



Ordinary Meeting of Council Agenda

**to be held on Tuesday 17 March 2020 at 7.00pm
Fitzroy Town Hall**

Arrangements to ensure our meetings are accessible to the public

Council meetings are held at either the Richmond Town Hall or the Fitzroy Town Hall. The following arrangements are in place to ensure they are accessible to the public:

- Entrance ramps and lifts (off Moor Street at Fitzroy, entry foyer at Richmond).
- Interpreting assistance is available by arrangement (*tel. 9205 5110*).
- Auslan interpreting is available by arrangement (*tel. 9205 5110*).
- A hearing loop is available at Richmond only and the receiver accessory is available by arrangement (*tel. 9205 5110*).
- Proposed resolutions are displayed on large screen.
- An electronic sound system amplifies Councillors' debate.
- Disability accessible toilet facilities are available at each venue.

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Meeting recordings can be viewed at <http://webcast.yarracity.vic.gov.au>.

www.yarracity.vic.gov.au

Order of business

- 1. Statement of recognition of Wurundjeri Woi-wurrung Land**
- 2. Attendance, apologies and requests for leave of absence**
- 3. Declarations of conflict of interest (Councillors and staff)**
- 4. Confidential business reports**
- 5. Confirmation of minutes**
- 6. Petitions and joint letters**
- 7. Public question time**
- 8. Delegates' reports**
- 9. General business**
- 10. Questions without notice**
- 11. Council business reports**
- 12. Notices of motion**
- 13. Urgent business**

1. Acknowledgment of Country

“Yarra City Council acknowledges the Wurundjeri Woi Wurrung people as the Traditional Owners and true sovereigns of the land now known as Yarra.

We acknowledge their creator spirit Bunjil, their ancestors and their Elders.

We acknowledge the strength and resilience of the Wurundjeri Woi Wurrung, who have never ceded sovereignty and retain their strong connections to family, clan and country despite the impacts of European invasion.

We also acknowledge the significant contributions made by other Aboriginal and Torres Strait Islander people to life in Yarra.

We pay our respects to Elders from all nations here today—and to their Elders past, present and future.”

2. Attendance, apologies and requests for leave of absence

Anticipated attendees:

Councillors

- Cr Misha Coleman (Mayor)
- Cr Mi-Lin Chen Yi Mei (Deputy Mayor)
- Cr Danae Bosler
- Cr Jackie Fristacky
- Cr Stephen Jolly
- Cr Daniel Nguyen
- Cr Bridgid O’Brien
- Cr James Searle
- Cr Amanda Stone

Council officers

- Vijaya Vaidyanath (Chief Executive Officer)
- Ivan Gilbert (Group Manager Chief Executive’s Office)
- Lucas Gosling (Director Community Wellbeing)
- Gracie Karabinis (Group Manager People, Culture and Community)
- Chris Leivers (Director City Works and Assets)
- Diarmuid McAlary (Director Corporate, Business and Finance)
- Bruce Phillips (Director Planning and Place Making)
- Rhys Thomas (Senior Governance Advisor)

3. Declarations of conflict of interest (Councillors and staff)

4. Confidential business reports

Nil

5. Confirmation of minutes

RECOMMENDATION

That the minutes of the Ordinary Council Meeting held on Tuesday 3 March 2020 be confirmed.

6. Petitions and joint letters

7. Public question time

Yarra City Council welcomes questions from members of the community.

Public question time procedure

Ideally, questions should be submitted to Council in writing by midday on the day of the meeting via the form available on our website. Submitting your question in advance helps us to provide a more comprehensive answer. Questions that have been submitted in advance will be answered first.

Public question time is an opportunity to ask questions about issues for which you have not been able to gain a satisfactory response on a matter. As such, public question time is not:

- a time to make statements or engage in debate with Councillors;
- a forum to be used in relation to planning application matters which are required to be submitted and considered as part of the formal planning submission;
- a forum for initially raising operational matters, which should be directed to the administration in the first instance;

If you wish to raise matters in relation to an item on this meeting agenda, Council will consider submissions on these items in conjunction with and prior to debate on that agenda item.

When you are invited by the Mayor to ask your question, please come forward, take a seat at the microphone, state your name clearly for the record and:

- direct your question to the Mayor;
- refrain from making statements or engaging in debate
- not raise operational matters which have not previously been raised with the Council administration;
- not ask questions about matter listed on the agenda for the current meeting.
- refrain from repeating questions that have been previously asked; and
- if asking a question on behalf of a group, explain the nature of the group and how you are able to speak on their behalf.

Once you have asked your question, please remain silent unless called upon by the Mayor to make further comment or to clarify any aspects.

8. Delegate's reports

9. General business

10. Questions without notice

11. Council business reports

Item		Page	Rec. Page	Report Presenter
11.1	Amendment C231 - Queens Parade	7	28	Fiona van der Hoeven - Assistant Manager City Strategy
11.2	Community Reference Group membership - former AMCOR site	242	244	David Walmsley, Manager City Strategy
11.3	Zero Carbon in the Yarra Planning Scheme	249	256	Fiona van der Hoeven - Assistant Manager City Strategy
11.4	Gleadell and Griffith Street Precinct Project	257	268	David Walmsley, Manager City Strategy
11.5	Proposed Discontinuance of Roads abutting 53-77 Burnley Street, Richmond.	281	284	Bill Graham – Valuations Coordinator
11.6	Active Transport Advisory Committee	296	300	Rhys Thomas - Senior Governance Advisor
11.7	Motions for ALGA National General Assembly and MAV State Council	302	303	Ivan Gilbert - Group Manager Chief Executive's Office
11.8	Councillor Attendance at Sydney Climate Change Summit	312	313	Ivan Gilbert, Group Manager Chief Executive's Office
11.9	Report on Assemblies of Councillors	314	315	Ivan Gilbert - Executive Manager - Chief Executive's Office

The public submission period is an opportunity to provide information to Council, not to ask questions or engage in debate.

Public submissions procedure

When you are invited by the Mayor to make your submission, please come forward, take a seat at the microphone, state your name clearly for the record and:

- Speak for a maximum of five minutes;
- direct your submission to the Mayor;
- confine your submission to the subject under consideration;
- avoid repetition and restating previous submitters;
- refrain from asking questions or seeking comments from the Councillors or other submitters;
- if speaking on behalf of a group, explain the nature of the group and how you are able to speak on their behalf.

Once you have made your submission, please remain silent unless called upon by the Mayor to make further comment or to clarify any aspects.

12. Notices of motion

Nil

13. Urgent business

Nil

11.1 Amendment C231 - Queens Parade

Executive Summary

Purpose

The purpose of the meeting is to consider the report of the independent Planning Panel in relation to Amendment C231 and consider the officer recommendations. Council then needs to decide whether to adopt the Amendment with or without changes, or whether to abandon the Amendment.

Key Issues

The report from the Panel, appointed to consider Amendment C231, has been received.

The Panel largely supported the Amendment but with changes as advocated by Council in the form of Council's *preferred version* of the Amendment as endorsed by Council on 28 May 2019, except for building heights in Precinct 4 and Precinct 5C and a small number of less significant proposed changes. These matters are outlined in the officer report.

The Panel Report is being considered by Council over two meetings:

A report prepared by officers for a Special Council Meeting on 25 February 2020 provided an overview of the Panel Report. The first meeting on 25 February 2020 enabled any person who wished to speak to the issue in accordance with normal meeting procedure rules to do so.

Speakers identified a range of issues but largely supported the recommendations in the Panel Report with the exception of four storeys in part of Precinct 4.

Council must now make a decision on the Amendment in accordance with the *Planning and Environment Act 1987*.

Financial Implications

Costs associated with the Panel process have been met through the City Strategy budget.

PROPOSAL

In summary, it is proposed that Council considers the Planning Panel and officer report for Amendment C231 Queens Parade and decides whether to:

- (a) adopt all or part of the Amendment with or without changes; or
- (b) abandon all or part of the Amendment.

11.1 Amendment C231 - Queens Parade

Reference: D20/37677
Authoriser: Director Planning and Place Making

Purpose

1. The purpose of the meeting is to consider the report of the independent Planning Panel in relation to Amendment C231 and consider the officer recommendations. Council then needs to decide whether to adopt the Amendment with or without changes, or whether to abandon the Amendment.

Background

2. Council prepared Amendment C231 to introduce built form controls for new development and make other changes to the planning scheme along Queens Parade, Fitzroy North/Clifton Hill.
3. Amendment C231 is intended to replace the interim built form controls which currently apply with permanent controls.
4. The Amendment was authorised by the Minister for Planning and exhibited during October and November 2018. 414 written submissions were received. On 28 May 2019 Council resolved to request the Minister appoint an independent Planning Panel to hear submissions.
5. At that 28 May meeting, Council considered the submissions and endorsed a set of proposed changes to the Amendment. Those proposed changes were reflected in a document called the Council's *preferred version* of the DDO.
6. Council's submission to the Panel was based on the position endorsed at the Council meeting on 28 May 2019.
7. Although the Panel considered the Amendment as exhibited, the Panel also had regard to Council's *preferred version* of the DDO. At the close of the hearing, Council was directed to submit its *final version* of DDO16 to all parties. The Panel used this *final version* of DDO16 as the basis for its recommendations as found in the Panel report. There was an acceptance by all parties at the hearing that the starting position for deliberations was the *preferred DDO*, although the Panel was still required to consider the *exhibited DDO*.
8. As outlined in the officer report for the Special Council Meeting on 25 February 2020, Council is considering the Amendment over the course of two meetings:
 - (a) **first meeting (Stage 1) (25 February 2020 Special Council Meeting)** - At the Special Meeting any person who wished to address Council on the Panel's recommendations was given an opportunity to do so in accordance with normal meeting procedure rules. In total, 31 speakers addressed the Council.
 - (b) **second meeting (Stage 2) (this meeting)** - Council will make a decision on the Amendment.

Panel Report

9. The Panel Report was received by Council on 1 November 2019 and released publicly on 14 November 2019. A copy of the Panel Report was attached to the officer report for the Special Council Meeting on 25 February 2020. A copy of the report is also on Council's website. <https://www.yarracity.vic.gov.au/the-area/planning-for-yarras-future/yarra-planning-scheme-and-amendments/current-amendments/amendment-c231-queens-parade>
10. The Panel supported Amendment C231 but subject to certain recommended changes.
11. The Panel concluded that Amendment C231:

- a) is 'well founded and strategically justified, and generally supported by submitters who acknowledged the need to accommodate change but questioned how much change was required' (Page 18);
- b) was responsive to submissions and was subject to an extensive process of review by Council following exhibition and during the Panel hearing; and
- c) has been underpinned by comprehensive strategic work that supports the use of a combination of *mandatory* and *preferred* height and setback controls in DDO16.

12. The key aspects of Amendment C231 that were supported by the Panel were:

Table 1: Key aspects of the amendment that were supported by Panel

Issue	Panel comments
A mix of mandatory and preferred controls	<p>The Panel supports the balance of the mandatory controls and preferred provisions sought by Council as it will assist to provide certainty in areas where distinctive heritage fabric warrants greater protection from inappropriate development.</p> <p>It noted Council had undertaken comprehensive strategic work to support the application of mandatory controls and there is evidence of increasing development pressure within the area.</p> <p>It considers <i>exceptional circumstances</i> exist for the application of mandatory controls as Queens Parade includes a number of significant and contributory heritage places and heritage fabric set within a consistent streetscape form.</p>
Heritage and growth	<p>The Panel acknowledged the importance of the overall heritage setting, significance and importance of maintaining and protecting the identified heritage places and fabric of Queens Parade. It supported the protection of view lines to the former ANZ Bank building and St John the Baptist's Church.</p> <p>It agreed with Council that the 'heart' of the Activity Centre is particularly sensitive with consistent and close-grained development whereas the larger lots and less sensitive surroundings at the 'bookends' of Queens Parade lend itself to development of appropriately designed taller and larger buildings.</p> <p>The Panel found that the Amendment is responsive to and consistent with the projected economic growth and population estimates and forecasts and plans for appropriate urban growth and renewal, consistent with State planning policy.</p>
Built form	<p>The Panel generally supported the heights and setbacks in Council's <i>preferred DDO</i> except in Precinct 4 where it recommended Council's preferred 4 storey height be reduced to 3 storeys in three of the four quadrants.</p> <p>In Precinct 5C, the Panel also recommended a different height to Council's preferred DDO - increasing the preferred height from 43 metres to 49 metres.</p>
Residential interfaces	<p>The Panel supported the protection of the sensitive residential interfaces through the use of overshadowing controls and a modified ResCode standard for side and rear interfaces. It also supported building separation controls in Precincts 2 and 5.</p>

13. In addition to the above, the Panel recommends that Council:

- (a) adopt Amendment C231 to the Yarra Planning Scheme as exhibited subject to the Panel's recommended version of DDO16 (note that the Panel's preferred version is different to the Council's *preferred version of the DDO*);
- (b) undertake further heritage assessment of the existing built form and associated structures located at 390A Queens Parade to establish whether other buildings and associated structures on this property would support or warrant a 'contributory' grading within the context of HO330; and
- (c) correct the spelling of Raines Reserve (from 'Rains' to 'Raines') and correct the street numbering for the St John's Church complex in Appendix 8.

Next steps in the amendment process

- 14. The next phase of the Amendment is the final step in the Amendment process for Council and is a critical step. The way in which Council considers the adoption is prescribed in the *Planning and Environment Act 1987* (the Act).
- 15. Two VCAT cases, *Steller 250 Pty Ltd v Frankston CC [2019]* and *Lend Lease Apartments (Armadale) Pty Ltd v Stonnington CC [2013]* have highlighted the need to strictly adhere to the Act as a way of avoiding further procedural review under Section 39 of the Act.
- 16. Under Sections 27, 28 and 29 of the Act, Council must:
 - (a) consider the Panel's report before deciding whether or not to adopt the amendment; and then;
 - (b) either abandon all or part of the Amendment; or
 - (c) adopt all or part of the Amendment with or without changes.
- 17. Section 9 of the *Planning and Environment Regulations 2015* (the Regulations) sets out the information to be submitted to the Minister for Planning under Section 31 of the Act. Council must provide the following:
 - (a) the reasons why any recommendations of a Panel were not adopted; and
 - (b) a description of and the reasons for any changes made to the amendment before adoption.
- 18. Attachment 1 to this report sets out what the Panel recommended and explains why or why not recommendations were adopted. Attachment 3 to this report describes every change to the Amendment since exhibition and gives reasons for the change.

Splitting of the Amendment into two parts

- 19. Legal proceedings involving an application under Section 39 of the *Planning and Environment Act 1987* have been lodged at VCAT.
- 20. The Section 39 proceeding relates to 390A Queens Parade. It surrounds notification of the Amendment, in particular that the permit applicant was not specifically advised about the *preferred DDO*. The permit applicant was neither the owner nor the occupier of the land.
- 21. This matter was heard at VCAT on 10 February 2020. At the time of writing this report, no decision has been received.
- 22. Accordingly, to enable that part of the Amendment not subject to legal challenge to proceed and enable its adoption, officers recommend splitting Amendment C231 into two parts as shown on Map 1 below:
 - (a) Part 1 would comprise the part of the Amendment that is not subject to legal challenge.
 - (b) Part 2 would comprise the part of the Amendment relating to the land at 390A Queens Parade.
- 23. This would enable the two parts of the Amendment to be considered together or separately depending on the timing and outcome of the VCAT decision.

24. At this stage, officers recommend Council adopts both Part 1 and 2 at this Council meeting. NB: This position assumes a decision will have been made by VCAT before 17 March and that the decision is favourable to Council.
25. If, however, a decision has not been received by the date of this meeting, or if the applicant's Section 39 proceeding is successful, officers would provide an alternate recommendation before the Council sits, which would recommend Council:
 - (a) adopts Part 1 (the part of the amendment not subject to legal challenge); and
 - (b) considers Part 2 (390A Queens Parade) at a later date after the outcome of the VCAT decision regarding the section 39 proceedings.

Map 1: Amendment C231 (Parts 1 and 2)



Issues raised by speakers at 25 February 2020 Special Council Meeting

26. 31 people addressed Council at the Special Council meeting on 25 February 2020 in accordance with normal meeting procedure rules. The issues raised included:
 - (a) strong support for a maximum building height of three storeys in Precinct 4. One speaker noted that at least 60 per cent of submitters supported two and three storeys in this precinct;
 - (b) most speakers commented that they did not support the Panel's recommendation of four storeys in the *Fourth Quadrant* of Precinct 4 – the area bounded by Queens Parade, Gold and Turnbull Streets. Concerns were raised about the impacts of four storeys on individually significant and contributory heritage buildings in this quadrant; creation of a different scale to the rest of the shopping strip; overshadowing, privacy and building bulk impacts on neighbouring residential properties; and the functioning of laneways and lack of access to properties;
 - (c) support for a maximum building height of 43 metres in Precinct 5C (noting some speakers sought a mandatory rather than preferred height.);
 - (d) strong support for the application of mandatory controls;

- (e) concerns about the adequacy of the 8 metre upper level setback in Precinct 4 (with an increased upper level setback being sought);
- (f) concerns about the pedestrian environment particularly in Precinct 5;
- (g) concerns that the definition of public realm does not include laneways in the Panel's *recommended DDO* and potential maximum height of building services such as lift overruns and air conditioning plants;
- (h) a representative of 390A Queens Parade requested that Council does not make a decision before the Section 39 proceeding is determined. They opposed three storeys in Precinct 4, and
- (i) concern about ensuring housing is available for future generations.

Panel recommendations and detailed officer response

- 27. A detailed officer response to the Panel's recommendations is provided at Attachment 1. Attachment 1 outlines all the changes recommended by the Panel and provides the officer response to each recommended change. Where any recommendations are not supported by officers, reasons are given for not supporting the change.

Design and Development Overlay 16 (DDO16)

- 28. Council officers have reviewed and considered the Panel's recommended changes to DDO16 as set out in the Panel's *final version* of DDO16 and agree with the majority of recommendations made by the Panel.
- 29. The following details the key changes to DDO16 as recommended by the Panel. It also highlights where the Panel supported key requirements of Council's *preferred version of DDO16* and suggested no/little change.
- 30. A summary of the Panel's key recommended changes and the officer response is set out below.

Preferred character statements

- 31. Council's *preferred version* of DDO16 included 'preferred character statements' (a change proposed in response to submissions). They were added to better define the future character sought by the controls.
- 32. The Panel supported their inclusion but has recommended redrafting them to make their intent clearer. The Panel considered the preferred character statements must describe an appropriate outcome and the design requirements must demonstrably assist in achieving this outcome. They recommend edits some preferred character statements to read as more positive outcomes and removed repetition.
- 33. Officers recommend the acceptance of the changes to the preferred character statements proposed by the Panel because they improve clarity and remove repetition. The edits are consistent with the intent of the preferred character statements as proposed by Council.

Mix of mandatory and preferred requirements

- 34. The Panel supported the balance of the mandatory controls and preferred provisions sought by Council.
- 35. The Panel assessed the Amendment against the criteria for mandatory controls in Planning Practice Notes (PPN) 59 and 60. PPN 59 requires that mandatory controls must be strategically justified, suitable for the majority of proposals and whether they provide for the preferred outcome. Conversely, the PPN also requires an assessment of the likely outcome and the administrative burden in the absence of a mandatory control. PPN 60 considers whether mandatory controls are 'absolutely necessary' to achieve the preferred built form outcomes, whether they are supported by robust and comprehensive strategic work or where 'exceptional circumstances' warrant their introduction.
- 36. The Panel considered the circumstances outlined in PPN 59 and PPN 60 exist to justify the application of some mandatory controls in Queens Parade.

Use of 'must' and 'should' in mandatory and preferred requirements

37. The *exhibited DDO16* used the word *must* in relation to both mandatory and preferred requirements. However, where the control was intended to be mandatory, the words '*A permit cannot be granted to vary this requirement*' were included. This approach was taken in response to advice received by Council, which was based on the way the head clause of the Design and Development Overlay is drafted. However, in practice this made the DDO more difficult to understand.
38. Council's *preferred version* of DDO16 used *must* and *should* to distinguish between mandatory and preferred requirements respectively. While there are different opinions on the proper approach, the use of the words *must* and *should* in the *preferred version* of DDO16 was supported by the Panel.

Heritage design requirements

39. The *exhibited version* of DDO16 included *Heritage Design Requirements* to guide decision-making for buildings in Queens Parade.
40. The Panel acknowledged the importance of the heritage fabric and the identified significant and contributory heritage places located throughout Queens Parade.
41. At the Panel hearing, Council noted that it is updating its Planning Scheme in line with the recently introduced integrated Planning Policy Framework structure by the State Government. This process of updating will review Clause 22.02 – Council's Heritage Policy and provide new policy for retail, commercial and industrial buildings.
42. The Panel recommended that the Heritage Design Requirements are not required in DDO16 and should be deleted. It considered that the Heritage Design Requirements duplicate existing provisions found within Clause 22.02 (Development Guidelines for Sites Subject to a Heritage Overlay) and within the Decision Guidelines of Clause 43.01-8 (Heritage Overlay). It further considered the amended Preferred Character Statements (which were included post exhibition) and the amended Design Requirements for each Precinct appropriately consider the impact of heritage on development.
43. Officers do not agree with the Panel's finding that the Heritage Design Requirements duplicate existing provisions.
44. The Heritage Design Requirements address gaps in the scheme provisions. For example, Clauses 43.01 and 22.02, do not apply to buildings adjacent to but not in a Heritage Overlay area as the Heritage Design Requirements do.
45. Additionally, although Clause 22.02 applies to all buildings in a heritage overlay area, it is principally drafted to inform new development, alterations and additions in a residential setting, rather than commercial and industrial buildings, and it does not address elements such as architectural features and glazing, as proposed in the Preferred DDO16.
46. In this regard, officers do not accept the Panel's recommendation and support retention of the Heritage Design Requirements. They are a necessary stop-gap measure that address a gap in the scheme provisions and should be included until such time Clause 22.02 is amended to more comprehensively address industrial, commercial and retail places, after which, they can be removed.
47. It is noted that Clause 22.02 will be amended by Amendment C269 (the Planning Scheme Local Policy rewrite). Officers propose that after Amendment C269 is gazetted, an administrative amendment would be undertaken and the Heritage Design Requirements in this (and other) DDO(s) would be removed.
48. It is also highlighted that the inclusion of the Heritage Design Requirements was supported by the Panel considering Amendment C220 (which seeks to apply new built form controls for Johnston Street) and also by the Department of Environment, Land, Water and Planning (DELWP) on the basis they were a stop-gap measure.

Access via laneways

49. The *exhibited version* of DDO16 sought to ensure vehicle access is provided to the side and rear of lots, wherever possible. This is partly to maximise the efficiency and safety of the arterial roads e.g. Queens Parade and to ensure the historic Queens Parade shopping strip is not dominated by car access points (and further promoting a safe and friendly walking environment, reducing conflict points and retaining the historic streetscape).
50. To ensure this expectation about access points on Queens Parade was explicit, in the Council *preferred version* of DDO16 as presented to Panel, Council deleted the following: '*Future vehicle access and services must be provided from a rear laneway or side street where possible*' and replaced it with '*New vehicle crossovers onto Queens Parade must be avoided.*'
51. The Panel recommended Council reinstate the requirement that '*Future vehicle access and services must be provided from a rear laneway or side street where possible.*'
52. The Panel also recommended that Napier and Brunswick Streets are added to the requirement seeking to limit access points on Queens Parade as both are significant heritage streetscapes.
53. Officers support this recommended change to the Council preferred version of DDO16. Both requirements should be reintroduced to provide clarity around access.

Building separation/side and rear setbacks

54. The *exhibited version* of DDO16 included various side and rear setbacks requirements.
55. In response to submissions, the Council *preferred version* of DDO16 proposed changes to side and rear setback requirements to improve internal amenity in the buildings and to provide blue sky between the buildings.

Precincts 2B, 2C, 5B and 5C

56. For Precincts 2B and 2C, a revised rear setback of 4.5 metre from the centre point of the laneway was included. Additionally, in Precincts 2B, 2C, 5B and 5C, a setback requirement was included which applies to upper levels and requires a building separation of:
 - a) 4.5 metres from the centre point of the laneway for habitable room windows; or
 - b) 3 metres from the centre point of the laneway for non-habitable windows.
57. Both of these proposed changes to setbacks were supported by the Panel.

Precincts 3 and 4

58. For side/rear setbacks in Precincts 3 and 4, a modified version of the ResCode B17 standard that accommodated a 4 metre commercial height ground level was proposed. (Refer Figure 1 below.) In circumstances where there is no laneway, it provides a 3 metre ground level setback (similar to the separation provided by a laneway). (Refer Figure 2 below). Where there is a laneway, a setback similar to the B17 standard in ResCode applies. These were also supported by Panel.

Figure 1: Setback where there is a laneway to the side/rear

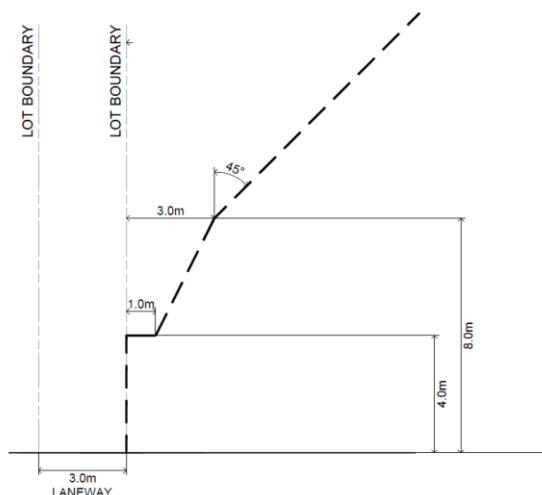
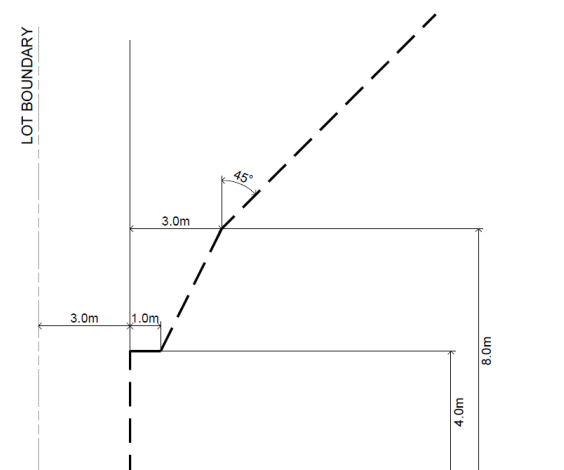


Figure 2: Setback where there is no laneway to the side/rear



Overshadowing of residential properties

59. Council's *preferred version of DDO16* included the addition of overshadowing controls in Precincts 3 and 4 to protect adjoining residential properties from additional overshadowing at the September equinox.
60. The Panel supported this addition but recommended that it be relocated to the *General Requirements* section of DDO16. Officers support this recommendation but propose that a new heading, *Interface to NRZ or GRZ requirements* is added to aid navigation of the numerous requirements.

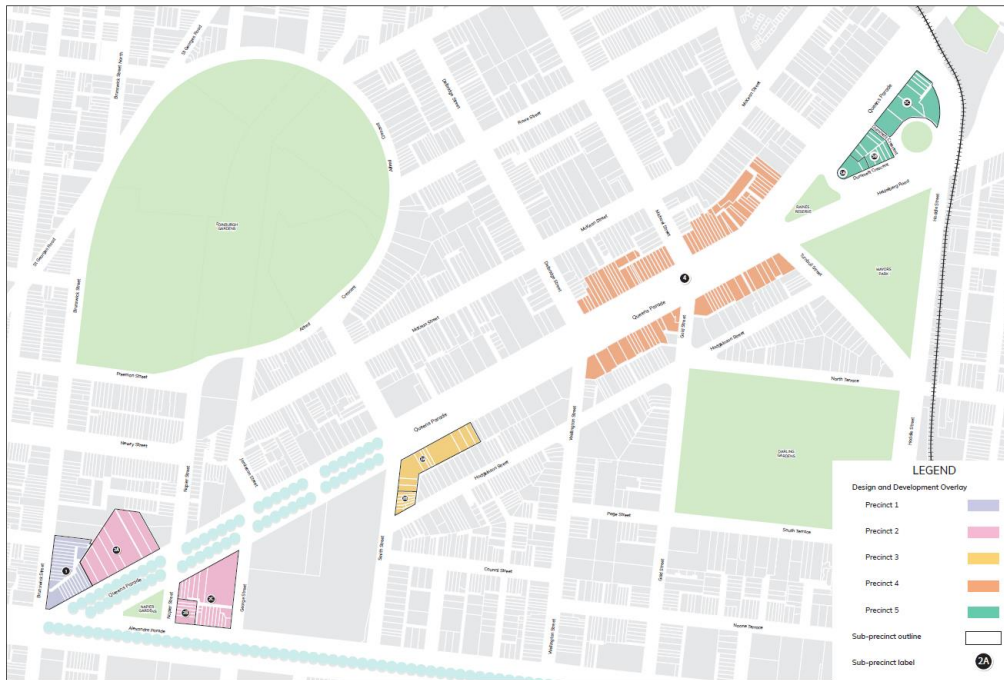
Building heights, street wall heights and upper level setbacks

61. The Panel generally supported the changes to the heights, street wall heights and upper level setbacks proposed by Council in the Council *preferred version* of DDO16, except in Precincts 4 and 5C.

Precinct specific Panel recommendations

62. The following outlines the commentary and changes made by the Panel across the five precincts shown on Map 2 in relation to built form controls.

Map 2: The five precincts of Amendment C231



Precinct 1

63. The Panel considered Precinct 1 'owes a significant part of its character to the distinction between the building on the corner at 460 Brunswick Street and the surrounding buildings on either side' created by the street wall height and street setback.
64. The Panel supported the revised street setbacks and upper level setbacks proposed by Council in the *preferred version of the DDO* to ensure 460 Brunswick Street retains its prominence. No changes to overall heights were proposed.

Precinct 2

65. The Panel agreed Precinct 2 has the capacity to accommodate higher forms of residential development than other, more sensitive precincts.
66. The Panel considered that the size of Precinct 2A coupled with controls for amenity, heritage and character, justifies the mandatory maximum height of 31 metres. Further, the retention of the heritage façade establishes an appropriate street wall height.
67. The Panel considered it appropriate that development in Precinct 2C (bound by Queens Parade, George Street and Alexandra Parade) should provide a transition between the Gasworks site and the lower scale heritage buildings in Precinct 2B (Elizabeth Terraces on Napier Street). It supported the preferred heights in Precincts 2B and 2C.
68. In the *preferred DDO*, Council also proposed changes to the Napier Street street-wall to ensure that the two storey Elizabeth Terraces remained a prominent heritage feature. The Panel noted the terraces make an important contribution to the experience of Napier Gardens and it supports the controls on building heights and street wall heights to minimise overshadowing of Napier Gardens.

Precinct 3

69. The Panel supported the protection of view lines to the St John's Church and supported Council's clarification of the viewpoint presented at the end of the Panel hearing. NB. (The interim controls, exhibited controls and background work had included different viewpoints.)
70. The Panel supported the splitting of Precinct 3 into two sub-precincts – Precincts 3A and 3B.
71. Additionally, it supported mandatory heights in Precinct 3 to protect the amenity of the immediately adjacent properties. It also considered the varied built form in Precinct 3A justifies the greater heights in Precinct 3A than in Precincts 3B and 4.

72. The Panel considered that the combination of mandatory and preferred street wall heights and upper level setbacks were appropriately nuanced to address local circumstances and would allow change to occur. The 6 metre upper level setbacks would achieve an appropriate level of separation between the heritage streetscape and new development above and behind it.
73. To emphasise the corner of Smith Street and Queens Parade, the Panel recommended a taller element be added to the street wall at that corner. The Panel recommended the street wall height be increased from 14 metres to 17 metres for a length of 6 metres from the corner on both Smith Street and Queens Parade.
74. This recommendation was not the subject of discussion at the hearing and had not been proposed by any of the parties.
75. Officers support this recommendation, however, as it reinforces this historic corner and would not impact on the heritage streetscapes along Queens Parade or Smith Street or the amenity of the residential properties to the rear on Hodgkinson Street.

Precinct 4

76. Building heights in Precinct 4 were the subject of significant expert evidence, cross-examination and discussion at the Panel Hearing.
77. Many community submitters expressed concern about the six storey height proposed in the *exhibited version* of DDO16. They submitted it would have a negative impact on the valued heritage character of Queens Parade and on the amenity of adjoining residential properties.
78. In response to the submissions and as a result of further built form testing, Council submitted to the Panel that building heights in Precinct 4 should be reduced from 21.5 metres (six storeys) *mandatory* (as exhibited) to 14 metres (four storeys) *mandatory*.
79. The community submitters on the other hand, argued at the Panel hearing in favour of three storeys on the basis that it would provide a better heritage protection to highly valued commercial heritage buildings.

Panel recommendations on building heights

80. The Panel recommended a height of 10.5 metres (three storeys) in the majority of Precinct 4 with the fourth quadrant bounded by Queens Parade, Gold Street and Turnbull Street to remain at 14 metres (four storeys) (see Map 3).
81. The Panel explained that it considered:
 - (a) the contribution made to the character of the area by the consistent and fine grained detail and heritage features in this area warrant a mandatory height limit of 10.5 metres (three storeys); and
 - (b) the quadrant between Gold and Turnbull Streets has larger lots, two street corners and less consistent heritage qualities, noting that blank side walls may have less impact and there is capacity for more development.

Map 3: Panel's recommended heights in Precinct 4



Officer position

82. Officers support the Panel's recommendations of three storeys in three of the four quadrants in Precinct 4 and four storeys in the Fourth Quadrant (see Map 4).
83. However officers recommend the three storey height of 10.5 metres be amended to 11 metres to ensure heritage floor plates can be carried through into the new development. Refer to section headed *10.5 metres versus 11 metres* for further discussion.

Map 4: Officer's recommended heights in Precinct 4



84. The Panel highlighted that in its opinion, it considers *the generally high and sensitive character and heritage values of this Precinct warrant protecting heritage over the facilitation of development*. (Page 72.)
85. The issue of capacity and development was also extensively debated at the hearing. The Panel supported the strategic evidence put by Council that Queens Parade and the wider municipality has sufficient capacity to support future housing needs.
86. The Panel's view, therefore, was that Precinct 4 does not need to accommodate development. This enabled them to take a different position to Council and focus more so on heritage rather than development potential. Officers had taken a view that achieving a balance between heritage and development was the desired outcome.
87. In addition, the Panel gave significant weight to the intactness and consistency of the centre and its heritage streetscape. Additionally they were concerned about visibility of new additions. Council too was concerned about visibility; this was one of the reasons Council reduced its position on heights from 6 to 4 storeys.
88. The Panel also drew on the centre's function as well as its built form, noting *it contains a highly intact, turn of the century commercial precinct containing heritage fabric that is highly valued by the local community*. (Page 64.)
89. Officers support the Panel's recommendations for a three storey height limit in three of four quadrants in Precinct 4 on the basis that Queens Parade is a special case where future growth can be restricted on the basis of a combination of circumstances.
90. The specific circumstances (agreed by both Council officers and the Panel) which warrant this approach are:
 - (a) Firstly, Queens Parade is unusually wide at 60 metres. Other high streets are more typically around 20 metres wide. This means that any new development in Queens Parade will be more visible than elsewhere.
 - (b) Secondly, higher levels of growth can be accommodated elsewhere within the centre or nearby.
 - (c) Queens Parade is a neighbourhood activity centre, not a major activity centre and as such, is not expected to accommodate the extent of growth a major activity centre would.

Queens Parade is unusual for a Neighbourhood Activity Centre in that it has several large sites which can accommodate considerable growth (ie the former Gasworks site and at 26 Queens Parade at the western end). It is the 'barbells' with taller heights at each end of the centre and lower heights in the centre.
 - (d) Another unique aspect of Queens Parade as an activity centre is that the heritage streetscape in Precinct 4 is highly intact and consistent and features a fine grain subdivision pattern and narrow allotments. In this regard:
 - i. The Panel found that *'this Precinct has significant heritage. The changes make Council's intent clearer and character qualities and a greater sensitivity to redevelopment'* (page 70 of the Panel Report); and
 - ii. Under cross examination, Council's heritage expert said that three storeys provides a better heritage outcome than four storeys in Precinct 4. Officers agree.

Quadrant Four – between Gold and Turnbull Streets

91. It is clear from the Panel's report that issues about the heritage character and qualities of Precinct 4 were thoroughly canvassed through evidence and were considered by the Panel in its support for "*prioritising the protection of heritage over facilitation of development*".
92. The Panel placed weight on Precinct 4 generally having "*significant heritage and character qualities and a greater sensitivity to redevelopment*" but noted that "*some areas are more*

sensitive than others". The Panel emphasised the importance of the highly valued character and the consistency in the streetscape, building rhythm, fine grained detail and heritage features in Precinct 4.

93. The Panel distinguished quadrant four (the block defined by Gold and Turner Streets on the south side of Queens Parade) from the rest of Precinct 4 on the basis that *"the heritage characteristics are less consistent, and the lots are wider than those elsewhere in the Precinct."* The Panel concluded that quadrant 4 was *"less sensitive and may have more development capacity"* and therefore supported the 14 metre (4 storey) maximum building height.
94. The physical characteristics of lot sizes, fine grain architectural features, and streetscape consistency in this quadrant do vary from the other parts of Precinct 4. The Panel has picked up on these difference to more finely tune the form of built form controls in response to these differences, rather than take a uniform approach across the whole of Precinct 4.
95. These heights are consistent with the evidence presented by Council to the Panel which indicated that a four storey maximum building height provides an appropriate design response having regard to the characteristics and context of this quadrant. Officers support the Panel's recommendation.
96. As Council submitted at the Panel hearing, the majority of development at four storeys would achieve the overshadowing requirement proposed in DDO16 for the Equinox (21 September). Equinox is the standard that applies in ResCode.
97. Additionally the DDO requires that where there is no laneway, buildings are set back three metres from their rear boundary. The rear interface requirements in the DDO also seek to address building bulk and overlooking. In other words, the DDO includes requirements that address residential interfaces to the rear.
98. Council advocated for a maximum height of four storeys for the whole of Precinct 4 at the Panel hearing and the Panel recommended four storeys for the fourth quadrant. As noted above, Council must provide reasons if it does not adopt any of the Panel's recommendations.

10.5 metres versus 11 metres

99. Officers are concerned a three storey height of 10.5 metres may not be sufficient to accommodate a third storey and *ensure* the continuation of the floor levels of the existing heritage building into the new building.
100. While floor to floor heights are not included in the DDO, the heights in the Commercial 1 Zoned areas were based on floor to floor heights of 4 metres for commercial floors and 3 metres for residential floors.
101. Officers recommend that the height in three of the four quadrants be increased from 10.5 metres to 11 metres for the following reasons:
 - (a) Providing for a height of 11 metres would enable the continuation of the existing floor plates into the new building which provides a better heritage outcome. It also avoids new floors across existing openings such as windows.
 - (b) 11 metres cannot accommodate an extra storey.
 - (c) 11 metres enables the provision of commercial uses at both the ground and first floor, given the land is in a Commercial 1 Zone. (Noting the existing heritage buildings often have floor to ceiling heights that accommodate commercial uses at first floor.)
 - (d) A third storey would need to be 3 metres tall to accommodate reasonable residential ceiling heights that provide a good level of amenity for residents of new apartments.

Precinct 5

Precinct 5A

102. The Panel said it *agrees with the evidence of Mr Gard'ner that built form controls as applied under the preferred DDO16 for the land adjoining both the former UK Hotel and the Clifton Motors Garage ensures the prominence of these local landmarks is retained in this Precinct and QPAC more generally.* (Page 83)
103. The Panel therefore supported the reduction in height from 18 metres preferred in the exhibited DDO to 11 metres mandatory in the preferred DDO.
104. It also supported the relocation of land at 2 Dummett Crescent from Precinct 5B to 5A because it is in the same ownership as the former UK Hotel and is used as the drive through for the fast food restaurant that occupies the site.

Precinct 5B

105. The *exhibited version of DDO16* included a 1:1 ratio of heritage street wall to new built form to determine the height of the development behind the former Clifton Motor Garage. It was a difficult control to understand and was inconsistent with the remaining controls which were all specified in metres.
106. The Council's *preferred version of the DDO* replaced this with a mandatory maximum street wall height, mandatory minimum upper level setback and mandatory 18 metre height on Queens Parade and a preferred 28 metre height on Dummett Crescent in a format consistent with other controls. This was supported by the Panel. The Panel considered that the building height transition and new built form behind Clifton Motors is an important consideration in this precinct.

Precinct 5C

107. The *exhibited version of DDO16* included a maximum building height of 49 metres (preferred) for Precinct 5C. Council's *preferred version of DDO16* reduced the height to 43 metres (preferred).
108. The Panel recommended the height be increased back to 49 metres (preferred) as the Precinct is less constrained by heritage and sensitive interfaces. Additionally, the Panel did not agree with submitters that the site at the far north-eastern end should be designated a 'landmark site' but was satisfied that the design requirements and preferred character statements would ensure a high quality outcome. Officers agree that the site at the far north-eastern end is not a landmark site.
109. Officers do not agree, however, that a height of 49 metres is appropriate in Precinct 5C. The Panel emphasised a step up in transition from Precincts 5A and 5B and officers consider that a height of 43 metres represents a suitable step up in height.

Changes to zoning

245 Gold Street

110. The owner of 245 Gold Street made a submission to the Amendment that sought to have the land rezoned from the Commercial 1 to a Neighbourhood Residential Zone.
111. This was suggested by GJM in its *Built Form Heritage Analysis and Recommendations* (December 2019) but was not exhibited as part of Amendment C231.
112. In response to this and other submissions, Council at its ordinary meeting of 28 May 2019 supported the rezoning of the site and recommended this change to the Panel.
113. However the Panel considered that since this rezoning was not part of the Amendment and had not been exhibited, it could not consider the rezoning. Accordingly, officers accept that Council cannot progress the rezoning as part of Amendment C231.
114. In Council's submissions to the Panel, an assurance was given that Council would pursue the rezoning as part of a future amendment. Officers anticipate including the rezoning in an

amendment making other changes to the residential zones. Officers will write to the landowner to advise them of this and will keep them up to date with the proposed timing.

115. The property at 245 Gold Street was included in the Precinct 4 map to Schedule 16 to the DDO. The map has been amended to align the planning scheme maps with the DDO maps.

Rezoning land from Commercial 2 to Commercial 1 and application of the Environmental Audit Overlay

116. Amendment C231 proposes to rezone land at 660-668 Smith Street and 1-41 Queens Parade from Commercial 2 to Commercial 1 Zone and apply the Environmental Audit Overlay to manage past contamination prior to the use of the land for a sensitive use such as residential. The Panel supported this proposal.

Changes to Heritage Overlays and Heritage Gradings

117. The Amendment proposed the following in relation to Heritage Overlays and heritage gradings:

Table 3: Changes to Heritage Overlays and heritage gradings

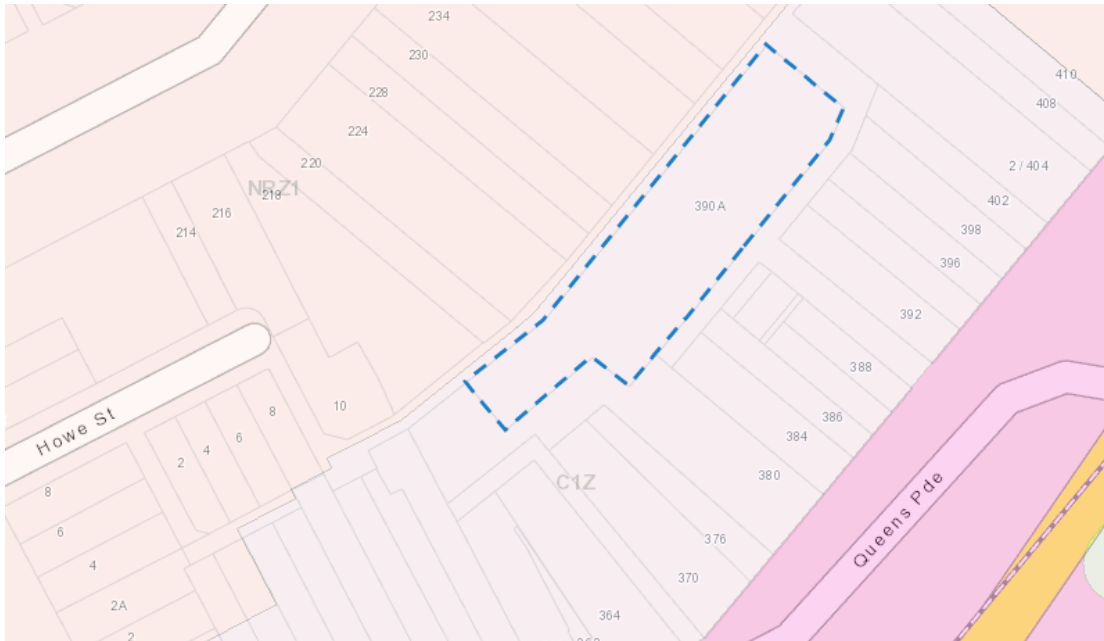
Grading change or change to Heritage Overlay	Address of property
From 'contributory' to 'individually significant'	<ul style="list-style-type: none"> 662 Smith Street (former Fire Station)
From 'contributory' to 'not contributory'	<ul style="list-style-type: none"> 7-11 Queens Parade 137 Queens Parade 402 Queens Parade
From 'ungraded' to 'contributory'	<ul style="list-style-type: none"> Rear of 312 Queens Parade 350 Queens Parade 380 Queens Parade 390A Queens Parade (two storey building in north-east corner)
From 'ungraded' to not 'contributory'	<ul style="list-style-type: none"> Rear of 304 Queens Parade Rear of 316 Queens Parade 390A Queens Parade (all other buildings except two storey building in NE corner) 88 Queens Parade 32, 33 and 34 Jamieson Street
Changes to the Heritage Overlay	<p><u>Move from Precinct HO to individual overlay</u></p> <ul style="list-style-type: none"> St John the Baptist Church complex Former Clifton Motors Garage <p>(These are discussed in more detail below)</p> <p><u>Apply site specific overlay</u></p> <ul style="list-style-type: none"> 472-484 Napier Street <p><u>Correct extent of overlay</u></p> <ul style="list-style-type: none"> 26 Queens Parade Raines Reserve

118. The Panel accepted the changes to heritage gradings and the Heritage Overlay but recommended Council undertake further assessment of the other buildings at 390A Queens Parade (refer below).

Heritage assessment - 390A Queens Parade

119. 390A Queens Parade is an “island” site located between the rear of the shops on the north side of Queens Parade and the rear of the houses in McKean Street. Refer to Map 5 below.

Map 5: Location of 390A Queens Parade



120. There is currently a planning permit application being considered for the land. The planning permit seeks to demolish all existing buildings on the site and construct 15 four storey townhouses. The permit applicant has appealed Council’s ‘failure to determine the application’ within the statutory timeframe to the Victorian Civil and Administrative Appeals Tribunal (VCAT).
121. Officers from Council’s statutory planning branch advised the VCAT that Council would have issued a refusal based on issues such as loss of heritage fabric, building bulk, impacts on the ability of neighbouring commercial properties to develop, internal amenity and street address.
122. The matter is listed for a full planning merits hearing scheduled for 24 March 2020.
123. There are five buildings located on this site. All five buildings are currently included in a Heritage Overlay (HO327 North Fitzroy), but do not have a heritage grading.
124. In the *Heritage Built Form Heritage Analysis and Recommendations*, GJM Heritage recommended that the buildings be included in HO330 (Queens Parade), instead of the North Fitzroy Precinct (HO327), as they historically serviced properties fronting Queens Parade and form part of the commercial area. The Panel supported this recommendation.
125. GJM also recommended that the substation in the north-east corner of the site be graded *contributory* and the remainder of the buildings on the site be graded *not contributory*.
126. During exhibition of the Amendment, submissions were received that questioned the *not contributory* grading of the remaining buildings. They considered the rest of the bakery building was significant and should be protected. They argued while some original openings have been closed, the original form and fenestration pattern remain. They said that the single storey building to the immediate south-east of the substation formed part of Wilmott’s bakery and should be retained.
127. No submissions to the exhibited amendment were received from the owners of this site in relation to the grading.
128. In response to the submissions that were received, GJM Heritage was asked to review the relevant submissions and gradings. GJM confirmed its original advice.
129. At the Panel hearing, submitters presented additional information about the site’s history and its past use as Wilmott’s bakery.

Panel recommendations in relation to 390A Queens Parade

130. The Panel concluded as follows:

- (a) it supported the 'contributory' grading of the north-east corner building at 390A Queens Parade and 'not contributory' to other buildings on the subject land within HO330, as exhibited, is appropriate and consistent with PPN01' (*Planning Practice Note 1 – Applying Heritage Overlays*);
- (b) it considered Council should 'undertake further heritage assessment of the existing built form and associated structures located at 390A Queens Parade to establish whether other buildings and associated structures on this property would support or warrant a 'contributory' grading'; and
- (c) the Panel (at page 100) observed there is remnant heritage fabric in all the buildings on the site, but accepts the buildings have been considerably altered over time. The Panel advised it 'therefore was unable to establish with enough certainty, that the level of physical fabric of the other buildings on this property would warrant these buildings to be graded as 'contributory' as sought by some community submitters'.

Response to Panel recommendations in relation to the heritage grading of 390A Queens Parade

- 131. Officers recommend that Council should progress the grading changes as proposed in the exhibited Amendment (i.e. the building in the north-east corner of the site be graded *contributory* and the remainder of the buildings on the site be graded *not contributory*). NB: This was supported by the Panel.
- 132. Officers subsequently engaged David Helms Heritage to undertake the further assessment of the other buildings (excepting the building in the north-east corner of the site).
- 133. David Helms found that:
 - (a) the remainder of the former Wilmott bakery building should also be graded *contributory* (see map 6 below and the report from David Helms, included as Attachment 2); and
 - (b) the proposed Statement of Significance should be updated to reference the buildings at the rear of the shops.

Map 6: Heritage grading of 390A Queens Parade proposed by David Helms



Red = Contributory grading proposed by C231 (Proposed by GJM and supported by David Helms)
 Green = Extension of Contributory grading proposed by David Helms
 Yellow = Not Contributory grading proposed by David Helms

134. The application of a *contributory* grading to the remainder of the Wilmott's bakery building and further changes to the Statement of Significance were not initially included as part of Amendment C231 and were not exhibited. Therefore, it is not proposed to include them in this Amendment at this late stage.
135. While the recommendations of David Helms are noted, there are varying and contradictory views offered by at least three well-credentialed heritage experts - David Helms, GJM and Lovell Chen (who prepared a Heritage Impact Statement for the permit applicant). There is also well-researched material presented by submitters to consider.
136. Accordingly, further work is required but the matter cannot be progressed as part of this Amendment. It cannot be progressed because it was never part of this Amendment, it was not exhibited and the owner has not been given a reasonable opportunity to test the propositions in the context of a panel hearing noting that the recommendation came out of the C231 Panel. Therefore, officers are of the view that the issue would need to be pursued as part of a future planning scheme amendment. This would enable the proposal to be fully and properly considered through a public process.

Individual HO for former Clifton Motors

137. Since exhibition of Amendment C231, the Minister for Planning has approved Amendment C267 to the Yarra Planning Scheme which was prepared by Heritage Victoria (to reflect the place's inclusion on the Victorian Heritage Register – VHR). Amendment C267 removed the Former Clifton Motor Garage from HO330 and included it in its own Heritage Overlay HO480.
138. Amendment C231 had proposed to include the Former Clifton Motors in its own Heritage Overlay but that is no longer required and accordingly will not now form part of the Amendment. (The version of Appendix 8 accompanying this Amendment already includes HO480 created by Amendment C267. This matter was highlighted by Council officers at the Panel hearing.)
139. The other issue arising in relation to the Former Clifton Motor Garage is that Heritage Victoria only included the land at 205-211 Queens Parade in HO480. The land at 10-12 Dummett Crescent, 201-203 and 213-215 Queens Parade is in the same ownership but was not included in HO480 (see Map 7).
140. The exhibited Amendment (C231) proposed to remove 10-12 Dummett Crescent from HO330 and give it its own Heritage Overlay. However, this change will not be progressed as it is no longer necessary. The site will remain in HO330 along with the land at 201-203 and 213-215 Queens Parade. Council identified this in its submission to Panel and is noted in the Panel Report. The Heritage Overlay map has been amended to reflect this change.

Map 7: Heritage Overlays - Clifton Motors



Yarra High Streets - Statement of Significance

141. As part of Amendment C231, an updated Statement of Significance was prepared for HO330 – Queens Parade.
142. Many submitters were concerned that text identifying the '*picturesque shop-row skyline, visible from across Queens Parade*' was absent from the exhibited version. The Panel considered these words are not required and may create unnecessary duplication between the Statement of Significance and Clause 22.02 provisions.
143. As highlighted in Council's submission to the Panel, *Yarra High Streets: Statements of Significance*, (a Reference Document) will be introduced by this Amendment. The version for adoption has been edited to remove references to Richmond. (The Richmond references were included because it was assumed that as Swan Street [Amendment C191] had been sent for authorisation prior to Queens Parade, Swan Street would proceed ahead of this Amendment [C231]. The Queens Parade Amendment proceeded ahead of Swan Street.) With each Amendment, additional Statements of Significance will be added to the reference document. Additionally, the Statements of Significance have been reformatted to comply with *Planning Practice Note 1 – Applying the Heritage Overlay*.
144. Currently all of Yarra's Statements of Significance are Reference Documents in the Planning Scheme. Amendment VC148 was approved on 31 July 2018 and introduced changes to the Heritage Overlay that require any new Statements of Significance to be included as Incorporated Documents. This Amendment [C231] was authorised on 30 July 2018 – before VC148. Accordingly, the VC148 changes were not exhibited as part of this Amendment. The *Yarra High Streets Statement of Significance* will now be included as an Incorporated Document to make it compliant with the current Planning Scheme Provisions.

Other administrative matters

145. The third recommendation from the Panel was to correct the spelling of Raines Reserve (from 'Rains' to 'Raines') and correct the street numbering for the St John's Church complex in Appendix 8:
 - (a) officers have checked the spelling of Raines Reserve in the amendment documents and corrected the spelling of it in Appendix 8 (Refer Attachment 5 – Amendment documentation). The *Panel version of DDO16* includes the correct spelling of Raines Reserve; and
 - (b) street numbering for St John the Baptist Church was correct in Appendix 8; 61-87 Queens Parade. The Explanatory Report listed the number incorrectly. It was listed as 57-87 Queens Parade. This has been corrected.
146. It is proposed to change the description of the land at 137 Queens Parade in Appendix 8. When exhibited, Appendix 8 showed land at 137 Queens Parade as vacant. Since that time, apartments have been constructed on the land. Appendix 8 will be updated to reflect that change.
147. The maps for the DDO (Schedule 16) and the DDO planning scheme map show the Aquila apartments at 500 Brunswick Street included in the DDO. This property was included in the maps in error. The land is occupied by a relatively recent apartment development and is unlikely to be redeveloped in the foreseeable future. The DDO is not required over this property. The maps have been amended to remove this property.

Amendment C231 – Version for adoption

148. A marked up version of the DDO showing the changes between the exhibition and the version for adoption has been included at Attachment 4.
149. In addition, Attachment 3 compares the exhibited amendment with the version of the amendment for adoption and sets out the reasons for each change. This is a further piece of prescribed information required under Section 31 of the Act.

External Consultation

150. Officers wrote to all 414 submitters as well as land owners and occupiers in Precinct 4 and Precinct 5 to advise them of the two stage meeting process for consideration of Amendment C231.
151. Any person who wished to speak to the issue at the Council meeting in accordance with normal meeting procedure rules had the opportunity to do so at the 25 February 2020 Special Council Meeting. 31 speakers addressed Council at that meeting.
152. This Amendment has been the subject of substantial external consultation with residents, traders, land owners and occupiers, including exhibition of the Amendment, formal Council meetings, informal officer meetings with residents, landowners and community groups and the independent planning panel hearing.

Internal Consultation (One Yarra)

153. There has been consultation with officers from statutory planning and with the Senior Advisor, City Heritage.

Financial Implications

154. The financial costs of planning scheme amendments have been included in the budget of Council's City Strategy Branch in 2019/2020.

Economic Implications

155. The Amendment may provide further stimulus to the retail precinct. No other economic implications are apparent.

Sustainability Implications

156. There are no known sustainability implications relating to the Amendment. Specific ESD aspects of planning applications would be considered at the planning permit stage.

Social Implications

157. There are no significant social implications. Approved planning provisions would provide certainty in relation to future development in the centre.

Human Rights Implications

158. There are no known human rights implications.

Communications with CALD Communities Implications

159. Public exhibition of the Amendment contained information for CALD communities including how to access translator services.

Council Plan, Strategy and Policy Implications

160. The Amendment supports the following strategy in the Council Plan:
 - (a) *Manage change in Yarra's built form and activity centres through community engagement, land use planning and appropriate structure planning processes.*

Legal Implications

161. The approach outlined in this report, including splitting the Amendment (outlined earlier) accords with the requirements of the *Planning and Environment Act 1987*.

Other Issues

162. It is important that Council meets all the requirements of the *Planning and Environment Act 1987* to ensure natural justice to all parties and to maintain the integrity of the Amendment process.

Options

163. Sections 27, 28 and 29 of the *Planning and Environment Act 1987* require that the Planning Authority (Council)
 - (a) must consider the Panel's report; and can then either

- (b) abandon all or part of the amendment; or
- (c) adopt all or part of the amendment with or without changes.

164. Any changes to the *exhibited Amendment* must be justified in writing to the Minister for Planning.

Conclusion

- 165. Council has received the report of the Independent Planning Panel in relation to Amendment C231. The Panel is generally supportive of the Amendment but recommends some changes.
- 166. Building heights in Precinct 4 are the most contentious issue. The Panel recommended mandatory heights of 10.5 metres (three storeys) in three of the four quadrants and 14 metres (four storeys) in Quadrant Four.
- 167. At a Special Council Meeting on 25 February 2020, 31 people addressed Council on the Panel Report and the officer report in accordance with normal meeting procedure rules.
- 168. A large number of speakers at the Special Council Meeting on 25 February 2020 urged the Council to consider dropping the height of the fourth quadrant to 10.5 metres on the basis that its characteristics were no different from those in the remaining three quadrants.
- 169. Officers recommend that the height of Quadrant Four remains at the four storeys as recommended by Panel as the lot sizes, fine grain architectural features, and streetscape consistency in this quadrant do vary from the other parts of Precinct 4. In addition, the DDO includes requirements that address residential interfaces to the rear in terms of building bulk and overshadowing.
- 170. Officers support the Panel's recommendation for three storeys in the remaining three quadrants but recommend a maximum building height of 11 metres rather than 10.5 metres because officers consider this to be a more workable building height for three storeys.
- 171. Council must now decide whether or not to adopt the Amendment, with or without changes.
- 172. Alternatively under the *Planning and Environment Act 1987*, Council could chose to abandon the Amendment or parts of the Amendment.

RECOMMENDATION

- 1. That Council notes the officer report regarding Amendment C231 including the Panel Report and officer recommendations.
- 2. That Council resolve to determine to split Amendment C231 into two parts as shown in Map 1 of this report being:
 - (a) Part 1 – All land subject to Amendment C231 with the exception of 390A Queens Parade; and
 - (b) Part 2 – land relating to 390A Queens Parade.
- 3. That Council notes the rezoning of 245 Gold Street will be pursued through a separate planning scheme Amendment and advises the owner in writing.
- 4. That Council Adopts Amendment C231 (Parts 1 and 2) to the Yarra Planning Scheme in accordance with Section 29(1) of the *Planning and Environment Act 1987* with the changes set out in Attachment 3 and Attachment 4 to this report.
- 5. That Council submits the adopted Amendment C231 (Parts 1 and 2) to the Minister for Planning for approval, in accordance with Section 31(1) of the *Planning and Environment Act 1987*.
- 6. That Council submits the information prescribed under Section 31 of the *Planning and Environment Act 1987* with the adopted amendment, including:

- (a) the reasons why any recommendations of the Panel were not adopted as outlined in Attachment 1 of this report; and
 - (b) a description of and reasons for the changes made to Amendment C231 between exhibition and adoption as outlined in Attachment 3 of this report.
7. That Council delegates to the CEO the authority to finalise Amendment C231 (Parts 1 and 2), in accordance with Council's resolution, and to make any administrative changes required to correct errors, grammatical changes and map changes.
8. That all submitters of Council's decision are advised of the Council determinations in relation to Amendment C231.

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Attachments

- 1** [↓](#) Panel Recommendations and officer response
- 2** [↓](#) 390A Queens Parade Heritage Review in response to Panel Report prepared by David Helms
- 3** [↓](#) Table - Changes to the Amendment from exhibition to adoption
- 4** [↓](#) Track change DDO from exhibition to adoption
- 5** [↓](#) Amendment documentation for adoption

Attachment 1 - Panel Recommendations and officer response

Attachment 1

Amendment C231 to the Yarra Planning Scheme

DDO16 – changes recommended by the Panel to Council's preferred version of the DDO and the officer response

This table is based on the *final preferred version* of the DDO that was requested by the Panel (as part of Council's Part C submissions to Panel). Council officers provided it to the Panel on 4 September 2019. It is the version the Panel used to base its recommendations.

The *final preferred version* made minor changes to the preferred version of the DDO endorsed by Council on 28 May 2019 in response to comments received during the drafting session on the final day of the hearing.

DDO element		Change recommended by the Panel	Officer response to Panel recommendation and reasons for response
1.0	Design objectives	<p>The Panel considered the five Design objectives at Clause 1.0 are appropriate for Queens Parade, subject to some minor modifications.</p> <p>The reference to <i>limiting new development</i> has been removed from the second objective and the <i>promotion of design excellence</i> has been added to the fourth objective.</p>	<p>Accepted.</p> <p>The changes would frame the objectives more positively.</p> <p>The addition of 'design excellence' is strongly supported.</p> <p>The removal of by limiting new development does not significantly change the intent of the objective.</p> <p>Design objectives 2 and 4 would read:</p> <ul style="list-style-type: none"> ▪ <i>To protect the integrity of historical streetscapes and clusters of heritage buildings of a similar scale and materiality by limiting new development.</i> ▪ <i>To <u>promote design excellence</u> that ensures new development respects the wide, open boulevard character of Queens Parade and including where existing historic trees are key elements in the streetscape, they remain the dominant visual feature.</i>
2.0	Buildings and works	The permit trigger to construct a building or carry out works has been removed.	<p>Accepted.</p> <p>It repeats the requirement in Clause 43.02 and is not needed. The permit trigger would be deleted.</p>
2.1	Definitions	The definition of <i>setback</i> has been removed.	<p>Accepted.</p> <p><i>Setback</i> is already defined in Clause 73.01 of the Planning Scheme and is unnecessary. The definition would be deleted.</p>
2.2	General requirements	The requirement from Precinct 3 which seeks to provide ' <i>appropriate transition to low adjoining low scale residential development</i> ' and the ' <i>sunlight to open space</i> ' requirements from	<p>Accepted.</p> <p>The requirements which require an '<i>appropriate transition to low adjoining low scale residential development</i>' and the protection of '<i>sunlight to open space</i>' were supported by the Panel to address the interface with neighbouring residential properties. However the</p>

Attachment 1 - Panel Recommendations and officer response

Attachment 1

DDO element	Change recommended by the Panel	Officer response to Panel recommendation and reasons for response
	Precincts 3 and 4 have been moved to this section.	<p>Panel recommended relocating the clauses to General Requirements to help to reduce repetition within the DDO.</p> <p>Officers support this recommendation, however instead of including these clauses under the General Requirements (Clause 2.2), officers propose to create a sub-clause number for the requirements to aid in readability ie <i>2.9 Interface to residential properties in NRZ or GRZ</i>.</p> <p>The reference to Hodgkinson Street has been deleted in the requirement on scale (as recommended by the Panel). This requirement would apply to all precincts with an interface to the Neighbourhood Residential Zone (NRZ) or General Residential Zone (GRZ).</p> <p>The requirement protecting <i>sunlight to the open space</i> has been amended to include a reference to Precincts 3 and 4. This reflects Council's position in the <i>preferred version of the DDO</i> presented to Panel. Precinct 1 and 2 have not been included as the precincts either interface with other zones eg Mixed Use Zone (MUZ) or the interfaces with the NRZ and GRZ are to the north and the adjoining properties would not be overshadowed.</p> <p>The requirements would read:</p> <p><u>2.9 Interface to residential properties in NRZ or GRZ</u></p> <ul style="list-style-type: none"> ▪ <i>Development should respond to the low scale form of existing development outside Precinct 3 on Hodgkinson Street through an appropriate transition in building height and setbacks to ensure a reasonable standards of amenity.</i> ▪ <i>ensure that In Precincts 3 and 4, where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9 am and 3 pm on 22 September.</i> <p><i>If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced.</i></p>
2.3	Street wall height requirements	<p>Added the word 'taller' into the street wall requirement which requires a transition from an abutting heritage building to new built form.</p> <p>Not accepted.</p> <p>The addition of the word 'taller' is not supported.</p>

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DDO element		Change recommended by the Panel	Officer response to Panel recommendation and reasons for response
			<p>The purpose of this requirement in the <i>preferred version of the DDO</i> was to deal with situations where the abutting heritage building was lower than the street wall required in the Design Requirements and was seeking a step up or down from the new wall to the abutting heritage wall. The insertion of the word 'taller' would mean this transition, ie a step up from the lower street wall of heritage building to a taller street wall in an infill building would not apply.</p> <p>Council's <i>preferred version of the DDO</i>, provides an exception in Precinct 4 to deal with the situation where a minimum mandatory 8m street wall was required but there are abutting heritage buildings which are single storey and it not considered necessary to match them.</p>
2.4	Upper level requirements	A requirement to protect the contribution made by chimneys, parapets and other features has been included in this section.	<p>Accepted.</p> <p>The Panel's addition ensures heritage elements such as chimneys and the like are retained through upper level setbacks and is supported.</p> <p>Officers have made minor changes to the third and fourth sub-points to improve language and make the section more readable. The changes do not alter the intent of the requirements.</p> <p>Officers also propose to strengthen the requirement for the design of side walls. This is in response to the Panel's concerns about the impacts of blank side walls at upper levels when viewed from the public realm.</p> <p>The requirements would read:</p> <ul style="list-style-type: none"> ▪ Development Upper level development should: <ul style="list-style-type: none"> - provide Provide setbacks to ensure that upper level additions seen from the public realm do not diminish the appreciation of the heritage building and streetscape. - avoid Avoid repetitive stepped built form at upper levels. - ensure Ensure that upper level development is <u>Be</u> visually recessive. - use Use materials at upper levels that are recessive in finish and colour. - include Include articulated side walls, <u>visible from the public realm</u>, which <u>are designed to reduce the visual impact of the wall and read as part of the overall building design</u>. - avoid Avoid continuous built form at upper levels.

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DDO element	Change recommended by the Panel	Officer response to Panel recommendation and reasons for response
		<ul style="list-style-type: none"> - ensure <i>Ensure balconies at upper levels do not dominate the solid façades of heritage street walls.</i> - Minimise <i>Minimise the visual intrusion of equipment and services.</i> - <i>Protect the contribution made by chimneys, parapets and other architectural features to the fine grained character of the area.</i>
2.6	Ground floor requirements Minor wording changes to the second design requirement to frame the desired outcome positively. The Panel recommended including a new requirement to orientate commercial windows, habitable rooms and pedestrian entrances to the public realm.	Accepted. Edits to the second requirement make the language in the DDO more positive and outline what outcome is required rather than what isn't required. (This is in line with comments made by the Panel.) The new requirement addresses a gap in the DDO and will strengthen the interface of development with the public realm. The second and third design requirements would read: <ul style="list-style-type: none"> ▪ <i>Building services and service cabinets should be located away from the street frontage of heritage facades. Where unavoidable, they and should be designed and located so they do not dominate <u>complement</u> the street frontage or detract from <u>and the character and appearance of the heritage building.</u></i> ▪ <i><u>Windows of commercial premises, habitable rooms, and principal pedestrian entrances should be orientated towards the public realm and contribute to the safety of the adjoining public realm.</u></i>
2.7	Vehicle access, car parking and loading area requirements The Panel reinstated the (exhibited) requirement to provide future vehicle access via a rear lane or side street where possible. This would be in addition to the <i>preferred DDO</i> requirement that sought to <i>avoid vehicle crossings on Queens Parade</i> . The Panel added Brunswick and Napier Streets to the requirement which seeks to avoid new crossovers onto Queens Parade.	Accepted. A Design Requirement which required future vehicle access and services off a rear laneway or side street where possible was included in the <i>exhibited version of the DDO</i> but was replaced by the requirement which sought to avoid new vehicle crossovers <i>onto Queens Parade</i> in the <i>preferred version of the DDO</i> . At the Panel, Council's traffic expert recommended its inclusion to make the role of laneways and side streets clearer. The Panel considered this requirement requiring servicing off laneways and side streets should not have been removed and was helpful to give appropriate weight to outcome sought. The Panel did not provide explicit reasons for including Brunswick Street and Napier Street in Design Requirement 1. However the inclusion of Napier and Brunswick Streets is accepted. In Precinct 1 (Preferred Character Statements), the <i>preferred version of the DDO</i> encourages

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DDO element		Change recommended by the Panel	Officer response to Panel recommendation and reasons for response
			<p>access off laneways. A purpose of the original requirement was to ensure the historic shopping strip was not dominated by car access points. The inclusion of the intact streetscapes of Brunswick and Napier Streets is appropriate for the same reasons.</p> <p>The design requirements would read as follows:</p> <ul style="list-style-type: none"> ▪ <i>New vehicle crossovers onto Queens Parade, Brunswick Street and Napier Street should be avoided.</i> ▪ <i>Vehicle ingress and egress into development, including loading facilities and building servicing, should ensure a high quality standard of pedestrian amenity and limit potential conflict between vehicle movements and pedestrian activity.</i> ▪ <i>Development on a laneway should include a rear/side setback or a corner splay at ground floor, to facilitate the ongoing functionality of the laneway and allow for building services and car park access.</i> ▪ <i>Future vehicle access and services must be provided by a rear laneway or side street, where possible.</i> ▪ <i>Permanent obstructions within a rear/side setback or splay to a laneway should be avoided.</i>
2.8	Heritage design requirements	<p>Delete</p> <p>The Panel considered the Heritage Design Requirements were not required and repeated policy in Clause 22.02, the decision guidelines in the Heritage Overlay and the Preferred Character Statements in the <i>preferred version of the DDO</i>.</p>	<p>Not accepted.</p> <p>The requirements address a gap in the scheme provisions and should be included until such time Clause 22.02 is amended to more comprehensively address industrial, commercial and retail places.</p> <p>The Heritage Design Requirements would be retained.</p> <p>Clause 22.02 will be amended by Amendment C269 (Planning Scheme Local Policy rewrite). Officers propose that after Amendment C269 is gazetted, an administrative amendment would be undertaken and the Heritage Design Requirements in this (and other) DDO(s) would be removed.</p>
2.9.1**	Precinct 1 – Brunswick Street	<p><u>Preferred character statement:</u></p> <p>Minor wording changes to make the preferred character statements more succinct.</p>	<p>Accepted.</p> <p>The Panel's recommendations improve clarity and do not alter the intent of the Preferred Character Statement.</p> <p>The preferred character statement would read:</p>

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DDO element	Change recommended by the Panel	Officer response to Panel recommendation and reasons for response
		<p>Buildings and works should deliver the following preferred precinct character:</p> <ul style="list-style-type: none"> ▪ Properties fronting Brunswick Street and turning the corner to Queens Parade defined by fine grained low scaled heritage buildings, with Moderate moderate low rise future infill behind the main heritage frontage, supported accessed by rear laneways access. ▪ Visual prominence of the individually significant heritage building on the corner of Brunswick Street and Queens Parade retained.
	<p><u>Design requirements:</u></p> <p>Minor wording changes.</p> <p>Removed references to limiting amenity impacts and requiring vehicular access off the laneway. The Panel noted these issues are dealt with by the Design Objectives and General Requirements.</p>	<p>Accepted.</p> <p>The wording changes improve clarity and remove repetition.</p> <p>As amenity and access from laneways is addressed in the Design Objectives and General Requirements and is not required in the Preferred Character Statement.</p> <p>The design requirements would read:</p> <p><i>Development in Precinct 1 should:</i></p> <ul style="list-style-type: none"> ▪ Ensure ensure low rise additions behind the front sections of the terraced houses of Brunswick Street and Queens Parade respect the prevailing streetscape character and subdivision grain which retain and conserve the its heritage values of this low scale Victorian residential area. ▪ Ensure ensure upper level elevations are high quality, visually recessive and do not diminish enhance the appreciation of the heritage building at 460 Brunswick Street. ▪ limit amenity impacts of building bulk, overlooking and overshadowing on existing residential properties. ▪ provide for vehicular access and servicing off the laneway.
	<p><u>Table of requirements:</u></p> <p>No change</p>	Accepted.
	<p><u>Map</u></p> <p>No change</p>	Accepted.

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DDO element	Change recommended by the Panel	Officer response to Panel recommendation and reasons for response
2.9.2**	<p>Precinct 2 – Boulevard Precinct</p> <p><u>Preferred character statement:</u></p> <p>Wording changes to make the preferred character statement more succinct and improve clarity.</p> <p>Added a reference in Precincts 2B and 2C to ensure development addresses Napier Street, Queens Parade and Smith Street.</p>	<p>Accepted.</p> <p>The wording changes improve clarity and remove repetition.</p> <p>The addition of a reference to the Napier Street, Queens Parade and Smith Street frontages align with the addition of a new General Requirement in Clause 2.6 – Ground floor requirements which seeks to ensure development addresses the street.</p> <p>The preferred character statement would read:</p> <p><i>Buildings and works in Precinct 2 should deliver the following preferred precinct character:</i></p> <ul style="list-style-type: none"> ▪ A preferred location for housing and employment growth within the activity centre. Well designed mid-rise development that which complements the boulevard. Queens Parade through transition of scale to the Gas Works site. ▪ Matches the scale of development on the Gasworks site and “bookends” higher rise development in Precinct 5B and 5C. ▪ Visual Development that complements the visual dominance contribution of the double avenue of trees along the south western part of Queens Parade retained. ▪ Precinct 2A – A mid-rise infill behind a distinct moderne heritage frontage that; addressing addresses the boulevard Queens Parade and its sensitive heritage context and responds to the sensitivity of interface with abutting low scale close grained residential uses to the north and west and providing a transition down to the established surrounding residential neighbourhood. ▪ Precincts 2B and 2C – A vibrant vibrant and attractive mid-rise business areas that addresses Napier Street, Queens Parade and Smith Street with a mix of innovative new architecture and heritage buildings to attracting accommodate a wide range of commercial development and employment opportunities.
	<p><u>Design requirements:</u></p> <p><u>Precinct 2:</u></p> <p>Minor wording changes and removal of text.</p>	<p>Accepted.</p> <p>Changes to the design requirements clarify the requirements and remove repetition.</p>

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DDO element	Change recommended by the Panel	Officer response to Panel recommendation and reasons for response
	<p>Introduces a requirement to orientate active frontages and provide passive surveillance to surrounding streets.</p> <p>Relocates requirements for building separation along side and rear boundaries and minimising bulk from the general Precinct 2 requirements to Precinct 2A requirements.</p>	<p>The new requirement on active frontages aligns with a new requirement recommended by the Panel in Clause 2.6 Ground floor requirements which seeks to orient development toward the public realm and contribute to the safety of the adjoining public realm.</p> <p>The relocation of the building separation requirement from the general Precinct 2 requirements to Precinct 2A design requirements is supported. Precinct 2A is the only sub-precinct with a boundary to residential zones ie Mixed Use, Neighbourhood Residential and General Residential Zones. Precincts 2B and 2C are within the Commercial 2 Zone and while there are residential buildings on Napier Street and Alexandra Parade these are not within a residential zone.</p> <p>The design requirements would read:</p> <p><i>Development in Precinct 2 should:</i></p> <ul style="list-style-type: none"> ▪ not diminish or detract from Respect the heritage values of the Queens Parade boulevard streetscape, the heritage street wall and the heritage trees along Queens Parade, and deliver an appropriate interface to neighbouring properties and that minimises visual bulk and mass when viewed from the adjoining properties. ▪ <u>Orientate active frontages and provide passive surveillance to the surrounding streets.</u> ▪ <u>Ensure</u> ensure adequate solar access is provided to the Queens Parade and Napier Street Reserve at the equinox from 9am-3pm. ▪ provide building separation along side and rear boundaries to reduce visual bulk and protect amenity of occupants and neighbours.
	<p><u>Precinct 2A:</u></p> <p>Relocates the building separation requirement from General Requirements for Precinct 2 to Precinct 2A.</p> <p>Removes requirement to ensure projections above the street wall do not dominate the skyline when viewed from Edinburgh Gardens and other surrounding locations.</p>	<p>Accepted.</p> <p>The Panel noted the matter had been considered by VCAT (P2079/2016). The tribunal noted that a building less than 31 metres tall would not interfere with long range views to the Edinburgh Gardens. Officers note the 31 metre height limit is a mandatory height control and cannot be exceeded. The requirement is therefore redundant.</p> <p>See commentary above on relocation of building separation requirement.</p> <p>The design requirements would read:</p> <p>In addition, <u>Development in Precinct 2A should:</u></p>

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DDO element	Change recommended by the Panel	Officer response to Panel recommendation and reasons for response
		<ul style="list-style-type: none"> ▪ <u>Provide an interface to neighbouring residential properties that minimises visual bulk and mass and provides building separation along side and rear boundaries abutting existing properties.</u> ▪ ensure projections above the street wall are not dominant in the skyline when viewed from the north side of Newry Street and of Coleman Street and the WT Peterson Oval, the Fitzroy Grandstand and other locations in the southern part of Edinburgh Gardens. ▪ Maintain maintain the prominence and significance of the art deco facade. ▪ Retain retain, enhance and incorporate the existing heritage façade into the redevelopment of the site and to create a consistent parapet height along the streetscape. ▪ Recognise recognise the low scale, buildings and fine grain subdivision pattern of existing development to the north and west. ▪ Encourage pedestrian permeability within and through the precinct. ▪ Avoid avoid a repetitive stepped form within the 45 degree angle profile. ▪ Ensure ensure development above the street wall to be is designed as a series of separate development parts with building separation to enable views to the sky.
	<p><u>Precinct 2B and 2C:</u></p> <p>Minor wording changes and edits to text to clarify requirements.</p> <p>Removes requirements which seek to:</p> <ul style="list-style-type: none"> • Ensure a transition in scale the Gasworks Site to Napier Street • Maintain the prominence of heritage buildings in Napier Street and setting back upper level development • Providing vehicular access from lanes • Providing building separation between commercial buildings and to heritage buildings in Napier Street. 	<p>Accepted.</p> <p>Changes clarify requirements and remove repetition that repeats general and vehicular access requirements.</p> <p>Access and separation between buildings is addressed in the Design Objectives and General Requirements and also the specific sub-precinct Design Requirements.</p> <p>The transition in scale is addressed in the Preferred Character Statement and through the street wall and overall building heights.</p> <p>The prominence of heritage buildings on Napier Street is addressed in the Design Objectives and General Design Requirements.</p> <p>The changes also reinforce that development should provide an appropriate transition in scale from the heritage buildings in Precinct 2B, through the new built form in Precinct 2C and the higher development of the Gasworks site.</p> <p>The design requirements would read:</p>

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DDO element	Change recommended by the Panel	Officer response to Panel recommendation and reasons for response									
		<p><i>Development in Precincts 2B and 2C should:</i></p> <ul style="list-style-type: none"> ensure a gradual transition in development scale from east of George Street (Former Gasworks Site) to south west (heritage properties along Napier Street). maintain the prominence of heritage buildings along Napier Street when viewed from Napier Reserve. be appropriately set back at upper levels from the heritage buildings along Napier Street. Provide provide an appropriate transition in scale from the heritage buildings in Precinct 2B to new built form in Precinct 2C and the higher development form of the Gas Works site. provide vehicular access from laneways. provide building separation to enhance amenity between commercial buildings and reduce building bulk and provide a transition to existing heritage buildings by utilising existing laneways and building setbacks. Create create a new commercial frontage to George Street to form an active edge complementary to the proposed Gasworks redevelopment. 									
	<p><u>Table of requirements:</u></p> <p>Minor grammatical change but no change to requirements.</p>	<p>Accepted.</p> <p>Correction of minor errors.</p> <p>The following built form elements* in Table 2 would read:</p> <table border="1"> <thead> <tr> <th>Built form</th><th>Mandatory requirement</th><th>Preferred requirement</th></tr> </thead> <tbody> <tr> <td>Minimum setback(s) from rear boundaries - north and west adjacent to NRZ and GRZ</td><td>None specified</td><td>ResCode Standard B17 from rear boundary of adjoining properties to 10 metres Setback within 45 degree angle measured from 10 to 25 metres</td></tr> <tr> <td>Minimum setbacks from side boundary - east adjacent to NRZ</td><td>None specified</td><td>0 metre setback to match party wall of existing adjoining development to 10</td></tr> </tbody> </table>	Built form	Mandatory requirement	Preferred requirement	Minimum setback(s) from rear boundaries - north and west adjacent to NRZ and GRZ	None specified	ResCode Standard B17 from rear boundary of adjoining properties to 10 metres Setback within 45 degree angle measured from 10 to 25 metres	Minimum setbacks from side boundary - east adjacent to NRZ	None specified	0 metre setback to match party wall of existing adjoining development to 10
Built form	Mandatory requirement	Preferred requirement									
Minimum setback(s) from rear boundaries - north and west adjacent to NRZ and GRZ	None specified	ResCode Standard B17 from rear boundary of adjoining properties to 10 metres Setback within 45 degree angle measured from 10 to 25 metres									
Minimum setbacks from side boundary - east adjacent to NRZ	None specified	0 metre setback to match party wall of existing adjoining development to 10									

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DDO element		Change recommended by the Panel	Officer response to Panel recommendation and reasons for response			
						metres Setback within 45 degree angle measured from 10 to - 25 metres
				Setbacks from side and rear boundaries west and north-west adjacent to MUZ	None specified	0 metre setback to match party wall of existing adjoining development, or 10 metre where no party wall exists. Setback within 45 degree angle measured from 10 to - 25 metres
			*Noting no changes are proposed to the remainder of the table.			
		<u>Map</u> No change	Accepted.			
2.9.3**	Precinct 3 – St John's Precinct	<p><u>Preferred character statement:</u></p> <p>Minor wording changes.</p> <p>Added requirement to articulate higher profile development on the corner of Smith Street and Queens Parade.</p> <p>The corresponding street wall heights in Precinct 3 have been amended.</p>	<p>Accepted.</p> <p>Changes to text to better define preferred character.</p> <p>The proposed increase in height for the corner building will facilitate a taller element on the corner of Queens Parade and Smith Street in keeping with the amended preferred character statement and design requirements. It will not have an adverse impact on residential properties to the rear, the heritage streetscape in Smith Street or Queens Parade or views to St John's church.</p> <p>The preferred character statement would read:</p> <p><i>Buildings and works in Precinct 3 should deliver the following preferred precinct character:</i></p> <ul style="list-style-type: none"> An attractive mixed use area <u>comprising residential and commercial uses</u> with active frontages to the street, well designed new buildings mixed with residential and commercial heritage fabric. Development along Queens Parade has a consistent street wall with recessed upper levels. 			

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DDO element	Change recommended by the Panel	Officer response to Panel recommendation and reasons for response
	<p><u>Design requirements:</u></p> <p>Changed wording and removal of text.</p> <p>Reframed some requirements as a positive statement.</p> <p>Introduced an interface and building separation requirement.</p> <p>Relocated requirements relating to a low scale transition and overshadowing provisions from Precinct 3 to General Requirements.</p>	<p><i>Development retains that retains the primacy of the St John's Church landmark and views to its belfry and spire.</i></p> <ul style="list-style-type: none"> ▪ <i>New development that articulates the higher profile of the corner of Queens Parade and Smith Street, relative to its immediate surroundings.</i> ▪ <i>New development provided for at and around the Smith Street junction.</i> ▪ <i>The prominent corner of Queens Parade and Smith Street marked by a higher street wall and development set back at the upper level.</i> ▪ <i>Intact streetscape on Smith Street retained with new development set back from the façade and designed to not dominate complement the Victorian era buildings and street wall.</i> ▪ <i>An</i> <i>Provide an</i> effective transition provided to the residential areas to the south and east. <p>Accepted.</p> <p>Text changes clarify requirements and remove repetition.</p> <p>The design requirements have been amended to ensure development respects the built form rhythms established by heritage elements on Queens Parade and Smith Street. Officers support the Panel's view the heritage values of the area derive not just from the presence of heritage features, but also from the characteristic patterns they create in the Queens Parade streetscape.</p> <p>The Panel noted the adjoining dwellings are potentially amongst the most impacted by development of any of the five precincts in Queens Parade. Officers agree and support the addition of a requirement which responds to the sensitive interface with neighbouring residential properties on Hodgkinson Street. Noting the requirement is further reinforced by specific side and rear setback and overshadowing controls.</p> <p>See 2.2 General Requirements for comments on relocation of the transition of scale and overshadowing requirements.</p> <p>The design requirements would read:</p> <p><i>Development in Precinct 3 should:</i></p> <ul style="list-style-type: none"> ▪ <i>Reflect-recognise the fine grain character of heritage streetscapes, where present and minimise the dominance of wide building frontages.</i>

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DDO element	Change recommended by the Panel	Officer response to Panel recommendation and reasons for response
		<ul style="list-style-type: none"> ▪ Deliver <u>deliver</u> high quality architectural detailing that respects the heritage qualities <u>and rhythms</u> of Queens Parade and Smith Street. ▪ Create <u>create</u> a consistent street wall and that maintains the prominence of the heritage street wall where present in the streetscape. ▪ <u>Provide an interface with neighbouring residential properties on Hodgkinson Street that minimises visual bulk and mass and provides building separation along side and rear boundaries abutting existing properties.</u> ▪ recognise the fine grain character of heritage streetscapes, where present and minimise the dominance of wide building frontages. ▪ respond to the low scale form of existing development outside Precinct 3 on Hodgkinson Street through an appropriate transition in building height and setbacks to ensure a reasonable standard of amenity. ▪ ensure that where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9 am and 3 pm on 22 September. If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced. <p>In addition, Development <u>development</u> in Precinct 3A must:</p> <ul style="list-style-type: none"> ▪ Maintain <u>maintain</u> views of the belfry and spire of St Johns church and maintain clear sky between the belfry and spire and new development when viewed from the pedestrian refuge on the south-west corner of the intersection with Queens Parade and Smith Street <u>(as indicated on Map 3)</u>. A permit cannot be granted to vary this requirement. <p>Development in Precinct 3A should:</p> <ul style="list-style-type: none"> ▪ Emphasise <u>emphasise</u> the corner of Queens Parade and Smith Street with a higher street wall <u>and distinct architectural treatments.</u> <p>Development in Precinct 3B should:</p> <ul style="list-style-type: none"> ▪ Reinforce <u>reinforce</u> the traditional street wall on Smith Street.

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DDO element	Change recommended by the Panel	Officer response to Panel recommendation and reasons for response									
		<ul style="list-style-type: none"> ▪ Ensure ensure that upper level development is visually recessive and does not detract from to <u>complement</u> the heritage streetscape. 									
	<p><u>Table of requirements:</u></p> <p>Included a new requirement to vary the street wall height for 35 – 37 Queens Parade in Precinct 3A to allow a height of up to 17 metres for 6 metres on either side of the corner of Smith Street and Queens Parade.</p>	<p>Accepted.</p> <p>The change is supported. It reinforces this historic corner and will not impact on the heritage streetscapes along Queens Parade or Smith Street or the amenity of the residential properties to the rear on Hodgkinson Street.</p> <p>The following built form elements* in Table 3 would read:</p> <table border="1"> <thead> <tr> <th>Built form</th><th>Mandatory requirement</th><th>Preferred requirement</th></tr> </thead> <tbody> <tr> <td>Maximum street wall height</td><td> <p>15-33 & 41 Queens Parade - 11 metres</p> <p><u>35-37 Queens Parade - retain the height of the existing heritage façade 6 metres on either side of the corner of Smith Street and Queens Parade – 17 metres</u></p> <p>Elsewhere - 14 metres</p> </td><td>None specified</td></tr> <tr> <td>Minimum side setback</td><td>None specified</td><td> <p>If side boundary adjoins NRZ and abuts an existing boundary wall, a—0 metres to a height of 8 metres and a setback with a 45 degree angle above a height of 8 metres.</p> <p>Elsewhere - 0 metres</p> </td></tr> </tbody> </table> <p>* Noting no changes are proposed to the remainder of the table.</p>	Built form	Mandatory requirement	Preferred requirement	Maximum street wall height	<p>15-33 & 41 Queens Parade - 11 metres</p> <p><u>35-37 Queens Parade - retain the height of the existing heritage façade 6 metres on either side of the corner of Smith Street and Queens Parade – 17 metres</u></p> <p>Elsewhere - 14 metres</p>	None specified	Minimum side setback	None specified	<p>If side boundary adjoins NRZ and abuts an existing boundary wall, a—0 metres to a height of 8 metres and a setback with a 45 degree angle above a height of 8 metres.</p> <p>Elsewhere - 0 metres</p>
Built form	Mandatory requirement	Preferred requirement									
Maximum street wall height	<p>15-33 & 41 Queens Parade - 11 metres</p> <p><u>35-37 Queens Parade - retain the height of the existing heritage façade 6 metres on either side of the corner of Smith Street and Queens Parade – 17 metres</u></p> <p>Elsewhere - 14 metres</p>	None specified									
Minimum side setback	None specified	<p>If side boundary adjoins NRZ and abuts an existing boundary wall, a—0 metres to a height of 8 metres and a setback with a 45 degree angle above a height of 8 metres.</p> <p>Elsewhere - 0 metres</p>									

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DDO element		Change recommended by the Panel	Officer response to Panel recommendation and reasons for response
		<p><u>Map:</u></p> <p>No change</p>	Accepted.
2.9.4**	Precinct 4 – Activity Centre Precinct	<p><u>Preferred character statement:</u></p> <p>Changed wording to make the statements clearer and more succinct.</p>	<p>Accepted.</p> <p>The wording changes improve clarity and remove repetition.</p> <p>The Preferred Character Statement have been edited to explicitly recognise the importance of not just of the heritage elements but their characteristic rhythm and patterns.</p> <p>The Preferred Character Statements have been be amended to emphasise the prominence of the ANZ building.</p> <p>The preferred character statement would read:</p> <p><i>Buildings and works in Precinct 4 should deliver the following preferred precinct character:</i></p> <ul style="list-style-type: none"> ▪ <i>A unique and vibrant Victorian era shopping strip which forms the retail and activity focus of Queens Parade <u>building on its distinctive heritage qualities.</u></i> ▪ <i>The distinctive heritage qualities of this Victorian era shopping strip are protected.</i> ▪ <i>New Development <u>development that</u> complements the scale of heritage buildings and the patterns and rhythm of heritage features.</i> ▪ <i>The consistent heritage streetwall height is continued.</i> ▪ <i>Sympathetic <u>Upper upper</u> level infill <u>that</u> reinforces the prevailing street wall and subdivision grain of significant streetscapes and transitions down to residential abutments to the rear.</i> ▪ <i>Enhanced pedestrian experience with well Well designed building frontages and public realm reinforcing that <u>reinforces the pedestrian experience</u> of this part of Queens Parade as a vibrant retail centre and the central hub for the local community.</i>

Attachment 1 - Panel Recommendations and officer response

Attachment 1

DDO element	Change recommended by the Panel	Officer response to Panel recommendation and reasons for response
	<p><u>Design requirements:</u></p> <p>Minor wording changes and removal of text.</p> <p>The Panel added a design requirement to ensure shop front widths are not reduced to the extent that they become commercially unviable.</p> <p>Relocated requirements relating to a low scale transition and overshadowing provisions from Precinct 4 to General Requirements.</p>	<p>▪ <i>Development that retains the prominence of the Significant heritage corner forms and key view lines to local landmarks (former ANZ Building) retained by sensitive upper level development.</i></p> <p>Accepted.</p> <p>Removed text that repeats General Requirements (see comments above in General Requirements).</p> <p>The new requirement proposed by the Panel addresses concerns raised by residents and traders that a residential entry in a narrow shop would reduce the viability of the retail space. Its inclusion is supported to ensure the issue is considered in any development.</p> <p>See 2.2 General Requirements for comments on relocation of the low scale transition and overshadowing requirements.</p> <p>The design requirements would read:</p> <p><i>Development in Precinct 4 must:</i></p> <p>▪ <i>Development must Protect-protect and maintain key views lines-and-visual prominence of the former ANZ Building from the south-west and north-east (as indicated on Map 4), in particular to the upper floor, roof form and chimneys. A permit cannot be granted to vary this requirement.</i></p> <p><i>Development in Precinct 4 should:</i></p> <p>▪ <i>Respect respect the consistent scale, grain, rhythm and architectural quality of the highly intact heritage streetscapes and the heritage buildings in the precinct.</i></p> <p>▪ <i>Retain retain the visual prominence of heritage buildings, their street wall and heritage streetscape when viewed from the opposite side of Queens Parade.</i></p> <p>▪ <i>Facilitate facilitate the appropriate low rise infill of the sites located to the rear of commercial properties fronting Queens Parade.</i></p> <p>▪ <i>Ensure ensure that any upper level development is set back from the heritage façade, is visually recessive and does not detract from the heritage streetscape.</i></p>

Attachment 1 - Panel Recommendations and officer response

Attachment 1

DDO element	Change recommended by the Panel	Officer response to Panel recommendation and reasons for response
		<ul style="list-style-type: none"> ▪ Retain<i>retain</i> the visual prominence and heritage fabric of the return facades of heritage buildings that front Queens Parade, Delbridge, Gold, Michael and Wellington Streets. ▪ Ensure<i>ensure</i> that facades at ground floor incorporate verandahs which are consistent with the form and scale of adjoining verandahs. ▪ Retain<i>retain</i> chimneys visible from the public realm. ▪ Enhance<i>enhance</i> the amenity and safety of laneways that provide pedestrian and vehicular access to buildings. ▪ Maintain<i>maintain</i> service access from the laneways in order to facilitate commercial use of the properties fronting Queens Parade. ▪ Ensure<i>shopfront widths are not reduced to the extent they become commercially unviable.</i> ▪ respect the low scale, fine grain subdivision pattern of existing development on Hodgkinson Street and McKean Street through an appropriate transition in building height and setbacks. ▪ ensure that where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9 am and 3 pm on 22 September. If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced.
	<p><u>Table of requirements:</u></p> <p>The Panel reduced the building height in three of the four quadrants in Precinct 4 from Council's recommended 14 metre (4 storeys mandatory) height to 10.5 metres (3 storeys mandatory).</p> <p>It supported Council's recommended 14 metre (mandatory) height in the fourth quadrant,</p>	<p>The Panel recommended a mandatory height limit of 10.5 metres (3 storeys) in three of four quadrants of Precinct 4. The Panel recognised the value of the heritage in this precinct and prioritised its protection over facilitating development.</p> <p>The Panel found that a 14 metre (4 storeys) mandatory height is appropriate in the fourth quadrant of Precinct 4 (bound by Gold and Turnbull Streets and Queens Parade).</p> <p>It noted that the heritage in this quadrant is less consistent and the lots are wider, consequently it is less sensitive and has greater development capacity.</p>

Attachment 1 - Panel Recommendations and officer response

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DDO element		Change recommended by the Panel	Officer response to Panel recommendation and reasons for response
		bounded by Queens Parade, Gold Street and Turnbull Street.	<p>Officers support the position of Panel, but recommend the 10.5 metre height in three of the four quadrants is increased to 11 metres to ensure heritage floor plates can be carried through into the new development and provide for residential amenity.</p> <p>Officers consider that lower heights in three of the four quadrants are appropriate given:</p> <ul style="list-style-type: none"> Queens Parade is unusually wide at 60 metres. This means that any new development in Queens Parade will be more visible than in other high streets. Higher levels of growth can be accommodated elsewhere within the centre or nearby. Queens Parade is an activity centre is that the heritage streetscape in Precinct 4 is highly intact and consistent and features a fine grain subdivision pattern and narrow allotments which give it a greater sensitivity to redevelopment. <p>Officers support four storeys in Quadrant Four recognising the physical characteristics of lot sizes, fine grain architectural features, and streetscape consistency in this quadrant do vary from the other parts of Precinct 4. In addition, the DDO includes requirements that address residential interfaces to the rear in terms of building bulk and overshadowing.</p>
		<p><u>Map:</u></p> <p>Map updated to reflect the change of building heights in Precinct 4.</p>	See comments above.
2.9.5**	Precinct 5 – North Eastern Precinct	<p><u>Preferred character statement:</u></p> <p>The statement now acknowledges an aspiration to support walkability and encourage passive surveillance.</p>	<p>Accepted.</p> <p>The Panel's changes make the language and intent clearer.</p> <p>The additions of walkability and passive surveillance respond to submissions made at the Panel hearing.</p> <p>The preferred character statement would read:</p> <p><i>Buildings and works in Precinct 5 should deliver the following preferred precinct character:</i></p> <ul style="list-style-type: none"> <i>An area of contemporary higher rise development in a preferred location for housing growth within the activity centre, where the significant heritage fabric (the Former UK Hotel and the former Clifton Motors garage) remains the prominent Precinct features in any redevelopment.</i>

Attachment 1 - Panel Recommendations and officer response

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DDO element		Change recommended by the Panel	Officer response to Panel recommendation and reasons for response
			<ul style="list-style-type: none"> ▪ An area of contemporary higher rise development and bookends the mid-rise development in Precinct 2. ▪ Steps down-up in scale in distinct increments from the north-east to the significant heritage buildings (the Former Clifton Motors and UK Hotel buildings) to the north-east in the south-west. ▪ Suitable Separation-separation between buildings provided to enable equitable development equity and amenity and to diminish the bulk of the built form, while also contributing to a safe and legible walking environment that offers visual interest and encourages passive surveillance throughout the Precinct-the management of building-/visual bulk.
		<p><u>Design requirements:</u></p> <p>Minor grammatical changes to text.</p> <p>Introduces a requirement to ensure there is pedestrian movement through the precinct.</p>	<p>Accepted.</p> <p>The Panel changes are mostly minor in nature and make the language and intent clearer.</p> <p>The issue of pedestrian movement in Precinct 5 was raised at the Panel Hearing (particularly pedestrian activation in Dummett Crescent). The Panel's proposed changes respond to this issue. Officers support this addition as a sound urban design principle.</p> <p>The design requirements would read:</p> <p><i>Development in Precinct 5 should:</i></p> <ul style="list-style-type: none"> ▪ retain-Retain the visual prominence and not visually dominate the three dimensional forms of the former United Kingdom Hotel when viewed from the key viewpoints (as indicated on Map 5) - Raines Reserve and the former Clifton Motors Garage when viewed from the opposite side of Queens Parade. ▪ retain-Retain and incorporate the former Clifton Motor Garage (205-211 Queens Parade) in any redevelopment of the site and ensure that the three dimensional form remains prominent and the decorative vertical fin remains as a freestanding element when viewed from the public realm. ▪ adopt-Adopt a street wall height for new development adjacent to the former United Kingdom Hotel that respects the façade height of the building-the former hotel.

Attachment 1 - Panel Recommendations and officer response

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DDO element		Change recommended by the Panel	Officer response to Panel recommendation and reasons for response
			<ul style="list-style-type: none"> ensure Ensure buildings in Precincts 5B and 5C read as a series of separate development parts with building separation above the street wall. establish Establish a transition and gradual stepping down of building heights from taller forms in Precinct 5C to existing heritage form in Precinct 5A. ensure Ensure that adverse wind effects on the public realm are avoided. <p>In addition, in Development in Precinct 5C, development should:</p> <ul style="list-style-type: none"> reinforce Reinforce the scale of existing high-rise buildings in the precinct <u>trending higher to the north east (of 10-14 storeys), avoiding taller buildings which detract from this scale.</u> ensure Ensure high quality development that enhances the prominent corner of Queens Parade and Hoddle Street, creating a strong address to each street frontage <u>that encourages active pedestrian movement and accessibility through the Precinct.</u> ensure Ensure that the height and design of the street wall creates and reinforces a 'human scale' to <u>diminish the perceived bulk of the buildings and provide visual interest at street level along Queens Parade and Hoddle Street.</u>
		<p><u>Table of requirements:</u></p> <p>Increase the preferred building height in Precinct 5C from 43m to 49m.</p>	<p>Not accepted.</p> <p>Officers do not agree a height of 49 metres is appropriate in Precinct 5C. The Panel emphasised a step up in transition from Precincts 5A and 5B and officers consider that a height of 43 metres represents a suitable step up in height. The height is not mandatory.</p>
		<p><u>Map:</u></p> <p>Include viewpoints to Clifton Motors from directly across Queens Parade and to the Precinct more broadly from Raines Reserve.</p> <p>Increase the building height in Precinct 5C from 43m to 49m.</p>	<p>Accepted</p> <p>The addition of the viewpoints which are included in the Design Requirements on the map will make their location clearer.</p>
			<p>Not accepted.</p> <p>The increase in building height in Precinct 5C is not supported. See comments above.</p>
3.0	Subdivision	No change.	Accepted.
4.0	Advertising	No change.	Accepted.

Attachment 1 - Panel Recommendations and officer response

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DDO element		Change recommended by the Panel	Officer response to Panel recommendation and reasons for response
5.0	Application requirements	Minor grammatical changes to text.	<p>Accepted.</p> <p>Panel's changes are minor.</p> <p>The inclusion of a reference to the Preferred Character Statement is supported. Preferred character statements were proposed in the <i>preferred version of the DDO</i> to describe the vision and outcome sought.</p> <p>The application requirements would read:</p> <ul style="list-style-type: none"> ▪ <i>A site analysis and urban design context report which demonstrates how the proposal achieves the Design Objectives, Preferred Character Statement and Design Requirements of this schedule.</i> ▪ Development For development proposals for buildings over 20 metres in height should be accompanied by a wind study analysis to assess the impact of wind on the safety and comfort of the pedestrian environment on footpaths and other public spaces while walking, sitting and standing. ▪ <i>A Traffic and Parking Assessment Report which includes an assessment of the cumulative impacts of traffic and parking in the Precinct including an assessment of the ongoing functionality of laneway/s.</i>
6.0	Decision Guidelines	<p>Deletes the reference to General Design Requirements, Heritage Design Requirements and Precinct-Design Requirements.</p> <p>Deletes '<i>design response at the interface with existing, low scale residential properties</i>'</p> <p>Recommends addition of controls on light spillage and noise when considering side and rear setbacks.</p>	<p>Accepted.</p> <p>The deletion of the first decision guideline is supported. The DDO already requires these elements to be taken into account.</p> <p>The deletion of the fifth design guideline relating to the interface with low scale residential properties is supported. The issue is already covered in other decision guidelines.</p> <p>The explicit addition of noise and light spillage in the seventh decision is supported as light and noise are potential amenity impacts which should be considered for existing dwellings.</p> <p>The Decision Guidelines would read:</p> <ul style="list-style-type: none"> ▪ Whether the General Design Requirements, Heritage Design Requirements and the Precinct Design Requirements in Clauses 2.2-2.9 are met. ▪ <i>Whether the proposal delivers design excellence.</i>

Attachment 1 - Panel Recommendations and officer response

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DDO element		Change recommended by the Panel	Officer response to Panel recommendation and reasons for response
			<ul style="list-style-type: none"> ▪ If roof decks are proposed, whether they are set back from lower levels and are recessive in appearance. ▪ The profile and impact of development along Queens Parade when viewed from the north side of McKean Street and the south side of Hodgkinson Street. ▪ The design response at the interface with existing, low-scale residential properties. ▪ The design of the streetscape interface along the primary street frontage. ▪ Whether side and rear setbacks <u>and controls on light spillage and noise</u> are sufficient to appropriately limit the impact on the amenity of existing dwellings. ▪ How any proposed buildings and works will The impact on solar access to Queens Parade and Napier Street Reserve. ▪ Whether heritage buildings on street corners retain their prominence when viewed from both streets. ▪ Whether heritage buildings retain their three-dimensional form when viewed from the public realm. ▪ Whether upper level development above the heritage street wall is visually recessive and does not dominate or visually overwhelm the heritage buildings. ▪ Whether the proposal contributes to and improves the pedestrian environment and other areas of the public realm. ▪ The impact of development on views to: <ul style="list-style-type: none"> – the former ANZ Bank building's tower, roof, chimney and upper level – the St John the Baptist Church belfry and spire – the former Clifton Motor Garage's Moderne façade and fin. ▪ The wind effects created by the development. ▪ The cumulative impact of traffic and parking in the Precinct including on the functionality of laneway/s.

Attachment 1 - Panel Recommendations and officer response

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DDO element		Change recommended by the Panel	Officer response to Panel recommendation and reasons for response
-	Reference documents	<p>The Panel raised the issue that some of the recommendations from the Built Form Review prepared by Hansen have now been changed by Council as its preferred position.</p> <p>The Panel agreed that the <i>Queens Parade Built Form Framework</i> and <i>Queens Parade Built Form Heritage Review</i> provided a catalyst and background for the amendment but not to the extent of being included as Reference Documents and recommended their deletion.</p>	<p>Accepted.</p> <p>Officers agree that some of the positions in the Hansen work no longer reflect Council's position.</p> <p>The inclusion of the reports as Reference Documents could create confusion in the future. Their deletion avoids that confusion.</p>

** Clauses to be renumbered to address additional clause on interfaces.

Attachment 2 - 390A Queens Parade Heritage Review in response to Panel Report prepared by David Helms

David Helms
HERITAGE PLANNING

3 December 2019

Amanda Haycox
City of Yarra
via email: amanda.haycox@yarracity.vic.gov.au

Dear Amanda

Amendment C231 - 390A Queens Parade Heritage Review in response to Panel Report

As requested, this letter provides my review of the heritage grading of buildings on 390A Queens Parade, North Fitzroy (the subject site), except for the 'substation' building, to determine whether a change in the grading from Non-contributory to Contributory is justified for any of the buildings. This review is in response to a recommendation made by the Amendment C231 Panel.

My report setting out the methodology and findings of the review is attached to this letter. Based on this, my findings in relation to the gradings of the buildings on the subject site other than the 'substation' may be summarised as follows:

- As shown on the aerial plan below, the section of building outlined in green is an original part of the c.1904 'substation' building (outlined in red), which the Amendment C231 Panel has accepted warrants a Contributory grading. For this reason, it also warrants a Contributory grading.



Aerial view of subject site (Source: Nearmap). Red = Amendment C231 Contributory grading, Green = Recommended extension of Contributory grading, Yellow = Not Contributory

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- The other buildings on the subject site (outlined in yellow) do not warrant a Contributory grading. I agree with the findings of the GJM Heritage Analysis that they either were not constructed within the historic development period associated with the HO330 precinct ('c'), or have been altered over time to the extent that their heritage values are not well demonstrated ('d', 'e'). The Not contributory grading proposed by Amendment C231 should remain.

Table 1 on pp. 7-10 of the attached report provides further details, which includes recommended changes to the Appendix 8 incorporated document.

I also believe it would be desirable to amend the proposed new HO330 statement of significance (specifically in the 'Description' section under 'What is significant') to include more specific reference to the buildings at the rear of the Queens Parade retail strip. Please see p.7 of the attached report for details.

Please contact me if you have any questions or require further information.

Fond regards



David Helms

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Amendment C231 – 390A Queens Parade Heritage Advice

Purpose

This report provides a review of the heritage grading of buildings at 390A Queens Parade, North Fitzroy (the subject site), except for the 'substation' building, to determine whether a change in the grading from Non-contributory to Contributory is justified for any of the buildings. This review is being undertaken in response to a recommendation made by the Amendment C231 Panel (see below).

The subject site contains five distinct buildings and for the purposes of this review I have used the plan prepared by Lovell Chen (see list of references below) that identifies the boundaries of each on the site.

The building known as the 'substation' is building 'a' on this plan. This review therefore considers the buildings identified as 'b', 'c', 'd' and 'e'.



Aerial photograph showing the five buildings on the subject site. Reproduced from Lovell Chen (May 2019), Original source: Nearmap

Background

Amendment C231, amongst other things, proposes to implement the recommendations of the *Queens Parade Built Form Heritage Analysis & Recommendations* (11 December 2017) prepared by GJM Heritage for the City of Yarra. Amendment C231 proposes to make the following specific changes to the heritage controls for the subject site in accordance with the GJM report:

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- Transferring the subject site from HO327 North Fitzroy Precinct to the HO330 Queens Parade Precinct.
- In the Appendix 8 Incorporated Document, applying a Contributory grading to the 'substation' building at 390A Queens Parade (described as '2 storey building in NE corner'). The other buildings at 390A Queens Parade (described as 'all buildings except 2 storey building in NE corner') are separately listed and graded Not contributory.

The submissions to Amendment C231 included some, which believed that other buildings on the subject site warranted a Contributory grading.

The Amendment C231 Panel (p.100) found:

'Contributory' grading of the north-east corner building at 390A Queens Parade and 'not contributory' to other buildings on the subject land within HO330 as exhibited, is appropriate and consistent with PPN01.

However, the Panel also considered (p.100) "... there is merit in Council undertaking further detailed assessment of this entire property and immediate surrounds, to consider whether other built forms or structures warrant a further regrading within this heritage precinct (HO330)" and recommended the City of Yarra:

Undertake further heritage assessment of the existing built form and associated structures located at 390A Queens Parade to establish whether other buildings and associated structures on this property would support or warrant a 'contributory' grading within the context of HO330. (p.104 of the Panel report)

There is also a planning permit application for this site to construct 15 x four storey town houses that proposes demolition of all the buildings on the site. The applicant has appealed to VCAT on failure to determine the application. The VCAT hearing will be held in early 2020.

Methodology

The written material provided to me includes heritage reports and advice prepared by GJM for the City of Yarra, and by Lovell Chen for the owner/developer of the subject site, as well as submissions by local residents to the Amendment C231. This material contains adequate historical information about the development of the subject site and for this reason no further research has been required. The key tasks associated with this review have been:

- A detailed review of this material, which includes:
 - Amendment C231 Panel report.
 - *Queens Parade Built Form Heritage Analysis & Recommendations* (11 December 2017) and *Memorandum of Advice: Queens Parade Built Form Review Amendment C231 – Response to submissions* (16 April 2019), both prepared by GJM Heritage for the City of Yarra.
 - *Heritage impact statement, 390A Queens Parade, Fitzroy North, VIC 3068* (May 2019) prepared by Lovell Chen for Plenty & Dundas PL.

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- Two Amendment C231 submissions (nos. 95 & 298) in relation to the subject site made by local residents (includes the updated submissions presented to the Amendment C231 panel).
- An inspection of the site (to confirm the integrity and intactness of the buildings and their visual/physical relationship to the adjoining buildings within the HO330 precinct) and,
- An analysis having regard the historic and physical evidence, as to whether the buildings other than the 'substation' contribute to the significance of the HO330 precinct having regard to the new statement of significance prepared by GJM.

GJM Heritage Analysis findings

The GJM Heritage Analysis included the review of heritage gradings and HO boundaries and the subject site is one of two groups of properties at the rear of Queens Parade that are currently contained in the adjoining HO327 – North Fitzroy Precinct. In relation to the HO boundary, the GJM Heritage Analysis (Appendix G, p.23) concluded:

Historically it appears that all of the buildings at the rear of Queens Parade serviced properties fronting Queens Parade. It is therefore considered appropriate that they be removed from HO327 – North Fitzroy Precinct and included within HO330 – Queens Parade Precinct.

The following specific comments were made about the subject site (Appendix G, p.24):

390A Queens Parade is a large parcel of land containing four discreet structures. Based on an analysis of the built fabric on the site and the historical plans and aerial, it is considered that the only largely intact building remaining is the two-storey substation in the northeast corner of the site. The brickwork indicates the building dates from the late nineteenth century, and although some original openings have been closed, the original form and fenestration pattern remain. This building is considered to contribute to the significance of the precinct. The other buildings on the property are of more recent construction or have been substantially altered over time. They are not considered to contribute to the significance of the precinct.

The other buildings at the rear of the Queens Parade retail strip reviewed by the GJM Heritage Analysis are at the rear of 304, 312 & 316 Queens Parade. Of these, the GJM Heritage Analysis only identified the building at 312 Queens Parade as 'Contributory', as it:

... retains the same footprint as shown in the 1904 MMBW plan and comprises a two-storey brick and weatherboard structure and associated yard from the late nineteenth century. While the building is in very poor condition, it retains its historic fabric and is considered to contribute to the significance of the precinct. (Appendix G, p.23).

The other buildings were assessed as not having heritage value (Appendix G, p.23):

- The building at the rear of 304 Queens Parade "is a simple utilitarian structure that can no longer be understood as dating from a particular period and is not considered to have heritage value".
- The building at the rear of 316 Queens Parade "is a utilitarian cream brick garage that appears to date from the c1950s/60s".

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Gratings review and analysis

Amendment C231 proposes to introduce a new statement of significance for the HO330 Queens Parade Precinct prepared by GJM Heritage. A copy is attached.

In accordance with this statement of significance, the buildings assessed as Contributory by the GJM Heritage Analysis at 312 (rear) and 390A Queens Parade each contribute to the historic significance (Criterion A) of the HO330 Precinct having regard to the following statement under 'Why is it significant':

It contains a substantial collection of intact commercial buildings, predominantly from the Victorian and Edwardian periods, including shops and associated residences, hotels and other commercial and civic buildings, as well as a group of detached Edwardian residences at the north- eastern end. Together these buildings demonstrate the development of this 'High Street', particularly from the 1870s to c1920 when substantial growth along the boulevard occurred, and are illustrative of the enduring role the street has played in the economic and social life of North Fitzroy and Clifton Hill since the establishment of the suburbs.

The approximate construction dates of each of the buildings on the subject site have been established in the reports mentioned above using sources such as the MMBW plan of 1904, Sands & McDougall Directories, rate books, probate records and aerial photos.

Figure 1 is a c.1925-1940 aerial photo reproduced in both the GJM and Lovell Chen reports that provides a useful snapshot of the subject site during the interwar period.

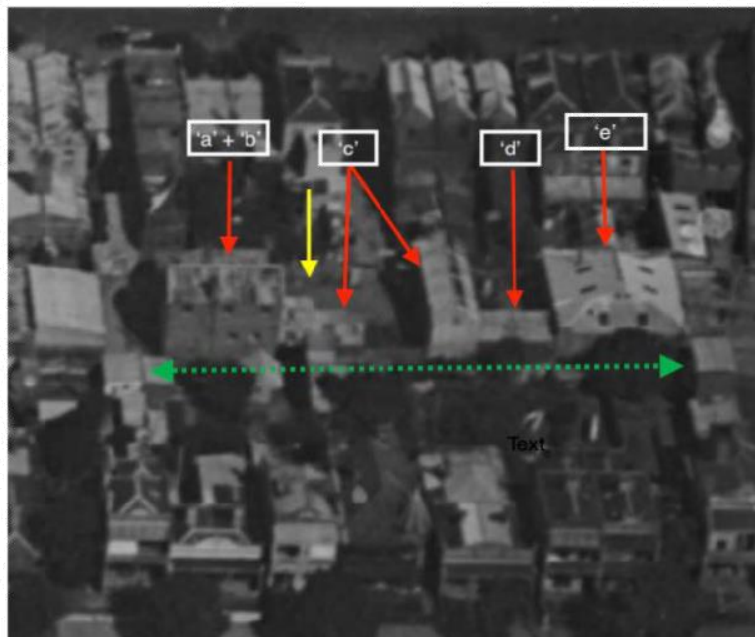


Figure 1: Aerial dating to c.1925-40. Source: GJM Heritage Analysis, Appendix G, p.23. The red arrows show the location of the present buildings including 'a', 'b' and 'e', which were extant at the time. The yellow arrow indicates the vacant land now occupied by an extension to building 'b'.

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Based on this information and my inspections of the buildings Table 1 provides a summary of my findings.

In addition to this, while I believe the contributory significance of these buildings at the rear of the retail strip in the Queens Parade precinct is appropriately reflected in the SoS under 'Why', they are not explicitly identified in the Description section under 'What', which focuses upon the buildings facing directly to Queens Parade. It would be desirable to include a brief reference to these buildings constructed at the rear of shops, perhaps at the end of the first paragraph under 'Description'. For example, as shown underlined below:

Description

The main development period of the Queens Parade Precinct is from the 1870s to c1920 and the streetscape largely dates to this period. A small number of buildings from both earlier and later periods make a contribution to the precinct. A number of individually significant buildings are contained within the precinct, dating predominantly from the 1870s-1920 period.



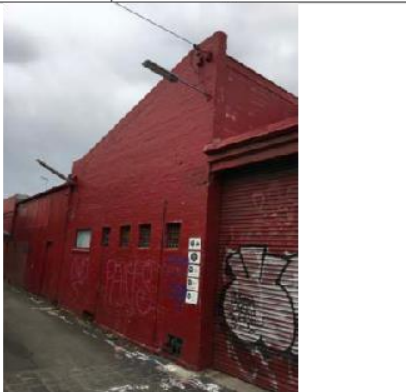

Buildings are predominantly attached Victorian and Edwardian shops and residences. They are predominantly two-storey with some single-storey shops interspersed. At the rear of some are buildings such as stables and small factories that serviced the shops facing Queens Parade. Towards the north-eastern end of the precinct are a row of detached single and two-storey residences, predominantly from the Edwardian period.

Table 1 – Review of gradings

Building	Assessment	Recommendation
'b'	<p>Part of this building was constructed c.1904 as a bakery for Mr Willmott to supply his adjacent shop at 392 Queens Parade (Lovell Chen & Submission 298). The two-storey building now known as the 'substation' forms the other section of the original c.1904 bakery.</p> <p>Sometime after c.1945 the building was extended westward along the laneway – see the yellow arrow in Figure 1, which shows this land was vacant at that time. The images below indicate the approximate division between the two phases of building: black is c.1904 and red is c.1940.</p> <p>The c.1904 section is constructed of red brick (with the same brick bond as the 'substation' building) with a skillion roof and retains at least one original window and doorway. While altered, it can clearly be understood as being part of the original 'substation' building, which the Amendment C231 Panel has accepted warrants a Contributory grading.</p> <p>For this reason the c.1904 section also warrants a Contributory grading.</p> <p>The post-c.1940 section is not significant.</p>	<p>The Contributory classification should be extended to include the c.1904 section of the single storey building. The c.1945 section should remain as Not contributory (see plan in the covering letter to this report)</p> <p>In the Appendix 8 Incorporated Document listings for 390A Queens Parade:</p> <ol style="list-style-type: none"> 1. In listing 1 replace '2 storey building in NE corner' with: 'Former Willmott bakery (now part substation) constructed c.1904 at north-east end'. 2. In listing 2 replace 'all buildings except 2 storey building in NE corner' with: 'All buildings except former Willmott bakery (now part substation) constructed c.1904 at north-east end' <p>Create a Hermes record (or update the existing) for 390A Queens Parade to identify the Contributory and Not contributory buildings.</p>



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Building	Assessment	Recommendation
	<p><i>Showing connection between double and single storey sections of the c. 1904 building</i></p>	 <p><i>Showing the approximate division between the c. 1940 addition (painted red) to the c. 1904 building (painted black)</i></p>
'c'	<p>Single storey L-shaped building dating from post-1945. Constructed of bricks with a skillion roof. The wall along north side is comprised of mixed bricks including what appear to be early bricks that may have come from the previous buildings on the site shown in Figure 1.</p> <p>This building was not constructed within the historic development period associated with the HO330 precinct and is not considered to have heritage value.</p>	<p>Does not warrant a Contributory grading. Retain Not contributory grading as proposed by Amendment C231.</p>
	<p><i>The south elevation</i></p>	 <p><i>Section of the north wall showing the variety of new and old bricks used in construction.</i></p>

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Building	Assessment	Recommendation
'd'	<p>The north wall of this building may include part of the original wall of the early stables building shown in Figure 1. However, this is all that remains and the building has been significantly altered.</p> <p>Comparable to 304 Queens Parade as a simple utilitarian structure that can no longer be understood as dating from a particular period and is not considered to have heritage value.</p>	Does not warrant a Contributory grading. Retain Not contributory grading as proposed by Amendment C231.
<div style="display: flex; justify-content: space-around;">   </div> <p><i>The remnant north wall of the building. Note how upper section of wall is partially out of alignment (i.e., leaning toward the lane) and use of different bricks in the upper section</i></p> <p><i>Detail of north wall showing remnants of corbelling</i></p>		
'e'	<p>While this building dates to c.1930, it is a plain brick building, which has no distinguishing features apart from the half-gabled roof. Part of the south elevation is obscured and the visible west elevation has been significantly altered.</p> <p>It is comparable to 304 Queens Parade as a simple utilitarian structure that can no longer be understood as dating from a particular period and is not considered to have heritage value.</p>	Does not warrant a Contributory grading. Retain Not contributory grading as proposed by Amendment C231.

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Building	Assessment	Recommendation
	 <p><i>The south wall of the building (at right) is partly obscured by later additions (garage directly ahead)</i></p>	 <p><i>The altered west elevation, showing the roof.</i></p>

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Attachment – Proposed H0330 Queens Parade Precinct statement of significance

Source: GJM Heritage Analysis, Appendix H.

What is significant?

Queens Parade, North Fitzroy from south-west of Delbridge Street to Brennand Street (nos. 264-492); Queens Parade, Clifton Hill from Wellington Street to Turnbull Street (nos. 61-197), Queens Parade Road Reserve from St John the Baptist Church Presbytery to the railway overpass, and Raines Reserve. NOTE: 12 and 14 Brennand Street (not contributory) are included in H0330 in Appendix 8 but mapped in H0327.

History

First established as a track linking Melbourne and Heidelberg in the late 1830s, Queens Parade was one of Melbourne's first major roads. Originally extending from the top of Bourke Street, the route followed an irregular course to the north-east and continued across Merri Creek. The road was surveyed by Hoddle as a substantial three chain (60 metre) wide boulevard, reserved in 1853, and known as Heidelberg Road at the south-west end and Plenty Road further to the north-east and crossing Merri Creek. This thoroughfare to Northcote and Heidelberg formed part of the boundary between Clifton Hill and North Fitzroy and was renamed Queens Parade in the early twentieth century.

Allotments were sold in Queens Parade from 1853, on the northern side, south of Merri Creek as part of the Northcote township reserve. The Scotch Thistle Hotel, the present Terminus Hotel, had been built as part of this township by 1854 and some early bluestone terrace houses remain nearby at the corner of Rushall Crescent. Allotments fronting both sides of Queens Parade sold from 1864, however the street remained largely undeveloped until the construction of buildings such as the Daintons Family Hotel at the corner of Gold Street in 1875 and St John's Roman Catholic Church (now St John the Baptist Church), in 1876.

This thoroughfare between Melbourne and the northern districts experienced a development boom in the 1880s, with commercial functions serving local residents as well as those travelling through, and much of the present building stock in the precinct was constructed at this time. Development on the North Fitzroy (northern) side was predominantly two-storeys, including shops with residences above, such as the building at the corner of Michael Street (336-338 Queens Parade, 1870-1890) and banks, including the National Bank of Australasia (1886) and the three-storey landmark building, the former London Chartered Bank (later the ANZ Bank, 1889). The Clifton Hill (southern) side of the street developed with some shops, large commercial enterprises and some public buildings, including the Post and Telegraph Office (1893), a row of seven shops and residences known as Campi's Buildings (1880s), the State Savings Bank (1889), and the Clifton Hill Hotel (1884) on the south-east corner of Wellington Street.

Public transport was established in the area during the Boom years of the 1880s. A cable tram service was provided along the developing Queens Parade commercial strip in 1887, terminating at the Merri Creek and this was extended to Northcote in 1889. Increasing demand for public transport resulted in the opening of the Royal Park to Clifton Hill railway in 1888.

Development in Queens Parade decreased during the depression years of the 1890s, however a 1904 Melbourne and Metropolitan Board of Works detail plan indicates it was

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a tree lined commercial street with verandahs over the footpaths on both sides of Queens Parade by that time. Commercial development re-commenced in the early twentieth century, adding an Edwardian presence to the existing Victorian character of the precinct. Edwardian buildings include the Clifton Hill & Northcote United Friendly Societies Dispensary (1914), the Clifton Hill Post Office (c1915-20) and the former doctor's surgery and residence (c1915). Additionally, a substantial group of detached Edwardian houses were built on the North Fitzroy side of Queens Parade, at the north-east end.

By the close of the Edwardian period (c1918) the streetscape, that continues today to mark the entrance to Melbourne's northern suburbs, had largely been established. Notable Interwar buildings were added to the streetscape in the 1930s including a pair of landmark Moderne buildings at the north-east end - the former United Kingdom Hotel (1937-38), located on the prominent intersection of Queens Parade and Heidelberg Road, and the nearby Clifton Motors Garage (1938 façade). Extensive beautification took place in the inter-war period in the form of landscaping and further street tree plantings. Grassed median strips were planted with plane and elm trees at the western end and a triangular garden (Raines Reserve, originally Rain's Reserve) was created at the junction with Heidelberg Road.

Description

The main development period of the Queens Parade Precinct is from the 1870s to c1920 and the streetscape largely dates to this period. A small number of buildings from both earlier and later periods make a contribution to the precinct. A number of individually significant buildings are contained within the precinct, dating predominantly from the 1870s-1920 period. Buildings are predominantly attached Victorian and Edwardian shops and residences. They are predominantly two-storey with some single-storey shops interspersed. Towards the north-eastern end of the precinct are a row of detached single and two-storey residences, predominantly from the Edwardian period.

Elements that contribute to the significance of the place include (but are not limited to):

- The wide, open boulevard character with associated landscaping (including Raines Reserve, the planted medians, bluestone pitched road paving, crossings, stone kerbs and channels, and asphalt paved footpaths).
- Views afforded to significant buildings in and beyond the precinct (St John the Baptist Church, former ANZ Bank building, and former United Kingdom Hotel)
- The consistent Victorian and Edwardian commercial character of the precinct, which includes:
 - A consistent two-storey scale with some single-storey buildings
 - A variety of simple and some highly decorative façade parapets, with pitched roofs behind
 - No front or side setbacks
 - Face red brick or rendered walls
 - Rendered window frames, sills and hoods to upper stories
 - Rendered ornament to upper stories
 - Brickwork with corbelled capping courses
 - Strong horizontal lines formed by parapets, cornices, string courses

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- Repetitive upper floor fenestration patterns
- Corrugated iron, slate and terracotta tiled roof cladding
- Decorative chimneys (some with pots)
- Original post-supported street verandahs
- Shop fronts with display windows, timber or tiled plinths, and entry recesses.
- The predominantly Edwardian residential character at the north-eastern end, which includes:
 - Steeply pitched gabled or hipped roofs, predominantly with terracotta tiles and terracotta ridge capping and/or finials
 - Prominent, often highly decorative brick chimneys
 - Prominent gable ends
 - Predominantly red brick construction
 - Front gardens

How is it significant?

Queens Parade, North Fitzroy/Clifton Hill is of local historical, architectural and aesthetic significance to the City of Yarra.

Why is it significant?

The Queens Parade Precinct is located on a major thoroughfare that has linked Melbourne to the northern suburbs since the 1830s. It is centred on one of Melbourne's early reserved boulevards, having been surveyed by Hoddle and reserved in 1853. The wide boulevard retains distinctive median strip landscaping from the twentieth century, including Raines Reserve. The Queens Parade Precinct is an intact turn of the century 'High Street' that has functioned continuously as a key commercial centre since the 1870s. It contains a substantial collection of intact commercial buildings, predominantly from the Victorian and Edwardian periods, including shops and associated residences, hotels and other commercial and civic buildings, as well as a group of detached Edwardian residences at the north-eastern end. Together these buildings demonstrate the development of this 'High Street', particularly from the 1870s to c1920 when substantial growth along the boulevard occurred, and are illustrative of the enduring role the street has played in the economic and social life of North Fitzroy and Clifton Hill since the establishment of the suburbs [Criterion A].

The highly intact streetscape of the Queens Parade Precinct clearly demonstrates the principal characteristics of a major turn of the century 'High Street' in the City of Yarra. Typical characteristics – including predominantly two-storey Victorian and Edwardian wall heights, parapeted rendered or red brick facades with repetitive upper floor fenestration, and ground floor shopfronts – are displayed in the original forms, fabric and detailing of many of the buildings. The streetscapes on the northern side of Queens Parade from Delbridge Street to 410 Queens Parade and on the southern side of Queens Parade from Wellington Street to 169 Queens Parade are particularly intact and are highly consistent in their architectural form and expression, forming a cohesive and significant streetscape. A

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group of detached houses at the north-eastern end of the precinct are intact and consistent in their Edwardian character and form [Criterion D].

The Queens Parade Precinct contains a number of landmark and individually significant buildings which are well considered and carefully detailed examples of commercial and civic buildings. These include, among others, the prominent three-storey Former London Chartered Bank of Australia Ltd (later ANZ Bank building), 370-374 Queens Parade, the former Daintons Family Hotel (139 Queens Parade, built 1875), the former Melbourne Savings Bank (97-99 Queens Parade, built 1889), former National Bank of Australasia (270 Queens Parade, built 1886), Ryans Building (314 Queens Parade, built 1884), Campi's Buildings (149-167 Queens Parade, built c1880-c1890) and the corner shop at 336-338 Queens Parade, North Fitzroy (c1870-c1890). Key views to the local landmarks of the St John the Baptist Church complex and the Former United Kingdom Hotel, 199 Queens Parade, which bookend the precinct are afforded from within the precinct [Criterion E].

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Underlined text signifies a mandatory control

Amendment C231 to the Yarra Planning Scheme

Comparison of *exhibited version* and the *version for adoption* and reasons for the change

Design and Development Overlay 16 (DDO16)

The information in this table is based on the exhibited version of the DDO and the version of the DDO supported by officers for adoption. This table should be read in conjunction with Attachment 4 which provides a track change version of DDO16 showing the changes from the exhibited version to the version for adoption.

This table only highlights aspects of the DDO where changes are proposed to the exhibition version of the DDO. Elements of the amendment where no changes are proposed or very minor changes such as spelling mistakes or punctuation where there are no other changes are not included in this table.

General requirements			
Clause & DDO element	Exhibited DDO	Version of DDO for Adoption	Reason for change
1.0 Design objectives	<p>Included five objectives:</p> <ul style="list-style-type: none"> <i>To recognise and respond to the distinct character, heritage streetscape and varying development opportunities defined by the five precincts along Queens Parade,</i> <i>To support a new mid rise character behind a consistent street wall in precincts 2-5.</i> <i>To ensure development respects the architectural form and qualities of heritage buildings and streetscapes and maintains the visual prominence of the St John the Baptist church belfry and spire, the former ANZ Bank building, the former United Kingdom Hotel and the former Clifton Motors garage.</i> <i>To ensure new development responds to the grand, tree-lined boulevard character of Queens Parade.</i> <i>To ensure that the overall scale and form of new buildings provides a suitable transition to low scale residential areas and protects these</i> 	<p>Five objectives redrafted:</p> <ul style="list-style-type: none"> <i>To ensure development responds to the heritage character and streetscapes and varying development opportunities and supports:</i> <ul style="list-style-type: none"> <i>the existing low-rise character in Precincts 1, 3B, 4 and 5A</i> <i>a new mid rise character behind a consistent street wall in Precincts 2, 3A and 5B</i> <i>higher rise development in Precinct 5C.</i> <i>To protect the integrity of historical streetscapes and clusters of heritage buildings of a similar scale and materiality.</i> <i>To ensure development respects the architectural form and qualities of heritage buildings and streetscapes and maintains the visual prominence of the St John the Baptist church belfry and spire, the former</i> 	<p>Title of Clause 1.0 was amended from General Design Objectives to Design Objectives. Given there are no other objectives in the DDO eg for Precincts, the word 'General' is redundant.</p> <p>Objectives have been re-written to make clearer what built form outcomes the DDO seeks to deliver. These changes were supported by Panel. Minor edits recommended by the Panel have been accepted.</p> <p>Objective 1 (version for adoption) – amalgamates the first and second exhibited objectives into one. It provides additional detail around scale and distinguishes the low-rise character of Precincts 1, 3B, 4 and 5A; the mid-rise character and consistent street wall of Precincts 2, 3A and 5B; and the higher rise development of Precinct 5C.</p> <p>Objective 2 (version for adoption) – New objective added to emphasise heritage streetscapes and buildings – a key element of Queens Parade.</p>

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Attachment 3 - Table - Changes to the Amendment from exhibition to adoption

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Underlined text signifies a mandatory control

Clause & DDO element	Exhibited DDO	Version of DDO for Adoption	Reason for change
	<i>properties from unreasonable loss of amenity through visual bulk, overlooking and overshadowing.</i>	<p><i>ANZ Bank building, the former United Kingdom Hotel and the former Clifton Motors garage.</i></p> <ul style="list-style-type: none"> <i>To promote design excellence that ensures new development respects the wide, open boulevard character of Queens Parade, including where existing historic trees are key elements in the streetscape, they remain the dominant visual feature.</i> <i>To ensure development responds to sensitive interfaces by ensuring the overall scale and form of new buildings provides a suitable transition to low scale residential areas and protects these properties from an unreasonable loss of amenity through visual bulk, overlooking and overshadowing.</i> 	<p>Objective 3 (version for adoption) – minor changes.</p> <p>Objective 4 (version for adoption) – rewritten to include concept of design excellence (recommendation of the Panel) and emphasis on trees as a key feature of the boulevard.</p> <p>Objective 5 (version for adoption) – some rewording and inclusion of concept of sensitive interfaces but focus remains on residential amenity and transition to low scale areas.</p>
2.0 Buildings and works	<p>Included permit trigger:</p> <p><i>A permit is required to construct a building or construct or carry out works.</i></p>	Permit trigger deleted	<p>Change recommended by the Panel.</p> <p>Permit trigger included in the head clause. No need to repeat it in the schedule.</p>
2.1 Definitions	<p>Included:</p> <ul style="list-style-type: none"> 1:1 ratio heritage street wall to new built form is where the height of the heritage street wall equals the height of the new development above street wall when viewed from the opposite side of the street from the centre of the footpath at a height of 1.6 metres above ground level Street wall is the façade of a building at the street boundary. Street wall height is measured at the vertical distance between the footpath at the centre of the frontage and the highest point of the building, parapet, balustrade or eaves at the street edge, with the exception of architectural features and building services. 	<p>Includes:</p> <ul style="list-style-type: none"> Heritage building means any building subject to a Heritage Overlay, on the Victorian Heritage Register or any building graded as either Contributory or Individually Significant. Laneway means a road reserve of a public highway 9 metres or less in width. This does not include Dummett Crescent. Parapet does not include features such as brackets, pediments, urns, finials or other decorative elements. Public realm means all streets (including Dummett Crescent) and spaces open to the public but does not include laneways. 	<p>Revised definitions in the <i>version for adoption</i> provide a more relevant list of the terms used in DDO.</p> <p>The version for adoption deletes the following terms:</p> <ul style="list-style-type: none"> 1:1 ratio heritage street wall Street wall Building height Setback <p>It includes the following definitions:</p> <ul style="list-style-type: none"> Heritage building (new) Laneway (new) Parapet (no change from exhibited) Public realm (new) Street wall (amended)

Attachment 3 - Table - Changes to the Amendment from exhibition to adoption

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Underlined text signifies a mandatory control

Clause & DDO element	Exhibited DDO	Version of DDO for Adoption	Reason for change
2.1 Definitions (cont.)	<ul style="list-style-type: none"> Building height is the vertical distance from natural ground level to the roof or parapet at any point. <ul style="list-style-type: none"> Building height does not include non structural elements that project above the building height and service equipment including plant rooms, lift overruns, structures associated with green roof areas, screens to service areas or other such equipment provided that all of the following criteria are met: <ul style="list-style-type: none"> The total roof area occupied by the service equipment (other than solar panels) is minimised; The service equipment is located in a position on the roof so as to minimise its visibility; The non structural elements and service equipment do not cause additional overshadowing of neighbouring properties and public spaces; The non structural elements and service equipment do not extend higher than 3.6 metres above the maximum building height; and The non structural elements and service equipment are integrated into the design of the building to the satisfaction of the responsible authority. Parapet height does not include features such as brackets, pediments, urns, finials or other decorative elements. 	<ul style="list-style-type: none"> Street wall means the façade of a building at the street boundary, or if the existing heritage building is set back from the street boundary, the front of the existing building. Street wall height means the height of the street wall measured by the vertical distance between the footpath at the centre of the frontage and the highest point of the building, parapet, balustrade or eaves at the street edge or in the case of a heritage building if it is set back from the street from the centre of the building frontage to the highest point of the building, parapet, balustrade or eaves. Upper level means development above the height of the street wall. Upper level setback means the setback of the upper level measured from the street wall of the building. 	<ul style="list-style-type: none"> Street wall height (new) Upper level (no change from exhibited) Upper level setback (new) <p>Exemptions to building heights relocated to 2.2 General Requirements.</p> <p>The concept of a 1:1 street ratio has been removed from the DDO. Consequently, there is no need to define a term that is not used.</p> <p><i>Building height</i> and <i>setback</i> were removed as they are defined elsewhere in the planning scheme.</p> <p><i>Public realm</i> added to specifically define public realm in the Queens Parade context.</p> <p><i>Heritage building</i>, <i>Laneway</i>, <i>Upper level setback</i> and <i>Parapet</i> were added. They are terms used in the DDO but were not defined. They assist in understanding the requirements. (The same definitions as the adopted Johnston Street DDO, DDO15 were used.)</p>

Attachment 3 - Table - Changes to the Amendment from exhibition to adoption

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Clause & DDO element	Exhibited DDO	Version of DDO for Adoption	Reason for change
2.1 Definitions (cont.)	<ul style="list-style-type: none"> <i>Setback is the shortest horizontal distance from a building, including projections such as balconies, building services and architectural features, to the boundary.</i> <i>Upper level is development above the height of the street wall.</i> 		
2.2 General requirements	<p>Included explanation of mandatory and preferred requirements:</p> <p><i>The following requirements apply to an application to construct a building or carry out works and must be read in conjunction with the relevant precinct design requirements.</i></p> <ul style="list-style-type: none"> <i>A permit cannot be granted to construct a building or carry out works which are not in accordance with the mandatory requirements specified in the relevant Precinct Tables.</i> <i>A permit cannot be granted to construct a building or carry out works which exceeds the preferred building height and setbacks shown in the relevant Precinct Tables unless the following requirements are met, to the satisfaction of the responsible authority:</i> <ul style="list-style-type: none"> <i>The built form outcome as a result of the proposed variation satisfies the general design objectives in Clause 1.0; and</i> <i>The built form outcome as a result of the proposed variation satisfies the relevant requirements specified in this schedule.</i> <p>Also included requirements to retain commercial height ground floors and for street wall heights, vehicle access and upper level setbacks:</p> <ul style="list-style-type: none"> <i>Facades at ground level must be designed with floor to floor ceiling heights suitable to accommodate commercial activity in the Commercial 1 Zone and the Mixed Use Zone.</i> 	<p>Requirements relating to mandatory provisions have been made more explicit and it includes exemptions to building heights (relocated from Definitions), setbacks and upper level setbacks:</p> <p><i>The following requirements apply to an application to construct a building or carry out works and must be read in conjunction with the relevant precinct design requirements.</i></p> <ul style="list-style-type: none"> <i>A permit must not be granted or amended (unless the amendment would not increase the extent of non-compliance) to construct a building or carry out works which exceed the mandatory maximum building height, mandatory maximum street wall height or mandatory maximum street wall setback or are less than the mandatory minimum street wall height or mandatory minimum upper level setbacks specified in the relevant Precinct Tables.</i> <i>A permit must not be granted or amended (unless the amendment would not increase the extent of non-compliance) to construct a building or carry out works which exceeds the preferred building height and setbacks shown in the relevant Precinct Tables unless the following requirements are met, to the satisfaction of the responsible authority:</i> 	<p><i>Title of the clause</i></p> <p>Title of Clause 2.2 was amended from General Design Requirements to General Requirements. The word 'Design' is redundant.</p> <p><i>Operation of mandatory and preferred requirements</i></p> <p>The clause explaining how the mandatory provisions operate was expanded to better describe the mandatory elements of the amendment eg mandatory maximum building heights, mandatory maximum street walls etc.</p> <p><i>Compliance of amendments to permits</i></p> <p>Amendments to permits was added to prevent situations where a person could obtain a permit that complies with the mandatory provisions, and then seek to amend that permit to exceed the mandatory controls (arguing that they do not apply to a permit amendment). The outcome would undermine the mandatory provisions.</p> <p><i>Must and should</i></p> <p>The exhibited DDO16 used the word must in relation to both mandatory and preferred controls. However, where the control was intended to be mandatory, the words 'A permit cannot be granted to construct a building or carry out works if it does not meet this requirement' were included.</p> <p style="text-align: right;">Cont.</p>

Attachment 3 - Table - Changes to the Amendment from exhibition to adoption

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Underlined text signifies a mandatory control

Clause & DDO element	Exhibited DDO	Version of DDO for Adoption	Reason for change									
2.2 General requirements (cont.)	<ul style="list-style-type: none">Development must create a consistent street wall height along the streetscapes.Future vehicle access and services must be provided from a rear laneway or side street where possible.Development must provide setbacks which ensure that upper level additions seen from the public realm are high quality and do not diminish the appreciation of the heritage building and streetscape.Development must avoid repetitive stepped built form at upper levels of development.Unless specified in another table in this schedule, any part of a building adjacent to land in a residential zone must comply with the following: Table to Clause 2.2 boundary wall height and setback requirements for development adjoining a residential zone <table><tr><td></td><td>boundary wall height</td><td>setback</td></tr><tr><td>Common boundary</td><td>5 metres</td><td>45 degrees above boundary wall height</td></tr><tr><td>Laneway interface</td><td>8 metres</td><td>45 degrees above boundary wall height</td></tr></table> <p>NB - DDO used <i>must</i> throughout, even for preferred requirements. Mandatory denoted by <i>must</i> plus the following wording - <i>A permit cannot be granted to construct a building or carry out works if it does not meet this requirement.</i></p>		boundary wall height	setback	Common boundary	5 metres	45 degrees above boundary wall height	Laneway interface	8 metres	45 degrees above boundary wall height	<ul style="list-style-type: none">The built form outcome as a result of the proposed variation satisfies the general design objectives in Clause 1.0.All other relevant requirements specified in this schedule. <p>Architectural features may exceed the preferred or mandatory height.</p> <p>Service equipment / structures including plant rooms, lift overruns, structures associated with green roof areas, screens to service areas or other such equipment may exceed the mandatory or preferred height provided that all of the following criteria are met for the equipment or structure:</p> <ul style="list-style-type: none">Less than 50 per cent of roof area is occupied by the service equipment (other than solar panels).The equipment does not cause additional overshadowing of private open space, Napier Reserve and Queens Parade.The equipment does not extend higher than 3.6 metres above the maximum building height. <p>Projections such as balconies and building services should not intrude into a setback or upper level setback.</p> <p>Specific requirements relating to floor to floor heights, street wall height, vehicle access and upper level setbacks given their own sub-headings in the version of the DDO for adoption (see below).</p>	<p>This approach was taken in response to advice received by Council, which was based on the way the head clause of the Design and Development Overlay is drafted. However, in practice this made the DDO more difficult to understand.</p> <p>DDO16 has been updated and uses <i>must</i> and <i>should</i> to distinguish between mandatory and preferred controls respectively. While there are different opinions on the proper approach, the use of the words <i>must</i> and <i>should</i> in DDO16 was supported by the Panel. Where a clause is mandatory it is followed by the clause, 'A permit cannot be granted to vary this requirement.'</p> <p>Relocation and changes to exemptions to building heights</p> <p>Requirement for service equipment relocated from Definitions, its location in the exhibited version, to this section for clarity.</p> <p>A total roof area was specified to help minimise impact of equipment on roof tops of new buildings.</p> <p>The subjective requirements in the exhibited clause were removed (eg <i>to the satisfaction of the responsible authority</i>) and only measurable parameters included to aid with assessment of compliance.</p> <p>Requirements on ground floors and for street wall heights, vehicle access and upper level setbacks</p> <p>More specific requirements have been removed in the version of DDO for adoption and given their own sub-headings to assist in making the DDO clearer and easier to navigate.</p> <p>Table to Clause 2.2 (Boundary Wall Height and Setback Requirements) was removed, relocated or replaced by updated side and rear setback requirements in each Precinct.</p>
	boundary wall height	setback										
Common boundary	5 metres	45 degrees above boundary wall height										
Laneway interface	8 metres	45 degrees above boundary wall height										

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Clause & DDO element	Exhibited DDO	Version of DDO for Adoption	Reason for change
2.2 General requirements (cont.)		NB - <i>Must</i> used for mandatory requirements and <i>should</i> used for preferred requirements. Where a clause is mandatory it uses <i>must</i> and is followed by the words, 'A permit cannot be granted to vary this requirement.'	
2.3 Street wall height requirements	Not included in the <i>exhibition version</i> .	New sub-clause and heading added New requirement added to guide street wall transition to heritage buildings: <i>Except in Precinct 4, the street wall height should be no higher than the parapet height of a abutting heritage building/s for a minimum length of 6 metres measured from the edge of the heritage building/s.</i>	This requirement was added to deal with situations where the abutting heritage building was lower than the street wall required in the Design Requirements and was seeking a step up or down from the new wall to the abutting heritage wall. The issue was not addressed in <i>exhibited version of the DDO</i> . Panel recommended the addition of the word 'taller', however this is not supported by officers (see Attachment 1 for the reason why this is not supported by officers.)
2.4 Upper levels requirements	Heading not included in the <i>exhibition version</i> . Two requirements addressed upper level development: <ul style="list-style-type: none"> <i>Development must provide setbacks which ensure that upper level additions seen from the public realm are high quality and do not diminish the appreciation of the heritage building and streetscape.</i> <i>Development must avoid repetitive stepped built form at upper levels of development</i> 	New sub-clause and heading added. Combination of relocated requirements and new requirements which address recessive upper levels; ensure side walls are articulated and avoiding a continuous built form at upper levels and recognising contribution made by chimneys, parapets and other architectural features. Requirements now read: <i>Upper level development should:</i> <ul style="list-style-type: none"> <i>Provide setbacks to ensure that upper level additions seen from the public realm do not diminish the appreciation of the heritage building and streetscape.</i> <i>Avoid repetitive stepped built form at upper levels.</i> <i>Be visually recessive.</i> <i>Use materials that are recessive in finish and colour.</i> 	Requirements 1 and 2 (version for adoption) were relocated from 2.2 General Design Requirements. Requirements 4, 5 and 6 (version for adoption) were relocated from Precinct 3 as they are relevant across all precincts, not just Precinct 3. Requirements 7 and 8 (version for adoption) added in response to submissions and expert evidence given at the Panel Hearing on the impacts of balconies and equipment and services. Requirement 3 (version for adoption) was added to require visually recessive upper levels. This was not addressed in the General Requirements of the <i>exhibited DDO</i> . Requirement 9 (version for adoption) was recommended by the Panel to ensure heritage elements such as chimneys and the like are retained through upper level setbacks. This addition is supported by officers and has been included.

Attachment 3 - Table - Changes to the Amendment from exhibition to adoption

Attachment 3

Underlined text signifies a mandatory control

Clause & DDO element	Exhibited DDO	Version of DDO for Adoption	Reason for change
2.4 Upper levels requirements (cont.)		<ul style="list-style-type: none"> – <i>Include articulated side walls, where visible from the public realm, which are designed to reduce the visual impact of the wall and read as part of the overall building design.</i> – <i>Avoid continuous built form at upper levels.</i> – <i>Ensure balconies at upper levels do not dominate the solid façades of heritage street walls</i> – <i>Minimise the visual intrusion of equipment and services.</i> – <i>Protect the contribution made by chimneys, parapets and other architectural features to the fine grained character of the area.</i> 	
2.5 Corner site requirements	Not included in the <i>exhibition version</i> .	<p>New sub-clause and heading added.</p> <p>New requirement added to address street wall on corner sites:</p> <p><i>New development on a corner site with a frontage to Queens Parade should continue the Queens Parade street wall height along the side street, with a transition in height to match the rear interface where required. This requirement does not apply to Napier Street in Precinct 2C, Precinct 5C or to a laneway except where specified. This requirement applies to the laneway abutting 215 Queens Parade in Precinct 5B to a height of 11m.</i></p>	<p>New requirement which addresses gap in the <i>exhibited version</i>.</p> <p>Added in response to submissions about corner sites and expert evidence at the Panel Hearing to address the transition of new development on corner sites and ensure development 'turns' the corner appropriately. Supported by Panel.</p>
2.6 Ground floor requirements	<p>Heading not included in the <i>exhibition version</i>.</p> <p>Requirement ensuring floor to floor heights are suitable for commercial uses:</p> <ul style="list-style-type: none"> ▪ <i>Facades at ground level must be designed with floor to floor ceiling heights suitable to accommodate commercial activity in the Commercial 1 Zone and the Mixed Use Zone.</i> 	<p>New sub-clause and heading added.</p> <p>Retains exhibited requirement about ensuring floor to floor heights are suitable for commercial uses but adds 'Commercial 2 Zone' so it now reads:</p> <ul style="list-style-type: none"> • <i>Facades at ground level should be designed with floor to floor ceiling heights suitable to accommodate commercial activity in the</i> 	<p>Requirement 1 ensuring ground floor development accommodates floor to ceiling heights appropriate for commercial development was amended to address the C22. Exhibited version only included MUZ and CZ1. Commercial floor to floor heights are equally relevant in this zone.</p> <p>Cont</p>

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Attachment 3 - Table - Changes to the Amendment from exhibition to adoption

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Clause & DDO element	Exhibited DDO	Version of DDO for Adoption	Reason for change
2.6 Ground floor requirements (cont.)		<p><i>Commercial 1 Zone, Mixed Use Zone and Commercial 2 Zone.</i></p> <p>Includes the following new requirements on building services at street level and orienting windows, habitable rooms and pedestrian entrances towards the public realm:</p> <ul style="list-style-type: none"> <i>Building services and service cabinets should be located away from the street frontage of heritage facades and they should be designed and located so they complement the street frontage and character and appearance of the heritage building.</i> <i>Windows of commercial premises, habitable rooms, and principal pedestrian entrances should be orientated towards the public realm and contribute to the safety of the adjoining public realm.</i> 	<p>Requirement 2 was added to ensure services do not dominate the street frontage. This was identified during the Panel hearing. Change supported by Panel.</p> <p>Requirement 3 is a new requirement recommended by the Panel around windows and entrances being oriented to the public realm, which addresses a gap in the DDO and will strengthen the interface of development with the public realm.</p>
2.7 Vehicular access, car parking and loading areas requirements	<p>Heading not included in the <i>exhibition version</i>.</p> <p>The following requirement addressed vehicle access:</p> <ul style="list-style-type: none"> <i>Future vehicle access and services must be provided from a rear laneway or side street where possible.</i> 	<p>New sub-clause and heading added.</p> <p>Four new requirements added, in addition to exhibited requirement:</p> <ul style="list-style-type: none"> <i>New vehicle crossovers onto Queens Parade, Brunswick Street and Napier Street should be avoided.</i> <i>Future vehicle access and services must be provided from a rear laneway or side street where possible.</i> <i>Vehicle ingress and egress into development, including loading facilities and building servicing, should ensure a high standard of pedestrian amenity and limit potential conflict between vehicle movements and pedestrian activity.</i> <p>Cont.</p>	<p>Requirement 2, which required future vehicle access and services off a rear laneway or side street where possible, was included in the <i>exhibited version of the DDO</i>.</p> <p>Requirement 1 was proposed in response to urban design advice which noted the exhibited version of the DDO sought to focus access off laneways or side streets but was not explicit about the use of Queens Parade for access.</p> <p>In the Council preferred version of DDO16 presented to Panel, a design requirement which sought the following was added: '<i>New vehicle crossovers onto Queens Parade must be avoided</i>'.</p> <p>This was partly to maximise the efficiency and safety of the arterial roads e.g. Queens Parade and to ensure the historic Queens Parade shopping strip is not dominated by car access points (and further</p>

Attachment 3 - Table - Changes to the Amendment from exhibition to adoption

Attachment 3

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Clause & DDO element	Exhibited DDO	Version of DDO for Adoption	Reason for change
2.7 Vehicular access, car parking and loading areas requirements (cont.)		<ul style="list-style-type: none"> <i>Development on a laneway should include a rear/side setback or a corner splay at ground floor, to facilitate the ongoing functionality of the laneway and allow for building services and car park access.</i> <i>Permanent obstructions within a rear/side setback or splay to a laneway should be avoided.</i> 	<p>promoting a safe and friendly walking environment, reducing conflict points and retaining the historic streetscape).</p> <p>The Panel proposed the addition of Brunswick Street and Napier Street to Design Requirement 1 which seeks to avoid crossovers on Queens Parade. Officers support these additions as Brunswick and Napier Streets are both intact heritage streetscapes and should not be dominated by car access points.</p> <p>Requirement 3 was added in response to submissions concerned about protecting pedestrian amenity and reducing conflicts between cars and people (eg in laneways, side streets and along Queens Parade).</p> <p>Requirements 4 and 5 were added to address issues raised by Council's traffic expert at the Panel hearing.</p> <p>The requirements require a corner splay and that setbacks and splays should be unobstructed. The change will see improved visibility for vehicles to improve safety and access for vehicles, pedestrians and cyclists.</p>
2.8 Heritage design requirements	<p>Included heritage design requirements which apply to:</p> <ul style="list-style-type: none"> Contributory and individually significant buildings Infill buildings and development adjoining a heritage building <p>Requirements addressed <i>Building facades and street frontages</i> and <i>Upper levels behind a heritage street wall</i>:</p> <p><i>Building facades and street frontages</i></p> <p><i>Infill buildings and development adjoining a heritage building</i></p> <ul style="list-style-type: none"> <i>Facade treatments and the articulation of infill buildings on land affected by a heritage overlay</i> 	<p>Retains <i>Building facades and street frontages</i> and <i>Upper level behind heritage street wall</i> in an amended form and adds new requirements to address 'Upper level setbacks' so it now reads:</p> <p><i>Building facades and street frontages</i></p> <p><i>Infill buildings and development adjoining a heritage building:</i></p> <ul style="list-style-type: none"> <i>Facade treatments and the articulation of infill buildings should:</i> <i>be simple and not compete with the more elaborate detailing of nineteenth century buildings</i> 	<p>Changes include:</p> <ul style="list-style-type: none"> Removing superfluous words (eg when the following requirement applies....) and errors (eg repetition of glazing in Design Requirements 3 and 4 in the exhibited version) Renaming <i>Upper level behind heritage street wall</i> to <i>Design of upper levels</i> to make what it covers clearer. <p>Further guidance was added to Heritage Design Requirements following submissions which were concerned that the proposed upper level setbacks, particularly in Precinct 4 would result in the loss of primary roofs and features such as chimneys.</p>

Attachment 3 - Table - Changes to the Amendment from exhibition to adoption

Attachment 3

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Clause & DDO element	Exhibited DDO	Version of DDO for Adoption	Reason for change
2.8 Heritage design requirements (cont.)	<p><i>or immediately adjoining a heritage building must:</i></p> <ul style="list-style-type: none"> <i>ensure façade treatments and the articulation of new development are simple and do not compete with the more elaborate detailing of nineteenth century buildings</i> <i>respect the vertical proportions of the nineteenth and twentieth century facades in the heritage streetscape and/or the adjoining heritage building(s) avoid large expanses of glazing with a horizontal emphasis except to ground floor shopfronts</i> <i>avoid large expanses of glazing with a horizontal emphasis except for ground floor shopfronts avoid the use of unarticulated curtain glazing and highly reflective glass</i> <i>reflect the existing canopy/verandah height of the heritage streetscape and/or adjoining heritage building(s)</i> <p><i>Adaption of contributory or individually significant buildings must:</i></p> <ul style="list-style-type: none"> <i>avoid highly reflective glazing in historic openings</i> <i>encourage the retention of solid built form behind retained facades and avoid balconies behind existing openings</i> <i>maintain the inter-floor height of the existing building and avoid new floor plates and walls cutting through historic openings</i> <p>Upper level behind heritage street wall</p> <p><i>Upper level development on land within a heritage overlay and on land immediately adjoining a heritage building must:</i></p>	<ul style="list-style-type: none"> <i>respect the vertical proportions of the nineteenth and twentieth century facades in the heritage streetscape and/or the adjoining heritage building(s)</i> <i>avoid large expanses of unarticulated curtain glazing, highly reflective glass and glazing with a horizontal emphasis except for ground floor shopfronts</i> <i>reflect the existing canopy/verandah height of the heritage streetscape and/or adjoining heritage building(s)</i> <p><i>Contributory or individually significant buildings must:</i></p> <ul style="list-style-type: none"> <i>maintain existing openings and avoid highly reflective glazing in historic openings</i> <i>encourage the retention of solid built form behind retained facades and avoid balconies behind existing openings</i> <i>maintain the inter-floor height of the existing building and avoid new floor plates and walls cutting through historic openings</i> <p>Design of upper levels</p> <p><i>Upper level development on land within a heritage overlay and on land immediately adjoining a heritage building should:</i></p> <ul style="list-style-type: none"> <i>be visually recessive and not visually dominate the heritage building and the heritage streetscape</i> <i>retain the primacy of the three-dimensional form of the heritage building as viewed from the public realm to avoid 'facadism'</i> <p>Cont.</p>	<p>The new requirements were added to address situations when upper level setbacks beyond the minimum might be required (eg to retain the roof of an individually significant building which is visible from the public realm).</p> <p>The Panel considered the Heritage Design Requirements were not required and repeated policy in Clause 22.02, the decision guidelines in the Heritage Overlay and the Preferred Character Statements in the preferred version of the DDO.</p> <p>The requirements address a gap in the scheme provisions and should be included until such time Clause 22.02 is amended to more comprehensively address industrial, commercial and retail places.</p> <p>Officers recommend the Heritage Design Requirements are retained.</p> <p>Clause 22.02 will be amended by Amendment C269 (Planning Scheme Local Policy rewrite). Officers propose that after Amendment C269 is gazetted, an administrative amendment would be undertaken and the Heritage Design Requirements in this (and other) DDO(s) would be removed.</p>

Attachment 3 - Table - Changes to the Amendment from exhibition to adoption

Attachment 3

Underlined text signifies a mandatory control

Clause & DDO element	Exhibited DDO	Version of DDO for Adoption	Reason for change
2.8 Heritage design requirements (cont.)	<ul style="list-style-type: none"> <i>be visually recessive and not visually dominate the heritage building and the heritage streetscape</i> <i>retain the primacy of the three-dimensional form of the heritage building as viewed from the public realm to avoid 'facadism'</i> <i>utilise visually lightweight materials and finishes that are recessive in texture and colour and provide a juxtaposition with the heavier masonry of the heritage facades</i> <i>incorporate simple architectural detailing that does not detract from significant elements of the heritage building and the heritage streetscape</i> <i>be articulated to reflect the fine grained character of the streetscape</i> 	<ul style="list-style-type: none"> <i>utilise visually lightweight materials and finishes that are recessive in texture and colour and provide a juxtaposition with the heavier masonry of the heritage facades</i> <i>incorporate simple architectural detailing that does not detract from significant elements of the heritage building and the heritage streetscape</i> <i>reflect the fine grained character of the streetscape, fine grained character and subdivision pattern of the streetscape, especially on larger sites.</i> <p>Upper level setbacks</p> <p><i>Upper level setbacks in excess of the minimum mandatory upper level setback should be provided where:</i></p> <ul style="list-style-type: none"> <i>it would facilitate the retention of a roof form and chimneys that are visible from the public realm, or a roof or any feature that the relevant statement of significance identifies as contributing to the significance of the heritage building or streetscape</i> <i>it would maintain the perception of the three-dimensional form and depth of the building</i> <i>a lesser setback would detract from the character of the streetscape when viewed directly or obliquely along Queens Parade.</i> 	

Attachment 3 - Table - Changes to the Amendment from exhibition to adoption

Attachment 3

Underlined text signifies a mandatory control

Clause & DDO element	Exhibited DDO	Version of DDO for Adoption	Reason for change
2.9 Interface to residential properties in NRZ or GRZ	Heading not included in the <i>exhibition version</i> .	<p>New sub-clause and heading added.</p> <p>The following new requirements are included:</p> <ul style="list-style-type: none"> <i>Development should respond to the low scale form of existing development through an appropriate transition in building height and setbacks to ensure reasonable standards of amenity.</i> <i>In Precincts 3 and 4, where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9 am and 3 pm on 22 September. If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced.</i> 	<p>In addition to changes to the side and rear setbacks, specific overshadowing controls were proposed in Precincts 3 and 4 in response to submissions.</p> <p>Submitters were concerned about the impacts of 4, 5 and 6 storey developments on the amenity of their properties to the south of the centre.</p> <p>Both requirements were relocated from Precincts 3 and 4 at the suggestion of the Panel – to reduce repetition.</p> <p>Requirement 1 which requires an ‘<i>appropriate transition to low adjoining low scale residential development</i>’ was supported by the Panel to address the interface with neighbouring residential properties.</p> <p>The purpose of the Requirement 2 is to protect adjoining residential properties from additional overshadowing at the equinox (the accepted urban design standard to apply when assessing overshadowing). The overshadowing requirements mirror ResCode Standards A14 and B21.</p>

Attachment 3 - Table - Changes to the Amendment from exhibition to adoption

Attachment 3

Underlined text signifies a mandatory control

Precinct specific requirements



Requirement ¹	Exhibited DDO	Version of DDO for adoption	Reason for change
Precinct 1			
Preferred character statement	Not included	<p>Preferred character statement inserted:</p> <p><i>Buildings and works should deliver:</i></p> <ul style="list-style-type: none"> <i>Properties fronting Brunswick Street and turning the corner to Queens Parade defined by fine grained low scaled heritage buildings with moderate low rise future infill behind the main heritage frontage, accessed by rear laneways.</i> <i>Visual prominence of the individually significant heritage building on the corner of Brunswick Street and Queens Parade retained.</i> 	<p>Council's preferred version of DDO16 included preferred character statements (a change proposed in response to submissions). They were added to better define the future character sought by the controls.</p> <p>The Panel supported their inclusion but recommended some redrafting to make their intent clearer, read as more positive outcomes and remove repetition. The wording suggested by the Panel has been accepted by officers.</p> <p>Preferred character statement for Precinct 1 seeks to retain the precinct's fine grain low scale heritage buildings and visually prominent corner building at 460 Brunswick Street.</p>
Design requirements	<p>Included:</p> <p><i>Development must:</i></p> <ul style="list-style-type: none"> <i>ensure that upper level development is visually recessive</i> <i>retain the visual prominence of the individually significant corner building that forms the southern gateway to Queens Parade and to Fitzroy North more broadly</i> <i>be low rise</i> <i>reinforce the heritage values of the precinct</i> <i>provide for vehicular access off the laneway</i> 	<p>Design requirements amended and expanded as follows:</p> <p><i>Development in Precinct 1 should:</i></p> <ul style="list-style-type: none"> <i>Ensure low rise additions behind the front sections of the terraced houses of Brunswick Street and Queens Parade respect the prevailing streetscape character and subdivision grain which retain and conserve its heritage values.</i> <p>Cont.</p>	<p>Amended to more clearly define expectations for the design of future buildings.</p> <p>Combines a number of the exhibited requirements in Design Requirements 1 and 2 (ie low rise scale, reinforcing heritage values).</p> <p>The exhibited version did not describe the fine grain character of the heritage buildings either side of the prominent corner building. This concept has been added.</p> <p>The gateway concept was deleted. Was potentially in conflict with low scale heritage character.</p>

¹ Requirements in Table 1 have been amended in the version for adoption to specify whether the requirement is for a maximum or minimum or both eg Maximum street wall height, Minimum upper level setback etc. In addition, the format of the table has also been standardised eg removing the word maximum / minimum for most metrics and describing specific locations or sites eg 460 Brunswick Street – 6m.

Attachment 3 - Table - Changes to the Amendment from exhibition to adoption

Attachment 3

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Requirement ¹	Exhibited DDO	Version of DDO for adoption	Reason for change
Design requirements (cont.)		<ul style="list-style-type: none"> Ensure that upper level elevations are high quality, visually recessive and enhance the appreciation of the heritage building at 460 Brunswick Street. <p>Removed references to limiting amenity impacts and requiring vehicular access off the laneway.</p>	The Panel considered requiring vehicular access off the laneway is dealt with by the Design Objectives and General Requirements. This has been deleted.
Map 1	<p>Included</p> 	<p>Included but amended:</p> <p>Precinct number changed from 1B to 1</p> 	Precinct number was confusing. 1A was outside the DDO area. Renumbered to make clearer.
Table 1	<p>Table separated requirements into:</p> <ul style="list-style-type: none"> Development at and adjoining 460 Brunswick Street Lot 1 on Title plan TP806921 (a lot on the laneway to the rear) and remainder of the Precinct. 	The two tables have been amalgamated into one and now include the requirements for 460 Brunswick Street, Lot 1 on Title plan TP806921 and remainder of the Precinct.	<p>Table amalgamated in version for adoption for ease of reading.</p> <p>Term 'Development at and adjoining 460 Brunswick Street' was potentially confusing as the whole corner lot is known as 460 Brunswick Street (land including the heritage building and vacant sites which abut it.)</p>
Maximum street wall height	<p>Requirement stated:</p> <p><u>460 Brunswick Street & adjoining development - Match parapet height of 460 Brunswick Street</u></p> <p>Elsewhere – <u>Retain existing, match the parapet or eaves height of taller adjacent heritage building</u></p>	<p>Requirement amended to state:</p> <p><u>460 Brunswick Street - Match the tallest parapet height of the existing heritage building</u></p> <p><u>Elsewhere – Retain the height of the existing heritage street wall</u></p>	<p>460 Brunswick Street - Requirements amended to clarify that the taller part of the building is the height which should be matched. Building has both a two storey and single street wall.</p> <p>Elsewhere – Simplified based on heritage advice. Exhibited version was confusing.</p>

Attachment 3 - Table - Changes to the Amendment from exhibition to adoption

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Requirement ¹	Exhibited DDO	Version of DDO for adoption	Reason for change
Maximum and minimum street setback	Requirement (described as 'Maximum street setback') stated: <i>460 Brunswick Street & adjoining development - Built to boundary at ground level</i> <i>Elsewhere – <u>Retain existing</u>, match the parapet or eaves height of taller adjacent heritage building</i>	Requirement now described as 'maximum and minimum street setback' and amended to state: <i><u>460 Brunswick - Match the setback of the existing heritage building</u></i> <i>Elsewhere - should not be less than the setback of an adjacent heritage building</i>	460 Brunswick Street – Changed to ensure any new building on the site matches the existing setback. Made mandatory as building alignment to the street is a key element of this important corner and building. Elsewhere – Exhibited requirement was not clear. Requirements for street wall height and front setback were grouped together in exhibited version of the DDO making the controls difficult to understand. Separated to make the requirements easier to read. Supported by Panel.
Minimum upper level setback	Requirement stated: <u>460 Brunswick Street - 5m</u> Elsewhere – 6m from facade	Requirement amended to 6m mandatory for entire precinct	The increase from 5 to 6 metres makes the setback consistent with the rest of the precinct and other upper level setbacks along Queens Parade. Requirement made mandatory for entire precinct to achieve consistency and a clear visual separation between the heritage street wall and building behind. Supported by Panel.

Requirement ²	Exhibited DDO	Version of DDO for adoption	Reason for change
Precinct 2			
Preferred character statement	Not included	Preferred character statement inserted: <i>Buildings and works should deliver:</i> <ul style="list-style-type: none"> <i>A preferred location for housing and employment growth with well designed mid-rise development that complements the Queens Parade through a transition in scale to the Gas Works site.</i> 	Council's preferred version of DDO16 included preferred character statements (a change proposed in response to submissions). They were added to better define the future character sought by the controls. The Panel supported their inclusion but recommended some redrafting to make their intent clearer, read as more positive outcomes and remove

² Requirements in the Table 2 were amended in the version for adoption to specify whether the requirement was for a maximum or minimum or both eg Maximum street wall height, Minimum upper level setback etc. In addition the format of the table has also been standardised eg removing the word maximum / minimum for most metrics and describing specific locations or sites eg Napier Street – 10m.

Attachment 3 - Table - Changes to the Amendment from exhibition to adoption

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Requirement ²	Exhibited DDO	Version of DDO for adoption	Reason for change
Preferred character statement (cont.)		<ul style="list-style-type: none"> <i>Development that complements the visual contribution of the double avenue of trees along the south western part of Queens Parade.</i> <i>Precinct 2A – Mid rise infill behind a distinct moderne heritage frontage that addresses Queens Parade and its heritage context and responds to the sensitivity of the interface with abutting low scale fine grained residential uses to the north and west.</i> <i>Precincts 2B and 2C – A vibrant and attractive mid-rise business area that addresses Napier Street, Queens Parade and George Street with a mix of innovative new architecture and heritage buildings to accommodate a wide range of commercial development and employment opportunities.</i> 	<p>repetition. The wording suggested by the Panel has been accepted by officers.</p> <p>Preferred character statement for Precinct 2 seeks to:</p> <ul style="list-style-type: none"> Recognise the sub-precinct's role in terms of growth Emphasise the presence of the avenue of trees within Queens Parade Describe the distinct character / outcomes sought for the three sub-precincts.
Design requirements	<p>Included:</p> <p><i>The design requirements for Precinct 2 are as follows:</i></p> <p><i>Development must:</i></p> <ul style="list-style-type: none"> <i>not diminish or detract from the heritage values of the boulevard streetscape, the heritage street wall and the heritage trees along Queens Parade.</i> <i>deliver an appropriate interface arrangement to neighbouring properties and minimise visual bulk and mass when viewed from the adjoining properties.</i> <i>avoid a repetitive stepped form within the 45 degree angle profile.</i> <p><i>Development in Precinct 2A must also:</i></p> <ul style="list-style-type: none"> <i>ensure projections above the street wall are not dominant in the skyline when viewed</i> 	<p>Sub-Precinct 2D renumbered to Sub-Precinct '2B'.</p> <p>Design requirements amended and expanded as follows:</p> <p><i>Development in Precinct 2 should:</i></p> <ul style="list-style-type: none"> <i>Respect the heritage values of the boulevard streetscape, the heritage street wall and the heritage trees along Queens Parade.</i> <i>Ensure adequate solar access is provided to Queens Parade and Napier Street Reserve at the equinox from 9am to 3pm.</i> <p><i>Development in Precinct 2A should:</i></p> <ul style="list-style-type: none"> <i>Provide an interface to neighbouring residential properties that minimises visual bulk and mass and provides building separation along side and rear boundaries abutting existing properties.</i> 	<p>Amended to more clearly define expectations for the design of future buildings.</p> <p>Precinct 2</p> <p>Panel recommended rewording Design Requirement 1 to frame it in positive language.</p> <p>Design Requirement 2 (in the version for adoption) seeking to retain solar access to Queens Parade and Napier Street was relocated from solely applying to Precinct 2A. It applies to all three sub-precincts as they all have the potential to overshadow.</p> <p>Precinct 2A</p> <p>The Panel also recommended moving Design Requirements 2 and 3 (in the exhibited version) to apply only to Precinct 2A. Both these recommendations are supported by officers.</p> <p>The Panel proposed the deletion of Design Requirement 4 to ensure projections above the street wall do not dominate the skyline when viewed from</p>

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Requirement ²	Exhibited DDO	Version of DDO for adoption	Reason for change
Design requirements (cont.)	<p><i>from the north side of Newry Street and of Coleman Street and the WT Peterson Oval, the Fitzroy Grandstand and other locations in the southern part of Edinburgh Gardens.</i></p> <ul style="list-style-type: none"> • <i>ensure adequate solar access is provided to the Queens Parade boulevard and Napier Street Reserve at the equinox from 9am-3pm.</i> • <i>maintain the prominence and significance of the art deco facade.</i> • <i>recognise the low scale, buildings and fine grain subdivision pattern of existing development to the north and west.</i> • <i>encourage pedestrian permeability within and through the precinct.</i> <p><i>Development in Precincts 2C and 2D must also:</i></p> <ul style="list-style-type: none"> • <i>maintain the prominence of heritage buildings along Napier Street when viewed from Napier Reserve.</i> • <i>be appropriately setback at upper levels from the heritage buildings along Napier Street.</i> • <i>provide an appropriate transition in scale from the heritage buildings along Napier Street and Alexandra Parade.</i> • <i>provide vehicular access from laneways</i> • <i>provide building separation to reduce visual bulk</i> 	<ul style="list-style-type: none"> • <i>Maintain the prominence and significance of the art deco facade.</i> • <i>Retain, enhance and incorporate the existing heritage facade into the redevelopment of the site and to create a consistent parapet height along the streetscape.</i> • <i>Recognise the low scale, buildings and fine grain subdivision pattern of existing development to the north and west.</i> • <i>Encourage pedestrian permeability within and through the precinct.</i> • <i>Avoid a repetitive stepped form within the 45 degree angle profile.</i> • <i>Ensure development above the street wall is designed as a series of separate development parts with building separation to enable views to the sky.</i> <p><i>Development in Precincts 2B and 2C should:</i></p> <ul style="list-style-type: none"> • <i>Provide an appropriate transition in scale from the heritage buildings in Precinct 2B to new built form in Precinct 2C and the higher development form of the Gas Works site.</i> • <i>Create a new commercial frontage to George Street to form an active edge complementary to the proposed Gasworks redevelopment.</i> 	<p>Edinburgh Gardens and other surrounding locations in the exhibited version. The Panel noted the matter had been considered by VCAT (P2079/2016), where the Tribunal noted that a building less than 31 metres tall would not interfere with long range views to the Edinburgh Gardens. Officers note this is a mandatory height control which cannot be exceeded. The requirement is therefore redundant.</p> <p>Relocates the building separation requirement from General Requirements for Precinct 2 to Precinct 2A.</p> <p><u>Precincts 2B and 2C</u> (Sub-Precinct 2D in the exhibited version was renumbered 2B)</p> <p>The exhibited design requirements did not provide explicit guidance on the built form of these sub-precincts. They instead focused on the heritage buildings fronting Napier Street. New requirements were added providing guidance on the transition in scale across the site and also on creating a new commercial frontage George Street reflecting the pattern of development proposed on the Gasworks site opposite.</p> <p>The other changes clarify requirements and remove repetition that repeats general and vehicular access requirements.</p> <p>Access and separation between buildings is addressed in the Design Objectives and General Requirements and also the specific sub-precinct Design Requirements.</p> <p>The transition in scale is addressed in the Preferred Character Statement and through the street wall and overall building heights.</p> <p>The prominence of heritage buildings on Napier Street is addressed in the Design Objectives and General Design Requirements.</p>

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Requirement ²	Exhibited DDO	Version of DDO for adoption	Reason for change
Precinct 2B			
Maximum street wall height	Requirement stated: <u>Retain existing parapet height</u>	Requirement amended to read: <u>Napier Street - Retain existing parapet height</u>	Revised to apply just to Napier Street because the street wall of the double storey terraces is the element that should remain prominent and it only fronts Napier Street.
Minimum rear setback	Not specified	The following requirement inserted: <i>4.5m from centreline of laneway for height of the entire building</i>	Rear setbacks introduced to address a gap in the <i>exhibited DDO</i> . Separation distances were provided for on the adjoining sub-precinct, Sub-Precinct 2C but in 2B. A 4.5m separation distance from the centreline of the laneway in the version for adoption will help to provide building separation and amenity and provide additional land at ground level for access. Panel supported the option above proposed by Council's urban design expert.
Precinct 2C			
Maximum street wall height	Requirement stated: <i>Queens Parade, George Street and Alexandra Parade - 18m</i> <i>Napier Street - should not exceed the parapet height of the adjoining heritage buildings</i>	Requirement relating to Napier Street amended and made mandatory so it now reads: <i>Queens Parade, George Street and Alexandra Parade - 18m</i> <u>Napier Street - 10m</u>	The <i>exhibited DDO</i> required the street wall in Napier Street to match the two storey heritage terraces on Napier Street. However, a higher height and poor transition could have undermined the heritage values of Napier street streetscape and the terraces. To provide more certainty and strengthen the heritage outcomes, a mandatory maximum street wall height of 10m (down from 18m) is proposed in the <i>version of DDO for adoption</i> . This was supported by the Panel. There is no change proposed to remainder of precinct.
Minimum upper level setback	Requirement stated: <i>5m</i>	Requirement amended and made mandatory so it now reads: <u>Napier Street - 6m</u> <i>Elsewhere - 6m</i>	Changed to 6 metres to be consistent with other upper level setbacks applied across the DDO (excepting Precinct 4). The mandatory control on Napier Street ensures consistency with the mandatory upper level setback that applies to 2B and the Napier Street heritage buildings. This was supported by the Panel.

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Requirement ²	Exhibited DDO	Version of DDO for adoption	Reason for change
Minimum side and rear setbacks	Requirement stated: <i>Setback(s) from boundary of 472-484 Napier St – Setback within a 45° line measured from 12m Elsewhere - ResCode B17</i>	Requirement amended to read: <u>Rear setback:</u> 4.5m from centreline of laneway for height of the entire building <u>Side setback:</u> For upper levels, where a habitable room window is proposed: <ul style="list-style-type: none"> 4.5 metres from the common boundary or from the centre line of the laneway. For upper levels, where a non-habitable room window or commercial window is proposed: <ul style="list-style-type: none"> 3 metres from the common boundary or the centre line of the laneway 	The <i>exhibited DDO</i> includes a side and rear setback according to B17 and at 45° above a 12m height behind the Precinct 2B heritage terraces. This is unnecessarily restrictive, especially in a non-residential area. Side and rear setback requirements amended to provide building separation (to align with Precinct 2B – see above) and to provide a level of amenity for office workers in the commercial building. Approach was supported by the Panel.

Requirement ³	Exhibited DDO	Version of DDO for adoption	Reason for change
Precinct 3			
Preferred character statement	Not included	Preferred character statement inserted: <i>Buildings and works should deliver:</i> <ul style="list-style-type: none"> An attractive mixed use area comprising residential and commercial uses with active frontages to the street that retains the primacy of the St John's Church landmark and views to its belfry and spire. New development that articulates the higher profile of the corner of Queens Parade and Smith Street, relative to its immediate surroundings. Intact streetscape on Smith Street retained with new development set back from the 	Council's preferred version of DDO16 included preferred character statements (a change proposed in response to submissions). They were added to better define the future character sought by the controls. The Panel supported their inclusion but recommended some redrafting to make their intent clearer, read as more positive outcomes and remove repetition. The wording suggested by the Panel has been accepted by officers. Preferred character statement for Precinct 3 seeks to: <ul style="list-style-type: none"> Describe the built form and land uses sought for the precinct – including reinforcing the

³ Requirements in Table 3 were amended in the version for adoption to specify whether the requirement was for a maximum or minimum or both eg Maximum street wall height, Minimum upper level setback etc. In addition the format of the table has also been standardised eg removing the word maximum / minimum for most metrics and describing specific locations or sites eg 41 Queens Parade – 11m.

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Requirement ³	Exhibited DDO	Version of DDO for adoption	Reason for change
Preferred character statement (cont.)		<p><i>façade and designed to complement the Victorian era buildings and street wall.</i></p> <ul style="list-style-type: none"> <i>Provide an effective transition provided to the residential areas to the south and east.</i> 	<p>important corner and retaining the intact streetscape on Smith Street</p> <ul style="list-style-type: none"> Reinforce views to the significant landmark of St John's Church Recognise the sensitive residential interfaces to the south and the east. Describe the distinct character / outcomes sought for the two sub-precincts.
Design requirements	<p>Included:</p> <p><i>The design requirements for Precinct 3A are as follows:</i></p> <ul style="list-style-type: none"> <i>Development must maintain views of the belfry and spire of St John's church and maintain clear sky between the belfry and spire and new development when viewed from the centre of the footpath on the south-east corner of the intersection with Queens Parade and Smith Street. A permit cannot be granted to construct a building or carry out works if it does not meet this requirement.</i> <p><i>Development must</i></p> <ul style="list-style-type: none"> <i>achieve a consistent street wall height along Queens Parade, extending along Smith Street.</i> <i>respond to the low scale form of existing development outside Precinct 3 on Hodgkinson Street through an appropriate transition in building height.</i> <i>recognise the fine grain character of heritage streetscapes and minimise the dominance of wide building frontages.</i> <i>deliver high quality architectural detailing that respects the heritage qualities of Queens Parade and Smith Street.</i> 	<p>Design requirements amended and expanded as follows:</p> <p><i>Development in Precinct 3 should:</i></p> <ul style="list-style-type: none"> <i>Create a consistent street wall that maintains the prominence of the heritage street wall in the streetscape.</i> <i>Reflect the fine grain character of heritage streetscapes and minimise the dominance of wide building frontages.</i> <i>Deliver high quality architectural detailing that respects the heritage qualities and rhythms of Queens Parade and Smith Street.</i> <i>Provide an interface with neighbouring residential properties on Hodgkinson Street that minimises visual bulk and mass and provides building separation along side and rear boundaries abutting existing properties.</i> <p><u>Development in Precinct 3A must:</u></p> <ul style="list-style-type: none"> <u>Maintain views of the belfry and spire of St John's church and maintain clear sky between the belfry and spire and new development when viewed from the pedestrian refuge on the south-west corner of the intersection with (see Map 3). A permit cannot be granted to vary this requirement.</u> 	<p>Precinct 3</p> <p>Design Requirement 1 (version for adoption) – Based on Design Requirement 2 in the exhibited version. Added in the concept of maintaining the prominence of the heritage street wall.</p> <p>Design Requirements 2 and 3 (version for adoption) – Minor changes – addition of words and 'rhythms' recommended by the Panel for Design Requirement 3.</p> <p>Design Requirement 4 was an addition recommended by the Panel to ensure development responds appropriately to the sensitive interface with neighbouring residential properties on Hodgkinson Street by minimising visual bulk and mass and providing adequate building separation for side and rear boundaries abutting existing properties. Noting Design Requirement 2 in the exhibited version which requires development to transition and respond to the low scale of development in Hodgkinson Street was relocated to new <i>Clause 2.9 – Interface to residential properties in NRZ and GRZ.</i></p> <p>The remaining Design Requirements in the exhibited version which deal with upper level setbacks have been relocated to <i>Clause 2.4 Upper level setbacks</i> (refer to Clause 2.4 above).</p>

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Requirement ³	Exhibited DDO	Version of DDO for adoption	Reason for change
	<ul style="list-style-type: none"> <i>maintain the prominence of the heritage street wall in the streetscape and the vista along Queens Parade.</i> <i>ensure that upper level development is visually recessive and does not detract from the heritage streetscape.</i> <i>use materials at upper levels that are recessive in finish and colour.</i> <i>be designed so that side walls are articulated and read as part of the overall building design.</i> <i>avoids continuous built form at upper levels.</i> 	<p><i>Development in Precinct 3A should:</i></p> <ul style="list-style-type: none"> <i>Emphasise the corner of Queens Parade and Smith Street with a higher street wall and distinct architectural treatments.</i> <p><i>Development in Precinct 3B should:</i></p> <ul style="list-style-type: none"> <i>Reinforce the traditional street wall on Smith Street.</i> <i>Ensure that upper level development is visually recessive to complement the heritage streetscape.</i> 	<p>Cont.</p> <p><u>Precinct 3A</u></p> <p>Design Requirement 5 (in the adopted version) was updated during the Panel hearing. Retaining the key views of the spire and belfry of St Johns Church was supported by the Panel however discrepancies were found in the viewing points between Council's exhibited version, the preferred version recommended to Panel and photos in the GJM Heritage Report. This was the subject of an accompanied site visit during the Panel hearing. The Panel agreed with Council's revised viewing point. The Panel recommended the interpretation of the key view point should not rely on a written description of the key viewpoint, instead specifying the viewpoint shown on Map 3 as defined by Council within tolerances of one metre. The map has been updated to show footpath and traffic islands to assist in locating the viewing point.</p> <p>Design Requirement 6 (in the adopted version) was added as the concept of higher built form reinforcing on the corner of Queens Parade and Smith Street was a gap in the requirements (It was implemented in the street wall heights via a higher street wall for that corner). Noting the Panel recommended an increase in height for the corner building will facilitate a taller element on the corner of Queens Parade and Smith Street). This is accepted by officers (see below). The Panel recommended the addition of '<i>and distinct architectural treatments</i>'.</p> <p><u>Precinct 3B</u></p> <p>Design Requirements 7 and 8 (in the adopted version) were proposed following submissions and recommended by Council in its preferred version of the DDO.</p>

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Requirement ³	Exhibited DDO	Version of DDO for adoption	Reason for change
			<p>Cont.</p> <p>The changes reinforce the heritage street wall and seek to ensure upper level development is recessive and reflect the changes to building heights proposed through the splitting of Precinct 3 to recognize the intact heritage streetscape along Smith Street. Design Requirement 8 was rewritten at the recommendation of the Panel to frame the requirement in the positive.</p>
Map 3	<p>Included</p> 	<p>Amended to:</p> <ul style="list-style-type: none"> Only show area affected by DDO Split Precinct 3 into two sub-precincts Reduce heights in new Precinct 3B Update viewing position to St John's Church 	<p>Precinct 3 was split into two sub-precincts. This reflects the difference in character between the two areas. Precinct 3A includes the Queens Parade and Smith Street corner and other properties fronting Queens Parade. Precinct 3B is comprised of the heritage shops that face Smith Street. The map was also amended to show the reduced height in Precinct 3B (reduced from 18 metres to 14 metres) (refer below to Precinct 3B – Maximum building heights).</p> <p>The map in the <i>exhibited DDO</i> included the wider precinct identified by Hansen in the background work which informed the DDO but it included land not affected by the DDO. The precinct shown now only includes land in the DDO.</p> <p>The map also updates and clarifies the viewing point for view to the spire and belfry of St John's (refer above to Design Requirements.)</p>
Precinct 3A			
Maximum building height	<p>Requirement stated:</p> <p><i>18 metres</i></p>	<p>Requirement remains <u>18 metres</u> but made mandatory</p>	<p>Mandatory control introduced to respond to the heritage characteristics of this precinct and provide greater certainty for residents to the south in Hodgkinson Street whose properties would be</p>

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Requirement ³	Exhibited DDO	Version of DDO for adoption	Reason for change
			<p>affected by any redevelopment of properties in Precinct 3.</p> <p>Mandatory provisions are an important tool that will assist in limiting visual bulk for abutting neighbours while recognising the capacity of Precinct 3A to accommodate intensification. This was supported by the Panel.</p>
Maximum street wall height	<p>Requirement stated:</p> <p><u>15-33 Queens Parade – 11m</u></p> <p><u>Retain height of existing heritage façade</u></p> <p><u>Development adjoining a heritage building must match the parapet height of adjacent taller heritage building</u></p> <p><u>Elsewhere – 14m</u></p>	<p>Requirement amended to read:</p> <p><u>15-33 & 41 Queens Parade - 11m</u></p> <p><u>35-37 Queens Parade - retain height of existing heritage façade</u></p> <p><u>Elsewhere 14m</u></p> <p><u>For 6m either side of Smith Street and Queens Parade – 17m</u></p>	<p>Street wall heights were redrafted for greater clarity. The requirements provide for a variation in street wall heights which reflect the varying conditions and greater development potential on some of the larger sites.</p> <p>The Panel recommended a taller element of 17m be introduced on the corner of Smith Street and Queens Parade and the street wall should continue for a length of 6m either side of the corner.</p> <p>The taller element will make the corner more prominent in the streetscape.</p> <p>The street wall height of 41 Queens Parade has been reduced as a 14-metre street wall that extended to the northern edge of the Precinct would not create an effective transition to the adjoining residential area.</p> <p>The issue of matching heights has been relocated to Clause 2.3 Street wall height, noting it does not refer to matching heights to the taller building (refer to Clause 2.3 Street wall height).</p>
Minimum upper level setback	<p>Requirement stated:</p> <p><u>15-41 Queens Parade - 6m</u></p> <p><u>Elsewhere - 6m</u></p>	<p>Requirement amended to <u>6m</u> (mandatory) for the entire Sub-Precinct</p>	<p>As exhibited, the mandatory control did not apply to the corner sites 1-15 Queens Parade or 664-670 Smith Street. (Noting the corner site now has a higher street wall height than exhibited – see above.)</p> <p>The setback is now mandatory across the precinct. It provides an appropriate separation between the street wall and the new development above and behind it.</p> <p>This was supported by the Panel.</p>

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Requirement ³	Exhibited DDO	Version of DDO for adoption	Reason for change
Minimum rear setback	Requirement stated: <i>45° above 8m from rear boundary to a laneway</i> <i>45° above 5m from rear boundary (no laneway)</i>	Requirement amended to read: <i>Where there is a laneway - height and setbacks as shown in Figure 1</i> <i>Where there is no laneway - height and setbacks as shown in Figure 2</i> NB – Figures 1 and 2 are located at the end of the DDO following <i>Decision Guidelines</i> .	The amended rear setbacks in the version for adoption are similar to ResCode B17 but modified to accommodate commercial height ground floors. They offer a better amenity outcome at the rear interface with adjoining residential properties. Where there is no laneway, Figure 2 effectively provides a setback at ground level that offers the separation that a laneway would otherwise provide. The Panel accepted that potential privacy and overshadowing issues are of greater concern where there is no laneway. The Panel considers the provision of three-metre separation as envisaged in the final DDO16 will assist reducing the additional sensitivity. The Panel notes this has been applied in other municipalities (Stonnington, Darebin and Moreland).
Minimum side setback	Requirement stated: <i>If adjoins NRZ - ResCode B17</i> <i>Elsewhere - 0m</i>	Requirement amended to read: <i>If side boundary adjoins NRZ and abuts an existing boundary wall:</i> – <i>0m to a height of 8m</i> – <i>45° above 8m</i> <i>Elsewhere - 0m</i>	Council's urban design expert identified the B17 side setback (in the <i>exhibited DDO</i>) only affects 41 Queens Parade and would produce a gap in the frontage between the neighbouring two storey dwelling. The requirement was amended based on this urban design advice and supported by the Panel.

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Requirement ³	Exhibited DDO	Version of DDO for adoption	Reason for change
Precinct 3B			
Maximum building height	Requirement stated: <i>18m</i>	Requirement amended to 14m (mandatory)	Height in Precinct 3B reduced to reflect the intact heritage streetscape and heritage fabric in the precinct. The reduction in height and the application of a mandatory height was supported by the Panel. The Panel considered this approach should ensure development fronting Smith Street (in Precinct 3B) responds to the consistent two-storey terrace of the largely heritage buildings.
Maximum street wall height	Requirement stated: <u><i>Retain height of existing heritage façade.</i></u> <u><i>Development adjoining a heritage building must match the parapet height of adjacent taller heritage building.</i></u>	Requirement amended to delete the text relating to development adjoining a heritage building, so it now reads: <u><i>Retain height of existing heritage façade</i></u>	Text relating to adjoining a heritage building removed because the new text at Clause 2.3 addresses this issue (refer to Clause 2.3 Street wall height).
Minimum upper level setback	Requirement stated: <u><i>664 Smith Street (former Fire Station) - 6m</i></u> <i>Elsewhere - 6m</i>	Requirement amended to <u>6m</u> (mandatory) for the entire Sub-Precinct	The setback is now mandatory across the precinct. It provides an appropriate separation between the heritage streetscape and the new development above and behind it. This was supported by Panel. This approach, coupled with a 14 metre mandatory height and retention of the heritage street wall seeks to ensure development fronting Smith Street (in Precinct 3B) responds to the consistent two-storey terrace of the largely heritage buildings.
Minimum rear setback	Requirement stated: <i>45° above 8m from rear boundary to a laneway</i> <i>45° above 5m from rear boundary (no laneway)</i>	Requirement amended to read: <i>Where there is a laneway - height and setbacks as shown in Figure 1</i> <i>Where there is no laneway - height and setbacks as shown in Figure 2</i> NB – Figures 1 and 2 are located at the end of the DDO following <i>Decision Guidelines</i> .	The amended rear setbacks are similar to ResCode B17 but modified to accommodate commercial height ground floors. They were amended in response to submissions to offer a better amenity outcome at the rear interface with adjoining residential properties.

Cont.

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Requirement ³	Exhibited DDO	Version of DDO for adoption	Reason for change
			Where there is no laneway, Figure 2 effectively provides a setback at ground level that offers the separation that a laneway would otherwise provide (refer to <i>2.9 Interface to residential properties in NRZ or GRZ</i>).
Minimum side setback	Requirement stated: <i>If adjoins NRZ, ResCode B17</i> <i>0m elsewhere</i>	Requirement deleted	Side setback requirement not required in this precinct as there are no side boundaries to residential properties – only rear boundaries.

Requirement ⁴	Exhibited DDO	Version of DDO for adoption	Reason for change
Precinct 4			
Preferred character statement	Not included	Preferred character statement inserted: <i>Buildings and works should deliver:</i> <ul style="list-style-type: none"> <i>A unique and vibrant Victorian era shopping strip which forms the retail and activity focus of Queens Parade building on its distinctive heritage qualities.</i> <i>Development that complements the scale of heritage buildings and the patterns and rhythms of heritage features.</i> <i>Upper level infill that reinforces the prevailing street wall and subdivision grain of significant streetscapes and transitions to residential abutments to the rear.</i> <i>Well designed building frontages and public realm that reinforce the pedestrian</i> 	Council's preferred version of DDO16 included preferred character statements (a change proposed in response to submissions). They were added to better define the future character sought by the controls. The Panel supported their inclusion but recommended some redrafting to make their intent clearer, read as more positive outcomes and remove repetition. The wording suggested by the Panel has been accepted by officers. Preferred character statement for Precinct 4 seeks to: <ul style="list-style-type: none"> Recognise the centre as a vibrant retail shopping strip

⁴ Design requirements in Table 4 were amended in the version for adoption to specify whether the requirement was for a maximum or minimum or both eg Maximum street wall height, Minimum upper level setback etc. In addition the format of the table has also been standardised eg removing the word maximum / minimum for most metrics and describing specific locations or sites eg south side of Queens Parade between Gold and Tumbull Streets - 14 metres.

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		<p><i>experience of this part of Queens Parade as and the central hub for the local community</i></p> <ul style="list-style-type: none"> <i>Development that retains the prominence of the former ANZ Building.</i> 	<ul style="list-style-type: none"> Recognise its heritage qualities and ensure development complements this Ensure development creates a high quality public realm and pedestrian experience Recognise the prominence of the ANZ Building.
Design requirements	<p>Included:</p> <p><i>The design requirements for Precinct 4 are as follows:</i></p> <ul style="list-style-type: none"> <i><u>Development must protect and maintain key view lines and visual prominence of the former ANZ Building from the south-west and north-east, in particular to the upper floor, roof form and chimneys. A permit cannot be granted to construct a building or carry out works if it does not meet this requirement.</u></i> <p><i>Development must:</i></p> <ul style="list-style-type: none"> <i>retain the visual prominence of heritage buildings, their street wall and significant 'High Street' streetscapes when viewed from the opposite side of Queens Parade.</i> <i>facilitate the appropriate mid rise infill of the sites located to the rear of commercial properties fronting Queens Parade.</i> <i>retain the visual prominence of the return facades of buildings that front Queens Parade, Delbridge, Gold and Michael Streets.</i> <i>ensure that facades at ground floor incorporate verandahs which are consistent with the form and scale of adjoining verandahs.</i> <i>retain chimneys visible from the public realm.</i> 	<p>Design requirements amended and expanded as follows:</p> <p><u>Development in Precinct 4 must:</u></p> <ul style="list-style-type: none"> <u>Protect and maintain key view of the former ANZ Building from the south-west and north-east, in particular to the upper floor, roof form and chimneys. A permit cannot be granted to vary this requirement.</u> <p><i>Development in Precinct 4 should:</i></p> <ul style="list-style-type: none"> <i>Respect the consistent scale, grain, rhythm and architectural quality of the highly intact heritage streetscapes and the heritage buildings in the precinct.</i> <i>Retain the visual prominence of heritage buildings, their street wall and heritage streetscapes when viewed from the opposite side of Queens Parade.</i> <i>Facilitate the appropriate low rise infill of the sites located to the rear of commercial properties fronting Queens Parade.</i> <i>Ensure that any upper level development is set back from the heritage façade, is visually recessive and does not detract from the heritage streetscape.</i> <i>Retain the visual prominence and heritage fabric of the return facades of buildings that front Queens Parade, Delbridge, Gold, Michael and Wellington Streets.</i> <i>Ensure that facades at ground floor incorporate verandahs which are consistent</i> 	<p>Design Requirement 1 (version for adoption) – Minor changes made to clause which makes the requirement mandatory.</p> <p>Design Requirement 2 (version for adoption) – New requirement added in response to submissions to recognize the intact streetscape and its buildings. Panel recommended the addition of the concept of 'rhythm' – an important element of the street.</p> <p>Design Requirement 3 (version for adoption) – Removes concept of significant high street streetscape. (Refer to <i>Minimum upper level setback - Queens Parade</i> below for further details.)</p> <p>Design Requirement 4 – Mid rise scale was changed to low rise scale to recognize the change in heights in this precinct from six storeys as exhibited to the three and four storeys recommended for adoption.</p> <p>Design Requirement 5 (version for adoption) – Added in response to submissions concerned about the impacts of development on heritage fabric and the streetscape. Upper level setbacks were also increased from 6 metres to 8 metres in response to this issue.</p> <p>Design Requirement 6 (version for adoption) – Wellington Street (a key corner of the centre) was omitted in the exhibition version.</p> <p>Added to correct this. Panel recommended the addition of 'heritage fabric' to this requirement. This is supported as these are corner sites house key heritage buildings.</p>

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Requirement ⁴	Exhibited DDO	Version of DDO for adoption	Reason for change
	<ul style="list-style-type: none"> enhance the amenity and safety of laneways that provide pedestrian and vehicular access to buildings. respect the low scale, fine grain subdivision pattern of existing development on Hodgkinson Street and McKean Street. 	<p>with the form and scale of adjoining verandahs.</p> <ul style="list-style-type: none"> Retain chimneys visible from the public realm. Enhance the amenity and safety of laneways that provide pedestrian and vehicular access to buildings. Maintain service access from the laneways to facilitate commercial use of the properties fronting Queens Parade. Ensure shopfront widths are not reduced to the extent they become commercially unviable. 	<p>Design Requirements 7, 8, and 9 (version for adoption) – Minor wording changes.</p> <p>Cont.</p> <p>Design Requirement 10 (version for adoption) – Added in response to submissions from traders who were concerned that redevelopment would prevent the use of rear laneways for the servicing of their businesses.</p> <p>Design Requirement 11 (version for adoption) – New. Recommended for inclusion by the Panel to address an issue raised by submitters about the impacts of redevelopment on shop spaces at ground floor. This change is supported by officers.</p>
Map 4	Included:	<p>Amended as follows:</p> <ul style="list-style-type: none"> Significant heritage streetscape removed Heights reduced View from Raines Reserve shown More detail provided in base map 245 Gold Street removed from map 	<p>The exhibited DDO included a reference to a significant streetscape which was removed in the adoption version. (Refer to <i>Minimum upper level setback - Queens Parade</i> below for further details.)</p> <p>The map in the adoption version includes a third key view to the former ANZ Bank identified in the GJM work that was not shown in the exhibited DDO. The map's legend in the adoption version more precisely identifies viewing points.</p> <p>The property at 245 Gold Street was included in the Precinct 4 map to Schedule 16 to the DDO. The map has been amended to align the planning scheme maps with the DDO maps as it is not within the DDO.</p> <p>The map in the adoption version has also been modified to reflect the change in building heights recommended for adoption. Refer below for details.</p> <p>Cont.</p>

Attachment 3 - Table - Changes to the Amendment from exhibition to adoption

Attachment 3

Underlined text signifies a mandatory control

Requirement ⁴	Exhibited DDO	Version of DDO for adoption	Reason for change
Map 4 (cont.)			
Maximum building height	Requirement stated: <u>21.5 metres</u>	Requirement amended to read: <u>South side of Queens Parade between Gold and Turnbull Streets - 14 metres</u> <u>Elsewhere - 11 metres</u>	<p>A reduction in heights from a mandatory six storey height in the <i>exhibited DDO</i> to three storeys in three of four quadrants and four storeys in the remaining quadrant (in the <i>version for adoption</i>) is a result of community feedback to the <i>exhibited DDO</i>, extensive 3D modelling by Ethos Urban and the Panel's recommendations.</p> <p>Many community submitters expressed concern about the six storey height proposed in the exhibited DDO. They submitted it would have a negative impact on the valued heritage character of Queens Parade and on the amenity of adjoining residential properties.</p> <p>The Panel recommended a mandatory height limit of 10.5 metres (3 storeys) in three of four quadrants of Precinct 4. The Panel recognised the value of the heritage in this precinct and prioritised its protection over facilitating development.</p> <p>Cont.</p>

Attachment 3 - Table - Changes to the Amendment from exhibition to adoption

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Requirement ⁴	Exhibited DDO	Version of DDO for adoption	Reason for change
Maximum building height (cont.)			<p>The Panel found that a 14 metre (4 storeys) mandatory height is appropriate in the fourth quadrant of Precinct 4 (bound by Gold and Turnbull Streets and Queens Parade).</p> <p>It noted that the heritage in this quadrant is less consistent and the lots are wider, consequently it is less sensitive and has greater development capacity.</p> <p>Officers support the position of Panel, but recommend the 10.5m height in three of the four quadrants is increased to 11m to ensure heritage floor plates can be carried through into the new development and provide for residential amenity.</p> <p>Officers consider that lower heights in three of the four quadrants are appropriate given:</p> <ul style="list-style-type: none"> Queens Parade is unusually wide at 60 metres. This means that any new development in Queens Parade will be more visible than in other high streets. Higher levels of growth can be accommodated elsewhere within the centre or nearby. Queens Parade is an activity centre is that the heritage streetscape in Precinct 4 is highly intact and consistent and features a fine grain subdivision pattern and narrow allotments which give it a greater sensitivity to redevelopment. <p>Officers support four storeys in Quadrant Four recognising the physical characteristics of lot sizes, fine grain architectural features, and streetscape consistency in this quadrant do vary from the other parts of Precinct 4. In addition, the DDO includes requirements that address residential interfaces to the rear in terms of building bulk and overshadowing.</p>

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Requirement ⁴	Exhibited DDO	Version of DDO for adoption	Reason for change
Maximum and minimum street wall height - Queens Parade	Requirement stated: <u>Retain height of existing heritage façade</u> <u>Where no heritage façade exists:</u> <ul style="list-style-type: none"> <u>min 8m</u> <u>max 11m or where there is an adjacent heritage building, the parapet height of that building if taller than 11m.</u> 	Requirement amended to read: <u>For existing heritage façades:</u> <ul style="list-style-type: none"> <u>Retain height of existing heritage façade</u> <u>Where no heritage façade exists and there is no adjacent heritage building/s:</u> <ul style="list-style-type: none"> <u>At least 8m in height and no higher than 11m in height</u> <u>Where no heritage façade exists and there is an adjacent heritage building/s:</u> <ul style="list-style-type: none"> <u>At least 8m in height and no higher than 11m unless an adjacent heritage building has a parapet height of more than 11m, in which case no higher than the adjacent heritage parapet height</u> 	This requirement was modified to better clarify what street wall height would apply in various circumstances ie: <ul style="list-style-type: none"> where there is an existing heritage façade there is no heritage façade but there is an adjacent heritage building there is no heritage façade and no adjacent heritage building. As drafted, the <i>exhibited DDO</i> would have allowed for any height between 8m and 11m without reference to adjacent heritage buildings.
Maximum and minimum street wall height – Side streets	Requirement stated: <u>Retain height of existing heritage façade</u> <u>Where no heritage façade exists, development should be a minimum of 8 metres a maximum of 11 metres or where there is an adjacent heritage building, the parapet height of that building if taller than 11 metres</u>	Requirement amended to read: <u>For existing heritage façades:</u> <ul style="list-style-type: none"> <u>No higher than the existing heritage façade</u> <u>Where there is no heritage façade and there is no adjacent heritage building/s:</u> <ul style="list-style-type: none"> <u>At least 8m in height and no higher than 11m in height</u> <u>Where no heritage façade exists and there is an adjacent heritage building/s:</u> <ul style="list-style-type: none"> <u>At least 8m in height and no higher than 11m in height unless there is an adjacent heritage building with a parapet height of more than 11m, in which case no higher than the adjacent heritage parapet.</u> 	This requirement was modified to better clarify what street wall height would apply in various circumstances ie: <ul style="list-style-type: none"> where there is an existing heritage façade there is no heritage façade but there is an adjacent heritage building there is no heritage façade and no adjacent heritage building. As drafted, the <i>exhibited DDO</i> would have allowed for any height between 8m and 11m without reference to adjacent heritage buildings.
Minimum upper level setback - Queens Parade	Requirement stated: <u>Significant heritage streetscape area – 6m</u> <u>364 Queens Parade – 8m</u> <u>167-197 Queens Parade – 6m</u>	Requirement amended to <u>8m</u> (mandatory) for the entire Precinct	In subsequent versions of the DDO post-exhibition, Council recommended deletion of the significant heritage streetscape area. The concept of a <i>significant heritage streetscape area</i> has been deleted.

Attachment 3 - Table - Changes to the Amendment from exhibition to adoption

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Requirement ⁴	Exhibited DDO	Version of DDO for adoption	Reason for change
Minimum upper level setback - Queens Parade (cont.)			<p>The entire centre is within a Heritage Overlay and therefore has heritage values. It is also noted this concept of differentiating between different gradings of heritage buildings was not supported by the Panel reviewing Amendment C220 relating to Johnston Street. For this and reason above, the delineation was removed.</p> <p>The minimum upper level setback was increased from a combination of 6 metres / 8 metres at exhibition to 8 metres across the entire precinct in response to submissions to better reflect the significance of the heritage streetscape.</p> <p>The mandatory 8 metre requirement is required across the entire Precinct to create better urban design and heritage outcomes, protect the unique heritage values of the precinct, and preserve viewlines to the ANZ Building.</p> <p>The increased setback and mandatory nature of the control was supported by Panel.</p>
Maximum and minimum street wall setback	Requirement stated: <u>0m - built to front boundary at ground level</u>	Requirement amended to read: <u>0m - built to front boundary at ground level (except for 181 and 193 Queens Parade)</u> <i>181 and 193 Queens Parade – Retain existing setback</i>	This requirement was modified to accommodate the varying circumstances of the ground level setbacks. There are two (former) dwellings that are set back from the street. They are significant heritage buildings which are to be retained but if they were to see additions, it is important to retain the front setback. In all other circumstances, the buildings should be built to the front boundary recognising the current pattern of development.

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Requirement ⁴	Exhibited DDO	Version of DDO for adoption	Reason for change
Minimum setback (NRZ interface)	Requirement stated and was named <i>Rear setback (NRZ interface)</i> : <i>45° above 8m from rear boundary to a laneway</i> <i>45° above 5m from rear boundary (no laneway)</i>	Requirement renamed 'minimum setback (NRZ interface)' and amended to read: <i>Where there is a laneway - height and setbacks as shown in Figure 1</i> <i>Where there is no laneway - height and setbacks as shown in Figure 2</i>	The setbacks were amended in response to submissions expressing concerns about impacts on the amenity of the low scale residential properties which abut the centre (refer to Clause 2.9 <i>Interfaces to residential properties in NRZ or GRZ</i> .) The requirements are similar to ResCode B17 but modified to accommodate commercial height ground floors. They offer a better amenity outcome at the rear interface with adjoining residential properties. Where there is no laneway, Figure 2 effectively provides a setback at ground level that offers the separation that a laneway would otherwise provide. The Panel supported this change to the DDO.
Minimum rear setback (C1Z interface)	Not specified	The following requirement inserted: <i>3m above 11m</i>	The exhibited version of the DDO did not include this requirement, however it was included in the interim controls which apply to Queens Parade. It was reinstated to establish a setback for sites that have an interface to the Commercial 1 Zone ie island sites behind the Queens Parade commercial properties. The Panel supported this addition.

Requirement ⁵	Exhibited DDO	Version of DDO for adoption	Reason for change
Precinct 5			
Preferred character statement	Not included	Preferred character statement inserted: <i>Buildings and works should deliver:</i> <ul style="list-style-type: none"> <i>An area of contemporary higher rise development in a preferred location for housing growth within the activity centre where the significant heritage fabric (the Former UK Hotel and the former Clifton</i> 	Council's preferred version of DDO16 included preferred character statements (a change proposed in response to submissions). They were added to better define the future character sought by the controls. Cont.

⁵ Design requirements in Table 5 were amended in the version for adoption to specify whether the requirement was for a maximum or minimum or both eg Maximum street wall height, Minimum upper level setback etc. In addition the format of the table has also been standardised eg removing the word maximum / minimum for most metrics and describing specific locations or sites eg 201-215 Queens Parade - 18m

Attachment 3 - Table - Changes to the Amendment from exhibition to adoption

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Requirement ⁵	Exhibited DDO	Version of DDO for adoption	Reason for change
Preferred character statement (cont.)		<p><i>Motors garage) remains the prominent precinct feature.</i></p> <ul style="list-style-type: none"> <i>Steps up in distinct increments from the significant heritage buildings (the Former Clifton Motors and UK Hotel buildings) to the north-east.</i> <i>Separation between buildings to enable equitable development equity and amenity and to diminish the bulk of the built form while contributing to a safe and legible walking environment that offers visual interest and encourages passive surveillance throughout the Precinct.</i> 	<p>The Panel supported their inclusion but recommended some redrafting to make their intent clearer, read as more positive outcomes and remove repetition. The wording suggested by the Panel has been accepted by officers.</p> <p>Preferred character statement for Precinct 5 seeks to:</p> <ul style="list-style-type: none"> Recognise the role of the Precinct in accommodating housing growth alongside the presence of significant heritage buildings Reinforce the stepping up of heights in the Precinct from the low scale heritage buildings Promote separation between buildings to address amenity and reduce bulk of the higher built forms Ensure development creates a high quality public realm and pedestrian experience and enhances walkability within and around the Precinct.
Design requirements	<p>Included:</p> <p><i>The design requirements for Precinct 5 are as follows:</i></p> <p><i>Development must</i></p> <ul style="list-style-type: none"> <i>retain the visual prominence and not visually dominate the three dimensional forms of the former United Kingdom Hotel when viewed from Raines Reserve and the former Clifton Motors Garage when viewed from the opposite side of Queens Parade.</i> <i>retain, conserve and incorporate the moderne façade of the former Clifton Motor Garage (205-211 Queens Parade) in any redevelopment of the site and ensure that the three dimensional form of the façade remains prominent and the decorative vertical fin remains a prominent</i> 	<p>Design requirements amended and expanded as follows:</p> <p><i>Development in Precinct 5 should:</i></p> <ul style="list-style-type: none"> <i>Retain the visual prominence when viewed from key viewpoints (Map 5) - Raines Reserve and the former Clifton Motors Garage when viewed from the opposite side of Queens Parade.</i> <i>Retain and incorporate the former Clifton Motor Garage (205-211 Queens Parade) in any redevelopment of the site and ensure that the three dimensional form of the façade remains prominent and the decorative vertical fin remains a freestanding element when viewed from the public realm.</i> 	<p>Design Requirement 1 (in version for adoption) – Panel recommended deletion to the reference to the United Kingdom Hotel and inclusion of the reference to the map. Both these changes are supported.</p> <p>Design Requirement 2 (in version for adoption) – Minor edits to delete repetition of words ‘<i>moderne facade</i>’.</p> <p>Design Requirement 3 (in version for adoption) – Added to address a gap in the requirements. Also needed as Precinct 5A was amended to include the drive through at McDonalds which could be redeveloped.</p> <p>Design Requirements 4 and 5 (in version for adoption) – Minor edits.</p> <p>Design Requirement 6 (in version for adoption) – Addition of new requirement on wind. This was a gap in the exhibited control.</p> <p style="text-align: right;">Cont.</p>

Attachment 3 - Table - Changes to the Amendment from exhibition to adoption

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Requirement ⁵	Exhibited DDO	Version of DDO for adoption	Reason for change
Design requirements (cont.)	<p><i>freestanding element when viewed from the public realm.</i></p> <ul style="list-style-type: none"> <i>be designed above street wall in Precincts 5B and 5C as a series of separate development parts with building separation.</i> <i>establish a transition and gradual stepping down of building heights from taller forms in Precinct 5C to existing heritage form in Precinct 5A.</i> 	<ul style="list-style-type: none"> <i>Adopt a street wall height for new development adjacent to the former United Kingdom Hotel that respects the façade height of the former hotel.</i> <i>Ensure buildings in Precincts 5B and 5C read as a series of separate development parts with building separation above the street wall.</i> <i>Establish a transition and gradual stepping down of building heights from taller forms in Precinct 5C to existing heritage form in Precinct 5A.</i> <i>Ensure that adverse wind effects on the public realm are avoided.</i> <p><i>Development in Precinct 5C should:</i></p> <ul style="list-style-type: none"> <i>Reinforce the scale of existing high-rise buildings in the precinct trending higher to the north east.</i> <i>Ensure high quality development enhances the prominent corner of Queens Parade and Hoddle Street creating a strong address to each street frontage that encourages active pedestrian movement and accessibility through the Precinct.</i> <i>Ensure that the height and design of the street wall creates and reinforces a 'human scale' to diminish the perceived bulk of the buildings and provide visual interest at street level along Queens Parade and Hoddle Street.</i> 	<p>Added in response to the identification of this issue by Council's urban design expert. Reflects the addition of application requirement requiring wind report for buildings of 6 storeys or over.</p> <p>Precinct 5C</p> <p>Design Requirement 7, 8 and 9 (in version for adoption) were added in response to submissions and urban design advice.</p> <p>The <i>exhibited DDO</i> provided little guidance about the form of development in this sub-precinct given it provides for the tallest buildings in Queens Parade. The new requirements 7 and 8 seek to provide guidance on the scale of development given a preferred height applies. It recognises the prominent corner and the need for a high quality urban design outcome.</p> <p>Design Requirement 9 reflects changes to the street wall setback requirements which was lowered from the exhibited requirement to create a more human scale at street level.</p> <p>The Panel supported the addition of these requirements.</p>
Map 5	Included:	<p>Amended:</p> <ul style="list-style-type: none"> Boundary in Precinct 5A Changes to heights in Precincts 5A, 5B and 5C Inclusion of viewing points to Clifton Motors and Former UK Hotel and rest of the Precinct 	<p>The boundaries of Precinct 5A and 5B were inaccurately shown in the <i>exhibited DDO</i>. It did not include the drive through which is also part of the site. Its boundary has been corrected in the <i>adoption</i> version.</p>

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Requirement ⁵	Exhibited DDO	Version of DDO for adoption	Reason for change
Map 5 (cont.)		<ul style="list-style-type: none"> Dummett Crescent has been labelled. 	<p>Cont.</p> <p>The building heights were amended in all three sub-precincts in response to submissions (see below). The map has been amended to show the revised heights.</p> <p>Viewing points were also included on the map.</p> <p>Dummett Crescent has also been marked on the map. It was missing from the exhibited version.</p>
Precinct 5A			
Maximum building height	Requirement stated: <i>18m</i>	Requirement amended to <u>11m</u> (mandatory)	The height was reduced and made mandatory to better reflect the significance of the low scale VHR heritage building on the site. It also reinforces the step-down in heights within Precinct 5, with higher form at the far north-eastern falling to lower heights at Precinct 5A which is adjacent to the lower scale heritage in Precinct 4. This change was supported by the Panel.
Maximum street wall height	Requirement stated: <u><i>Match existing parapet or eaves height</i></u>	Requirement amended to read: <u><i>No higher than the height of the existing eaves of the former UK Hotel.</i></u>	This requirement was changed to reflect heritage advice that the street wall height should be <i>no higher than</i> rather <i>match</i> the existing eaves height of the former UK Hotel.
Minimum upper level setback	Requirement stated: <i>5m</i>	Requirement amended to 6m	Setback increased to make it consistent with other upper level setbacks in Precincts 1, 2 and 3.

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Requirement ⁵	Exhibited DDO	Version of DDO for adoption	Reason for change
Precinct 5B			
Maximum building height	<p>Requirement stated:</p> <p><i>1:1 heritage street wall to new built form behind Clifton Motors and 203 Queens Parade visible from the opposite side of Queens Parade</i></p> <p><i>28 metres elsewhere (9 storeys)</i></p>	<p>Requirement amended as follows:</p> <p><u>201-215 Queens Parade - 18m</u></p> <p><i>Elsewhere - 28m</i></p>	<p>The 1:1 ratio was a difficult control to understand.</p> <p>The 1:1 ratio was converted to building heights, street wall heights and upper level setbacks for ease of understanding and to provide consistency with other controls in the DDO16.</p> <p>Further modelling of the streetscape by Council's urban design witness and review by Council's heritage witness confirmed that an 18 metre height was equivalent to the application of the 1:1 ratio and was appropriate at the former Clifton Motors Garage.</p> <p>The requirement was expanded to apply to all sites fronting Queens Parade to protect the setting of the VHR registered Clifton Motors. (The exhibited 1:1 ratio did not apply to 215 Queens Parade on the corner of Dummett Crescent.)</p> <p>The 28 metre height that applied in the exhibited version was retained as a preferred height for the rear sites fronting Dummett Crescent.</p> <p>The 18m height fronting Queens Parade was made mandatory in response to the Clifton Motors building and the adjoining VHR listed Former UK Hotel and as well as the need to protect the views to, and the setting of, Clifton Motors.</p> <p>The Panel supported these changes.</p>

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Requirement ⁵	Exhibited DDO	Version of DDO for adoption	Reason for change
Maximum street wall height	Requirement stated: <u>Match parapet height of former Clifton Motor Garage and eaves line of former UK Hotel</u> 11m for non-contributory buildings facing Queens Parade and Dummett Crescent	Requirement amended to read: <u>201-215 Queens Parade (including the frontage to north-east boundary to the laneway/Dummett Crescent for distance of 8m) - must be no higher than the parapet height of the former Clifton Motor Garage and the eaves line of the former UK Hotel</u> <u>Beyond a distance of 8m from the corner of Queens Parade, the street wall along the north-east boundary of 215 Queens Parade - must be no higher than 11m</u> 4-10 Dummett Crescent (including the NE boundary to Dummett Cres) - 11m	This requirement was modified to address a gap in the controls. It did not provide clear guidance about street wall heights along Dummett Crescent. The street wall heights were amended to be mandatory. The mandatory application of street wall heights for buildings on the VHR reinforces the heritage significance of the buildings and ensures development is appropriate in terms of the streetscape and views to these buildings. This was supported by the Panel. The Panel agreed that establishing a street wall height for Dummett Crescent, in conjunction with the recommended setbacks will ensure this designated laneway will have a stronger visual presence and will not be overwhelmed by the adjacent buildings.
Minimum upper level setback	Requirement stated: <u>Former Clifton Motor Garage - 6m</u> Elsewhere – 6 metres	Requirement amended to read: <u>201-215 Queens Pde – 8 metres</u> Elsewhere – 6 metres	The upper level setback to the former Clifton Motor Garage was increased from 6 metres to 8 metres to ensure adequate separation between existing VHR heritage and new built form. Elsewhere the preferred setback of 6 metres would be retained. This was supported by the Panel.
Minimum setback from side and rear boundaries	Requirement stated: <u>0m</u>	Requirement amended to read: <u>For upper levels, where a habitable room window is proposed - 4.5 metres from the common boundary or from the centre line of the laneway.</u> <u>For upper levels, where a non-habitable room window or commercial window is proposed - 3 metres from the common boundary or the centre line of the laneway.</u>	Minimum side and rear setbacks were introduced to address a shortcoming of the <i>exhibited DDO</i> that included a 0 metre setback. This would enable tall buildings to be built to the side and rear boundary with no breaks. It has been replaced by a building separation requirement proposed by Council's urban design expert to provide spacing between buildings to break up massing, provide for a high level of amenity and ensure sky views between separate buildings. It was supported by the Panel.

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Requirement ⁵	Exhibited DDO	Version of DDO for adoption	Reason for change
Precinct 5C			
Maximum building height	Requirement stated: <i>49 metres</i>	Requirement amended to 43 metres	The overall height of the sub-precinct was also reduced to 43m to facilitate a progressive transition across Precinct 5C from the constructed buildings in the west to the application site in the west.
Maximum street wall height	Requirement stated: <i>35 metres</i>	Requirement amended to 18 metres	The street wall height of 35 metres was high in the context of Queens Parade. It was reduced from 35m to 18m in the <i>version of DDO for adoption</i> , principally to achieve a more pedestrian scale in the street wall and to reduce the significant risk of adverse wind impacts. It was supported by the Panel.
Minimum upper level setback	Requirement stated: <i>10 metres</i>	Requirement amended to 6 metres	The exhibited upper setback was 10m. The upper level setback was reduced to the standard 6m in response to the reduction in street wall height. This was supported by the Panel.
Minimum setback from side and rear boundaries	Not specified	The following requirement inserted: <i>For upper levels, where a habitable room window is proposed - 4.5 metres from the common boundary or from the centre line of the laneway.</i> <i>For upper levels, where a non-habitable room window or commercial window is proposed - 3 metres from the common boundary or the centre line of the laneway.</i>	The exhibited DDO did not include separation distances between buildings in this sub-precinct. Council's Urban Design Expert recommended setbacks between buildings / sites to protect occupant amenity and ensure sky views between separate buildings. This was supported by the Panel.

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Application requirements, Decision guidelines & Reference documents

Requirement	Exhibited DDO	Version of DDO for adoption	Reason for change
Application requirements	Not included	<p>Requirements inserted for:</p> <ul style="list-style-type: none"> • Site analysis and urban context report • Wind study analysis • Traffic and Parking Assessment Report. <p>The Application requirements read:</p> <p><i>The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and should accompany an application, as appropriate, to the satisfaction of the responsible authority:</i></p> <ul style="list-style-type: none"> • <i>A site analysis and urban design context report which demonstrates how the proposal achieves the Design Objectives, Preferred Character Statements and Design Requirements of this schedule.</i> • <i>For development proposals for buildings over 20 metres in height, a wind study analysis to assess the impact of wind on the safety and comfort of the pedestrian environment on footpaths and other public spaces while walking, sitting and standing.</i> • <i>A Traffic and Parking Assessment Report which includes an assessment of the cumulative impacts of traffic and parking in the Precinct including an assessment of the ongoing functionality of laneway/s.</i> 	<p>The exhibited version of the DDO did not include application requirements.</p> <p>Application requirements were proposed in Council's preferred version of the DDO to ensure the consideration of wind impacts (identified as an issue by Council's urban design expert), cumulative traffic and parking impacts and the functionality of laneways (raised by submissions and Council's traffic expert during the hearing).</p> <p>Additionally, a requirement for a site analysis and urban context report was included.</p> <p>The Panel supported the inclusion of the requirements albeit with minor edits. Officers accept these changes and they have been included in the version for adoption.</p>

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Requirement	Exhibited DDO	Version of DDO for adoption	Reason for change
Decision guidelines	<p>Included the following list of decision guidelines:</p> <p><i>The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:</i></p> <ul style="list-style-type: none"> • <i>Whether the General Design Requirements, Heritage Design Requirements and the Precinct Design Requirements in Clauses 2.2, 2.3 and 2.4 are met.</i> • <i>If roof decks are proposed, whether they are set back from lower levels and are recessive in appearance.</i> • <i>The profile and impact of development along Queens Parade when viewed from the north side of McKean Street and the south side of Hodgkinson Street.</i> • <i>The design response at the interface with existing, low scale residential properties.</i> • <i>The design of the streetscape interface along the primary street frontage.</i> • <i>Whether side and rear setbacks are sufficient to limit the impact on the amenity of existing dwellings.</i> • <i>How any proposed buildings and works will impact on solar access to Queens Parade and Napier Street Reserve.</i> • <i>Whether heritage buildings on street corners retain their prominence when viewed from both streets.</i> • <i>Whether heritage buildings retain their three-dimensional form when viewed from the public realm.</i> 	<p>Modified to remove references to:</p> <ul style="list-style-type: none"> • General, Heritage and Precinct Design Requirements • Design response at low-scale residential interface <p>Modified to add reference to:</p> <ul style="list-style-type: none"> • Controls on light spillage and noise added to guideline addressing impact on adjoining dwellings • Cumulative impact of traffic and parking in the precincts including functionality of laneways • Design excellence. <p>The Decision Guidelines now read:</p> <p><i>The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:</i></p> <ul style="list-style-type: none"> • <i>Whether the proposal delivers design excellence.</i> • <i>If roof decks are proposed, whether they are set back from lower levels and are recessive in appearance.</i> • <i>The profile and impact of development along Queens Parade when viewed from the north side of McKean Street and the south side of Hodgkinson Street.</i> • <i>The design of the streetscape interface along the primary street frontage.</i> • <i>Whether side and rear setbacks and controls on light spillage and noise are sufficient to limit the impact on the amenity of existing dwellings.</i> 	<p>Changes to the decision guidelines were made in response to submissions and through minor recommendations of the Panel.</p> <p>The Panel recommended deletion of the reference to General, Heritage and Precinct Design Requirements (Decision Guideline 1 in the exhibited DDO). The DDO already requires these elements to be taken into account.</p> <p>The Panel recommended deletion of Decision Guideline 4 in the <i>exhibited DDO</i> as it referenced the low-scale residential interface which is already addressed elsewhere in the Decision guidelines and Design requirements.</p> <p>Decision Guideline 1 (in the version for adoption) - was added to address issue of design excellence raised by submissions.</p> <p>Decision Guideline 5 (in the version for adoption) – A reference to light spillage and noise was added in response to a recommendation by Panel in response to submissions made at the hearing.</p> <p>Decision Guideline 13 (in the version for adoption) was added to address concerns raised by submitters about the impact of additional traffic and parking brought about by increased development. This was supported by the Panel.</p>

Attachment 3 - Table - Changes to the Amendment from exhibition to adoption

Attachment 3

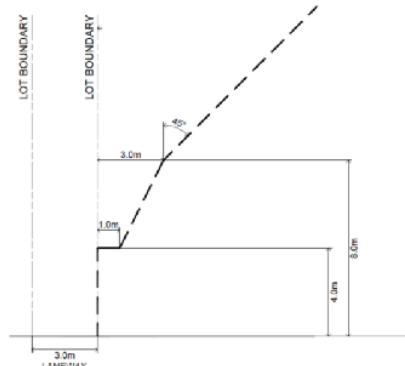
Underlined text signifies a mandatory control

Requirement	Exhibited DDO	Version of DDO for adoption	Reason for change
	<ul style="list-style-type: none"> Whether upper level development above the heritage street wall is visually recessive and does not dominate or visually overwhelm the heritage buildings. Whether the proposal contributes to and improves the pedestrian environment and other areas of the public realm. The impact of development on views to: <ul style="list-style-type: none"> the former ANZ Bank building's tower, roof, chimney and upper level the St John the Baptist Church belfry and spire the former Clifton Motor Garage's Moderne façade and fin The wind effects created by the development. 	<ul style="list-style-type: none"> The impact on solar access to Queens Parade and Napier Street Reserve. Whether heritage buildings on street corners retain their prominence when viewed from both streets. Whether heritage buildings retain their three-dimensional form when viewed from the public realm. Whether upper level development above the heritage street wall is visually recessive and does not dominate or visually overwhelm the heritage buildings. Whether the proposal contributes to and improves the pedestrian environment and other areas of the public realm. The impact of development on views to: <ul style="list-style-type: none"> the former ANZ Bank building's tower, roof, chimney and upper level the St John the Baptist Church belfry and spire the former Clifton Motor Garage's Moderne façade and fin. The wind effects created by the development. The cumulative impact of traffic and parking in the Precinct including on the functionality of laneway/s. 	
Reference documents	Included: <i>Queens Parade, Clifton Hill Built Form Review prepared by Hansen Partnership – December 2017.</i>	Reference documents removed.	The Panel considered that some of the recommendations from the Built Form Review prepared by Hansen were no longer reflected in the amendment. Cont.

Attachment 3 - Table - Changes to the Amendment from exhibition to adoption

Attachment 3

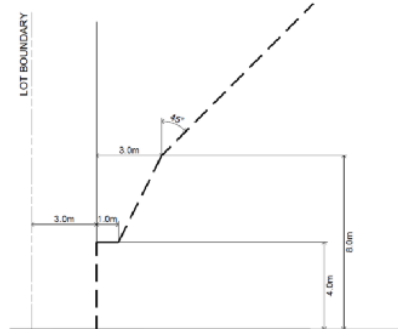
Underlined text signifies a mandatory control

Requirement	Exhibited DDO	Version of DDO for adoption	Reason for change
Reference documents (cont.)			<p>The Panel agreed that the Built Form Review provided a catalyst and background for the amendment but not to the extent of being included as a Reference Document and recommended its deletion.</p> <p>The inclusion of the report as a Reference Document could create confusion in the future. Its deletion avoids that confusion.</p>
Figures 1 and 2	Not included	<p>Added:</p> <p>Figure 1 - Setback where there is a laneway to the side or rear</p> 	<p>As discussed above, side and rear setback requirements were amended for Precincts 3 and 4. Submissions received during exhibition were concerned about residential amenity and suggested that the ResCode B17 setback was a better alternative.</p> <p>Amended controls based on B17 were proposed. Figures 1 and 2 illustrate the side and rear setbacks. They are a modified version of the ResCode B17 standard, amended to accommodate a 4 metre ground floor.</p> <p>Figure 1 applies where there is a laneway at the rear and Figure 2 applies where there is no laneway – it requires an additional 3 metre setback to provide the separation offered by a laneway.</p> <p>The Panel supported this change to the DDO.</p> <p style="text-align: right;">Cont.</p>

Attachment 3 - Table - Changes to the Amendment from exhibition to adoption

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Requirement	Exhibited DDO	Version of DDO for adoption	Reason for change
Figures 1 and 2 (cont.)		<p><i>Figure 2– Setback where there is no laneway to the side or rear</i></p>  <p>The diagram illustrates a building footprint within a lot. A dashed line represents the lot boundary. The building footprint is shown with setbacks of 3.0m, 1.0m, and 4.0m. A 45-degree angle is indicated for the setback line.</p>	

Attachment 3 - Table - Changes to the Amendment from exhibition to adoption

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Schedule to the Heritage Overlay

HO Precinct	Exhibited	Version for adoption	Reason for change																																																																	
HO317 - Clifton Hill Western Precinct	<p>Reference to the Statement of Significance was not included in the Schedule to the HO.</p> <p>It was exhibited as Appendix H of the GJM Built Form Heritage Analysis.</p>	<p>Added a reference to the updated Precinct Statement of Significance</p> <table><thead><tr><th>PS map ref</th><th>Heritage Place</th><th>External Paint Controls Apply?</th><th>Internal Alteration Controls Apply?</th><th>Tree Controls Apply?</th><th>Outbuildings or fences which are not exempt under Clause 43.01-4</th><th>Included on the Victorian Heritage Register under the Heritage Act 2017?</th><th>Prohibited uses may be permitted?</th><th>Aboriginal heritage place?</th></tr></thead><tbody><tr><td></td><td>Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014</td><td></td><td></td><td></td><td></td><td></td><td></td><td></td></tr><tr><td>HO314</td><td>Yarra Falls Precinct/Abbotsford Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td></tr><tr><td>HC315</td><td>Church Street Precinct, Richmond Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014</td><td>Yes</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td></tr><tr><td>HC316</td><td>Clifton Hill Eastern Precinct Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td></tr><tr><td>HO317</td><td>Clifton Hill Western Precinct Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014 Statement of significance: Yarra High Streets: Statements of Significance October 2017 (updated November 2017)</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td></tr><tr><td>HO318</td><td>Collingwood Slope Precinct</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td></tr></tbody></table> <table><tr><td>HO317</td><td>Clifton Hill Western Precinct Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014 Statement of significance: Yarra High Streets: Statements of Significance October 2017 (updated November 2017)</td></tr></table>	PS map ref	Heritage Place	External Paint Controls Apply?	Internal Alteration Controls Apply?	Tree Controls Apply?	Outbuildings or fences which are not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?		Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014								HO314	Yarra Falls Precinct/Abbotsford Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	No	No	No	No	No	No	No	HC315	Church Street Precinct, Richmond Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	Yes	No	No	No	No	No	No	HC316	Clifton Hill Eastern Precinct Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	No	No	No	No	No	No	No	HO317	Clifton Hill Western Precinct Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014 Statement of significance: Yarra High Streets: Statements of Significance October 2017 (updated November 2017)	No	No	No	No	No	No	No	HO318	Collingwood Slope Precinct	No	No	No	No	No	No	No	HO317	Clifton Hill Western Precinct Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014 Statement of significance: Yarra High Streets: Statements of Significance October 2017 (updated November 2017)	<p>State-wide Amendment VC148 which updated the format of the Schedule to the Heritage Overlay was approved on 31 July 2018.</p> <p>Amendment C231 was authorised for exhibition on 30 July 2018 (prior to the approval of this amendment). Consequently Amendment C231 did not include changes to the Schedule required by VC148 at exhibition.</p> <p>New Clause 43.01-5 in the Heritage Overlay now requires that a schedule to the overlay must specify a statement of significance for each heritage place included in the schedule after the commencement of Amendment VC148.</p> <p>To ensure the amendment complies with <i>Ministerial Direction 1 – Format and Content of a Planning Scheme</i>, an administrative update has now been made and the <i>Yarra High Streets: Statements of Significance</i>, has been referenced in the Schedule.</p> <p>The effect of VC148 is that the Statements of Significance become an incorporated document rather than a reference document as exhibited.</p>
PS map ref	Heritage Place	External Paint Controls Apply?	Internal Alteration Controls Apply?	Tree Controls Apply?	Outbuildings or fences which are not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?																																																												
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HO314	Yarra Falls Precinct/Abbotsford Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	No	No	No	No	No	No	No																																																												
HC315	Church Street Precinct, Richmond Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	Yes	No	No	No	No	No	No																																																												
HC316	Clifton Hill Eastern Precinct Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	No	No	No	No	No	No	No																																																												
HO317	Clifton Hill Western Precinct Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014 Statement of significance: Yarra High Streets: Statements of Significance October 2017 (updated November 2017)	No	No	No	No	No	No	No																																																												
HO318	Collingwood Slope Precinct	No	No	No	No	No	No	No																																																												
HO317	Clifton Hill Western Precinct Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014 Statement of significance: Yarra High Streets: Statements of Significance October 2017 (updated November 2017)																																																																			

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HO Precinct	Exhibited	Version for adoption	Reason for change																																															
HO0327 – North Fitzroy Precinct	<p>Reference to the Statement of Significance was not included in the Schedule to the HO.</p> <p>It was exhibited as Appendix H of the GJM Built Form Heritage Analysis</p>	<p>Added a reference to the updated Precinct Statement of Significance</p> <table><thead><tr><th>PS map ref</th><th>Heritage Place</th><th>External Façade Controls Apply?</th><th>Internal Alteration Controls Apply?</th><th>Tree Controls Apply?</th><th>Outbuildings or fences which are not exempt under Clause 43.01-4</th><th>Included on the Victorian Heritage Register under the Heritage Act 2017?</th><th>Prohibited uses may be permitted?</th><th>Aboriginal Heritage place?</th></tr></thead><tbody><tr><td></td><td>Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014</td><td></td><td></td><td></td><td></td><td></td><td></td><td></td></tr><tr><td>HO326</td><td>North Carlton Precinct Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td></tr><tr><td>HO327</td><td>North Fitzroy Precinct Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014 Statement of significance: Yarra High Streets: Statements of Significance October 2017 (updated November 2017)</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td></tr><tr><td>HO328</td><td>Park Crescent Precinct, Appington</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td></tr></tbody></table> <table><tr><td>HO327</td><td><p>North Fitzroy Precinct</p><p>Incorporated plan:</p><p>Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014</p><p>Statement of significance:</p><p>Yarra High Streets: Statements of Significance October 2017 (updated November 2017)</p></td></tr></table>	PS map ref	Heritage Place	External Façade Controls Apply?	Internal Alteration Controls Apply?	Tree Controls Apply?	Outbuildings or fences which are not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal Heritage place?		Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014								HO326	North Carlton Precinct Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	No	No	No	No	No	No	No	HO327	North Fitzroy Precinct Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014 Statement of significance: Yarra High Streets: Statements of Significance October 2017 (updated November 2017)	No	No	No	No	No	No	No	HO328	Park Crescent Precinct, Appington	No	No	No	No	No	No	No	HO327	<p>North Fitzroy Precinct</p> <p>Incorporated plan:</p> <p>Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014</p> <p>Statement of significance:</p> <p>Yarra High Streets: Statements of Significance October 2017 (updated November 2017)</p>	<p>State-wide Amendment VC148 which updated the format of the Schedule to the Heritage Overlay was approved on 31 July 2018.</p> <p>Amendment C231 was authorised for exhibition on 30 July 2018 (prior to the approval of this amendment). Consequently Amendment C231 did not include changes to the Schedule required by VC148 at exhibition.</p> <p>New Clause 43.01-5 in the Heritage Overlay now requires that a schedule to the overlay must specify a statement of significance for each heritage place included in the schedule after the commencement of Amendment VC148.</p> <p>To ensure the amendment complies with <i>Ministerial Direction 1 – Format and Content of a Planning Scheme</i>, an administrative update has now been made and the <i>Yarra High Streets: Statements of Significance</i>, has been referenced in the Schedule.</p> <p>The effect of VC148 is that the Statements of Significance become an incorporated document rather than a reference document as exhibited.</p>
PS map ref	Heritage Place	External Façade Controls Apply?	Internal Alteration Controls Apply?	Tree Controls Apply?	Outbuildings or fences which are not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal Heritage place?																																										
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HO326	North Carlton Precinct Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	No	No	No	No	No	No	No																																										
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HO328	Park Crescent Precinct, Appington	No	No	No	No	No	No	No																																										
HO327	<p>North Fitzroy Precinct</p> <p>Incorporated plan:</p> <p>Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014</p> <p>Statement of significance:</p> <p>Yarra High Streets: Statements of Significance October 2017 (updated November 2017)</p>																																																	

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HO Precinct	Exhibited	Version for adoption	Reason for change																	
HO330 – Queens Parade Precinct, North Fitzroy / Clifton Hill	<p>Reference to the Statement of Significance was not included in the Schedule to the HO.</p> <p>It was exhibited as Appendix H of the GJM Built Form Heritage Analysis</p>	<p>Added a reference to the updated Precinct Statement of Significance</p> <div><div><div>HO330</div><div>Queens Parade Precinct, North Fitzroy/Clifton Hill</div><div>Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014</div></div><div><div>Yes</div><div>No</div><div>No</div><div>No</div><div>No</div><div>No</div><div>No</div></div><div>Page 16 of 136</div><div>AMENDMENT C231YARA</div><table><thead><tr><th>PS map ref</th><th>Heritage Place</th><th>External Paint Controls Apply?</th><th>Internal Alteration Controls Apply?</th><th>Tree Controls Apply?</th><th>Outbuildings or fences which are not exempt under Clause 43.01-4</th><th>Included on the Victorian Heritage Register under the Heritage Act 2017?</th><th>Prohibited uses may be permitted?</th><th>Aboriginal heritage place?</th></tr></thead><tbody><tr><td></td><td><div>Statement of significance: Yarra High Streets, Statements of Significance October 2017 (updated November 2017)</div></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td></tr></tbody></table></div> <div><p>State-wide Amendment VC148 which updated the format of the Schedule to the Heritage Overlay was approved on 31 July 2018.</p><p>Amendment C231 was authorised for exhibition on 30 July 2018 (prior to the approval of this amendment). Consequently Amendment C231 did not include changes to the Schedule required by VC148 at exhibition.</p><p>New Clause 43.01-5 in the Heritage Overlay now requires that a schedule to the overlay must specify a statement of significance for each heritage place included in the schedule after the commencement of Amendment VC148.</p><p>To ensure the amendment complies with <i>Ministerial Direction 1 – Format and Content of a Planning Scheme</i>, an administrative update has now been made and the <i>Yarra High Streets: Statements of Significance</i>, has been referenced in the Schedule.</p><p>The effect of VC148 is that the Statements of Significance become an incorporated document rather than a reference document as exhibited.</p></div>	PS map ref	Heritage Place	External Paint Controls Apply?	Internal Alteration Controls Apply?	Tree Controls Apply?	Outbuildings or fences which are not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?		<div>Statement of significance: Yarra High Streets, Statements of Significance October 2017 (updated November 2017)</div>							
PS map ref	Heritage Place	External Paint Controls Apply?	Internal Alteration Controls Apply?	Tree Controls Apply?	Outbuildings or fences which are not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?												
	<div>Statement of significance: Yarra High Streets, Statements of Significance October 2017 (updated November 2017)</div>																			

Attachment 3 - Table - Changes to the Amendment from exhibition to adoption

Attachment 3

Underlined text signifies a mandatory control**Yarra High Streets: Statement of Significance**

Exhibited	Version for adoption	Reason for change
<p>Included Statements of Significance for the following:</p> <p>Precincts</p> <ol style="list-style-type: none"> HO309 Bendigo Street Precinct, Richmond HO315 Church Street Precinct, Richmond HO317 Clifton Hill Western Precinct HO327 North Fitzroy Precinct HO330 Queens Parade Precinct, North Fitzroy/Clifton Hill HO332 Richmond Hill Precinct HO335 Swan Street Precinct, Richmond HO364 Wellington Street Precinct HO474 Burnley Street Precinct, Richmond HO524 Swan Street West Precinct <p>Individually Significant Places</p> <ol style="list-style-type: none"> HO92 & VHR H0684 Former United Kingdom Hotel (now McDonald's) 199 Queens Parade, Clifton Hill HO93 Street Trees Queens Parade, Between Alexandra Parade & Delbridge Street Clifton Hill/ North Fitzroy HO216 VHR H0163 Haselmere 96 Mckean Street, Fitzroy North HO221 & VHR H0892 Former ANZ Bank 370-374 Queens Parade, North Fitzroy HO245 House 234 Coppin Street, Richmond HO285 Former Central Club Hotel 291 Swan Street, Richmond HO286 Former Burnley Theatre 365 Swan Street, Richmond HO288 VHR H732 Former State Bank 214-216 Swan Street, Richmond HO294 House 15 Wellington Street, Cremorne HO357 VHR H48 Former Richmond South Post Office 90-92 Swan Street, Richmond HO360 & VHR H2184 Dimmeys 140-160 Swan Street, Richmond 	<p>Statements of Significance for Precincts and individually significant places in Richmond removed. The Yarra High Streets reference document will contain the following:</p> <p>Precincts</p> <ol style="list-style-type: none"> HO317 Clifton Hill Western Precinct HO327 North Fitzroy Precinct HO330 Queens Parade Precinct, North Fitzroy/Clifton Hill <p>Individually Significant Places</p> <ol style="list-style-type: none"> HO92 & VHR H0684 Former United Kingdom Hotel (now McDonald's) 199 Queens Parade, Clifton Hill HO93 Street Trees Queens Parade, Between Alexandra Parade & Delbridge Street Clifton Hill/ North Fitzroy HO216 VHR H0163 Haselmere 96 Mckean Street, Fitzroy North HO221 & VHR H0892 Former ANZ Bank 370-374 Queens Parade, North Fitzroy HO496 St Johns Church Complex 61-87 Queens Parade, Clifton Hill HO498 Row of houses, Elizabeth Terrace 472-484 Napier Street, Fitzroy North HO504 Clifton Motors (former) 205-211 Queens Parade, Fitzroy North <p>Individually Significant Places within a Precinct</p> <ol style="list-style-type: none"> HO317 12 Hodgkinson Street, Clifton Hill HO317 William B Fox House, later House of Gentle Bunyip 94 Hodgkinson Street, Clifton Hill HO317 Baptist Church & Hall 100 Hodgkinson Street, Clifton Hill HO317 Residence 122 Hodgkinson Street, Clifton Hill HO317 Fire Station No. 11 (former) 662 Smith Street, Clifton Hill 	<p>The exhibited Amendment sought to add <i>Yarra High Streets: Statements of Significance</i> by GJM Heritage, October 2017 (updated November 2017) (Appendix H) as a new reference document to Clause 22.02.</p> <p>However changes to Clause 43.01-5 (via Amendment VC148) now means that the document should become an incorporated document (refer above).</p> <p>This document is 51 pages long and addresses 10 precincts of which Queens Parade Precinct, North Fitzroy/Clifton Hill (HO330) is the fifth.</p> <p>In the context of this Amendment, the purpose of this document is to update the statement of significance for HO330 (Queens Parade) and to provide individual statements of significance for the properties within HO330 that are graded individually significant. It also includes statements of significance for individually significant properties within the study area that are included in HO330, HO317 (Clifton Hill West) and HO327 (North Fitzroy).</p> <p>Neither of the statements of significance for HO317 and HO327 have been updated as part of this Amendment.</p> <p>Procedurally, whilst the whole document was exhibited with the Amendment, Appendix H includes Statements of Significance for not just Queens Parade but many other high streets in Yarra.</p> <p>The Richmond references were included because it was assumed that as Amendment C191 which applies to Swan Street had been sent for authorisation prior to Queens Parade, the Swan Street amendment would proceed ahead of Amendment C231. However the Queens Parade Amendment has proceeded ahead of Swan Street.</p> <p>The changes to Clause 22.02 proposed as part of the exhibited amendment will be abandoned.</p>

Cont.

Attachment 3 - Table - Changes to the Amendment from exhibition to adoption

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Exhibited	Version for adoption	Reason for change
<p>(Cremorne)</p> <p>12. HO405 The Greyhound Hotel, later Depot Hotel, now Precinct Hotel 60-62 Swan Street, Richmond</p> <p>13. HO429 - 400-402 Burnley Street, Richmond</p> <p>14. HO440 Swan Street Drill Hall 309 Swan Street, Richmond</p> <p>15. HO441 - 319 Swan Street, Richmond</p> <p>16. HO496 St Johns Church Complex 61-87 Queens Parade, Clifton Hill</p> <p>17. HO498 Row of houses, Elizabeth Terrace 472-484 Napier Street, Fitzroy North</p> <p>18. HO504 Clifton Motors (former) 205-211 Queens Parade, Fitzroy North</p> <p>19. HO522 Shop and Residence 273A Swan Street, Richmond</p> <p>20. HO523 Pair of Shops 323-325 Swan Street, Richmond</p> <p>Individually Significant Places within a Precinct</p> <p>1. HO317 - 12 Hodgkinson Street, Clifton Hill</p> <p>2. HO317 William B Fox House, later House of Gentle Bunyip 94 Hodgkinson Street, Clifton Hill</p> <p>3. HO317 Baptist Church & Hall 100 Hodgkinson Street, Clifton Hill</p> <p>4. HO317 Residence 122 Hodgkinson Street, Clifton Hill</p> <p>5. HO317 Fire Station No. 11 (former) 662 Smith Street, Clifton Hill</p> <p>6. HO327 National Bank, former 460 Brunswick Street, Fitzroy North</p> <p>7. HO327 House 17 Delbridge Street, Fitzroy North</p> <p>8. HO327 - 218 McKean Street, Fitzroy North</p> <p>9. HO327 - 220 McKean Street, Fitzroy North</p> <p>10. HO327 Hatherlie 224 McKean Street, Fitzroy North</p> <p>11. HO327 K. G. Luke Pty Ltd factory (former) 26-52 Queens Parade, Fitzroy North</p> <p>12. HO327 Selotta Shoes Pty Ltd factory (former) 122 Queens Parade, Fitzroy North</p>	<p>6. HO327 National Bank, former 460 Brunswick Street, Fitzroy North</p> <p>7. HO327 House 17 Delbridge Street, Fitzroy North</p> <p>8. HO327 - 218 McKean Street, Fitzroy North</p> <p>9. HO327 - 220 McKean Street, Fitzroy North</p> <p>10. HO327 Hatherlie 224 McKean Street, Fitzroy North</p> <p>11. HO327 K. G. Luke Pty Ltd factory (former) 26-52 Queens Parade, Fitzroy North</p> <p>12. HO327 Selotta Shoes Pty Ltd factory (former) 122 Queens Parade, Fitzroy North</p> <p>13. HO327 Christian Brothers Monastery, later units, G Maher House 256-262 Queens Parade, Fitzroy North</p> <p>14. HO330 Clifton Hill Hotel 89 Queens Parade, Clifton Hill</p> <p>15. HO330 Melbourne Savings Bank, later State Savings Bank 97-99 Queens Parade, Clifton Hill</p> <p>16. HO330 Doctor's surgery and house (former) 105 Queens Parade, Clifton Hill</p> <p>17. HO330 Albert Hall, also Masonic Hall, later Samian Social Club 127-129 Queens Parade, Clifton Hill</p> <p>18. HO330 Daintons Family Hotel, later Normanby Hotel 139 Queens Parade, Clifton Hill</p> <p>19. HO330 Clifton Hill Post Office, former 141 Queens Parade, Clifton Hill</p> <p>20. HO330 National Bank of Australasia, former 270 Queens Parade, Fitzroy North</p>	<p>The version for adoption will consist of the statements of significance for the HO330 and for individually significant places within HO330, HO317 and HO327 Statements of Significance for Queens Parade Precinct, North Fitzroy/Clifton Hill (HO330) and individually significant places within HO330, HO317 and HO327: as contained within the Yarra High Streets: Statements of Significance by GJM Heritage, October 2017 (updated November 2017).</p>

Attachment 3 - Table - Changes to the Amendment from exhibition to adoption

Attachment 3

Underlined text signifies a mandatory control

Exhibited	Version for adoption	Reason for change
<p>13. <i>HO327 Christian Brothers Monastery, later units, G Maher House 256-262 Queens Parade, Fitzroy North</i></p> <p>14. <i>HO330 Clifton Hill Hotel 89 Queens Parade, Clifton Hill</i></p> <p>15. <i>HO330 Melbourne Savings Bank, later State Savings Bank 97-99 Queens Parade, Clifton Hill</i></p> <p>16. <i>HO330 Doctor's surgery and house (former) 105 Queens Parade, Clifton Hill</i></p> <p>17. <i>HO330 Albert Hall, also Masonic Hall, later Samian Social Club 127-129 Queens Parade, Clifton Hill</i></p> <p>18. <i>HO330 Daintons Family Hotel, later Normanby Hotel 139 Queens Parade, Clifton Hill</i></p> <p>19. <i>HO330 Clifton Hill Post Office, former 141 Queens Parade, Clifton Hill</i></p> <p>20. <i>HO330 National Bank of Australasia, former 270 Queens Parade, Fitzroy North</i></p> <p>21. <i>HO335 Shops and Residences 454-456 Church Street, Cremorne</i></p> <p>22. <i>HO335 Corner Hotel 57-61 Swan Street, Richmond</i></p> <p>23. <i>HO335 H. E. McNaughton ironmongery & residence, former 69 Swan Street, Richmond</i></p> <p>24. <i>HO335 National Bank of Australasia 105 Swan Street, Richmond</i></p> <p>25. <i>HO335 Shops and residences 232-234 Swan Street, Richmond</i></p> <p>26. <i>HO335 M. Ball & Co, former 236-240 Swan Street, Richmond</i></p> <p>27. <i>HO335 Whitehorse Hotel, former 250-252 Swan Street, Richmond</i></p> <p>28. <i>HO474 Shops and Residences 413-415 Swan Street, Richmond</i></p>		

Underlined text signifies a mandatory control

Property	Exhibited	Version for adoption	Reason for change																														
137 Queens Parade	<p>The entry in Appendix 8 read:</p> <table border="1"> <tr> <td>137 QUEENS</td><td>QUEENS</td><td>PARADE</td><td>133</td><td>CLIFTON HILL</td><td></td></tr> <tr> <td>H0330</td><td>Queens</td><td>Parade</td><td>137</td><td>Clifton Hill</td><td>Apartment</td></tr> <tr> <td>137 QUEENS</td><td>QUEENS</td><td>PARADE</td><td>133</td><td>CLIFTON HILL</td><td>Apartment</td></tr> <tr> <td>481210</td><td>Not contributory</td><td></td><td>2019</td><td></td><td></td></tr> <tr> <td>137 QUEENS</td><td>Individuals Classification</td><td></td><td>137 QUEENS</td><td></td><td></td></tr> </table>	137 QUEENS	QUEENS	PARADE	133	CLIFTON HILL		H0330	Queens	Parade	137	Clifton Hill	Apartment	137 QUEENS	QUEENS	PARADE	133	CLIFTON HILL	Apartment	481210	Not contributory		2019			137 QUEENS	Individuals Classification		137 QUEENS			<p>Entry updated to delete 'vacant' and replace with 'Apartments'.</p>	<p>It is proposed to change the description of the land at 137 Queens Parade in Appendix 8.</p> <p>When exhibited, Appendix 8 showed land at 137 Queens Parade as vacant. Since that time, apartments have been constructed on the land.</p> <p>Appendix 8 has been updated to reflect that change.</p>
137 QUEENS	QUEENS	PARADE	133	CLIFTON HILL																													
H0330	Queens	Parade	137	Clifton Hill	Apartment																												
137 QUEENS	QUEENS	PARADE	133	CLIFTON HILL	Apartment																												
481210	Not contributory		2019																														
137 QUEENS	Individuals Classification		137 QUEENS																														
Raines Reserve	<p>The entry in Appendix 8 read:</p> <table border="1"> <tr> <td>H0330</td><td>Queens</td><td>Parade</td><td>492</td><td>Fitzroy North</td><td>Scotch Thistle, later 1</td></tr> <tr> <td>H0330</td><td>Raines</td><td>Reserve</td><td>all</td><td>Clifton Hill</td><td>Open space</td></tr> <tr> <td>H0330</td><td>Rushall</td><td>Crescent</td><td>2</td><td>Fitzroy North</td><td></td></tr> </table>	H0330	Queens	Parade	492	Fitzroy North	Scotch Thistle, later 1	H0330	Raines	Reserve	all	Clifton Hill	Open space	H0330	Rushall	Crescent	2	Fitzroy North		<p>Spelling of Raines Reserve corrected.</p>	<p>The third recommendation from the Panel was to correct the spelling of Raines Reserve (from 'Rains' to 'Raines').</p> <p>Officers have corrected the spelling of it in Appendix 8.</p>												
H0330	Queens	Parade	492	Fitzroy North	Scotch Thistle, later 1																												
H0330	Raines	Reserve	all	Clifton Hill	Open space																												
H0330	Rushall	Crescent	2	Fitzroy North																													

Exhibited	Version for adoption	Reason for change
Reference to the Statement of Significance was not included in the Schedule to the Incorporated Document. The Statements of Significance, exhibited as part of the GJM Built Form Heritage Analysis, were exhibited as 'reference documents'.	Reference added to the Statements of Significance: <i>Yarra High Streets: Statements of Significance</i> March 2020.	As outlined above, the exhibited Amendment sought to add <i>Yarra High Streets: Statements of Significance</i> by GJM Heritage, October 2017 (updated November 2017) (Appendix H) as a new reference document to Clause 22.02. However changes to Clause 43.01-5 (via Amendment VC148) now means that the document should become an incorporated document.

Attachment 3 - Table - Changes to the Amendment from exhibition to adoption

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Planning Scheme Maps

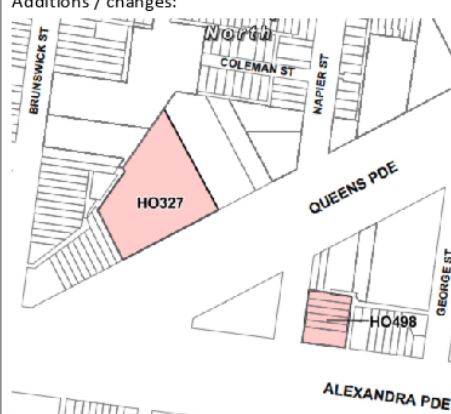
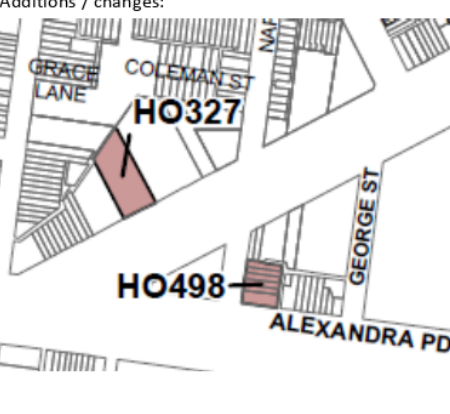
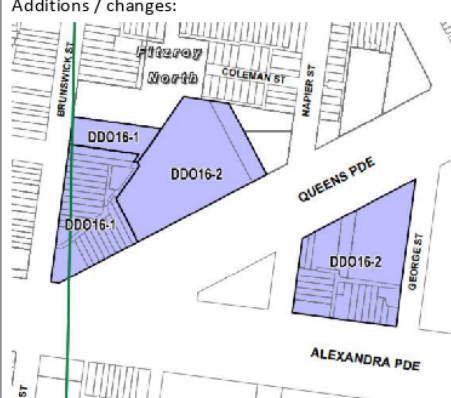
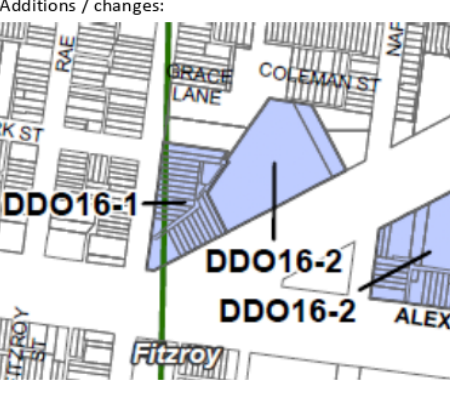
Property	Exhibited	Version for adoption	Reason for change
Heritage Overlay Maps			
Clifton Motors (205-211 Queens Parade), 201-203 and 213-215 Queens Parade and 10-12 Dummett Crescent	<p>Deletions:</p> <p>Additions / changes:</p>	<p>Deletions:</p> <p>Additions / changes:</p>	<p>Since exhibition of Amendment C231, the Minister for Planning has approved Amendment C267 to the Yarra Planning Scheme which was prepared by Heritage Victoria (to reflect the place's inclusion on the Victorian Heritage Register – VHR).</p> <p>Amendment C267 removed the Former Clifton Motor Garage from HO330 and included it in its own Heritage Overlay HO480.</p> <p>The exhibited version of C231 had proposed to include the Former Clifton Motors in its own Heritage Overlay but that is no longer required and accordingly will not now form part of the Amendment.</p> <p>The other issue arising in relation to the Former Clifton Motor Garage is that Heritage Victoria only included the land at 205-211 Queens Parade in HO480.</p> <p>The land at 10-12 Dummett Crescent, 201-203 and 213-215 Queens Parade is in the same ownership but was not included in HO480.</p> <p>The exhibited Amendment proposed to delete land at 10-12 Dummett Crescent from HO330 and give it its own Heritage Overlay. However, this change will not be progressed as it is no longer necessary.</p> <p>The site will therefore remain in HO330 along with the land at 201-203 and 213-215 Queens Parade. The Heritage Overlay map has been amended to reflect this change.</p>

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Attachment 3 - Table - Changes to the Amendment from exhibition to adoption

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Property	Exhibited	Version for adoption	Reason for change
KG Luke Building – 26-52 Queens Parade	<p>Additions / changes:</p> 	<p>Additions / changes:</p> 	<p>The purpose of the amendment was to include the remainder of the KG Luke building at 26-52 Queens Parade which was not included in HO327 in this HO. HO327 currently applies to part of the building and significant façade but not all of it.</p> <p>Exhibited version showed the HO applying to the area already within HO327 and the additional section sought to be included.</p> <p>The version for adoption corrects this error and applies HO327 to the portion of the site not currently covered by the HO.</p>
Design and Development Overlay Maps			
500 Brunswick Street	<p>Additions / changes:</p> 	<p>Additions / changes:</p> 	<p>The exhibited planning scheme maps for DDO16, which show which land is affected by the DDO, shows the Aquila apartments at 500 Brunswick Street as included in the DDO.</p> <p>This property was included in the maps in error. The land is occupied by a relatively recent apartment development and is unlikely to be redeveloped in the foreseeable future.</p> <p>The DDO is not required over this property. The maps have been amended to remove this property from the DDO.</p>

Attachment 4 - Track change DDO from exhibition to adoption

Attachment 4

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xx/xx/xxxx
Proposed
C231**SCHEDULE 16 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY**Shown on the planning scheme map as **DDO16**.**QUEENS PARADE****1.0****General Design objectives**xx/xx/xxxx
Proposed C231

- To ~~ensure development recognise and responds to the distinct heritage character and~~ heritage streetscapes and varying development opportunities ~~defined by the five precincts along Queens Parade, and supports:~~
 - ~~the existing low-rise character in Precincts 1, 3B, 4 and 5A~~
 - ~~To support a new mid rise character behind a consistent street wall in precincts 2, 3A and 5B-5.~~
 - ~~higher rise development in Precinct 5C.~~
- ~~To protect the integrity of historical streetscapes and clusters of heritage buildings of a similar scale and materiality.~~
- ~~To ensure development respects the architectural form and qualities of heritage buildings and streetscapes and maintains the visual prominence of the St John the Baptist church belfry and spire, the former ANZ Bank building, the former United Kingdom Hotel and the former Clifton Motors garage.~~
- ~~To promote design excellence that ensures new development responds to the grand, tree-lined respects the wide, open boulevard character of Queens Parade, including where existing historic trees are key elements in the streetscape, they remain the dominant visual feature.~~
- ~~To ensure development responds to sensitive interfaces by ensuring that the overall scale and form of new buildings provides a suitable transition to low scale residential areas and protects these properties from unreasonable loss of amenity through visual bulk, overlooking and overshadowing.~~

2.0**Buildings and works**~~A permit is required to construct a building or construct or carry out works.~~**2.1****Definitions**~~1:1 ratio heritage street wall to new built form is where the height of the heritage street wall equals the height of the new development above street wall when viewed from the opposite side of the street from the centre of the footpath at a height of 1.6 metres above ground level~~~~Street wall is the façade of a building at the street boundary. Street wall height is measured at the vertical distance between the footpath at the centre of the frontage and the highest point of the building, parapet, balustrade or eaves at the street edge, with the exception of architectural features and building services.~~~~Building height is the vertical distance from natural ground level to the roof or parapet at any point.~~~~Heritage building means any building subject to a Heritage Overlay, on the Victorian Heritage Register or any building graded as either Contributory or Individually Significant.~~~~Laneway means a road reserve of a public highway 9 metres or less in width. This does not include Dummett Crescent.~~~~Building height does not include non-structural elements that project above the building height and service equipment including plant rooms, lift overruns, structures associated with~~

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~~green roof areas, screens to service areas or other such equipment provided that all of the following criteria are met:~~

- ~~The total roof area occupied by the service equipment (other than solar panels) is minimised;~~
- ~~The service equipment is located in a position on the roof so as to minimise its visibility;~~
- ~~The non structural elements and service equipment do not cause additional overshadowing of neighbouring properties and public spaces;~~
- ~~The non structural elements and service equipment do not extend higher than 3.6 metres above the maximum building height; and~~
- ~~The non structural elements and service equipment are integrated into the design of the building to the satisfaction of the responsible authority.~~

Parapet height does not include features such as brackets, pediments, urns, finials or other decorative elements.

Public realm means all streets (including Dummett Crescent) and spaces open to the public but does not include laneways.

Street wall means the façade of a building at the street boundary, or if the existing heritage building is set back from the street boundary, the front of the existing building.

Street wall height means the height of the street wall measured by the vertical distance between the footpath at the centre of the frontage and the highest point of the building, parapet, balustrade or eaves at the street edge or in the case of a heritage building if it is set back from the street from the centre of the building frontage to the highest point of the building, parapet, balustrade or eaves.

Setback is ~~the shortest horizontal distance from a building, including projections such as balconies, building services and architectural features, to the boundary.~~

Upper level ~~is means~~ development above the height of the street wall.

Upper level setback means the setback of the upper level measured from the street wall of the building.

2.2 General ~~design~~ requirements

The following requirements apply to an application to construct a building or carry out works and must be read in conjunction with the relevant precinct design requirements.

- A permit ~~cannot must not~~ be granted or amended (unless the amendment would not increase the extent of non-compliance) to construct a building or carry out works which exceed the mandatory maximum building height, mandatory maximum street wall height or mandatory maximum street wall setback or are less than the mandatory minimum street wall height or mandatory minimum upper level setbacks are not in accordance with the mandatory requirements specified in the relevant Precinct Tables.
- A permit ~~cannot must not~~ be granted or amended (unless the amendment would not increase the extent of non-compliance) to construct a building or carry out works which exceeds the preferred building height and setbacks shown in the relevant Precinct Tables unless the following requirements are met, to the satisfaction of the responsible authority:
 - The built form outcome as a result of the proposed variation satisfies the general design objectives in Clause 1.0, ~~and~~
 - ~~The built form outcome as a result of the proposed variation satisfies the~~ All other relevant requirements specified in this schedule.

Architectural features may exceed the preferred or mandatory height.

Building height does not include non structural elements that project above the building height and service equipment / structures including plant rooms, lift overruns, structures associated with green roof areas, screens to service areas or and other such equipment

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may exceed the mandatory or preferred height provided that all each of the following criteria are met for the equipment or structure:

- The total Less than 50 per cent of roof area is occupied by the service equipment (other than solar panels) is minimised.
- The service equipment is located in a position on the roof so as to minimise its visibility.
- The non-structural elements and service equipment does not cause additional overshadowing of neighbouring properties and public spaces private open space, Napier Reserve and Queens Parade.
- The non-structural elements and service The equipment does not extend higher than 3.6 metres above the maximum building height ; and
- The non-structural elements and service equipment are integrated into the design of the building to the satisfaction of the responsible authority.

Projections such as balconies and building services should not intrude into a setback or upper level setback.

2.3 Street wall height requirements

- Except in Precinct 4, the street wall height should be no higher than the parapet height of a abutting heritage building/s for a minimum length of 6 metres measured from the edge of the heritage building/s.

2.4 Upper level requirements

- Upper level development should:
 - Development must pProvide setbacks which to ensure that upper level additions seen from the public realm are high quality and do not diminish the appreciation of the heritage building and streetscape.
 - Development must aAvoid repetitive stepped built form at upper levels of development.
 - Be visually recessive.
 - uUse materials at upper levels that are recessive in finish and colour.
 - Include articulated be designed so that side walls are articulated, where visible from the public realm, which are designed to reduce the visual impact of the wall and read as part of the overall building design.
 - aA voids continuous built form at upper levels.
 - Ensure balconies at upper levels do not dominate the solid façades of heritage street walls
 - Minimise the visual intrusion of equipment and services.
 - Protect the contribution made by chimneys, parapets and other architectural features to the fine grained character of the area.
- Facades at ground level must be designed with floor to floor ceiling heights suitable to accommodate commercial activity in the Commercial 1 Zone and the Mixed Use Zone.
- Development must create a consistent street wall height along the streetscapes.
- Future vehicle access and services must be provided from a rear laneway or side street where possible.
- Development must provide setbacks which ensure that upper level additions seen from the public realm are high quality and do not diminish the appreciation of the heritage building and streetscape.
- Development must avoid repetitive stepped built form at upper levels of development.

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- ~~Unless specified in another table in this schedule, any part of a building adjacent to land in a residential zone must comply with the following:~~

Table to Clause 2.2 boundary wall height and setback requirements for development adjoining a residential zone

	boundary wall height	setback
Common boundary	5 metres	45 degrees above boundary wall height
Laneway interface	8 metres	45 degrees above boundary wall height

2.5 Corner site requirements

- ~~New development on a corner site with a frontage to Queens Parade should continue the Queens Parade street wall height along the side street, with a transition in height to match the rear interface where required. This requirement does not apply to Napier Street in Precinct 2C, Precinct 5C or to a laneway except where specified. This requirement applies to the laneway abutting 215 Queens Parade in Precinct 5B to a height of 11m.~~

2.6 Ground floor design requirements

- ~~Facades at ground level must~~ should be designed with floor to floor ceiling heights suitable to accommodate commercial activity in the Commercial 1 Zone, ~~and the Mixed Use Zone and Commercial 2 Zone.~~
- ~~Building services and service cabinets should be located away from the street frontage of heritage facades and they should be designed and located so they complement the street frontage and character and appearance of the heritage building.~~
- ~~Windows of commercial premises, habitable rooms, and principal pedestrian entrances should be orientated towards the public realm and contribute to the safety of the adjoining public realm.~~

2.7 Vehicular access, car parking, and loading areas requirements

- ~~New vehicle crossovers onto Queens Parade, Brunswick Street and Napier Street should be avoided.~~
- ~~Future vehicle access and services must be provided from~~ by a rear laneway or side street where possible.
- ~~Vehicle ingress and egress into development, including loading facilities and building servicing, should ensure a high standard of pedestrian amenity and limit potential conflict between vehicle movements and pedestrian activity.~~
- ~~Development on a laneway should include a rear/side setback or a corner splay at ground floor, to facilitate the ongoing functionality of the laneway and allow for building services and car park access.~~
- ~~Permanent obstructions within a rear/side setback or splay to a laneway should be avoided.~~

2.38 Heritage design requirements

Design requirements for development on land affected by a Heritage Overlay or immediately adjacent to a heritage building

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The following requirements apply to ~~an application to construct a building or carry out works and must be read in conjunction with the relevant precinct design requirements affected by a Heritage Overlay or immediately adjacent to a heritage building.~~

Element	Design Requirement
Building facades and street frontages	<p>Infill buildings and development adjoining a heritage building</p> <p>Facade treatments and the articulation of infill buildings on land affected by a heritage overlay or immediately adjoining a heritage building must<u>should</u>:</p> <ul style="list-style-type: none"> ensure facade treatments and the articulation of new development are<u>be</u> simple and do<u>not</u> compete with the more elaborate detailing of nineteenth century buildings <u>respect</u> the vertical proportions of the nineteenth and twentieth century facades in the heritage streetscape and/or the adjoining heritage building(s) avoid large expanses of glazing with a horizontal emphasis except to ground floor shopfronts avoid large expanses of <u>unarticulated curtain glazing, glazing with a horizontal emphasis except for ground floor shopfronts</u>avoid the use of unarticulated curtain glazing and highly reflective glass and glazing with a horizontal emphasis except for ground floor shopfronts reflect the existing canopy/verandah height of the heritage streetscape and/or adjoining heritage building(s) <p>Adaption of cContributory or individually significant buildings must:</p> <p><u>Adaption and reuse of contributory or individually significant buildings should:</u></p> <ul style="list-style-type: none"> <u>maintain existing openings and</u> avoid highly reflective glazing in historic openings encourage the retention of solid built form behind retained facades and avoid balconies behind existing openings maintain the inter-floor height of the existing building and avoid new floor plates and walls cutting through historic openings
Upper level behind heritage street wall <u>Design of upper levels</u>	<p>Upper level development on land within a heritage overlay and on land immediately adjoining a heritage building must<u>should</u>:</p> <ul style="list-style-type: none"> be visually recessive and not visually dominate the heritage building and the heritage streetscape retain the primacy of the three-dimensional form of the heritage building as viewed from the public realm to avoid 'facadism' utilise visually lightweight materials and finishes that are recessive in texture and colour and provide a juxtaposition with the heavier masonry of the heritage facades incorporate simple architectural detailing that does not detract from significant elements of the heritage building and the heritage streetscape

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Element	Design Requirement
	<ul style="list-style-type: none"> be articulated to reflect the rhythm of the wider streetscape, the fine grained character and subdivision pattern of the streetscape, especially on larger sites.
Upper level setbacks	<p>Upper level setbacks in excess of the minimum mandatory upper level setback should be provided where:</p> <ul style="list-style-type: none"> it would facilitate the retention of a roof form and chimneys that are visible from the public realm, or a roof or any feature that the relevant statement of significance identifies as contributing to the significance of the heritage building or streetscape it would maintain the perception of the three-dimensional form and depth of the building a lesser setback would detract from the character of the streetscape when viewed directly or obliquely along Queens Parade.

2.9 [Interface to residential properties in NRZ or GRZ requirements](#)

- [Development should respond to the low scale form of existing development through an appropriate transition in building height and setbacks to ensure reasonable standards of amenity.](#)
- [In Precincts 3 and 4, where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9 am and 3 pm on 22 September. If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced.](#)

2.410 **Precinct design requirements**

The following precinct specific design requirements apply in addition to the general design requirements outlined in Clause 2.2-[2.9](#).

2.410.1 **Precinct 1 – Brunswick Street**

Shown on the planning scheme map as **DDO16-1**

[Preferred character statement](#)

[Buildings and works should deliver:](#)

- [Properties fronting Brunswick Street and turning the corner to Queens Parade defined by fine grained low scaled heritage buildings with moderate low rise future infill behind the main heritage frontage, accessed by rear laneways.](#)
- [Visual prominence of the individually significant heritage building on the corner of Brunswick Street and Queens Parade retained.](#)

[Design requirements](#)

[The design requirements for Precinct 1 are as follows:](#)

[Development must in Precinct 1 should:-](#)

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- ~~Ensure low rise additions behind the front sections of the terraced houses of Brunswick Street and Queens Parade respect the prevailing streetscape character and subdivision grain which retain and conserve its heritage values.~~
- ~~ensure~~ ~~Ensure that upper level elevations are high quality development is visually recessive and enhance the appreciation of the heritage building at 460 Brunswick Street.~~
- ~~retain the visual prominence of the individually significant corner building that forms the southern gateway to Queens Parade and to Fitzroy North more broadly~~
- ~~be low rise~~
- ~~reinforce the heritage values of the precinct~~
- ~~provide for vehicular access off the laneway~~

Map 1 – Precinct 1



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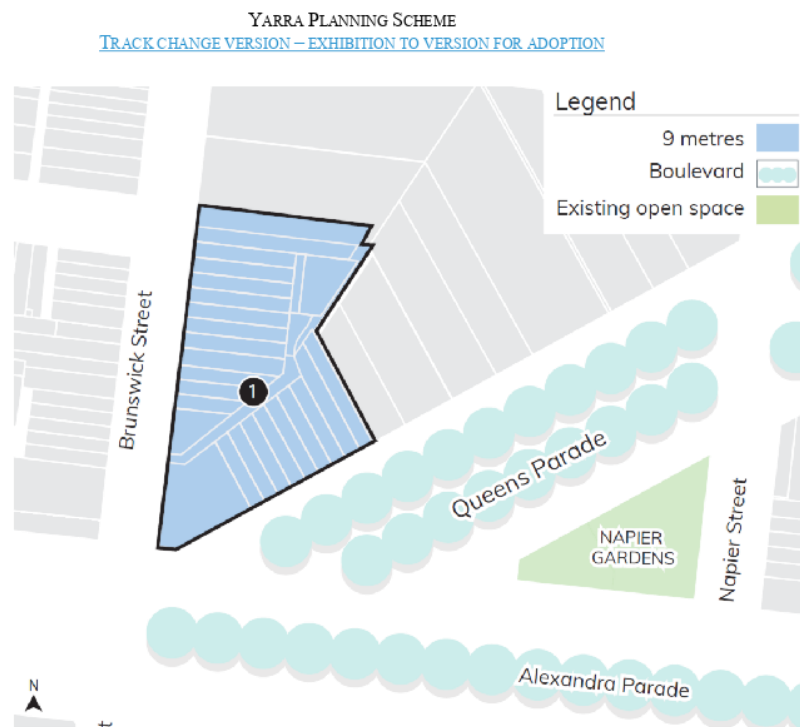


Table 1B – Front-sStreet wall height, building height and setbacks for Precinct 1B

Built Form	Mandatory ControlRequirement	Preferred ControlRequirement
Development at and adjoining 460 Brunswick Street		
Maximum Building height	460 Brunswick Street and Lot 1 on Title Plan TP806921 - Maximum 9 metres	Elsewhere – 9 metres
Maximum sStreet wall height and front setback	460 Brunswick Street - match the tallest parapet height of the existing heritage building of 460 Brunswick Street Elsewhere - Retain the height of the existing heritage street wall	None specified Built to boundary at ground level
Maximum street setback	460 Brunswick Street – Match the setback of the existing heritage building	Elsewhere – Should not be less than the setback of an adjacent heritage building
Minimum uUpper level setback	Minimum 56 metres	None specified
Minimum sSetbacks from side and	None specified	Res Code Standard B17

Attachment 4 - Track change DDO from exhibition to adoption

YARRA PLANNING SCHEME

TRACK CHANGE VERSION – EXHIBITION TO VERSION FOR ADOPTION

rear boundary		
Development on Brunswick Street, Queens Parade and land fronting the laneway known as Lot 1 on Title Plan TP806924 (apart from land at and adjoining 460 Brunswick Street)		
Building height	Maximum 9 metres on Lot 1 on Title Plan TP806924	Maximum 9 metres elsewhere
Street wall or façade height and setback	Retain existing	Match the parapet or eaves height of taller adjacent heritage building
Setbacks from side and rear boundary and a laneway	Res Code B17	
Upper level setback	6 metres from the facade	

2.410.42 Precinct 2 – Boulevard Precinct

Shown on the planning scheme map as **DDO16-2**

Preferred character statement

Buildings and works should deliver:

- A preferred location for housing and employment growth with well designed mid-rise development that complements the Queens Parade through a transition in scale to the Gas Works site.
- Development that complements the visual contribution of the double avenue of trees along the south western part of Queens Parade.
- Precinct 2A – Mid rise infill behind a distinct moderne heritage frontage that addresses Queens Parade and its heritage context and responds to the sensitivity of the interface with abutting low scale fine grained residential uses to the north and west.
- Precincts 2B and 2C – A vibrant and attractive mid-rise business area that addresses Napier Street, Queens Parade and George Street with a mix of innovative new architecture and heritage buildings to accommodate a wide range of commercial development and employment opportunities.

Design requirements

The design requirements for Precinct 2 are as follows:

Development in Precinct 2 should must:

- not diminish or detract from Respect the heritage values of the boulevard streetscape, the heritage street wall and the heritage trees along Queens Parade and deliver an appropriate interface arrangement to neighbouring properties and that minimises visual bulk and mass when viewed from the adjoining properties.
- Orientate active frontages and provide passive surveillance to the surrounding streets.
- Ensure adequate solar access is provided to the Queens Parade boulevard and Napier Street Reserve at the equinox from 9am to 3pm.

Development in Precinct 2A must also should:

- ensure projections above the street wall are not dominant in the skyline when viewed from the north side of Newry Street and of Coleman Street and the WT Peterson Oval, the Fitzroy Grandstand and other locations in the southern part of Edinburgh Gardens.

Attachment 4 - Track change DDO from exhibition to adoption

YARRA PLANNING SCHEME

TRACK CHANGE VERSION – EXHIBITION TO VERSION FOR ADOPTION

- ~~ensure adequate solar access is provided to the Queens Parade boulevard and Napier Street Reserve at the equinox from 9am-3pm.~~
- Provide an interface to neighbouring residential properties ~~maintain~~ Maintain the prominence and significance of the art deco facade.
- Retain, enhance and incorporate the existing heritage façade into the redevelopment of the site and to create a consistent parapet height along the streetscape.
- Recognise the low scale, buildings and fine grain subdivision pattern of existing development to the north and west.
- ~~encourage~~ Encourage pedestrian permeability within and through the precinct.
- ~~a~~ Avoid a repetitive stepped form within the 45 degree angle profile.
- Ensure development above the street wall is designed as a series of separate development parts with building separation to enable views to the sky.
- ~~Development in Precincts 2B and 2C and 2D must also~~ should:
- Provide an appropriate transition in scale from the heritage buildings in Precinct 2B to new built form in Precinct 2C and the higher development form of the Gas Works site.
- Create a new commercial frontage to George Street to form an active edge complementary to the proposed Gasworks redevelopment.
 - ~~maintain the prominence of heritage buildings along Napier Street when viewed from Napier Reserve.~~
 - ~~be appropriately setback at upper levels from the heritage buildings along Napier Street.~~
 - ~~provide an appropriate transition in scale from the heritage buildings along Napier Street and Alexandra Parade.~~
 - ~~provide vehicular access from laneways~~
 - ~~provide building separation to reduce visual bulk~~

Attachment 4 - Track change DDO from exhibition to adoption

YARRA PLANNING SCHEME TRACK CHANGE VERSION – EXHIBITION TO VERSION FOR ADOPTION

Map 2 – Precinct 2



Attachment 4 - Track change DDO from exhibition to adoption

YARRA PLANNING SCHEME
TRACK CHANGE VERSION – EXHIBITION TO VERSION FOR ADOPTION

Table 2 – Street wall height, building height and setbacks for Precincts 2A, 2C-2B and 2D2C

Built form	Mandatory requirement	Preferred requirement
Precinct 2A		
Built Form	Mandatory requirement	Preferred requirement
Maximum Building height	Maximum of 31m	None specified
Front Maximum street wall height	Retain height of existing heritage façade. Maximum of 10 metres where no heritage façade exists.	None specified Street wall of development adjoining the individually significant building must not exceed the parapet height of the taller adjoining heritage building
Front setbackMaximum and Minimum setback to Queens Parade	None specified	0 metres to maximum 10 metres
Minimum Upper level setback from front of building	None specified	Above existing heritage façade: <ul style="list-style-type: none"> Minimum 8 metre setback from 10 metres to 16 metres Minimum 10 metre setback from 16 metres Above new street wall (where no existing heritage façade): <ul style="list-style-type: none"> Minimum of 5 metre setback from 10 metres to 16 metres Minimum of 8 metres setback from 16 metres
Minimum Setback(s) from rear boundaries - north and west adjacent to NRZ and GRZ	None specified	ResCode Standard B17 from rear boundary of adjoining properties to 10 metres Setback within 45 degree angle measured from 10 to 25 metres
Minimum Setbacks from side boundary - east adjacent to NRZ	None specified	0 metre setback to match party wall of existing adjoining development to 10 metres Setback within 45 degree angle measured from 10 to 25 metres
Minimum Setbacks from side boundary -	None specified	0 metre setback to match party wall of existing adjoining development, or

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east adjacent to MUZ		10 metre where no party wall exists. Minimum of 9 metre setback from the windows/ balconies of adjoining apartments up to 16 metres Minimum of 15 metre setback above 16 metres
Minimum sSetbacks from side and rear boundaries west and north-west adjacent to MUZ	<u>None specified</u>	0 metre setback to match party wall of existing adjoining development, or 10 metre where no party wall exists. Setback within 45 degree angle measured from 10- <u>to</u> 25 metres
Precinct 2C		
Built Form	Mandatory requirement	Preferred requirement
Maximum bBuilding height	<u>None specified</u>	Maximum of 28 metres
Maximum Front street wall height	<u>Napier Street – 10 metres</u>	<u>Queens Parade, George Street and Alexandra Parade Maximum – 18 metres</u> for development on Queens Parade, George Street and Alexandra Parade Development on Napier Street should not exceed the parapet height of the adjoining heritage buildings.
Minium uUpper level setback	<u>Napier Street – 6 metres</u>	<u>Elsewhere - 6.5 metres minimum</u>
Setback(s) from boundary of 472 to 484 Napier Street	<u>=</u>	Setback within a 45 degree angle line measured from 12 metres
Minimum sSide and rear setbacks	<u>None specified</u>	Rear setback: <u>4.5m from centreline of laneway for height of the entire building</u> Side setbacks: For upper levels, where a habitable room window is proposed: <ul style="list-style-type: none"> <u>4.5 metres from the common boundary or from the centre line of the laneway.</u>

Attachment 4 - Track change DDO from exhibition to adoption

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		For upper levels, where a non-habitable room window or commercial window is proposed: 3 metres from the common boundary or the centre line of the laneway ResCode B17
Precinct 2D-2B		
Built Form	Mandatory requirement	Preferred requirement
Maximum Building height	None specified	18 metres
Front-Maximum street wall height	Napier Street - Retain existing parapet height	None specified
Maximum Upper level setback	Minimum 6 metres from facade	None specified
Minimum rear setback	None specified	4.5m from centreline of laneway for height of the entire building

2.4.210.3 Precinct 3 – St John's Precinct

Shown on the planning scheme map as **DDO16-3**

[Preferred character statement](#)

[Buildings and works should deliver:](#)

- [An attractive mixed use area comprising residential and commercial uses with active frontages to the street that retains the primacy of the St John's Church landmark and views to its belfry and spire.](#)
- [New development that articulates the higher profile of the corner of Queens Parade and Smith Street, relative to its immediate surroundings.](#)
- [Intact streetscape on Smith Street retained with new development set back from the facade and designed to complement the Victorian era buildings and street wall.](#)
- [Provide an effective transition provided to the residential areas to the south and east.](#)

[Design requirements](#)

[Development in Precinct 3 should must:](#)

- [Create/achieve a consistent street wall that maintains the prominence of the heritage street wall in the streetscape height along Queens Parade, extending along Smith Street.](#)
- [respond to the low scale form of existing development outside Precinct 3 on Hodgkinson Street through an appropriate transition in building height.](#)
- [recognise-Reflect the fine grain character of heritage streetscapes and minimise the dominance of wide building frontages.](#)
- [deliver-Deliver high quality architectural detailing that respects the heritage qualities and rhythms of Queens Parade and Smith Street.](#)
- [maintain the prominence of the heritage street wall in the streetscape and the vista along Queens Parade.](#)
- [Provide an interface with neighbouring residential properties on Hodgkinson Street that minimises visual bulk and mass and provides building separation along side and rear boundaries abutting existing properties.](#)

Attachment 4 - Track change DDO from exhibition to adoption

YARRA PLANNING SCHEME

TRACK CHANGE VERSION – EXHIBITION TO VERSION FOR ADOPTION

The design requirements for Development in Precinct 3A are as follows must:

- Development must maintain views of the belfry and spire of St John's church and maintain clear sky between the belfry and spire and new development when viewed from the pedestrian refuge on the south-west corner of the intersection with the centre of the footpath on the south-east corner of the intersection with Queens Parade and Smith Street (as indicated on Map 3). A permit cannot be granted to construct a building or carry out works if it does not meet this requirement vary this requirement.

Development in Precinct 3A should:

- Emphasise the corner of Queens Parade and Smith Street with a higher street wall and distinct architectural treatments.

Development in Precinct 3B should:

- Reinforce the traditional street wall on Smith Street.
- Ensure that upper level development is visually recessive and does not detract to complement from the heritage streetscape.
- use materials at upper levels that are recessive in finish and colour.
- be designed so that side walls are articulated and read as part of the overall building design.
- avoids continuous built form at upper levels.

Map 3 - Precinct 3



Attachment 4 - Track change DDO from exhibition to adoption

YARRA PLANNING SCHEME
[TRACK CHANGE VERSION – EXHIBITION TO VERSION FOR ADOPTION](#)

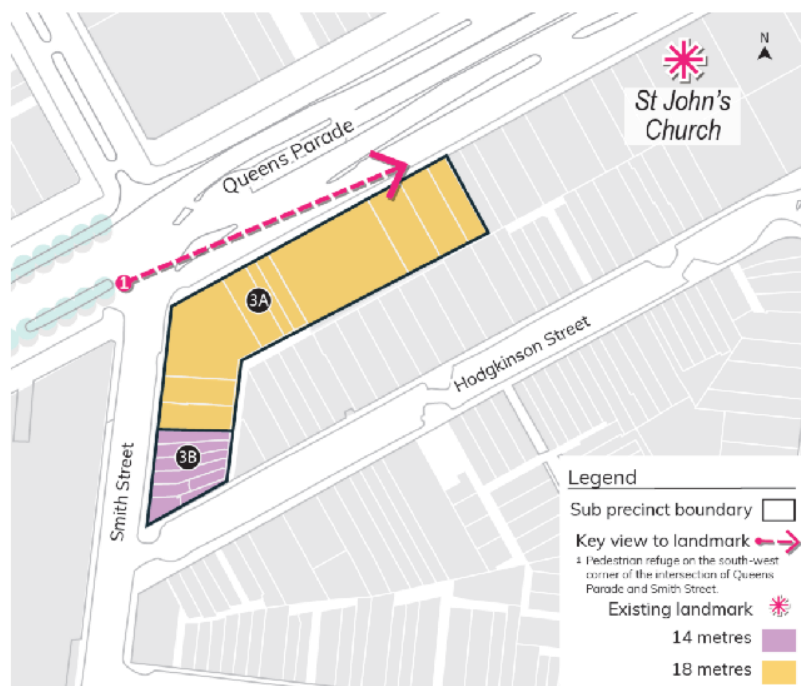


Table 3 – Street wall height, building height and setbacks for Precinct-s 3A and 3B

Built Form	Mandatory requirement	Discretionary-Preferred requirement
Precinct 3A		
Maximum Building height	18 metres	Maximum of 18m-None specified
Front Maximum street wall height	15-33 & 41 Queens Parade - Maximum 11 metres for 45-33 Queens Parade 35-37 Queens Parade - Retain height of existing heritage façade. Development adjoining a heritage building must match the parapet height of adjacent taller heritage building. 6 metres on either side of the corner of Smith Street and Queens Parade – 17 metres Elsewhere - Maximum of 14 metres elsewhere	None specified

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TRACK CHANGE VERSION – EXHIBITION TO VERSION FOR ADOPTION

Minimum upper level setback	Minimum of 6 metres at 664 Smith Street (former Fire Station) and Minimum 6 metres at 15-41 Queens Parade	Non specified 6 metres elsewhere
Maximum street wall setback	None specified	0 metres - built to front boundary at ground level
Minimum rear setback	None specified	Where there is a laneway: • Height and setbacks as shown in Figure 1 Where there is no laneway: • Height and setbacks as shown in Figure 2 45° above 8 metres from rear boundary to a laneway 45° above 5 metres from rear boundary (no laneway)
Minimum side setback	None specified	If side boundary adjoins NRZ and abuts an existing boundary wall, 0 metre to a height of 8 metres and a setback with a 45 degree angle above a height of 8 metres. Elsewhere - 0 metres If adjoins NRZ, ResCode B17 0 metres elsewhere
Precinct 3B		
Maximum building height	14 metres	None specified
Maximum street wall height	Retain height of existing heritage façade.	None specified
Minimum upper level setback	6 metres	None specified
Maximum street wall setback	None specified	0 metres - built to front boundary at ground level
Minimum rear setback	None specified	Where there is a laneway: • Height and setbacks as shown in Figure 1 Where there is no laneway: • Height and setbacks as shown in Figure 2.

Attachment 4 - Track change DDO from exhibition to adoption

YARRA PLANNING SCHEME
[TRACK CHANGE VERSION – EXHIBITION TO VERSION FOR ADOPTION](#)

2.4.310.4 Precinct 4 – Activity Centre Precinct

Shown on the planning scheme map as **DDO16-4**

Preferred character statement

Buildings and works should deliver:

- A unique and vibrant Victorian era shopping strip which forms the retail and activity focus of Queens Parade building on its distinctive heritage qualities.
- Development that complements the scale of heritage buildings and the patterns and rhythms of heritage features.
- Upper level infill that reinforces the prevailing street wall and subdivision grain of significant streetscapes and transitions to residential abutments to the rear.
- Well designed building frontages and public realm that reinforce the pedestrian experience of this part of Queens Parade as and the central hub for the local community
- Development that retains the prominence of the former ANZ Building.

Design requirements

The design requirements for Development in Precinct 4 are as follows:

- Development must protect and maintain key view lines and visual prominence of the former ANZ Building from the south-west and north-east, in particular to the upper floor, roof form and chimneys (as indicated on Map 4). A permit cannot be granted to construct a building or carry out works if it does not meet vary this requirement.

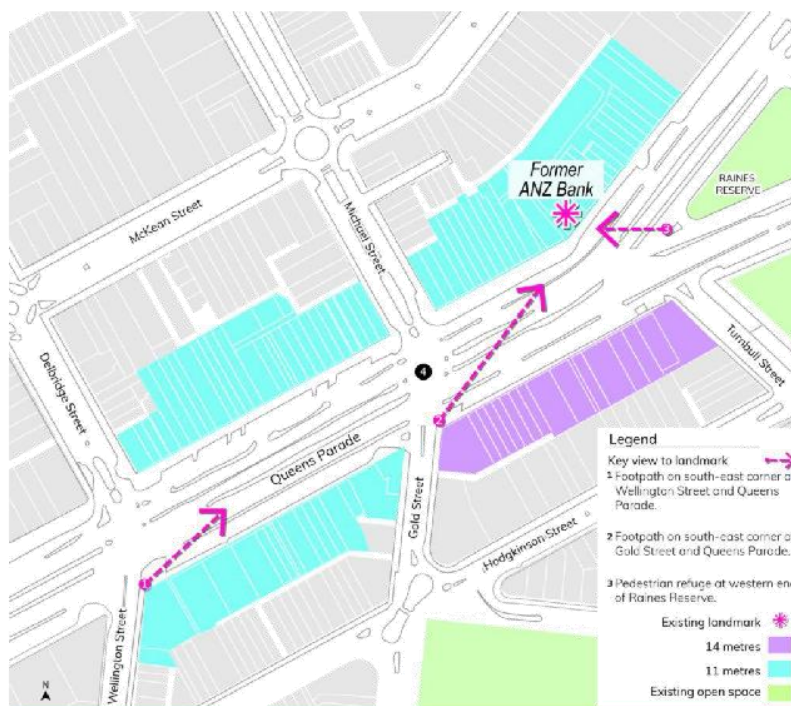
Development must in Precinct 4 should:

- Respect the consistent scale, grain, rhythm and architectural quality of the highly intact heritage streetscapes and the heritage buildings in the precinct.
- retain Retain the visual prominence of heritage buildings, their street wall and significant 'High Street' heritage streetscapes when viewed from the opposite side of Queens Parade.
- facilitate Facilitate the appropriate mid-low rise infill of the sites located to the rear of commercial properties fronting Queens Parade.
- Ensure that any upper level development is set back from the heritage façade, is visually recessive and does not detract from the heritage streetscape.
- retain Retain the visual prominence and heritage fabric of the return facades of heritage buildings that front Queens Parade, Delbridge, Gold, and Michael and Wellington Streets.
- ensure Ensure that facades at ground floor incorporate verandahs which are consistent with the form and scale of adjoining verandahs.
- retain Retain chimneys visible from the public realm.
- enhance Enhance the amenity and safety of laneways that provide pedestrian and vehicular access to buildings.
- Maintain service access from the laneways to facilitate commercial use of the properties fronting Queens Parade.
- Ensure shopfront widths are not reduced to the extent they become commercially unviable.

Attachment 4 - Track change DDO from exhibition to adoption

YARRA PLANNING SCHEME TRACK CHANGE VERSION – EXHIBITION TO VERSION FOR ADOPTION

Map 4 - Precinct 4



Attachment 4 - Track change DDO from exhibition to adoption

YARRA PLANNING SCHEME
[TRACK CHANGE VERSION – EXHIBITION TO VERSION FOR ADOPTION](#)

Table 4 – Street wall height, building height and setbacks for Precinct 4

Built Form	Mandatory requirement	Preferred requirement
Maximum Building height	24.5 metres South side of Queens Parade between Gold and Turnbull Streets - 14 metres Elsewhere - 11 metres	None specified
Maximum and minimum Front street wall height - on Queens Parade	<p>For existing heritage facades:</p> <ul style="list-style-type: none"> Retain height of the existing heritage façade. <p>Where no heritage façade exists and there is no adjacent heritage building/s:</p> <ul style="list-style-type: none"> at least 8 metres in height and no higher than 11 metres in height. <p>Where no heritage façade exists and there is an adjacent heritage building/s:</p> <ul style="list-style-type: none"> at least 8 metres in height and no higher than 11 metres unless an adjacent heritage building has a parapet height of more than 11 metres, in which case no higher than the adjacent heritage parapet height. <p>Retain height of existing heritage façade.</p> <p>Where no heritage façade exists, development must be:</p> <p>a minimum of 8 metres a maximum of 11 metres or where there is an adjacent heritage building, the parapet height of that building if taller than 11 metres.</p>	None specified
Front Maximum and minimum street wall height - in side streets.	None specified	<p>For existing heritage facades:</p> <ul style="list-style-type: none"> Retain height of the existing heritage façade. <p>Where no heritage façade exists and there is no adjacent heritage building/s:</p>

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Built Form	Mandatory requirement	Preferred requirement
		<ul style="list-style-type: none"> at least 8 metres in height and no higher than 11 metres in height <p>Where no heritage façade exists and there is an adjacent heritage building/s:</p> <ul style="list-style-type: none"> at least 8 metres in height and no higher than 11 metres unless an adjacent heritage building has a parapet height of more than 11 metres, in which case no higher than the adjacent heritage parapet height. <p>Retain height of existing heritage façade.</p> <p>Where no heritage façade exists development should be: a minimum of 8 metres a maximum of 11 metres or where there is an adjacent heritage building, the parapet height of that building if taller than 11 metres</p>
Maximum Upper level setback Queens Parade	Minimum 6 metres in significant heritage streetscape area Minimum 8 metres at 364 Queens Parade	None specified Minimum 6 metres at 167-197 Queens Parade
Minimum Upper level setback in side streets	None specified	Minimum 6 metres
Maximum and minimum Street wall setback	0 metres - built to front boundary at ground level (except for 181, 189-191 and 193 Queens Parade)	181, 189-191 and 193 Queens Parade – Retain existing setback
Minimum setback to a NRZ interface Side and rear setback (NRZ interface)	None specified	<p>Where there is a laneway:</p> <ul style="list-style-type: none"> Height and setbacks as shown in Figure 1 <p>Where there is no laneway:</p> <ul style="list-style-type: none"> Height and setbacks as shown in Figure 2 <p>45-degree angle above 8 metres from rear boundary to laneway</p> <p>45-degree angle above 5 metres where no laneway</p>

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Built Form	Mandatory requirement	Preferred requirement
Minimum rear setback to a C1Z interface	None specified	3 metres above 11 metres

2.4.410.5 Precinct 5 – North Eastern Precinct

Shown on the planning scheme map as **DDO16-5**

[Preferred character statement](#)

[Buildings and works should deliver:](#)

- [An area of contemporary higher rise development in a preferred location for housing growth where the significant heritage fabric \(the Former UK Hotel and the former Clifton Motors garage\) remains the prominent precinct feature.](#)
- [Steps up in distinct increments from the significant heritage buildings \(the Former Clifton Motors and UK Hotel buildings\) to the north-east.](#)
- [Separation between buildings to enable equitable development and amenity and to diminish the bulk of the built form, while contributing to a safe and legible walking environment that offers visual interest and encourages passive surveillance throughout the Precinct.](#)

[Design requirements](#)

[The design requirements for Precinct 5 are as follows:](#)

[Development in Precinct 5 should:](#)

- [retain the visual prominence of the former United Kingdom Hotel when viewed from key viewpoints \(as indicated on Map 5\) - Raines Reserve and the former Clifton Motors Garage when viewed from the opposite side of Queens Parade.](#)
- [retain and incorporate the modern facade of the former Clifton Motor Garage \(205-211 Queens Parade\) in any redevelopment of the site and ensure that the three dimensional form of the facade remains prominent and the decorative vertical fin remains a prominent freestanding element when viewed from the public realm.](#)
- [Adopt a street wall height for new development adjacent to the former United Kingdom Hotel that respects the facade height of the former hotel.](#)
- [Ensure buildings in Precincts 5B and 5C read as a series of separate development parts with building separation above the street wall.](#)
- [Establish a transition and gradual stepping down of building heights from taller forms in Precinct 5C to existing heritage form in Precinct 5A.](#)
- [Ensure that adverse wind effects on the public realm are avoided.](#)

[Development in Precinct 5C should:](#)

- [Reinforce the scale of existing high-rise buildings in the precinct trending higher to the north east.](#)
- [Ensure high quality development enhances the prominent corner of Queens Parade and Hoddle Street creating a strong address to each street frontage that encourages active pedestrian movement and accessibility through the Precinct.](#)
- [Ensure that the height and design of the street wall creates and reinforces a 'human scale' to diminish the perceived bulk of the buildings and provide visual interest at street level along Queens Parade and Hoddle Street.](#)

Attachment 4 - Track change DDO from exhibition to adoption

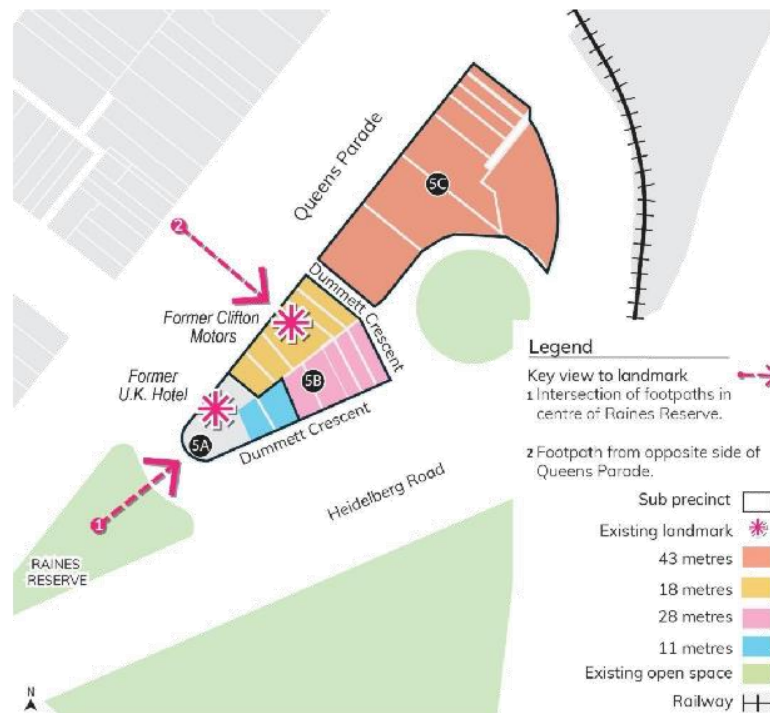
YARRA PLANNING SCHEME

TRACK CHANGE VERSION – EXHIBITION TO VERSION FOR ADOPTION

Map 5 - Precinct 5



Map of Precinct 5



Attachment 4 - Track change DDO from exhibition to adoption

YARRA PLANNING SCHEME

TRACK CHANGE VERSION – EXHIBITION TO VERSION FOR ADOPTION

Table 5 – Street wall height, building height and setbacks for Precincts 5A, 5B and 5C

Built form	Mandatory requirement	Preferred requirement
Precinct 5A		
Maximum Building building height	<u>11 metres</u>	18 metres <u>None specified</u>
Maximum s Street wall height	<u>No higher than the height of the existing eaves of the former UK Hotel</u> <u>Match existing parapet or eaves height</u>	<u>None specified</u>
Minimum u Upper level setback	<u>None specified</u>	Minimum 56 metres
Precinct 5B		
Maximum b Building height	<u>201-215 Queens Parade - 18 metres</u>	1:1 heritage street wall to new built form behind Clifton Motors and 203 Queens Parade visible from the opposite side of Queens Parade <u>Elsewhere - 28 metres elsewhere</u>
Front Maximum street wall height	<u>201-215 Queens Parade (including the frontage to north-east boundary to Dummett Crescent for distance of 8m) - no higher than the parapet height of the former Clifton Motor Garage and the eaves line of the former UK Hotel</u> <u>Beyond a distance of 8m from the corner of Queens Parade, the street wall along the north-east boundary of 215 Queens Parade - no higher than 11m</u> <u>Match parapet height of former Clifton Motor Garage and eaves line of former UK Hotel</u>	<u>4-10 Dummett Crescent (including the frontage to north-east boundary to Dummett Crescent) - 11 metres for non contributory buildings facing Queens Parade and Dummett Crescent</u>
Minimum s Street wall setback	<u>0 metres – built to the boundary</u>	<u>None specified</u>
Minimum upper level setback	<u>201-215 Queens Parade - 8 metres from Queens Parade</u> <u>6 metres for development at former Clifton Motor Garage</u>	Elsewhere - 6 metres elsewhere

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Minimum Setback from side and rear boundary setbacks	0-metres <u>None specified</u>	<p>For upper levels, where a habitable room window is proposed:</p> <ul style="list-style-type: none"> 4.5 metres from the common boundary or from the centre line of the laneway. <p>For upper levels, where a non-habitable room window or commercial window is proposed:</p> <ul style="list-style-type: none"> 3 metres from the common boundary or from the centre line of the laneway.
Precinct 5C		
Built Form	Mandatory requirement	Preferred requirement
Maximum bBuilding height	<u>None specified</u>	<u>49-43</u> metres
Front-Maximum street wall height	<u>None specified</u>	<u>35-18</u> metres
Minimum uUpper level setback	<u>None specified</u>	<u>40-6</u> metres
Minimum side and rear setbacks	<u>None specified</u>	<p><u>For upper levels, where a habitable room window is proposed:</u></p> <ul style="list-style-type: none"> <u>4.5 metres from the common boundary or from the centre line of the laneway.</u> <p><u>For upper levels, where a non-habitable room window or commercial window is proposed:</u></p> <p><u>3 metres from the common boundary or from the centre line of the laneway.</u></p>

3.0 Subdivisionxx/xx/xxxx
Proposed
C231

None specified.

4.0 Advertisingxx/xx/xxxx
Proposed
C231

None specified.

5.0 Application requirementsxx/xx/xxxx
Proposed
C231

The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and should accompany an application, as appropriate, to the satisfaction of the responsible authority:

Attachment 4 - Track change DDO from exhibition to adoption

YARRA PLANNING SCHEME

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- A site analysis and urban design context report which demonstrates how the proposal achieves the Design Objectives, Preferred Character Statements and Design Requirements of this schedule.
- For development proposals for buildings over 20 metres in height, a wind study analysis to assess the impact of wind on the safety and comfort of the pedestrian environment on footpaths and other public spaces while walking, sitting and standing.
- A Traffic and Parking Assessment Report which includes an assessment of the cumulative impacts of traffic and parking in the Precinct including an assessment of the ongoing functionality of laneway/s.

56.0

Decision guidelines

xx/xx/xxxx
Proposed
C231

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- ~~Whether the General Design Requirements, Heritage Design Requirements and the Precinct Design Requirements in Clauses 2.2, 2.3 and 2.4 are met.~~
- Whether the proposal delivers design excellence.
 - If roof decks are proposed, whether they are set back from lower levels and are recessive in appearance.
 - The profile and impact of development along Queens Parade when viewed from ~~from~~ the north side of McKean Street and the south side of Hodgkinson Street.
- ~~The design response at the interface with existing, low-scale residential properties.~~
 - The design of the streetscape interface along the primary street frontage.
 - Whether side and rear setbacks and controls on light spillage and noise are sufficient to limit the impact on the amenity of existing dwellings.
 - ~~How any proposed buildings and works will~~ The impact on solar access to Queens Parade and Napier Street Reserve.
 - Whether heritage buildings on street corners retain their prominence when viewed from both streets.
 - Whether heritage buildings retain their three-dimensional form when viewed from the public realm.
 - Whether upper level development above the heritage street wall is visually recessive and does not dominate or visually overwhelm the heritage buildings.
 - Whether the proposal contributes to and improves the pedestrian environment and other areas of the public realm.
 - The impact of development on views to:
 - the former ANZ Bank building's tower, roof, chimney and upper level
 - the St John the Baptist Church belfry and spire
 - the former Clifton Motor Garage's Moderne façade and fin.
- The wind effects created by the development.
- The cumulative impact of traffic and parking in the Precinct including on the functionality of laneway/s.

Reference Documents

Queens Parade, Clifton Hill Built Form Review prepared by Hansen Partnership—December 2017.

Attachment 4 - Track change DDO from exhibition to adoption

YARRA PLANNING SCHEME TRACK CHANGE VERSION – EXHIBITION TO VERSION FOR ADOPTION

Figure 1 - Setback where there is a laneway to the side or rear

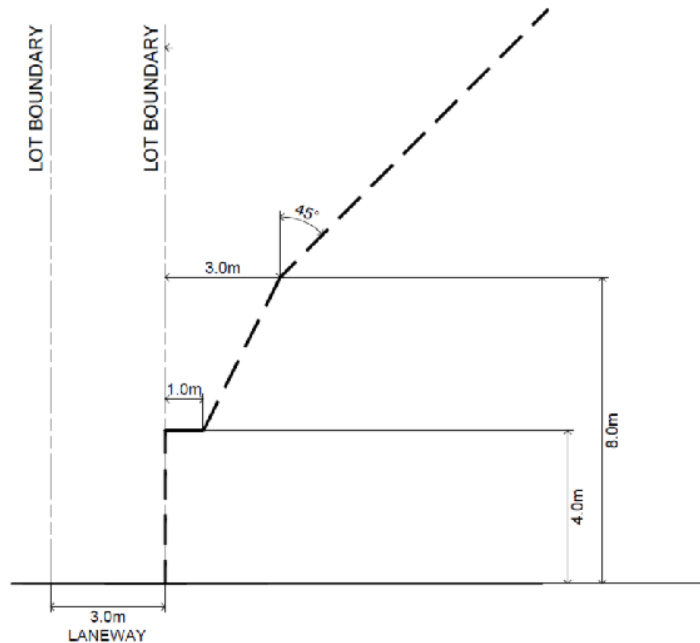
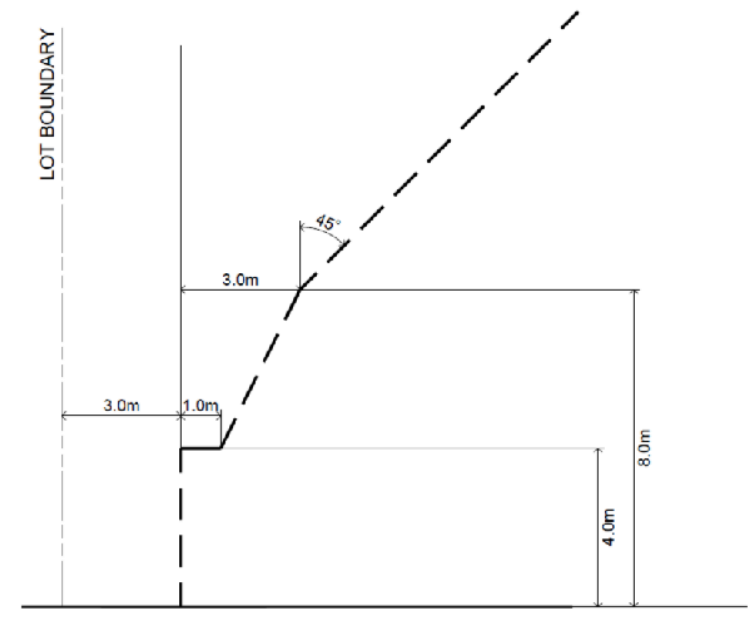


Figure 2 – Setback where there is no laneway to the side or rear



Attachment 5 - Amendment documentation for adoption

YARRA PLANNING SCHEME

DDO Schedule 16 – Version for adoption (Track changes based on the Panel's final version) – 17 March 2020

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SCHEDULE 16 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

Shown on the planning scheme map as **DDO16**.

QUEENS PARADE

1.0

Design objectives

- To ensure development responds to the heritage character and streetscapes and varying development opportunities and supports:
 - the existing low-rise character in Precincts 1, 3B, 4 and 5A
 - a new mid rise character behind a consistent street wall in Precincts 2, 3A and 5B
 - higher rise development in Precinct 5C.
- To protect the integrity of historical streetscapes and clusters of heritage buildings of a similar scale and materiality.
- To ensure development respects the architectural form and qualities of heritage buildings and streetscapes and maintains the visual prominence of the St John the Baptist church belfry and spire, the former ANZ Bank building, the former United Kingdom Hotel and the former Clifton Motors garage.
- To promote design excellence that ensures new development respects the wide, open boulevard character of Queens Parade including where existing historic trees are key elements in the streetscape, they remain the dominant visual feature.
- To ensure development responds to sensitive interfaces by ensuring the overall scale and form of new buildings provides a suitable transition to low scale residential areas and protects these properties from an unreasonable loss of amenity through visual bulk, overlooking and overshadowing.

NB – This track change version of the DDO accepts the Panel's recommendations as outlined in Attachment 1. The track changes show any officer recommended changes to the Panel's recommendations and other fix-ups eg typos.

2.0

Buildings and works

2.1

Definitions

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Heritage building means any building subject to a Heritage Overlay, on the Victorian Heritage Register or any building graded as either Contributory or Individually Significant.

Laneway means a road reserve of a public highway 9 metres or less in width. This does not include Dummett Crescent.

Parapet does not include features such as brackets, pediments, urns, finials or other decorative elements.

Public realm means all streets (including Dummett Crescent) and spaces open to the public but does not include laneways.

Street wall means the façade of a building at the street boundary, or if the existing heritage building is set back from the street boundary, the front of the existing building.

Street wall height means the height of the street wall measured by the vertical distance between the footpath at the centre of the frontage and the highest point of the building, parapet, balustrade or eaves at the street edge or in the case of a heritage building if it is set back from the street from the centre of the building frontage to the highest point of the building, parapet, balustrade or eaves.

Upper level means development above the height of the street wall.

Upper level setback means the setback of the upper level measured from the street wall of the building.

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2.2 General Requirements

The following requirements apply to an application to construct a building or carry out works and must be read in conjunction with the relevant precinct design requirements.

- A permit must not be granted or amended (unless the amendment would not increase the extent of non-compliance) to construct a building or construct or carry out works which exceed the mandatory maximum building height, mandatory maximum street wall height or mandatory maximum street wall setback or are less than the mandatory minimum street wall height or mandatory minimum upper level setbacks specified in the relevant Precinct Tables. A permit cannot be granted to vary these requirements.
- A permit must not be granted or amended (unless the amendment would not increase the extent of non-compliance) to construct a building or carry out works which exceeds the preferred building height and setbacks specified in the relevant Precinct Tables unless all the following requirements are met, to the satisfaction of the responsible authority:
 - The built form outcome as a result of the proposed variation satisfies the design objectives in Clause 1.0.
 - All other relevant requirements specified in this schedule.

Architectural features may exceed the preferred or mandatory height.

Service equipment/structures including plant rooms, lift overruns, structures associated with green roof areas and other such equipment may exceed the preferred or mandatory height provided that each of the following criteria are met for the equipment or structure:

- Less than 50 per cent of the roof area is occupied by the equipment (other than solar panels).
- The equipment does not cause additional overshadowing of private open space, Napier Reserve and Queens Parade.
- The equipment does not extend higher than 3.6 metres above the maximum building height.

Projections such as balconies and building services should not intrude into a setback or upper level setback.

2.3 Street wall height requirements

- Except in Precinct 4, the street wall height should be no higher than the parapet height of an abutting heritage building/s for a minimum length of 6 metres measured from the edge of the heritage building/s.

2.4 Upper level requirements

- Upper level development should:
 - Provide setbacks to ensure that upper level additions seen from the public realm do not diminish the appreciation of the heritage building and streetscape.
 - Avoid repetitive stepped built form at upper levels.
 - ~~Ensure that upper level development is~~ Be visually recessive.
 - Use materials that are recessive in finish and colour.
 - Include articulated side walls, where visible from the public realm, which are designed to reduce the visual impact of the wall and read as part of the overall building design.
 - Avoid continuous built form at upper levels.
 - Ensure balconies at upper levels do not dominate the solid façades of heritage street walls

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- Minimise the visual intrusion of equipment and services.
- Protect the contribution made by chimneys, parapets and other architectural features to the fine grained character of the area.

2.5 Corner site requirements

- New development on a corner site with a frontage to Queens Parade should continue the Queens Parade street wall height along the side street, with a transition in height to match the rear interface where required. This requirement does not apply to Napier Street in Precinct 2C, Precinct 5C or to a laneway except where specified. This requirement applies to the laneway abutting 215 Queens Parade in Precinct 5B to a height of 11m.

2.6 Ground floor design requirements

- Facades at ground level should be designed with floor to floor ceiling heights suitable to accommodate commercial activity in the Commercial 1 Zone, Mixed Use Zone and the Commercial 2 Zone.
- Building services and service cabinets should be located away from the street frontage of heritage facades. They should be designed and located so they complement the street frontage and character and appearance of the heritage building.
- Windows of commercial premises, habitable rooms, and principal pedestrian entrances should be orientated towards the public realm and contribute to the safety of the adjoining public realm.

2.7 Vehicular access, car parking, and loading areas requirements

- New vehicle crossovers onto Queens Parade, Brunswick Street and Napier Street should be avoided.
- Future vehicle access and services must be provided by a rear laneway or side street, where possible.
- Vehicle ingress and egress into development, including loading facilities and building servicing, should ensure a high standard of pedestrian amenity and limit potential conflict between vehicle movements and pedestrian activity.
- Development on a laneway should include a rear/side setback or a corner splay at ground floor, to facilitate the ongoing functionality of the laneway and allow for building services and car park access.
- Permanent obstructions within a rear/side setback or splay to a laneway should be avoided.

2.8 Heritage design requirements

The following design requirements apply to development on land affected by a Heritage Overlay or immediately adjacent to a heritage building.

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Element	Design Requirement
Building facades and street frontages	<p>Infill buildings and development adjoining a heritage building</p> <p>Façade treatments and the articulation of infill buildings should:</p> <ul style="list-style-type: none"> be simple and not compete with the more elaborate detailing of nineteenth century buildings respect the vertical proportions of the nineteenth and twentieth century facades in the heritage streetscape and/or the adjoining heritage building(s) avoid large expanses of unarticulated curtain glazing, highly reflective glass and glazing with a horizontal emphasis, except for ground floor shopfronts reflect the existing canopy/verandah height of the heritage streetscape and/or adjoining heritage building(s) <p>Contributory or individually significant buildings</p> <p>Adaption and reuse of contributory or individually significant buildings should:</p> <ul style="list-style-type: none"> maintain existing openings and avoid highly reflective glazing in historic openings encourage the retention of solid built form behind retained facades and avoid balconies behind existing openings maintain the inter-floor height of the existing building and avoid new floor plates and walls cutting through historic openings.
Design of upper levels	<p>Upper level development on land within a heritage overlay and on land immediately adjoining a heritage building should:</p> <ul style="list-style-type: none"> be visually recessive and not visually dominate the heritage building and the heritage streetscape retain the primacy of the three-dimensional form of the heritage building as viewed from the public realm to avoid 'facadism' utilise visually lightweight materials and finishes that are recessive in texture and colour and provide a juxtaposition with the heavier masonry of the heritage facades incorporate simple architectural detailing that does not detract from significant elements of the heritage building and the heritage streetscape reflect the rhythm of the wider streetscape, fine grained character and subdivision pattern of the streetscape, especially on larger sites.
Upper level setbacks	<p>Upper level setbacks in excess of the minimum mandatory upper level setback should be provided where:</p> <ul style="list-style-type: none"> it would facilitate the retention of a roof form and chimneys that are visible from the public realm, or a roof or any feature that the relevant statement of significance identifies as contributing to the significance of the heritage building or streetscape it would maintain the perception of the three-dimensional form and depth of the building a lesser setback would detract from the character of the streetscape when viewed directly or obliquely along Queens Parade.

[2.9 Interface to residential properties in NRZ or GRZ requirements](#)

- Development should respond to the low scale form of existing development through an appropriate transition in building height and setbacks to ensure reasonable standards of amenity.

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- [In Precincts 3 and 4, Where](#) where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9 am and 3 pm on 22 September.

If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced.

[2.910](#) **Precinct design requirements**

The following precinct specific design requirements apply in addition to the General [Design](#) Requirements outlined in Clauses 2.2-2.9.

[2.910.1](#) **Precinct 1 – Brunswick Street**

Shown on the planning scheme map as **DDO16-1**

Preferred character statement

Buildings and works should deliver:

- Properties fronting Brunswick Street and turning the corner to Queens Parade defined by fine grained low scaled heritage buildings with moderate low rise future infill behind the main heritage frontage, accessed by rear laneways.
- Visual prominence of the individually significant heritage building on the corner of Brunswick Street and Queens Parade retained.

Design requirements

Development in Precinct 1 should:

- Ensure low rise additions behind the front sections of the terraced houses of Brunswick Street and Queens Parade respect the prevailing streetscape character and subdivision grain which retain and conserve its heritage values.
- Ensure upper level elevations are high quality, visually recessive and enhance the appreciation of the heritage building at 460 Brunswick Street.

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Map 1 – Precinct 1

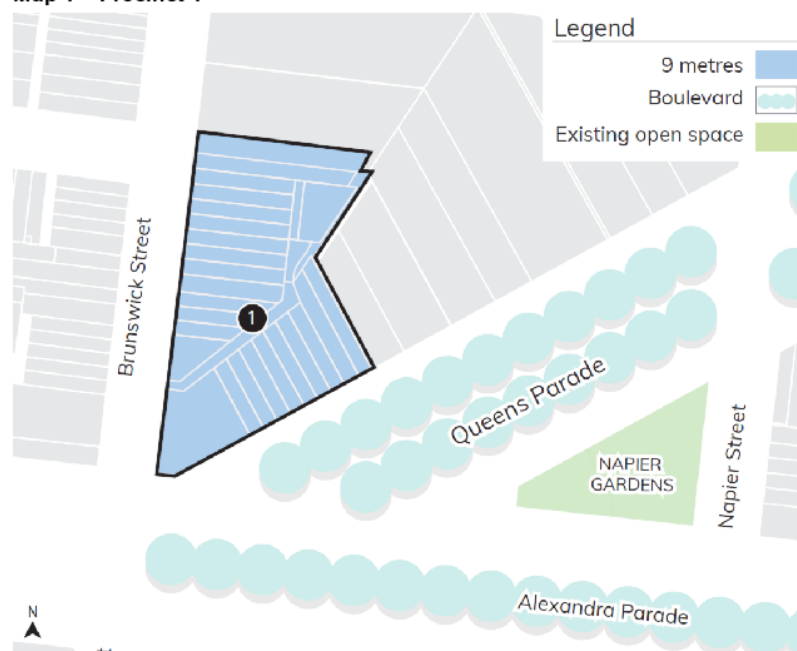


Table 1 – Street wall height, building height and setbacks for Precinct 1

Built Form	Mandatory Requirement	Preferred Requirement
Maximum building height	460 Brunswick Street and Lot 1 on Title Plan TP806921 - 9 metres	Elsewhere – 9 metres
Maximum street wall height	460 Brunswick Street - match the tallest parapet height of the existing heritage building Elsewhere - Retain the height of the existing heritage street wall	None specified
Maximum and minimum street setback	460 Brunswick Street – Match the setback of the existing heritage building	Elsewhere – Should not be less than the setback of an adjacent heritage building
Minimum upper level setback	6 metres	None specified
Minimum setbacks from side and rear boundary	None specified	ResCode Standard B17

2.910.2 Precinct 2 – Boulevard Precinct

Shown on the planning scheme map as **DDO16-2**

Preferred character statement

Buildings and works should deliver:

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- A preferred location for housing and employment growth with well designed mid-rise development that complements the Queens Parade through a transition in scale to the Gas Works site.
- Development that complements the visual contribution of the double avenue of trees along the south western part of Queens Parade.
- Precinct 2A – Mid rise infill behind a distinct moderne heritage frontage that addresses Queens Parade and its heritage context and responds to the sensitivity of the interface with abutting low scale fine grained residential uses to the north and west.
- Precincts 2B and 2C – A vibrant and attractive mid-rise business area that addresses Napier Street, Queens Parade and George Street with a mix of innovative new architecture and heritage buildings to accommodate a wide range of commercial development and employment opportunities.

Design requirements

Development in Precinct 2 should:

- Respect heritage values of the Queens Parade streetscape and deliver an appropriate interface to neighbouring properties that minimises visual bulk and mass.
- Orientate active frontages and provide passive surveillance to the surrounding streets.
- Ensure solar access is provided to Queens Parade and Napier Street Reserve at the equinox from 9am to 3pm.

Development in Precinct 2A should:

- Provide an interface to neighbouring residential properties that minimises visual bulk and mass and provides building separation along side and rear boundaries abutting existing properties.
- Maintain the prominence and significance of the art deco facade.
- Retain, enhance and incorporate the existing heritage facade into the redevelopment of the site and to create a consistent parapet height along the streetscape.
- Recognise the low scale, buildings and fine grain subdivision pattern of existing development to the north and west.
- Encourage pedestrian permeability within and through the precinct.
- Avoid a repetitive stepped form within the 45 degree angle profile.
- Ensure development above the street wall is designed as a series of separate development parts with building separation to enable views to the sky.

Development in Precincts 2B and 2C should:

- Provide an appropriate transition in scale from the heritage buildings in Precinct 2B to new built form in Precinct 2C and the higher development form of the Gas Works site.
- Create a new commercial frontage to George Street to form an active edge complementary to the proposed Gasworks redevelopment.

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Map 2 – Precinct 2



Table 2 – Street wall height, building height and setbacks for Precincts 2A, 2B and 2C

Built form	Mandatory requirement	Preferred requirement
Precinct 2A		
Maximum building height	31 metres	None specified
Maximum street wall height	Retain height of existing heritage façade 10 metres where no heritage façade exists	None specified
Minimum & maximum setback to Queens Parade	None specified	0 metres to maximum 10 metres
Minimum upper level setback	None specified	Above existing heritage façade: <ul style="list-style-type: none"> 8 metre setback from 10 metres to 16 metres 10 metre setback from 16 metres Above new street wall (where no existing heritage façade): <ul style="list-style-type: none"> 5 metre setback from 10 metres to 16 metres 8 metres setback from 16 metres
Minimum setback(s) from rear boundaries	None specified	ResCode Standard B17 from rear boundary of adjoining properties to 10 metres

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Built form	Mandatory requirement	Preferred requirement
- north and west adjacent to NRZ and GRZ		Setback within 45 degree angle measured from 10 to 25 metres
Minimum setbacks from side boundary - east adjacent to NRZ	None specified	0 metre setback to match party wall of existing adjoining development to 10 metres Setback within 45 degree angle measured from 10 to 25 metres
Minimum setbacks from side boundary - east adjacent to MUZ	None specified	0 metre setback to match party wall of existing adjoining development, or 10 metre where no party wall exists. 9 metre setback from the windows / balconies of adjoining apartments up to 16 metres 15 metre setback above 16 metres
Minimum setbacks from side and rear boundaries west and north-west adjacent to MUZ	None specified	0 metre setback to match party wall of existing adjoining development, or 10 metre where no party wall exists. Setback within 45 degree angle measured from 10 to 25 metres
Precinct 2B		
Maximum building height	None specified	18 metres
Maximum street wall height	Napier Street - Retain existing parapet height	None specified
Minimum upper level setback	6 metres	None specified
Minimum rear setback	None specified	4.5m from centreline of laneway for height of the entire building
Precinct 2C		
Maximum building height	None specified	28 metres
Maximum street wall height	Napier Street – 10 metres	Queens Parade, George Street and Alexandra Parade - 18 metres
Minimum upper level setback	Napier Street – 6 metres	Elsewhere - 6 metres
Minimum side and rear setbacks	None specified	Rear setback: 4.5m from centreline of laneway for height of the entire building Side setbacks: For upper levels, where a habitable room window is proposed: <ul style="list-style-type: none"> 4.5 metres from the common boundary or from the centre

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Built form	Mandatory requirement	Preferred requirement
		<p>line of the laneway.</p> <p>For upper levels, where a non-habitable room window or commercial window is proposed:</p> <ul style="list-style-type: none"> 3 metres from the common boundary or the centre line of the laneway

2.910.3 Precinct 3 – St John's Precinct

Shown on the planning scheme map as **DDO16-3**

Preferred character statement

Buildings and works should deliver:

- An attractive mixed use area comprising residential and commercial uses with active frontages to the street that retains the primacy of the St John's Church landmark and views to its belfry and spire.
- New development that articulates the higher profile of the corner of Queens Parade and Smith Street, relative to its immediate surroundings.
- Intact streetscape on Smith Street retained with new development set back from the façade and designed to complement the Victorian era buildings and street wall.
- Provide an effective transition provided to the residential areas to the south and east.

Design requirements

Development in Precinct 3 should:

- Reflect the fine grain character of heritage streetscapes and minimise the dominance of wide building frontages.
- Deliver high quality architectural detailing that respects the heritage qualities and rhythms of Queens Parade and Smith Street.
- Create a consistent street wall that maintains the prominence of the heritage street wall in the streetscape.
- Provide an interface with neighbouring residential properties on Hodgkinson Street that minimises visual bulk and mass and provides building separation along side and rear boundaries abutting existing properties.

Development in Precinct 3A must:

- Maintain views of the belfry and spire of St John's church and maintain clear sky between the belfry and spire and new development when viewed from the pedestrian refuge on the south-west corner of the intersection with Queens Parade and Smith Street [\(as indicated on Map 3\)](#). A permit cannot be granted to vary this requirement.

Development in Precinct 3A should:

- Emphasise the corner of Queens Parade and Smith Street with a higher street wall and distinct architectural treatments.

Development in Precinct 3B should:

- Reinforce the traditional street wall on Smith Street.
- Ensure that upper level development is visually recessive to complement the heritage streetscape.

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Map 3 - Precinct 3

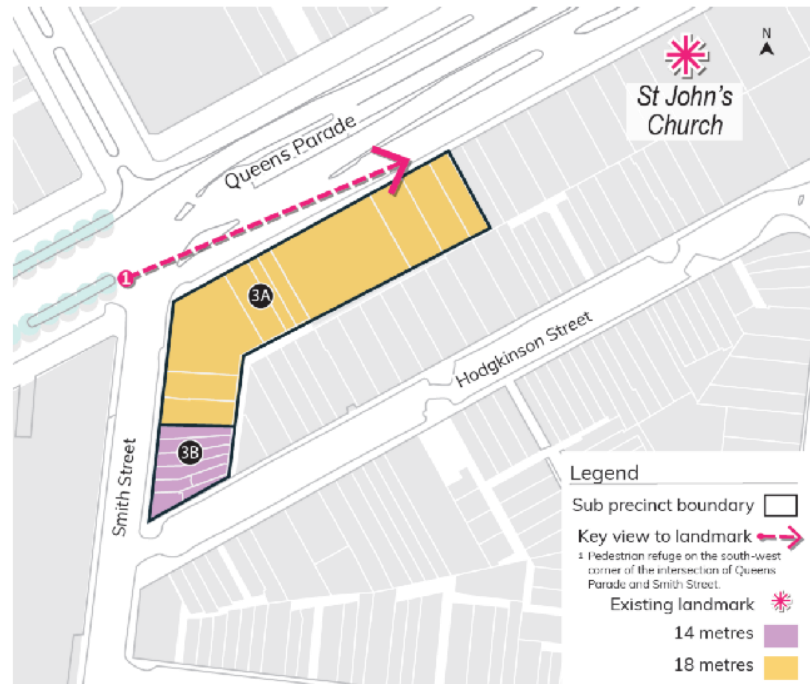


Table 3 – Street wall height, building height and setbacks for Precincts 3A and 3B

Built Form	Mandatory requirement	Preferred requirement
Precinct 3A		
Maximum building height	18 metres	None specified
Maximum street wall height	15-33 & 41 Queens Parade - 11 metres 35-37 Queens Parade - retain the height of the existing heritage façade 6 metres on either side of the corner of Smith Street and Queens Parade – 17 metres Elsewhere - 14 metres	None specified
Minimum upper level setback	6 metres	None specified
Maximum street wall setback	None specified	0 metres - built to front boundary at ground level
Minimum rear setback	None specified	Where there is a laneway: <ul style="list-style-type: none"> Height and setbacks as shown in Figure 1

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Built Form	Mandatory requirement	Preferred requirement
		Where there is no laneway: <ul style="list-style-type: none"> Height and setbacks as shown in Figure 2
Minimum side setback	None specified	If side boundary adjoins NRZ and abuts an existing boundary wall, 0 metre to a height of 8 metres and a setback with a 45 degree angle above a height of 8 metres. Elsewhere - 0 metres
Precinct 3B		
Maximum building height	14 metres	None specified
Maximum street wall height	Retain height of existing heritage façade	None specified
Minimum upper level setback	6 metres	None specified
Maximum street wall setback	None specified	0 metres - built to front boundary at ground level
Minimum rear setback	None specified	Where there is a laneway: <ul style="list-style-type: none"> Height and setbacks as shown in Figure 1 Where there is no laneway: <ul style="list-style-type: none"> Height and setbacks as shown in Figure 2.

2.910.4 Precinct 4 – Activity Centre Precinct

Shown on the planning scheme map as **DDO16-4**

Preferred character statement

Buildings and works should deliver:

- A unique and vibrant Victorian era shopping strip which forms the retail and activity focus of Queens Parade building on its distinctive heritage qualities.
- Development that complements the scale of heritage buildings and the patterns and rhythms of heritage features.
- Upper level infill that reinforces the prevailing street wall and subdivision grain of significant streetscapes and transitions to residential abutments to the rear.
- Well designed building frontages and public realm that reinforce the pedestrian experience of this part of Queens Parade as and the central hub for the local community
- Development that retains the prominence of the former ANZ Building.

Design requirements

Development in Precinct 4 must:

- Protect and maintain key views of the former ANZ Building from the south-west and north-east (as indicated on Map 4), in particular to the upper floor, roof form and chimneys. A permit cannot be granted to vary this requirement.

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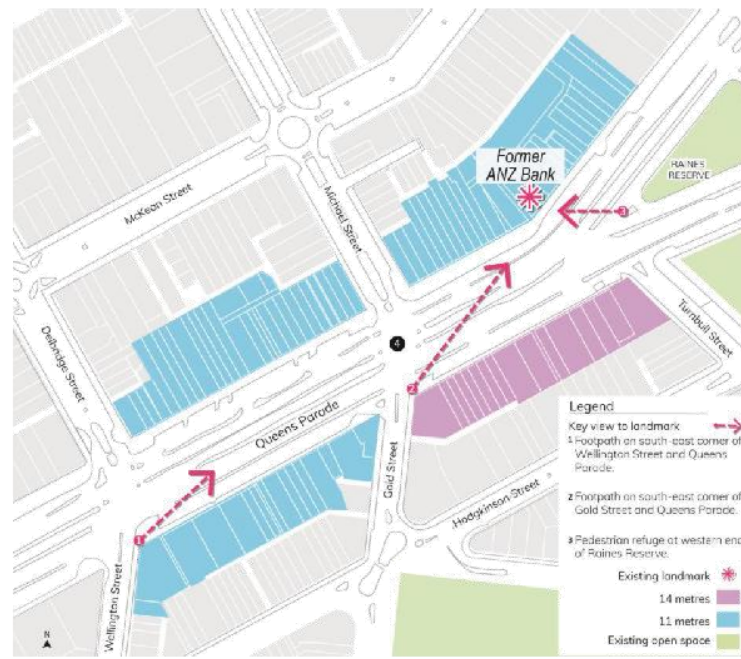
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Development in Precinct 4 should:

- Respect the consistent scale, grain, rhythm and architectural quality of the highly intact heritage streetscapes and the heritage buildings in the precinct.
- Retain the visual prominence of heritage buildings, their street wall and heritage streetscape when viewed from the opposite side of Queens Parade.
- Facilitate the appropriate low rise infill of the sites located to the rear of commercial properties fronting Queens Parade.
- Ensure that any upper level development is set back from the heritage façade, is visually recessive and does not detract from the heritage streetscape.
- Retain the visual prominence and heritage fabric of the return facades of heritage buildings that front Queens Parade, Delbridge, Gold, Michael and Wellington Streets.
- Ensure that facades at ground floor incorporate verandahs which are consistent with the form and scale of adjoining verandahs.
- Retain chimneys visible from the public realm.
- Enhance the amenity and safety of laneways that provide pedestrian and vehicular access to buildings.
- Maintain service access from the laneways to facilitate commercial use of the properties fronting Queens Parade.
- Ensure shopfront widths are not reduced to the extent they become commercially unviable.

Map 4 - Precinct 4



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Table 4 – Street wall height, building height and setbacks for Precinct 4

Built Form	Mandatory requirement	Preferred requirement
Maximum building height	South side of Queens Parade between Gold and Turnbull Streets - 14 metres Elsewhere - 40.5 11 metres	None specified
Maximum and minimum street wall height on Queens Parade	For existing heritage facades: <ul style="list-style-type: none"> Retain height of the existing heritage façade. Where no heritage façade exists and there is no adjacent heritage building/s: <ul style="list-style-type: none"> at least 8 metres in height and no higher than 11 metres in height. Where no heritage façade exists and there is an adjacent heritage building/s: <ul style="list-style-type: none"> at least 8 metres in height and no higher than 11 metres unless an adjacent heritage building has a parapet height of more than 11 metres, in which case no higher than the adjacent heritage parapet height. 	None specified
Maximum and minimum street wall height in side streets	None specified	For existing heritage facades: <ul style="list-style-type: none"> No higher than the existing heritage façade Where there is no heritage façade and there is no adjacent heritage building/s: <ul style="list-style-type: none"> at least 8m in height and no higher than 11m in height. Where no heritage façade exists and there is an adjacent heritage building/s: <ul style="list-style-type: none"> at least 8 metres in height and no higher than 11 metres unless there is an adjacent heritage building with a parapet height of more than 11 metres, in which case no higher than the adjacent heritage parapet.
Minimum upper level setback on Queens Parade	8 metres	None specified
Minimum upper level setback in side streets	None specified	6 metres
Maximum and minimum street wall setback	0 metres - built to front boundary at ground level (except for 181, 189-191 and 193 Queens Parade)	181, 189-191 and 193 Queens Parade – Retain existing setback

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Built Form	Mandatory requirement	Preferred requirement
Minimum setback to a NRZ interface	None specified	Where there is a laneway: <ul style="list-style-type: none"> Height and setbacks as shown in Figure 1 Where there is no laneway: <ul style="list-style-type: none"> Height and setbacks as shown in Figure 2
Minimum rear setback to a C1Z interface	None specified	3 metres above 11 metres

2.910.5 Precinct 5 – North Eastern Precinct

Shown on the planning scheme map as **DDO16-5**

Preferred character statement

Buildings and works should deliver:

- An area of contemporary higher rise development in a preferred location for housing growth within the activity centre where the significant heritage fabric (the Former UK Hotel and the former Clifton Motors garage) remains the prominent precinct feature.
- Steps up in distinct increments from the significant heritage buildings (the Former Clifton Motors and UK Hotel buildings) to the north-east.
- Separation between buildings to enable equitable development equity and amenity and to diminish the bulk of the built form while contributing to a safe and legible walking environment that offers visual interest and encourages passive surveillance throughout the Precinct.

Design requirements

Development in Precinct 5 should:

- Retain the visual prominence of the former United Kingdom Hotel when viewed from key viewpoints (as indicated on Map 5) - Raines Reserve and the former Clifton Motors Garage when viewed from the opposite side of Queens Parade.
- Retain and incorporate the former Clifton Motor Garage (205-211 Queens Parade) in any redevelopment of the site and ensure that the three dimensional form remains prominent and the decorative vertical fin remains as a freestanding element when viewed from the public realm.
- Adopt a street wall height for new development adjacent to the former United Kingdom Hotel that respects the façade height of the former hotel.
- Ensure buildings in Precincts 5B and 5C read as a series of separate development parts with building separation above the street wall.
- Establish a transition and gradual stepping down of building heights from taller forms in Precinct 5C to existing heritage form in Precinct 5A.
- Ensure that adverse wind effects on the public realm are avoided.

Development in Precinct 5C should:

- Reinforce the scale of existing high-rise buildings in the precinct trending higher to the north east.
- Ensure high quality development enhances the prominent corner of Queens Parade and Hoddle Street creating a strong address to each street frontage that encourages active pedestrian movement and accessibility through the Precinct.

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- Ensure that the height and design of the street wall creates and reinforces a 'human scale' to diminish the perceived bulk of the buildings and provide visual interest at street level along Queens Parade and Hoddle Street.

Map 5 - Precinct 5

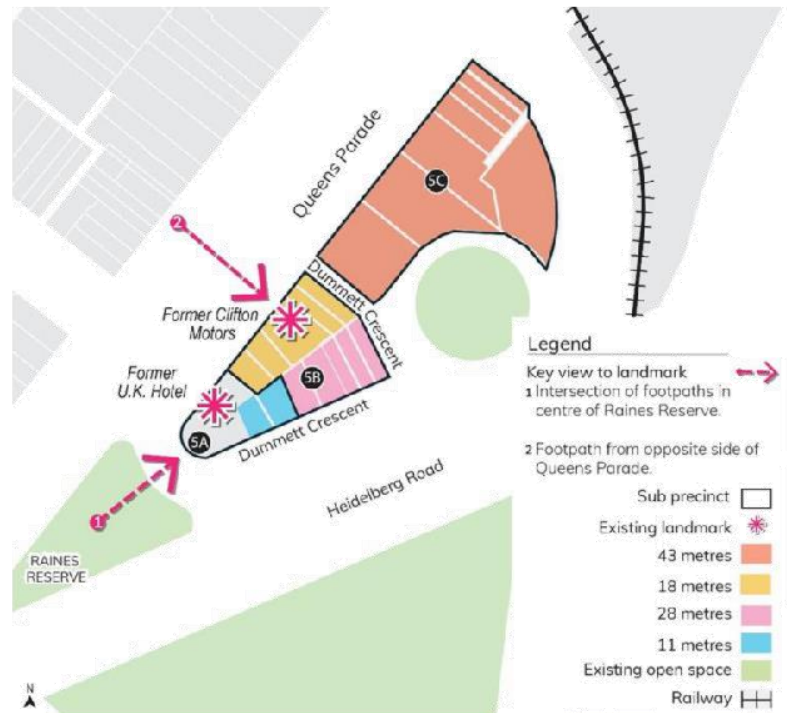


Table 5 – Street wall height, building height and setbacks for Precincts 5A, 5B and 5C

Built form	Mandatory requirement	Preferred requirement
Precinct 5A		
Maximum building height	11 metres	None specified
Maximum street wall height	No higher than the height of the existing eaves of the former UK Hotel	None specified
Minimum upper level setback	None specified	6 metres
Precinct 5B		
Maximum building height	201-215 Queens Parade - 18 metres	Elsewhere - 28 metres
Maximum street wall height	201-215 Queens Parade (including the frontage to north-east boundary to Dummett Crescent for distance of 8m) - no higher than the parapet height of	4-10 Dummett Crescent (including the frontage to north-east boundary to Dummett Crescent) - 11 metres

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Built form	Mandatory requirement	Preferred requirement
	the former Clifton Motor Garage and the eaves line of the former UK Hotel Beyond a distance of 8m from the corner of Queens Parade, the street wall along the north-east boundary of 215 Queens Parade - no higher than 11m	
Maximum street wall setback	0 metres – built to the boundary	None specified
Minimum upper level setback	201-215 Queens Parade - 8 metres from Queens Parade	Elsewhere - 6 metres
Minimum side and rear setbacks	None specified	For upper levels, where a habitable room window is proposed: <ul style="list-style-type: none"> 4.5 metres from the common boundary or from the centre line of the laneway. For upper levels, where a non-habitable room window or commercial window is proposed: <ul style="list-style-type: none"> 3 metres from the common boundary or from the centre line of the laneway.
Precinct 5C		
Maximum building height	None specified	49 43 metres
Maximum street wall height	None specified	18 metres
Minimum upper level setback	None specified	6 metres
Minimum side and rear setbacks	None specified	For upper levels, where a habitable room window is proposed: <ul style="list-style-type: none"> 4.5 metres from the common boundary or from the centre line of the laneway. For upper levels, where a non-habitable room window or commercial window is proposed: <ul style="list-style-type: none"> 3 metres from the common boundary or from the centre line of the laneway.

Attachment 5 - Amendment documentation for adoption

YARRA PLANNING SCHEME

DDO Schedule 16 – Version for adoption (Track changes based on the Panel's final version) – 17 March 2020

3.0 Subdivision

xx/xx/xxxx
Proposed
C231

None specified.

4.0 Advertising

xx/xx/xxxx
Proposed
C231

None specified.

5.0 Application requirements

xx/xx/xxxx
Proposed
C231

The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and should accompany an application, as appropriate, to the satisfaction of the responsible authority:

- A site analysis and urban design context report which demonstrates how the proposal achieves the Design Objectives, Preferred Character Statements and Design Requirements of this schedule.
- For development proposals for buildings over 20 metres in height, a wind study analysis to assess the impact of wind on the safety and comfort of the pedestrian environment on footpaths and other public spaces while walking, sitting and standing.
- A Traffic and Parking Assessment Report which includes an assessment of the cumulative impacts of traffic and parking in the Precinct including an assessment of the ongoing functionality of laneway/s.

6.0 Decision guidelines

xx/xx/xxxx
Proposed
C231

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Whether the proposal delivers design excellence.
- If roof decks are proposed, whether they are set back from lower levels and are recessive in appearance.
- The profile and impact of development along Queens Parade when viewed from ~~from~~ the north side of McKean Street and the south side of Hodgkinson Street.
- The design of the streetscape interface along the primary street frontage.
- Whether side and rear setbacks and controls on light spillage and noise are sufficient to limit the impact on the amenity of existing dwellings.
- The impact on solar access to Queens Parade and Napier Street Reserve.
- Whether heritage buildings on street corners retain their prominence when viewed from both streets.
- Whether heritage buildings retain their three-dimensional form when viewed from the public realm.
- Whether upper level development above the heritage street wall is visually recessive and does not dominate or visually overwhelm the heritage buildings.
- Whether the proposal contributes to and improves the pedestrian environment and other areas of the public realm.
- The impact of development on views to:
 - the former ANZ Bank building's tower, roof, chimney and upper level
 - the St John the Baptist Church belfry and spire
 - the former Clifton Motor Garage's Moderne façade and fin.
- The wind effects created by the development.
- The cumulative impact of traffic and parking in the Precinct including on the functionality of laneway/s.

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YARRA PLANNING SCHEME

DDO Schedule 16 – Version for adoption (Track changes based on the Panel's final version) – 17 March 2020

Figure 1 - Setback where there is a laneway to the side or rear

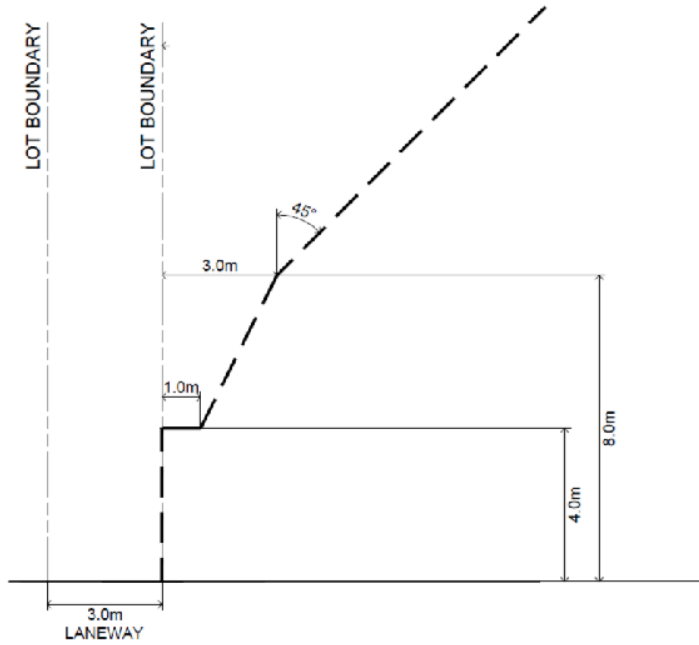
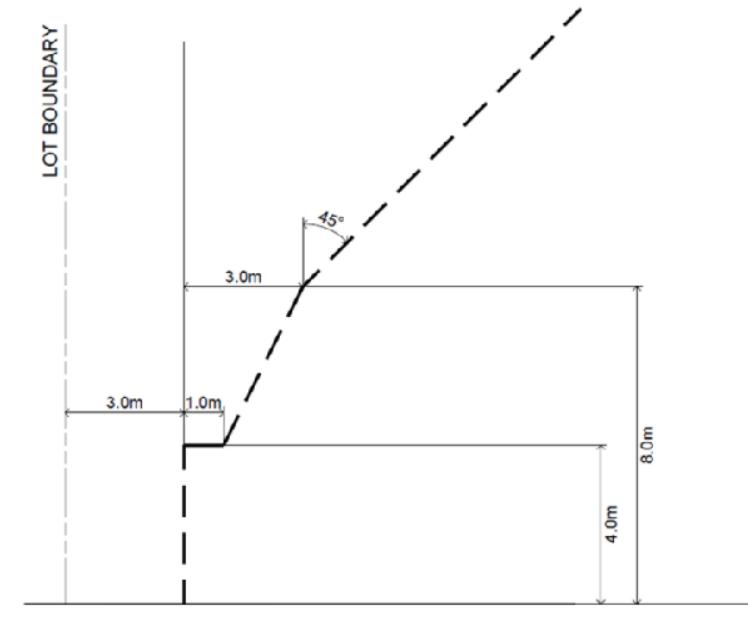


Figure 2– Setback where there is no laneway to the side or rear



Attachment 5 - Amendment documentation for adoption

Planning and Environment Act 1987

YARRA PLANNING SCHEME

AMENDMENT C231

EXPLANATORY REPORT – EXHIBITED VERSION

Who is the planning authority?

This amendment has been prepared by the Yarra City Council is the planning authority for this amendment.

The Amendment has been made at the request of Yarra City Council.

Land affected by the Amendment

The Amendment applies to land in five precincts along Brunswick Street and Queens Parade, Fitzroy North and Clifton Hill between Alexandra Parade and Hoddle Street. Refer to Map 1.

Precinct one	460-498 Brunswick Street 8-24 Queens Parade
Precinct two	26-88 Queens Parade 67-81 Queens Parade 472-484 Napier Street 157-177 Alexandra Parade 537-541 George Street
Precinct three	1-87 Queens Parade 652-668 Smith Street
Precinct four	89-197 Queens Parade 272-428 Queens Parade
Precinct five	199-271 Queens Parade 2-12 Dummett Crescent 501-513 Hoddle Street

Map 1: Land generally included in the amendment (marked purple and pink)



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What the amendment does

The Amendment:

1. Introduces a Design and Development Overlay DDO16 to provide permanent built form controls along Queens Parade. These would replace the two interim controls that are currently in place along Queens Parade (DDO16 and DDO20);
2. Rezones land at 660-668 Smith Street and 1-41 Queens Parade from Commercial 2 Zone (C2Z) to Commercial 1 Zone (C1Z)
3. Applies the Environmental Audit Overlay to land at 660-668 Smith Street and 1-41 Queens Parade
4. Introduces a new reference document into Clause 22.02 of the Yarra Planning Scheme called *Yarra High Streets: Statements of Significance* by GJM Heritage October 2017 (updated November 2017)
5. Makes a number of updates to the Heritage Overlay which are detailed below
6. Updates the Incorporated Document called Appendix 8 (which is the list of heritage gradings) to reflect the changes made to the heritage overlay.

Changes to the heritage overlay

- i. Applies a site specific heritage overlay (HO496) to 61-87 Queens Parade (the St John's Church complex) to provide for internal heritage controls on the organ
- ii. Applies the Heritage Overlay (HO498) to 472-484 Napier Street, Fitzroy North
- iii. Applies Heritage Overlay HO327 to the full extent of the Moderne façade of the former K.G. Luke factory site at 26 Queens Parade
- iv. Applies the Heritage Overlay HO330 to include all of Raines Reserve
- v. Deletes 390A Queens Parade and the rear of 304, 312 and 316 Queens Parade from HO327 (North Fitzroy Precinct), includes them in HO330 (Queens Parade Precinct) and gives them a heritage grading
- vi. Amends the heritage grading of the following properties:
 - a. 662 Smith Street (former Fire Station) from contributory to individually significant
 - b. 7-11 Queens Parade from contributory to not contributory
 - c. 137 Queens Parade from contributory to not contributory
 - d. Rear of 304 Queens Parade from ungraded to not contributory
 - e. Rear of 312 Queens Parade from ungraded to contributory
 - f. Rear of 316 Queens Parade from ungraded to not contributory
 - g. 350 Queens Parade from ungraded to contributory
 - h. 380 Queens Parade from ungraded to not contributory
 - i. 390A Queens Parade (two storey building in north-east corner) from ungraded to contributory
 - j. 390A Queens Parade (all other buildings except two storey building in NE corner) from ungraded to not contributory
 - k. 402 Queens Parade from contributory to not contributory
 - l. 88 Queens Parade from ungraded to not contributory
 - m. 32, 33 and 34 Jamieson Street from ungraded to not contributory

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Splitting of the Amendment

Legal proceedings involving an application under Section 39 of the *Planning and Environment Act 1987* have been lodged at VCAT. The proceedings relate to a property at 390A Queens Parade.

The matter was heard at VCAT on 10 February 2020. At the time of preparing for Council to make a decision about whether to adopt the Amendment, no decision has been received from VCAT.

To enable that part of the Amendment not subject to legal challenge to proceed and enable its adoption, officers recommend splitting Amendment C231 into two parts as shown on Map 1 above:

- Part 1 would comprise the part of the Amendment that is not subject to legal challenge.
- Part 2 would comprise the part of the Amendment relating to the land at 390A Queens Parade.

This enables the two parts of the Amendment to be considered together or separately depending on the timing and outcome of the VCAT decision.

Strategic assessment of the Amendment

Why is the Amendment required?

Council engaged Hansen Partnership (Urban Designers) and GJM (Heritage Consultants) to assist in the preparation of the controls. This amendment is required to implement the recommendations of the *Queens Parade Clifton Hill Built Form Review* prepared by Hansen Partnership and *Queens Parade Built Form Heritage Analysis and Recommendations* prepared by GJM.

The scale and density of development approved and currently being proposed along Queens Parade has increased significantly in recent years and Council wants to introduce built form controls to manage change along Queens Parade and guide the scale of future buildings to provide certainty about development outcomes.

The built form controls will be introduced through a Design and Development Overlay DDO16 to be included in the Yarra Planning Scheme. There will be minor changes to the Heritage Overlay including some changes to the heritage grading of some buildings which will be reflected in changes to the incorporated document in the planning scheme (Appendix 8).

Heritage buildings along Queens Parade are an important part of the character of the area and the controls have been designed to protect views to key historic landmarks and protect significant and intact streetscapes. There has been a detailed heritage review of Queens Parade undertaken by GJM Heritage Consultants which is one of the strategic documents that underpins the amendment. The GJM review has resulted in heritage being a significant driver of the planning controls.

The Environmental Audit Overlay (EAO) is required in order to address any site contamination issues to meet the requirements of Ministerial Direction No. 1 – Potentially Contaminated Land. The potential for contamination results from past industrial activities in the area. The rezoning of the land at 660-668 Smith Street and 1-41 Queens Parade from C2Z to C1Z would allow residential uses which are defined as sensitive uses by the Ministerial direction.

The introduction of an EAO would require an environmental audit to be undertaken on the land and for certificate or statement to be obtained from an environmental auditor in accordance with the *Environment Protection Act 1970*. The audit is carried out prior to the construction of the buildings and works in association with a dwelling or other sensitive use.

The rezoning of the land at 660-668 Smith Street and 1-41 Queens Parade is proposed facilitate renewal of that part of Queens Parade and Smith Street by providing opportunities for new housing and commercial development.

The controls will benefit the community because they provide certainty about future development outcomes.

How does the Amendment implement the objectives of planning in Victoria?

The amendment implements the objectives of planning in Victoria by establishing planning controls along Queens Parade that provide for the fair and orderly use and development of land as they seek to facilitate future development demands while maintaining the heritage character of the street. They will provide an efficient and safe built environment for those that currently live, work and visit the area and for those that will do so in the future. Heritage has been an important consideration in preparing the

Attachment 5 - Amendment documentation for adoption

planning controls which will ensure that those buildings which are of aesthetic, architectural and historical interest are conserved.

How does the Amendment address any environmental, social and economic effects?

The Amendment is consistent with the overarching goal in the planning scheme to:

Integrate relevant environmental, social and economic factors in the interests of net community benefit and sustainable development.

The Amendment is expected to generate positive social and economic benefits as it will facilitate development within a neighbourhood activity centre, providing opportunities for economic development, housing and employment growth. The Amendment will also respond to the local demand for housing and provide housing and employment in a location which has a good access to public transport infrastructure and community services.

It proposes to protect key views to landmark buildings and ensures that heritage is one of the key drivers of future built form.

Does the Amendment address relevant bushfire risk?

The land affected by the amendment is not located in an area of identified bushfire risk.

Does the Amendment comply with the requirements of any Minister's Direction applicable to the amendment?

The Amendment complies with Ministerial Direction No. 1 in addressing the risk from Potentially Contaminated Land.

The amendment complies with the requirements of the Ministerial Direction on the Form and Content of Planning Schemes in section 7(5) of the *Planning and Environment Act 1987*. It has also been prepared in accordance with other relevant Ministerial directions.

The amendment has been prepared with regard to Ministerial Direction No. 9 Metropolitan Planning Strategy (which refers to *Plan Melbourne 2017-2050*). *Plan Melbourne 2017-2050* identifies a vision for the future of Melbourne and objectives and outcomes sought for the city, with directions identified to achieve the vision.

The Amendment is consistent with the following Directions contained in *Plan Melbourne 2017-2050*:

Direction 1.1 – Create a city structure that strengthens Melbourne's competitiveness for jobs and investment seeks to strengthen the competitiveness of Melbourne's employment land. The amendment provides appropriate policy direction for the planning and development of the Queens Parade Neighbourhood Activity Centre to ensure that the activity centre continues to meet community needs.

Direction 5.1- Create a city of 20-minute neighbourhoods which aims to cluster new housing in activity centres and other places that offer good access to jobs, services and public transport. The amendment will facilitate development within the Activity Centre which will improve local employment, housing and commercial opportunities.

How does the Amendment support or implement the Planning Policy Framework and any adopted State policy?

The amendment supports and implements relevant objectives of the Planning Policy Framework (PPF) including:

Clause 11 – Settlement implements the key principles of *Plan Melbourne 2017-2050* which include providing housing choice by planning for expected housing needs and making that housing more affordable. It also provides for reduced ongoing living costs by increasing housing supply near public transport and services. It encourages consolidation of residential activities within existing urban areas and development in existing residential areas. The amendment provides a framework for the orderly

Attachment 5 - Amendment documentation for adoption

planning and high quality development of the Queens Parade Neighbourhood Activity Centre in a manner constant with the directions of *Plan Melbourne 2017-2050*.

Clause 15 – Built Environment and Heritage seeks to create urban environments that are safe, functional and provide good quality environments with a sense of place and cultural identity. This clause also highlights the importance of ensuring the conservation of places which have identified heritage significance. The amendment supports this clause by developing planning controls which have heritage as one of their primary considerations. The controls will see views to key heritage landmarks and intact streetscapes protected.

Clause 16 – Housing emphasises the importance of providing enough quality housing that meets the growing and diverse needs of Victorians in locations in or around activity centres. The location of this housing needs to offer good access to jobs, services and transport. It requires councils to identify areas that offer opportunities for more medium and high-density housing near employment and transport in metropolitan Melbourne. The amendment provides strategic guidance about how to accommodate future housing growth at an appropriate scale in the activity centre.

Clause 17 – Economic Development seeks to encourage development which meets the community's needs for retail, entertainment, office and other commercial services and provides a net community benefit in relation to accessibility, efficient infrastructure use and sustainability of commercial facilities. The amendment supports this clause by facilitating opportunities for a mix of office, retail, and residential uses throughout the centre.

Clause 18 – Transport promotes the creation of a safe and sustainable transport system and promotes the use of sustainable personal transport. The amendment implements the objectives of this clause by facilitating development in this activity centre which is well serviced by public transport.

How does the Amendment support or implement the Local Planning Policy Framework, and specifically the Municipal Strategic Statement?

The amendment will assist decision making in relation to development applications by council and will help people better understand what scale and type of development is appropriate in the activity centre. There are no changes to the Municipal Strategic Statement proposed by this amendment, but it nevertheless supports and implements the Local Planning Policy Framework (LPPF) by being consistent with the following clauses of the LPPF:

21.04-1 Accommodation and housing

Objective 1 - To accommodate forecast increases in population.

Strategy 1.2 Direct higher density residential development to Strategic Redevelopment Sites identified at clause 21.08 and other sites identified through any structure plans or urban design frameworks.

21.04-2 Activity centres

Objective 4 - To maintain a balance between local convenience and regional retail roles in Yarra's activity centres.

Strategy 4.1 Increase the range of retail, personal and business services, community facilities, and recreation activities, within individual centres.

Strategy 4.3 Support the role of all activity centres, including Neighbourhood Activity Centres, in providing local day-to-day needs of residents of all abilities.

Objective 5 - To maintain the long term viability of activity centres.

Strategy 5.2 Support land use change and development that contributes to the adaptation, redevelopment and economic growth of existing activity centres.

Strategy 5.3 Discourage uses at street level in activity centres which create dead frontages during the day.

Strategy 5.4 Permit residential development that does not compromise the business function of activity centres.

Objective 7 - To encourage the arts and arts venues.

Strategy 7.1 Support a diversity of arts uses such as live music venues, performance spaces, galleries and artist studios in appropriate and accessible locations.

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21.05-1 Heritage

Objective 14 - To protect and enhance Yarra's heritage places.

Strategy 14.1 Conserve, protect and enhance identified sites and areas of heritage significance including pre-settlement ecological heritage.

Strategy 14.2 Support the restoration of heritage places.

Strategy 14.3 Protect the heritage skyline of heritage precincts.

Strategy 14.6 Protect buildings, streetscapes and precincts of heritage significance from the visual intrusion of built form both within places and from adjoining areas.

21.05-2 Urban design

Objective 16 - To reinforce the existing urban framework of Yarra.

Strategy 16.2 Maintain and strengthen the preferred character of each Built Form Character Type within Yarra.

Objective 19 - To create an inner-city environment with landscaped beauty.

Strategy 19.1 Require well resolved landscape plans for all new development.

Strategy 19.2 Encourage opportunities for planting suitable trees and landscape areas in new development.

Objective 20 - To ensure that new development contributes positively to Yarra's urban fabric.

Strategy 20.1 Ensure development is designed having particular regard to its urban context and specifically designed following a thorough analysis of the site, the neighbouring properties and its environs.

Objective 21 - To enhance the built form character of Yarra's activity centres.

Strategy 21.1 Require development within Yarra's activity centres to respect and not dominate existing built form.

Strategy 21.2 Require new development within an activity centre to consider the context of the whole centre recognising that activity centres may consist of sub-precincts, each of which may have a different land use and built form character.

Strategy 21.3 Support new development that contributes to the consolidation and viability of existing activity centres.

21.08 Neighbourhoods

The neighbourhood map for Clifton Hill identifies the spire of St John's Church as a landmark which should be protected. The planning controls in this amendment seek to protect the view of the St John's spire from relevant vantage points.

The land at 26-56 Queens Parade is identified as a site that should be developed in a way that contributes positively to the urban fabric and public domain of Yarra, and where it is subject to the Heritage Overlay, it should protect the heritage of the site and of the area. This amendment proposes controls for this site that allow redevelopment while protecting the heritage fabric.

Does the Amendment make proper use of the Victoria Planning Provisions?

The amendment uses the most appropriate VPP tool to achieve its objectives. A Design and Development Overlay (DDO) is the best tool to control future built form. The amendment introduces a DDO which has been tested extensively to determine the most appropriate building and street wall heights and setbacks along Queens Parade. The Heritage Overlay (HO) is the best tool to manage and protect heritage. The HO in the area was implemented many years ago and the strategic work that underpins this amendment has re-examined the HO and made changes that include properties that were previously excluded, deleted properties that should not be included and made changes to the heritage grading of some properties.

The use of these tools by this amendment is consistent with the direction on the form and content of planning schemes.

How does the Amendment address the views of any relevant agency?

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Council has not sought the views of any government agencies such as Vic Roads or Yarra Trams as the amendment will not substantially affect the road network or the public transport network.

Does the Amendment address relevant requirements of the Transport Integration Act 2010?

The Amendment is consistent with the requirements of the *Transport Integration Act 2010* and will facilitate development outcomes along a tram route.

Particular consideration has been given to ensuring that vehicular movements do not impact on the Principal Public Transport Network.

Resource and administrative costs

- What impact will the new planning provisions have on the resource and administrative costs of the responsible authority?**

The new planning provisions will assist council as responsible authority in deciding development applications as they provide greater certainty as to the scale of future built form along Queens Parade. Council does not anticipate that there will be an increased number of applications as a result of the new controls; rather the controls will provide a more consistent assessment of planning permit applications.

Consequently, council does not anticipate that there will be higher administrative costs associated with implementing the new provisions or that there will be an impost on planning or heritage staff resources.

Where you may inspect this Amendment

The Amendment is available for public inspection, free of charge, during office hours at the following places:

Planning Counter Richmond Town Hall 333 Bridge Road Richmond	Bargoonga Ngagin Fitzroy North Library 182 St Georges Road Fitzroy North
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The Amendment can also be inspected free of charge at the Department of Environment, Land, Water and Planning website at www.delwp.vic.gov.au/public-inspection or on the City of Yarra website at www.yarracity.vic.gov.au/c231

Submissions

Any person who may be affected by the amendment may make a submission to the planning authority. Submissions about the amendment must be received by Friday 16 November 2018.

A submission must be sent to:

Strategic Planning Unit
Yarra City Council
PO Box 168
Richmond VIC 3121

Or via email: info@yarracity.vic.gov.au (please use Amendment C231 in the subject header)

Panel hearing dates

- directions hearing: 16 July 2019
- panel hearing: Week commencing 12 August 2019

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Planning and Environment Act 1987

YARRA PLANNING SCHEME

AMENDMENT C231

INSTRUCTION SHEET

The planning authority for this amendment is the Yarra City Council.

The Yarra Planning Scheme is amended as follows:

Planning Scheme Maps

The Planning Scheme Maps are amended by a total of 9 attached map sheets.

Zoning Maps

1. Amend Planning Scheme Map No. 2 in the manner shown on the 1 attached map.

Overlay Maps

2. Amend Planning Scheme Map No. 2HO in the manner shown on the 2 attached maps.
3. Amend Planning Scheme Map No. 2EAO in the manner shown on the 1 attached maps.
4. Amend Planning Scheme Map Nos. 1DDO and 2DDO in the manner shown on the 1 attached map.

Planning Scheme Ordinance

The Planning Scheme Ordinance is amended as follows:

5. In Overlays – Clause 43.01, replace the Schedule with a new Schedule in the form of the attached document.
6. In Overlays – Clause 43.02, replace Schedule 16 and Schedule 20 with a new Schedule 16 in the form of the attached document.
7. In Incorporated Documents – Clause 72.04, replace the Schedule with a new Schedule in the form of the attached document.

End of document

Attachment 5 - Amendment documentation for adoption

AMENDMENT C231YARA

2.0

C231yara

Heritage places

The requirements of this overlay apply to both the heritage place and its associated land.

PS map ref	Heritage Place	External Paint Controls Apply?	Internal Alteration Controls Apply?	Tree Controls Apply?	Outbuildings or fences which are not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
HO1	40 ABBOTSFORD STREET ABBOTSFORD Timber Cottage Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	Yes	No	No	No	No	No	No
HO2	42 ABBOTSFORD STREET ABBOTSFORD Gothick House Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	Yes	No	No	No	No	No	No
HO3	2-4 BOND STREET ABBOTSFORD Former Grosvenor Common School	-	-	-	-	Yes Ref No H654	No	No
HO4	31-35 CHURCH STREET ABBOTSFORD Terrace Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	Yes	No	No	No	No	No	No
HO5	67 CHURCH STREET ABBOTSFORD River House Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	Yes	No	No	No	No	No	No

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AMENDMENT C231YARA

PS map ref	Heritage Place	External Paint Controls Apply?	Internal Alteration Controls Apply?	Tree Controls Apply?	Outbuildings or fences which are not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
	Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014							
HO314	Yarra Falls Precinct Abbotsford Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	No	No	No	No	No	No	No
HO315	Church Street Precinct, Richmond Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	Yes	No	No	No	No	No	No
HO316	Clifton Hill Eastern Precinct Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	No	No	No	No	No	No	No
HO317	Clifton Hill Western Precinct Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014 Statement of significance: Yarra High Streets: Statements of Significance October 2017 (updated November 2017)	No	No	No	No	No	No	No
HO318	Collingwood Slope Precinct Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	No	No	No	No	No	No	No

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AMENDMENT C231YARA

PS map ref	Heritage Place	External Paint Controls Apply?	Internal Alteration Controls Apply?	Tree Controls Apply?	Outbuildings or fences which are not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
	Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014							
HO326	North Carlton Precinct Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	No	No	No	No	No	No	No
HO327	North Fitzroy Precinct Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014 Statement of significance: Yarra High Streets: Statements of Significance October 2017 (updated November 2017)	No	No	No	No	No	No	No
HO328	Park Crescent Precinct, Alphington Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	No	No	No	No	No	No	No
HO329	Princes Hill Precinct Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	No	No	No	No	No	No	No
HO330	Queens Parade Precinct, North Fitzroy/Clifton Hill Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	Yes	No	No	No	No	No	No

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AMENDMENT C231YARA

PS map ref	Heritage Place	External Paint Controls Apply?	Internal Alteration Controls Apply?	Tree Controls Apply?	Outbuildings or fences which are not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
	Statement of significance: Yarra High Streets: Statements of Significance October 2017 (updated November 2017)							
HO331	Racecourse Precinct, Richmond Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	No	No	No	No	No	No	No
HO332	Richmond Hill Precinct Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	No	No	No	No	No	No	No
HO333	Smith Street Precinct, Fitzroy/Collingwood Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	Yes	No	No	No	No	No	No
HO334	South Fitzroy Precinct Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	No	No	No	No	No	No	No
HO335	Swan Street Precinct, Richmond Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	Yes	No	No	No	No	No	No
HO336	Victoria Parade Precinct, Collingwood Incorporated plan:	No	No	No	No	No	No	No

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AMENDMENT C231YARA

System Note: The following ordinance will be modified in Sub-Clause:72.04 DOCUMENTS INCORPORATED IN THIS PLANNING SCHEME, Schedule:SCHEDULE TO CLAUSE 72.04 DOCUMENTS INCORPORATED IN THIS PLANNING SCHEME


1.0

C231yara

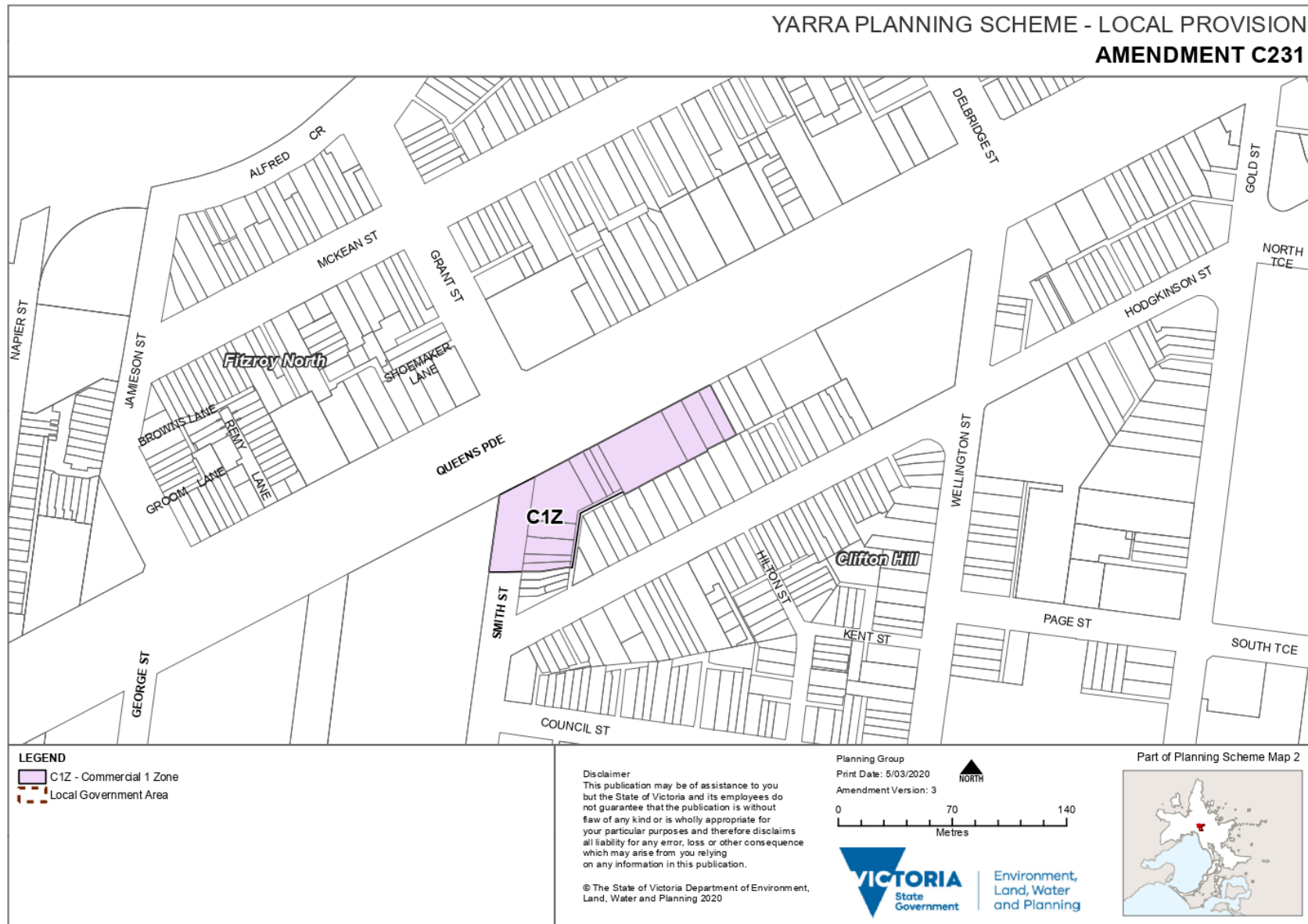
Incorporated documents

Name of document	Introduced by:
5-15 Mayfield Street, Abbotsford, Incorporated Document, October, 2018	C188
10 Bromham Place, Richmond Incorporated Document, February 2013	C171
18-62 Trenerry Crescent, Abbotsford (Incorporated Plan, May 2018)	C218
32-68 Mollison Street and 61-69 William Street, Abbotsford July 2013	C170
351-353 Church Street, Richmond – Incorporated Document, February 2019	C225
520 Victoria Street, 2A Burnley Street, and 2 – 30 Burnley Street, Richmond, Burnley Street West Precinct - Incorporated Plan, 2012	C150
Amcor Alphington Paper Mill Site Preparation – Incorporated Document, September 2012	C161
Atherton Gardens – Fitzroy, September 2010	C136
Caulfield Dandenong Rail Upgrade Project, Incorporated Document, April 2016	GC37
Chandler Highway Upgrade Incorporated Document, March 2016 (Amended December 2017)	GC80
City of Yarra Review of Heritage Overlay Areas 2007 Appendix 8, revised September 2019 March 2020	C267yara C231yara
Cremorne Balmain Dover Street Project	NPS1
Crown Land Car Park Works, Burnley, August 2005	C92
Fitzroy Former Gasworks Site, Incorporated Document, February 2018	C242
Flying Fox Campsite, Yarra Bend Park, December 2004	C90
Hurstbridge Rail Line Upgrade 2017 Incorporated Document, January 2017	GC60
Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	C178
Local Policy "Protection of Biodiversity" Sites of Remnant Vegetation (Biosis 2001)	C49
M1 Redevelopment Project, October 2006	C86
Melbourne City Link Project – Advertising Sign Locations, November 2003	VC20
Melbourne Metro Rail Project: Upgrades to the Rail Network Incorporated Document, May 2018	GC96
North East Link Project Incorporated Document, December 2019	GC98
Planning and Design Principles for the Richmond Maltings Site, Cremorne – November 2007	C101
Richmond Walk Up Estate Redevelopment, September 2010	C136
Social housing redevelopment; Atherton Gardens Estate, Fitzroy, and Richmond Public Housing Estate, Richmond, for which the Minister for Planning is the Responsible Authority, May 2010	C135
Specific Site and Exclusion – Lot 2 on PS433628L (452 Johnston Street, Abbotsford	C56
Swan Street Works, Burnley, June 2005	C91
Tramway Infrastructure Upgrades Incorporated Document, May 2017	GC68

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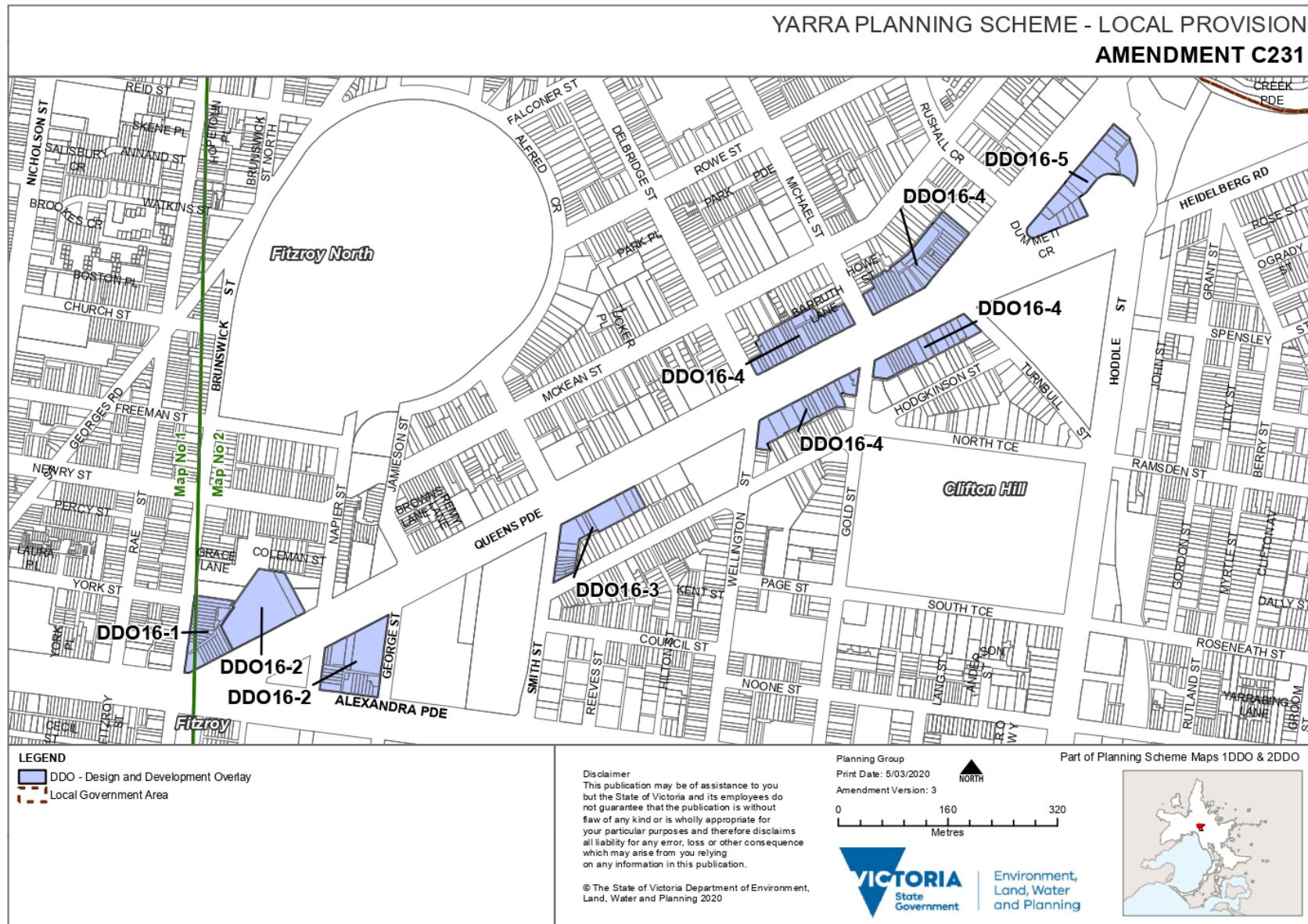
Name of document	Introduced by:
Victoria Gardens Building Envelope and Precinct Plan and Precinct 3 Plan – Warehouse Area	C7
Victoria Gardens Urban Design Guidelines	NPS1
Victorian Institute of Forensic Psychiatry Concept Plan (January 1997)	NPS1
Yarra Gardens Precinct Plan, December 2009	C128
Yarra High Streets: Statements of Significance October 2017 (updated November 2017)	E234 C231yara 

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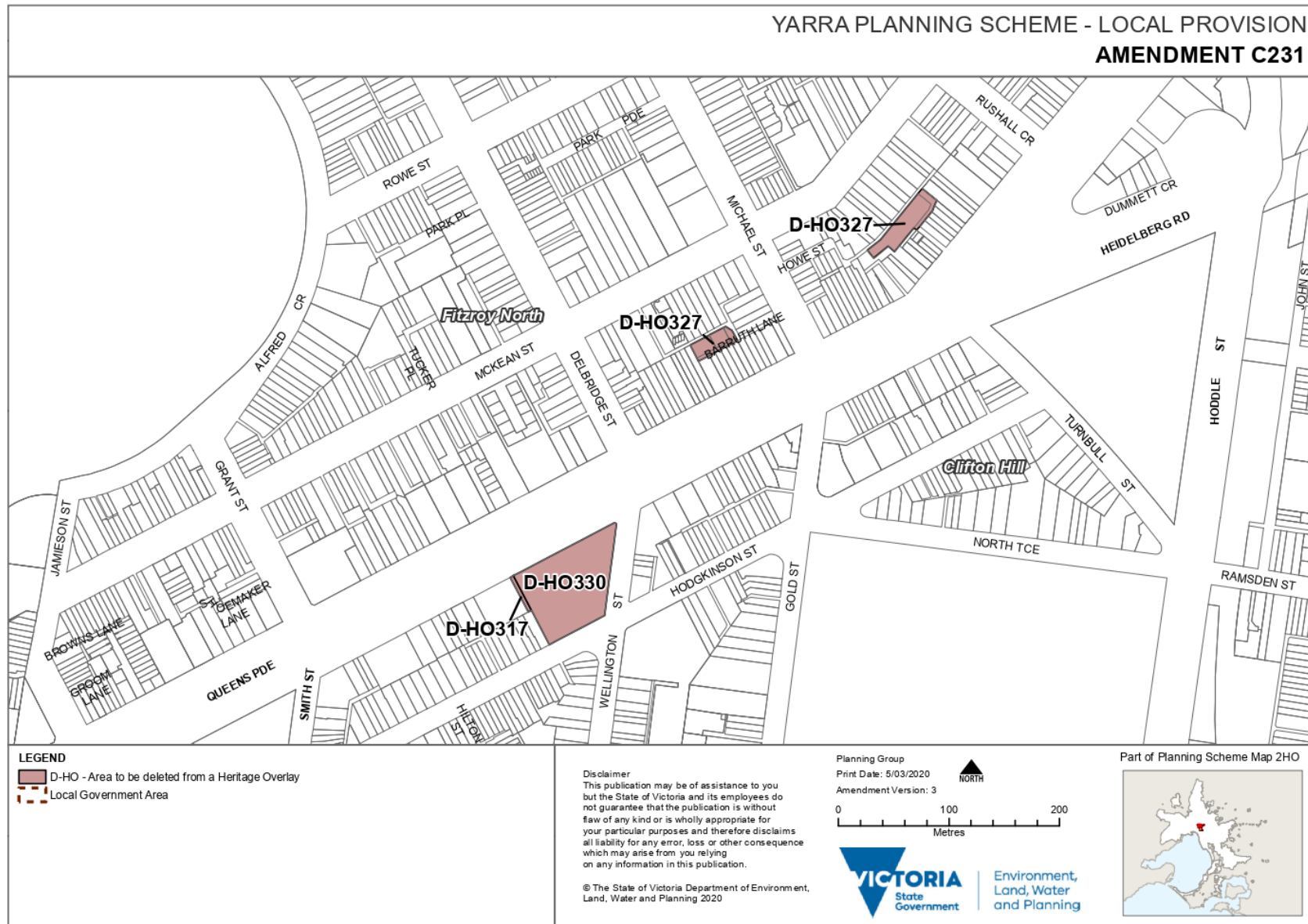
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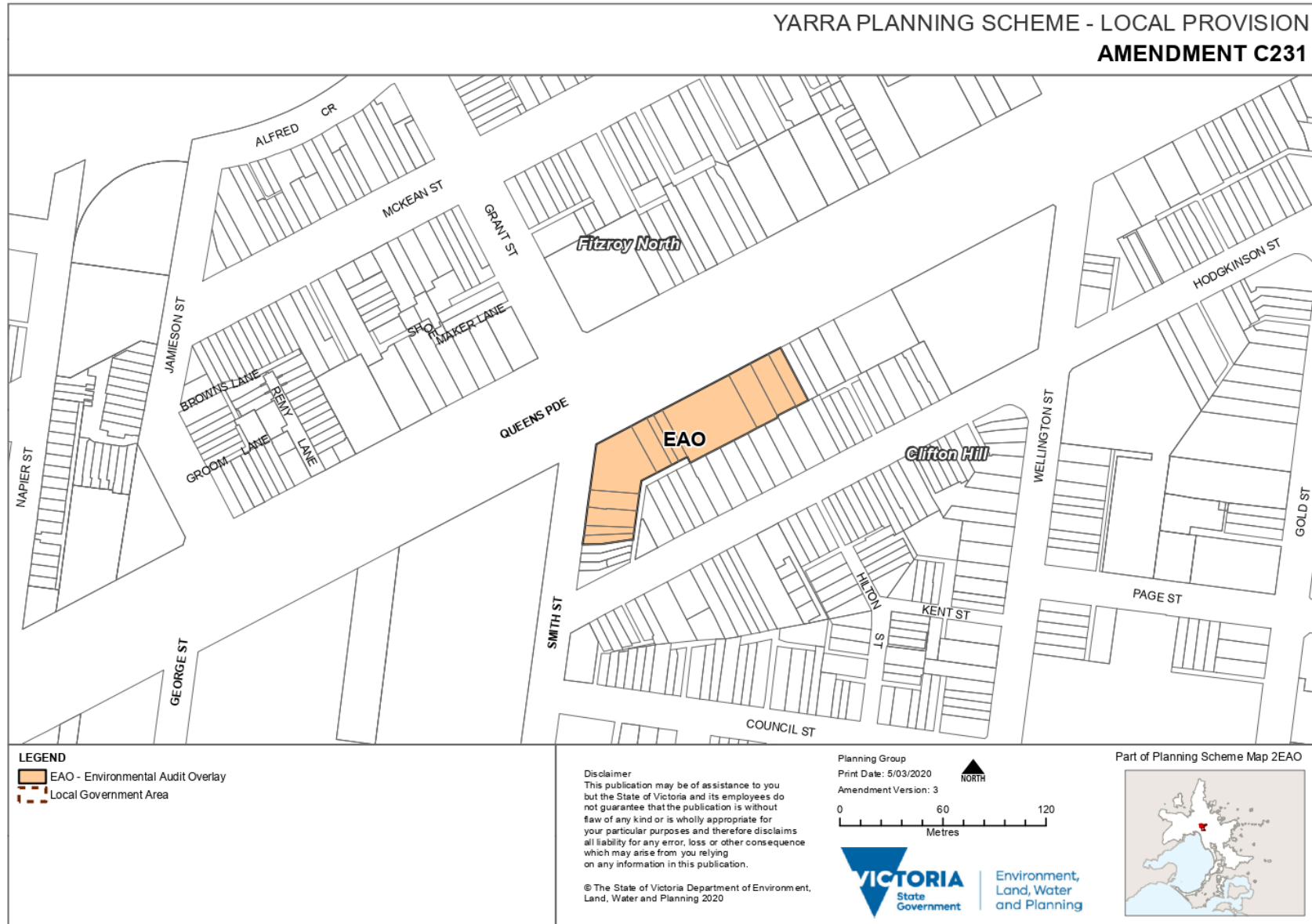
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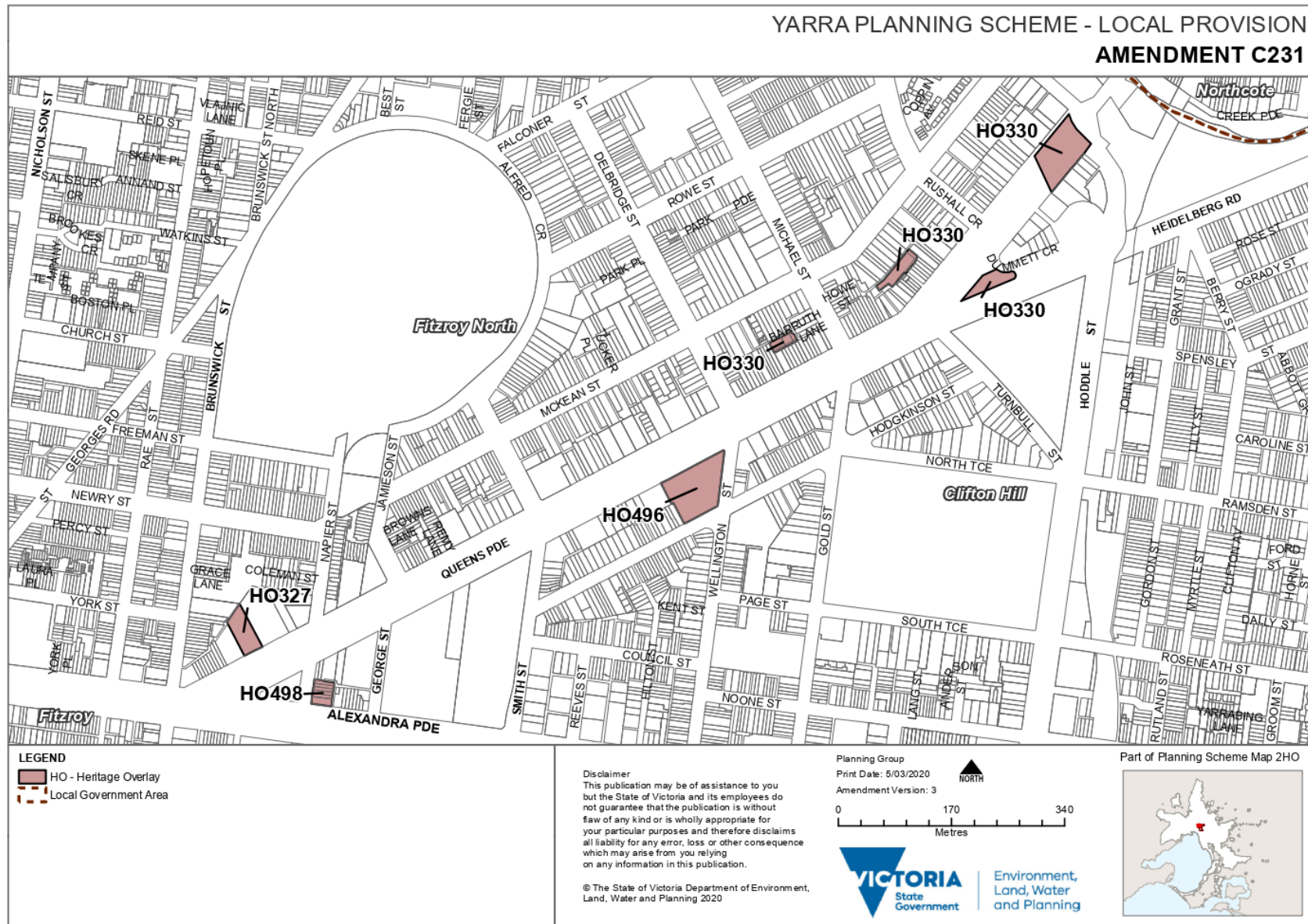
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Yarra High Streets: Statements of Significance

October 2017 (updated November 2017)

This reference document contains the Statement of Significance for all Heritage Precincts and Individually Significant Places (where a Statement of Significance has been prepared) within:

- Queens Parade Built Form Heritage Analysis and Recommendations Report (GJM Heritage, Nov 2017)

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Ordered by Heritage Overlay number

Precinct no.	Precinct name	Page
HO317	Clifton Hill Western Precinct	4
HO327	North Fitzroy Precinct	8
HO330	Queens Parade Precinct, North Fitzroy/Clifton Hill	15

Precinct number VHR number	Name	Address	Page
HO92 VHR H0684	Former United Kingdom Hotel (now McDonalds)	199 Queens Parade, Clifton Hill	18
HO93	Street Trees	Queens Parade, Between Alexandra Parade & Delbridge Street Clifton Hill/ North Fitzroy	19
HO216 VHR H0163	Haselmere	96 McKean Street, Fitzroy North	20
HO221 VHR H0892	Former ANZ Bank	370-374 Queens Parade, North Fitzroy	21
HO496	St Johns Church Complex	61-87 Queens Parade, Clifton Hill	22
HO498	Row of houses Elizabeth Terrace	472-484 pier Street, Fitzroy North	23
HO504	Clifton Motors (former)	205-211 Queens Parade, Fitzroy North	24

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Individually Significant Places within a Precinct

HO number	Name/description	Address	Page
HO317	House	12 Hodgkinson Street, Clifton Hill	25
HO317	William B Fox House, later House of Gentle Bunyip	94 Hodgkinson Street, Clifton Hill	26
HO317	Baptist Church & Hall	100 Hodgkinson Street, Clifton Hill	27
HO317	Residence	122 Hodgkinson Street, Clifton Hill	28
HO317	Fire Station No. 11 (former)	662 Smith Street, Clifton Hill	29
HO327	National Bank, former	460 Brunswick Street, Fitzroy North	30
HO327	House	17 Delbridge Street, Fitzroy North	31
HO327	House	218 McKean Street, Fitzroy North	32
HO327	House	220 McKean Street, Fitzroy North	33
HO327	Hatherlie	224 McKean Street, Fitzroy North	34
HO327	K. G. Luke Pty Ltd factory (former)	26-52 Queens Parade, Fitzroy North	35
HO327	Selotta Shoes Pty Ltd factory (former)	122 Queens Parade, Fitzroy North	36
HO327	Christian Brothers Monastery, later units, Maher House	256-262 Queens Parade, Fitzroy North	37
HO330	Clifton Hill Hotel	89 Queens Parade, Clifton Hill	38
HO330	Melbourne Savings Bank, later State Savings Bank	97-99 Queens Parade, Clifton Hill	39
HO330	Doctor's surgery and house former	105 Queens Parade, Clifton Hill	40
HO330	Albert Hall, also Masonic Hall, later Samian Social Club	127-129 Queens Parade, Clifton Hill	41
HO330	Daintons Family Hotel, later Normanby Hotel	139 Queens Parade, Clifton Hill	42
HO330	Clifton Hill Post Office, former	141 Queens Parade, Clifton Hill	43
HO330	National Bank of Australasia, former	270 Queens Parade, Fitzroy North	44

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Heritage Place	Clifton Hill West Precinct	PS ref no:	HO317
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Source: Graeme Butler & Associates (2007, 2013), *City of Yarra Review of Heritage Overlay Areas* [see Study for footnote references]

What is significant?

Survey

Following the establishment of the East Collingwood Council in 1855, The East Collingwood Local Committee successfully sought permission for East Collingwood to annex what is now Clifton Hill. East Collingwood wanted to extend East Collingwood's north south streets (Smith, Wellington and Hoddle) northwards to the Heidelberg Road (today's Queens Parade) to tap the traffic and trade coming from country areas such as Heidelberg; to gain access to the quarrying area for street making materials; and for space to erect public buildings, such as a town hall and market.

Distinguished naturalist and engineer, Clement Hodgkinson, as Victorian Assistant-Commissioner of Crown Lands and Survey 1861-74, was responsible for the government subdivisions of Carlton (south of Princes St, 1860), North Carlton, North Fitzroy and Clifton Hill (1865-9), Hotham Hill (1866), South and North Parkville (1868-9). Under his supervision, suburban planning employed the cost-efficient grid system used by Hoddle. Hodgkinson's predecessor.

The P. M. Goldbrick's 1864 *Plan of Allotments in the Boroughs of East Collingwood and Fitzroy* shows the distinctive geometric forms of Darling Gardens and Mayor's Park in Clifton Hill and Edinburgh Gardens in North Fitzroy.³⁵ The streets of Clifton Hill, North Fitzroy and North Carlton, as set out by the Colonial Government, were broader and better ordered than those created privately in Richmond, South Fitzroy and Collingwood, with the added distinction of the curved street forms in Fitzroy North.

Sale of land commenced in the 1860s with ample reserves for public purposes, the Darling Gardens and Mayors Park, a Market Reserve in Smith Street extending from Alexandra Parade to Council Street, a Public Baths Reserve in Smith Street from Council Street to Hodgkinson Street, a School Reserve in Gold Street and five Church Reserves throughout the area. By way of contrast, all the land sold in East Clifton Hill between 1871-1874 had no provision for public reserves.

Early Residential Development

In the three years from the first land sales in 1864 only six houses were built and in the next five years to 1872, 58 houses, four commercial premises (Queens Parade) and one industrial building (in Hoddle Street) were built. Early residential concentrations were at the west end of Alexandra Parade and the west end of Hodgkinson and Council Streets. These were near the horse drawn omnibuses to Northcote along Smith Street and Queens Parade (started in 1869) and employment opportunities at the Collingwood Gas Works in Smith Street, opened in 1861.

Amenity protection

Members of the public, including councils and organised pressure groups, wrote annually in relation to crown land reserves. In 1862-62 a petition from the 'Municipal District of East Collingwood' was presented to the Legislative Assembly citing the good work of the local Vigilance Committee towards improving Clifton Hill.³⁶

The level of community involvement engaged in 'articulating public interest priorities' can be gauged by the level and nature of the correspondence of which there was a great deal.³⁷ Demands for public parks, recreation areas, sporting grounds and botanic gardens increased.³⁸

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More recently, The House of the Gentle Bunyip, constructed in three phases by two families between 1867 and the 1920s was the subject of controversy in the late 1990s when the local community successfully saved the building from demolition, after staging a picket lasting over 400 days.

Early public gardens

Preparations for planting the two Reserves (Darling Gardens and Mayors Park) proceeded with an application made in 1864 to Dr. Mueller FRS, Botanical Gardens Melbourne, for an assortment of trees, plants and shrubs and a liberal supply of Victorian *Hakea*, for the planting of Darling Gardens.³⁹ Many significant trees in Mayors Park and Darling Gardens have been identified as significant, including elm groups, cotton and Canary Island palms, and oaks.⁴⁰ The National Trust of Australia (Vic) has identified a *Quercus ilex* and *Ulmus procera* as significant trees in the Darling Gardens.

Trees

The 1897 MMBW Record Plan 29 shows that Hoddle Street had a double avenue of trees in Clifton Hill, Wellington Street was fully planted both sides with street trees from one end to the other, and Noone Street had trees at the east end. North Terrace had ten trees planted by local identity, George Langridge, MLA and former Mayor.

Boom era

During the metropolitan boom of 1881-91, the population of Collingwood increased by half, from 23,829 to 35,070, and the number of dwellings rose from nearly 5,000 to 7,000, mostly reflecting the development of Clifton Hill.⁴¹ The character of the area, as later described in *Victoria and its Metropolis*, was of a residential suburb "... that has of late years been extensively built on with a good class of houses and numerous handsome shops. It has an elevated position, and commands an excellent view of the metropolis."⁴² Local politicians and business figures (such as George Langridge) promoted development and aided in home ownership via building societies.

By the end of the boom in 1891, West Clifton Hill was almost fully developed. The 1897 MMBW record plan shows few vacant blocks. Most of this development took place between 1881 and 1891, more quickly and more completely than in East Clifton Hill, North Fitzroy or North Carlton, the other government planned suburbs. This growth was due to Clifton Hill's closer proximity to employment and commerce in the south, with industries in Collingwood and Abbotsford being within walking distance of Clifton Hill, and aided by cable trams running along Queens Parade and down Smith Street.

Victorian-era industrial development

Industries such as the Clifton Hill Brewery, Ridgeway's Tannery and Stacey's Boot Factory, continued to be located in the south east of the area fronting Alexandra Parade and Hoddle Street, adjacent to the former Reilly Street drain that was essential for effluent disposal. There was also Richard Hodgson's distinctive shot manufacturer's tower.

Post Boom

The early years of the 20th century saw some reinvigoration of industry after the financial trials of the 1890s. Comparatively little residential development took place after the Boom, except for development in two small subdivisions of the original Crown allotments in streets around the Darling Gardens.

Main development period

The main development period evident in the heritage overlay is that of the Victorian-era with a substantial contribution from the Edwardian-period. There is also a contribution from some well-preserved inter-war buildings and individually significant places of all eras.

Contributory elements

Contributory buildings are typically (but not exclusively) detached and attached Victorian-era and Edwardian-era mainly one-storey houses having:

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- Expressed pitched gabled or hipped roofs, with some façade parapets;
- Mainly one storey wall heights but with some two storey house rows;
- Weatherboard, face brick (red, bichrome and polychrome), or stucco walls;
- Corrugated iron roof cladding, Marseilles pattern terra-cotta tiles, with some slate roofing;
- Chimneys of either stucco finish (with moulded caps) or of matching face brickwork with corbelled capping courses;
- Typically with post-supported verandah elements facing the street, set out on two levels as required with cast-iron detailing;
- Less than 40% of the street wall face comprised with openings such as windows and doors; and
- Front gardens, originally bordered by typically timber picket front fences of around 1m height; and
- Corner shops and residences with display windows and zero boundary setbacks. And
- Well preserved buildings, including one storey houses plus one and two storey industrial buildings from the pre Second World War era;
- The Darling Gardens as a typical Victorian-era Garden Square, with mature exotic formally arranged planting;
- Significant and mature park, street and private tree plantings (including plane, oak and elm trees, palms in Mayors Park, and National Trust of Australia (Vic) significant trees);
- Provision of public and church reserves in the town plan; and
- Public infrastructure, expressive of the Victorian and Edwardian-eras such as bluestone pitched road paving, crossings, stone kerbs, and channels, and asphalt paved footpaths.

How is it significant?

HO317 Clifton Hill Western Heritage Overlay Area is aesthetically, socially and historically significant to the City of Yarra (National Estate Register [NER] Criteria E1, A4)

Why is it significant?

Clifton Hill Western Heritage Overlay Area annexed by East Collingwood Council in 1855 and substantially developed by World War One is significant:

- As an expression, in the history of its creation as part of Collingwood East, of the aspirations of tradesmen of the Collingwood Slope for improved urban development and the provision of public facilities;
- For the role of local politicians and business figures in social, physical and industrial improvement and home ownership in the area;
- As the focus of community sentiment and resident protest from its initial development in the 1860s, from the actions of the Victorian-era Vigilance Committee to the preservation movements of the 20th Century, specifically the House of the Gentle Bunyip conservation campaign;
- For the distinctive street and allotment layout created under Government surveyor, Clement Hodgkinson⁴³, and the liberal allowance for garden squares and reserves for a market, public baths, a school, a recreation reserve and five churches, contrasting with private surveys in the City of Yarra;
- For Hoddle's provision of boulevards (Hoddle Street and Queen's Parade) skilfully merged with wide streets on a north south grid, with unusual five way intersections and triangular public spaces at each end of Queen's Parade;

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- For the unique series of vistas from the crest of the hill at the end of Hoddle street that includes views of significant landmarks like the shot tower, spires of St. Johns and the former Wesleyan Church, Town Hall towers at Collingwood and Fitzroy, the Exhibition Buildings, and long vistas to the Kew hill and Studley Park, plus those to and from the Darling Gardens;
- For the area's fine representation of Victorian-era life, as expressed by the street and public reserves, along with the dominantly Victorian-era building stock including churches, a State school, factories, early houses, a large number of late Victorian terrace houses, attached and freestanding, and key house designs such as 12 North Terrace.
- For its focus on a representative and intact example of a residential garden square (Darling Gardens) based on British and European precedents, with associated significant trees;
- For the mature, largely exotic trees, including those planted by George David Langridge, MLA and former Mayor, bluestone kerbs, gutters, drains, channelling, and laneways from the area's major period of development;
- For the strong industrial theme, seen in the south of the area with several 19th Century industrial buildings including former boot factories, and a carriage factory, that links the area with the City's other creek and riverside industrial localities such as Clifton Hill East, Abbotsford and Collingwood;
- For well-preserved Edwardian housing estates and individual houses as complements to the dominant Victorian-era residences; and
- For good examples of the Californian Bungalow style and other well preserved interwar houses.

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Heritage Place	North Fitzroy Precinct	PS ref no:	HO327
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Source: Graeme Butler & Associates (2007, 2013), City of Yarra Review of Heritage Overlay Areas [see Study for footnote references]

North Fitzroy has two sub-areas:

- (A) The Government planned section south of Holden St
- (B) The privately planned section north of Holden St

(A) NORTH FITZROY HERITAGE OVERLAY AREA (SOUTH OF HOLDEN ST)

What is significant?

Early subdivision

The south section of North Fitzroy (south of Holden Street) was retained in Crown ownership until 1865, as part of the Melbourne township reserve. This was a ring of land extending 5 miles from Hoddle's original Melbourne town plan that was set aside in 1844 for 'orderly' development in government-planned subdivisions.⁷⁵

North of Holden Street, large agricultural allotments had been sold in 1839, their boundaries surviving in the east-west streets of Miller, Barkly and Clausen Streets. There was also an area, bounded by (approximately) Nicholson, Church, Rae and Scotchmer Sts, that was sold as private quarry allotments in 1851 to encourage production of building stone.⁷⁶

The future suburb was bordered by a road to Heidelberg and the Plenty districts (later Queen's Parade) that ran diagonally to Hoddle's survey grid through the North Fitzroy's Crown reserve. It was proclaimed in 1850 as one of Melbourne's 3 chain (60 metre) government roads, now called 'Hoddle boulevards'.

To the north, the township of Northcote on the Merri-Merri Creek (later Westgarth) was laid out by Hoddle in 1852 with some allotments extending south of the Merri Creek to Rushall Crescent in North Fitzroy. These allotments now have substantial buildings dating from the 1850s and 1860s (see Queen's Parade Heritage Area, HO331).

St. George's Rd was another diagonal route, on the western flank of the area, used to transport construction materials to the 1854-8 Yan Yean water supply scheme near Whittlesea.⁷⁷ By 1860, Fitzroy Council annexed the 480 acres now comprising North Fitzroy.

Distinguished naturalist and engineer, Clement Hodgkinson, as Victorian Assistant-Commissioner of Crown Lands and Survey 1861-74, was responsible for the government subdivisions of Carlton (south of Princes St, 1860), North Carlton, North Fitzroy and Clifton Hill (1865-9), Hotham Hill (1866), South Parkville and North Parkville (1868-9). Under his supervision, suburban planning employed the cost-efficient grid system used by Hoddle. A model town design⁷⁸ in the area by Hodgkinson's predecessor, Andrew Clarke (the designer of St Vincent's Place, South Melbourne), is thought to have inspired the curved streets of Alfred and Rushall Crescents in North Fitzroy, although both streets were laid out under Hodgkinson.⁷⁹

Edinburgh Gardens

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Lacking a public recreation reserve, the new Fitzroy Council was temporarily granted 7 acres in 1858 bounded by Reilly Street (Alexandra Parade), Queens Parade and Smith St.⁸⁰ The 1858 reserve was for a future Anglican parish church and the Collingwood (later the Metropolitan) Gas Company which commenced production in 1861. In 1862, Fitzroy Council requested an oval-shaped 50 acre public reserve flanking the Yan Yean tramway (St. George's Road). The oval reserve was laid out under Hodgkinson and extended south in 1863, as a squared-off addition to the reserve to the line of Freeman St, to provide the Prince of Wales Cricket Club an extra playing ground.⁸¹ In 1882-3, Edinburgh Gardens was permanently granted to the Council and planting of its avenues commenced.

Land sales and development

Sale of North Fitzroy's $\frac{1}{4}$ - $\frac{1}{2}$ acre allotments commenced in 1865, extending west from Rushall Crescent. Further east, lots between Brunswick and Nicholson Street were sold between 1867 and 1875.⁸² Settlement increased after 1869 when horse-drawn omnibuses began running from North Fitzroy along Nicholson St and Queen's Parade to the city. Development concentrated around the established quarry route (Nicholson Street) and the road to the Yan Yean Reservoir (St. George's Road).

St. Brigid's Catholic Church in Nicholson Street was commenced in 1869 and the Methodist Church, further north, in 1874. In the pre-Boom years (before 1883) this was North Fitzroy's most established area, characterised by modestly scaled brick and wood houses, shops, hotels, and commercial premises, the latter prevailing on main routes such as Rae, Reid, Brunswick Sts and St Georges Rd.

North Fitzroy Primary School was built in Alfred Crescent (HO212) overlooking Edinburgh Gardens. This was typical of 19th century government-planned suburbs where public schools were located on or near public recreation reserves. A police station was established west of the school, giving the north-west corner of the gardens a civic character, embellished by an ornamental fountain after the turn of the century.⁸³ St Luke's Church of England in St Georges Rd was commenced in 1879.

Suburban development was rare east of St Georges Road prior to the Boom, but in 1869 philanthropist George Coppin created the Old Actor's Association village overlooking Merri Creek close to Northcote, later the site of the Old Colonists' Association (HO218). Nearby land was granted to the Licensed Victuallers' Association for asylum homes and a school (site of Fitzroy Secondary School since 1915).⁸⁴

Transport

When cable tram routes along Queen's Parade, Nicholson Street and St. Georges Road commenced construction in 1883, North Fitzroy landowners began subdividing their allotments. On the Nicholson Street tram route, owners of the 1850s stone quarries and the 1839 farm allotments north of Holden St, followed suit.

When tram services began in 1887 many new houses were ready for sale or under construction. North Fitzroy emerged as a late-Victorian commuter suburb with local shopping strips along the cable tram routes, the commercial strip of St Georges Road extending east and west along Scotchmer Street.

Convenience shops were built on pedestrian street corners as households multiplied. The Inner Circle Railway running via Royal Park, North Carlton, Nicholson St, and Clifton Hill was completed in 1888 with a spur line dividing the Edinburgh Gardens into two, and terminating at the 'Fitzroy' station, Queen's Parade. A new rail link direct to the city (the Clifton Hill to Princes Bridge line) opened in 1901 and saw Edwardian buildings filling out the suburban streets east of St. Georges Road and the revitalising of the main shopping strips.⁸⁵ Public transport continued to support North Fitzroy as a commuter suburb during the 1920s with the opening of Rushall railway station and the electrification and extension of the St Georges Rd and Nicholson St tramways.

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North Fitzroy's suburban development, especially east of St George's Road to Rushall Crescent, was far from complete when the Boom collapsed in 1893. However its good access to public transport led to a rapid recovery. A number of small factories were built in or near the 19th century commercial strip of Scotchmer St, the best architectural examples being of the late 1930s. Main development era, south of Holden St.

The main development period evident in the heritage overlay south of Holden St is that of the Victorian era with a substantial contribution from the Edwardian-period. There is also a contribution from some well-preserved inter-war buildings and individually significant places of all eras.

Contributory elements, south of Holden St

The North Fitzroy Heritage Overlay Area (south of Holden St) contributory elements include (but not exclusively) generally detached and attached Victorian-era and Edwardian-era houses having:

- Pitched gabled or hipped roofs, with some façade parapets, many elaborate;
- One storey wall heights but with many two storey house rows,
- Rectilinear floor plans, with many bayed room projections on the plans of large houses;
- Face brick (red, bichrome and polychrome) or stucco walls, some weatherboard;
- Corrugated iron and slate roof cladding, some Marseilles pattern terra-cotta tiles;
- Chimneys of either stucco finish (with moulded caps) or of face brickwork with corbelled or cemented capping courses;
- Post-supported verandah elements facing the street, set out on two levels as required with cast-iron and timber detailing, and many curved verandah wing-walls;
- Less than 40% of the street wall face comprised with openings such as windows and doors; and
- Front gardens, originally bordered by timber or iron picket front fences of around 1m height; often set between brick or cemented pillars and curved brick garden wing walls.
- Face brick (typically red) privies set on rear lanes, with some stables and lofts to the larger houses;
- Shops and residences sited on corners with display windows and zero boundary setbacks;

Contributory elements also include attached Victorian and Edwardian-era shops, and residences over, with

- Façade parapets and pitched roofs behind,
- Two storey wall heights,
- Post-supported street verandahs as shown on the MMBW Detail Plans,⁸⁶
- No front or side setbacks; also
- Timber framed display windows and entry recesses.

Contributory elements also include:

- Well preserved buildings from the pre Second War era, that are visually related to the dominant scale, siting and form of the area;
- Service buildings, like pre WW2 electric substations;

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- The distinctive suburban plan, enhanced by curving street forms, and defined by boulevards;
- Edinburgh Gardens as a Victorian-era residential circus, and for the other garden, boulevard and median reserves (such as Queens Parade), with mature exotic and formally arranged planting;
- Mature street tree plantings (such as plane and elm tree rows, Queensland brush box);
- The provision of public and church reserves in the town plan, including the Inner Circle Railway reserve;
- The rectilinear Victorian-era allotment plans and street layout with wide main streets, rear service lanes, all counter posed with circular parkland reserves, major angled streets and boulevards;
- The dominance of spires and towers of public buildings, churches and some large houses in the skyline; and
- Public infrastructure, expressive of the Victorian and Edwardian-eras such as bluestone pitched road paving, crossings, stone kerbs, and channels, and asphalt paved footpaths.

How is it significant?

HO327 North Fitzroy Heritage Overlay Area (south of Holden St) is aesthetically and historically significant to the City of Yarra (National Estate Register [NER] Criteria E1, A4)

Why is it significant?

The Government planned section of Fitzroy North (south of Holden St) is significant

- As a demonstration of the earliest stages in the development of North Fitzroy, commencing with the 1850s Yan Yean tramway and the quarry route of Nicholson St, the establishment of North Fitzroy's first churches and its pre-Boom suburban mixture of small residential and commercial buildings coinciding with provision of horse drawn public transport.;
- For its late 19th century buildings that represent rapid growth and change in the character of the relatively remote suburb to an established residential and business area with a range of commercial and institutional buildings serving the wider population of North Fitzroy;
- For the aesthetic value of its suburban planning, with the combination of curving streets and garden reserves, and the vistas created by the intersections of standard rectilinear subdivision with the strong diagonals formed by St Georges Road and Queens Parade, the exceptionally wide streets and crescents, the triangular garden reserves, and focal views to buildings and parkland. This aesthetic is underscored by the built form seen in the construction of commercial and institutional buildings to the property alignment along a number of streets and on corners;
- The generous public domain, with street plantings of historic elms and 20th century plane trees,
- For its low rise streetscapes of intact Victorian and Edwardian buildings one and two-storey terrace and villa housing;
- For the range of Victorian and Edwardian-era building form and finish, from the modestly decorated timber cottages and stuccoed Italianate style houses, simply designed corner hotels and shops, to the rich variety of decorative buildings including an extraordinary concentration of decorative bichrome and polychrome brickwork and flamboyantly decorated Italianate residential and commercial terraces, banks and hotels, interspersed very occasionally with dominating narrow spire and tower elements of religious, commercial and institutional buildings.
- As one of Melbourne's early residential commuter suburbs served by train and cable tram
- services linking it to the city by 1888, with extensive Boom era terrace buildings and closely built row housing within this sub-area providing evidence of the effects of public transport on early development;
- As essentially a well preserved Boom-era suburb that, despite the abrupt economic collapse of the early 1890s, continued developing during the Great Depression years and into the first decades of the 20th century due to the amenity of its planning, parkland, local schools and shops and extensive public transport. This yielded both the

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generous frontages and sizes of the post-Depression villa houses and the row house forms and narrow frontages of the Boom era;

- For its traditional Victorian-era residential character, evoked by the formal presentation of the decorated façade to the street with its small ornamental front garden, low front fence, pedestrian gateway and front path, with the functional necessities of delivering coal, removal of nightsoil and occasional stabling provided by the back lanes;
- For landmark buildings and sites that formed key meeting places in the area during the main development era of the 1860s to the 1930s, including religious institutions, schools, monasteries and churches, and the buildings associated with charitable bodies such as the Salvation Army, Church of Christ Bible School, and the temperance movement. Also the former Nth Fitzroy Police Station, the former Licensed Victualler's School and Asylum site and complexes such as the Old Colonists Homes;
- For the asphalt footpaths, pitched lanes, gutters and lane crossovers and mature street and individual plantings (such as mature elms, planes, palms, and Kurrajongs) that reinforce the unified character of the dense, relatively low-rise residential development;
- The 19th century landscape of Edinburgh Gardens and its representation of Fitzroy's cultural history in its plantings, memorials, recreation sports club grounds and pavilion buildings, plus the Inner Circle Railway reserve as a cultural landscape strip across the north of the area;
- For the outstanding Victorian and Edwardian-era streetscapes such as those surrounding the Edinburgh Gardens (Alfred Crescent, St Georges Road, Brunswick and Freeman Streets) that include a rich collection of Victorian-era Gothic and Italianate style buildings interspersed with fine buildings from the Edwardian period;
- For the important views and vistas within the area, including those of the Edinburgh Gardens, its mature trees and historic structures, as seen from many parts of the Heritage Overlay Area, and views obtained from Edinburgh Gardens to the many significant buildings at its curtilage and the city skyline, the vista from the elevated position of the Cricket Club grandstand toward the upper façades of buildings in Freeman and Brunswick Streets, and the Brunswick Street vistas (south to the spire of St Patrick's Cathedral, and north to St Luke's spire)
- For the contribution of well-preserved inter-war buildings, particularly the small intact inter-war houses where the building design has adapted to the prevailing built character of the area in siting, scale, decorative quality and stylistic variety.

(B) NORTH FITZROY HERITAGE OVERLAY AREA (NORTH OF AND INCLUDING HOLDEN ST)

What is significant?

Development north of Holden St
(Refer also to Development south of Holden St)

North of Holden St, the 1839 farm allotments closest to Nicholson St were subdivided for row-housing during the late Victorian-era Boom years but remained empty until after 1900. Suburban development followed in the years to 1920 with timber villas on relatively wide (approximately 10 metre frontages). Some empty sites were developed in the 1930s and 1940s with medium density, duplex and estate housing development, some of these being architecturally distinctive. Mature street tree planting includes plane trees, typical of Edwardian-era and inter-war planting. The Merri State (now Primary) School 3110 and landscaping, in Miller St, is a key early non-residential building in this part of the Heritage Overlay Area.

Main development era, north of Holden St

The main development period evident in the heritage overlay is that of the Edwardian-period with a contribution from the Victorian era. There is also a contribution from some well-preserved inter-war buildings and individually significant places of all eras.

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Contributory elements, north of Holden St

The North Fitzroy Heritage Overlay Area (north of and including Holden St) contributory elements include (but not exclusively) generally detached (and some attached) Victorian-era and Edwardian-era mainly one-storey houses having typically:

- Pitched gabled or hipped roofs, with few façade parapets;
- One storey wall heights but with some two storey house rows;
- Weatherboard or block fronted wall cladding, with face brick (red, bichrome and polychrome), or stucco walls;
- Corrugated iron roof cladding, with some Marseilles pattern terra-cotta tiles, with some slate roofing;
- Chimneys of either stucco finish (with moulded caps) or of matching face brickwork with corbelled capping courses;
- Post-supported verandah elements facing the street, with timber (Edwardian-era) or cast-iron detailing;
- Less than 40% of the street wall face comprised with openings such as windows and doors; and
- Front gardens, originally bordered by timber picket front fences of around 1m height.

Contributory elements also include:

- Corner shops and residences, with display windows and zero boundary setbacks;
- One and two storey commercial strips (i.e. St Georges Road) with some key corner Victorian and Edwardian-era buildings and well preserved inter-war examples;
- Well preserved buildings, including visually related one and two storey residential buildings from the pre Second War era, are contributory to the heritage overlay;
- Long east-west streets as former rural allotment boundaries, with repeating allotment sizes and rectilinear allotment forms;
- The inner circle railway reserve, with associated railway infrastructure;
- Mature street tree plantings (typically plane trees) and reserve planting (typically palms), and
- Public infrastructure, expressive of the Victorian and Edwardian-eras such as bluestone pitched road paving, crossings, stone kerbs and channels, and asphalt paved footpaths.

How is it significant?

HO327 North Fitzroy Heritage Overlay Area (NORTH OF AND INCLUDING HOLDEN ST) is aesthetically and historically significant to the City of Yarra (National Estate Register [NER] Criteria E1, A4)

Why is it significant

North Fitzroy Heritage Overlay Area (NORTH OF AND INCLUDING HOLDEN ST) is important:

- For the clear indication of important early land development phases in the suburb as follows:
 - East-west, relatively long and narrow streets originating from private subdivision of the 1839 agricultural allotments that originally fronted Merri Creek;
 - The evident effect of the 19th century Boom era when aggressive subdivision coincided with provision of public transport, creating dense late-Victorian development near the Nicholson St cable tram terminus;

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- The more generous post-1906 subdivisions (suited the construction of detached timber villas) representing changed values in land prices, and the relatively new suburban ideal of affordable house and garden lifestyle;
- The slow transformation into a completed residential suburb by WW2, with the last few vacant sites accommodating interwar dwellings, some developed with medium- density housing, duplexes and flats.
- For the consistent and intact streetscapes of late Victorian terrace and row housing in the south-west corner of the area, and Italianate style and Edwardian timber villas, interspersed occasionally with inter-war houses, in the balance of the area;
- For the visual consistency and good period expression of streets in the north and east parts of the area, consistently one-storey, timber construction, decorative detail, and detached siting with consistent garden setbacks;
- For the interwar medium density development pockets, including those contained within Pilkington St and parts of Barkly St, King and Miller Streets, significant for its intactness, form and high quality design.
- For the shopping strip streetscape of St Georges Rd, significant for its landmark Victorian-era buildings, plus intact early 20th century and interwar buildings in both Classical Revival and Moderne styles; and
- For important landscape and vistas, including the view of Merri Creek Bridge framed by palms and mature elms in the Merri Primary School reserve, and mature street plantings of plane trees.

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Heritage Place	Queens Parade Precinct, North Fitzroy/Clifton Hill	PS ref no:	HO330
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Source: GJM Heritage (2017), Queens Parade Built Form Heritage Analysis & Recommendations Report

What is significant?

Queens Parade, North Fitzroy from south-west of Delbridge Street to Brennand Street (nos. 264-492); Queens Parade, Clifton Hill from Wellington Street to Turnbull Street (nos. 61-197), Queens Parade Road Reserve from St John the Baptist Church Presbytery to the railway overpass, and Raines Reserve. NOTE: 12 and 14 Brennand Street (not contributory) are included in HO330 in Appendix 8 but mapped in HO327.

History

First established as a track linking Melbourne and Heidelberg in the late 1830s, Queens Parade was one of Melbourne's first major roads. Originally extending from the top of Bourke Street, the route followed an irregular course to the north-east and continued across Merri Creek. The road was surveyed by Hoddle as a substantial three chain (60 metre) wide boulevard, reserved in 1853, and known as Heidelberg Road at the south-west end and Plenty Road further to the north-east and crossing Merri Creek. This thoroughfare to Northcote and Heidelberg formed part of the boundary between Clifton Hill and North Fitzroy and was renamed Queens Parade in the early twentieth century.

Allotments were sold in Queens Parade from 1853, on the northern side, south of Merri Creek as part of the Northcote township reserve. The Scotch Thistle Hotel, the present Terminus Hotel, had been built as part of this township by 1854 and some early bluestone terrace houses remain nearby at the corner of Rushall Crescent. Allotments fronting both sides of Queens Parade sold from 1864, however the street remained largely undeveloped until the construction of buildings such as the Daintons Family Hotel at the corner of Gold Street in 1875 and St John's Roman Catholic Church (now St John the Baptist Church), in 1876.

This thoroughfare between Melbourne and the northern districts experienced a development boom in the 1880s, with commercial functions serving local residents as well as those travelling through, and much of the present building stock in the precinct was constructed at this time. Development on the North Fitzroy (northern) side was predominantly two-storeys, including shops with residences above, such as the building at the corner of Michael Street (336-338 Queens Parade, 1870-1890) and banks, including the National Bank of Australasia (1886) and the three-storey landmark building, the former London Chartered Bank (later the ANZ Bank, 1889). The Clifton Hill (southern) side of the street developed with some shops, large commercial enterprises and some public buildings, including the Post and Telegraph Office (1893), a row of seven shops and residences known as Campi's Buildings (1880s), the State Savings Bank (1889), and the Clifton Hill Hotel (1884) on the south-east corner of Wellington Street.

Public transport was established in the area during the Boom years of the 1880s. A cable tram service was provided along the developing Queens Parade commercial strip in 1887, terminating at the Merri Creek and this was extended to Northcote in 1889. Increasing demand for public transport resulted in the opening of the Royal Park to Clifton Hill railway in 1888.

Development in Queens Parade decreased during the depression years of the 1890s, however a 1904 Melbourne and Metropolitan Board of Works detail plan indicates it was a tree lined commercial street with verandahs over the footpaths on both sides of Queens Parade by that time. Commercial development re-commenced in the early twentieth century, adding an Edwardian presence to the existing Victorian character of the precinct. Edwardian buildings include the Clifton Hill & Northcote United Friendly Societies Dispensary (1914), the Clifton Hill Post Office (c1915-20) and the former doctor's surgery and residence (c1915). Additionally, a substantial group of detached Edwardian houses were built on the North Fitzroy side of Queens Parade, at the north-east end.

By the close of the Edwardian period (c1918) the streetscape, that continues today to mark the entrance to Melbourne's northern suburbs, had largely been established. Notable Interwar buildings were added to the streetscape in the 1930s including a pair of landmark Moderne buildings at the north-east end - the former United Kingdom Hotel (1937-38),

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located on the prominent intersection of Queens Parade and Heidelberg Road, and the nearby Clifton Motors Garage (1938 façade).

Extensive beautification took place in the inter-war period in the form of landscaping and further street tree plantings. Grassed median strips were planted with plane and elm trees at the western end and a triangular garden (Raines Reserve, originally Rain's Reserve) was created at the junction with Heidelberg Road.

Description

The main development period of the Queens Parade Precinct is from the 1870s to c1920 and the streetscape largely dates to this period. A small number of buildings from both earlier and later periods make a contribution to the precinct. A number of individually significant buildings are contained within the precinct, dating predominantly from the 1870s-1920 period.

Buildings are predominantly attached Victorian and Edwardian shops and residences. They are predominantly two-storey with some single-storey shops interspersed. Towards the north-eastern end of the precinct are a row of detached single and two-storey residences, predominantly from the Edwardian period.

Elements that contribute to the significance of the place include (but are not limited to):

- The wide, open boulevard character with associated landscaping (including Raines Reserve, the planted medians, bluestone pitched road paving, crossings, stone kerbs and channels, and asphalt paved footpaths).
- Views afforded to significant buildings in and beyond the precinct (St John the Baptist Church, former ANZ Bank building, and former United Kingdom Hotel)
- The consistent Victorian and Edwardian commercial character of the precinct, which includes:
 - A consistent two-storey scale with some single-storey buildings
 - A variety of simple and some highly decorative façade parapets, with pitched roofs behind
 - No front or side setbacks
 - Face red brick or rendered walls
 - Rendered window frames, sills and hoods to upper stories
 - Rendered ornament to upper stories
 - Brickwork with corbelled capping courses
 - Strong horizontal lines formed by parapets, cornices, string courses
 - Repetitive upper floor fenestration patterns
 - Corrugated iron, slate and terracotta tiled roof cladding
 - Decorative chimneys (some with pots)
 - Original post-supported street verandahs
 - Shop fronts with display windows, timber or tiled plinths, and entry recesses.
- The predominantly Edwardian residential character at the north-eastern end, which includes:
 - Steeply pitched gabled or hipped roofs, predominantly with terracotta tiles and terracotta ridge capping and/or finials

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- Prominent, often highly decorative brick chimneys
- Prominent gable ends
- Predominantly red brick construction
- Front gardens

How is it significant?

Queens Parade, North Fitzroy/Clifton Hill is of local historical, architectural and aesthetic significance to the City of Yarra.

Why is it significant?

The Queens Parade Precinct is located on a major thoroughfare that has linked Melbourne to the northern suburbs since the 1830s. It is centred on one of Melbourne's early reserved boulevards, having been surveyed by Hoddle and reserved in 1853. The wide boulevard retains distinctive median strip landscaping from the twentieth century, including Raines Reserve. The Queens Parade Precinct is an intact turn of the century 'High Street' that has functioned continuously as a key commercial centre since the 1870s. It contains a substantial collection of intact commercial buildings, predominantly from the Victorian and Edwardian periods, including shops and associated residences, hotels and other commercial and civic buildings, as well as a group of detached Edwardian residences at the north-eastern end. Together these buildings demonstrate the development of this 'High Street', particularly from the 1870s to c1920 when substantial growth along the boulevard occurred, and are illustrative of the enduring role the street has played in the economic and social life of North Fitzroy and Clifton Hill since the establishment of the suburbs [Criterion A].

The highly intact streetscape of the Queens Parade Precinct clearly demonstrates the principal characteristics of a major turn of the century 'High Street' in the City of Yarra. Typical characteristics – including predominantly two-storey Victorian and Edwardian wall heights, parapeted rendered or red brick facades with repetitive upper floor fenestration, ground floor shopfronts and original verandahs – are displayed in the original forms, fabric and detailing of many of the buildings. The streetscapes on the northern side of Queens Parade from Delbridge Street to 410 Queens Parade and on the southern side of Queens Parade from Wellington Street to 169 Queens Parade are particularly intact and are highly consistent in their architectural form and expression, forming a cohesive and significant streetscape. A group of detached houses at the north-eastern end of the precinct are intact and consistent in their Edwardian character and form [Criterion D].

The Queens Parade Precinct contains a number of landmark and individually significant buildings which are well considered and carefully detailed examples of commercial and civic buildings. These include, among others, the prominent three-storey Former London Chartered Bank of Australia Ltd (later ANZ Bank building), 370-374 Queens Parade, the former Daintons Family Hotel (139 Queens Parade, built 1875), the former Melbourne Savings Bank (97-99 Queens Parade, built 1889), former National Bank of Australasia (270 Queens Parade, built 1886), Ryans Building (314 Queens Parade, built 1884), Campi's Buildings (149-167 Queens Parade, built c1880-c1890) and the corner shop at 336-338 Queens Parade, North Fitzroy (c1870-c1890). Key views to the local landmarks of the St John the Baptist Church complex and the Former United Kingdom Hotel, 199 Queens Parade, which bookend the precinct are afforded from within the precinct [Criterion E].

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Heritage Place	Former United Kingdom Hotel (now McDonalds) 199 Queens Parade, Clifton Hill	PS ref no: HO92
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Refer to Victorian Heritage Database for Statement of Significance – VHR HO684

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	Street Trees	
Heritage Place	Queens Parade, Between Alexandra Parade & Delbridge Street, Clifton Hill, North Fitzroy	PS ref no: HO93

Source: Allom Lovell & Associates and John Patrick Landscape Architects Pty Ltd (1998), *City of Yarra Heritage Review*

Statement of Significance

The double avenue of trees on Queens Parade is locally significant as an extensive and intact avenue planting in the City of Yarra. The trees provide a significant contribution to the heritage character of the precinct, and to the amenity of the local neighbourhood generally.

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Heritage Place	Haselmere 96 McKean Street, Fitzroy North	PS ref no: HO216
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Refer to Victorian Heritage Database for Statement of Significance – VHR HO163

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Heritage Place	Former ANZ Bank 370-374 Queens Parade, North Fitzroy	PS ref no: HO221
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Refer to Victorian Heritage Database for Statement of Significance – VHR HO892

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Heritage Place	St Johns Church Complex 61-87 Queens Parade, Clifton Hill	PS ref no:	HO496
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Source: GJM Heritage (2017), Queens Parade Built Form Heritage Analysis & Recommendations Report

What is significant?

St John the Baptist Roman Catholic Church Complex, 61-87 Queens Parade, Clifton Hill, built from 1876 to 1918, comprising the church, school, presbytery, former hall/shops, former presbytery and the Queens Parade boundary fence to the church and presbytery.

Elements that contribute to the significance of the place include (but are not limited to):

- The original external form, materials and detailing of the buildings
- The high level of integrity to their original design
- The Queens Parade fence to the church and presbytery.

Later alterations and additions, particularly the recent addition to the rear of the shops and school, are not significant.

How is it significant?

St John the Baptist Roman Catholic Church Complex, 61-87 Queens Parade, Clifton Hill, is of local historical, architectural and aesthetic significance to the City of Yarra.

Why is it significant?

St John the Baptist Roman Catholic Church Complex, 61-87 Queens Parade, Clifton Hill is a large and intact group of religious buildings, including a church, school, presbytery, hall/shops and former presbytery. This group of buildings is illustrative of a large suburban parish, with place of worship and associated educational and community facilities, established from the late nineteenth century through to the twenty-first century (Criterion A).

St John the Baptist Roman Catholic Church Complex, 61-87 Queens Parade, Clifton Hill is a fine, intact and representative example of a religious complex. It contains buildings from the Victorian and Federation periods which display typical characteristics of a range of styles, including the Victorian Decorated Gothic style of the late nineteenth century (church) and the Gothic Tudor (school), Bungalow (presbytery) and Free Style (hall) of the Federation period (Criterion D).

St John the Baptist Roman Catholic Church Complex, 61-87 Queens Parade, Clifton Hill is a well-considered and carefully detailed complex of church buildings. The church is a richly composed bluestone building with freestone dressings, designed in a Decorated Gothic style. The soaring church spire is a prominent landmark in the Clifton Hill/Fitzroy North area. The church contains several important stained glass windows including works by Ferguson and Urie and Hardman of Birmingham. The school building is an imposing two-storey red brick building, designed in a Gothic Tudor style, and the former Church Hall is a carefully composed two-storey red brick triangular building, designed in a Federation Free Style. (Criterion E).

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Heritage Place	Row of houses, Elizabeth Terrace 472-484 Napier Street, Fitzroy North	PS ref no:	HO498
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Source: GJM Heritage (2017), Queens Parade Built Form Heritage Analysis & Recommendations Report

What is significant?

Elizabeth Terrace, 476-484 Napier Street and the terrace house at 472 Napier Street, Fitzroy North, built in 1885 and 1889 respectively.

Elements that contribute to the significance of the place include (but are not limited to):

- The houses' original external form, materials and detailing
- The houses' high level of integrity to its original design
- The original front fences and gates.

Later alterations and additions to the rear of the terraces and the addition to the north of 472 Napier Street, are not significant.

How is it significant?

Elizabeth Terrace, 476-484 Napier Street and the terrace house at 472 Napier Street, Fitzroy North are of local architectural and aesthetic significance to the City of Yarra.

Why is it significant?

Elizabeth Terrace, 476-484 Napier Street and the terrace house at 472 Napier Street, Fitzroy North are fine and representative examples of terrace housing from the Victorian period. They display typical features of the Victorian Italianate architectural style popular in the 1880s boom period in Fitzroy North and across Melbourne more broadly, including a two-storey form with front verandahs and balconies, polychromatic brickwork, decorative cast iron, rendered decorative elements including balustrading and cast iron palisade fencing (Criterion D).

Elizabeth Terrace, 476-484 Napier Street and the terrace house at 472 Napier Street, Fitzroy North are well-considered and carefully detailed examples of Victorian Italianate terrace housing. The row of polychromatic terraces, with repetitive decorative elements across the facades, presents a picturesque composition of this architectural style (Criterion E).

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Heritage Place	Clifton Motors (Former) 205-211 Queens parade, Fitzroy North	PS ref no: HO504
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Source: GJM Heritage (2017), Queens Parade Built Form Heritage Analysis & Recommendations Report

What is significant?

The Former Clifton Motors Garage, Showroom and Residence, 205-211 Queens Parade, Fitzroy North. Elements that contribute to the significance of the place include (but are not limited to):

- The building's 1938-39 external form, materials and detailing
- The building's high level of integrity to its 1938-39 design.

How is it significant?

The Former Clifton Motors Garage, Showroom and Residence, Fitzroy North is of local historical and architectural significance to the City of Yarra.

Why is it significant?

The Former Clifton Motors Garage, Showroom and Residence, Fitzroy North is of significance as an early motor garage constructed in a prominent location in Queens Parade, Fitzroy North. Operating as a garage and vehicle-related facility from at least the 1920s until the late twentieth century, the place demonstrates the increasing use of motor vehicles in Melbourne and suburbs, and their need for repair and service, for much of the twentieth century. The Moderne façade in particular illustrates the motoring age of the 1930s (Criterion A).

The Former Clifton Motors Garage, Showroom and Residence, Fitzroy North is a fine and intact example of a distinctive Moderne style motor garage, designed by noted architect James H Wardrop. The building displays typical features of the Moderne architectural style popular in the 1930s, including a dominant central element comprising a series of vertical fins and contrasting decorative horizontal treatment (Criterion E).

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INDIVIDUALLY SIGNIFICANT PLACES WITHIN PRECINCTS

Some 'Individually Significant' places within heritage precincts have a Statements of Significance. Those places that have one are listed below.

Within HO317

12 Hodgkinson Street, Clifton Hill

Heritage Place	12 Hodgkinson Street, Clifton Hill	PS ref no:	Within HO317
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Source: Andrew Ward (May 1995), Collingwood Conservation Study Review

Significance

Of local significance as a very early house in Clifton Hill, erected whilst crown land sales were proceeding. The architectural detail and general lack of enrichment are typical of its period and contrast with the majority of Clifton Hill's houses.

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William B Fox House - 94 Hodgkinson Street, Clifton Hill (later 'house of the Gentle Bunyip')

Heritage Place	William B Fox House, later 'house of the Gentle Bunyip' 94 Hodgkinson Street, Clifton Hill	PS ref no: Within HO317
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Source: Andrew Ward (May 1995), Collingwood Conservation Study Review

Significance

Important at the local level as a very early house in Clifton Hill, erected whilst the crown land sales were proceeding. The architectural details and lack of enrichment is representative of the mid Victorian years.

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Baptist Church & Hall – 100 Hodgkinson Street, Clifton Hill

Heritage Place	Baptist Church & Hall 100 Hodgkinson Street, Clifton Hill	PS ref no: Within HO317
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Source: Andrew Ward (May 1995), Collingwood Conservation Study Review

Significance

Church: The Baptist Church, Clifton Hill, is of local importance as a substantially intact church designed along non-conformist lines with a distinctive bell tower. Its role as a prototype for the design of the Northcote Baptist Church is of interest.

Former Baptist Sunday School Hall: This building forms a visual unit with the adjoining Church and is an important supportive element.

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Residence – 112 Hodgkinson Street, Clifton Hill

Heritage Place	Residence 112 Hodgkinson Street, Clifton Hill	PS ref no: Within HO317
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Source: Andrew Ward (May 1995), Collingwood Conservation Study Review

Significance

No. 122 Hodgkinson Street is important as a substantial arcaded villa of which there are few in the municipality.

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Fire Station No. 11 (former) – 662 Smith Street, Clifton Hill

Heritage Place	Fire Station No. 11 (former) 662 Smith Street, Clifton Hill	PS ref no: Within HO317
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Source: GJM Heritage (2017), Queens Parade Built Form Heritage Analysis & Recommendations Report

What is significant?

The Former Fire Station, 662 Smith Street, Clifton Hill, built in 1884 as the Clifton Hill **Temperance Fire** Brigade.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing
- The building's high level of integrity to its original design.

Later alterations and additions are not significant.

How is it significant?

The Former Fire Station, 662 Smith Street, Clifton Hill is of local historical and architectural significance to the City of Yarra.

Why is it significant?

The Former Fire Station, Clifton Hill is of historic significance as an early and rare example of a suburban fire station which pre-dated the establishment of the Metropolitan Fire Brigade (created through the *Fire Brigades Act 1890*). The building demonstrates the period of voluntary fire brigades established prior to the formalisation of the metropolitan fire service (Criterion A & B).

The Former Fire Station, Clifton Hill is a fine and representative example of a suburban fire station. The large arch-headed driveway entrance with panelled doors, and adjacent office entry at street level, are features that clearly demonstrate the use of the building as a nineteenth century fire station (Criterion D).

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Within HO327

National Bank, former – 460 Brunswick Street, Fitzroy North

Heritage Place	National Bank, former 460 Brunswick Street, Fitzroy North	PS ref no: Within HO327
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Source: Jacobs Lewis Vines Architects (July 1978), *North Fitzroy Conservation Study*

'Building citation'

This bank, built in 1884, (Architects Smith & Johnson) is an important, conservative, classical, corner bank building. The upper storey with Ionic pilasters surmounts a lower storey with Tuscan pilasters. The whole is surmounted by a dentillated cornice with a recessed splayed panel on the corner. The exterior is largely intact - the corner door has been modernised, and a door to the south face has been filled in to make a window. In this corner position, it is an important streetscape element, and is worthy of addition to the Historic Buildings Register.

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House – 17 Delbridge Street, Fitzroy North

Heritage Place	House 17 Delbridge Street, Fitzroy North	PS ref no: Within HO327
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Source: Jacobs Lewis Vines Architects (July 1978), *North Fitzroy Conservation Study*

'Building citation'

This two storey house was constructed in 1890 for Mark Allen, a photographer. It has an arcaded front with the gable running out over the balcony level and the parapet at the front line. It is possibly the best example of this type in North Fitzroy, although the present paint colours are not appropriate. The most distinctive feature of the house is the frieze band of tiles surmounting the upper arcade.

The parapet, supported on a dentillated cornice, consists of an interlocking balustrade, square name plate framed by large scrolls and balls. The composition is pleasing and the arcading at both levels is finely detailed.

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YARRA PLANNING SCHEME

218 McKean Street, Fitzroy North

Heritage Place	218 McKean Street, Fitzroy North	PS ref no:	Within HO327
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Source: Jacobs Lewis Vines Architects (July 1978), *North Fitzroy Conservation Study*

Significance

See entry below for Hatherlie - 224 McKean Street, Fitzroy North (within HO327)

This document is an incorporated document in the Yarra Planning Scheme pursuant to section 6(2)(j) of the Planning and Environment Act 1987

Attachment 5 - Amendment documentation for adoption

YARRA PLANNING SCHEME

220 McKean Street, Fitzroy North

Heritage Place	220 McKean Street, Fitzroy North	PS ref no:	Within HO327
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Source: Jacobs Lewis Vines Architects (July 1978), North Fitzroy Conservation Study [addressed as 222 McKean Street in 1978 Study]

Significance

See entry below for Hatherlie - 224 McKean Street, Fitzroy North (within HO327)

This document is an incorporated document in the Yarra Planning Scheme pursuant to section 6(2)(j) of the Planning and Environment Act 1987

Attachment 5 - Amendment documentation for adoption

YARRA PLANNING SCHEME

Hatherlie – 224 McKean Street, Fitzroy North

Heritage Place	Hatherlie 224 McKean Street, Fitzroy North	PS ref no: Within HO327
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Source: Jacobs Lewis Vines Architects (July 1978), North Fitzroy Conservation Study [addressed as 222 McKean Street in 1978 Study]

'Building citation'

This building constructed in 1888 for Samuel Lazarus, a financier, is a two storey polychrome brick terrace house with a small polychrome attachment at the side. The detailing as a whole is not very remarkable. This terrace is best appreciated in conjunction with 218 and 220 McKean Street. These are also largely intact two storey polychrome terraces. The three terraces together combine to create an imposing streetscape element.

This document is an incorporated document in the Yarra Planning Scheme pursuant to section 6(2)(j) of the Planning and Environment Act 1987

Attachment 5 - Amendment documentation for adoption

YARRA PLANNING SCHEME

K.G. Luke Pty Ltd factory (former) – 26-52 Queens Parade, Fitzroy North

Heritage Place	K.G. Luke Pty Ltd factory (former) 26-52 Queens Parade, Fitzroy North	PS ref no: Within HO327
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Source: GJM Heritage (2017), Queens Parade Built Form Heritage Analysis & Recommendations Report

What is significant?

The K G Luke Pty Ltd Factory and Showrooms, 26-52 Queens Parade, Fitzroy North, built from 1933 - 1965.

Elements that contribute to the significance of the place include the form, materials and detailing of the Art Deco façade and the ability to understand the place as a former factory and showroom complex.

Alterations and additions to the factory and showrooms after 1965 do not contribute to the significance of the place.

How is it significant?

The K G Luke Pty Ltd Factory and Showrooms is of local historical and architectural significance to the City of Yarra.

Why is it significant?

The K G Luke Pty Ltd Factory and Showrooms is of historical significance as a large industrial complex in Fitzroy North, which was established close to the Collingwood Gas Company gasworks and the Inner Circle Railway branch line. It is a remnant example of industrial development that occurred in this area from the 1860s through to the post-war period (Criterion A).

The K G Luke Pty Ltd Factory and Showrooms is of aesthetic significance for its particularly unusual and distinctive Art Deco façade which utilises a complex arrangement of castellated and hexagonal decorative elements (Criterion E).

The K G Luke Pty Ltd Factory and Showrooms is of historical significance for its association with Victorian manufacturer and sporting administrator, Kenneth G Luke, who moved his fledgling business to this site in 1929 and subsequently developed a successful business enterprise. Knighted in 1962, Luke was a highly successful businessman, with a range of interests and involvements in various committees and clubs (Criterion H).

This document is an incorporated document in the Yarra Planning Scheme pursuant to section 6(2)(j) of the Planning and Environment Act 1987

Attachment 5 - Amendment documentation for adoption

YARRA PLANNING SCHEME

Selotta Shoes Pty Ltd factory (former) – 122 Queens Parade, Fitzroy North

Heritage Place	Selotta Shoes Pty Ltd factory (former) 122 Queens Parade, Fitzroy North	PS ref no: Within HO327
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Source: Graeme Butler & Associates (2007, 2013), City of Yarra Review of Heritage Overlay Areas

What is significant?

The Selotta Shoes Pty Ltd Factory at 122 Queens Parade, Fitzroy North was created in 1934 for Selotta Shoes Pty Ltd. The place has a good integrity to its creation date. It was designed by architect, H V Gillespie. Fabric from the creation date at the Selotta Shoes Pty Ltd Factory, former is locally significant within the City of Yarra, compared to other similar places from a similar era.

How is it significant?

The Selotta Shoes Pty Ltd Factory at 122 Queens Parade, Fitzroy North is historically and architecturally significant to the locality of Fitzroy North and the City of Yarra

Why is it significant?

The Selotta Shoes Pty Ltd Factory is significant as a distinctive two-storey brick and render Moderne factory design example, with Spanish revival ornament and steel-framed windows.

'An unusual 1930s large interwar Spanish styled industrial façade that retains a high degree of architectural integrity and recalls Harry Norris's St. Kilda Rd Motor Garage and Showroom in a similar boulevard location. The status of this part of Queens Parade as a showpiece for modern industry relied on the Edinburgh Gardens spur railway to the Queens Parade Fitzroy Station which ran as a goods line, from 1891 to c1980' (Wight 2001).

This document is an incorporated document in the Yarra Planning Scheme pursuant to section 6(2)(j) of the Planning and Environment Act 1987

Attachment 5 - Amendment documentation for adoption

YARRA PLANNING SCHEME

Christian Brothers Monastery, later units, G Maher House – 256-262 Queens Parade, Fitzroy North

Heritage Place	Christian Brothers Monastery, later units, G Maher House 256-262 Queens Parade, Fitzroy North	PS ref no: Within HO327
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Source: Graeme Butler & Associates (2007, 2013), City of Yarra Review of Heritage Overlay Areas

What is significant?

The Christian Brothers Monastery (later G Maher House) at 256-262 Queens Parade, Fitzroy North, was created in 1929 for the St Patrick's Cathedral Melbourne Roman Catholic Trust and has historical associations with the Christian Brothers Monastery. The place has a good integrity to its creation date.

Fabric from the creation date at the Christian Brothers Monastery is locally significant within the City of Yarra, compared to other similar places from a similar era.

How is it significant?

The Christian Brothers Monastery at 256-262 Queens Parade, Fitzroy North, is historically and architecturally significant to the locality of Fitzroy North and the City of Yarra.

Why is it significant?

The Christian Brothers Monastery, later Units, G Maher House is significant as a large two-storey tile, red brick and render hipped roof monastery with a parapeted entry porch, faceted window bays, cement detailing, an early fence and tall chimneys.

Historically and socially important locally as an uncommon building type and associated with local community uses.

This document is an incorporated document in the Yarra Planning Scheme pursuant to section 6(2)(j) of the Planning and Environment Act 1987

Attachment 5 - Amendment documentation for adoption

YARRA PLANNING SCHEME

Within HO330**Clifton Hill Hotel – 89 Queens Parade, Clifton Hill**

Heritage Place	Clifton Hill Hotel 89 Queens Parade, Clifton Hill	PS ref no: Within HO330
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Source: Andrew Ward (May 1995), Collingwood Conservation Study Review

Significance

The Clifton Hill Hotel is a prominent and substantially intact late Victorian hotel.

This document is an incorporated document in the Yarra Planning Scheme pursuant to section 6(2)(j) of the Planning and Environment Act 1987

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YARRA PLANNING SCHEME

Melbourne Savings Bank, later State Savings Bank – 97-99 Queens Parade, Clifton Hill

Heritage Place	Melbourne Savings Bank, later State Savings Bank 97-99 Queens Parade, Clifton Hill	PS ref no: Within HO330
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Source: Andrew Ward (May 1995), Collingwood Conservation Study Review

Significance

This former bank is an important public building in Collingwood for its prominence and free expression and rich detailing in the late Victorian Italianate mode.

This document is an incorporated document in the Yarra Planning Scheme pursuant to section 6(2)(j) of the Planning and Environment Act 1987

Attachment 5 - Amendment documentation for adoption

YARRA PLANNING SCHEME

Doctor's surgery and house (former) – 105 Queens Parade, Clifton Hill

Heritage Place	Doctor's surgery and house (former) 105 Queens Parade, Clifton Hill	PS ref no: Within HO330
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Source: GJM Heritage (2017), Queens Parade Built Form Heritage Analysis & Recommendations Report

What is significant?

The Former Doctor's Surgery and House, 105 Queens Parade, Clifton Hill, built c1915. Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing
- The building's high level of integrity to its original design.

Later alterations and additions to the rear are not significant.

What is significant?

The Former Doctor's Surgery and House, 105 Queens Parade, Clifton Hill is of local architectural and aesthetic significance to the City of Yarra.

What is significant?

The Former Doctor's Surgery and House, 105 Queens Parade, Clifton Hill is a fine and representative example of a Federation house with combined use as a doctor's surgery. It displays typical features of the Federation Arts and Crafts architectural style popular in the first decades of the twentieth century in Clifton Hill and across Melbourne more broadly, including roughcast walls and chimney, both hip and gable roofs, prominent exposed rafters and projecting window bay with fishscale shingle cladding (Criterion D).

The Former Doctor's Surgery and House, 105 Queens Parade, Clifton Hill is a well-considered and carefully detailed example of a Federation Arts and Crafts house. The design, with main hipped roof, prominent front bay and central chimney, presents a picturesque composition of this architectural style, particularly within the commercial context of Queens Parade (Criterion E).

This document is an incorporated document in the Yarra Planning Scheme pursuant to section 6(2)(j) of the Planning and Environment Act 1987

Attachment 5 - Amendment documentation for adoption

YARRA PLANNING SCHEME

Albert Hall (former), also Masonic Hall, later Samian Social Club – 127-129 Queens Parade, Clifton Hill

Heritage Place	Albert Hall (former), also Masonic Hall, later Samian Social Club 127-129 Queens Parade, Clifton Hill	PS ref no: Within HO330
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Source: Andrew Ward (May 1995), Collingwood Conservation Study Review

Significance

The former "Albert Hall" was an important social venue in the locality throughout the late nineteenth and early-mid twentieth century, its architectural form in the Queens Parade streetscape being expressive of this role.

This document is an incorporated document in the Yarra Planning Scheme pursuant to section 6(2)(j) of the Planning and Environment Act 1987

Attachment 5 - Amendment documentation for adoption

YARRA PLANNING SCHEME

Daintons Family Hotel, later Normanby Hotel – 139 Queens Parade, Clifton Hill

Heritage Place Daintons Family Hotel, later Normanby Hotel 139 Queens Parade, Clifton Hill	PS ref no: Within HO330
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Source: Andrew Ward (May 1995), Collingwood Conservation Study Review

Significance

A prominent and comparatively early hotel forming part of the Queens Parade Streetscape. Ornamentation is typical of the period.

This document is an incorporated document in the Yarra Planning Scheme pursuant to section 6(2)(j) of the Planning and Environment Act 1987

Attachment 5 - Amendment documentation for adoption

YARRA PLANNING SCHEME

Clifton Hill Post Office, former – 141 Queens Parade, Clifton Hill

Heritage Place	Clifton Hill Post Office, former 141 Queens Parade, Clifton Hill	PS ref no: Within HO330
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Source: Andrew Ward (May 1995), Collingwood Conservation Study Review

Significance

The former Clifton Hill post office is of local importance on account of the buildings initial use as well as for its prominence and late Victorian architecture.

This document is an incorporated document in the Yarra Planning Scheme pursuant to section 6(2)(j) of the Planning and Environment Act 1987

Attachment 5 - Amendment documentation for adoption

YARRA PLANNING SCHEME

National Bank of Australasia, former – 270 Queens Parade, Fitzroy North

Heritage Place	National Bank of Australasia, former 270 Queens Parade, Fitzroy North	PS ref no:	Within HO330
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Source: Jacobs Lewis Vines Architects (July 1978), *North Fitzroy Conservation Study*

'Building citation'

This bank, constructed in 1886, provides an excellent example of transitional boom classicism bank architecture.

It is a two storey corner bank with a recessed loggia to the upper floor. The lower floor has a bluestone rough dressed piece on the splayed corner. This is a significant corner building, and the ornate design and composition combine to make this building of considerable merit and streetscape importance.

This document is an incorporated document in the Yarra Planning Scheme pursuant to section 6(2)(j) of the Planning and Environment Act 1987

Attachment 5 - Amendment documentation for adoption

CITY OF YARRA
REVIEW OF HERITAGE OVERLAY AREAS 2007

Appendix 8

Revised [March 2020](#)



Attachment 5 - Amendment documentation for adoption

Appendix 8: City of Yarra Heritage Database extract: Heritage Overlays

The following is an extract from the City of Yarra Heritage Database listing the heritage status of properties within each Heritage Overlay. As requested by the City of Yarra, the table is arranged in heritage overlay number order and then in address order within that group. Victorian Heritage Register properties have a second listing within Heritage Overlay Areas as recognition of their contribution to each area.

Data fields in City of Yarra Heritage Database extract

Name

Typically as place type only i.e. *Shop and Residence*, if not a house/residence or with no known historical name

Address

Street name and number, suburb

City of Yarra property number

The City of Yarra property number as at 2005-2006

Significance

(From given range as below)

Significance	definition
Not assessed	Insufficient data to allow an assessment from the public domain
Contributory	Contributory to identified cultural values of heritage overlay area as stated in the Statement of Significance
Not Contributory	Not contributory to identified cultural values of heritage overlay area as stated in the Statement of Significance
Individually Significant	Aesthetically, historically, scientifically, and/or socially significant at the Local level and contributory or complementary to the Heritage Overlay Area
Victorian Heritage Register	On the Victorian Heritage Register ¹⁵⁷ as aesthetically, historically, scientifically, and/or socially significant at the State level and contributory or complementary to the Heritage Overlay Area

Date range

Estimated primary creation date of typically publicly visible fabric only.

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H0317	Peckville	Street	8	Clifton Hill		128690	Not contributory	1950-1960
H0317	Peckville	Street	10	Clifton Hill		128695	Contributory	1880-1890
H0317	Peckville	Street	11	Clifton Hill		128720	Contributory	1880-1890
H0317	Peckville	Street	12	Clifton Hill		128700	Contributory	1880-1890
H0317	Peckville	Street	13	Clifton Hill		128715	Not contributory	1970-1980
H0317	Peckville	Street	14	Clifton Hill		128705	Contributory	1880-1890
H0317	Peckville	Street	16	Clifton Hill		128710	Not contributory	1970-1980
H0317	Queens	Parade	1	Clifton Hill		131870	Not contributory	Unknown
H0317	Queens	Parade	7	Clifton Hill	Factory	131875	Not Contributory	1915-1925
H0317	Queens	Parade	9	Clifton Hill	Shop & residence, former	131880	Not Contributory	1880-1890
H0317	Queens	Parade	11	Clifton Hill	Shop & residence	131885	Not Contributory	1880-1890
H0317	Queens	Parade	33	Clifton Hill	Mitre 10	131890	Not contributory	1980-1990?
H0317	Queens	Parade	35	Clifton Hill		131895	Contributory	1880-1890
H0317	Queens	Parade	37	Clifton Hill	Factory/warehouse	131900	Contributory	1900-1915
H0317	Queens	Parade	41	Clifton Hill	House	131905	Not contributory	1850-1890
H0317	Queens	Parade	43	Clifton Hill		131910	Contributory	1880-1890
H0317	Queens	Parade	45	Clifton Hill		131915	Contributory	1880-1890
H0317	Queens	Parade	47	Clifton Hill		131920	Contributory	1880-1890
H0317	Queens	Parade	51	Clifton Hill		131940	Contributory	1885-1905
H0317	Queens	Parade	55-57	Clifton Hill	Grounds, St John The Baptist Catholic Church residence, part complex-	131945	Not contributory	1870-1890
H0317	Queens	Parade	57-59	Clifton Hill	St John The Baptist Catholic Church residence	131945	Individually Significant	1876-1907
H0317	Queens	Parade	61	Clifton Hill	St John The Baptist Catholic Church Presbytery	131950	Individually Significant	1914
H0317	Smith	Street	612-614	Clifton Hill	Factory	130695	Contributory	1900-1915?
H0317	Smith	Street	616-622	Clifton Hill	Factory, former	130690	Contributory	1900-1925
H0317	Smith	Street	628-632	Clifton Hill	Factory, former Spry Bros. Boot Factory Site	130685	Contributory	1910
H0317	Smith	Street	628-632A	Clifton Hill	Factory & Offices (Cantarella)	130685	Not contributory	1960-1970
H0317	Smith	Street	650	Clifton Hill	Vacant land	130680	Not contributory	Unknown
H0317	Smith	Street	652	Clifton Hill	Shop & residence	294000	Contributory	1888
H0317	Smith	Street	654	Clifton Hill	Shop & residence	295730	Contributory	1888
H0317	Smith	Street	654 (rear)	Clifton Hill		130670	Not contributory	1990-2000
H0317	Smith	Street	656	Clifton Hill	Shop & residence	130665	Contributory	1888
H0317	Smith	Street	658	Clifton Hill	Shop & residence	130660	Contributory	1888
H0317	Smith	Street	660	Clifton Hill	Shop & residence	130655	Contributory	1888
H0317	Smith	Street	662	Clifton Hill	Clifton Hill fire brigade station	130650	Contributory Individually Significant	1880-1890
H0317	Smith	Street	664	Clifton Hill		130645	Not contributory	1970-1980
H0317	Smith	Street	668-670	Clifton Hill	Factory/workshop/offices	138835	Not contributory	1970-1980
H0317	South	Terrace	1	Clifton Hill	Flats	129420	Not contributory	1970-1980
H0317	South	Terrace	1A	Clifton Hill	Flats	129810	Not contributory	1970-1980
H0317	South	Terrace	2	Clifton Hill		129425	Contributory	1850-1890
H0317	South	Terrace	3	Clifton Hill		129430	Contributory	1900-1915
H0317	South	Terrace	4	Clifton Hill		129435	Contributory	1880-1890
H0317	South	Terrace	5	Clifton Hill		129440	Contributory	1930-1940
H0317	South	Terrace	6	Clifton Hill		323560	Individually Significant	1892
H0317	South	Terrace	7	Clifton Hill		129450	Contributory	1880-1890
H0317	South	Terrace	8	Clifton Hill		129455	Contributory	1900-1915
H0317	South	Terrace	9	Clifton Hill	Flats	129460	Not contributory	1970-1980

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H0327	Brunswick	Street	468	Fitzroy North	House	239735	Contributory	1900-1915
H0327	Brunswick	Street	469	Fitzroy North	Holden's Buildings 1891, shop & residence	225815	Contributory	1891
H0327	Brunswick	Street	470	Fitzroy North		239740	Contributory	1880-1890
H0327	Brunswick	Street	471	Fitzroy North	Holden's Buildings 1891, shop & residence	225820	Contributory	1891
H0327	Brunswick	Street	472	Fitzroy North		239745	Contributory	1850-1890
H0327	Brunswick	Street	473	Fitzroy North	Holden's Buildings 1891, shop & residence	225825	Contributory	1891
H0327	Brunswick	Street	474	Fitzroy North		239750	Contributory	1850-1890
H0327	Brunswick	Street	475	Fitzroy North	Holden's Buildings 1891, shop & residence	225830	Contributory	1891
H0327	Brunswick	Street	476	Fitzroy North		239755	Contributory	1850-1890
H0327	Brunswick	Street	477	Fitzroy North	Holden's Buildings 1891, shop & residence	225835	Contributory	1891
H0327	Brunswick	Street	478	Fitzroy North		239760	Contributory	1850-1890
H0327	Brunswick	Street	479	Fitzroy North	Shop & residence	225840	Contributory	1850-1890
H0327	Brunswick	Street	480	Fitzroy North		239765	Contributory	1850-1890
H0327	Brunswick	Street	481	Fitzroy North		225845	Contributory	1880-1890
H0327	Brunswick	Street	482	Fitzroy North		239770	Contributory	1850-1890
H0327	Brunswick	Street	483	Fitzroy North		225850	Contributory	1880-1890
H0327	Brunswick	Street	484	Fitzroy North		239775	Contributory	1880-1890
H0327	Brunswick	Street	485	Fitzroy North	Clara	225855	Contributory	1880-1890
H0327	Brunswick	Street	487	Fitzroy North		225860	Contributory	1850-1890
H0327	Brunswick	Street	488	Fitzroy North		239785	Contributory	1880-1890
H0327	Brunswick	Street	489	Fitzroy North	Shop & residence	225865	Contributory	1900-1915
H0327	Brunswick	Street	490	Fitzroy North		239790	Contributory	1880-1890
H0327	Brunswick	Street	491	Fitzroy North	Shop & residence	225870	Contributory	1900-1915
H0327	Brunswick	Street	492	Fitzroy North		239795	Contributory	1880-1890
H0327	Brunswick	Street	493	Fitzroy North	Shop & residence	225875	Contributory	1900-1915
H0327	Brunswick	Street	494	Fitzroy North		239800	Contributory	1900-1915
H0327	Brunswick	Street	495	Fitzroy North	Shop & residence	225880	Contributory	1900-1915
H0327	Brunswick	Street	496-500	Fitzroy North	Showroom-offices	239805	Not contributory	1970-1980
H0327	Brunswick	Street	497	Fitzroy North		225885	Individually Significant	1880-1890
H0327	Brunswick	Street	498	Fitzroy North	Factory	239805	Not contributory	1970-1980
H0327	Brunswick	Street	499	Fitzroy North		225890	Contributory	1900-1915
H0327	Brunswick	Street	501	Fitzroy North	Shop & residence	225895	Contributory	1900-1915
H0327	Brunswick	Street	503	Fitzroy North	Shop & residence	225900	Contributory	1880-1890
H0327	Brunswick	Street	505	Fitzroy North	Shop & residence	225905	Contributory	1880-1890
H0327	Brunswick	Street	507	Fitzroy North	Shop & residence	225910	Contributory	1880-1890
H0327	Brunswick	Street	511	Fitzroy North	Shop & residence, wall sign	225915	Contributory	1880-1890
H0327	Brunswick	Street	513	Fitzroy North	House, fence, fountains	225920	Individually Significant	1880-1890
H0327	Brunswick	Street	517	Fitzroy North	Shop & residence	225925	Contributory	1850-1890
H0327	Brunswick	Street	519	Fitzroy North	Shop & residence	225930	Contributory	1850-1890
H0327	Brunswick	Street	520	Fitzroy North		239830	Contributory	1900-1915
H0327	Brunswick	Street	521	Fitzroy North	Shop & residence	225935	Contributory	1850-1890
H0327	Brunswick	Street	522	Fitzroy North		239835	Contributory	1880-1890
H0327	Brunswick	Street	523	Fitzroy North		225940	Contributory	1850-1890
H0327	Brunswick	Street	524	Fitzroy North		239840	Contributory	1850-1890
H0327	Brunswick	Street	525	Fitzroy North		225945	Contributory	1850-1890
H0327	Brunswick	Street	526	Fitzroy North		239845	Contributory	1850-1890

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H0327	Ivan	Street	19	Fitzroy North	243060	Not contributory	Unknown	
H0327	Ivan	Street	20	Fitzroy North	243160	Contributory	1880-1890	
H0327	Ivan	Street	21	Fitzroy North	243065	Contributory	1880-1890	
H0327	Ivan	Street	22	Fitzroy North	243165	Not contributory	Unknown	
H0327	Ivan	Street	23	Fitzroy North	243070	Contributory	1880-1890	
H0327	Ivan	Street	24	Fitzroy North	243170	Not contributory	Unknown	
H0327	Ivan	Street	25	Fitzroy North	243075	Contributory	1880-1890	
H0327	Ivan	Street	26	Fitzroy North	243175	Contributory	1880-1890	
H0327	Ivan	Street	27	Fitzroy North	243080	Contributory	1880-1890	
H0327	Ivan	Street	28	Fitzroy North	243175	Contributory	1880-1890	
H0327	Ivan	Street	29	Fitzroy North	243085	Contributory	1880-1890	
H0327	Ivan	Street	30	Fitzroy North	243185	Not contributory	1880-1890	
H0327	Ivan	Street	31	Fitzroy North	243090	Not contributory	1960-1970	
H0327	Ivan	Street	32	Fitzroy North	243190	Contributory	1880-1890	
H0327	Ivan	Street	34	Fitzroy North	243195	Contributory	1880-1890	
H0327	Ivan	Street	35	Fitzroy North	243095	Contributory	1850-1890	
H0327	Ivan	Street	36	Fitzroy North	243200	Contributory	1880-1890	
H0327	Ivan	Street	37	Fitzroy North	243100	Contributory	1900-1915	
H0327	Ivan	Street	38	Fitzroy North	243205	Contributory	1900-1915?	
H0327	Ivan	Street	39	Fitzroy North	243105	Contributory	1900-1915	
H0327	Ivan	Street	40	Fitzroy North	243210	Contributory	1880-1890	
H0327	Ivan	Street	41	Fitzroy North	243110	Contributory	1880-1890	
H0327	Ivan	Street	42	Fitzroy North	243215	Contributory	1850-1890	
H0327	Ivan	Street	44	Fitzroy North	243220	Contributory	1870-1890	
H0327	Jamieson	Street	1	Fitzroy North	243230	Contributory	1870-1890	
H0327	Jamieson	Street	2	Fitzroy North	243235	Contributory	1870-1890	
H0327	Jamieson	Street	3	Fitzroy North	243240	Contributory	1870-1890	
H0327	Jamieson	Street	4	Fitzroy North	243245	Contributory	1870-1890	
H0327	Jamieson	Street	5	Fitzroy North	243250	Contributory	1870-1890	
H0327	Jamieson	Street	6	Fitzroy North	243255	Contributory	1870-1890	
H0327	Jamieson	Street	7	Fitzroy North	243260	Contributory	1870-1890	
H0327	Jamieson	Street	8	Fitzroy North	243265	Contributory	1900-1915	
H0327	Jamieson	Street	9	Fitzroy North	243270	Contributory	1900-1915	
H0327	Jamieson	Street	32	Fitzroy North	384470	Not contributory	early 2000s	
H0327	Jamieson	Street	33	Fitzroy North	384480	Not contributory	early 2000s	
H0327	Jamieson	Street	34	Fitzroy North	384490	Not contributory	early 2000s	
H0327	Jamieson	Street	35	Fitzroy North	Townhouses	301990	Not contributory	1990-2000
H0327	King	Street	1	Fitzroy North	229715	Contributory	1925-1930	
H0327	King	Street	3	Fitzroy North	229725	Contributory	1925-1930	
H0327	King	Street	5	Fitzroy North	229730	Contributory	1925-1930	
H0327	King	Street	7	Fitzroy North	229735	Not contributory	1925-1930	
H0327	King	Street	8	Fitzroy North	229755	Not contributory	1950-1960	
H0327	King	Street	9	Fitzroy North	229740	Contributory	1925-1930	
H0327	King	Street	11	Fitzroy North	229745	Contributory	1925-1930	
H0327	King	Street	12	Fitzroy North	229760	Contributory	1880-1890	
H0327	King	Street	13	Fitzroy North	229750	Contributory	1925-1930	

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H0327	Percy	Street	2	Fitzroy North		232680	Contributory	1850-1890
H0327	Percy	Street	4	Fitzroy North		232685	Not contributory	1980-1990?
H0327	Percy	Street	6	Fitzroy North		232690	Contributory	1850-1890
H0327	Percy	Street	8	Fitzroy North		232695	Contributory	1890-1900
H0327	Percy	Street	10	Fitzroy North		232700	Contributory	1900-1915
H0327	Percy	Street	12	Fitzroy North		232705	Contributory	1900-1915
H0327	Percy	Street	14	Fitzroy North		232710	Contributory	1900-1915
H0327	Percy	Street	16	Fitzroy North		232715	Contributory	1850-1890
H0327	Percy	Street	18	Fitzroy North		232720	Not contributory	1970-1980
H0327	Percy	Street	20	Fitzroy North		232725	Contributory	1850-1890
H0327	Percy	Street	22	Fitzroy North		232730	Contributory	1850-1890
H0327	Percy	Street	24	Fitzroy North		232735	Contributory	1850-1890
H0327	Percy	Street	26	Fitzroy North		232740	Contributory	1850-1890
H0327	Percy	Street	28	Fitzroy North		232745	Contributory	1850-1890
H0327	Percy	Street	30	Fitzroy North		232750	Contributory	1850-1890
H0327	Percy	Street	32	Fitzroy North		232755	Contributory	1850-1890
H0327	Percy	Street	34	Fitzroy North		290755	Not contributory	1990-2000
H0327	Percy	Street	36	Fitzroy North		290760	Not contributory	1990-2000
H0327	Percy	Street	38	Fitzroy North		232765	Not contributory	1970-1980
H0327	Percy	Street	40	Fitzroy North		232770	Not contributory	1970-1980
H0327	Pilkington	Street	2	Fitzroy North		232775	Not contributory	1950-1960
H0327	Pilkington	Street	6	Fitzroy North	Beryl Court flats	232780	Individually Significant	1940
H0327	Pilkington	Street	8	Fitzroy North	Bali Bali Flats, part	232785	Individually Significant	1940
H0327	Pilkington	Street	10	Fitzroy North	Bali Bali Flats, part	232785	Individually Significant	1940
H0327	Pilkington	Street	20	Fitzroy North	Barkly Flats or Berkley Flats	232825	Individually Significant	1935-1955
H0327	Porter	Street	115	Fitzroy North		232835	Not contributory	1925-1930
H0327	Porter	Street	117	Fitzroy North		232840	Not contributory	1925-1930?
H0327	Queen	Street	1	Fitzroy North		232845	Not contributory	1950-1960
H0327	Queen	Street	9	Fitzroy North		232850	Contributory	1870-1890
H0327	Queen	Street	11	Fitzroy North		232855	Contributory	1870-1890
H0327	Queen	Street	13	Fitzroy North		232860	Not contributory	1850-1890?
H0327	Queen	Street	15	Fitzroy North		232865	Contributory	1850-1890
H0327	Queen	Street	17	Fitzroy North		232870	Contributory	1850-1890
H0327	Queen	Street	19	Fitzroy North		232875	Not contributory	1940-1955
H0327	Queens	Parade	8	Fitzroy North		247620	Contributory	1870-1890
H0327	Queens	Parade	10	Fitzroy North		247625	Contributory	1870-1890
H0327	Queens	Parade	12	Fitzroy North		247630	Contributory	1870-1890
H0327	Queens	Parade	14	Fitzroy North		247635	Contributory	1870-1890
H0327	Queens	Parade	16	Fitzroy North		247640	Contributory	1870-1890
H0327	Queens	Parade	18	Fitzroy North	Shop & residence, former	247645	Contributory	1880-1900
H0327	Queens	Parade	20	Fitzroy North	Shop & residence, former	247650	Contributory	1880-1900
H0327	Queens	Parade	22	Fitzroy North	Shop & residence?	247655	Contributory	1870-1890
H0327	Queens	Parade	24	Fitzroy North	Shop & residence?	247660	Contributory	1870-1890
H0327	Queens	Parade	26-52	Fitzroy North	K.G. Luke Pty Ltd. electro plate manufacturers factory, former (part)	247665	Individually Significant	1938
H0327	Queens	Parade	rear 26-52	Fitzroy North	vacant Lot 1 TP806921	356160	not contributory	unknown
H0327	Queens	Parade	28-58	Fitzroy North	K.G. Luke Pty Ltd. electro plate manufacturers factory, former (part)	247670	Individually Significant	1937

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H0327	Queens	Parade	80-82	Fitzroy North	Building site, former railways coal shed, later units	323000	Not contributory	2000-2010
H0327	Queens	Parade	86	Fitzroy North	Town houses	302190	Not contributory	2000-2010
H0327	Queens	Parade	88	Fitzroy North	Multi-unit residence	2012210	Not contributory	2000-
H0327	Queens	Parade	104	Fitzroy North		247690	Not contributory	1900-1915
H0327	Queens	Parade	106	Fitzroy North		247695	Contributory	1900-1915
H0327	Queens	Parade	108	Fitzroy North		247700	Contributory	1900-1915
H0327	Queens	Parade	110	Fitzroy North		247705	Contributory	1870-1890
H0327	Queens	Parade	112	Fitzroy North		247710	Contributory	1870-1890
H0327	Queens	Parade	114	Fitzroy North		247715	Contributory	1870-1890
H0327	Queens	Parade	116	Fitzroy North		247720	Contributory	1870-1890
H0327	Queens	Parade	118	Fitzroy North		247725	Individually Significant	1860-1890
H0327	Queens	Parade	120	Fitzroy North	Units at rear	280635	Not contributory	1990-2000
H0327	Queens	Parade	122	Fitzroy North	Selotta Shoes Pty Ltd Factory, former	280600	Individually Significant	1934
H0327	Queens	Parade	140	Fitzroy North	Townhouses	292120	Not contributory	2000-2010
H0327	Queens	Parade	142-146	Fitzroy North	Factory/warehouse	297155	Contributory	1915-1925
H0327	Queens	Parade	148	Fitzroy North		247740	Contributory	1900-1915
H0327	Queens	Parade	150	Fitzroy North		247745	Contributory	1900-1915
H0327	Queens	Parade	152	Fitzroy North		247750	Contributory	1900-1915
H0327	Queens	Parade	156	Fitzroy North		247755	Contributory	1900-1915
H0327	Queens	Parade	158	Fitzroy North		247760	Not contributory	1970-1985
H0327	Queens	Parade	162-170	Fitzroy North	Recreation Hotel, later Old Homestead Inn	247765	Contributory	1870-1935
H0327	Queens	Parade	186-192	Fitzroy North	Factory/warehouse	247770	Not contributory	1980-1990
H0327	Queens	Parade	196	Fitzroy North	Clayton House	247775	Contributory	1870-1890
H0327	Queens	Parade	198	Fitzroy North	Shop & residence, former?	247780	Contributory	1870-1890
H0327	Queens	Parade	200	Fitzroy North	Shop & residence, former?	247785	Contributory	1870-1890
H0327	Queens	Parade	202	Fitzroy North	Shop & residence, former?	247790	Contributory	1870-1890
H0327	Queens	Parade	204	Fitzroy North	Shop & residence, former?	247795	Contributory	1870-1890
H0327	Queens	Parade	208	Fitzroy North		247800	Contributory	1890-1915
H0327	Queens	Parade	210	Fitzroy North		247805	Contributory	1900-1915
H0327	Queens	Parade	216	Fitzroy North		247810	Individually Significant	1900-1915
H0327	Queens	Parade	218	Fitzroy North	House	247815	Contributory	1900-1915
H0327	Queens	Parade	220	Fitzroy North		247820	Contributory	1900-1915
H0327	Queens	Parade	222	Fitzroy North	Flats, later units	247825	Not contributory	1978
H0327	Queens	Parade	230	Fitzroy North	Clifton Court flats	247875	Individually Significant	1930-1940
H0327	Queens	Parade	236	Fitzroy North	House, later flats	247920	Not contributory	1850-1890
H0327	Queens	Parade	240/1	Fitzroy North		291140	Individually Significant	1900-1915
H0327	Queens	Parade	240/2	Fitzroy North	Unit at rear	291145	Not contributory	1990-2000
H0327	Queens	Parade	240/3	Fitzroy North	Unit	291150	Not contributory	1990-2000
H0327	Queens	Parade	240/4	Fitzroy North	Unit	291155	Not contributory	1990-2000
H0327	Queens	Parade	240/5	Fitzroy North	Unit	291160	Not contributory	1990-2000
H0327	Queens	Parade	240/6	Fitzroy North	Unit rear	291165	Not contributory	1990-2000
H0327	Queens	Parade	240/7	Fitzroy North	Unit	291170	Not contributory	1990-2000
H0327	Queens	Parade	240/8	Fitzroy North	Unit	291175	Not contributory	1990-2000
H0327	Queens	Parade	248	Fitzroy North		247955	Contributory	1900-1915
H0327	Queens	Parade	256-262	Fitzroy North	Christian Brothers Monastery, later Units, G Maher House	247960	Individually Significant	1929
H0327	Queens	Parade	380-378	Fitzroy North	Shops & residences	248230	Contributory	1870-1890

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HO329	Wilson	Street	102	Princes Hill		223005	Contributory	1900-1915
HO329	Wilson	Street	103	Princes Hill		222730	Contributory	1870-1890
HO329	Wilson	Street	104	Princes Hill		223000	Contributory	1900-1915
HO329	Wilson	Street	105	Princes Hill	Rockhester	222735	Contributory	1870-1890
HO329	Wilson	Street	106	Princes Hill	Flats	222970	Not contributory	1970-1980
HO329	Wilson	Street	107	Princes Hill		292650	Not contributory	1990-2000?
HO329	Wilson	Street	109	Princes Hill	Princes Lodge, Flats	222740	Not contributory	1970-1980
HO329	Wilson	Street	110	Princes Hill		222965	Contributory	1900-1915
HO329	Wilson	Street	112	Princes Hill		222960	Contributory	1870-1890
HO329	Wilson	Street	117	Princes Hill		222815	Contributory	1880-1890
HO329	Wilson	Street	121	Princes Hill		222820	Contributory	1900-1915
HO329	Wilson	Street	125	Princes Hill		222825	Individually Significant	1870-1890
HO329	Wilson	Street	151	Princes Hill	Housing Commission Flats	222830	Not contributory	1950-1960
HO329	Wilson	Street	161	Princes Hill	Housing Commission Flats	222890	Not contributory	1950-1960
HO329	Wilson	Street	167	Princes Hill	Housing Commission Flats	222895	Not contributory	1960-1970
HO329	Wilson	Street	175	Princes Hill	Housing Commission Flats	222955	Not contributory	1960-1970
HO329	Wilson	Street	200	Princes Hill	Townhouse	288225	Not contributory	1990-2000
HO329	Wilson	Street	202	Princes Hill	Townhouse	288230	Not contributory	1990-2000
HO329	Wilson	Street	204	Princes Hill	Townhouse	288235	Not contributory	1990-2000
HO329	Wilson	Street	206	Princes Hill	Townhouse	288240	Not contributory	1990-2000
HO330 - Queens Parade Precinct, North Fitzroy/Clifton Hill								
HO330	Brennand	Street	12	Fitzroy North	Sherwood Flats	238970	Not contributory	1960-1970
HO330	Brennand	Street	14	Fitzroy North	Flats, now units	239030	Not contributory	1960-1970
HO330	Dummett	Crescent	10-12	Clifton Hill	Factory/warehouse	132215	Not contributory	1950-1960
HO330	Queens	Parade	65	Clifton Hill	St John The Baptist Catholic Church	131950	Individually Significant	1876-1907
HO330	Queens	Parade	65	Clifton Hill	St John's Catholic Primary School, part St John The Baptist Catholic Church complex	131950	Individually Significant	1909
HO330	Queens	Parade	83-87	Clifton Hill	Clifton Hall & Clifton Picture Theatre, later Cinema Italia	131965	Individually Significant	1918
HO330	Queens	Parade	89	Clifton Hill	Clifton Hill Hotel	131970	Individually Significant	1884
HO330	Queens	Parade	97-99	Clifton Hill	Melbourne Savings Bank, later State Savings Bank	131975	Individually Significant	1889
HO330	Queens	Parade	101	Clifton Hill	Shop	131980	Contributory	1915-1925
HO330	Queens	Parade	105	Clifton Hill	House, also doctor's surgery	131985	Individually Significant	1900-1915
HO330	Queens	Parade	107	Clifton Hill		131990	Contributory	1900-1915
HO330	Queens	Parade	109	Clifton Hill		131995	Contributory	1880-1890
HO330	Queens	Parade	111	Clifton Hill	Shop & residence	247615	Contributory	1870-1890
HO330	Queens	Parade	113-115	Clifton Hill	Factory/warehouse	132005	Contributory	1850-1890
HO330	Queens	Parade	117	Clifton Hill	Shop & residence	132010	Contributory	1850-1890
HO330	Queens	Parade	121	Clifton Hill	Shop & residence	132015	Contributory	1850-1890
HO330	Queens	Parade	123	Clifton Hill	Shop & residence	132020	Contributory	1850-1890
HO330	Queens	Parade	127-129	Clifton Hill	Albert Hall, also Masonic Hall, later Samian Social Club	132025	Individually Significant	1885, 1927
HO330	Queens	Parade	133	Clifton Hill		132030	Not contributory	1980-1990
HO330	Queens	Parade	137	Clifton Hill	Apartments	381210	Not contributory	2019
HO330	Queens	Parade	139	Clifton Hill	Daintons Family Hotel, later Normanby Hotel	132035	Individually Significant	1875
HO330	Queens	Parade	141	Clifton Hill	Clifton Hill Post Office, former	132040	Individually Significant	1870-1890
HO330	Queens	Parade	149	Clifton Hill	Camp's Buildings shop & residence	132045	Individually Significant	1880-1890
HO330	Queens	Parade	151	Clifton Hill	Camp's Buildings shop & residence	132050	Individually Significant	1880-1890

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HQ330	Queens	Parade	153	Clifton Hill	Campi's Buildings shop & residence	132055	Individually Significant	1880-1890
HQ330	Queens	Parade	157	Clifton Hill	Campi's Buildings shop & residence	132060	Individually Significant	1880-1890
HQ330	Queens	Parade	159	Clifton Hill	Campi's Buildings shop & residence	132065	Individually Significant	1880-1890
HQ330	Queens	Parade	163	Clifton Hill	Campi's Buildings shop & residence	132070	Individually Significant	1880-1890
HQ330	Queens	Parade	167	Clifton Hill	Campi's Buildings shop & residence	132075	Individually Significant	1880-1890
HQ330	Queens	Parade	169	Clifton Hill		310540	Not contributory	2000-2010
HQ330	Queens	Parade	171	Clifton Hill		310560	Not contributory	2000-2010
HQ330	Queens	Parade	173-175	Clifton Hill	Office/Shop	138305	Not contributory	2000-2010
HQ330	Queens	Parade	177	Clifton Hill		132100	Contributory	1890-1900
HQ330	Queens	Parade	181	Clifton Hill	Clifton Hill Post Office (2nd?)	132105	Contributory	1900-1915
HQ330	Queens	Parade	187-185	Clifton Hill	Raven, WG Undertaker, later Raven's Funerals	132110	Individually Significant	1915-1920
HQ330	Queens	Parade	191	Clifton Hill		132120	Contributory	1850-1890
HQ330	Queens	Parade	193	Clifton Hill		132130	Contributory	1850-1890
HQ330	Queens	Parade	197	Clifton Hill	Garage	132135	Not contributory	1950-1960
HQ330	Queens	Parade	201-203	Clifton Hill		132150	Not contributory	1925-35
HQ330	Queens	Parade	205-211	Clifton Hill	Clifton Motors Pty Ltd, Motor Engineers, Show Room and Garage, later Bayford Motors	132155	Individually Significant	1958 facade, 1921
HQ330	Queens	Parade	213-215	Clifton Hill	Factory/warehouse	132160	Not contributory	Unknown
HQ330	Queens	Parade	217	Clifton Hill	Factory/warehouse	132165	Not contributory	1950-1960
HQ330	Queens	Parade	264	Fitzroy North	Surgey & residence	247965	Individually Significant	1900-1915
HQ330	Queens	Parade	266	Fitzroy North	Medical Centre	247975	Not contributory	1925-1935
HQ330	Queens	Parade	270	Fitzroy North	National Bank of Australasia, former	247980	Individually Significant	1886
HQ330	Queens	Parade	274	Fitzroy North	Shop & residence	247985	Individually Significant	1915-1925
HQ330	Queens	Parade	276	Fitzroy North	Shop & residence	247995	Individually Significant	1915-1925
HQ330	Queens	Parade	278	Fitzroy North	Shop & residence	248000	Contributory	1870-1890
HQ330	Queens	Parade	280	Fitzroy North	Shop & residence	248005	Contributory	1870-1890
HQ330	Queens	Parade	282	Fitzroy North	Shop & residence	248010	Contributory	1883
HQ330	Queens	Parade	284	Fitzroy North	Shop & residence	248015	Contributory	1880-1890
HQ330	Queens	Parade	286	Fitzroy North	Shop & residence	248020	Contributory	1900-1915?
HQ330	Queens	Parade	288	Fitzroy North	Shop & residence	248025	Contributory	1900-1915
HQ330	Queens	Parade	290	Fitzroy North	Shop & residence	248030	Contributory	1880-1900
HQ330	Queens	Parade	294-292	Fitzroy North	Shop & residence	248035	Contributory	1870-1890
HQ330	Queens	Parade	296	Fitzroy North	Shop & residence	248040	Contributory	1870-1890
HQ330	Queens	Parade	298	Fitzroy North	Shop & residence	248045	Contributory	1870-1890
HQ330	Queens	Parade	300	Fitzroy North	Shop, offices	248050	Not contributory	1980-1990
HQ330	Queens	Parade	302	Fitzroy North	Shop, offices	248055	Not contributory	1970-1980
HQ330	Queens	Parade	302A	Fitzroy North	Office	248060	Not contributory	1970-1980
HQ330	Queens	Parade	304	Fitzroy North	Shop	248070	Not contributory	1970-1980
HQ330	Queens	Parade	rear 304	Fitzroy North	outbuilding	248065	Not contributory	Unknown
HQ330	Queens	Parade	306	Fitzroy North	Shop	248075	Not contributory	1970-1980
HQ330	Queens	Parade	308	Fitzroy North	Shop & residence	248080	Contributory	1870-1890
HQ330	Queens	Parade	310	Fitzroy North	Shop & residence	248085	Contributory	1870-1890
HQ330	Queens	Parade	312	Fitzroy North	Shop & residence	248090	Contributory	1870-1890
HQ330	Queens	Parade	rear 312	Fitzroy North	outbuilding	248100	Not contributory	Unknown
HQ330	Queens	Parade	314	Fitzroy North	Ryans Buildings, Shop & residence	248095	Individually Significant	1884
HQ330	Queens	Parade	316	Fitzroy North	Shop & residence	248100	Contributory	1870-1890
HQ330	Queens	Parade	rear 316	Fitzroy North	outbuilding	248100	Not contributory	Unknown

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HQ330	Queens	Parade	318	Fitzroy North	Shop & residence	248115	Contributory	1870-1890
HQ330	Queens	Parade	320	Fitzroy North	Shop & residence	248120	Contributory	1870-1890
HQ330	Queens	Parade	322	Fitzroy North	Shop & residence	248125	Contributory	1870-1890
HQ330	Queens	Parade	324	Fitzroy North	Shop	248130	Not contributory	Unknown
HQ330	Queens	Parade	326-328	Fitzroy North	Commonwealth Bank	248135	Not contributory	1970-1980
HQ330	Queens	Parade	330	Fitzroy North	Shop & residence	248140	Contributory	1870-1890
HQ330	Queens	Parade	336	Fitzroy North	Shop & residence	248145	Individually Significant	1870-1890
HQ330	Queens	Parade	338	Fitzroy North	Shop & residence	248150	Individually Significant	1870-1890
HQ330	Queens	Parade	340	Fitzroy North	Shop & residence	248155	Contributory	1870-1890
HQ330	Queens	Parade	342	Fitzroy North	Shop & residence	248160	Contributory	1880-1900
HQ330	Queens	Parade	344	Fitzroy North	Shop & residence	248165	Contributory	1870-1890
HQ330	Queens	Parade	346	Fitzroy North	Shop & residence	248170	Contributory	1870-1890
HQ330	Queens	Parade	348	Fitzroy North	Shop & residence	248175	Contributory	1870-1890
HQ330	Queens	Parade	350	Fitzroy North	Shop & residence	248180	Contributory	1870-1890
HQ330	Queens	Parade	352	Fitzroy North	Shop & residence	248185	Contributory	1870-1890
HQ330	Queens	Parade	354	Fitzroy North	Shop & residence	248190	Contributory	1870-1890
HQ330	Queens	Parade	356	Fitzroy North	Shop & residence	248195	Contributory	1870-1890
HQ330	Queens	Parade	360	Fitzroy North	Shop	248200	Not contributory	1950-1960
HQ330	Queens	Parade	362	Fitzroy North	Shop & residence	248205	Contributory	1870-1890
HQ330	Queens	Parade	364-366	Fitzroy North	Shop	248210	Not contributory	1950-1960
HQ330	Queens	Parade	370-374	Fitzroy North	London Bank of Australasia, later the ANZ Bank, later shop & residence	248215	Victorian Heritage Register	1889
HQ330	Queens	Parade	376	Fitzroy North	Kingdom Cycle Works & residence	248220	Contributory	1904
HQ330	Queens	Parade	380	Fitzroy North	Shop & residence	248230	Ungraded Not contributory	1870-1890
HQ330	Queens	Parade	rear 380	Fitzroy North		248230	Not contributory	Unknown
HQ330	Queens	Parade	382	Fitzroy North	Shop & residence	248235	Contributory	1870-1890
HQ330	Queens	Parade	386	Fitzroy North	Shop & residence	248255	Contributory	1900-1915
HQ330	Queens	Parade	388	Fitzroy North	Shop & residence	248250	Contributory	1900-1915
HQ330	Queens	Parade	390	Fitzroy North	Shop & residence	248225	Contributory	1900-1915
HQ330	Queens	Parade	390A	Fitzroy North	2 storey building in NE corner	248225	Contributory	Unknown
HQ330	Queens	Parade	390A	Fitzroy North	All buildings except 2 storey building in NE corner	248225	Not contributory	Unknown
HQ330	Queens	Parade	392	Fitzroy North	Shop & residence	248260	Contributory	1870-1890
HQ330	Queens	Parade	394	Fitzroy North	Shop & residence	248265	Contributory	1900-1915
HQ330	Queens	Parade	396	Fitzroy North	Shop & residence	248270	Contributory	1900-1915
HQ330	Queens	Parade	398	Fitzroy North	Thomas J Dowd & Co Tailors	248275	Contributory	1900-1915
HQ330	Queens	Parade	402	Fitzroy North	Shop & residence	248280	Contributory Not contributory	1925-1935
HQ330	Queens	Parade	404	Fitzroy North	Brooks Buildings	248285	Contributory	1870-1890
HQ330	Queens	Parade	406	Fitzroy North	Brooks Buildings	248290	Contributory	1870-1890
HQ330	Queens	Parade	408	Fitzroy North	Shop	248295	Not contributory	Unknown
HQ330	Queens	Parade	410	Fitzroy North	Shop & residence	248300	Contributory	1870-1890
HQ330	Queens	Parade	416-418	Fitzroy North		248305	Contributory	1870-1890
HQ330	Queens	Parade	420	Fitzroy North	House	248310	Individually Significant	1905-1920
HQ330	Queens	Parade	424	Fitzroy North		248320	Individually Significant	1915-1925
HQ330	Queens	Parade	426	Fitzroy North		248325	Contributory	1900-1915
HQ330	Queens	Parade	428	Fitzroy North		248330	Individually Significant	1900-1915
HQ330	Queens	Parade	434	Fitzroy North	Shop & residence	248335	Individually Significant	1857-
HQ330	Queens	Parade	436	Fitzroy North	Shop & residence	248340	Individually Significant	1857-

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HO330	Queens	Parade	438	Fitzroy North		248345	Individually Significant	1857-
HO330	Queens	Parade	440	Fitzroy North	Shop & residence	248350	Individually Significant	1870-1890
HO330	Queens	Parade	442	Fitzroy North	Shop & residence	248355	Individually Significant	1870-1890
HO330	Queens	Parade	446	Fitzroy North		248360	Contributory	1915-1925
HO330	Queens	Parade	450	Fitzroy North		248365	Contributory	1870-1890
HO330	Queens	Parade	452	Fitzroy North		248370	Contributory	1870-1890
HO330	Queens	Parade	454-456	Fitzroy North		248375	Individually Significant	1900-1915
HO330	Queens	Parade	460	Fitzroy North		248380	Individually Significant	1900-1915
HO330	Queens	Parade	462	Fitzroy North		248385	Contributory	1900-1915
HO330	Queens	Parade	464	Fitzroy North		248390	Contributory	1900-1915
HO330	Queens	Parade	468	Fitzroy North		248395	Contributory	1900-1915
HO330	Queens	Parade	470-474	Fitzroy North	Clifton Hill & Northcote United Friendly Societies Dispensary	248400	Individually Significant	1914
HO330	Queens	Parade	476-476A	Fitzroy North	Melbourne Tramways & Omnibus & Company Office, part	269195	Individually Significant	1887-
HO330	Queens	Parade	486	Fitzroy North	Shop	248410	Contributory	1915-1925
HO330	Queens	Parade	488	Fitzroy North	Shop	248415	Contributory	1915-1925
HO330	Queens	Parade	492	Fitzroy North	Scotch Thistle, later Terminus Hotel (two-storey stone section only)	248420	Individually Significant	1854
HO330	Raines	Reserve	all	Clifton Hill	Open space	0	Contributory	Unknown
HO330	Rushall	Crescent	2	Fitzroy North		249500	Contributory	1900-1915
HO331 - Racecourse Precinct, Richmond								
HO331	Bridge	Road	618	Burnley		169025	Contributory	1941
HO331	Bridge	Road	620	Burnley		169020	Contributory	1941
HO331	Bridge	Road	622	Burnley		169015	Contributory	1941
HO331	Bridge	Road	624	Burnley		169010	Contributory	1941
HO331	Bridge	Road	626	Burnley		169005	Contributory	1941
HO331	Bridge	Road	628	Burnley		169000	Contributory	1941
HO331	Bridge	Road	630	Burnley		168995	Contributory	1941
HO331	Bridge	Road	632	Burnley		168990	Contributory	1941
HO331	Bridge	Road	634	Burnley		168985	Contributory	1941
HO331	Bridge	Road	636	Burnley		168980	Contributory	1941
HO331	Bridge	Road	638	Burnley		168975	Contributory	1941
HO331	Bridge	Road	640	Burnley		168970	Contributory	1941
HO331	Jackson	Street	1	Burnley		172450	Contributory	1941
HO331	Jackson	Street	2	Burnley		172455	Contributory	1941
HO331	Jackson	Street	3	Burnley		172445	Contributory	1941
HO331	Jackson	Street	4	Burnley		172460	Contributory	1941
HO331	Jackson	Street	5	Burnley		172440	Contributory	1941
HO331	Jackson	Street	6	Burnley		172465	Contributory	1941
HO331	Jackson	Street	7	Burnley		172435	Contributory	1941
HO331	Jackson	Street	8	Burnley		172470	Contributory	1941
HO331	Jackson	Street	9	Burnley		172430	Contributory	1941
HO331	Jackson	Street	10	Burnley		172475	Contributory	1941
HO331	Jackson	Street	11	Burnley		172425	Contributory	1941
HO331	Jackson	Street	12	Burnley		172480	Contributory	1941
HO331	Lightfoot	Street	1	Burnley		172390	Contributory	1941
HO331	Lightfoot	Street	2	Burnley		172395	Not contributory	1990-2000

Attachment 5 - Amendment documentation for adoption

HO490	Stawell	Street	74	Richmond	Houses	171390	Individually Significant	1911
HO490	Stawell	Street	76	Richmond	Houses	171395	Individually Significant	1911
HO490	Stawell	Street	78	Richmond	Houses	171400	Individually Significant	1911
HO490	Stawell	Street	80	Richmond	Houses	171405	Individually Significant	1911
HO491								
HO491	Type	Street	69	Richmond	Floyd Green & Co. Glassworks (Former)	171045	Individually Significant	C.1895
HO491	Type	Street	89	Richmond	Floyd Green & Co. Glassworks (Former)	419930	Individually Significant	C.1895
HO492								
HO492	Wall	Street	33	Richmond	Terrace	198030	Individually Significant	1885-1887
HO492	Wall	Street	35	Richmond	Terrace	198025	Individually Significant	1885-1888
HO492	Wall	Street	37	Richmond	Terrace	198020	Individually Significant	1885-1889
HO492	Wall	Street	39	Richmond	Terrace	198015	Individually Significant	1885-1890
HO496								
HO496	Queens	Parade	61-87	Clifton Hill	St John the Baptist Church complex comprises, church, school, presbytery, former hall/shops and Queens Parade boundary fence to the church and presbytery	131950	Individually Significant	1882-1903
HO498								
HO498	Napier	Street	472-474	Fitzroy North	Terrace	246845	Individually Significant	1885
HO498	Napier	Street	476	Fitzroy North	Elizabeth Terrace	247595	Individually Significant	1889
HO498	Napier	Street	478	Fitzroy North	Elizabeth Terrace	246855	Individually Significant	1889
HO498	Napier	Street	480	Fitzroy North	Elizabeth Terrace	246860	Individually Significant	1889
HO498	Napier	Street	482	Fitzroy North	Elizabeth Terrace	246865	Individually Significant	1889
HO498	Napier	Street	484	Fitzroy North	Elizabeth Terrace	246870	Individually Significant	1889
HO503								
HO503	James	Street	2	Abbotsford	Stables (former)	104475	Individually Significant	1895
HO505								
HO505	Johnston		219	Abbotsford	Shop & Residence	112985	Individually significant	1885-1890
HO505	Johnston		221	Abbotsford	Shop & Residence	112995	Individually significant	1885-1890
HO505	Johnston		223	Abbotsford	Shop & Residence	113000	Individually significant	1885-1890
HO505	Johnston		225	Abbotsford	Shop & Residence	113005	Not contributory	c.1960
HO505	Johnston		227	Abbotsford	Shop & Residence	113010	Not contributory	c.1960
HO505	Johnston		229	Abbotsford	Shop & Residence	113015	Contributory	1885-1890
HO505	Johnston		231	Abbotsford	Shop & Residence	113020	Contributory	1885-1890
HO505	Johnston		233	Abbotsford	Shop & Residence	113030	Contributory	1885-1890
HO505	Johnston		235	Abbotsford	Shop & Residence	113035	Contributory	1885-1890
HO505	Johnston		237	Abbotsford	Shop & Residence	113040	Contributory	1885-1890
HO505	Johnston		239	Abbotsford	Shop & Residence	405430	Contributory	1885-1890
HO505	Johnston		241	Abbotsford	Railway bridge & abutments	113055	Individually Significant	1901
HO505	Johnston		246	Abbotsford	Shop & Residence	113630	Contributory	1900-1910
HO505	Johnston		248	Abbotsford	Shop & Residence	113625	Contributory	1900-1910

11.2 Community Reference Group membership - former AMCOR site

Reference: D20/36464

Authoriser: Director Planning and Place Making

Purpose

1. For Council to endorse a change in the membership of the Community Reference Group (CRG). relating to the former Amcor site in Alphington.

Background

2. The CRG was established in 2016 following Council's approval of the Alphington Paper Mill Development Plan in 2015.
3. The purpose of the group is set out in the CRG Terms of Reference, refer to **Attachment 1**.
4. The membership of the CRG comprises Langridge Ward Councillors and six community representatives. Council appoints representatives to the CRG.
5. The current membership of the CRG includes representatives from various community groups including APMAG, SAFCA, WARI and three community representatives being from the Alphington Primary School, Alphington Community House and the sporting clubs within the local area.

Discussion

6. The membership of the CRG at the time of appointment reflected the key community groups and interests in the community. A representative from the Alphington Primary School (APS) was included on the CRG as the development, at that time, proposed a campus annex to the school. This is no longer a part of the development as the annex concept in this location was not supported by the State Government.
7. The other factor that has changed is that residents are now living in the first stages of the Yarra Bend development.
8. The discussions at the CRG meeting on 14 November 2019 considered whether the representation membership of the Group should be amended to reflect these changed circumstances. The recommendation of the CRG was to cease having a representative of the Alphington Primary School as a school annex was no longer part of the development and that a representative of the new residents should be included on the CRG. It was considered that issues concerning the school's development were no longer directly relevant to the CRG and its Terms of Reference and could be pursued directly by the school with Council.
9. The current school representative is accepting of this change, however, is seeking the coordination amongst the VSBA the school and Council regarding facilities, construction activities and traffic management at the Alphington Primary School site.
10. Council officers are supportive of the working with the School and VSBA and are considering the School's suggestion.
11. The Yarra Bend Townhouse Owners Corporation (from the new development) has put forward a nomination to the CRG for Council's consideration. This is outlined in the Confidential pages of the Council Agenda.
12. Other than this change the membership of the CRG would be remain the same.

External Consultation

13. The CRG discussed the representation on the Group at its meeting on 14 November 2019. There has been no external consultation seeking nominations.

Internal Consultation (One Yarra)

14. There has been no internal consultation as the CRG membership is specified in the Terms of Reference and are approved by Council.

Financial Implications

15. There are no financial implications in this report.

Economic Implications

16. There are no economic implications in this report.

Sustainability Implications

17. There are no sustainability implications in this report.

Climate Emergency Implications

18. There are no climate emergency implications in this report.

Social Implications

19. Updating the representation on the CRG would continue the well-established mechanism for dialogue with the local community and would ensure that new residents living in the Yarra Bend development are represented and can contribute to the CRG as outlined in The Terms of Reference.

Human Rights Implications

20. There are no apparent human rights implications.

Communications with CALD Communities Implications

21. There are no apparent implications to CALD communities.

Council Plan, Strategy and Policy Implications

22. The CRG will continue to support the involvement and consultation with the community regarding the matters in the terms of reference.

Legal Implications

23. There are no legal implications.

Options

24. Council can either approve or not approve the proposed changes to the CRG membership as outlined in the report.
25. Council also has the option of accepting the submitted nomination and directly appointing a representative of the new residents at the Yarra Bend development to the CRG, or undertake a public process seeking nominations from the new residents in the Yarra Bend development.

Conclusion

26. The recommendation of the CRG is considered appropriate given the school campus is not proceeding and recognises that new residents are now living in the Yarra Bend development and have an interest in the further developments as envisaged in the approved Development Plan.
27. The inclusion of a representative from the new residents is consistent with the purpose of the CRG.
28. The nomination received from the Yarra Bend Townhouse Owners Corporation is considered suitable for appointment to the Amcor Community Reference Group.

RECOMMENDATION

1. That Council:
 - (a) appoint _____ to the former Amcor site Community Reference Group; and
 - (b) writes to the Alphington Primary School representative, thanking him for his participation and contribution to the Community Reference Group.

CONTACT OFFICER: David Walmsley
TITLE: Manager City Strategy
TEL: 9205 5350

Attachments

- 1 [↓](#) Amcor Community Working Group - Terms of Reference
- 2 Nomination for member Amcor Community Reference Group - *Confidential*

Attachment 1 - Amcor Community Working Group - Terms of Reference

23 August 2016

**Former APM (Alphington Paper Mill) site
Community Reference Group
Terms of Reference**



1. Introduction

- (a) The former Amcor Papermill site in Alphington is a 16.5 hectare parcel of land located on the corner of Heidelberg Road and the Chandler Highway. It represents one of Melbourne's largest urban renewal sites.
- (b) Amcor ceased its paper recycling operations at the site in late 2012, and in June 2013, arranged for the land to be sold. Developers Alpha Partners and Glenvill are to redevelop the site into a major residential precinct with shops, offices, open spaces and community facilities.
- (c) Council began preparing for the likely redevelopment of the site some five years ago which led to a Development Plan Overlay (DPO) being introduced for the site by the Minister for Planning in July 2013. The DPO provides a framework for future development to allow for major residential and commercial redevelopment of the site.
- (d) Before any substantive redevelopment takes place Council had to approve a Development Plan that satisfied the requirements of the DPO schedule. On 2 December 2015, Council approved the revised Development Plan for the Alphington Paper Mill subject to conditions, including the establishment of a Community Reference Group to "consider the on-going development of the former Amcor site".
- (e) Various planning applications will now be lodged to Council for consideration. These need to be generally in accordance with the Development Plan. It is expected that the project will be constructed over a 5-7 year period.

2. Purpose

- (a) The purpose of the Former APM site Community Reference Group (the Reference Group) is to provide an opportunity for residents and community groups to maintain dialogue with Council concerning the on-going development of the former Amcor site, with an emphasis on the development of community infrastructure, sporting facilities, open spaces and traffic and sustainable transportation, and any other matters that Council considers relevant to be considered by the Reference Group.

3. Objectives

- (a) Enable, in addition to, and without abrogating the need for, Council's usual responsibilities for dissemination of information and consultation with interested stakeholders, two way communication with the broader community, dissemination of information and feedback in relation to the development of the Amcor site.
- (b) Assist the Council to become aware of any emerging issues in relation to development of the Amcor site.
- (c) Consider ways to further enhance the utility and functionality of the precincts within the Amcor site as they are developed and how these emerging precincts can integrate and complement current surrounding land uses.

Attachment 1 - Amcor Community Working Group - Terms of Reference

23 August 2016

4. Membership

Appointments to the Reference Group shall be made by Council and will comprise of:

- (a) Three Langridge Ward Councillors of which one will take the role of chairperson of the meetings.
- (b) Six community representatives from across Alphington, consisting of representatives from the three community groups being:
 - South Alphington and Fairfield Civic Association (SAFCA)
 - Alphington Paper Mill Action Group (APMAG)
 - West Alphington Residents Inc. (WAR Inc.)
 and three other persons of the community representing a range of different views and interests (refer to the section 'Selection process and criteria for community members').
- (c) Senior council officers will be available to provide assistance and advice to the Reference Group, including the Manager City Strategy and Manager Open Space & Recreation. Other relevant Council officers are available to service the Reference Group as required.
- (d) Community representatives shall be appointed as members of the Reference Group for a maximum period of two years, unless Council decides to extend the term of appointment.
- (e) Members will be expected to attend all required meetings. They will be selected via an expression of interest process in accordance with Council policy. Should a vacancy occur, a replacement may be appointed for the balance of the project term.
- (f) Any member of the committee who fails to attend two consecutive Reference Group meetings without prior notification shall be deemed to have resigned.
- (g) Should a member who represents a community group not be able to attend a particular meeting, the member may nominate another member of that community group to attend on their behalf. The name of the member to attend the meeting must be provided to Council prior to the meeting.

5. Selection process and criteria for community members

- (a) The Council will seek expressions of interest for the Reference Group membership through public notice, and direct approach to the three community groups (SAFCA, APMAG, WAR Inc.). The selection process will accord with Council policy.
- (b) As far as practical, the membership will reflect diversity in gender, cultural background and group representation.
- (c) Applicants will be requested to submit a short statement of capabilities addressing the following criteria:
 - i. An understanding of community needs, concerns and issues relating to community infrastructure within Alphington and/or Fairfield.
 - ii. An understanding of the role Local Government has in the planning and provision of community infrastructure.
 - iii. An ability and commitment to consider and value a wide cross section of community views.
 - iv. A commitment to participate in the meetings outlined in Item 6, or at other times as determined necessary by the Reference Group.

Attachment 1 - Amcor Community Working Group - Terms of Reference

23 August 2016

- v. Declare any personal interest, connection or association with the Amcor redevelopment or community infrastructure provision.
- vi. If applicants are representing a community group this must be stated in the nomination.
- (d) Subsequent to the EOI process, a report will be provided to Council seeking appointment of persons to the Community Reference Group.
- (e) In the event that a vacant position arises, replacement of members of the Reference Group will be determined in accordance with Council policy.

6. Member responsibilities

- (a) Members must declare any personal interest, connection or association with any matter brought before the Reference Group.
- (b) Members must not make improper use of information acquired as a consequence of membership of the Reference Group.
- (c) If matters of a confidential nature are discussed by the Reference Group, members must respect that confidentiality.
- (d) A member of the Reference Group may resign at any time. Notice of resignation is to be provided in writing to the Manager City Strategy.
- (e) Membership of the Reference Group may be terminated for any of the following reasons:
 - (i) failure to attend two consecutive meetings without prior notice.
 - (ii) conduct unbecoming a member, for example, a breach of confidentiality.

7. Meeting procedure

- (a) The Reference Group will meet on a quarterly basis and at other times as required.
- (b) Meetings are to be held at a time and place determined by the Reference Group.
- (c) The Reference Group is not required to give public notice of its meetings and meetings are not required to be open to the public.
- (d) It is anticipated at the initial meeting of the Reference Group will include a briefing by Council Officers, including key document handover, followed by discussion on setting out the parameters and scope of future Reference Group meetings.
- (e) The Reference Group meetings are to be chaired by a Ward Councillor. If all Councillors are absent, a member agreed to by the Committee will act as chairperson.
- (f) The quorum for any meeting of the Reference Group shall be six members.

8. Reporting and circulation

- (a) The Director Planning and Place Making will provide regular reports to the Council concerning the deliberations of and suggestions given by the Reference Group.
- (b) A staff member from Council's Planning and Place Making division will be responsible for attending meetings, distributing agendas and minutes, being the central contact point for the committee and for providing any background information as required.

Attachment 1 - Amcor Community Working Group - Terms of Reference

23 August 2016

9. Terms of the committee

- (a) The Reference Group provides an advisory role to the Council and does not have any delegated authority to make decisions.
- (b) The Reference Group has no delegated authority to act or to incur expenditure on behalf of Council.
- (c) The Reference Group will have no involvement in the consideration of any planning permit applications. However, it may inevitably discuss issues which are consistent with its purpose and which arise by virtue of applications.
- (d) The reference group may in relation to any matters referred to it, make submissions to Council which Council may consider in exercising its role as planning authority.

10. Contact with the media

- (a) Requests for contact by or with the media must be directed to the Chair of the Reference Group, and follow Councillor and Staff Media Policies.

11.3 Zero Carbon in the Yarra Planning Scheme

Executive Summary

Purpose

To provide a report to Council on the options to transition towards zero carbon and highly sustainable future development through new Yarra Planning Scheme Provisions.

Key Issues

On 26 November 2019 Council resolved to investigate the process required to amend the Yarra Planning Scheme to require:

- (a) that all future developments in the City of Yarra have the highest possible environmental rating; and
- (b) the use of 100% renewable energy in both the construction phase of developments and in completed developments.

Council officers have investigated the process to amend the Yarra Planning Scheme to implement zero carbon planning policy as per the Council resolution dated 26 November 2019.

After examining relevant factors including a case study of the development of the current Environmentally Sustainable Development (ESD) policy, officers have identified a preferred approach towards the development of zero carbon planning policy.

The recommended approach includes working within established networks to formulate a voluntary zero carbon development framework, progress research into zero carbon standards and then to pursue a group planning scheme amendment with other councils.

Due to the long partnership with Council, the Council Alliance for Sustainable Built Environment (CASBE) and other interested member councils are logical partners to further explore this approach. Officers also note the importance of maintaining industry engagement throughout any move towards zero carbon development.

Financial Implications

There are no financial implications in receiving this report. Expenses would occur in any program to further ESD provisions.

PROPOSAL

That Council resolve to:

- (a) note the officer report investigating zero carbon development standards in the Yarra Planning Scheme; and
- (b) endorse Option 3 recommended in this report for officers to work with (Council Alliance for Sustainable Built Environment) and other interested councils to:
 - i. formulate a voluntary zero carbon development framework;
 - ii. progress research into zero carbon standards; and
 - iii. pursue a group planning scheme amendment with (Council Alliance for Sustainable Built Environment) and other Councils.

11.3 Zero Carbon in the Yarra Planning Scheme

Reference: D20/42197

Authoriser:

Purpose

1. On 26 November 2019 Council resolved to investigate the process required to amend the Yarra Planning Scheme to require:
 - (a) that all future developments in the City of Yarra have the highest possible environmental rating; and
 - (b) the use of 100% renewable energy in both the construction phase of developments and in completed developments.
2. The purpose of this report is to provide recommendations to Council on the options to transition towards zero carbon and highly sustainable future development through new Yarra Planning Scheme provisions.

Background

3. At the Council meeting on 26 November 2019 it was reported that 80% of carbon emissions in the City of Yarra come from stationary energy. The improvement of energy performance to transition towards zero carbon buildings through the planning process is one means to reduce the carbon footprint of the City of Yarra.
4. Improved energy performance of buildings has the potential to reduce stress on the electricity network, offer bill savings, improve health and resilience for households and businesses whilst transitioning towards a zero carbon built environment.
5. The reduction of carbon emissions to mitigate the effects of climate change is not a concern of Yarra alone, but of all local governments within Victoria. A cohesive state policy for zero carbon development may be a preferable outcome, however, at this point there remains little commentary on how the State Government would tackle such an issue. As noted by the C133 Planning Panel, which introduced the Environmentally Sustainable Development (ESD) policy:

“... even if a State wide policy is introduced, local policies, may still be appropriate where municipalities seek to ‘raise the bar higher’ either in specific locations, or where the community has higher sustainability expectations.” (pg. 50)

Zero Carbon Standards

6. Some recent development applications have demonstrated that zero carbon is possible, although this is a limited number of all applications. Current zero carbon buildings however, do not usually include the energy and carbon emissions associated with the construction of the building. The focus is placed on the operational life of the building which emits the vast majority of the associated carbon emissions.
7. Zero carbon standards in the built environment have a consistent set of features across a range of international examples, governments and agencies. These elements are:
 - (a) high standard of energy efficiency;
 - (b) maximising onsite renewable energy generation (typically solar PV);
 - (c) long term off-site renewable energy purchasing, such as through power purchase agreements (PPAs); and
 - (d) various legal and contractual arrangements to ensure the standard is maintained over the life of the building.

8. Of these features, the reliance on ongoing power purchase agreements (PPAs) to deliver zero carbon standards is challenging for local government planning authorities, as they are longer than the traditional scope of statutory planning, into the ongoing operation of the building.
9. Best practice in ESD and zero carbon development standards are increasing over time, however, it is a relatively slow process.

Current Actions

10. In the draft local planning policy endorsed by Council in November 2019 as part of the re-write of the Yarra Plans Scheme, a climate change strategy included *Support zero carbon development and the offsetting of emissions from the existing built environment*. This is recognition of recent development applications (point 6 above). The strategy is currently written to 'support and advocate' for such development rather than as a 'requirement'.
11. Council is an active participant in strategic alliances and partnerships that operate within the sustainability and built environment sectors. These include the Council Alliance for Sustainable Built Environment (CASBE), the Yarra Energy Foundation (YEF) and the Northern Alliance for Greenhouse Action (NAGA).
12. CASBE and its member councils are currently undertaking work to deliver enhanced ESD outcomes to work towards the implementation of zero carbon planning policy.
13. The Built Environment Sustainability Scorecard (BESS) Governance Board within CASBE has developed the '*Front Runner*' scoring program over the last two years. The program works to build an evidence base to increase ESD standards supported by the existing ESD local policy and inform the work towards zero carbon. The program analyses BESS data and use standards achieved by market leaders to upgrade the minimum standard accepted as 'best practice'.
14. The BESS '*Front Runner*' scoring program would generate the evidence base to review and increase sustainability performance benchmarks through an industry-led approach.
15. Council officers have also conducted initial research to establish possible *pathways* to transition towards zero carbon buildings within Council's Environmentally Sustainable Development (ESD) program for private development proponents within the City of Yarra.

Amendment Process

16. The inclusion of zero carbon and increased ESD requirements in the Yarra Planning Scheme would require an amendment to the Planning Scheme.
17. Minister's Direction No.11 Strategic Assessments of Amendments, requires a planning authority to evaluate and discuss how an amendment addresses several strategic considerations. An amendment requires extensive evidence-based justification as well as a draft control (local policy) that is consistent with the State policy.
18. Council is unable to proceed to exhibition without 'authorisation' from the Minister for Planning. If strategic justification is lacking or there is inconsistency with the Victorian Planning Provisions, the Minister may not authorise the amendment.
19. The case study of the current ESD policy below sets out the difficulty in pursuing ESD amendments, which included a program of education and trialling with the development industry prior to an amendment to introduce planning controls.

Case study: development of the current ESD local policy

20. Council was successful in getting approval and support for the current ESD local policy after demonstrating a successful voluntary Sustainable Design Assessment in the Planning Process (SDAPP) program with the active participation of developers. The associated C133 Panel Report confirmed the role of ESD in the planning system noting that:

"It is clear planning not only has a role to play in achieving sustainability outcomes, it also has a clear obligation to do so. There is clear strategic justification for the development of greater sustainability focus within planning schemes..." (pg. 49)

21. The SDAPP program was trialled, refined and introduced on a voluntary basis over three years before the ESD local policy was drafted as a planning scheme amendment. All development applicants were participating in the SDAPP program before the ESD local policy was formalised.
22. The development of the SDAPP program and the ESD local policy involved extensive education and engagement with professionals such as architects, developers and engineers. It also required the development of education materials such as the IMAP Fact Sheets and the BESS tool with CASBE and its members.
23. The SDAPP program gave industry the chance to learn, develop their own ESD responses and for Council to refine and build an effective program. The program experience gave Council a very convincing submission to take to Panels Victoria for the ESD planning scheme amendment. Without the experience of the voluntary program, the amendment would have been unlikely to have gained support to progress and eventually be approved.
24. The amendment underwent extensive public exhibition for two months in 2013.
25. Following the planning scheme amendment process, the Minister for Planning approved amendments to introduce a new ESD local policy to the respective Planning Schemes: Banyule, Moreland, Port Phillip, Stonnington, Whitehorse and Yarra. The ESD local policy was gazetted on 19 November 2015 through the work of CASBE, Yarra and the other local governments, representing a significant planning policy reform.
26. A key factor to the success of the ESD local policy was the support of a collective approach with the initial six councils participating in the process together. Currently, 17 Victorian Councils have copied the same consistent ESD local policy into their planning scheme.
27. The resulting ESD local policy applies to both residential and non-residential development throughout the City of Yarra. Specifically, it requires development of two or more dwellings, or 100m² of non-residential area, to demonstrate 'best practice' in ESD.
28. The ESD Policy operates under the overarching objective that development;
"Should achieve best practice in environmentally sustainable development from the design stage through to construction and operation."
Further objectives apply within the categories of energy performance, water resources, indoor environment quality, stormwater management, transport, waste management and urban ecology.
29. The Built Environment Sustainability Scorecard (BESS) is the tool through which the ESD local policy is currently implemented. BESS is utilised to complete ESD assessments for planning permit applications.
30. Higher ESD performance standards also apply to certain development in activity centres. These additional requirements are outlined in the activity centre specific Design and Development Overlay (DDO). Generally they require an 'Excellence' 70% BESS score which aligns to a five star green star rating called 'Australian Excellence'. Council developed this level as an additional standard to push leaders in the development industry. The 70% BESS Excellence standard has been successfully used in planning scheme amendments for DDOs and structure plans.
31. A State ESD provision is in development and in late 2020 or early 2021, is expected to be incorporated as a Victorian Planning Provision (VPP). There is limited information available as to the content and possible outcomes of the upcoming policy.

Actions of other Councils

32. The Councils of Melbourne and Moreland have commenced research into zero carbon standards and are taking the lead in CASBE.
33. The City of Moreland has recently considered a zero carbon planning scheme amendment. The research concluded that:

- (a) there is a strong need for the preparation of an ESD local policy 2.0 to transition towards zero carbon and increase ESD in the planning process;
- (b) before a planning scheme amendment can be drafted to increase ESD standards, significant research must be completed to build an evidence base; and
- (c) a group amendment with CASBE and interested member Councils should be pursued as a result of favourable experiences of undertaking the first ESD planning policy as a joint venture between 6 Councils, and also due to the benefit of shared costs.

Related actions undertaken by Council

34. The move towards zero carbon and the use of 100% renewable energy is consistent with Council's draft Climate Emergency Plan (CEP). The CEP identifies the acceleration of renewable energy, zero carbon buildings and efficient operations as strategic priorities into the future. In particular, it proposes an action (2.8) to:

"Seek to transition towards zero-carbon buildings and precinct through the planning process by:

 - *Working with other partners (e.g Council Alliance for Sustainable Built Environment (CASBE) / the Inner Melbourne Action Plan (IMAP) to raise the standards for energy performance in the Sustainable Design in the Planning Process (SDAPP) Scheme (p30)".*
35. Reducing the carbon footprint of the City of Yarra to transition towards zero carbon is a complex and multifaceted process which involves numerous areas of Council and the Council funded *Yarra Energy Foundation*. The planning process is just one area where a zero carbon transition can occur, as there are considerable carbon emissions from existing building stock and energy use behaviours that are not subject to planning requirements.
36. Council has a long history of environmental action and leadership as the first carbon neutral Council in Victoria (2012). Council delivers a range of carbon emission reduction projects, including:
 - (a) purchasing 100% renewable electricity for all Council operations and continuing to achieve carbon neutral status;
 - (b) reducing Council's carbon emissions from 16,000 tCO₂e in 2008/09 to 4,500 tCO₂e in 2019;
 - (c) proposing to progressively transition Council buildings away from gas with 30 of 38 sites to be transitioned off in the next two years (subject to budget allocation) and the remaining, more complex sites (such as leisure centres and town halls) by 2030, as feasible;
 - (d) major street lighting upgrades to reduce energy use by approximately 60%; and
 - (e) substantial building upgrades across Council's facilities including solar panels, solar hot water, heat pump units and batteries.
37. Council's draft Climate Emergency Plan (CEP) sets objectives for Council's response to the climate emergency and identifies strategic priorities and actions over the next four years. The public consultation period recently closed and the plan is being finalised for further Council consideration in April.
38. Additionally, Council is undertaking a range of activities to progress sustainable practices within the built environment. In particular, Council is participating in several activities and collaborations with CASBE and other member Councils. This includes:
 - (a) the CASBE ESD policy working group building the evidence base and program framework for a zero carbon program and a future planning scheme amendment;
 - (b) liaising with DELWP on planning scheme translation and the State ESD provisions; and
 - (c) BESS Governance Board membership, including evidence based standards improvement and software upgrades.

39. Council is also working with the development industry to engage and facilitate zero carbon leadership. Actions include:
- (a) industry engagement to discuss practical mechanisms to deliver zero carbon developments, including current proposed developments in Yarra and other parts of Australia;
 - (b) tracking the progress of industry leaders, including building a better understanding of how zero carbon development can be delivered;
 - (c) identification of key thresholds and viability indicators, such as scale and typology that may influence viable zero carbon pathways; and
 - (d) focus on understanding what legal agreements and mechanisms are effective at a planning stage, for accounting and reporting on off-site renewable energy power purchase agreements (PPAs).

External Consultation

40. No external consultation was undertaken in the preparation of this report.

Internal Consultation (One Yarra)

41. This report was prepared in collaboration with the Strategic Planning, Sustainability and Statutory Planning (ESD advisor) units of Council. Any further work in this space would involve all three units.

Financial Implications

42. There are no financial implications in receiving this report. Expenses would occur in any program to further ESD provisions.

Economic Implications

43. There are no economic implications.

Sustainability Implications

44. This report has assessed the pathway to move towards future zero carbon development through the Yarra Planning Scheme. If actions are pursued this would significantly increase sustainability outcomes through the planning process and increase environmentally sustainable development throughout Yarra.

Climate Emergency Implications

45. The report supports strategic priority two in the draft Climate Emergency Plan:
Accelerate renewable energy, zero carbon buildings and efficient operations.

Social Implications

46. There are no anticipated social implications.

Human Rights Implications

47. There are no anticipated human rights implications.

Communications with CALD Communities Implications

48. There are no anticipated implications for communication with CALD Communities.

Council Plan, Strategy and Policy Implications

49. This report supports the following strategy in the Council Plan:
Lead in sustainable energy policy and deliver programs to promote carbon neutral initiatives for the municipality and maintain Council as a carbon neutral organisation.

Legal Implications

50. There are no anticipated legal implications.

Other Issues

51. There are no other issues.

Options

52. There are three options in relation to this matter:

Option 1

53. Do not proceed with further work to move towards zero carbon development.

A 'do nothing' approach is not recommended. A move towards zero carbon and the use of 100% renewable energy is consistent with Council's draft Climate Emergency Plan (CEP). The draft CEP identifies the acceleration of renewable energy, zero carbon buildings and efficient operations as strategic priorities into the future.

Option 2

54. Pursue an amendment to the Yarra Planning Scheme to implement zero carbon development standards.
55. This option is not recommended. Before work on a planning scheme amendment could commence, additional actions would have to be undertaken to legitimise the need for zero carbon development provision in the Planning Scheme.
56. Yarra Council already deliver a large work program across the Strategic Planning, ESD and Sustainability units. Currently there are limited available resources to manage and implement such a long term project. Future zero carbon activities are not possible with the current resources allocated. It is important to consider the current ESD local planning policy took over five years of work before it was gazetted into the Yarra Planning Scheme.

Option 3

57. Work with CASBE and other interested member Councils to establish a voluntary zero carbon development framework in the short term, and progress research into zero carbon standards and work towards a group planning scheme amendment to implement a new zero carbon local policy.
58. **This is the recommended option.** A group planning scheme amendment with CASBE and member Councils presents an opportunity for Council to act in collaboration and develop consistent zero carbon requirements across Victorian Councils. It is the most realistic and effective method to achieve a new zero carbon local policy whilst reducing costs and workload to Council.
59. Building on work already undertaken by Melbourne and Moreland Councils and CASBE, as well as sharing the remaining research and consultancy costs, would significantly reduce the cost and workload to Council. A partnership of this nature would allow the financial costs and resources to be shared, through co-funding a zero carbon local planning policy amendment.
60. This also provides greater opportunities for Council to actively engage industry throughout the process in working towards zero carbon planning policy within the Planning Scheme.
61. To inform the policy amendment, a voluntary zero carbon development framework could be established in 2020. This includes:
- (a) Defining, clear and consistent terminology, standards and assessment processes to evaluate what zero carbon actually involves;
 - (b) supporting local leaders in the development industry who are pursuing zero carbon outcomes to inform the ESD program and a new zero carbon planning provision;
 - (c) risk analysis and benefit cost analysis of zero carbon in built form;
 - (d) engage actively with development applicants to build industry-wide understanding in how zero carbon can be practically achieved; and

- (e) work towards planning scheme provisions based on practical and viable zero carbon pathways.
62. It is important to note that current resources for progressing a voluntary zero carbon framework are limited and this work would require additional resources.

Conclusion

63. Council officers have investigated the process to amend the Yarra Planning Scheme to implement zero carbon planning policy as per required in the Council resolution dated 26 November 2019.
64. There are 3 options:
- (a) Option 1: Do not pursue an amendment at this point in time;
 - (b) Option 2: Progress a planning scheme amendment; or
 - (c) Option 3: Formulate a voluntary zero carbon development framework, progress research into zero carbon standards and then pursue a group planning scheme amendment.
65. Council does not have the capacity to complete a zero carbon planning scheme amendment alone, this approach would be unlikely to succeed and is not recommended by officers. Due to the long partnership with Council and the nature of work they complete, CASBE and interested member councils are logical partners to further explore a group planning scheme amendment which would work towards implementing zero carbon standards in new development approvals.
66. Officers note the importance of maintaining industry engagement throughout any move towards zero carbon development and increased environmentally sustainable development.
67. Officers will continue implementing the range of zero carbon and sustainability actions as outlined in this report and work alongside industry and government to develop a range of practical, zero carbon and ESD provisions and standards.

RECOMMENDATION

1. That Council:
- (a) note the officer report investigating zero carbon development standards in the Yarra Planning Scheme; and
 - (b) endorse Option 3 recommended in this report for officers to work with (Council Alliance for Sustainable Built Environment) and other interested councils to:
 - (i) formulate a voluntary zero carbon development framework;
 - (ii) progress research into zero carbon standards; and
 - (iii) pursue a group planning scheme amendment with the (Council Alliance for Sustainable Built Environment) and other Councils.

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Attachments

There are no attachments for this report.

11.4 Gleadell and Griffith Street Precinct Project

Executive Summary

Purpose

The purpose of this report is to seek Council's authorisation for community consultation to occur to seek feedback and ideas for the future design aspects of Gleadell and Griffith Streets Richmond.

Key Issues

Some initial sketch design ideas are intended to be presented as part of the consultation. Feedback and responses would be invited on these as well as the community's thoughts and proposals on any other design options.

The *design ideas* have been developed in order to indicate what the implications are of different types of interventions in terms of practical changes and approximate costings. This information would assist the community in responding to references for future design proposals in these streets.

Following feedback, functional layout designs would be prepared for further Council consideration seeking consent to develop these into concept designs for a further round of consultation.

Financial Implications

Costs associated with undertaking the community consultation would be met through the current 2019/2020 capital works budget for this project.

All of the high level design work, feasibility and background research has been and would continue to be undertaken in house by Council staff except for the traffic studies where external consultants would be engaged and funding met through the City Strategy budget.

Once the preferred *functional design* options have been approved by Council, then external consultants would be engaged to undertake concept design, detailed design and tender documentation. A capital works bid for consideration has been prepared for 2020/2021 to progress these designs; this cost would depend on the level of change that is proposed following the initial consultation process.

PROPOSAL

The intended anticipated timelines for consultation include:

- Late March/April 2020 – Public consultation;
- May 2020 – Internal development of functional layout options;
- July 2020 – Council report on functional layout options;
- August / October 2020 – Engagement of external consultants to develop concept design; and
- November 2020 – Community consultation on concept design and review of consultation feedback.

11.4 Gleadell and Griffith Street Precinct Project

Reference: D20/19723
Authoriser: Director Planning and Place Making

Purpose

1. To seek Council's authorisation for community consultation to occur in to seek feedback and ideas for the future design aspects of Gleadell and Griffith Streets

Background



Figure 1: Study Area

2. Council adopted an *Urban Design Framework* for the Richmond Town Hall precinct in 2007.
3. More recently, the adopted *Bridge Road Streetscape Master Plan 2017* identifies the precinct around the Richmond Town Hall including Gleadell and Griffiths Streets as the focus for a civic heart, centred around the iconic town hall, civic and institutional uses with opportunities to enhance and improve the streetscapes.
4. This project arose from the master plan, as well as community and Councillors interest to upgrade the streetscape as well as capital works funding in 2019/2020 to progress the feasibility work.

5. This report addresses Gleadell and Griffiths Street streetscapes. The Richmond Town Hall forecourt project is subject to a separate design project and a report has previously been presented and is now in the process of community consultation.
6. The streets currently prioritise vehicular movement and car parking, provide limited amenity for pedestrians and cyclists, and provide poor tree canopy cover. The streets are not designed to provide a civic space nor do they respond to recent policy initiatives such as the *Urban Forest Strategy*, and the *Climate Emergency Plan*.
7. The key existing characteristics for the precinct area are:
 - (a) located within the broader Bridge Road Major Activity Centre;
 - (b) a clustering of recreation, education and civic/community facilities;
 - (c) number of different stakeholders with competing needs;
 - (d) a high level of community engagement;
 - (e) the weekly Saturday Gleadell Street Market;
 - (f) streetscapes prioritised for vehicles and car parking; and
 - (g) streets used as a thoroughfare or link to adjacent schools or institutions.
8. Key issues for the precinct include:
 - (a) a 'business as usual' in the function and design of the streets;
 - (b) lack of trees, shade and heat mitigation;
 - (c) no contribution to biodiversity;
 - (d) expansive areas of hard non-permeable surfaces that store and radiate heat;
 - (e) all storm water channelled into drains;
 - (f) lack of identity and character, to reflect on this important location in the heart of Richmond;
 - (g) poor pedestrian amenity with car overhangs protruding over the footpath, creating narrow pedestrian paths;
 - (h) sections of footpaths too narrow to comply with relevant Australian Standards;
 - (i) no/minor amenities such as seating;
 - (j) poor integration with Citizen's Park;
 - (k) non-compliant access steps to Citizens Park from Gleadell Street;
 - (l) lack of formalised pedestrian crossing points in both streets. (NB the raised "wombat crossing" on Gleadell Street was constructed in 2018);
 - (m) 90° angled parking poses some safety concern for cyclists;
 - (n) inconsistent and poor quality interfaces (fences and car parking) with Gleadell Street;
 - (o) poor pedestrian lighting, existing lights focused on vehicle lanes; and
 - (p) competing demands for car parking during peak times (e.g. Gleadell Street Market, Richmond Recreation Centre, sporting clubs and Neuma Church).



Figure 2: Existing Conditions Gleadell Street



Figure 3: Existing Conditions Griffiths Street

Background Study and Investigations

9. A *Heat Mapping Study* (Figure 4) was undertaken of the two streets which shows:
 - (a) spatial heat mappings of *Universal Thermal Climate Index* (UTCI) was undertaken that accounts only for MRT (Mean Radiant Temperature) as it relates to the human comfort;
 - (i) UTCI mapping at 5PM on an average day in summer (15th January) using published weather statistics that is within the typical summer week.
 - (ii) the mappings generated illustrate the spatial effect of sun/shade on comfort - a key driver of outdoor comfort during the daytime.
 - (iii) thermal comfort analysis was sampled 1.1m above ground level and the expressed as a “feels like” temperature incorporating wind, relative humidity and radiant heat in a simplified model of the urban environment.
 - (b) based on the results from the *Heat Mapping*, Gleadell and Griffiths Streets are identified as hot spots, with the need for trees to be planted along the streets to contribute to mitigating the impact of the *Urban Heat Island Effect* and improve the micro-climate to encourage active transport usage in the precinct and a more comfortable environment for people.
10. Urban Design in collaboration with Council's traffic engineers investigated traffic solutions such as full and partial closures of Gleadell Street. Due to requirements such as pick-up/drop-off, loading, DDA and emergency vehicle access these were deemed not feasible.
11. *Design ideas* were then explored to form the basis for the community consultation. These are ideas only, that provide the community with an indication of the level of change that is required in regards to make improvements to the street for items including but not limited to:
 - (a) greening through canopy tree plantings;
 - (b) pedestrian priority through shared zones and/or widened footpaths;
 - (c) section of one way traffic movement;
 - (d) traffic control measures; and
 - (e) changes to parking provision.

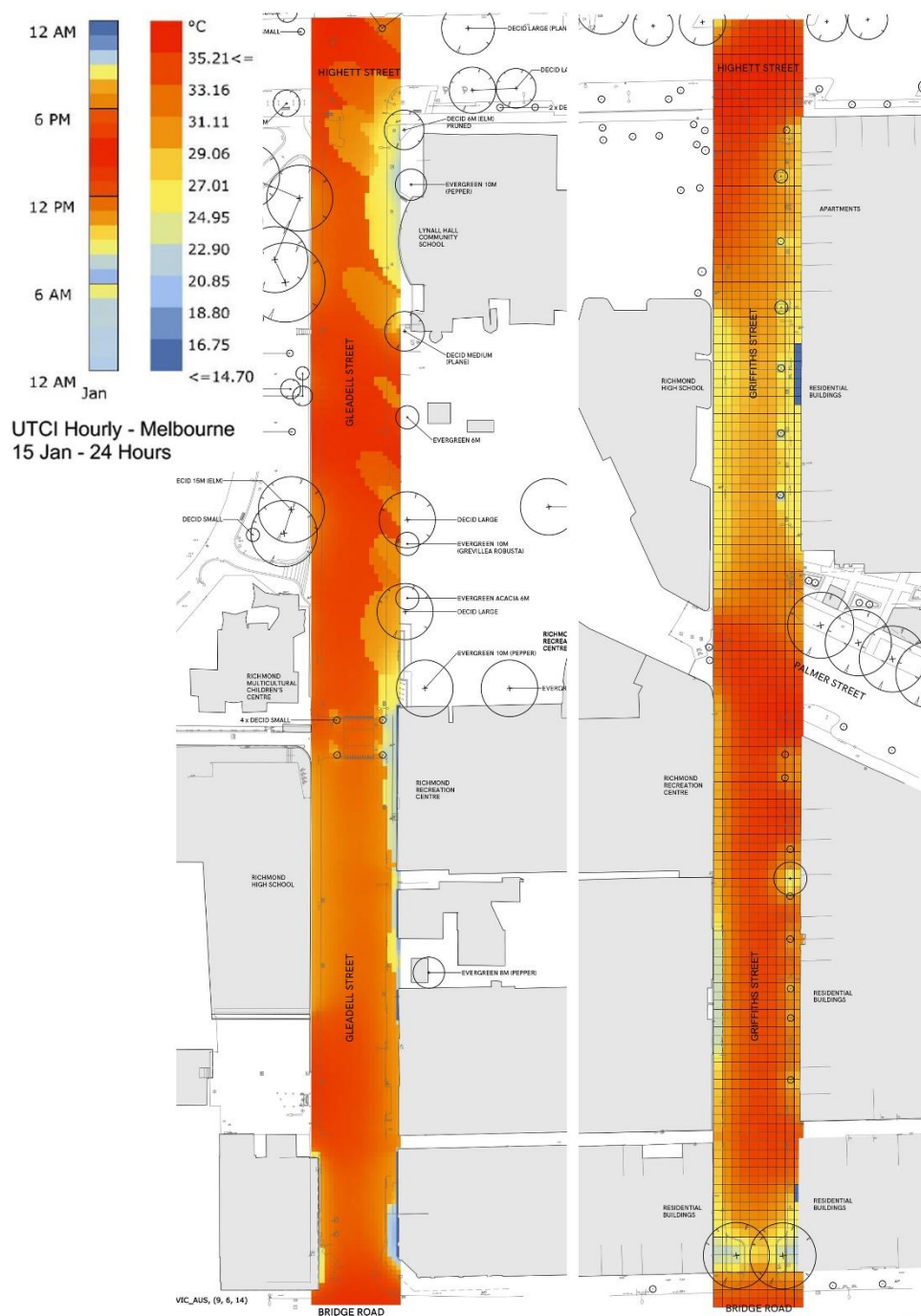


Figure 4: Heat Map (Emergent Studios, 2019)

Project Methodology

12. The vision for the streets is based on the aspirations set out in the endorsed *Bridge Road Streetscape Master Plan* while also linking to Council's policies and plans (including the *Urban Forest Strategy* and the draft *Climate Emergency Plan* which has recently been on exhibition seeking community comment).
13. Gleadell Street has been considered as warranting the greatest level of transformation due to the high number of key destinations, while Griffiths Street is secondary with predominantly residential uses and a less civic function.
14. Building upon this vision, six design principles were developed:
 - (a) improve the streetscape character and identity;
 - (b) prioritise pedestrian and bicycle users;

- (c) maximise street tree planting;
 - (d) maintain access to existing activities and institutions;
 - (e) flexible and adaptable space for the Gleadell Street Market and events; and
 - (f) additional space priority and efficient use of space.
15. The Urban Design unit in collaboration with Council's traffic engineers, investigated traffic solutions.
 16. As an aesthetic design tool the concept of creating strong lines of canopy trees along the streets to strengthen the cohesiveness and streetscape character was used as the overarching structure for the design ideas.
 17. The concept of strong lines of canopy trees, would create elegant avenues once mature, reflecting on the locations within the civic heart of Yarra. They would also assist in the mitigation of the urban heat island effect and strengthen the climate change resilience.
 18. The purpose of the *design ideas* are to interrogate different levels of intervention and the resulting implications in terms of cost, trade-offs between car parking and improving streetscape safety and amenity. Two ideas for Gleadell Street and one for Griffiths Street are presented to stimulate discussion and to encourage comments and proposals from the community.
 19. The options have assisted in gaining an understanding of the many implications and trade-offs and their interrelationships within the streets.
 20. Design detail considerations such as materials, landscaping, tree species, drainage (including WSUD opportunities), furniture and fixtures (bicycle hoops, seating, drink fountains etc.) are yet to be investigated. Car parking, including the allocation of DDA, short term, loading and potential car share spaces are indicative only and subject to further consultation.
 21. The design refinement stage would occur after the first stage of consultation and engagement and would be subject to extensive review across relevant internal Council Units.

External Consultation

Consultation to Date

22. Preliminary stakeholder conversations were undertaken in October and November 2019. The primary purpose being to build rapport and gather information about how the stakeholders and its users/visitors use the streets and any potential future changes to their usage or operations. No design options were presented or discussed. External stakeholder engagement meetings were held with:
 - (a) A Thousand Blessings (café, opposite north end of Gleadell Street;
 - (b) Australia Post;
 - (c) Neuma Church (formerly Bridge Church);
 - (d) Gleadell Street Market;
 - (e) Jaques Apartments Body Corporate;
 - (f) Jaques Businesses (Frankie's Salon and The Richmond Dentist);
 - (g) Leo Berry's Boxing Gym;
 - (h) Lynall Hall Community School;
 - (i) NAB;
 - (j) Richmond Harriers Athletic Club;
 - (k) Richmond Multicultural Children's Centre;
 - (l) Richmond Union Bowls Club;
 - (m) Richmond Union Cricket Club;

- (n) Royal Flying Doctors; and
 - (o) Yarra Energy Foundation (as occupants of the former Richmond Police Station).
23. The following were approached, however, declined or for other reasons were unable to engage with Council before finalising this report:
- (a) Barbeques Galore;
 - (b) Bridge Road Traders Association;
 - (c) LEGS (*Let's Enhance Gleadell Street* have had extensive conversations with Council staff over the 12 months, refer to item 25 for further details and comments related the current discussions and consultation held with and ongoing with LEGS); and
 - (d) Richmond High School.
24. The Urban Design unit met with each group separately to discuss how the streets operate and function, opportunities and issues. All information gathered that was outside the scope of this project was fed through to relevant Council teams. It is noted that:
- (a) most respondents appreciated the complexity of the area and the need to balance priorities; and
 - (b) most respondents noted concerns over any potential loss of car parking.
25. LEGS Association Incorporated is a passionate local group, advocating for Gleadell Street to be a *"shared community space... a civic hub where people meet every day"*:
- (a) recently incorporated, with the intent to *"lobby government and Council more effectively, arrange events and seek funding for improving open space for people"*. They are strong supporters of the Saturday Gleadell Street Market, and in the absence of a unified voice from stall holders, wish to advocate on the market's behalf. They are very active and are led by a President and, a Vice President;
 - (b) recent activities by LEGS include running community stalls, market advertising, website and social media and applying for grants;
 - (c) in a bid to better understand Council operations, and where they might have greater traction, LEGS have met with around a dozen Council officers, across various divisions, some multiple times; and
 - (d) it has been expressed to LEGS that their passion for the area is welcomed, but that Council officers must be impartial and adhere to Yarra's Community Engagement Policy when engaging with all stakeholders.

Proposed Consultation

26. A detailed *Engagement Plan (Attachment One)* has been developed in collaboration with the Communications team.
27. The purpose of this engagement is to understand the community's aspirations, preferences and priorities in relation to potential streetscape upgrades to Gleadell Street and Griffiths Street Richmond.
28. The objectives of the engagement include:
- a) communications that are effective and encourage engagement with residents, businesses, community organisations and service providers, and other stakeholders identified as interested, or impacted by changes to Gleadell Street and Griffiths Street;
 - b) engagement methods that allow participants to identify challenges, opportunities and priorities and aspirations for Gleadell Street and Griffiths Street;
 - c) that participants understand how their input will inform a draft concept design for Gleadell Street and Griffiths Street;
 - d) that participants are informed of the project scope and negotiables and non negotiables for the project;

- e) that participants are aware of the project stages and timelines and kept informed of the next steps; and
 - f) that participants are informed at all stages of how their input has influenced future streetscape planning of Gleadell Street and Griffiths Street.
29. Over 30 stakeholders have been identified and would be directly targeted throughout the consultation. This would include community and advocacy groups, businesses and traders.
30. A three stage engagement plan has been prepared of which Stage 1 is complete:
- (a) Stage 2 would test ideas with the community;
 - (b) Stage 3 would be the development of a draft concept plan informed by the outcomes of Stage 2 and would form part of a future engagement process;
31. Communication tools include a wide range of channels to ensure that stakeholders and the wider community are aware of the opportunity to contribute to the project.

Internal Consultation (One Yarra)

32. A series of internal collaborative workshops with Council officers to discuss the issues and opportunities have occurred. Workshops were broadly themed around three topics, with attendance from the following units:
- (a) *Meeting 1 - Integrated Transport;*
 - (i) Strategic Transport and Traffic.
 - (b) *Meeting 2 - Climate Resilience;*
 - (i) City Works & Assets, Engineering Services, Open Space, Sustainability, Streetscapes & Natural Values; and
 - (c) *Meeting 3 – Local Community & Economy;*
 - (i) Arts and Culture & Leisure and Recreation.
33. In addition to collaborative workshops, one-on-one meetings have been held with Building Projects, Compliance and Parking and Open Space. These were held to ensure that all views were captured and considered.

Summary of Design Ideas

34. The design ideas (Attachments Two, Three and Four) reflect the input of internal stakeholder engagement workshops. This includes two ideas for Gleadell Street and one idea for Griffiths Street.
35. Two ideas for Gleadell Street are presented both with very different budget and parking implications. The higher cost idea provides an outcome that is more in line with the aspirations of the Bridge Road Streetscape Master Plan as well as the current thinking of the LEGS group and some of the feedback requesting pedestrianised spaces for gathering and events.
36. The second idea for Gleadell Street is a more economical proposal still providing a much improved and pedestrianised environment.
37. There are a range of other more 'pared back' options with different financial and functional implications that can be investigated and pursued dependant upon the feedback from the community and Council direction and budget affordability.
38. Overarching proposals for both streets include:
- (a) safe pedestrian and bicycle environment;
 - (b) addresses relevant policies and plans;
 - (c) parallel parking in lieu of angle parking, where feasible;

- (d) maximise street tree planting to improve streetscape character and address climate change; and
- (e) maintain access.

Gleadell Street Design Idea 1 (Attachment Two)

39. This option proposes a major streetscape transformation into a public space, creating a pedestrian friendly and walkable environment for all users, a space that could be used for events, recreation and temporary activation such as removable furniture elements to allow for market operation. In this option, the key outcomes include:
- (a) linear public space with high quality surface materials;
 - (b) shared zone for pedestrians and bicycle users, improved safety;
 - (c) one way north to south between Highett and Neuma Church car park. Two way from Bridge Road to Neuma Church car park allowing access to properties and emergency access;
 - (d) parallel parking spaces (including drop-off/pick-up, DDA parking and loading);
 - (e) temporary traffic control measures for Gleadell Street Market and other closures;
 - (f) extensive street tree planting utilising 'structural cells' (in the ground) to maximise canopy cover and address issues of climate change;
 - (g) major infrastructure upgrades including lighting and the undergrounding of power;
 - (h) potential to integrate and expand the park interface into the street; and
 - (i) trade-off in major loss of parking and high implementation costs (*estimated reduction of approximately 90 car parks and cost estimate of construction at \$9.5million*).

Gleadell Street Design Idea 2 (Attachment Three)

40. With this option, streetscape improvement would create a wide pedestrian friendly link to Citizens Park, with opportunity for street furniture and potential for events and temporary activation such as removable furniture elements to allow for market operation. The key outcomes would include:
- (a) maintain two way between Highett Street and Bridge Road;
 - (b) parallel parking spaces (including drop-off/pick-up, DDA parking and loading);
 - (c) speed reduction, improved bicycle environment;
 - (d) raised pedestrian thresholds for priority crossings at intersections;
 - (e) widening of footpath outside the Recreation Centre;
 - (f) extensive street tree planting to address issues of climate change;
 - (g) minor infrastructure upgrades including lighting;
 - (h) potential to integrate and expand park interface into street; and
 - (i) trade-off in medium loss of parking and medium implementation costs (*estimated reduction of approximately 65 car parks and cost estimate of construction at \$2.7million*).

Griffiths Street Design Idea 3 (Attachment Four)

41. In this option, streetscape improvement would create a pedestrian friendly environment, with improved bicycle infrastructure to key institutions. The southern portion would be maintained as parking priority. The key outcomes would include:
- (a) one way between Highett Street and Palmer Street with parallel parking on both sides;
 - (b) two way between Palmer St and Bridge Road, with parallel and angle parking;
 - (c) raised pedestrian thresholds for priority crossings at main intersections;

- (d) extensive street tree planting to address issues of climate change;
- (e) minor infrastructure upgrades including lighting;
- (f) safe bicycle connection between Highett Street and Palmer Street, linking to strategic cycling network; and
- (g) trade-off in medium loss of parking and medium implementation costs (*estimated reduction of approximately 50 car parks and cost estimate of construction at \$1.7million*).

Financial Implications

- 42. Costs associated with undertaking the community consultation would be met through the current 2019/20 budget for this project.
- 43. A capital works bid has been prepared for consideration in 2020/21 to progress the design ideas to concept and detailed design stages. The cost would be dependent on the level of works proposed.

Economic Implications

- 44. If implemented the streetscape improvements would provide high quality environments and improved footpaths, trees and places for people to sit. This would support the vitality of Bridge Road, attract more visitors and encourage people to spend more time in the area, in turn benefitting the local economy.
- 45. Gleadell Street Market would be enhanced with improved streetscape amenities that would assist in increasing the patronage and would be a space that could potentially be used for events (functional requirements for the market such as vehicle access, loading and cleansing would be resolved in the concept and detailed design phase).

Sustainability Implications

- 46. Increased tree canopy cover would assist in the mitigation of the urban heat island effect resulting in cooler streets and contribution to mitigating climate change and create a more pleasant local environment.
- 47. Flood mitigation and permeable surfaces, would contribute to reduce the effect of localised flooding to adjacent buildings and moisture in the ground.
- 48. Wind mitigation, additional trees would reduce wind corridor effects along the streets.

Social Implications

- 49. New and improved public spaces is important with a rapidly growing city, new high density residential developments, the various abutting land uses and the Richmond High School building towards its full capacity.

Human Rights Implications

- 50. There are no identified human rights implications from the proposed project.
- 51. Universal design principles would be underpinning the future design of the streetscape to ensure best practice design is implemented for persons of all movement abilities.

Communications with CALD Communities Implications

- 52. During the consultation phase, Council's website and all information distributed within the community would provide contact numbers for interpreter services for the CALD community seeking information/clarification.

Council Plan, Strategy and Policy Implications

- 53. The project is an initiative drawn from the adopted *Urban Design Framework* (2007) (UDF), the *Bridge Road Streetscape Master Plan* (2017) and place making principles.
- 54. A key outcome from the Master Plan is; *"Place making to establish a civic hub along Gleadell Street to support community and institutional uses"*.

55. It is also noted that other feedback and community concerns from the public consultation on the Master Plan also indicates different objectives such as:
 - (a) *“Positive feedback on key recommendations relating to street greening and creation of pause points”;*
 - (b) *‘Access and connection objectives should have a focus on improving universal access’;* and
 - (c) *‘Concerns regarding the loss of car parking’.*
56. The project also aligns with the overarching *Council Plan* (2017-2021) that supports the following strategy points:
 - 5.1: *“Maintain and strengthen the vibrancy and local identity of retail and commercial precincts”.* It also supports the following strategies:
 - 2.1 *“Build resilience by providing opportunities and places for people to meet, be involved in and connect with their community”* and
 - 2.4 *“Acknowledge and celebrate our diversity and people from all cultural backgrounds”.*
57. The project is consistent with the *Yarra Urban Design Strategy* (2011) which advocates for a quality public realm in Yarra, universal access, social interaction and walkability.
58. The project also aligns with the *Urban Forest Strategy* (2017), to increase tree canopy cover to mitigate the urban heat island effect and help to further enhance Yarra's liveability. It also is consistent with the draft *Climate Emergency Plan*.
59. The project would also incorporate green infrastructure elements such as WSUD principles where possible, in line with the *Embedding Green Infrastructure Best Practice Toolkit*. This would assist in mitigating climate change and the project would also strive to be a flagship project within Yarra to set the precedence for future planning applications and private sector developments.

Legal Implications

60. No legal implications are identified.

Other Issues

61. The design ideas presented for Gleadell Street show two quite different design outcomes for the street while the idea presented for Griffiths Street is considered the most cost effective and practical option.
62. The design ideas can be reconfigured following consultation and combined with higher or lesser change to the current streetscape function which currently primarily operates as traffic flow and linear car parks.
63. Improvements along the full length of Gleadell Street should be considered while the southern section of Griffiths Street could have less intervention and still maintain its main current function including on street carparking.
64. Potential staging of works could minimise disruption and ensure ongoing operation of key facilities and uses.
65. The Richmond Quarter (former Coles Plaza) redevelopment (including Coles car park) is anticipated to be operating by 2021.

Conclusion

66. Gleadell and Griffiths Streets have been identified as streets that would vastly benefit from significant streetscape upgrades in a place making sense, with designs that can also address issues of climate change through canopy tree plantings.
67. Considerable feasibility and research has been undertaken and some design ideas for these streets have been developed to stimulate and encourage community discussion.

68. Undertaking community engagement in late March/April 2020 would determine what the wider community see as the future options and desired outcomes for the two streets. Following this feedback, internal development and refinement of the design ideas would progress. Further public consultation on the concept designs would occur at a later date.
69. A capital works funding bid has been prepared for consideration in 2020/21 for concept and detailed design work for both of these streets.

RECOMMENDATION

1. That Council;
 - (a) note the previous strategic work that has identified desirable improvements to Gleadell and Griffith Streets, including The Richmond Town Hall Urban Design Framework and the Bridge Road Streetscape Masterplan;
 - (b) note the officer report regarding the design ideas and community engagement proposal for improvements to Gleadell Street and Griffiths Street;
 - (c) note that background research and consultation has been used in preparing the design ideas for Gleadell Street and Griffith Street;
 - (d) note the progress of the Gleadell and Griffith Streets work to date;
 - (e) note the site extent of the project; and
 - (f) authorise the design ideas to go to the first stage of a community engagement process in late March /April 2020 to obtain feedback from the community and stakeholders on the ideas for the two streets.
2. That following the community consultation, officers consider the feedback as appropriate would be used to develop functional layout design concepts and present back to Council for consideration.

CONTACT OFFICER: Christian Lundh
TITLE: Landscape and Urban Designer
TEL: 9205 5736

Attachments

- 1 [↓](#) Engagement Plan
- 2 [↓](#) Gleadell Street - Design Idea 01
- 3 [↓](#) Gleadell Street - Design Idea 02
- 4 [↓](#) Griffiths Street - Design Idea 03

Attachment 1 - Engagement Plan

ATTACHMENT 1

Engagement Plan



Project name	Gleadell Street and Griffiths Street Streetscape Upgrades
Timing	March to April 2020
Level of engagement	Consult / Involve

Overview

Purpose of engagement

- The purpose of this engagement is to understand the community's aspirations, preferences and priorities in relation to potential streetscape upgrades to Gleadell Street and Griffiths Street in Richmond.

Project background

- The engagement builds on the work undertaken on the Bridge Road Streetscape Masterplan in 2017.
- The Streetscape Masterplan provides a long-term strategic vision for Bridge Road's public spaces. This includes enhancing the streetscape on both Gleadell and Griffiths streets.

Project timelines

- Tuesday 17 March 2020 – Council Meeting
- March to April – Stage 2 open for engagement
- April 2020 – share engagement results and next steps
- Mid-2020 – develop draft Concept Design
- Mid-to-late 2020 – Stage 3 open for engagement
- Late-2020 – detailed design and tender documentation prepared
- Pending 2021/22 Council Budget and planning processes – out for tender and construction

Attachment 1 - Engagement Plan

ATTACHMENT 1

Engagement objectives

- Communications are effective and encourage engagement with residents, businesses, community organisations and service providers, and other stakeholders identified as interested, or impacted by changes to Gleadell Street and Griffiths Street.
- Engagement methods allow participants to identify challenges, opportunities and priorities and aspirations for Gleadell Street and Griffiths Street.
- Participants understand how their input will inform a draft Concept Design for Gleadell Street and Griffiths Street.
- Participants are informed of the project scope and negotiables and non-negotiables for the project.
- Participants are aware of the project stages and timelines and are kept informed of next steps.
- Participants are informed at all stages of how their input has influenced future streetscape planning of Gleadell Street and Griffiths Street.

Stakeholder analysis

Stakeholder	Potential interests and motivations	How we'll engage with you
1000 Blessings	<ul style="list-style-type: none"> • Car parking • Activations / events / markets 	<ul style="list-style-type: none"> • Postcard drop • Direct engagement • Email • Online survey
Australia Post	<ul style="list-style-type: none"> • Car parking • Bike parking 	<ul style="list-style-type: none"> • Postcard drop • Direct engagement • Email
Barbeques Galore	<ul style="list-style-type: none"> • General amenity 	<ul style="list-style-type: none"> • Postcard drop • Direct engagement • Email • Online survey
Bridge Church	<ul style="list-style-type: none"> • Footpath trading • Car parking • Pedestrian amenity 	<ul style="list-style-type: none"> • Postcard drop • Direct engagement • Email • Online survey
Bridge Road Traders Association (BRTA)	<ul style="list-style-type: none"> • General amenity • Footpath trading • Pedestrian amenity 	<ul style="list-style-type: none"> • Postcard drop • Direct engagement • Email • Online survey

Attachment 1 - Engagement Plan

ATTACHMENT 1

Stakeholder	Potential interests and motivations	How we'll engage with you
Yarra's CALD communities	<ul style="list-style-type: none"> Various 	<ul style="list-style-type: none"> Translated materials will be readily available on request Via Council's advisory committees Email / direct engagement with relevant community groups and organisations
Gleadell Street Market operators and visitors	<ul style="list-style-type: none"> Events / activations Market operation Landscaping Pedestrian amenity 	<ul style="list-style-type: none"> In-person pop-up opportunity Email Direct engagement
Jaques Body Corporate	<ul style="list-style-type: none"> Public realm / landscaping Car parking for servicing Pedestrian amenity 	<ul style="list-style-type: none"> Postcard drop Direct engagement Email Online survey
Jaques Businesses	<ul style="list-style-type: none"> General amenity 	<ul style="list-style-type: none"> Postcard drop Direct engagement Email Online survey
Leo Berry's Gym	<ul style="list-style-type: none"> Bike parking 	<ul style="list-style-type: none"> Postcard drop Direct engagement Email Online survey
Let's Enhance Gleadell Street (LEGS)	<ul style="list-style-type: none"> Strong interest in advocacy for upgrades Has a joint project with University of Melbourne to develop 'concepts' for Gleadell Street Public realm / landscaping Car parking 	<ul style="list-style-type: none"> Direct engagement Email Online survey
Lynall Hall School	<ul style="list-style-type: none"> Landscaping Car parking Pedestrian amenity 	<ul style="list-style-type: none"> Postcard drop Direct engagement Email Online survey
NAB	<ul style="list-style-type: none"> Bike parking 	<ul style="list-style-type: none"> Postcard drop Direct engagement

Attachment 1 - Engagement Plan

ATTACHMENT 1

Stakeholder	Potential interests and motivations	How we'll engage with you
		<ul style="list-style-type: none"> Email Online survey
Relevant Yarra Council interest groups and advisory committees (e.g. heritage committee, Aboriginal and Torres Strait Islander committees etc.)	<ul style="list-style-type: none"> Various 	<ul style="list-style-type: none"> Direct engagement Email
Residents	<ul style="list-style-type: none"> Car parking General amenity Landscaping Events / activations 	<ul style="list-style-type: none"> Social media posts Yarra Life emails Yarra News Corporate website Postcards at Town Hall Online survey
Richmond Harriers Athletic Club	<ul style="list-style-type: none"> Bike parking Car parking Access to tram stops 	<ul style="list-style-type: none"> Postcard drop Direct engagement Email Online survey
Richmond High School	<ul style="list-style-type: none"> General amenity Lighting / security / safety Landscaping Staff car parking Pedestrian amenity and safety 	<ul style="list-style-type: none"> Postcard drop Direct engagement Email Online survey
Richmond Multicultural Children's Centre	<ul style="list-style-type: none"> General amenity and safety Landscaping Staff car parking 	<ul style="list-style-type: none"> Postcard drop Direct engagement Email Online survey
Richmond Union Bowls Club	<ul style="list-style-type: none"> General amenity 	<ul style="list-style-type: none"> Postcard drop Direct engagement Email Online survey
Richmond Union Cricket Club	<ul style="list-style-type: none"> Car parking Lighting Pedestrian amenity 	<ul style="list-style-type: none"> Postcard drop Direct engagement Email Online survey

Attachment 1 - Engagement Plan

ATTACHMENT 1

Stakeholder	Potential interests and motivations	How we'll engage with you
Royal Flying Doctors	<ul style="list-style-type: none"> • Car parking 	<ul style="list-style-type: none"> • Postcard drop • Direct engagement • Email • Online survey
Workers and visitors (including users of different transport modes)	<ul style="list-style-type: none"> • Pedestrian amenity • Car parking 	<ul style="list-style-type: none"> • Social media posts • Yarra Life emails • Yarra News • Corporate website • Online survey
Yarra Energy Foundation	<ul style="list-style-type: none"> • General amenity • Lighting / security 	<ul style="list-style-type: none"> • Postcard drop • Direct engagement • Email • Online survey

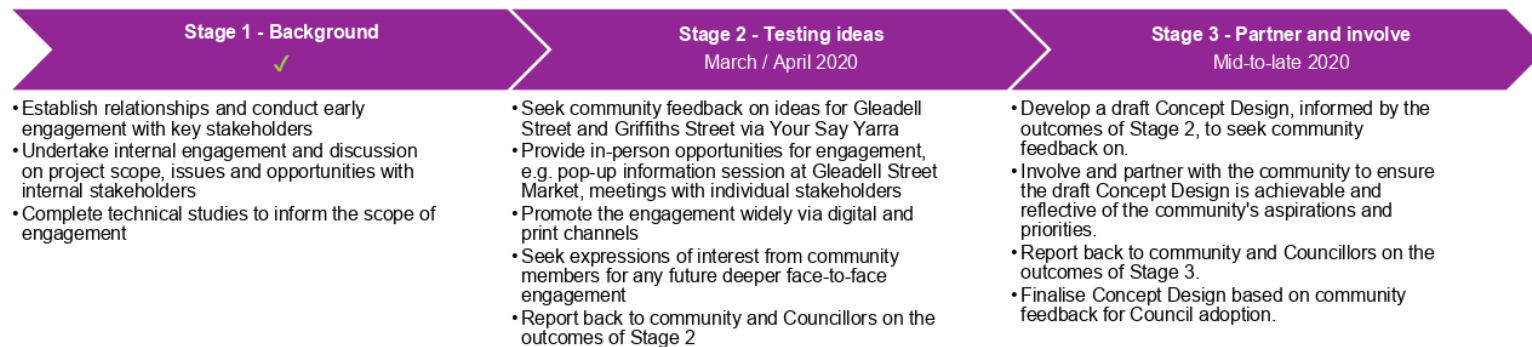
Attachment 1 - Engagement Plan

ATTACHMENT 1

Engagement plan

A three-stage engagement process is proposed to ensure that Yarra's community has a genuine opportunity to shape and input to Council's plans to enhance Gleadell Street and Griffiths Street.

Feedback will be primarily sought via Council's Your Say Yarra site and face-to-face opportunities. Hard copy and translated surveys will be made available upon request. Community members will also be able to share feedback via email or post if preferred.



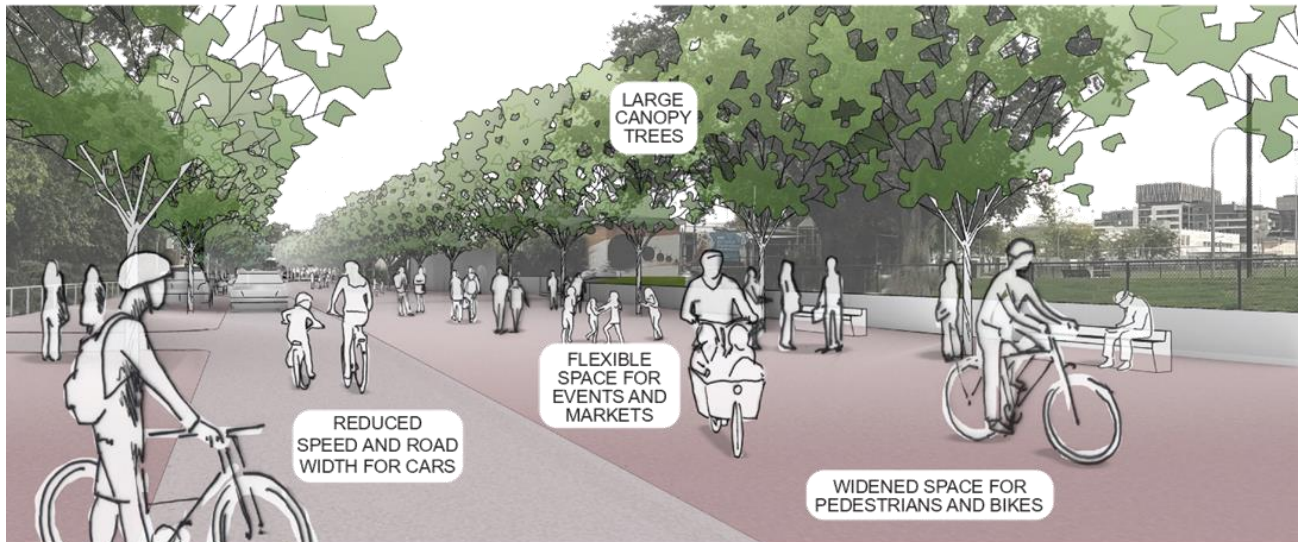
Communications tools

To ensure that the identified stakeholders are aware of the opportunity to contribute to the project, we'll be using Yarra's wide range of communications channels to get our messages across. These channels include, but may not be limited to:

- Your Say Yarra website
- City of Yarra website
- Face-to-face engagement
- Social media
- Yarra News articles
- Yarra Life articles
- Direct email
- Postcards / flyers
- On-site information boards
- Digital screens

Attachment 2 - Gleadell Street - Design Idea 01

ATTACHMENT 2 - GLEADELL STREET - DESIGN IDEA 01



GLEADELL STREET DESIGN IDEA 01 - VIEW TOWARDS BRIDGE ROAD - ARTIST IMPRESSION
Emergent Studios 2020

This option proposes a major streetscape transformation into a pedestrian and bicycle friendly, tree lined public space. A space will have a flexible layout with level surface, allowing for markets, events and temporary activation.

In this option, the key outcomes include:

- Priority for pedestrians and bicycles, reduced space for cars.
- Shared zone for pedestrians and bicycles, improved safety.
- One way vehicle traffic north to south between Highett and Neuma Church car park.
- Two way vehicle traffic from Bridge Road to Neuma Church car park, allowing for emergency and property access.
- Universal Design principles will be used in the design, ensuring people with different mobilities skills can access and move along the street freely.
- East / West laneway does not allow for through traffic.
- Decrease in parking spaces. Only parallel parking spaces (including drop-off/pick-up, DDA parking and loading zones).
- Extensive street tree planting utilising 'structural cells' to maximise canopy cover and address climate change.
- High quality surface materials, level surface across the street.
- Major infrastructure upgrades including lighting and the undergrounding of power.



EXISTING VIEW TOWARDS BRIDGE ROAD
Emergent Studios 2020

KEY ATTRIBUTES

IMPROVED AMENITIES FOR PEDESTRIANS



IMPROVED AMENITIES FOR BICYCLE USERS



IMPROVED STREETSCAPE CHARACTER AND TREE CANOPY COVER



LEVEL OF CHANGE

Rating based on estimated impacts to pedestrian and bicycle safety / movement / access, new trees and greenery and vehicle movements in the precinct.



COST IMPLICATIONS

Cost estimate is indicative only.

Costing include items such as major upgrades to drainage, services and undergrounding of power, high quality paving materials, furniture and new street lighting.

Investment in growing media and 'structural cells' to maximise tree growth and canopy cover.

\$\$\$ \$ VERY HIGH \$9.5 MILLION ESTIMATE

CAR PARKING

Indicative overall number.

Proposed car parking spaces prioritised for disabled users, short term stay, pick up / drop off and loading zones. 2 hour parking prioritised along Griffith Street.

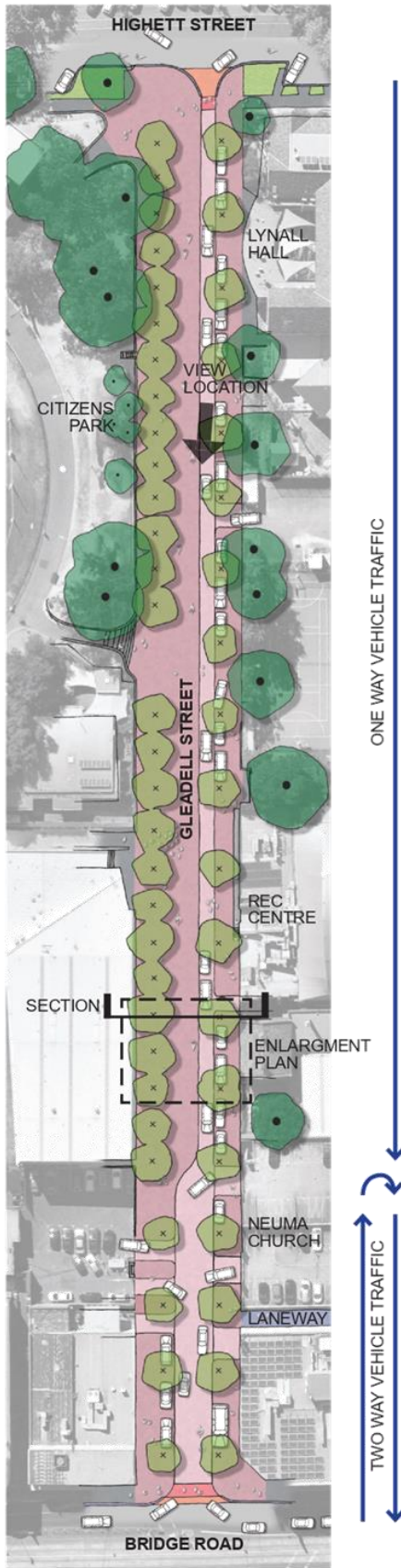
PROPOSED 20 EXISTING 110



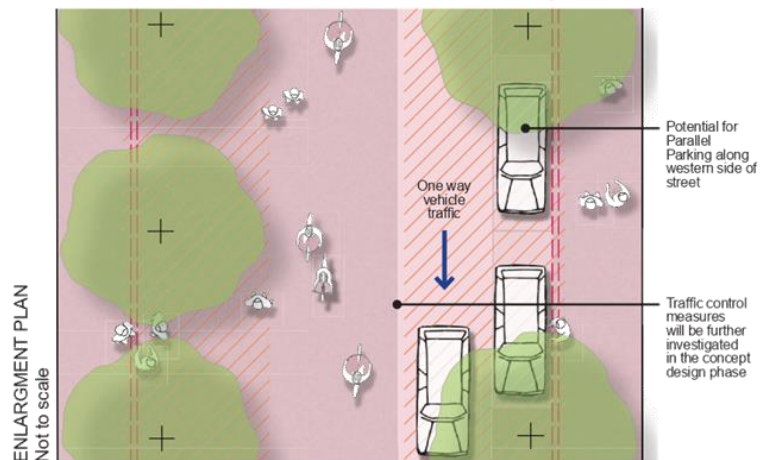
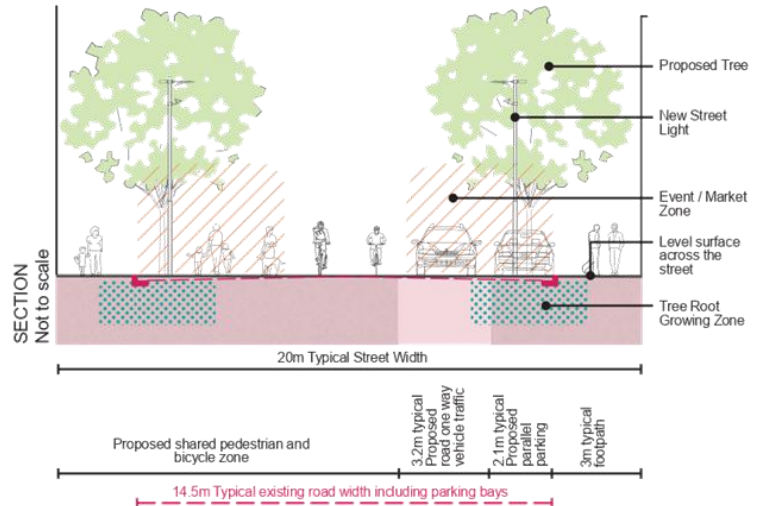
TRADE OFF -90

Attachment 2 - Gleadell Street - Design Idea 01

ATTACHMENT 2 - GLEADELL STREET - DESIGN IDEA 01



IDEA PLAN NOT TO SCALE
(Aerial base nearmaps.com)



LEGEND

- EXISTING TREE
- PROPOSED STREET TREE
Species to be confirmed
- PROPOSED FOOTPATH / PEDESTRIAN ZONE
Upgraded and/or extended zone
- PROPOSED VEHICLE ZONE/ROAD, PARKING,
DRIVEWAY AND VEHICLE CROSSOVER
- PROPOSED PEDESTRIAN PRIORITY
CROSSING
- EXISTING ROAD
- EXISTING FOOTPATH / PEDESTRIAN ZONE
- EAST WEST LANEWAY
- PROPOSED LANDSCAPED OUTSTAND/NATURESTRIP
Planting, lawn or other treatment to be confirmed
- ZONE WITH OPPORTUNITY FOR EVENTS,
MARKET AND TEMPORARY ACTIVATION
- TREE ROOT GROWING ZONE
Sub-surface zone for tree growing media and 'structural
cells' to maximise tree growth and canopy cover
- EXISTING CONDITIONS
Indicative alignment of existing kerbs

DISCLAIMER

- Colours are only for descriptive purposes only and do not represent actual materials or colours.
- Views, plans and sections are illustrative only, describing a high level idea for potential changes to the functions of the street.
- Design details including but not limited to items such as; traffic turning circles, parking bays, drainage/WSUD opportunities, paving materials, street furniture, landscaping and will be further investigated in the concept design phase.

REDUCED SPEED AND ROAD WIDTH FOR CARS

LARGE CANOPY TREES

PARALLEL PARKING FOR IMPROVED SAFETY FOR BICYCLES

WIDENED FOOTPATH FOR PEDESTRIANS



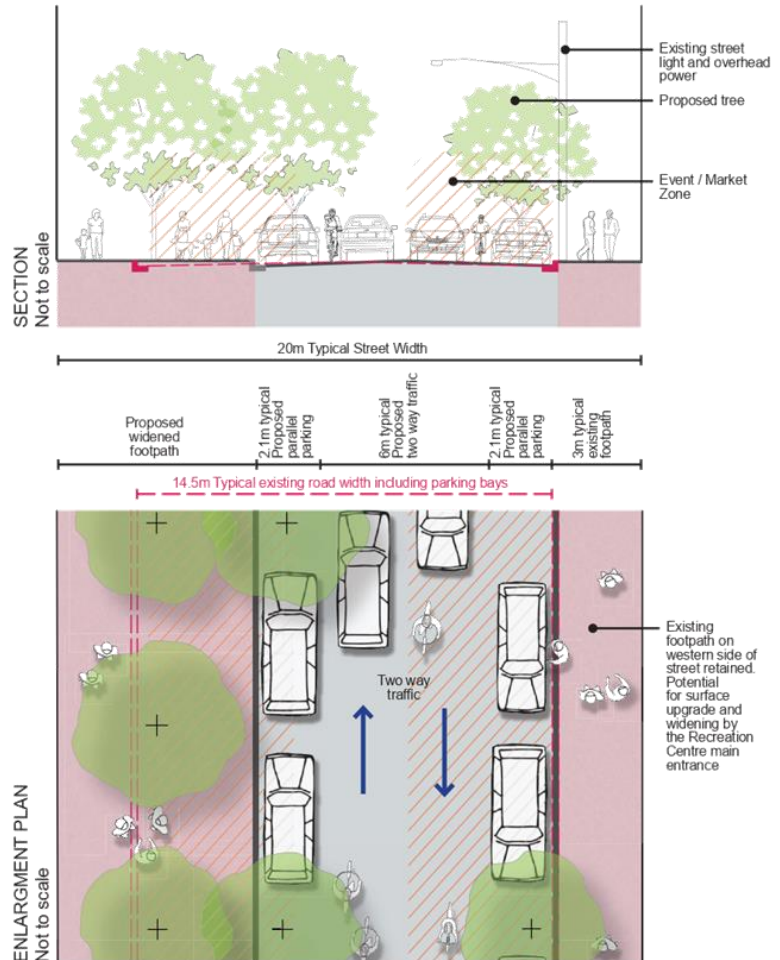
Yarra City Council – Ordinary Meeting of Council Agenda – Tuesday 17 March 2020

Attachment 3 - Gleadell Street - Design Idea 02

ATTACHMENT 3 - GLEADELL STREET - DESIGN IDEA 02



IDEA PLAN NOT TO SCALE
(Aerial base nearmaps.com)



LEGEND

- EXISTING TREE
- PROPOSED STREET TREE
Species to be confirmed
- PROPOSED FOOTPATH / PEDESTRIAN ZONE
Upgraded and/or extended zone
- PROPOSED PEDESTRIAN PRIORITY CROSSING
- VEHICLE ZONE/ROAD, PARKING, DRIVEWAY AND VEHICLE CROSSOVER
- EXISTING FOOTPATH / PEDESTRIAN ZONE
- EAST WEST LANEWAY
- PROPOSED LANDSCAPED OUTSTAND/NATURESTRIP
Planting, lawn or other treatment to be confirmed
- ZONE WITH OPPORTUNITY FOR EVENTS, MARKET AND TEMPORARY ACTIVATION
- EXISTING CONDITIONS
Indicative alignment of existing kerbs

DISCLAIMER

- Colours are only for descriptive purposes only and do not represent actual materials or colours.
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- Design details including but not limited to items such as: traffic turning circles, parking bays, drainage/ WSUD opportunities, paving materials, street furniture, landscaping and will be further investigated in the concept design phase.

Attachment 4 - Griffiths Street - Design Idea 03

ATTACHMENT 4 - GRIFFITHS STREET - DESIGN IDEA 03



GRIFFITHS STREET DESIGN IDEA 03 - VIEW TOWARDS BRIDGE ROAD - ARTIST IMPRESSION
Emergent Studios 2020

This option proposes medium level of transformation of the streetscape. One way traffic between Highett Street and Palmer Street allowing for a separate counterflow bike path and kerb outstand by the high school, extensive tree planting and pedestrian priority crossings.

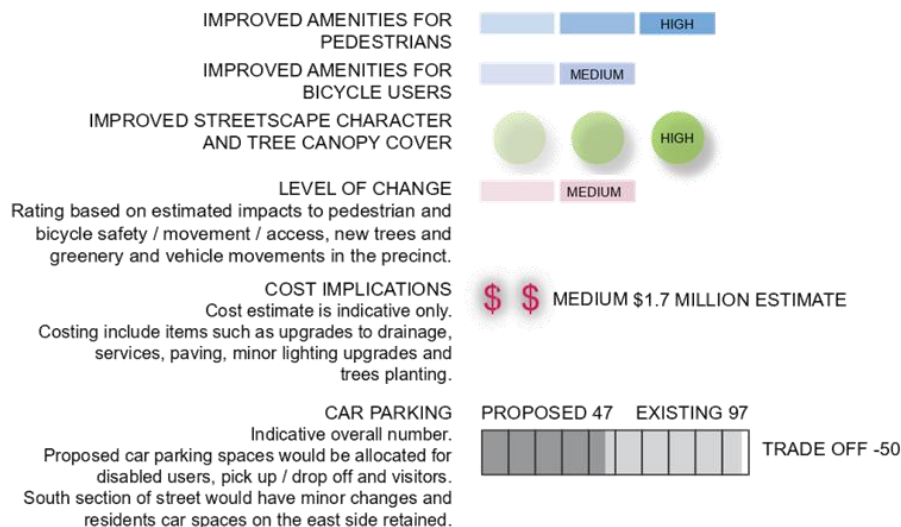
In this option, the key outcomes include:

- Priority for pedestrians and bicycles, reduced space for cars.
- Pedestrian priority crossings at main intersections.
- Separated counterflow bike path between Highett Street and Palmer Street, linking to strategic cycling network.
- One way vehicle traffic between Highett Street and Palmer Street with parallel parking on both sides.
- Two way vehicle traffic between Palmer St and Bridge Road, with parallel and angle parking.
- South section of street retains its main function as a car park with inter-planted with trees.
- Universal Design principles will be used in the design, ensuring people with different mobilities skills can access and move along the street freely.
- Extensive street tree planting to increase canopy cover and address climate change.



EXISTING VIEW TOWARDS BRIDGE ROAD
Emergent Studios 2020

KEY ATTRIBUTES



Attachment 4 - Griffiths Street - Design Idea 03

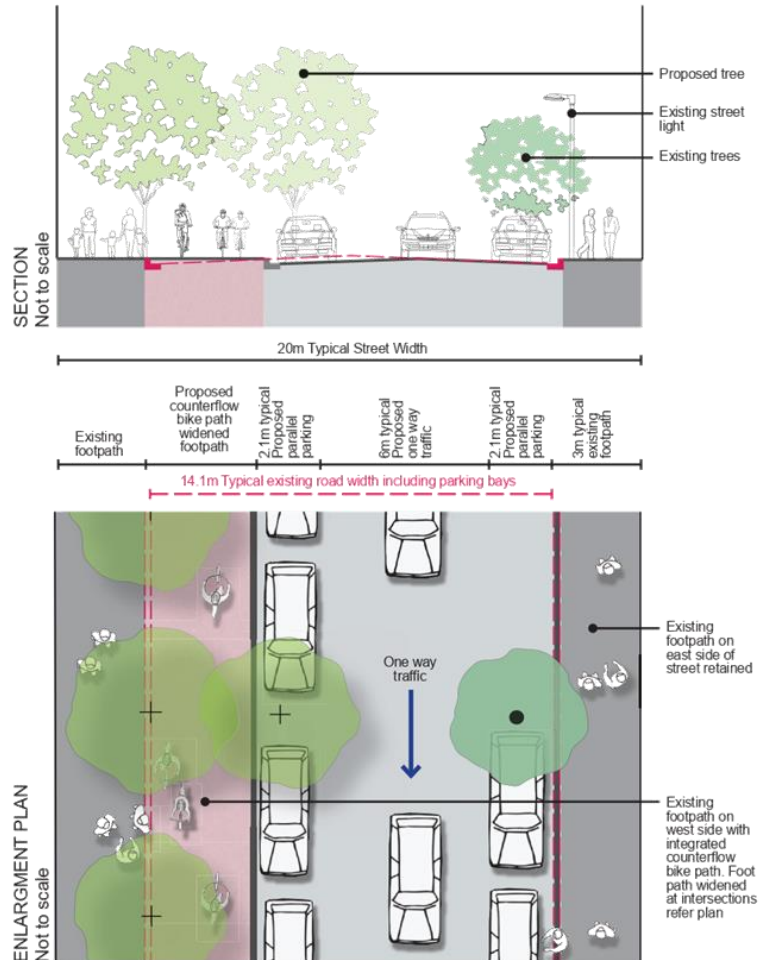
ATTACHMENT 4 - GRIFFITHS STREET - DESIGN IDEA 03



IDEA PLAN NOT TO SCALE
(Aerial base nearmaps.com)

ONE WAY VEHICLE TRAFFIC

TWO WAY VEHICLE TRAFFIC



LEGEND

- EXISTING TREE
- PROPOSED STREET TREE
Species to be confirmed
- PROPOSED PEDESTRIAN ZONE
Upgraded and/or extended zone
- PROPOSED PEDESTRIAN PRIORITY CROSSING
- VEHICLE ZONE/ROAD, PARKING, DRIVEWAY AND VEHICLE CROSSOVER
- EXISTING FOOTPATH / PEDESTRIAN ZONE
- EAST WEST LANEWAY
- PROPOSED LANDSCAPED OUTSTAND/NATURESTRIP
Planting, lawn or other treatment to be confirmed
- EXISTING CONDITIONS
Indicative alignment of existing kerbs

DISCLAIMER

- Colours are only for descriptive purposes only and do not represent actual materials or colours.
- Views, plans and sections are illustrative only, describing a high level idea for potential changes to the functions of the street.
- Design details including but not limited to items such as; traffic turning circles, parking bays, drainage/ WSUD opportunities, paving materials, street furniture, landscaping and will be further investigated in the concept design phase.

11.5 Proposed Discontinuance of Roads abutting 53-77 Burnley Street, Richmond.

Reference: D20/29033

Authoriser: Director Corporate, Business and Finance

Purpose

1. This report seeks Council's authority to remove the roads abutting 53-77 Burnley Street, Richmond (Roads) from Council's Register of Public Roads pursuant to section 17(4) of the *Road Management Act 2004* (RMA) and commence statutory procedures pursuant to the *Local Government Act 1989* (Act), to consider discontinuing the Roads.

Background

2. The Roads are comprised of the whole of the land contained in Conveyance Book 227 No. 672 and shown as lot 1 on the title plan attached as **Attachment One** to this report (Burnley Street Road) and shown as the area highlighted purple on the plan attached as **Attachment Two** to this report (Site Plan) and part of the land contained in certificate of title volume 9214 folio 439 and shown as lot 1 on the title plan attached as **Attachment Three** to this report (Doonside Street Road) and shown as the area highlighted red on the Site Plan.
3. Vicinity Manager Pty Ltd (Owner) is the registered proprietor of all the properties which abut the Roads, shown delineated blue on the Site Plan, and being, 620 Victoria Street, 53 Burnley Street, 61 Burnley Street, 65 Burnley Street, 67 Burnley Street, 77-79 Burnley Street, and 1-9 Doonside Street, together the (Owner's Properties).
4. The ownership structure of the Owner is as follows:
 - (a) the Owner is the trustee of the Victoria Gardens Retail Trust;
 - (b) the unitholders (in equal shares) are the Victoria Gardens Trust No. 1 and the Victoria Gardens Trust No. 2;
 - (c) both the Victoria Gardens Trust No.1 and the Victoria Gardens Trust No. 2 are held equally by Vicinity Centres Trust and the Victoria Gardens Property Trust;
 - (d) Vicinity Centres Trust is part of the publicly listed Vicinity limited; and
 - (e) the sole beneficiary of the Victoria Gardens Property Trust is Taras Nomines Pty Ltd, which is ultimately owned by Salvatore (Sam) John Tarascio.
5. The Owner has requested that Council discontinue the Roads and sell the Roads to the Owner (Proposal).
6. The Owner has agreed to pay Council's costs and disbursements associated with proposed discontinuance of the Roads, together with the market value of the roads, as determined by the Act, for the transfer of the discontinued Roads to the Owner.

Road Status

7. The Burnley Street Road is:
 - (a) known to title as a 'road' and is registered in the name of John Cornish dated 14 March 1873.
 - (b) constructed of concrete;
 - (c) partially obstructed by a chain; and
 - (d) listed on Council's register of Public Roads.
8. The Doonside Street Road is:
 - (a) known to title as a 'road' and is registered in the name of Finklands Nominees Pty Ltd dated 31 March 1981;

- (b) constructed in bitumen and gravel;
 - (c) partially obstructed by a gate approximately 35 metres from its entrance at Doonside Street; and
 - (d) listed on Council's register of Public Roads.
9. The Roads are 'roads' for the purposes of the Act. Council has the power to consider discontinuing the Roads. If discontinued the Roads will vest in Council.
 10. A copy of the original subdivision showing the Roads is attached as **Attachment Four** to this report.
 11. Site Inspections of the Roads were conducted by Veris Australia Pty Ltd on 10 December 2019.

Site Inspection

12. The site inspection report for the Burnley Street Road notes that:
 - (a) the Burnley Street Road is constructed in concrete;
 - (b) access to the Burnley Street Road from Burnley Street is obstructed by a metal chain across the entrance to the Burnley Street Road; and
 - (c) the Burnley Street Road only provides access to the Owner's Property at 53 Burnley Street.
13. The site inspection report for the Doonside Street Road notes that:
 - (a) the Doonside Street Road is constructed in bitumen and gravel;
 - (b) access to the Doonside Street, Road from Doonside Street is obstructed by a gate approximately 35 metres from the entrance to the Doonside Street road.
 - (c) the Doonside Street, Road only provides access to 53, 61, 65, 67 and 77-79 Burnley Street; and
 - (d) the Doonside Street, Road is not required for public use on the basis that the Owner owns all adjoining properties.
14. Copies of the site inspection reports are attached as **Attachments Five and Six** to this report.

Removal of Roads from Council's Register of Public Roads

15. It is considered that the Burnley Street, Road is no longer reasonably required for general public use pursuant to section 17(4) of the RMA as the Burnley Street, Road:
 - (a) only provides access to the rear of the Owner's Property at 53 Burnley Street;
 - (b) is not available for vehicular access by the public due to a chain obstructing its entrance from Burnley Street;
 - (c) is a dead end and does not provide any public access to any other public road as a thoroughfare.
16. It is considered that the Doonside Street, Road is no longer reasonably required for general public use pursuant to section 17(4) of the RMA as the Doonside Street, Road:
 - (a) only provides access to the Owner's Properties at 1-9 Doonside Street and 53, 61, 65, 67 and 77-79 Burnley Street; and
 - (b) does not provide public access to any other public road as a thoroughfare as the Doonside Street, Road is obstructed by a gate approximately 35 metres from its entrance.

Adjoining Owners

17. There are no Adjoining Owners as the Owner is the owner of all properties abutting the Roads.

Statutory/Public Authorities

18. The following Statutory/Public Authorities have been advised of the Proposal and have been asked to respond to the question of whether they have any existing assets in the Roads which should be saved under section 207C of the Act: City West Water, Melbourne Water, CitiPower, United Energy, Multinet Gas, Telstra, Optus, APA Gas, AusNet Services; and Yarra City Council.
19. Council, Ausnet Services, Melbourne Water, CitiPower, United Energy, Multinet Gas and Optus have advised that they have no assets in or above the Roads and no objection to the Proposal.
20. APA Gas responded on three occasions, firstly they advised that it objected to the discontinuance and sale of the Doonside Street, Road only, on the basis that it has gas main infrastructure located within the Road, APA Gas then advised that it no longer objected to the proposal provided that an easement was created in its favour on the title plan for the Doonside Street Road. Finally, APA Gas advised that the gas infrastructure located within the Doonside Street, Road had been abandoned and that it no longer requires an easement.
21. City West Water advised that it has sewer assets in both Roads. However, did not object to the Proposal subject to the following conditions:
 - (a) a 2 metre wide sewerage easement is created over the sewer main located in the Roads in favour of City West Water;
 - (b) any proposed fences must be located a minimum distance of 800mm clear of the centreline of the existing sewer mains;
 - (c) any proposed fence lines must be located a minimum of 1 metre from sewer manholes and/or inspection shafts; and
 - (d) any proposal to build over City West Water assets requires City West Water's prior written consent.
22. Telstra advised that it has assets located in the vicinity of the Roads, and no objection to the Proposal, provided that the Owner, calls Dial-Before-You-Dig for a detailed site plan to establish the exact location of Telstra assets and pays Telstra's costs for any relocation of Telstra's assets.

Public Notice

23. Before proceeding with the discontinuance, Council must give public notice of the Proposal in accordance with section 223 of the Act. The Act provides that a person may, within 28 days of the date of publication of the public notice, lodge a written submission regarding the Proposal.
24. Where a person has made a written submission to Council requesting that he or she be heard in support of the written submission, Council must permit that person to be heard before a meeting of Council and give a reasonable notice of the day, time and place of the meeting.
25. After hearing any submissions made, Council must determine whether the Roads are not reasonably required as roads for public use, in order to decide whether the Roads should be discontinued.

External Consultation

26. No external consultation is required for this report.

Internal Consultation (One Yarra)

27. No internal consultation is required for this report.

Financial Implications

28. The Owner/Applicant has agreed to acquire the Roads for their market value (plus GST) as determined by the Act.

29. In addition to the market value (plus GST) the Owner/Applicant has agreed to pay Council's costs and disbursements associated with the Proposal.

Economic Implications

30. There are no economic implications arising from this report.

Sustainability Implications

31. There are no sustainability implications arising from this report.

Climate Emergency Implications

32. There are no climate emergency implications arising from this report.

Social Implications

33. There are no social implications arising from this report.

Human Rights Implications

34. There are no human rights issues arising from this report.

Communications with CALD Communities Implications

35. All notices and correspondence issued in respect of this Proposal will contain a reference to *National Relay Service*.

Council Plan, Strategy and Policy Implications

36. There are no Council Plan, Strategy or Policy implications.

Legal Implications

37. There are no legal implications for this report.

Other Issues

38. There are no other issues.

Options

39. There are no options associated with this report

Conclusion

40. It is proposed that Council, pursuant to sect 17(4) of the RMA, commences the process necessary to remove the Roads from Council's Register of Public Roads and also commences the statutory procedures pursuant to clause 3 of Schedule 10 of the Act to discontinue the Roads and transfer the discontinued Roads to the Owner/Applicant.

RECOMMENDATION

1. That Council, acting under section 17(4) of the *Road Management Act 2004*, resolves that the roads abutting 53-77 Burnley Street, Richmond (Roads), being:
 - (a) the whole of the land contained in Conveyance Book 227 No. 672 (shown as the area highlighted purple on the plan attached as **Attachment Two** to this report (Site Plan)); and
 - (b) part of the land contained in certificate of title volume 9214 folio 439 shown as the area highlighted red on the Site Plan.be removed from Council's Register of Public Roads on the basis that the Roads are no longer required for general public use for the reasons set out in the body of the report.
2. That Council, acting under clause 3 of schedule 10 of the Local Government Act 1989:
 - (a) resolves that the required statutory procedures be commenced to discontinue the Roads;

- (b) directs that, under sections 207A and 223 of the Act Public Notice of the proposed discontinuance be given in the Age, The Weekly Review Melbourne Times Newspapers and Council's social media;
- (c) resolves that the public notice required to be given under sections 207A and 223 of the Local Government Act 1989 should state that if the Roads are discontinued, Council proposes to sell the Roads to the adjoining owner for market value; and
- (d) authorises the Valuations Coordinator to undertake the administrative procedures necessary to enable Council to carry out its functions under section 223 of the Local Government Act 1989 in relation to this matter.

CONTACT OFFICER: Bill Graham
TITLE: Coordinator Valuations
TEL: 9205 5270

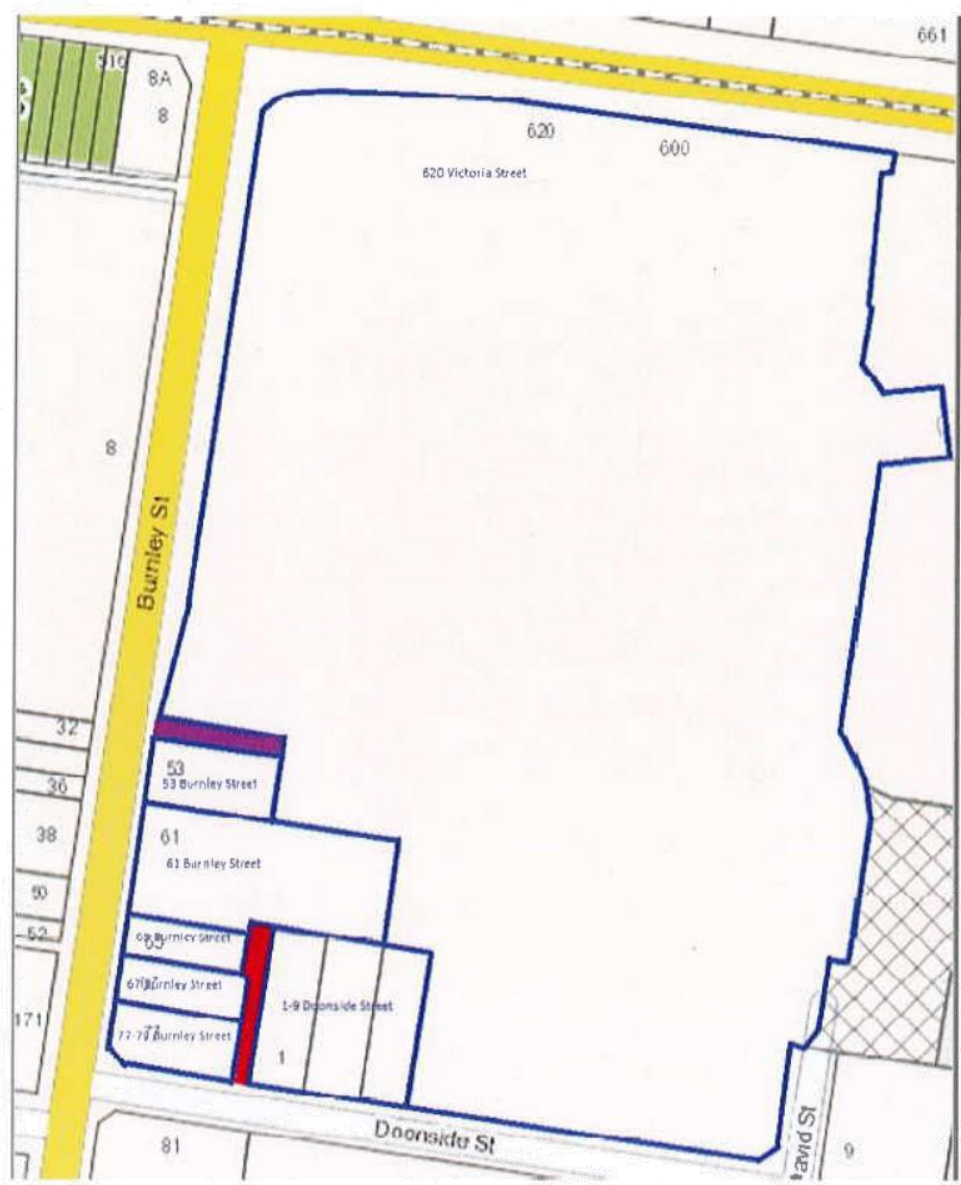
Attachments

- 1 [↓](#) Burnley Street Road
- 2 [↓](#) Site Plan
- 3 [↓](#) Doonside Street Road
- 4 [↓](#) Original Subdivision Plan
- 5 [↓](#) Burnley Street Site Inspection Report
- 6 [↓](#) Doonside Street Site Inspection Report

Attachment 1 - Burnley Street Road

TITLE PLAN		EDITION		TP
LOCATION OF LAND PARISH: JIKA JIKA AT RICHMOND SECTION: - CROWN ALLOTMENT: - CROWN PORTION: 42 part TITLE REFERENCE: BOOK 227 No. 672 (PART) LAST PLAN REFERENCE: APPN 40012 MGA 94 CO-ORDINATES: E 324 810 ZONE: 55 (approx. centre of land in plan) N 5 813 010 DEPTH LIMITATION DOES NOT APPLY		NOTATIONS THIS PLAN HAS BEEN PREPARED BY VERIS FOR LAND VICTORIA FOR TITLE DIAGRAM PURPOSES.		
EASEMENT INFORMATION				
SUBJECT LAND	PURPOSE	WIDTH (metres)	ORIGIN	LAND BENEFITED/IN FAVOUR OF
E-1	AS PROVIDED FOR IN SEC 207C LGA 1989	SEE DIAG	SEC 207C LGA 1989	CITY WEST WATER CORPORATION
DATE 11/12/19 VERSION B		REFERENCE 32197003 DRAWING 3219700AB		LICENSED SURVEYOR ANDREI FIJAN CERTIFICATION BY SURVEYOR
SCALE 1:200 		ORIGINAL SHEET SIZE A3 SHEET 1 OF 1 SHEETS		
Level 3, 1 Southbank Boulevard Southbank, Victoria 3006 03) 7019 8400 www.veris.com.au DEVELOP WITH CONFIDENCE™ <i>Formerly Bosco Jonson</i>				

Attachment 2 - Site Plan



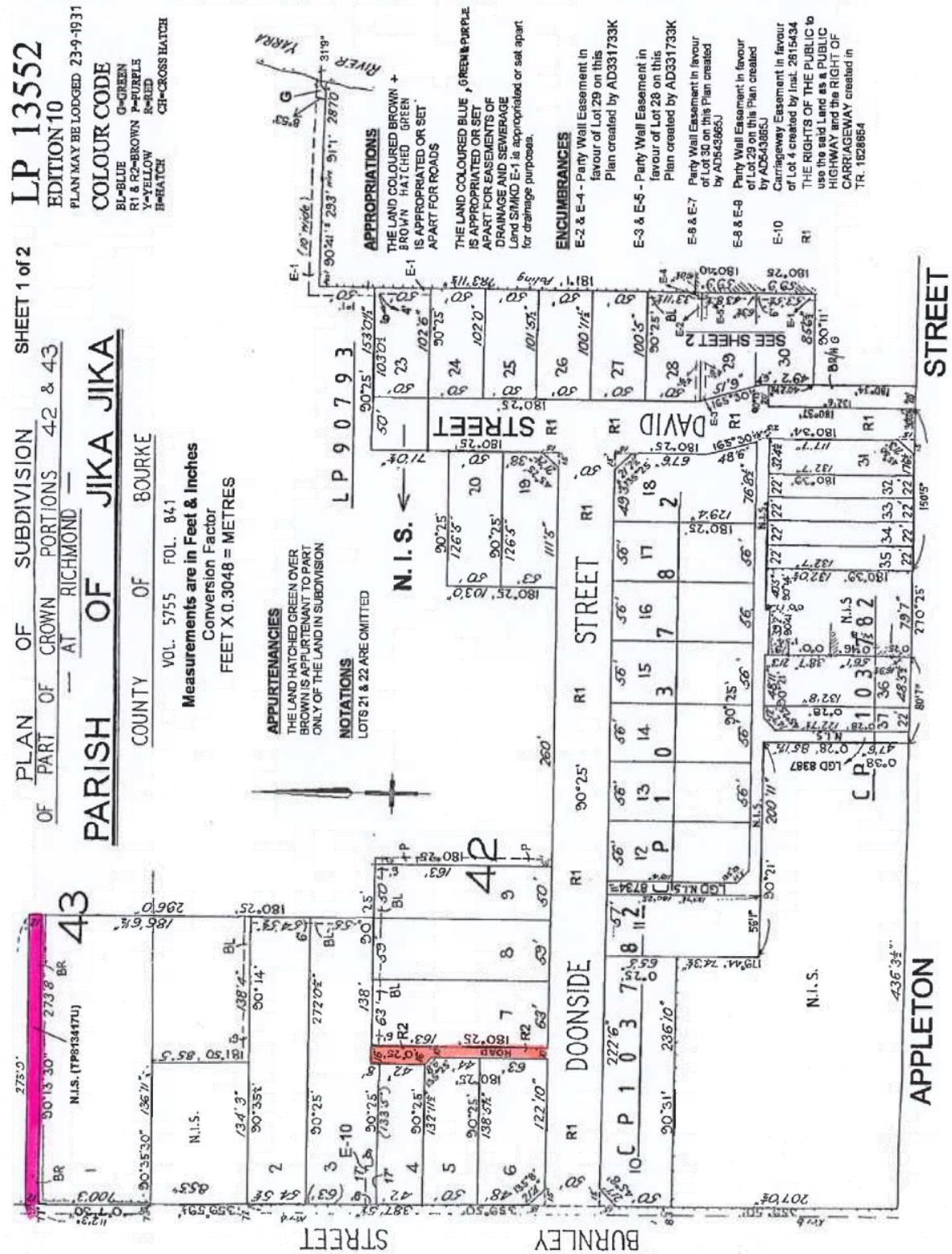
Attachment 3 - Doonside Street Road

TITLE PLAN		EDITION		TP	
Location of Land Parish: JIKA JIKA AT RICHMOND Section: - Crown Allotment: - Crown Portion: 42 PART Last Plan Reference: LOT R2 ON LP 13552 Title Reference: MGA 94 Co-ordinates E 324 900 Zone: 55 (of approx. centre of land in plan) N 5 812 950 Depth Limitation: DOES NOT APPLY				Notations	
Easement Information					THIS PLAN HAS BEEN PREPARED BY BOSCO JONSON PTY LTD FOR LAND VICTORIA FOR TITLE DIAGRAM PURPOSES. CHECKED BY:..... DATE: / / ASSISTANT REGISTRAR OF TITLES
Easement References	Purpose/Authority	Width (Metres)	Origin	Land benefited/in favour of	
<p style="text-align: center;"> BURNLEY STREET DOONSIDE STREET </p>					
I, ANDREI FIJAN certify that this plan correctly represents the information obtained by me from the sources indicated on this plan. LICENSED SURVEYOR, DIGITALLY SIGNED DATE		SURVEYORS REF. DATE 27/11/17 DWG 3219700CA REF 32197003		SCALE 3 0 6 12 LENGTHS ARE IN METRES SCALE 1:300	
				SHEET 1 OF 1	SHEET SIZE A3

Attachment 4 - Original Subdivision Plan

Delivered by LANDATA®. Land Use Victoria timestamp 09/09/2019 13:11 Page 1 of 4

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Attachment 5 - Burnley Street Site Inspection Report

Maddocks

Ref: MAN:JKOZ:7976096

Maddocks
Lawyers
Collins Square, Tower Two
Level 25, 727 Collins Street
MELBOURNE 3000

BURNLEY STREET
ROAD.

Yarra City Council

Proposed discontinuance and sale of roads abutting 53-77 Burnley Street, Richmond

LAKEWAY OFF BURNLEY STREET
SCREEN

DATE OF INSPECTION:

10 / 12 / 2019

PHOTOGRAPHS OF THE ROAD: Attached at Annexure A

IS THE ROAD OPEN AND AVAILABLE FOR USE BY THE PUBLIC? Yes ☒ No ☐

WHAT OBSTRUCTIONS ARE OVER OR IN THE ROAD?

Fencing	<input type="checkbox"/> Yes <input type="checkbox"/> No	Vegetation*	<input type="checkbox"/> Yes <input type="checkbox"/> No
Rubbish	<input type="checkbox"/> Yes <input type="checkbox"/> No	Services*#	<input type="checkbox"/> Yes <input type="checkbox"/> No
Other*	<input type="checkbox"/> Yes <input type="checkbox"/> No	(# Including fire hydrants/plugs.)	

* Provide Details:

METAL CHAIN PREVENTING ACCESS

THE MATERIAL WITH WHICH THE ROAD IS CONSTRUCTED:

<input type="checkbox"/> Nil	<input type="checkbox"/> Bitumen
<input type="checkbox"/> Bluestone	<input checked="" type="checkbox"/> Other <u>CONCRETE.</u>

EVIDENCE OF THE ROAD BEING USED:

<input type="checkbox"/> Nil	<input type="checkbox"/> Gates opening onto the road
<input type="checkbox"/> Tyre marks	<input type="checkbox"/> Garages opening onto the road
<input type="checkbox"/> Worn grass	<input type="checkbox"/> Other _____

TYPE OF TRAFFIC:

<input checked="" type="checkbox"/> Pedestrian	<input checked="" type="checkbox"/> Vehicular	<input type="checkbox"/> Animal	<input type="checkbox"/> Nil
--	---	---------------------------------	------------------------------

WHAT IS THE ROAD PROVIDING ACCESS TO?

<input type="checkbox"/> Adjoining properties @	<input type="checkbox"/> Reserve/Park
<input type="checkbox"/> Main Road	<input type="checkbox"/> Shops

[7976096: 25596232_1]

Attachment 5 - Burnley Street Site Inspection Report



Maddocks

☒ Other _____

@ Specify which properties Access to rear of properties
9 53-55 Burnley Street.

DETAILS OF OTHER SUITABLE MEANS OF ACCESS NEARBY.

N/A

DETAILS OF FENCES, BUILDINGS AND/OR LANDSCAPING PLACED ON OR OVER ANY PORTION OF THE ROAD BY ABUTTING PROPERTY OWNERS, AND THE EXTENT OF SUCH ENCROACHMENT.

N/A CHAN AT BURNLEY STREET

IS THE ROAD REQUIRED FOR PUBLIC ACCESS?
OTHER OBSERVATIONS:

Yes ☐ No ☒

Signed: [Signature] ANDRE FIDAL Date: 10/12/19

Title/Position: LICENCED SURVEYOR Company: VERIS ASSOCIATES

ATTACH ADDITIONAL PAGES IF THERE IS NOT ENOUGH SPACE ON THIS FORM

1/1

Attachment 5 - Burnley Street Site Inspection Report



Attachment 6 - Doonside Street Site Inspection Report



Maddocks

Ref: MAN:JKOZ:7976096

DOONSIDE STREET
ROAD.Maddocks
Lawyers
Collins Square, Tower Two
Level 25, 727 Collins Street
MELBOURNE 3000

Yarra City Council

Proposed discontinuance and sale of roads abutting 53-77 Burnley Street, Richmond

LANEWAY OFF DOONSIDE

DATE OF INSPECTION:

10 / 12 / 2019

PHOTOGRAPHS OF THE ROAD: Attached at Annexure A

IS THE ROAD OPEN AND AVAILABLE FOR USE BY THE PUBLIC?

Yes ☒ No ☐

WHAT OBSTRUCTIONS ARE OVER OR IN THE ROAD?

Fencing	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Vegetation*	<input type="checkbox"/> Yes <input type="checkbox"/> No
Rubbish	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Services*#	<input type="checkbox"/> Yes <input type="checkbox"/> No
Other*	<input type="checkbox"/> Yes <input type="checkbox"/> No	(# Including fire hydrants/plugs.)	

* Provide Details:

THE MATERIAL WITH WHICH THE ROAD IS CONSTRUCTED:

<input type="checkbox"/> Nil	<input checked="" type="checkbox"/> Bitumen
<input type="checkbox"/> Bluestone	<input checked="" type="checkbox"/> Other <u>GRAVEL</u>

EVIDENCE OF THE ROAD BEING USED:

<input type="checkbox"/> Nil	<input type="checkbox"/> Gates opening onto the road
<input checked="" type="checkbox"/> Tyre marks	<input type="checkbox"/> Garages opening onto the road
<input checked="" type="checkbox"/> Worn grass	<input type="checkbox"/> Other _____

TYPE OF TRAFFIC:

<input checked="" type="checkbox"/> Pedestrian	<input checked="" type="checkbox"/> Vehicular	<input type="checkbox"/> Animal	<input type="checkbox"/> Nil
--	---	---------------------------------	------------------------------

WHAT IS THE ROAD PROVIDING ACCESS TO?

<input checked="" type="checkbox"/> Adjoining properties @	<input type="checkbox"/> Reserve/Park
<input type="checkbox"/> Main Road	<input type="checkbox"/> Shops

[7976096; 25596232_1]

Attachment 6 - Doonside Street Site Inspection Report



Maddocks

☐ Other _____

@ Specify which properties 1 DOONSD. ST

63-79 BURNLEY STREET

DETAILS OF OTHER SUITABLE MEANS OF ACCESS NEARBY.

N/A.

DETAILS OF FENCES, BUILDINGS AND/OR LANDSCAPING PLACED ON OR OVER ANY PORTION OF THE ROAD BY ABUTTING PROPERTY OWNERS, AND THE EXTENT OF SUCH ENCROACHMENT.

THERE IS A GATE APPROX 3m IN THE LANEWAY

 IS THE ROAD REQUIRED FOR PUBLIC ACCESS?
OTHER OBSERVATIONS:

Yes

☐ No

☒

OUR CLIENT OWNS ALL THE SURROUNDING PROPERTIES

Signed: _____ ANDREI _____ Date: 10/12/19

Title/Position: LICENSE SURRENDER FROM Company: VELS PERSONAL

ATTACH ADDITIONAL PAGES IF THERE IS NOT ENOUGH SPACE ON THIS FORM

Attachment 6 - Doonside Street Site Inspection Report



11.6 Active Transport Advisory Committee

Trim Record Number: D20/44955

Responsible Officer: Group Manager Chief Executive's Office

Purpose

1. To provide advice on the possible establishment of three Council Advisory Committees (two new committees and one review of an existing committee) in response to a series of Council resolutions in late 2019.

Background

2. On 16 July 2019, Council endorsed a Council Committees Policy which established consistent framework for the operation of Council Committees. Since the adoption of that policy, the terms of reference for each Committee were reviewed to ensure that it was simplified and consistent with the policy. The outcomes of these reviews were considered by Council at its meeting on 3 December 2019.
3. As a separate exercise, consideration has been given to three previous Council resolutions (one from September and two from November 2019) with a view to presenting options to Council for consideration. The outcomes of this work are presented in this report.
4. By way of context, the Council Committees Policy describes three types of committees:
 - (a) Advisory Committees (which are established by Council to provide advice to Council, a special committee or a Council officer);
 - (b) Interest Groups (which are established by Council to facilitate networking among members (including Council) on a subject of mutual benefit; and
 - (c) Project Consultative Groups (which are established by Council to provide advice and facilitate consultation in the delivery of a specific project).
5. In determining which type of committee is appropriate, it is necessary to understand the role and operation of the intended group. Where the intention is to support Council in the development of policy and to assist in informing its decision-making on an ongoing basis, an Advisory Committee is most appropriate. Where the intention is to bring like-minded people together to enable them to make community connections, learn from each other and share information among the group, an interest group is most appropriate. Where Council is seeking community advice or feedback in relation to a specific project or the development of a specific policy with the intention that the group be disbanded following the completion of the project, a Project Consultative Group is most appropriate.
6. While the structure of each of these committee types is broadly similar, there are administrative differences between them relating to establishment, the manner of member appointments, reporting to Council, publication of meeting proceedings and conflict of interest provisions.

Active Transport

7. On 12 November 2019, Council resolved:
 - "1. That:
 - (a) Officers prepare a report on the feasibility of forming an Active Transport Advisory Committee to Council, such Committee to incorporate the Bicycle Advisory Committee;
 - (b) the report include a proposed terms of reference for this Committee; and
 - (c) the Bicycle Advisory Committee continue to operate in the meantime."

8. In presenting the item of General Business, Cr Stone clarified that the interpretation of “Active Transport” is intended to include cycling, walking, skating, scootering, etc.; and not include motor vehicles or public transport.
9. The Bicycle Advisory Committee has been established as an Advisory Committee with the following objectives:
 - (a) To provide advice to Council on how to:
 - (i) support and enhance safe and efficient cycling in Yarra; and
 - (ii) implement adopted Council policies/strategies as they impact on cycling; and
 - (b) To assist Council in its support for cycling by:
 - (i) providing a user perspective on proposed cycle projects and the existing network in Yarra; and
 - (ii) providing feedback on proposed initiatives such as local area traffic management/place making, road infrastructure, new strategies, master planning, parking changes or new products.
10. A broadening of the role of this committee to provide similar advice in relation to other means of ‘active transport’ (i.e. beyond bicycles) would reflect the interconnectedness of transport planning in the municipality, and align closely with the nature of organisational expertise and decision-making. While Council has historically considered cycling as a stand-alone transport mode, this is no longer the case, with Council now conducting its transport planning in a more integrated way than ever.
11. Further, Council is addressing challenges presented by the fast changing nature of personal transport, with developments such as ride sharing, car share schemes, dockless bicycle hire, power-assisted bicycles and the growth in what were traditionally regarded as toy vehicles (like scooters and skateboards) all making their presence felt within the past decade. A broadening of the role of the Bicycle Advisory Committee would enable Council’s planners and the Council itself to better respond to these developments.
12. On this basis, the author’s advice is that the establishment of an active transport advisory committee to replace the existing Bicycle Advisory Committee is warranted.
13. In investigating the scope of a future active transport advisory committee, the author developed a draft terms of reference, which was presented as a basis for discussion by the Bicycle Advisory Committee at their meeting in December 2019. Following this discussion, the draft terms of reference was further refined.
14. In developing the attached draft, the following considerations were made:
 - (a) It is proposed not to specifically include the consideration of wheelchairs and powered wheelchairs in the scope, as these matters are better addressed by Council’s Disability Advisory Committee;
 - (b) It is proposed to establish the formal appointment of members to the committee to enable the committee to be made up of a diversity of views and experiences and to facilitate an effective group size and consistency of attendance;
 - (c) It is proposed to draw a distinction between ‘motor vehicles’ and ‘power-assisted vehicles’ (with the former being out of scope and the latter being within scope) to enable the committee to provide advice on this growing segment of personal transport; and
 - (d) It is proposed to establish a membership rotation with half of the members reaching the end of their term every second year.
15. The draft terms of reference setting out these proposals can be found at **Attachment One**.
16. Given the process for appointing members to the new Committee, it is further proposed to continue the operation of the Bicycle Advisory Committee until such time as the Active Transport Advisory Committee membership can be appointed.

Public Transport Advocacy

17. On 12 November 2019, Council resolved:

"1. That:

- (a) Officers prepare a report on the feasibility of forming a Public Transport Advocacy Committee to assist Council in the advocacy and promotion of public transport; and*
- (b) the report include a proposed terms of reference for such a Committee."*

- 18. In presenting the item of General Business, Cr Stone clarified that the role of the Public Transport Advocacy Committee is intended to include the tasks of assisting Council in advocating for the establishment of new lines/services of public transport; and the improvement and better co-ordination / linking of existing public transport lines / services.
- 19. The Council resolution has called for the establishment of an 'Advocacy Committee'. The establishment of a committee to undertake direct advocacy efforts or advocacy on Council's behalf, runs counter to the provisions of the Council Committees Policy, which sets out that a committee can provide advice to Council only. The Council Committees Policy contains express provisions to ensure that advocacy and other public statements and submissions are authorised by the Council and delivered in a way consistent with Council's Advocacy Action Plan. In most cases, the Mayor would serve as Council's spokesperson, ensuring the Council speaks with a single voice. Delegating this responsibility to a committee is likely to cloud the message and lose the targeted and strategic focus that effective advocacy requires.
- 20. That said, previous experience shows that Council can play a role in actively supporting and adding voice to community advocacy efforts, as was the case with the successful community-led efforts to resist the development of Melbourne's proposed east-west road link. With Council's advocacy efforts now guided by its adopted Advocacy Action Plan, this is an approach which can still be taken at the appropriate time, and does not require the establishment of a standing committee.
- 21. The author's advice is that the establishment of a public transport advisory committee is not warranted.

Tree Planting

22. On 10 September 2019, Council resolved:

"1. That Council seek an Officer's report on the need for the City of Yarra implementing a tree planting advisory committee and if the need is found, propose options for the establishment of such an advisory committee."

- 23. In considering the role of the proposed committee, it is necessary to understand the context in which street tree planting decisions are currently made.
- 24. Decisions regarding street tree planting are primarily informed by two Council policies – the Urban Forest Strategy (adopted in 2017) and the Street Tree Policy (adopted in 2014). These policies both inform the process for maintenance and replacement of existing trees and the planting of new trees.
- 25. The adoption of the Urban Forest Strategy followed extensive community consultation and engagement during February – March 2017 with over 250 community members providing feedback via the Your Say Yarra online portal, face-to-face conversations at local parks and community events and presentations to the Yarra Environment Advisory Committee and Disability Advisory Committee. The Yarra Environment Advisory Committee reviewed an early strategy draft and provided feedback, which was taken into account.
- 26. According to the adopted Urban Forest Strategy, implementation of the priority planting plan phase will include close community consultation.
- 27. The Street Tree Policy sets out the mandatory consultation process that is required when coordinated infill street tree planting programs are being implemented. In the process, both

local residents and absentee owners are asked to contribute to the process and no more than 25% of trees in any one street will be removed at one time (unless the trees are dead, dying or pose a risk to private property). Where decisions are made to remove a tree, an appeal mechanism is built in to the Street Tree Policy to enable residents to seek a review of the decision.

28. Given the extensive involvement of Council's existing advisory groups in the development of the guiding policy framework, and the requirement to consult directly with affected residents and property owners at the implementation phase, there is no clearly defined role for a tree planting advisory committee.
29. Street tree planting decisions are made at an operational level and are heavily informed by Council's adopted policy, officer expertise and consultation and engagement with local residents. Having regard to the number of insurance damage claims on Council arising from tree root damage to property, the Council has a distinct risk management obligation in respect of such elements as, the appropriate location of tree planting in a restricted environment, the most appropriate species of tree to be planted in specific locations and additionally, having regard to Council's climate emergency principles, the most appropriate species to maximise shade, heat reflection and carbon sequestration. If a street tree planting committee were to provide advice at the local rollout phase, there is a very real risk that one section of the community would be placed in opposition to another – something that is undesirable in achieving community consensus.
30. The author's advice is that the establishment of a tree planting advisory committee is not warranted.

External Consultation

31. No external consultation has taken place, save the discussion by the Bicycle Advisory Committee described in the context of the proposed Active Transport Advisory Committee.

Internal Consultation (One Yarra)

32. Discussions have been held with the officers responsible for each of the portfolio areas that would be within the scope of the proposed committees.

Financial Implications

33. The precise cost to Council of an Advisory Committee is difficult to quantify.
34. Minor costs are associated with meeting logistics, such as catering, transport reimbursements, room hire (where relevant) and printing and mailing. The most significant costs are associated with officer time for meeting preparation, communication with members, attendance at meetings (including overtime) and preparation of meeting minutes. Further costs are incurred for officer time associated with committee administration, such as maintenance of Council's website, communication with membership, public advertising and committee selection processes.
35. Should the author's advice be heeded and the changes limited only to the altered scope of the Bicycle Advisory Committee, there would not be any financial implications.

Economic Implications

36. The advice provided in this report does not have any economic implications.

Sustainability Implications

37. The advice provided in this report does not have any sustainability implications.

Social Implications

38. The advice provided in this report does not have any social implications.

Human Rights Implications

39. The advice provided in this report does not have any human rights implications.

Communications with CALD Communities Implications

40. There has been no external communication undertaken in the development of this report.

Council Plan, Strategy and Policy Implications

41. There are no Council Plan, strategy or policy implications arising from the matters addressed in this report.

Legal Implications

42. Aside from the need to ensure that Council Committees do not inadvertently have delegated decision-making authority, no further legal implications have been identified arising from the matters addressed in this report.

Other Issues

43. No other issues have been identified in the development of this report.

Options

44. When this item is presented to Council, options will be provided in relation to each of the three Council Committees, including the establishment of a new committee and the maintenance of the status quo. It will be open to Council to pursue its desired option by means of an alternate Council resolution.

Conclusion

45. Following Councillor feedback, it is proposed to present the formal officer recommendations in relation to each of the Council resolutions at the Council Meeting on 17 March 2020.

RECOMMENDATION

1. That:
- (a) Council establish an Active Transport Advisory Committee and endorse the terms of reference found at **Attachment One**;
 - (b) officers commence an expression of interest process for membership, and present recommendations to Council with four members to take up a two year term and four members to take up a four year term; and
 - (c) the Bicycle Advisory Committee continue to operate until appointments to the Active Transport Advisory Committee are made, at which time the Committee will sunset.

CONTACT OFFICER: Rhys Thomas
TITLE: Senior Governance Advisor
TEL: 9205 5302

Attachments

- 1 [1](#) DRAFT - Active Transport Advisory Committee Terms of Reference

Attachment 1 - DRAFT - Active Transport Advisory Committee Terms of Reference

Active Transport Advisory Committee

TERMS OF REFERENCE



Type	Advisory Committee
Purpose	To provide Council with advice to support its objective of reducing car dependency in the community and increasing the use of active transport throughout the municipality.
Objectives	<p>To provide advice and recommendations to Council in matters of relevance to travel throughout the municipality by means of self-powered active transport, such as:</p> <ul style="list-style-type: none"> • Bicycles • Kick scooters • Skateboards • Walking/running <p>To provide advice and recommendations to Council in relation to the established and emerging role of power-assisted transport as part of the community transport mix, including the role of:</p> <ul style="list-style-type: none"> • Electric assisted bicycles • Electric scooters • Powered 'rideables' (eg. hover boards, segways, electric skateboards).
Membership	<p>The Committee shall be made up of ten members, including:</p> <ul style="list-style-type: none"> • Two Councillors • Eight community representatives
Chair	The Chair shall alternate between the appointed Councillors.
Selection Criteria	<p>Members are selected on the basis of their:</p> <ul style="list-style-type: none"> • capacity to consult and represent a wide range of views; • understanding of the needs of a range of different transport users; • capacity to analyse information and advice on issues affecting transport users. <p>In selecting members, Council shall endeavour to establish a committee comprising:</p> <ul style="list-style-type: none"> • Members from different locations across the municipality; • Members with expertise and experience with different forms of active transport; • A diverse demographic mix. <p>The term of appointment will be four years. Each two years, half of the group will retire. Retiring members will be eligible for reappointment.</p>
Meeting arrangements	Six meetings are held throughout the year.

11.7 Motions for ALGA National General Assembly and MAV State Council

Trim Record Number: D20/42677

Responsible Officer: Group Manager Chief Executive's Office

Purpose

1. To provide an opportunity for Council to consider submitting motions to:
 - (a) the Australian Local Government Association (ALGA) National General Assembly to be held in Canberra on 14-17 June 2020; and
 - (b) the Municipal Association of Victoria (MAV) State Council to be held in Melbourne on 15 May 2020.

Background

ALGA National General Assembly

2. Council has an opportunity to submit motions for consideration by the ALGA National General Assembly. To be eligible for inclusion in the NGA Business Papers, and subsequent debate on the floor of the NGA, motions must meet the following criteria:
 - (a) be relevant to the work of local government nationally;
 - (b) not be focussed on a specific location or region – unless the project has national implications;
 - (c) be consistent with the themes of the National General Assembly, which in 2020 is *“Working Together for Our Communities”*;
 - (d) complement or build on the policy objectives of your state and territory local government association;
 - (e) be submitted by a council which is a financial member of their state or territory local government association;
 - (f) propose a clear action and outcome; and
 - (g) not be advanced on behalf of external third parties that may seek to use the NGA to apply pressure to Board members, or to gain national political exposure for positions that are not directly relevant to the work of, or in the national interests of, local government.
3. Motions must be submitted to the ALGA Secretariat by 27 March 2020.

MAV State Council

4. Council has the opportunity to submit motions for consideration by the MAV State Council. To be eligible for inclusion and presentation to the State Council, motions must:
 - (a) be of state-wide significance to local government; and
 - (b) not be identical or substantially similar to a motion previously considered (this is a request only at this stage as this proposed rule change will be incorporated into the upcoming MAV Rules Review).
5. Motions must be submitted to the MAV by 21 April 2020.

External Consultation

6. There has been no external consultation in the preparation of this report.

Internal Consultation (One Yarra)

7. Invitations have been extended to all Councillors to consider preparation of motions for consideration by Council for submission to the National General Assembly and/or State Council.

Financial Implications

8. As the National General Assembly is interstate, the attendance of Councillors requires approval by Council and will be the subject of a future report. There are no financial implications of submitting motions to the National General Assembly.
9. As the State Council is held in Victoria, no approval from Council is required for attendance. There are no financial implications of submitting motions to the State Council.

Economic Implications

10. There are no economic implications associated with this report.

Sustainability Implications

11. There are no sustainability implications associated with this report.

Climate Emergency Implications

12. There are no climate emergency implications associated with this report.

Social Implications

13. There are no social implications associated with this report.

Human Rights Implications

14. There are no Human Rights implications associated with this report.

Communications with CALD Communities Implications

15. There are no CALD communities implications associated with this report.

Council Plan, Strategy and Policy Implications

16. Any submitted proposed motion should be consistent with Council's established policy position on the relevant subject.

Legal Implications

17. There are no legal issues associated with this report.

Other Issues

18. None applicable.

Options

19. Council has the option of determining whether or not to submit a motion (or motions) to either the National General Assembly or State Council in 2020.

Conclusion

20. This report provides Councillors an opportunity for Council endorsement of motions for submission to the Australian Local Government Association (ALGA) National General Assembly to be held on 14-17 June 2020 and the Municipal Association of Victoria (MAV) State Council to be held on 15 May 2020.

RECOMMENDATION

1. That Council endorse the following motions for submission to the Australian Local Government Association (ALGA) National General Assembly to be held on 14-17 June 2020, as detailed at **Attachment One**:
 - (a) National Product and Packaging Standards
 - (b) Tackling Rising Transport Emissions
 - (c) Treaty on the Prohibition of Nuclear Weapons
 - (d) ARRB Standards for recycling material in road base
 - (e) Gambling harm

2. That Council endorse the following motions for submission to the Municipal Association of Victoria (MAV) State Council to be held in on 15 May 2020, as detailed at **Attachment Two**:
 - (a) Tackling Rising Transport Emissions
 - (b) Treaty on the Prohibition of Nuclear Weapons

CONTACT OFFICER: Rhys Thomas
TITLE: Senior Governance Advisor
TEL: 9205 5302

Attachments

- 1 [↓](#) ALGA Motions 2020
- 2 [↓](#) MAV Motions May 2020

Attachment 1 - ALGA Motions 2020**Motions for submission to the ALGA National General Assembly 2020****National Product and Packaging Standards**

Motion
<p>1. That in line with Federal Government's National Waste Policy and its adoption of a circular economy policy, the National General Assembly calls on the Federal Government to further develop national standards on products and packaging as part of implementation of its circular economy policy:</p> <ul style="list-style-type: none"> (a) mandate a national packaging code for products and packaging with appropriate bin-top colours for recycling; (b) incentivise the use of reusable packaging in the transportation of products; (c) discourage over packaging of products; (d) encourage new national markets for recycled products and for products and packaging that are not currently recycled; (e) introduce mandatory product stewardship for problematic products and packaging; and (f) discourage products and packaging that are not able to be recycled or reused and establish a program for these products and packaging to be phased out.
National Objective
<p>While waste management is largely a matter for state and local governments, the Federal Government has adopted a National Waste Policy and has a major role in setting national standards for waste management and packaging and for trade, imported products and product marketing.</p>
Summary of Key Arguments
<p>The 2018 Federal Government's National Waste Policy embodies a circular approach to minimising waste, recognising discarded products are a valuable resource for recycling and reuse, and avoiding products and packaging going to landfill.</p> <p>The Federal Government in response to concerns over the export of discarded products, has announced a ban on exports from the waste stream.</p> <p>Australian Government policy also supports developing national standards for products and materials, a common approach to waste policy and regulation, development of markets for recycling and addressing national market failures.</p> <p>In light of the above, further specification is sought for the Australian Government to support the responsible handling and disposal of products and packaging as part of a circular economy, as set out in this motion.</p>

Attachment 1 - ALGA Motions 2020

Tackling Rising Transport Emissions

Motion

1.

That to assist in tackling rising emissions from transport, the National General Assembly calls on ALGA to advocate to the Federal Government to reverse this rise in the transport sector through:

(a)

promotion and support for a shift to electric cars, buses, and trucks, and rail electrification, powered by renewable energy: solar, wind, hydrogen;

(b)

adoption of electric vehicle targets & further expanding recharging facilities;

(c)

mandatory greenhouse gas emission (GGE) standards for cars and other vehicles;

(d)

promotion and support for active transport - walking and cycling.

National Objective

Federal, state and local governments have all committed to reducing carbon emissions. The main focus has been on emissions from energy sources which have fallen by 10%. However, emissions from the transport sector have increased for decades, such that carbon emissions from transport in 2030 are predicted to be 122% on 2005 levels. This needs to be tackled by all levels with leadership also sought from the Commonwealth Government.

Summary of Key Arguments

Emissions in Australia from transport have increased near 20% on 2005 levels and represent 18% of total carbon emissions in 2018 and still rising. In Australia, cars collectively emit roughly the same emissions per year as Queensland's entire coal and gas fired electricity supply. An international scorecard has ranked Australia as 2nd worst for transport energy efficiency.

The Institute for Sustainable Transport has assessed the main transport modes for carbon dioxide emissions per person, per kilometre, as follows:

242.8 g

Average Victorian car

209.1 g

Top range electric vehicle

121.9 g

Dual occupancy car

119.6 g

Motorcycle

28.6 g

Train

20.2 g

Tram

17.7 g

Bus

0 g

Top range electric vehicle (green power)

0 g

Bicycle

0 g

Walking

The 2030 Global Agenda on Sustainable Development includes working on a sustainable, low carbon and resilient transport future with transport infrastructure and operations being subject to the 1.5 degree scenario, achieving zero net emissions by 2050. This includes decarbonising the transport sector.

Leadership is sought by the Commonwealth Government to tackle rising transport emissions in Australia through the measures set out in this motion.

Attachment 1 - ALGA Motions 2020

Treaty on the Prohibition of Nuclear Weapons

Motion
<p>1. This National General Assembly acknowledges that ICAN was awarded a Nobel Peace Prize in November 2017 for its ground-breaking efforts to achieve the global Treaty on the Prohibition of Nuclear Weapons, after the treaty's adoption earlier in 2017 by the United Nations in New York and calls on the Australian Local Government Association to:</p> <ul style="list-style-type: none"> (a) publicise to local governments around Australia, the work of the International Campaign to Abolish Nuclear Weapons (ICAN), founded in Melbourne in 2007. (b) urge local governments around Australia to ratify the Treaty on the Prohibition of Nuclear Weapons, joining the 26 Australian Local Governments (including Sydney, Hobart, Yarra, Darebin, Freemantle, Coburn) and over 80 nations around the world who have declared their support for the treaty as the first international legal instrument to comprehensively outlaw nuclear weapons, setting out a pathway for their elimination. (c) urge the Australian Government to ratify the United Nations Treaty on the Prohibition of Nuclear Weapons, thus joining the 34 other nations to date, who have already done so, noting that 50 national ratifications are needed to advance the treaty to international law.
National Objective
To urge local governments around Australia to ratify the Treaty on the Prohibition of Nuclear Weapons.
Summary of Key Arguments
<p>The International Campaign to Abolish Nuclear Weapons (ICAN) was founded in founded in Melbourne in 2007.</p> <p>After a decade of advocacy, ICAN in November 2017 was awarded a Nobel Peace Prize for its ground-breaking efforts to achieve a global Treaty on the Prohibition of Nuclear Weapons, after the treaty's adoption in July 2017 by the United Nations in New York.</p> <p>This is the first time any Australian organisation has won a Nobel Peace Prize.</p> <p>The United Nations citation of ICAN for the Peace Prize was for "its work to draw attention to the catastrophic humanitarian consequences of any use of nuclear weapons and for its ground-breaking efforts to achieve a treaty-based prohibition of such weapons".</p> <p>The National General Assembly is urged to acknowledge this ground-breaking achievement and seek that ALGA take follow-up action in accordance with this motion.</p>

Attachment 1 - ALGA Motions 2020**ARRB Standards for recycling material in road base**

Motion
1. That ALGA advocate to the Australian Roads Research Board (ARRB) to develop standards/guidelines on the use of recycled plastics and glass in road base.
National Objective
To encourage new end products and markets for recycled plastics and glass.
Summary of Key Arguments
<p>A key challenge for the nation is the accumulation and stockpiling of plastics and glass from the waste stream and the need to develop markets using such recycled materials.</p> <p>To this end, many local governments have been using products made from recycled plastics including toner cartridges and supermarket bags, added to road base to become part of the glue that bonds and waterproofs road asphalt.</p> <p>It is understood industry testing has demonstrated that these additives to road mix result in added strength, adhesion, extra road life performance and, significantly, that micro-plastics do not separate in water run-off to escape into the eco-system.</p> <p>A key Australian Roads Research Board (ARRB) role is to develop standards/guidelines to improve the road environment as regards economical and efficient road design solutions including road surfaces. ARRB has not however, developed standards or guidance on use of road base mixed with recycled plastic and glass products. Their absence has hampered take-up of using recycled plastic and glass in road base for local roads more broadly, and for arterials and highways.</p> <p>The development of such standards is in line with the Federal Government's recently released National Waste Policy Action Plan 2019. This Action Plan has as one of its priority actions, the development of standards for the use of recycled content, including recycled plastic, in capital works projects prioritising road and rail, and to transition to a circular economy.</p>

Attachment 1 - ALGA Motions 2020

Gambling harm

Motion
<p>1. That the National General Assembly calls on the Australian, state and territory governments to:</p> <ul style="list-style-type: none"> (a) recognise and treat gambling harm as a public health issue; (b) acknowledge the link between gambling harm, mental ill-health and other comorbidities, and include it in public and health frameworks and strategies; and (c) address gambling harm through effective harm minimisation and prevention policies, led by public health professionals.
National Objective
<p>We must formally recognise the well-established link between mental-ill health and gambling, and associated comorbidities in homelessness, family violence, chronic illness and other forms of addiction, in order to effectively address this as a public health issue. These impact Australians, with a significant economic and social cost yearly to gambling.</p>
Summary of Key Arguments
<p>Financial losses from gambling are increasing every year across Australia, as are the associated social and health-related impacts. In order to effectively address this issue, we must respond to gambling through a public health lens, acknowledging the social, political, cultural, commercial and environmental determinants that lead to and exacerbate harm. The narrative of 'personal responsibility' contributes to stigma and often prevents people from seeking help. We know that people experiencing gambling harm suffer higher rates of mental-ill health, and equally, that people suffering mental ill-health are also more vulnerable to gambling harm.</p>

Attachment 2 - MAV Motions May 2020

Motions for submission to the MAV State Council May 2020

Tackling Rising Transport Emissions

Motion

1. That to assist in tackling rising emissions from transport, the State Council calls on the Municipal Association of Victoria to advocate to the Victorian Government to reverse this rise in the transport sector through:

(a) promotion and support for a shift to electric cars, buses, and trucks, and rail electrification, powered by renewable energy: solar, wind, hydrogen;

(b) adoption of electric vehicle targets and further expanding recharging facilities;

(c) mandatory greenhouse gas emission (GGE) standards for cars and other vehicles;

(d) promotion and support for active transport - walking and cycling.

Rationale for Motion

Federal, state and local governments have all committed to reducing carbon emissions. The main focus has been on emissions from energy sources which have fallen by 10%.

Emissions in Australia from transport have increased near 20% on 2005 levels and represent 18% of total carbon emissions in 2018 and still rising. In Australia, cars collectively emit roughly the same emissions per year as Queensland's entire coal and gas fired electricity supply. An international scorecard has ranked Australia as second worst for transport energy efficiency.

The Institute for Sustainable Transport has assessed the main transport modes for carbon dioxide emissions per person, per kilometre, as follows:

242.8 g

Average Victorian car

209.1 g

Top range electric vehicle

121.9 g

Dual occupancy car

119.6 g

Motorcycle

28.6 g

Train

20.2 g

Tram

17.7 g

Bus

0 g

Top range electric vehicle (green power)

0 g

Bicycle

0 g

Walking

The 2030 Global Agenda on Sustainable Development includes working on a sustainable, low carbon and resilient transport future with transport infrastructure and operations being subject to the 1.5 degree scenario, achieving zero net emissions by 2050. This includes decarbonising the transport sector.

Leadership is sought by the Victorian Government to tackle rising transport emissions in Australia through the measures set out in this motion.

Attachment 2 - MAV Motions May 2020**Treaty on the Prohibition of Nuclear Weapons**

Motion
<p>1. This State Council acknowledges that ICAN was awarded a Nobel Peace Prize in November 2017 for its ground-breaking efforts to achieve the global Treaty on the Prohibition of Nuclear Weapons, after the treaty's adoption earlier in 2017 by the United Nations in New York and calls on the Municipal Association of Victoria to:</p> <ul style="list-style-type: none"> (a) publicise to local governments across Victoria, the work of the International Campaign to Abolish Nuclear Weapons (ICAN), founded in Melbourne in 2007. (b) urge local governments across Victoria to ratify the Treaty on the Prohibition of Nuclear Weapons, joining the 26 Australian local governments (including Sydney, Hobart, Yarra, Darebin, Freemantle, Coburn) and over 80 nations around the world who have declared their support for the treaty as the first international legal instrument to comprehensively outlaw nuclear weapons, setting out a pathway for their elimination. (c) urge the Victorian Government to ratify the United Nations Treaty on the Prohibition of Nuclear Weapons.
Rationale for Motion
<p>The International Campaign to Abolish Nuclear Weapons (ICAN) was founded in founded in Melbourne in 2007.</p> <p>After a decade of advocacy, ICAN in November 2017 was awarded a Nobel Peace Prize for its ground-breaking efforts to achieve the global Treaty on the Prohibition of Nuclear Weapons, after the treaty's adoption in July 2017 by the United Nations in New York.</p> <p>This is the first time any Australian organisation has won a Nobel Peace Prize.</p> <p>The United Nations citation of ICAN for the Peace Prize was for "its work to draw attention to the catastrophic humanitarian consequences of any use of nuclear weapons and for its ground-breaking efforts to achieve a treaty-based prohibition of such weapons".</p> <p>The State Council is urged to acknowledge this ground-breaking achievement and seek that Municipal Association of Victoria take follow-up action in accordance with this motion.</p>

11.8 Councillor Attendance at Sydney Climate Change Summit

Trim Record Number: D20/42753

Responsible Officer: Group Manager Chief Executive's Office

Purpose

1. To approve attendance by the Mayor at the Sydney Climate Action Summit, presented by the City of Sydney in partnership with C40 Cities, from 31 March to 2 April 2020 in Sydney, New South Wales.

Background

2. In late February 2020, the Mayor received an invitation from the Lord Mayor of Sydney, Clover Moore to the Sydney Climate Action Summit, titled "*Local Action in a Hostile Climate*".
3. In response to this summer of climate-induced bushfires and extreme weather, the City of Sydney and C40 Cities have refocused the scheduled C40 Women4Climate conference to respond directly to this context, and to deliver concrete climate actions by capital and metropolitan cities and regional councils.
4. The summit will have a series of events to enable participants to discuss their experiences and successes (or not!) in local government, and demonstrate how to take action in a hostile climate.
5. The program includes:
 - (a) "CityTalks", with keynote speaker Professor Ross Garnaut AC and emcee Patricia Karvelas;
 - (b) "Welcome Reception", an invitation only event to which the Mayor has been invited;
 - (c) "Mayors for Climate Action: Local Action in a Hostile Climate" with speaker The Hon Matt Kean MP, NSW Minister for Energy and Environment and emcee Mark Watts, CEO of C40 Cities;
 - (d) "Launch of the Global Covenant of Mayors for Climate and Energy (GCoM) in Oceania", a workshop on Collaborative Climate Action (Part 1 and 2)
 - (e) "Sydney Climate Expo", a public event showcasing businesses, community organisations, universities and others who are developing innovative research, products and services that respond to climate change.
 - (f) "Student Dialogue", a forum of secondary students focussing on climate change
6. Council's Expense Entitlement Policy provides:
 - (a) "Councillors' attendance at interstate and overseas conferences and Council's payment of airfares is subject to the approval of the Council;" and
 - (b) "Subject to the availability of funds, Council shall pay for the cost of registration fees, accommodation and travelling expenses, meals and other incidental expenses associated with authorised attendance at conferences and seminars."

Consultation

7. Not relevant to this report.

Financial Implications

8. The costs of travel and accommodation associated with attendance by the Mayor at the event are estimated at \$2,000.
9. Provision is made in the Council budget for Councillors to attend approved conferences.

Economic Implications

10. There are no economic implications.

Sustainability Implications

11. In making travel bookings, arrangements will be made to minimise the impact of the travel and accommodation on the environment, by booking sustainable options where available and taking up relevant carbon offsets.

Climate Emergency Implications

12. Attendance at the Sydney Climate Action Summit will be an opportunity to share Council's experiences in responding to the declared climate emergency and to learn from others who have similarly faced the challenge of taking local action in response to the global challenge.
13. As one of the early municipalities to declare a climate emergency, Yarra is well placed to demonstrate leadership at this important event.

Social Implications

14. Not applicable to this report.

Human Rights Implications

15. There are no Human Rights implications associated with this report.

Communications with CALD Communities Implications

16. There are no communications with CALD communities implications associated with this report.

Council Plan, Strategy and Policy Implications

17. The attendance at conferences enables discussion with Councillors across the nation to compare issues, processes, services standards which assist Council in formulating its own plans, strategies and work procedures.

Legal Implications

18. There are no legal issues concerned with attendance by Councillors at the event, save that details of interstate travel (dates, attendees and costs) must be recorded in the interstate travel register, in accordance with the *Local Government (General) Regulations*, in respect of the conference.

Other Issues

19. None applicable.

Options

20. None applicable.

Conclusion

21. That Council authorise the attendance of the Mayor at the Sydney Climate Action Summit.

RECOMMENDATION

1. That, pursuant to Council's Expense Entitlement Policy, Council approve attendance by the Mayor (Cr Misha Coleman) at the Sydney Climate Action Summit, presented by the City of Sydney in partnership with C40 Cities, from 31 March to 2 April 2020 in Sydney, New South Wales.

CONTACT OFFICER: Rhys Thomas
TITLE: Senior Governance Advisor
TEL: 9205 5302

Attachments

There are no attachments for this report.

11.9 Report on Assemblies of Councillors

Trim Record Number: D20/29212

Responsible Officer: Group Manager Chief Executive's Office

Purpose

1. To provide a report on Assemblies of Councillors.

Background

2. The *Local Government Act 1989* (The Act) requires that ... "The Chief Executive Officer must ensure that the written record of an Assembly of Councillors is, as soon as practicable:
 - (a) reported at an ordinary meeting of the Council; and
 - (b) incorporated in the minutes of that Council meeting.....".
3. This report includes all Assemblies of Councillors reported to the Governance Department at the cut-off date that have not already been reported to Council. Assemblies held prior to the cut-off date that are not included here will be included in the next report to Council.

Consultation

4. Not applicable.

Financial Implications

5. Not applicable.

Economic Implications

6. Not applicable.

Sustainability Implications

7. Not applicable.

Climate Emergency Implications

8. Not applicable.

Social Implications

9. Not applicable.

Human Rights Implications

10. Not applicable.

Communications with CALD Communities Implications

11. Not applicable.

Council Plan, Strategy and Policy Implications

12. Not applicable.

Legal Implications

13. The Act requires the above information be reported to a formal Council Meeting and also be recorded into the Minutes of the Council.

Other Issues

14. Not applicable.

Options

15. Nil.

Conclusion

16. That Council formally note and record the Assemblies of Councillors report as detailed in ***Attachment 1*** hereto.

RECOMMENDATION

1. That Council formally note and record the Assemblies of Councillors report as detailed in ***Attachment 1*** hereto.

CONTACT OFFICER: Mel Nikou
TITLE: Administration Officer - Governance Support
TEL: 9205 5158

Attachments

- 1 [↓](#) Assemblies of Councillors Report - March

Attachment 1 - Assemblies of Councillors Report - March

Record of Assemblies of Councillors

Report cut-off	24 February 2020
Council Meeting	17 March 2020

This report includes all Assemblies reported to the Governance Department at the cut-off date that have not already been reported to Council. Assemblies held prior to the cut-off date that are not included here will be included in the next report to Council.

Assembly	Attendance	Matters considered	Disclosures
Special Councillors Briefing 10 February 2020 6.30pm	Councillors <ul style="list-style-type: none"> • Cr Misha Coleman • Cr Mi-Lin Chen Yi Mei • Cr Danae Bosler • Cr Jackie Fristacky • Cr Daniel Nguyen • Cr James Searle Officers <ul style="list-style-type: none"> • Vijaya Vaidyanath • Ivan Gilbert • Bruce Phillips • Chris Leivers • Diarmuid McAlary • Lucas Gosling • Gracie Karabinis • Julie Wyndham • Mark Montague • Aaron Gerrard 	1. Budget Adoption Timelines	Nil

Attachment 1 - Assemblies of Councillors Report - March

Assembly	Attendance	Matters considered	Disclosures
Disability Advisory Committee 11 February 2020 4.30pm	Councillors <ul style="list-style-type: none"> Cr Danae Bosler Officers <ul style="list-style-type: none"> Adrian Murphy Cheryle Gray Laurice Younge Brona Keenan Julia Mardjuki Julian Wearne 	1. Arts and Culture Strategy Development presentation 2. Draft Open Space Strategy – Phase 2 presentation 3. Budget proposals – new initiatives Aged and Disability Services 4. DAC Terms of Reference aligned to policy information 5. DAC's feedback on Nicholson Street 6. Metro Access Officers Report 7. Members individual reports	Nil
Heritage Advisory Committee 13 February 2020 6.00pm	Councillors <ul style="list-style-type: none"> Cr James Searle Officers <ul style="list-style-type: none"> Ivan Gilbert Richa Swarup Brona Keenan Julia Mardjuki Louis Wyatt 	1. Preparation of a new Arts and Culture Strategy 2. Draft Open Space Strategy 3. Update on Swan Street, Queens Parade, Theatre interiors 4. Heritage Strategy Implementation Priorities and Budget 5. Planning Scheme Rewrite – discussion including Landmark and Heritage policies 6. Other matters – need to develop a list of sites of potential archaeological significance	Nil

Attachment 1 - Assemblies of Councillors Report - March

Assembly	Attendance	Matters considered	Disclosures
Councillors Briefing 17 February 2020 6.30pm	Councillors <ul style="list-style-type: none"> • Cr Misha Coleman • Cr Mi-Lin Chen Yi Mei • Cr Danae Bosler • Cr Jackie Fristacky • Cr Bridgid O'Brien • Cr James Searle • Cr Amanda Stone Officers <ul style="list-style-type: none"> • Vijaya Vaidyanath • Ivan Gilbert • Bruce Phillips • Chris Leivers • Diarmuid McAlary • Lucas Gosling • Gracie Karabinis • Mark Montague • Aaron Gerrard • Julie Wyndham • Sarah Jaggard • Peter Moran • Fadi Fakhoury • Graham Davis • Fiona Van der Hoeven • Lisa Coffa • Leonie Kirkwood • Joe Agostino 	<ol style="list-style-type: none"> 1. Budget Workshop 2 – Presentation 2. Draft Yarra LGBTIQ+ Strategy 3. Update on Integrated Water Management, including Stormwater and Drainage 4. Panther Pavilion Redevelopment and Boat Storage Project Update 5. Amendment C223 - Planning Controls for 81-95 Burnley Street and 26 Doonside Street Richmond - Consideration of Submissions 6. Amendment C231 Queens Parade 7. Options for Yarra four bin kerbside service 8. Review Forward Report Schedule 9. Agenda Review 10. Annual Update on the Yarra Housing Strategy 	Nil

Attachment 1 - Assemblies of Councillors Report - March

Assembly	Attendance	Matters considered	Disclosures
Yarra Bicycle Advisory Committee 19 February 2020 6.30pm	Councillors <ul style="list-style-type: none"> Cr Jackie Fristacky Officers <ul style="list-style-type: none"> Simon Exon Peter Eckersley 	1. Elizabeth Street Pilot Trial 2. Gipps Street 3. Brunswick Street Streetscape Masterplan 4. Walmer Street Bridge 5. Integrated Transport Policy 6. JUMP Bike 7. Child Cycling Participation Rates 8. Freestyle Cyclists protest ride	Nil
Special Councillors Briefing 24 February 2020 6.00pm	Councillors <ul style="list-style-type: none"> Cr Misha Coleman Cr Mi-Lin Chen Yi Mei Cr Jackie Fristacky Cr James Searle Cr Amanda Stone Officers <ul style="list-style-type: none"> Vijaya Vaidyanath Ivan Gilbert Bruce Phillips Chris Leivers Diarmuid McAlary Lucas Gosling Gracie Karabinis Graham Davis Julie Wyndham Mark Montague Aaron Gerrard 	1. Capital Renewal Program 2. Discretionary Projects 3. Council Plan 2017-21 Annual Review	Nil

Attachment 1 - Assemblies of Councillors Report - March