

11.03

31/07/2018
VC148

PLANNING FOR PLACES

11.03-1S

03/02/2022
VC199

Activity centres

Objective

To encourage the concentration of major retail, residential, commercial, administrative, entertainment and cultural developments into activity centres that are highly accessible to the community.

Strategies

Build up activity centres as a focus for high-quality development, activity and living by developing a network of activity centres that:

- Comprises a range of centres that differ in size and function.
- Is a focus for business, shopping, working, leisure and community facilities.
- Provides different types of housing, including forms of higher density housing.
- Is connected by transport.
- Maximises choices in services, employment and social interaction.

Support the role and function of each centre in the context of its classification, the policies for housing intensification, and development of the public transport network.

Undertake strategic planning for the use and development of land in and around activity centres.

Give clear direction on preferred locations for investment.

Encourage a diversity of housing types at higher densities in and around activity centres.

Reduce the number of private motorised trips by concentrating activities that generate high numbers of (non-freight) trips in highly accessible activity centres.

Improve access by walking, cycling and public transport to services and facilities.

Support the continued growth and diversification of activity centres to give communities access to a wide range of goods and services, provide local employment and support local economies.

Encourage economic activity and business synergies.

Improve the social, economic and environmental performance and amenity of activity centres.

Policy documents

Consider as relevant:

- *Urban Design Guidelines for Victoria* (Department of Environment, Land, Water and Planning, 2017)
- *Apartment Design Guidelines for Victoria* (Department of Environment, Land, Water and Planning, 2021)
- *Precinct Structure Planning Guidelines* (Victorian Planning Authority, 2021)

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Activity centres - Metropolitan Melbourne

Strategies

Support the development and growth of Metropolitan Activity Centres by ensuring they:

- Are able to accommodate significant growth for a broad range of land uses.
- Are supported with appropriate infrastructure.
- Are hubs for public transport services.
- Offer good connectivity for a regional catchment.
- Provide high levels of amenity.

Locate significant new education, justice, community, administrative and health facilities that attract users from large geographic areas in or on the edge of Metropolitan Activity Centres or Major Activity Centres with good public transport.

Locate new small scale education, health and community facilities that meet local needs in or around Neighbourhood Activity Centres.

Ensure Neighbourhood Activity Centres are located within convenient walking distance in the design of new subdivisions.

11.03-2S04/05/2022
VC210**Growth areas****Objective**

To locate urban growth close to transport corridors and services and provide efficient and effective infrastructure to create sustainability benefits while protecting primary production, major sources of raw materials and valued environmental areas.

Strategies

Concentrate urban expansion into growth areas that are served by high-capacity public transport.

Implement the strategic directions in the Growth Area Framework Plans.

Encourage average overall residential densities in the growth areas of a minimum of 15 dwellings per net developable hectare, and over time, seek an overall increase in residential densities to more than 20 dwellings per net developable hectare.

Deliver timely and adequate provision of public transport and local and regional infrastructure and services, in line with a preferred sequence of land release.

Provide for significant amounts of local employment opportunities and in some areas, provide large scale industrial or other more regional employment generators.

Create a network of mixed-use activity centres that are high quality, well designed and create a sense of place.

Provide a diversity of housing type and distribution.

Retain unique characteristics of established areas impacted by growth.

Protect and manage natural resources and areas of heritage, cultural and environmental significance.

Create well planned, easy to maintain and safe streets and neighbourhoods that reduce opportunities for crime, improve perceptions of safety and increase levels of community participation.

Develop Growth Area Framework Plans that will:

- Include objectives for each growth area.
- Identify the long term pattern of urban growth.
- Identify the location of broad urban development types, for example activity centre, residential, employment, freight centres and mixed use employment.
- Identify the boundaries of individual communities, landscape values and, as appropriate, the need for discrete urban breaks and how land uses in these breaks will be managed.
- Identify transport networks and options for investigation, such as future railway lines and stations, freight activity centres, freeways and arterial roads.
- Identify the location of open space to be retained for recreation, and/or biodiversity protection and/or flood risk reduction purposes guided and directed by regional biodiversity conservation strategies.
- Show significant waterways as opportunities for creating linear trails, along with areas required to be retained for biodiversity protection and/or flood risk reduction purposes.
- Identify appropriate uses for constrained areas, including quarry buffers.

Develop precinct structure plans consistent with the *Precinct Structure Planning Guidelines* (Victorian Planning Authority, 2021) approved by the Minister for Planning to:

- Establish a sense of place and community.
- Create greater housing choice, diversity and affordable places to live.
- Create highly accessible and vibrant activity centres.
- Provide for local employment and business activity.

YARRA PLANNING SCHEME

- Provide better transport choices.
- Respond to climate change and increase environmental sustainability.
- Deliver accessible, integrated and adaptable community infrastructure.

Policy documents

Consider as relevant:

- Any applicable Growth Area Framework Plans (Department of Sustainability and Environment, 2006)
- *Precinct Structure Planning Guidelines* (Victorian Planning Authority, 2021)
- *Ministerial Direction No. 12 – Urban Growth Areas*

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Peri-urban areas

Objective

To manage growth in peri-urban areas to protect and enhance their identified valued attributes.

Strategies

Identify and protect areas that are strategically important for the environment, biodiversity, landscape, open space, water, agriculture, energy, recreation, tourism, environment, cultural heritage, infrastructure, extractive and other natural resources.

Provide for development in established settlements that have capacity for growth having regard to complex ecosystems, landscapes, agricultural and recreational activities including in Warragul-Drouin, Bacchus Marsh, Torquay-Jan Juc, Gisborne, Kyneton, Wonthaggi, Kilmore, Broadford, Seymour and Ballan and other towns identified by Regional Growth Plans as having potential for growth.

Establish growth boundaries for peri-urban towns to avoid urban sprawl and protect agricultural land and environmental assets.

Enhance the character, identity, attractiveness and amenity of peri-urban towns.

Prevent dispersed settlement and provide for non-urban breaks between urban areas.

Ensure development is linked to the timely and viable provision of physical and social infrastructure.

Improve connections to regional and metropolitan transport services.

11.03-4S20/03/2023
VC229**Coastal settlement****Objective**

To plan for sustainable coastal development.

Strategies

Plan and manage coastal population growth and increased visitation so that impacts do not cause unsustainable use of coastal resources.

Support a network of diverse coastal settlements that provide for a broad range of housing types, economic opportunities and services.

Identify a clear settlement boundary around coastal settlements to ensure that growth in coastal areas is planned and coastal values are protected. Where no settlement boundary is identified, the extent of a settlement is defined by the extent of existing urban zoned land and any land identified on a plan in the planning scheme for future urban settlement.

Minimise linear urban sprawl along the coastal edge and ribbon development in rural landscapes.

Protect areas between settlements for non-urban use.

Limit development in identified coastal hazard areas, on ridgelines, primary coastal dune systems, shorelines of estuaries, wetlands and low-lying coastal areas, or where coastal processes may be detrimentally impacted.

Encourage the restructure of old and inappropriate subdivisions to reduce development impacts on the environment.

Ensure a sustainable water supply, stormwater management and sewerage treatment for all development.

Minimise the quantity and enhance the quality of stormwater discharge from new development into the ocean, bays and estuaries.

Prevent the development of new residential canal estates.

Policy documents

Consider as relevant:

- *G21 Regional Growth Plan* (Geelong Region Alliance, 2013)
- *Gippsland Regional Growth Plan* (Victorian Government, 2014)
- *Great South Coast Regional Growth Plan* (Victorian Government, 2014)
- *Marine and Coastal Policy* (Department of Environment, Land, Water and Planning, 2020)
- *Marine and Coastal Strategy* (Department of Environment, Land, Water and Planning, 2022)
- *Siting and Design Guidelines for Structures on the Victorian Coast* (Department of Environment, Land, Water and Planning, 2020)

11.03-5S

30/04/2021
VC185

Distinctive areas and landscapes

Objective

To recognise the importance of distinctive areas and landscapes to the people of Victoria and protect and enhance the valued attributes of identified or declared distinctive areas and landscapes.

Strategies

Recognise the unique features and special characteristics of these areas and landscapes.

Implement the strategic directions of approved Localised Planning Statements and Statements of Planning Policy.

Integrate policy development, implementation and decision-making for declared areas under Statements of Planning policy.

Recognise the important role these areas play in the state as tourist destinations.

Protect the identified key values and activities of these areas.

Enhance conservation of the environment, including the unique habitats, ecosystems and biodiversity of these areas.

Support use and development where it enhances the valued characteristics of these areas.

Avoid use and development that could undermine the long-term natural or non-urban use of land in these areas.

Protect areas that are important for food production.

Policy documents

Consider as relevant:

- *Bellarine Peninsula Localised Planning Statement* (Victorian Government, 2015)
- *Macedon Ranges Statement of Planning Policy* (Victorian Government, 2019)
- *Mornington Peninsula Localised Planning Statement* (Victorian Government, 2014)
- *Yarra Ranges Localised Planning Statement* (Victorian Government, 2017)

11.03-6S

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VC148

Regional and local places

Objective

To facilitate integrated place-based planning.

Strategies

Integrate relevant planning considerations to provide specific direction for the planning of sites, places, neighbourhoods and towns.

Consider the distinctive characteristics and needs of regional and local places in planning for future land use and development.

11.03-6L**Cremorne Precinct**

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Proposed C318yara

Land use and activity**Objectives**

To continue to grow Cremorne as Melbourne's premier global innovation precinct.

To support innovative and diverse employment opportunities across Cremorne's employment precincts.

To recognise the commercial, employment, retail and residential roles of different precincts in Cremorne.

Strategies

Support a diverse range of creative and innovative businesses in Cremorne from large anchor tenants, institutions and small businesses.

Support the provision of affordable workspaces in Cremorne.

Protect and maintain the low-scale residential character of the Cremorne Precinct, Green Street Precinct and Wellington Street Precinct.

In the Cremorne West Precinct, encourage:

- a diverse range of global and local creative and innovative businesses
- complementary uses including restaurants, bars, offices, and retail
- Cremorne Street to develop as the key activity spine of the precinct with active frontages
- Bendigo Kangan Institute (BKI) campus as a creative and digital education and community heart of Cremorne West offering education facilities and new public spaces.

In the Railway Precinct, encourage:

- a diverse range of global and local creative and innovative businesses between the railway corridor and Church Street Precinct
- Cremorne Digital Hub on Balmain Street as flagship location for events, training, education, research and innovation.

In the Church Street Precinct, encourage:

- Church Street to develop as an activity spine with a range of offices, company headquarters, showrooms, retail and cafes
- a diverse range of global and local creative and innovative businesses in side streets.

Support a diverse mix of uses in the Richmond Maltings, including offices, retail, cafes and residential uses.

Support a diversity of day and night time activities, including food and drink premises, retail premises and associated uses to promote a high amenity, creative and vibrant urban environment.

Movement and Access**Objectives**

To create a highly accessible and well connected movement network that prioritises sustainable and active transport and discourages through traffic.

To provide safe and attractive local cycling and pedestrian network which connects strategic corridors, major trails and key destinations, including public transport.

To minimise the impact of car parking and associated vehicular movements through Cremorne.

Strategies

Promote Cremorne as a walkable precinct with reduced traffic speeds and traffic volumes, new footpaths and greening to provide safe pedestrian access to buildings and new pedestrian connections.

Enhance the pedestrian and cyclist connections:

- to Richmond Station with a new and upgraded pedestrian crossing, public spaces and bike facilities at Swan Street and Cremorne Street to promote accessibility to public transport and a new connection to Lennox Street and the northern suburbs
- along Cremorne Street linking Richmond Station to the Birrarung Precinct
- on Kelso, Stephenson, Balmain and Cotter Streets to provide green connections to eastern and western Cremorne and open space
- along Green Street and Oddys Lane to connect to the river and South Yarra
- along Church Street connecting East Richmond Station, Swan Street and South Yarra
- along Adolph, Chapel, Adelaide, Gordon, Albert, Amsterdam, Yorkshire and Howard Streets off Church Street to provide green connections to other parts of Cremorne.
- to East Richmond Station including new public spaces and pedestrian priority zones and improvements to the underpass.

Enhance access to the Main Yarra Trail and Yarra River (Birrarung) corridor at Oddys Lane, Church Street and Harcourt Parade.

Support development that provides new ground level links through the sites and shared road reserves while still allowing access for servicing.

Limit new vehicle access points on pedestrian, public transport and bicycle priority routes.

Reduce off-street car parking provided in office and retail premises developments to promote more sustainable modes of transport.

Streets and Spaces for People

Objectives

To create a network of high quality public spaces in Cremorne.

To reconnect Cremorne with Yarra River (Birrarung).

To redesign Cremorne's streets as places for people.

Strategies

Encourage developments to deliver spaces, including open spaces, for people to meet, gather, socialise, exercise and relax.

Deliver new open spaces, including those identified in the Yarra Open Space Strategy to meet the needs of a growing community:

- Small Neighbourhood Open Space in the vicinity of the Bendigo Kangan Institute site between Cremorne Street and Dover Street
- Local Open Space between the railway and Church Street, north of Balmain Street
- Small Local Open Space between Punt Road and Cremorne Street and north of Kelso Street
- Small Local Open Space in the vicinity of Gough Street
- Small Local Open Space south of Balmain Street between Cremorne Street and Cubitt Street
- Small Local Open Space south of Balmain Street, between the railway and Church Street
- Small Local Open Space in the vicinity of Swan Street and East Richmond Station.

YARRA PLANNING SCHEME

Deliver a range of small spaces and pocket plazas throughout Cremorne, including:

- Enhancements to Balmain Street Plaza (west of the underpass)
- New public space on Balmain Street (east of the underpass adjoining the Cremorne Digital Hub)
- New public space on south west corner of Swan Street and Cremorne Street
- VicTrack land on Green Street.

Develop green links along:

- Kelso Street to connect to an improved crossing at Punt Road and Gosch's Paddock
- Balmain and Cotter Streets to the Barkly Gardens, Alan Bain Reserve and McConchie Reserve
- Green Street / Oddys Lane to enhance the physical connection to the river.

Interpret and celebrate heritage and culture, including Aboriginal cultural heritage in public open space design.

Support public art in open space, public realm and infrastructure projects that celebrates and enhances Cremorne's history and identity.

Work with service providers and landowners, especially on sites with large frontages, to underground powerlines to improve footpath access.

Design quality

Objectives

To reinforce Cremorne as a place of design excellence, with a distinct identity and character.

Strategies

Showcase key heritage and character buildings including remanent shops and corner pubs through sensitive redevelopment.

Encourage varied built form typologies.

Ensure buildings that contribute to a high quality public realm and fine grain, pedestrian scale environment.

Strategic sites

Objectives

To ensure development on strategic sites is knitted into the fabric of Cremorne, responds to important structural elements, sensitive interfaces to residential areas and the Yarra River (Birrarung).

To ensure development contributes to a high quality public realm in the form of through site links to provide permeability and accessibility, and public spaces for people to meet, gather, socialise, exercise and relax.

To showcase heritage buildings in any redevelopment.

Strategies

General

Avoid additional overshadowing of the banks, water of the Yarra River and adjacent public open space, pedestrian and bicycle paths.

Ensure development complements and enhances the Yarra River environs through the design quality and materiality of buildings.

Ensure the design of buildings that interface with the railway contribute to a positive image of Cremorne.

Avoid additional overshadowing at the spring equinox of key pedestrian routes – Cremorne Street (eastern and western footpaths), Church Street (eastern and western footpaths), Balmain Street (southern footpath), and existing and proposed open space.

Reuse or sensitively redevelop heritage buildings to retain the integrity of the building and a sense of history.

Ensure infill buildings compliment and are respectful in scale to heritage buildings and allow them to remain prominent.

Bendigo Kangan Institute Strategic Site

Provide for a range of building heights on the site while ensuring the prominence of the former Cremorne Primary School within the site and the streetscape and views to the roofline are retained.

Provide a transition in height on the northern portion between the broader Cremorne West Precinct and the former Cremorne Primary School.

Locate a new small neighbourhood open space, south of the former Cremorne Primary School (extending the full width of the building) that enhances and complements the existing building.

Encourage the provision of new links through the site:

- An east-west link to the north of the former Cremorne Primary School between Cremorne and Dover Streets to provide space behind the school buildings when they are viewed from the south.
- A secondary east-west link alongside the future open space to the south of the former school.
- north-south connections to Dove Street.

Provide a setback to:

- Cremorne Street that aligns with the building line of the former Cremorne Primary School and allows for the integration of seating and landscape at the street interface and welcomes the community in.
- Dover Street to retain the prominence of the school building in the streetscape.

Improve public access to the existing open spaces within the site.

Bryant and May Strategic Site

Ensure building massing is carefully scaled and located to ensure that heritage buildings and features remain prominent within the site including decorative facades, signage, parapets and taller elements including the chimney and clocktower.

Ensure any new built form presents as well-designed companion buildings which respond to the heritage place:

- On the northern portion of the site – the scale of new built form does not dominate the main factory building
- At the north-west corner - built form retains permeability through the site
- On the southern half of the site – new built form is setback from Church Street and development is less extensive, especially west of the pavilion.

Design new street walls that align with or are lower than the site's heritage podiums.

Preserve views to ensure the Bryant & May buildings, including clocktower and chimney remain prominent from Chestnut Street, north of Adelaide Street and south of Balmain Street and from Church Street.

Reimagine Russell Street as a landscaped pedestrian corridor, with very limited or no vehicle access and a series of public spaces that reinforce the site's role as a former model factory that placed emphasis on worker amenity.

Create new through site links that create a publicly accessible and legible network that connects to the broader street network and frames the heritage forms.

Provide a new small local open space on the western portion of the site to support the retention of key views from Chestnut Street to the main factory building, clock tower, chimney stack and historic signage.

Provide a landscaped setback along Balmain and Chestnut Streets to contribute to an expanded public realm and provide for integrated seating and landscaping.

Enhance Adelaide Street as a green shared street that connects Church Street to the adjacent Railway Precinct with human scale development, consolidated vehicle entrances and generous building setbacks to enhance the public realm.

534 Church Street Strategic Site

Transition buildings down in height from higher built form at the Church Street interface to the lower-scale character of the Chestnut Street residential precinct.

Develop the site as a campus of buildings rather than one large building.

Encourage the provision of new links through the site:

- extend a through site link aligned with Walnut Street through the site
- an additional north-south laneway is provided towards at the eastern end of the site.

Ensure the scale and siting of any new built form has regard to the state heritage significance of the Former Bryant & May buildings, including ensuring development retains its prominence along Church Street.

Retain the prominence of the Bryant & May site, including clocktower and chimney when viewed from Chestnut Street.

Create a human-scale street wall and active interface to Church Street, Adelaide Street and William Street.

Reinforce the Church Street frontage as the primary interface with awnings, inset building entrances and integrated seating.

Provide a landscape setback to Chestnut Street in response to the character of the streetscape.

Enhance Adelaide Street as a green shared street that connects Church Street to the adjacent Railway Precinct with human scale development, consolidated vehicle entrances and generous building setbacks to enhance the public realm.

Richmond Maltings Strategic Site

Provide a series of links and spaces through the site that improve accessibility and connectivity and connect to the Main Yarra Trail.

Respect the amenity of lower scale residential areas to the north.

Enhance surrounding streets through footpath widening, street tree planting and design of the ground floor premises to activate the frontages.

Consolidate vehicular access and servicing to minimise the impact on the surrounding streetscapes.

Protect the visual prominence of and views to the landmark Nylex sign and associated silos through the sensitive siting and design of new buildings.

Integrate a new small local open space into the development.

Promote high levels of street activation and visual engagement in laneways and plazas and on the surrounding streets of the Richmond Maltings to draw people into the site and provide activated edges.

167 Cremorne Street Strategic Site

Develop a diverse range of forms, typologies, building and street wall heights, and varied architecture across the site, responding to each of the unique interfaces.

Deliver a range of building heights with the highest scale to the north-west and the lowest scale at Dover Street.

Provide a landscape setback, lower-scale, fine-grain edge at the Dover Street interface to enhance the landscape character of Dover Street and respond to the low-scale residential context and the Cremorne Heritage Precinct (HO342).

Deliver a new small local open space on the north-east corner of the site to serve residents and the broader community and provide a public interface and passive surveillance of neighbouring streets.

Deliver new publicly accessible laneways through the site to improve connectivity to surrounding streets and new open space and break up building mass.

Design primary frontages at Cremorne Street and Bent Street with active interfaces at the ground floor and lower levels.

Set back buildings to provide extended footpaths, entrances and pedestrian plazas.

Rosella Complex Strategic Site

Ensure any new development on the site:

- provides visual interest at the ground level and use forms and materials that are complementary to the heritage context.
- showcases the distinctive Rosella signs on buildings fronting Balmain Street, Palmer Parade and the railway line.
- provides a range of building heights with the highest scale of buildings closest to the railway corridor and lower scale buildings fronting the residential areas west of the site on Gwynne and Munro Streets and to the rear of properties on Cubitt Street.

Deliver new public space within the complex that provides space to meet and relax.

Improve the legibility and quality of the internal street network by improving the amenity of Palmer Parade as a shared zone that prioritise pedestrians and cyclists.

Create a new through site link that connects Palmer Parade to Cubitt Street and provides improved access to Charles Evans Reserve.

Consolidate at-grade parking and minimise the impact of vehicular access entrances and ramps on the public realm.

658 Church Street Strategic Site

Locate the highest scale buildings to the north of the site transitioning down to a lower scale to the south of the site.

Redesign streets and improve the legibility of the street network to prioritise pedestrians.

Consolidate car parking within the site to reduce negative impacts on the public realm and facilitate opportunities for an expanded public space network.

Deliver new publicly accessible open spaces that expand on the existing high quality spaces.

Enhance the distinct character of the site, where buildings are set within the landscape setting with green spaces and mature trees.

Undertake conservation works as part of any redevelopment of the former Richmond Power Station.

YARRA PLANNING SCHEME

Retain the prominence of the former Richmond Power Station by:

- Upgrading the public realm to enhance the setting
- Retaining views to the former Power Station from Green Street, Electric Street, Hargreaves Street, Oddys Lane and Dale Street
- Retaining the former Power Station as the tallest building on the west side of the site which can be read as a free standing landmark building
- Maintaining visual connections between the west decorative façade of the Former Richmond Power Station and the railway line to provide a link between the historic uses.

Create a well-designed, human-scale street wall and active interface to Church Street primary interface that incorporates landscape, inset building entrances and integrated seating.

Map 1: Cremorne West Precinct



- Primary access network & activity spine
- Primary access network
- Primary access network one-way
- Cycling connection
- Through site links
- Proposed / upgraded signalised intersection
- Open space opportunity area
- Public realm upgrade / open space opportunity
- BKI creative & digital education hub

- Priority crossing upgrades
- ① Swan Street and Cremorne Street intersection
 - ② Punt Road and Kelso Street signalisation
 - ③ Punt Road CityLink underpass
 - ④ Dunn Street underpass
 - ⑤ Balmain Street underpass
 - ⑥ New walking and cycling connection north

Map 2: Railway Precinct



Map 3: Church Street Precinct



Map 4: Strategic sites

