmond (HO523)**

Source: GJM Heritage (2017), *Swan Street Built Form Study: Heritage Assessments & Analysis*

What is significant?

The two-storey pair of shops and residences at 323-325 Swan Street, Richmond, built in 1886.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing
- The building's high level of integrity to its original design.

Later (post 1900) alterations and additions to the rear and shopfront are not significant.

How is it significant?

The pair of shops and residences at 323-325 Swan Street, Richmond is of local historical and architectural significance to the City of Yarra.

Why is it significant?

The pair of shops and residences at 323-325 Swan Street, Richmond is illustrative of historical development that occurred along a major, early commercial thoroughfare in the City of Yarra, particularly in the 'boom' period of the 1880s [Criterion A].

The commercial premises at 323-325 Swan Street, Richmond are a fine, intact and representative example of a pair of Victorian shops and residences. They display typical features of the Victorian architectural style popular in the 1880s in Richmond and across Melbourne more broadly, including a parapeted facade with repetitive upper floor fenestration, rendered facades and ground floor shopfronts [Criterion D].

INDIVIDUALLY SIGNIFICANT PLACES WITHIN PRECINCTS

Some 'Individually Significant' places within heritage precincts have a Statements of Significance. Those places that have one are listed below.

1. **12 Hodgkinson Street, Clifton Hill (within HO317)**

Source: Andrew Ward (May 1995), *Collingwood Conservation Study Review*

Significance:

Of local significance as a very early house in Clifton Hill, erected whilst crown land sales were proceeding. The architectural detail and general lack of enrichment are typical of its period and contrast with the majority of Clifton Hill's houses.

2. **William B Fox House, later 'House of the Gentle Bunyip'
94 Hodgkinson Street, Clifton Hill (within HO317)**

Source: Andrew Ward (May 1995), *Collingwood Conservation Study Review*

Significance:

Important at the local level as a very early house in Clifton Hill, erected whilst the crown land sales were proceeding. The architectural details and lack of enrichment is representative of the mid Victorian years.

3. **Baptist Church & Hall
100 Hodgkinson Street, Clifton Hill (within HO317)**

Source: Andrew Ward (May 1995), *Collingwood Conservation Study Review*

Significance:

Church: The Baptist Church, Clifton Hill, is of local importance as a substantially intact church designed along non-conformist lines with a distinctive bell tower. Its role as a prototype for the design of the Northcote Baptist Church is of interest.

Former Baptist Sunday School Hall: This building forms a visual unit with the adjoining Church and is an important supportive element.

4. **Residence
122 Hodgkinson Street, Clifton Hill (within HO317)**

Source: Andrew Ward (May 1995), *Collingwood Conservation Study Review*

Significance:

No. 122 Hodgkinson Street is important as a substantial arcaded villa of which there are few in the municipality.

5. **Fire Station No. 11 (former)
662 Smith Street, Clifton Hill (within HO317)**

Source: GJM Heritage (2017), *Queens Parade Built Form Heritage Analysis & Recommendations Report*

What is significant?

The Former Fire Station, 662 Smith Street, Clifton Hill, built in 1884 as the Clifton Hill Temperance Fire

INDIVIDUALLY SIGNIFICANT PLACES WITHIN PRECINCTS

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Brigade.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing
- The building's high level of integrity to its original design.

Later alterations and additions are not significant.

How is it significant?

The Former Fire Station, 662 Smith Street, Clifton Hill is of local historical and architectural significance to the City of Yarra.

Why is it significant?

The Former Fire Station, Clifton Hill is of historic significance as an early and rare example of a suburban fire station which pre-dated the establishment of the Metropolitan Fire Brigade (created through the *Fire Brigades Act 1890*). The building demonstrates the period of voluntary fire brigades established prior to the formalisation of the metropolitan fire service (Criterion A & B).

The Former Fire Station, Clifton Hill is a fine and representative example of a suburban fire station. The large arch-headed driveway entrance with panelled doors, and adjacent office entry at street level, are features that clearly demonstrate the use of the building as a nineteenth century fire station (Criterion D).

6. **National Bank, former
460 Brunswick Street, Fitzroy North (within HO327)**

Source: Jacobs Lewis Vines Architects (July 1978), *North Fitzroy Conservation Study*

'Building citation':

This bank, built in 1884, (Architects Smith & Johnson) is an important, conservative, classical, corner bank building. The upper storey with Ionic pilasters surmounts a lower storey with Tuscan pilasters. The whole is surmounted by a dentillated cornice with a recessed splayed panel on the corner. The exterior is largely intact - the corner door has been modernised, and a door to the south face has been filled in to make a window. In this corner position, it is an important streetscape element, and is worthy of addition to the Historic Buildings Register.

7. **House
17 Delbridge Street, Fitzroy North (within HO327)**

Source: Jacobs Lewis Vines Architects (July 1978), *North Fitzroy Conservation Study*

'Building citation':

This two storey house was constructed in 1890 for Mark Allen, a photographer. It has an arcaded front with the gable running out over the balcony level and the parapet at the front line. It is possibly the best example of this type in North Fitzroy, although the present paint colours are not appropriate. The most distinctive feature of the house is the frieze band of tiles surmounting the upper arcade. The parapet, supported on a dentillated cornice, consists of an interlocking balustrade, square name plate framed by large scrolls and balls. The composition is pleasing and the arcading at both levels is finely detailed.

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8. **218 McKean Street, Fitzroy North (within HO327)**

Source: Jacobs Lewis Vines Architects (July 1978), *North Fitzroy Conservation Study*

See entry below for Hatherlie, 224 McKean Street, Fitzroy North (HO327)

9. **220 McKean Street, Fitzroy North (within HO327)**

Source: Jacobs Lewis Vines Architects (July 1978), *North Fitzroy Conservation Study*

See entry below for Hatherlie, 224 McKean Street, Fitzroy North (HO327)

10. **Hatherlie
224 McKean Street, Fitzroy North (within HO327)**

Source: Jacobs Lewis Vines Architects (July 1978), *North Fitzroy Conservation Study*
[addressed as 222 McKean Street in 1978 Study]

'Building citation':

This building constructed in 1888 for Samuel Lazarus, a financier, is a two storey polychrome brick terrace house with a small polychrome attachment at the side. The detailing as a whole is not very remarkable. This terrace is best appreciated in conjunction with 218 and 220 McKean Street. These are also largely intact two storey polychrome terraces. The three terraces together combine to create an imposing streetscape element.

11. **K. G. Luke Pty Ltd factory (former)
26-52 Queens Parade, Fitzroy North (within HO327)**

Source: GJM Heritage (2017), *Queens Parade Built Form Heritage Analysis & Recommendations Report*

What is significant?

The K G Luke Pty Ltd Factory and Showrooms, 26-52 Queens Parade, Fitzroy North, built from 1933 - 1965.

Elements that contribute to the significance of the place include the form, materials and detailing of the Art Deco façade and the ability to understand the place as a former factory and showroom complex.

Alterations and additions to the factory and showrooms after 1965 do not contribute to the significance of the place.

How is it significant?

The K G Luke Pty Ltd Factory and Showrooms is of local historical and architectural significance to the City of Yarra.

Why is it significant?

The K G Luke Pty Ltd Factory and Showrooms is of historical significance as a large industrial complex in Fitzroy North, which was established close to the Collingwood Gas Company gasworks and the Inner Circle Railway branch line. It is a remnant example of industrial development that occurred in this area from the 1860s through to the post-war period (Criterion A).

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The K G Luke Pty Ltd Factory and Showrooms is of aesthetic significance for its particularly unusual and distinctive Art Deco façade which utilises a complex arrangement of castellated and hexagonal decorative elements (Criterion E).

The K G Luke Pty Ltd Factory and Showrooms is of historical significance for its association with Victorian manufacturer and sporting administrator, Kenneth G Luke, who moved his fledgling business to this site in 1929 and subsequently developed a successful business enterprise. Knighted in 1962, Luke was a highly successful businessman, with a range of interests and involvements in various committees and clubs (Criterion H).

12. **Selotta Shoes Pty Ltd factory (former) 122 Queens Parade, Fitzroy North (within HO327)**

Source: Graeme Butler & Associates (2007, 2013), *City of Yarra Review of Heritage Overlay Areas*

What is significant?

The Selotta Shoes Pty Ltd Factory at 122 Queens Parade, Fitzroy North was created in 1934 for Selotta Shoes Pty Ltd. The place has a good integrity to its creation date. It was designed by architect, H V Gillespie. Fabric from the creation date at the Selotta Shoes Pty Ltd Factory, former is locally significant within the City of Yarra, compared to other similar places from a similar era.

How is it significant?

The Selotta Shoes Pty Ltd Factory at 122 Queens Parade, Fitzroy North is historically and architecturally significant to the locality of Fitzroy North and the City of Yarra.

Why is it significant?

The Selotta Shoes Pty Ltd Factory is significant as a distinctive two-storey brick and render Moderne factory design example, with Spanish revival ornament and steel-framed windows.

'An unusual 1930s large interwar Spanish styled industrial façade that retains a high degree of architectural integrity and recalls Harry Norris's St. Kilda Rd Motor Garage and Showroom in a similar boulevard location. The status of this part of Queens Parade as a showpiece for modern industry relied on the Edinburgh Gardens spur railway to the Queens Parade Fitzroy Station which ran as a goods line, from 1891 to c1980' (Wight 2001).

13. **Christian Brothers Monastery, later units, G Maher House 256-262 Queens Parade, Fitzroy North (within HO327)**

Source: Graeme Butler & Associates (2007, 2013), *City of Yarra Review of Heritage Overlay Areas*

What is significant?

The Christian Brothers Monastery (later G Maher House) at 256-262 Queens Parade, Fitzroy North, was created in 1929 for the St Patrick's Cathedral Melbourne Roman Catholic Trust and has historical associations with the Christian Brothers Monastery. The place has a good integrity to its creation date.

Fabric from the creation date at the Christian Brothers Monastery is locally significant within the City of Yarra, compared to other similar places from a similar era.

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How is it significant?

The Christian Brothers Monastery at 256-262 Queens Parade, Fitzroy North, is historically and architecturally significant to the locality of Fitzroy North and the City of Yarra.

Why is it significant?

The Christian Brothers Monastery, later Units, G Maher House is significant as a large two-storey tile, red brick and render hipped roof monastery with a parapeted entry porch, faceted window bays, cement detailing, an early fence and tall chimneys.

Historically and socially important locally as an uncommon building type and associated with local community uses.

14. **Clifton Hill Hotel**
89 Queens Parade, Clifton Hill (within HO330)

Source: Andrew Ward (May 1995), *Collingwood Conservation Study Review*

Significance:

The Clifton Hill Hotel is a prominent and substantially intact late Victorian hotel.

15. **Melbourne Savings Bank, later State Savings Bank**
97-99 Queens Parade, Clifton Hill (within HO330)

Source: Andrew Ward (May 1995), *Collingwood Conservation Study Review*

Significance:

This former bank is an important public building in Collingwood for its prominence and free expression and rich detailing in the late Victorian Italianate mode.

16. **Doctor's surgery and house (former)**
105 Queens Parade, Clifton Hill (within HO330)

Source: GJM Heritage (2017), *Queens Parade Built Form Heritage Analysis & Recommendations Report*

What is significant?

The Former Doctor's Surgery and House, 105 Queens Parade, Clifton Hill, built c1915. Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing
- The building's high level of integrity to its original design.

Later alterations and additions to the rear are not significant.

How is it significant?

The Former Doctor's Surgery and House, 105 Queens Parade, Clifton Hill is of local architectural and aesthetic significance to the City of Yarra.

Why is it significant?

The Former Doctor's Surgery and House, 105 Queens Parade, Clifton Hill is a fine and representative

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example of a Federation house with combined use as a doctor's surgery. It displays typical features of the Federation Arts and Crafts architectural style popular in the first decades of the twentieth century in Clifton Hill and across Melbourne more broadly, including roughcast walls and chimney, both hip and gable roofs, prominent exposed rafters and projecting window bay with fishscale shingle cladding (Criterion D).

The Former Doctor's Surgery and House, 105 Queens Parade, Clifton Hill is a well-considered and carefully detailed example of a Federation Arts and Crafts house. The design, with main hipped roof, prominent front bay and central chimney, presents a picturesque composition of this architectural style, particularly within the commercial context of Queens Parade (Criterion E).

17. **Albert Hall (former), also Masonic Hall, later Samian Social Club
127-129 Queens Parade, Clifton Hill (within HO330)**

Source: Andrew Ward (May 1995), *Collingwood Conservation Study Review*

Significance:

The former "Albert Hall" was an important social venue in the locality throughout the late nineteenth and early-mid twentieth century, its architectural form in the Queens Parade streetscape being expressive of this role.

18. **Daintons Family Hotel, later Normanby Hotel
139 Queens Parade, Clifton Hill (within HO330)**

Source: Andrew Ward (May 1995), *Collingwood Conservation Study Review*

Significance:

A prominent and comparatively early hotel forming part of the Queens Parade Streetscape. Ornamentation is typical of the period.

19. **Clifton Hill Post Office, former
141 Queens Parade, Clifton Hill (within HO330)**

Source: Andrew Ward (May 1995), *Collingwood Conservation Study Review*

Significance:

The former Clifton Hill post office is of local importance on account of the buildings initial use as well as for its prominence and late Victorian architecture.

20. **National Bank of Australasia, former
270 Queens Parade, Fitzroy North (within HO330)**

Source: Jacobs Lewis Vines Architects (July 1978), *North Fitzroy Conservation Study*

'Building citation':

This bank, constructed in 1886, provides an excellent example of transitional boom classicism bank architecture.

It- is a two storey corner bank with a recessed loggia to the upper floor. The lower floor has a bluestone rough dressed base. The parapet is elaborate with an intact balustrade, balls and sculptural

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piece on the splayed corner. This is a significant corner building, and the ornate design and composition combine to make this building of considerable merit and streetscape importance.

21. **Shops and Residences**
454-456 Church Street, Cremorne (within HO335)

Source: O'Connor, John & Coleman, Roslyn et al. (1985), *Richmond Conservation Study : undertaken for the City of Richmond*

A distinctive group of gabled Edwardian shops by the distinguished architect Nahum Barnet.

22. **Corner Hotel**
57-61 Swan Street, Richmond (within HO335)

Source: GJM Heritage (2017), *Swan Street Built Form Study: Heritage Assessments & Analysis*

What is significant?

The two-storey hotel known as the Corner Hotel, 57-61 Swan Street, Richmond, built in the 1960s.

How is it significant?

The Corner Hotel, 57-61 Swan Street, Richmond is of local historical and social significance to the City of Yarra.

Why is it significant?

The Corner Hotel, Richmond has made a strong contribution to the commercial and social life of Richmond from its establishment in the early 1870s and an important and highly influential contribution to the music industry as an important live music venue since its rebuilding in the mid 1960s and renovation in the 1990s [Criterion A].

The Corner Hotel, Richmond is of particular social significance for its long-term and continued use as a live music venue. It is a well-established and well-known venue which is considered amongst the most pre-eminent in the City of Yarra and the broader community [Criterion G].

23. **H. E. McNaughton ironmongery & residence, former**
69 Swan Street, Richmond (within HO335)

Source: Graeme Butler & Associates (2007, 2013), *City of Yarra Review of Heritage Overlay Areas*

What is significant?

The former H.E. McNaughton ironmongery and residence at 69 Swan Street, Richmond, was created in 1924 for Henry Ernest McNaughton and has a close association with him. The place has a good integrity to its creation date. Fabric from the creation date at the H.E. McNaughton ironmongery and residence is locally significant within the City of Yarra, compared to other similar places from a similar era.

How is it significant?

The H.E. McNaughton ironmongery and residence, former at 69 Swan Street, Richmond is architecturally significant to the locality of Richmond and the City of Yarra.

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Why is it significant?

The H.E. McNaughton ironmongery and residence is significant as a well preserved inter-war parapeted brick and stucco shop and residence with original or early shopfront and the owner's name cemented in bas-relief on the parapet.

24. **National Bank of Australasia**
105 Swan Street, Richmond (within HO335)

Source: O'Connor, John & Coleman, Roslyn et al. (1985), *Richmond Conservation Study : undertaken for the City of Richmond*

This suburban branch of the National Bank of Australasia was erected in 1886-7 by the notable bank architect Albert Purchas. Its imposing three storey height, prominent corner location, and fine architectural detailing are important components of the building's significance.

25. **Shops and residences**
232 & 234 Swan Street, Richmond (within HO335)

Source: O'Connor, John & Coleman, Roslyn et al. (1985), *Richmond Conservation Study : undertaken for the City of Richmond*

A rare example of a pair of small shops designed in a boom style classicism, completely intact above verandah level.

26. **M. Ball & Co, former**
236 - 240 Swan Street, Richmond (within HO335)

Source: O'Connor, John & Coleman, Roslyn et al. (1985), *Richmond Conservation Study : undertaken for the City of Richmond*

A Richmond landmark used as a drapery since 1871, retaining some original shop fittings and a now rare aerial cash conveyor.

27. **Whitehorse Hotel, former**
250-252 Swan Street, Richmond (within HO335)

Source: O'Connor, John & Coleman, Roslyn et al. (1985), *Richmond Conservation Study : undertaken for the City of Richmond*

A rare example of an early 1850's stone commercial building designed in a colonial Regency style.

28. **Shops and Residences**
413 - 415 Swan Street, Richmond (within HO474)

Source: Lovell Chen (2012), *City of Yarra Heritage Gaps Study (Heritage Gaps Amendment two)*

What is significant?

Nos 413-415 Swan Street, Richmond is a Victorian two storey brick terrace pair of shops and combined residences. The ground floor shopfronts have been modified, but the rendered first floor facades are intact, with no. 413 remaining unpainted save for the c.1920s 'Monopole Magnum Cigars'

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sign. Intact details include double-hung sash windows, window architraves, brackets, supporting stringcourse and mouldings, plus pedimented parapets incorporating panels, brackets, cornices and mouldings, urn pedestals and dividers. The buildings have been extended to the rear; these later elements are not of heritage significance.

How is it significant?

Nos 413-415 Swan Street, Richmond is of local historical and aesthetic/architectural significance.

Why is it significant?

Nos 413-415 Swan Street is of local historical significance, as a pair of two storey brick shops and combined residences constructed for carpenter, J Wood in 1892. This was just after the period of commercial development consolidation in Swan Street, and unusually during the severe economic Depression of the early 1890s. The buildings were subsequently occupied by a range of retailers and commercial operations, typical for a main street of the late nineteenth and early twentieth century. These included sellers of dairy produce, a greengrocer, butcher, hairdresser and tobacconist. The subject property is also of local aesthetic/architectural significance. It is a well-preserved pair of two storey shops/residences, broadly consistent with many similar nineteenth century commercial buildings in inner suburban main road locations. However, the first floor facades retain their original form and detailing; in particular, the upper level to no. 415 has remained unpainted. This façade is further distinguished through the retention of the 'Monopole Magnum Cigars' sign. Both first floors also have prominent and well-detailed arched pedimented parapets.
