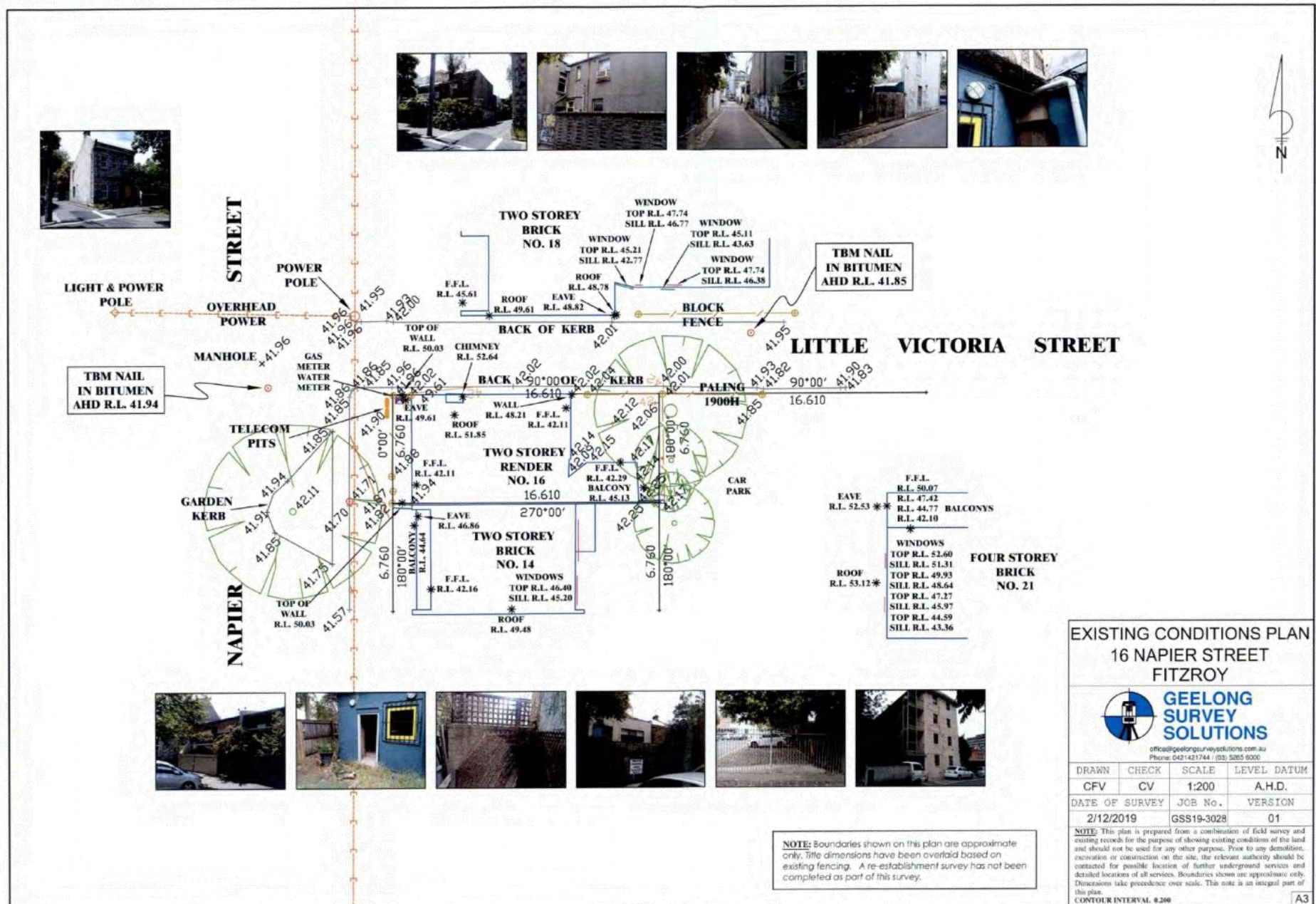


Attachment 1 - PLN20/0022 - 16 Napier Street Fitzroy - Advertised Plans



## Attachment 1 - PLN20/0022 - 16 Napier Street Fitzroy - Advertised Plans



AUSTRALIAN CATHOLIC UNIVERSITY

**RESIDENTIAL REFURBISHMENT AND EXTENSION WORKS**

16 NAPIER STREET, FITZROY VIC 3065

**ARCHITECTURAL DRAWINGS**

TP000	DRAWING REGISTER
TP001	EXISTING SITE ANALYSIS PLAN
TP002	PROPOSED SITE PLAN
TP003	EXISTING CONDITIONS & DEMOLITION - GROUND FLOOR PLAN
TP004	EXISTING CONDITIONS & DEMOLITION - FIRST FLOOR PLAN
TP005	EXISTING CONDITIONS & DEMOLITION - BALCONY
TP006	EXISTING CONDITIONS & DEMOLITION - ROOF PLAN
TP007	EXISTING CONDITIONS & DEMOLITION - NORTH & EAST ELEVATIONS
TP008	EXISTING CONDITIONS & DEMOLITION - SOUTH & WEST ELEVATIONS
TP009	EXISTING CONDITIONS & DEMOLITION - NORTH ELEVATION DETAIL
TP010	EXISTING CONDITIONS & DEMOLITION - SECTION EAST-WEST
TP100	PROPOSED WORKS - SLAB PLANS
TP101	PROPOSED WORKS - GROUND FLOOR PLAN
TP102	PROPOSED WORKS - FIRST FLOOR PLAN
TP103	PROPOSED WORKS - BALCONY
TP104	PROPOSED WORKS - ROOF PLAN
TP200	PROPOSED WORKS - NORTH & EAST ELEVATIONS
TP201	PROPOSED WORKS - SOUTH & WEST ELEVATIONS
TP202	PROPOSED WORKS - SECTION EAST-WEST
TP300	PROPOSED SHADOW DIAGRAM - 9AM
TP301	PROPOSED SHADOW DIAGRAM - 10AM
TP302	PROPOSED SHADOW DIAGRAM - 11AM
TP303	PROPOSED SHADOW DIAGRAM - 12PM
TP304	PROPOSED SHADOW DIAGRAM - 1PM
TP305	PROPOSED SHADOW DIAGRAM - 2PM
TP306	PROPOSED SHADOW DIAGRAM - 3PM
TP400	EXISTING & PROPOSED BALCONY SHADOWS - 9 & 10 AM
TP401	EXISTING & PROPOSED BALCONY SHADOWS - 11 & 12 PM
TP402	EXISTING & PROPOSED BALCONY SHADOWS - 1 & 2 PM
TP403	EXISTING & PROPOSED BALCONY SHADOWS - 3 PM
TP500	SCHEMATIC 3D VIEWS - EXTERNAL
TP501	PROPOSED FINISHES

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**Project**
 REFURBISHMENT AND EXTENSION  
 WORKS

16 NAPIER STREET, FITZROY VIC 3065

**Client**

AUSTRALIAN CATHOLIC UNIVERSITY

**Drawing**

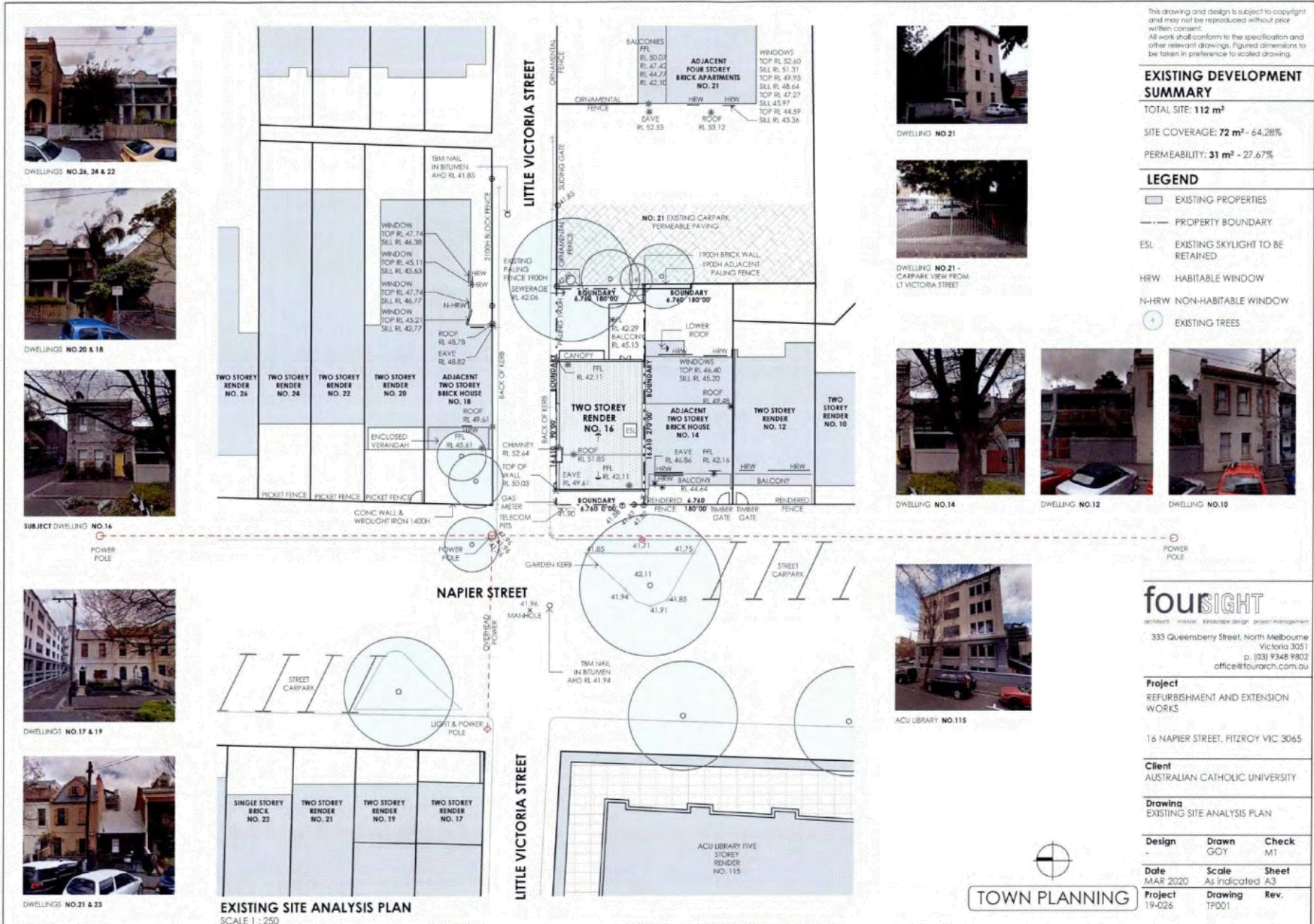
DRAWING REGISTER

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-	GOY	MT
<b>Date</b>	<b>Scale</b>	<b>Sheet</b>
MAR 2020		A3
<b>Project</b>	<b>Drawing</b>	<b>Rev.</b>
19-026	TP000	

TOWN PLANNING



# Attachment 1 - PLN20/0022 - 16 Napier Street Fitzroy - Advertised Plans





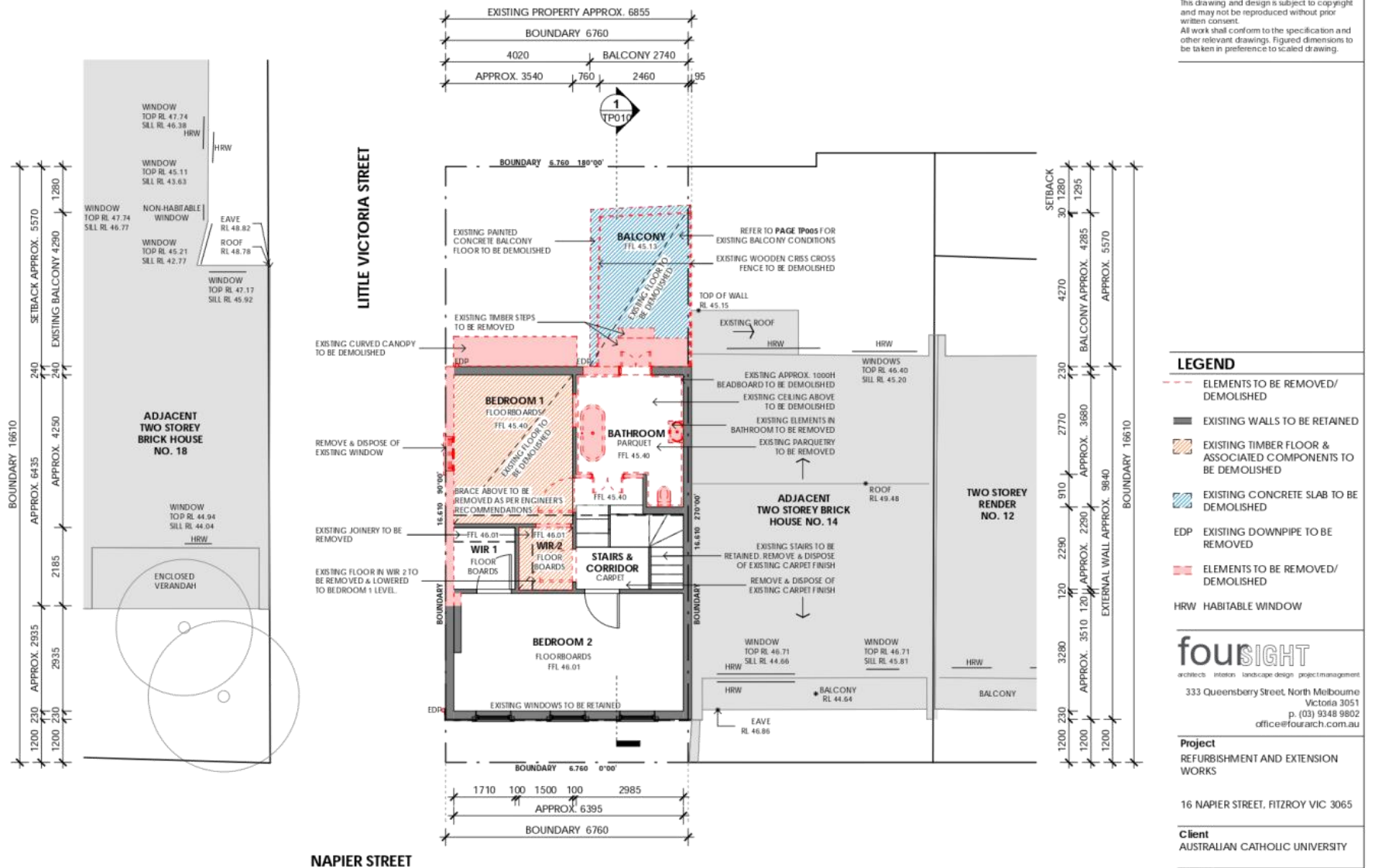
Project	Drawing	Rev.
19-026	TP003	





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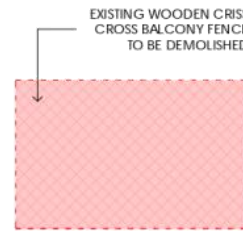


# Attachment 1 - PLN20/0022 - 16 Napier Street Fitzroy - Advertised Plans

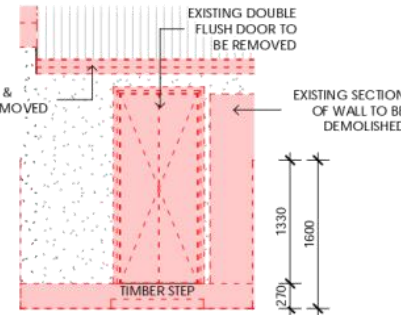
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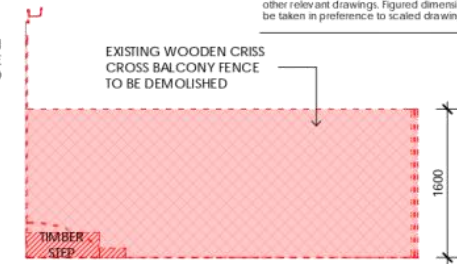
**BALCONY - EXISTING ELEVATION 01**  
SCALE 1 : 50



**BALCONY - EXISTING ELEVATION 02**  
SCALE 1 : 50



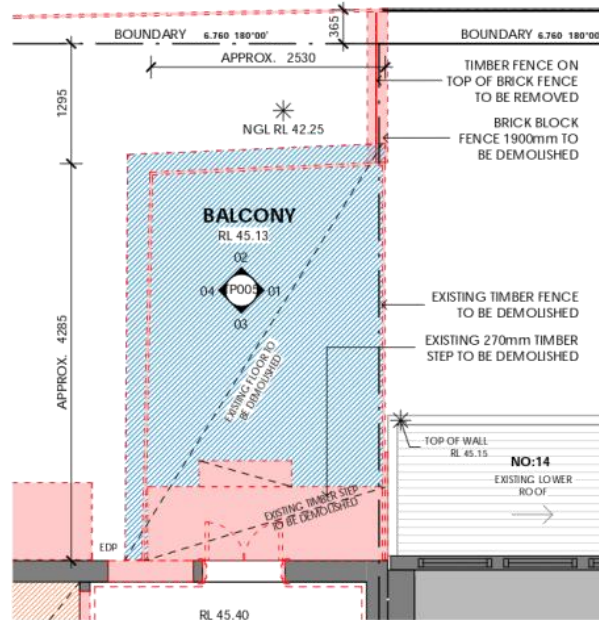
**BALCONY - EXISTING ELEVATION 03**  
SCALE 1 : 50



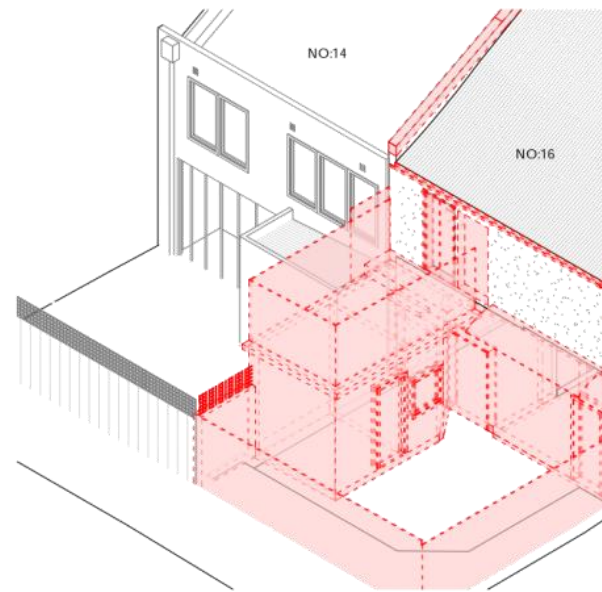
**BALCONY - EXISTING ELEVATION 04**  
SCALE 1 : 50



**EXISTING CONDITIONS - PHOTOS**



**EXISTING CONDITIONS & DEMOLITION PLAN - BALCONY**  
SCALE 1 : 50



**BALCONY - EXISTING VIEW 1**

## LEGEND

- ELEMENTS TO BE REMOVED/ DEMOLISHED
- EXISTING WALLS TO BE RETAINED
- EXISTING CONCRETE SLAB TO BE DEMOLISHED
- EDP EXISTING DOWNSPIPE
- ELEMENTS TO BE REMOVED/ DEMOLISHED



TOWN PLANNING

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WORKS

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**Client**  
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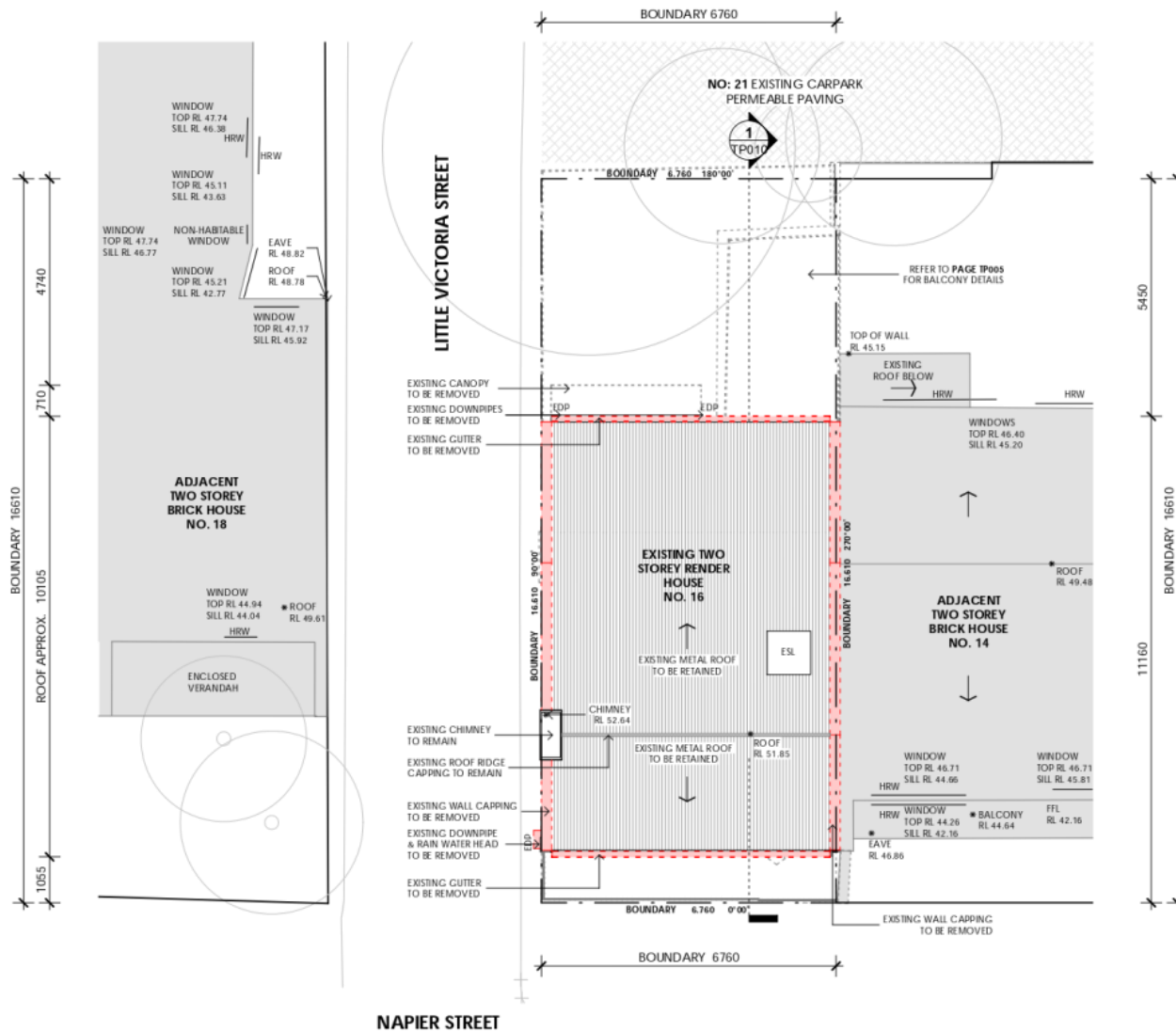
**Drawing**  
EXISTING CONDITIONS &  
DEMOLITION - BALCONY

<b>Design</b> PR	<b>Drawn</b> GOY	<b>Check</b> MT
<b>Date</b> APR 2020	<b>Scale</b> As indicated A3	<b>Sheet</b>
<b>Project</b> 19-026	<b>Drawing</b> TP005	<b>Rev.</b>



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**EXISTING CONDITIONS & DEMOLITION - ROOF PLAN**  
SCALE 1 : 100

## LEGEND

- EDP EXISTING DOWNSPIPE
- HRW HABITABLE WINDOW
- ESL EXISTING SKYLIGHT TO REMAIN
- ELEMENTS TO BE REMOVED/ DEMOLISHED
- EXISTING METAL ROOF TO REMAIN UNAFFECTED BY DEMOLITION WORKS
- EXISTING ELEMENTS BELOW ROOF LEVEL TO BE DEMOLISHED

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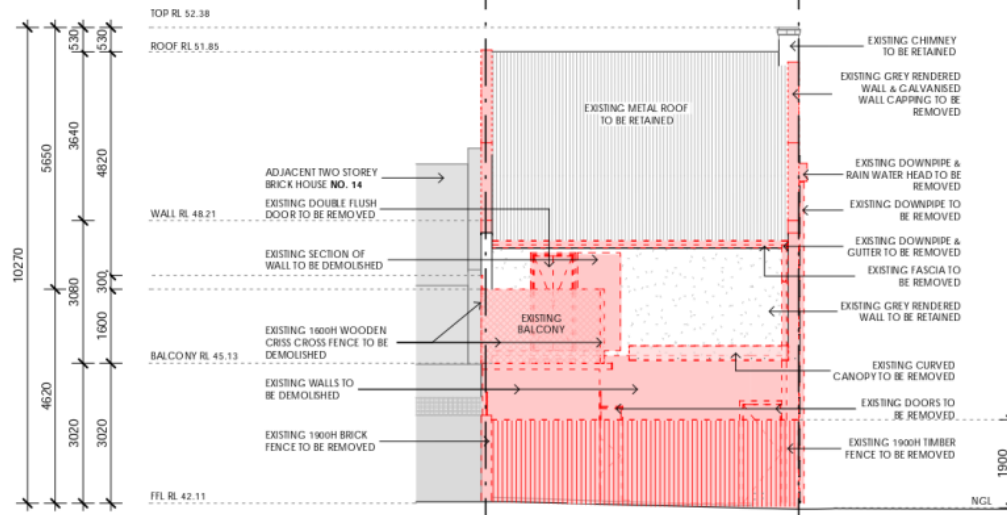
**Drawing**  
EXISTING CONDITIONS & DEMOLITION  
- ROOF PLAN

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<b>Project</b> 19-026	<b>Drawing</b> TP006	<b>Rev.</b>

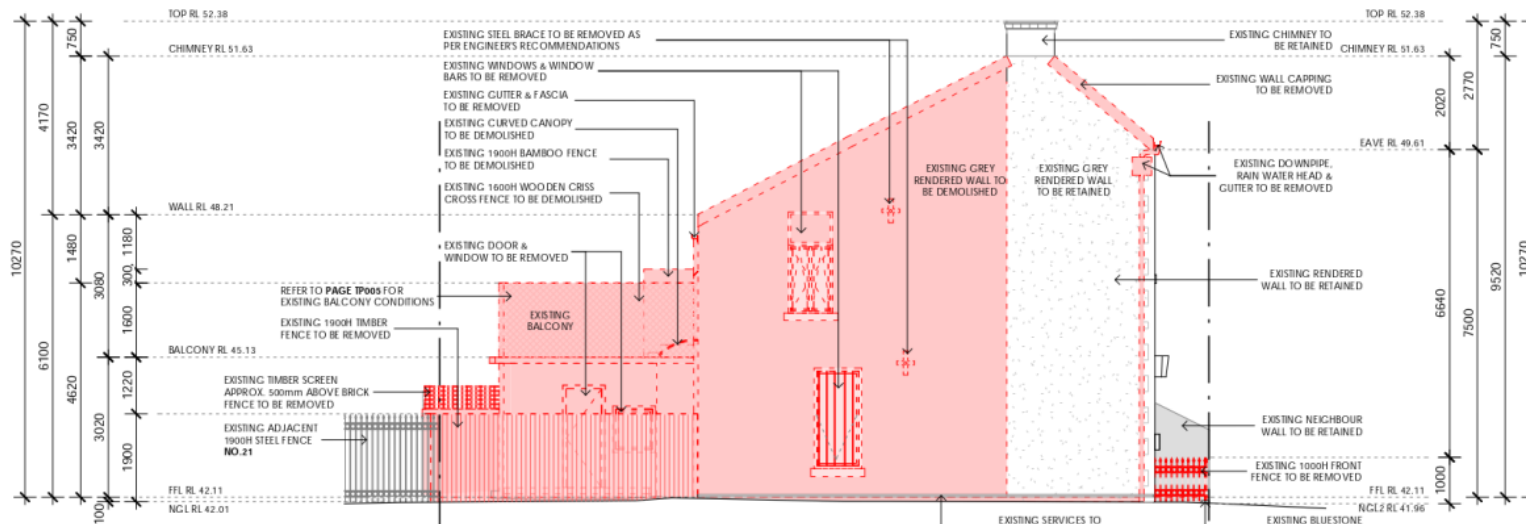


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**DEMOLITION WORKS - EAST ELEVATION**  
SCALE 1 : 100



**DEMOLITION WORKS - NORTH ELEVATION**  
SCALE 1 : 100

## LEGEND

- ELEMENTS TO BE REMOVED/DEMOLISHED
- PROPERTY BOUNDARY
- ELEMENTS TO BE REMOVED/DEMOLISHED
- EXISTING CONDITIONS

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WORKS

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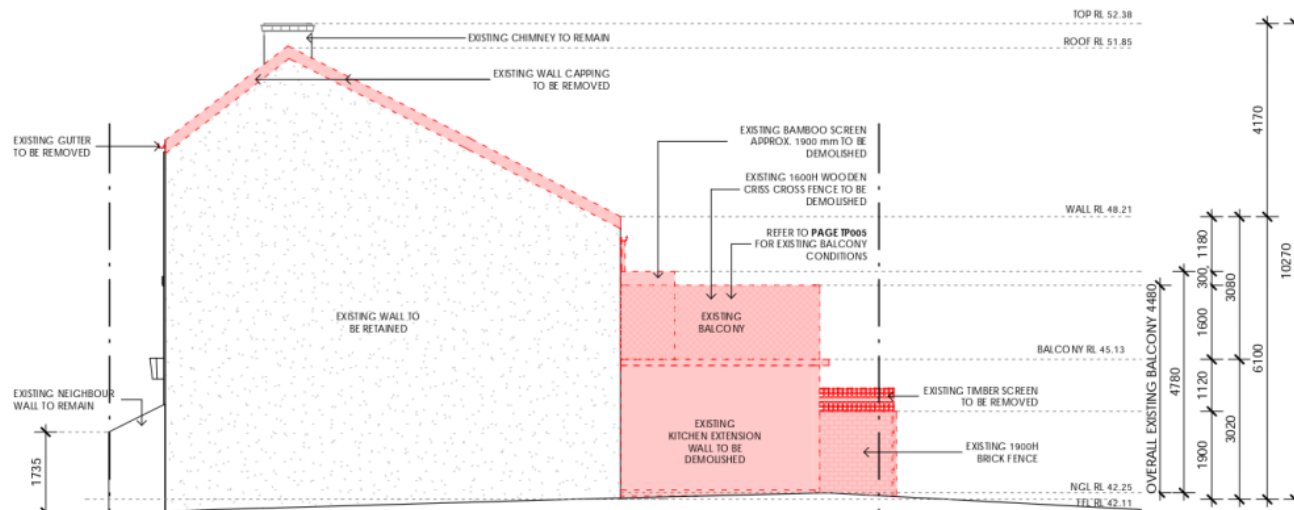
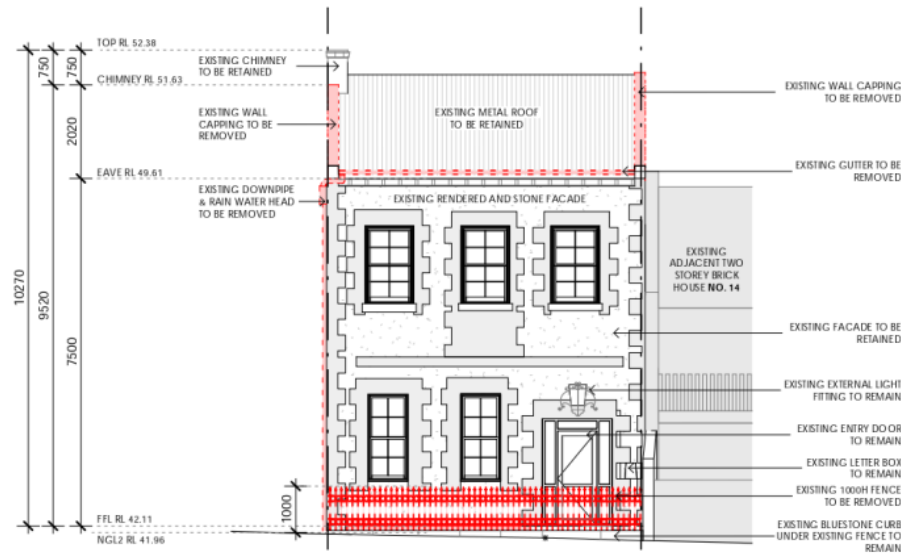
**Drawing**  
EXISTING CONDITIONS & DEMOLITION  
- NORTH & EAST ELEVATIONS

<b>Design</b> PR	<b>Drawn</b> GOY	<b>Check</b> MT
<b>Date</b> APR 2020	<b>Scale</b> 1 : 100	<b>Sheet</b> A3
<b>Project</b> 19-026	<b>Drawing</b> TP007	<b>Rev.</b>

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## LEGEND

- ELEMENTS TO BE REMOVED/ DEMOLISHED
- PROPERTY BOUNDARY
- EXISTING CONDITIONS

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WORKS

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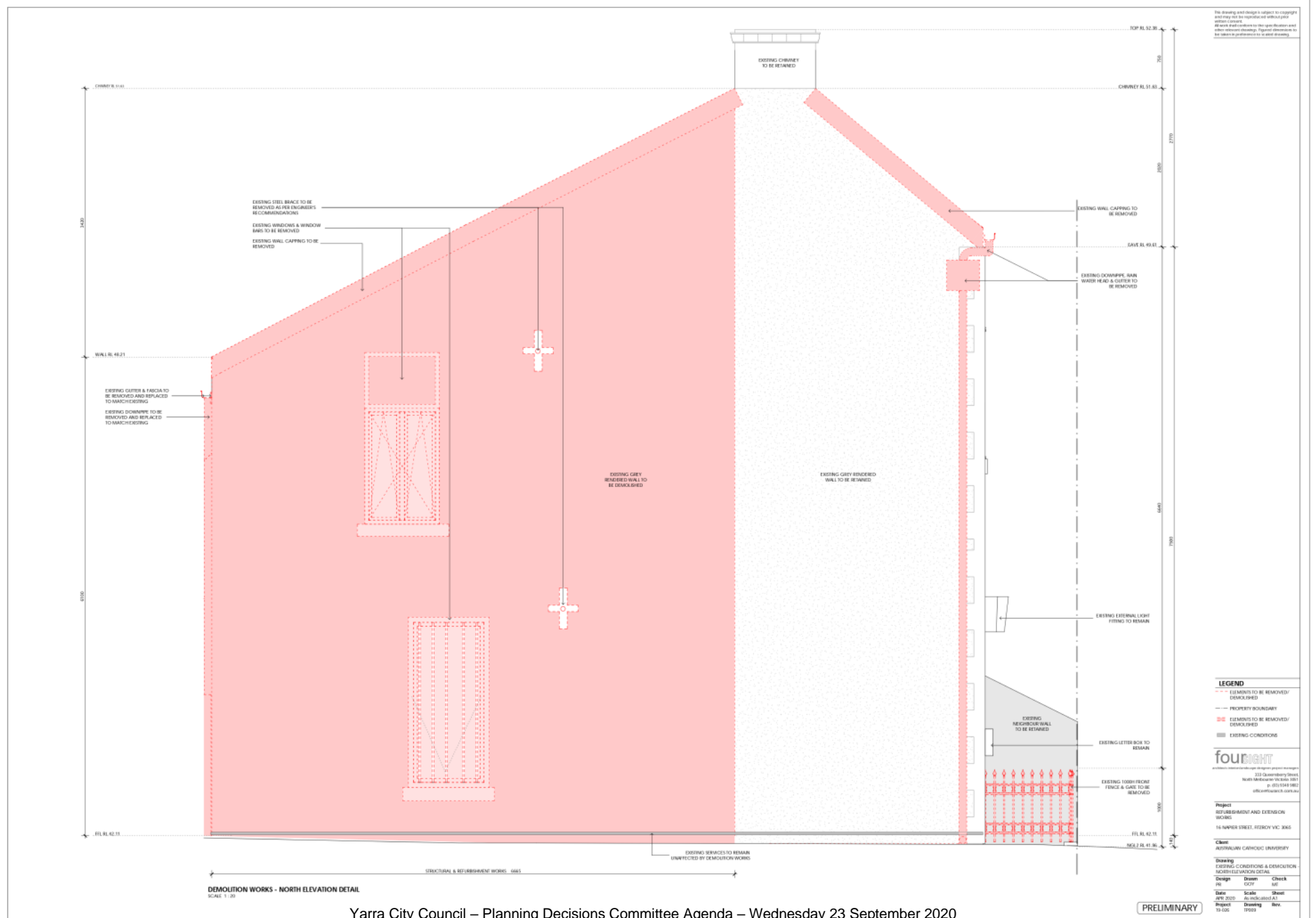
**Client**  
AUSTRALIAN CATHOLIC UNIVERSITY

**Drawing**  
EXISTING CONDITIONS & DEMOLITION  
- SOUTH & WEST ELEVATIONS

<b>Design</b> PR	<b>Drawn</b> GOY	<b>Check</b> MT
<b>Date</b> APR 2020	<b>Scale</b> 1 : 100	<b>Sheet</b> A3
<b>Project</b> 19-026	<b>Drawing</b> TP008	<b>Rev.</b>

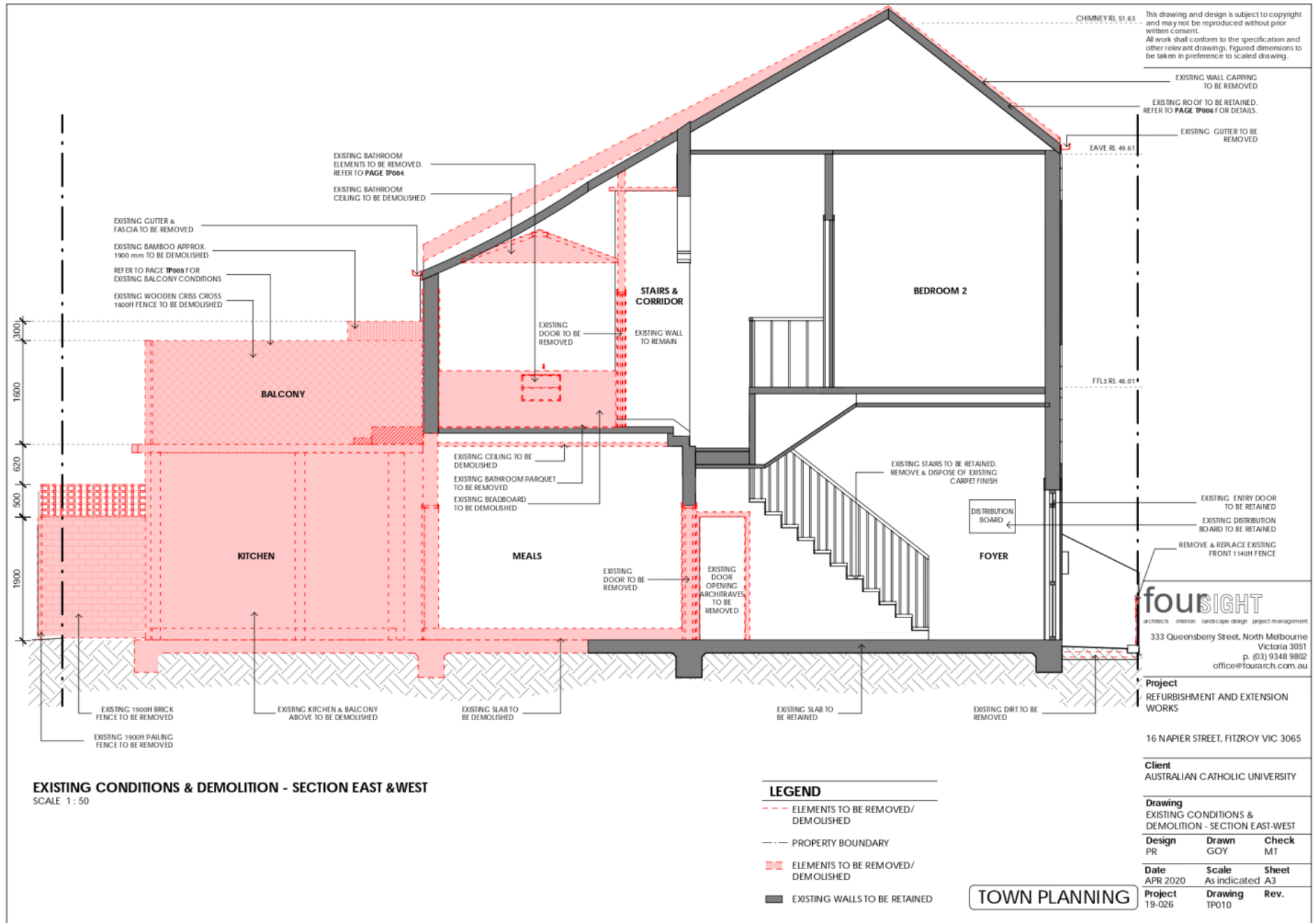
TOWN PLANNING

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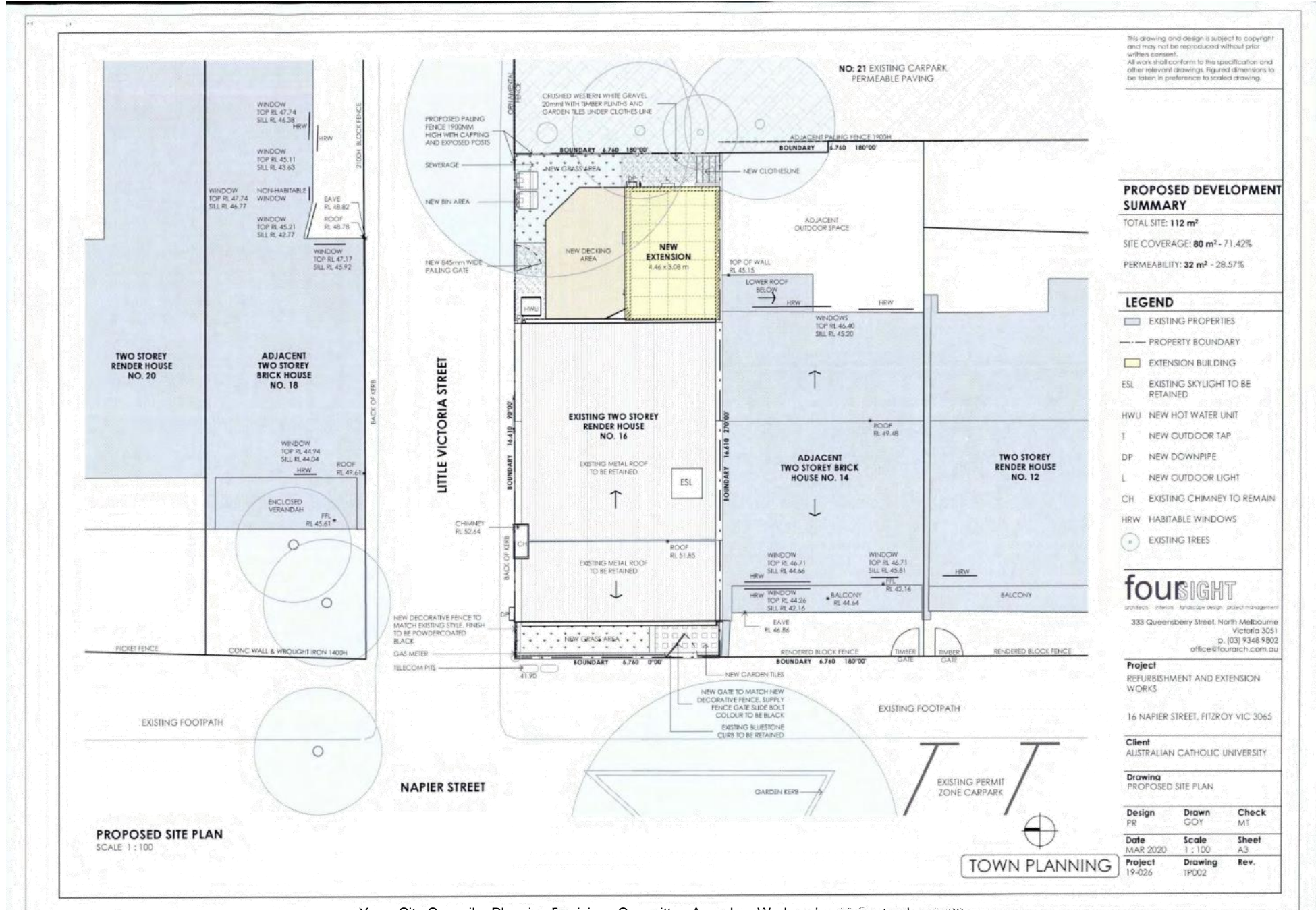




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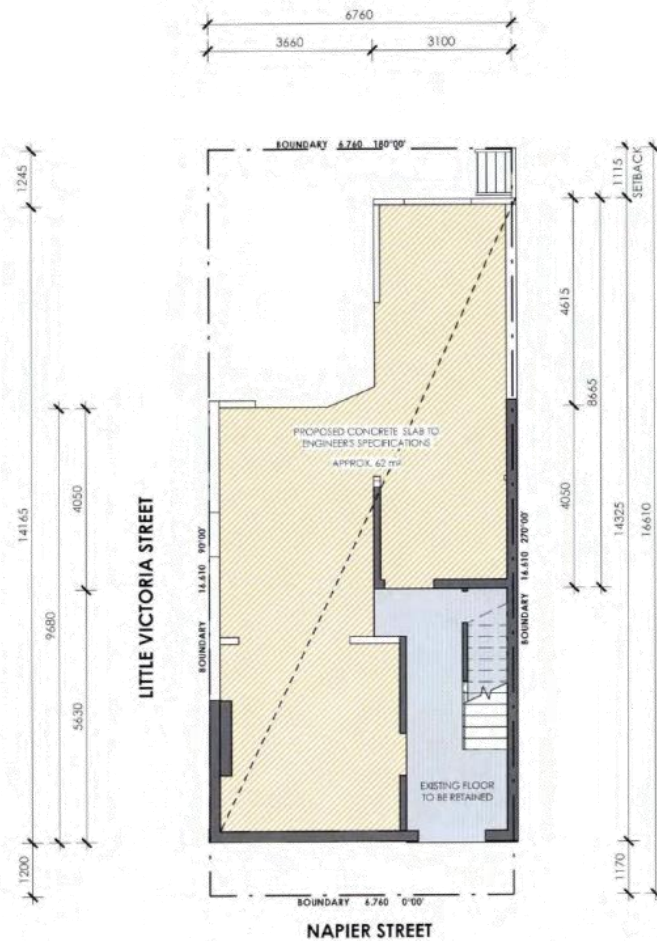


# Attachment 1 - PLN20/0022 - 16 Napier Street Fitzroy - Advertised Plans

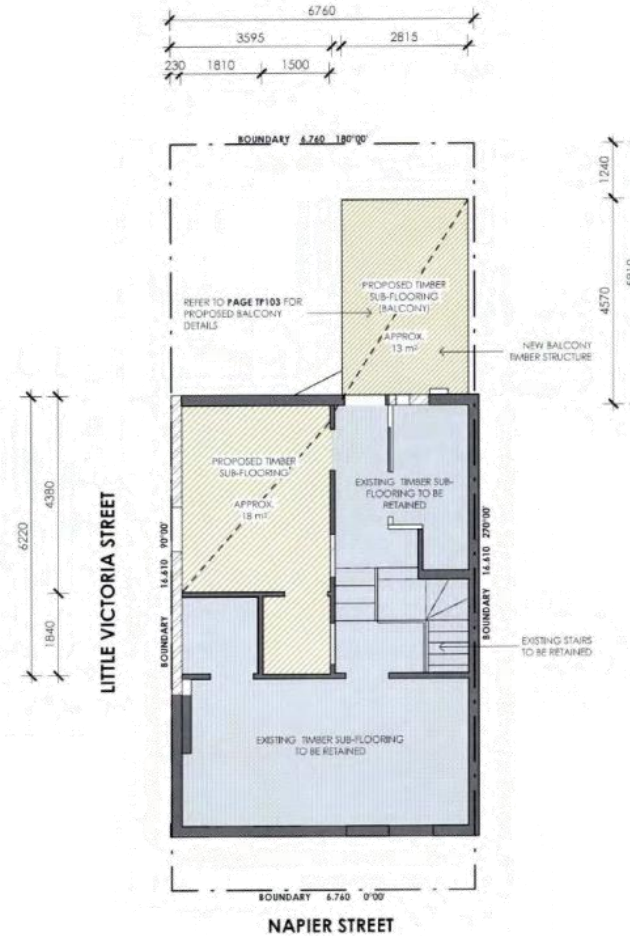




Attachment 1 - PLN20/0022 - 16 Napier Street Fitzroy - Advertised Plans



**PROPOSED SLAB PLAN - GROUND FLOOR**  
SCALE 1 : 100



**PROPOSED SLAB PLAN - FIRST FLOOR**  
SCALE 1 : 100

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**LEGEND**

- EXISTING WALLS TO BE RETAINED
- EXISTING FLOOR TO BE RETAINED
- PROPOSED CONCRETE SLAB
- PROPOSED TIMBER SUB-FLOORING

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WORKS

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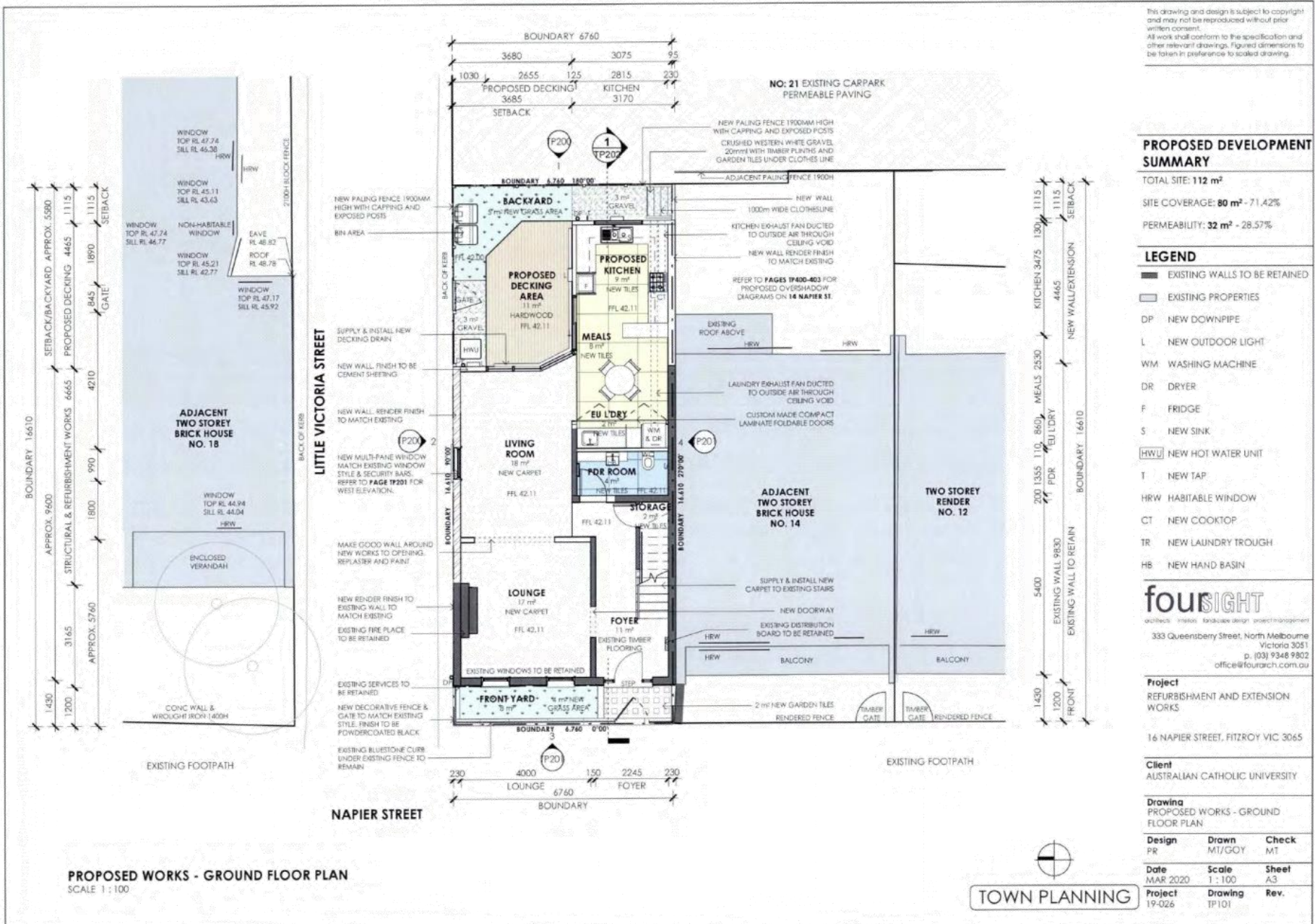
**Client**  
AUSTRALIAN CATHOLIC UNIVERSITY

**Drawing**  
PROPOSED WORKS - SLAB PLANS

<b>Design</b> PR	<b>Drawn</b> MT/GOY	<b>Check</b> MT
<b>Date</b> MAR 2020	<b>Scale</b> 1 : 100	<b>Sheet</b> A3
<b>Project</b> 19-026	<b>Drawing</b> TP100	<b>Rev.</b>

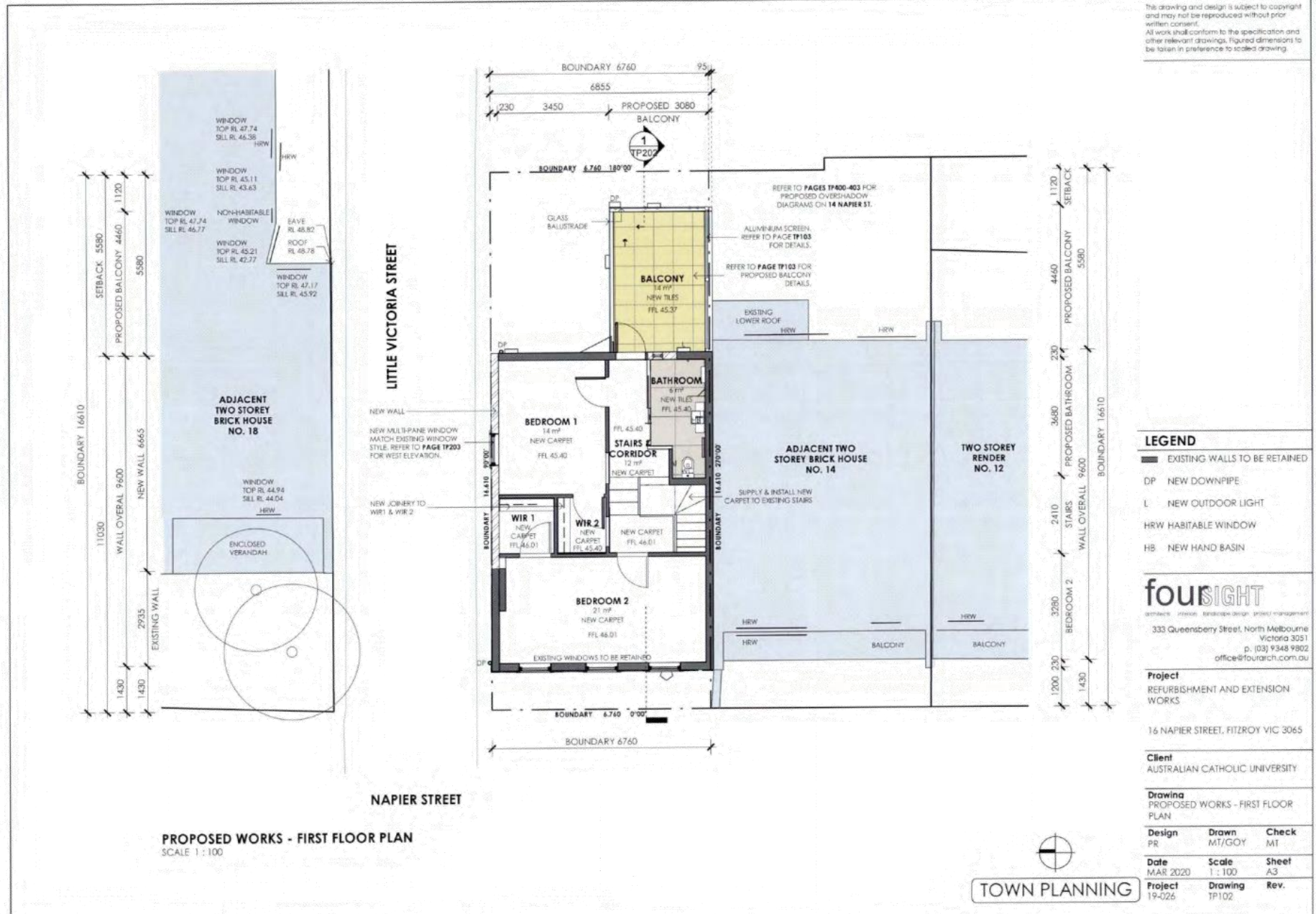


# Attachment 1 - PLN20/0022 - 16 Napier Street Fitzroy - Advertised Plans

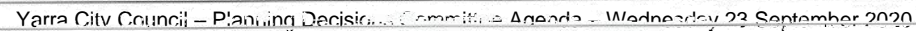




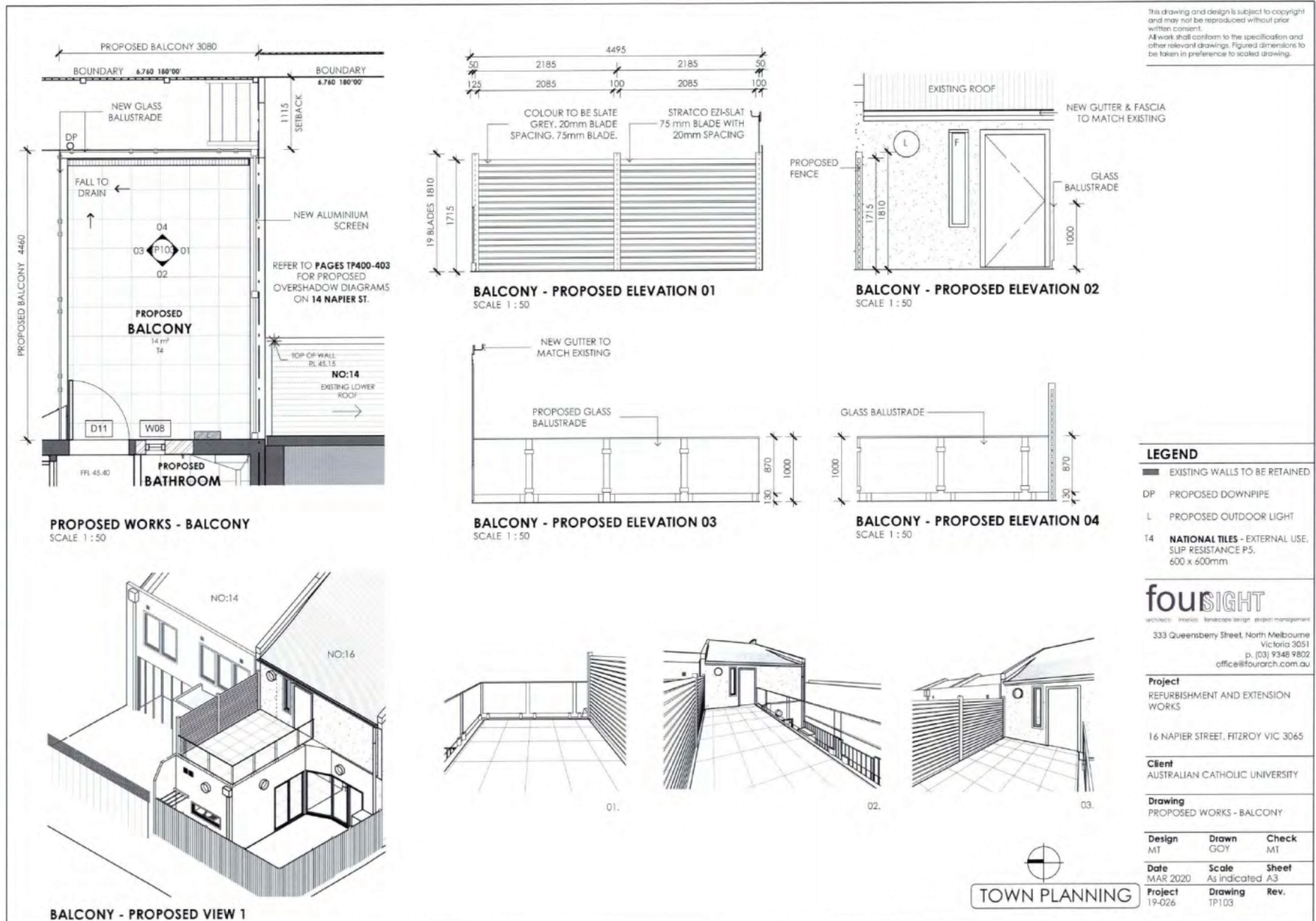
# Attachment 1 - PLN20/0022 - 16 Napier Street Fitzroy - Advertised Plans





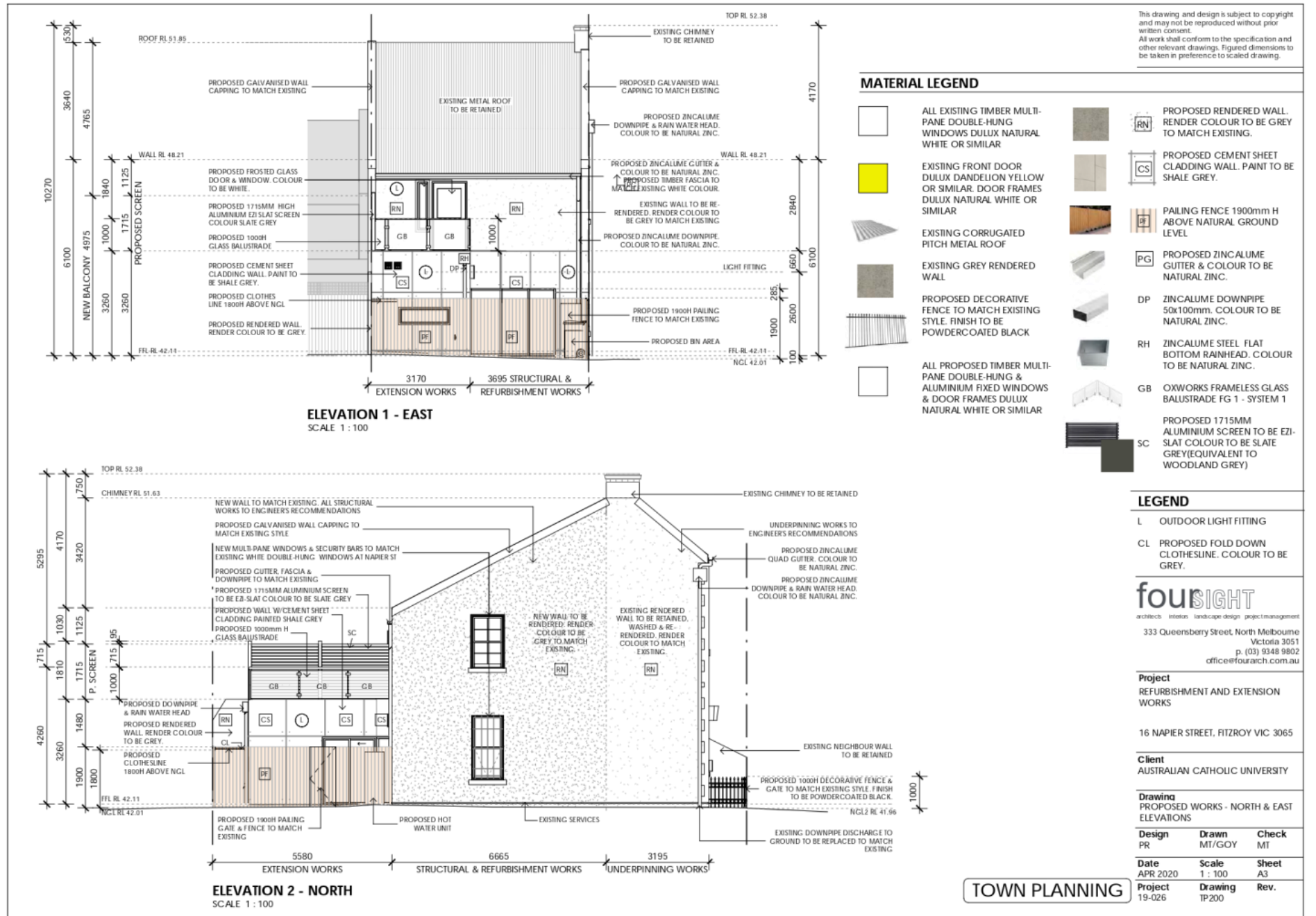


# Attachment 1 - PLN20/0022 - 16 Napier Street Fitzroy - Advertised Plans





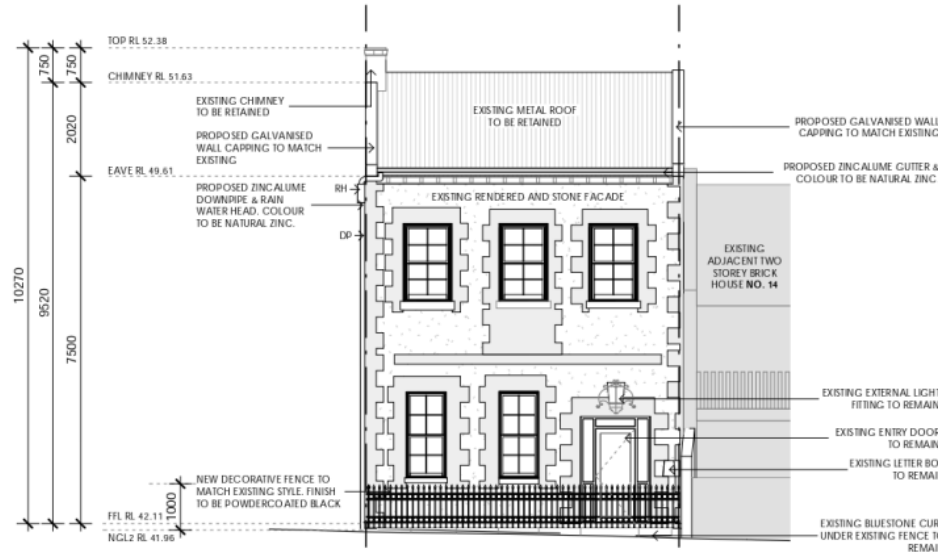
# Attachment 1 - PLN20/0022 - 16 Napier Street Fitzroy - Advertised Plans





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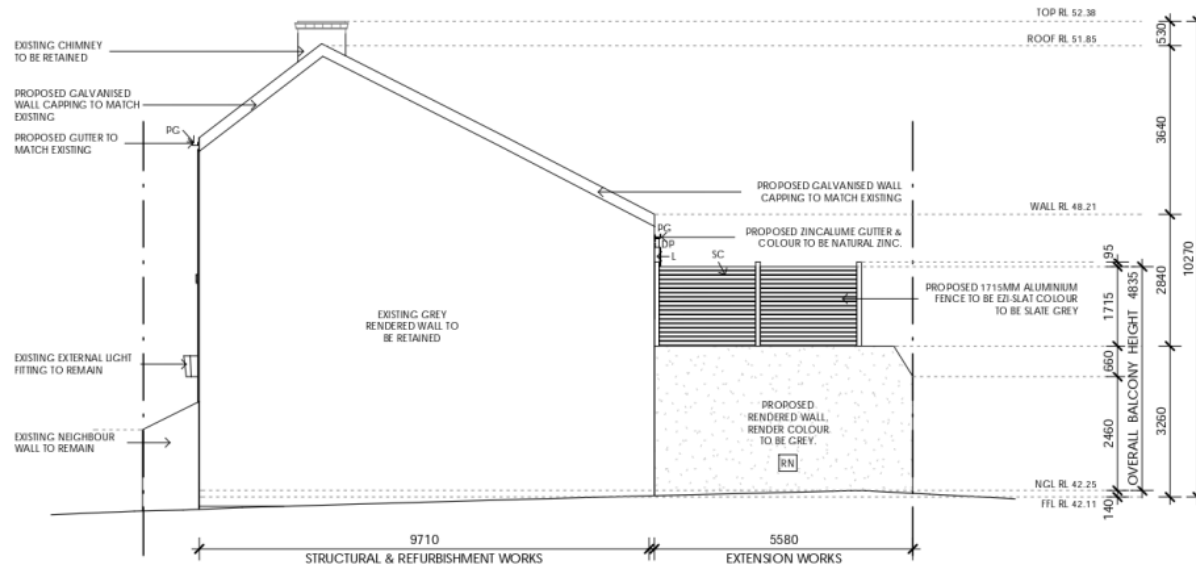
**ELEVATION 3 - WEST**  
SCALE 1 : 100

## MATERIAL LEGEND

	ALL EXISTING TIMBER MULTI-PANE DOUBLE-HUNG WINDOWS DULUX NATURAL WHITE OR SIMILAR		DP ZINCALUME DOWNPIPE 50x100mm. COLOUR TO BE NATURAL ZINC.
	EXISTING FRONT DOOR DULUX DANDELION YELLOW OR SIMILAR. DOOR FRAMES DULUX NATURAL WHITE OR SIMILAR		RH ZINCALUME STEEL FLAT BOTTOM RAINHEAD. COLOUR TO BE NATURAL ZINC.
	EXISTING CORRUGATED PITCH METAL ROOF		RN PROPOSED RENDERED WALL. RENDER COLOUR TO BE GREY TO MATCH EXISTING.
	EXISTING GREY RENDERED WALL		PG PROPOSED ZINCALUME GUTTER & COLOUR TO BE NATURAL ZINC.
	EXISTING GREY RENDERED & STONE FACADE		SC PROPOSED 1715MM ALUMINIUM SCREEN TO BE EZI-SLAT COLOUR TO BE SLATE GREY (EQUIVALENT TO WOODLAND GREY)
			PROPOSED DECORATIVE FENCE TO MATCH EXISTING STYLE. FINISH TO BE POWDERCOATED BLACK

## LEGEND

L OUTDOOR LIGHT FITTING



**ELEVATION 4 - SOUTH**  
SCALE 1 : 100

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**Project**  
REFURBISHMENT AND EXTENSION WORKS

16 NAPIER STREET, FITZROY VIC 3065

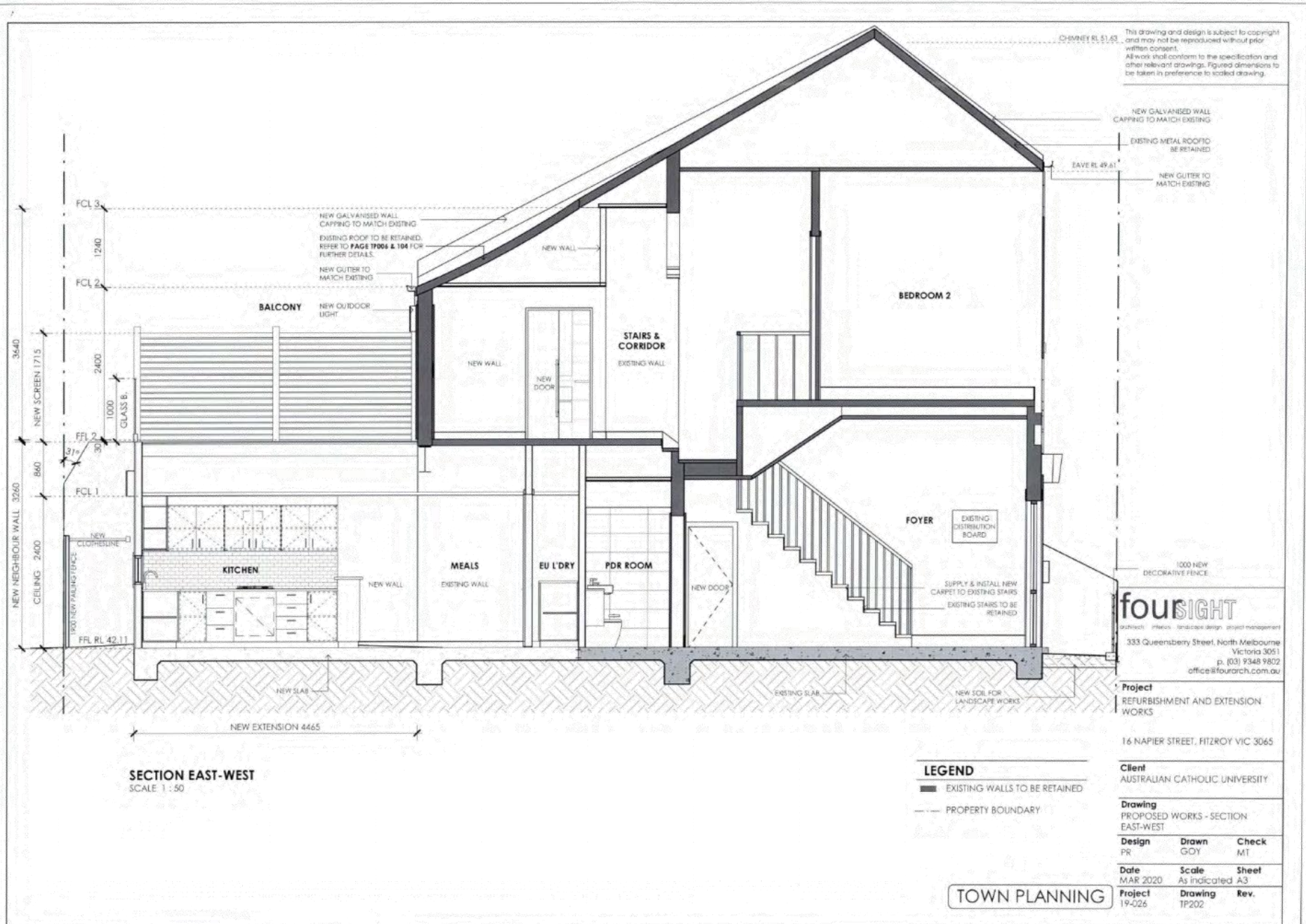
**Client**  
AUSTRALIAN CATHOLIC UNIVERSITY

**Drawing**  
PROPOSED WORKS - SOUTH & WEST ELEVATIONS

Design	Drawn	Check
PR	MT/GOY	MT
Date	Scale	Sheet
APR 2020	1 : 100	A3
Project	Drawing	Rev.
19-026	TP201	

TOWN PLANNING

**Attachment 1 - PLN20/0022 - 16 Napier Street Fitzroy - Advertised Plans**





## Attachment 1 - PLN20/0022 - 16 Napier Street Fitzroy - Advertised Plans

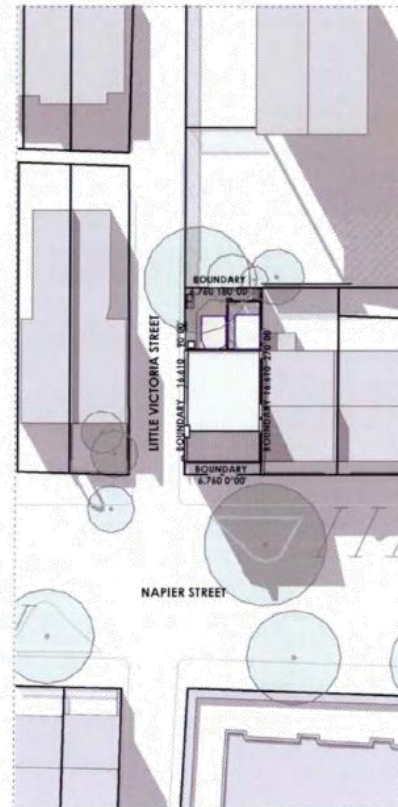
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EXISTING SHADOW DIAGRAM - 9 AM

SCALE 1 : 400

SEPTEMBER EQUINOX 9:00 AM



PROPOSED SHADOW DIAGRAM - 9 AM

SCALE 1 : 400

SEPTEMBER EQUINOX 9:00 AM

SHADOW IMPACT ON NO. 16 NAPIER STREET, FITZROY			
TIME	UNSHADOWED AREA (EXISTING) SPOS	UNSHADOWED AREA (PROPOSED) SPOS	DECREASE IN OVERALL SHADOWS
9:00 AM	10.31 m <sup>2</sup>	12.86 m <sup>2</sup>	2.55 m <sup>2</sup>
10:00 AM	14.41 m <sup>2</sup>	16.06 m <sup>2</sup>	1.65 m <sup>2</sup>
11:00 AM	17.67 m <sup>2</sup>	20.24 m <sup>2</sup>	2.57 m <sup>2</sup>
12:00 PM	20.60 m <sup>2</sup>	25.01 m <sup>2</sup>	4.41 m <sup>2</sup>
1:00 PM	21.64 m <sup>2</sup>	26.14 m <sup>2</sup>	4.50 m <sup>2</sup>
2:00 PM	NO IMPACT ON SPOS FROM PROPOSED ADDITION		
3:00 PM	6.51 m <sup>2</sup>	7.14 m <sup>2</sup>	0.63 m <sup>2</sup>

## SHADOW LEGEND | 9 AM

- UNSHADOWED AREA (EXISTING) SPOS  
TOTAL 10.31 m<sup>2</sup>
- UNSHADOWED AREA (PROPOSED) SPOS  
TOTAL 12.86 m<sup>2</sup>

## LEGEND

- EXISTING PROPERTIES
- PROPERTY BOUNDARY

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## Project

REFURBISHMENT AND EXTENSION  
WORKS

16 NAPIER STREET, FITZROY VIC 3065

## Client

AUSTRALIAN CATHOLIC UNIVERSITY

## Drawing

PROPOSED SHADOW DIAGRAM -  
9 AM

Design  
PR

Drawn  
GOY

Check  
MT

Date  
MAR 2020

Scale  
As indicated A3

Sheet

Project  
19-026

Drawing  
1P300

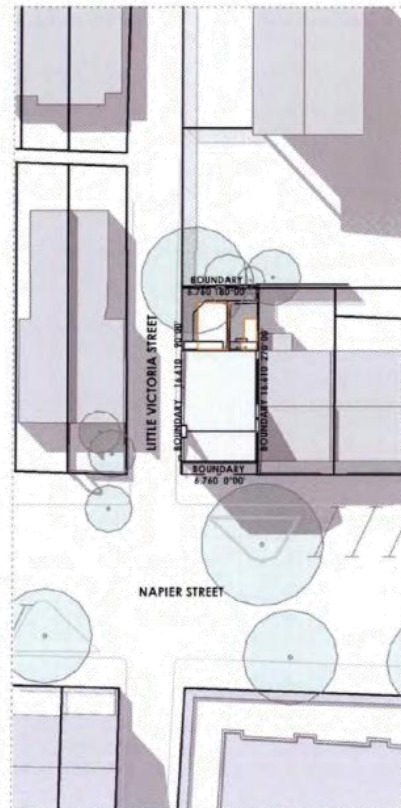
Rev.

TOWN PLANNING

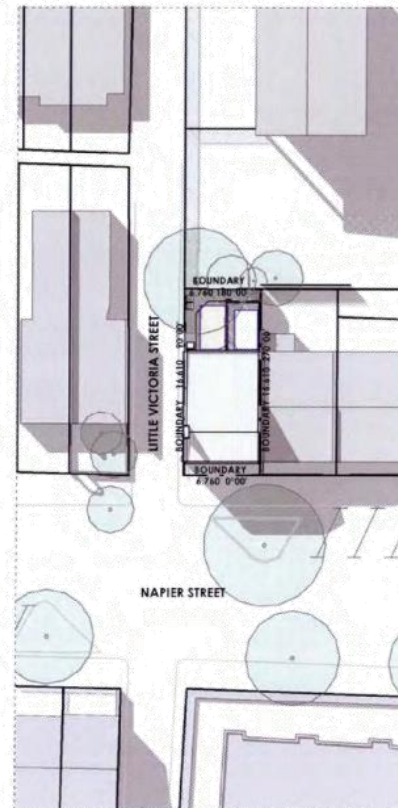


Attachment 1 - PLN20/0022 - 16 Napier Street Fitzroy - Advertised Plans

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**EXISTING SHADOW DIAGRAM - 10AM**  
SCALE 1 : 400  
SEPTEMBER EQUINOX 10:00 AM



**PROPOSED SHADOW DIAGRAM - 10AM**  
SCALE 1 : 400  
SEPTEMBER EQUINOX 10:00 AM

SHADOW IMPACT ON NO.16 NAPIER STREET, FITZROY			
TIME	UNSHADOWED AREA (EXISTING) SPOS	UNSHADOWED AREA (PROPOSED) SPOS	DECREASE IN OVERALL SHADOWS
9:00 AM	10.31 m <sup>2</sup>	12.86 m <sup>2</sup>	2.55 m <sup>2</sup>
10:00 AM	14.41 m <sup>2</sup>	16.06 m <sup>2</sup>	1.65 m <sup>2</sup>
11:00 AM	17.67 m <sup>2</sup>	20.24 m <sup>2</sup>	2.57 m <sup>2</sup>
12:00 PM	20.60 m <sup>2</sup>	25.01 m <sup>2</sup>	4.41 m <sup>2</sup>
1:00 PM	21.64 m <sup>2</sup>	26.14 m <sup>2</sup>	4.50 m <sup>2</sup>
2:00 PM	NO IMPACT ON SPOS FROM PROPOSED ADDITION		
3:00 PM	6.51 m <sup>2</sup>	7.14 m <sup>2</sup>	0.63 m <sup>2</sup>

**SHADOW LEGEND | 10 AM**

- UNSHADOWED AREA  
(EXISTING) SPOS  
**TOTAL 14.41 m<sup>2</sup>**
- UNSHADOWED AREA  
(PROPOSED) SPOS  
**TOTAL 16.06 m<sup>2</sup>**

**LEGEND**

- EXISTING PROPERTIES
- PROPERTY BOUNDARY

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**Project**

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WORKS

16 NAPIER STREET, FITZROY VIC 3065

**Client**

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**Drawing**

PROPOSED SHADOW DIAGRAM -  
10AM

**Design**

PR

**Drawn**

GOY

**Check**

MT

**Date**

MAR 2020

**Scale**

As indicated A3

**Sheet**

**Project**

19-026

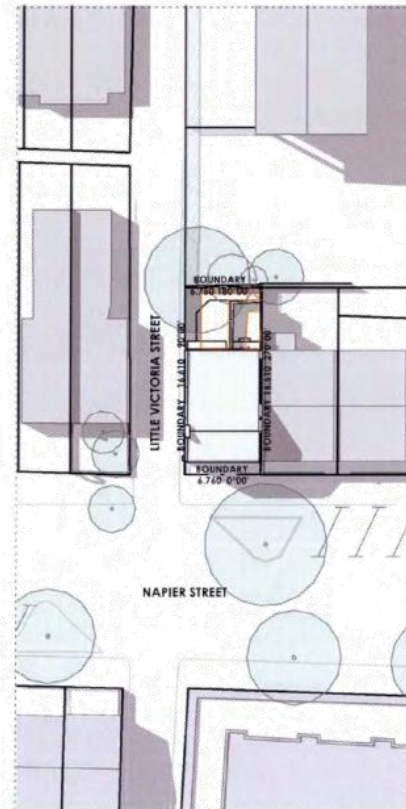
**Drawing**

TP301

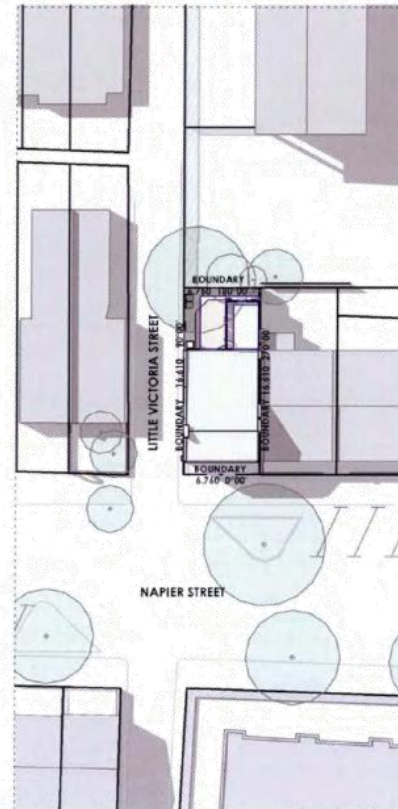
**Rev.**



Attachment 1 - PLN20/0022 - 16 Napier Street Fitzroy - Advertised Plans



**EXISTING SHADOW DIAGRAM - 11 AM**  
SCALE 1 : 400  
SEPTEMBER EQUINOX 11:00 AM



**PROPOSED SHADOW DIAGRAM - 11 AM**  
SCALE 1 : 400  
SEPTEMBER EQUINOX 11:00 AM

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SHADOW IMPACT ON NO.16 NAPIER STREET, FITZROY			
TIME	UNSHADOWED AREA (EXISTING) SPOS	UNSHADOWED AREA (PROPOSED) SPOS	DECREASE IN OVERALL SHADOWS
9:00 AM	10.31 m²	12.86 m²	2.55 m²
10:00 AM	14.41 m²	16.06 m²	1.65 m²
11:00 AM	17.67 m²	20.24 m²	2.57 m²
12:00 PM	20.60 m²	25.01 m²	4.41 m²
1:00 PM	21.64 m²	26.14 m²	4.50 m²
2:00 PM	NO IMPACT ON SPOS FROM PROPOSED ADDITION		
3:00 PM	6.51 m²	7.14 m²	0.63 m²

**SHADOW LEGEND | 11 AM**

- UNSHADOWED AREA (EXISTING) SPOS  
TOTAL 17.67 m²
- UNSHADOWED AREA (PROPOSED) SPOS  
TOTAL 20.24 m²

**LEGEND**

- EXISTING PROPERTIES
- PROPERTY BOUNDARY

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**Project**  
REFURBISHMENT AND EXTENSION  
WORKS

16 NAPIER STREET, FITZROY VIC 3065

**Client**  
AUSTRALIAN CATHOLIC UNIVERSITY

**Drawing**  
PROPOSED SHADOW DIAGRAM -  
11 AM

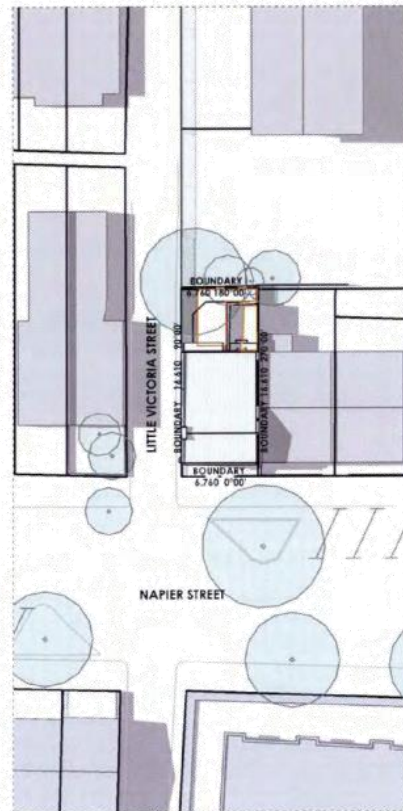
<b>Design</b> PR	<b>Drawn</b> GOY	<b>Check</b> MT
<b>Date</b> MAR 2020	<b>Scale</b> As indicated	<b>Sheet</b> A3
<b>Project</b> 19-026	<b>Drawing</b> TP302	<b>Rev.</b>





## Attachment 1 - PLN20/0022 - 16 Napier Street Fitzroy - Advertised Plans

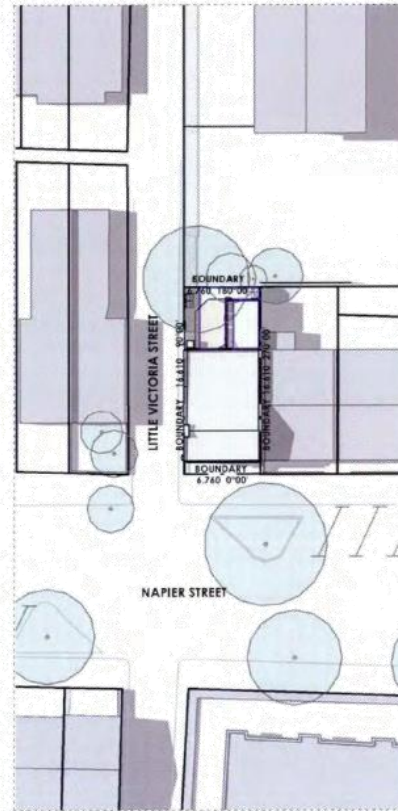
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EXISTING SHADOW DIAGRAM - 12PM

SCALE 1 : 400

SEPTEMBER EQUINOX 12:00 PM



PROPOSED SHADOW DIAGRAM - 12PM

SCALE 1 : 400

SEPTEMBER EQUINOX 12:00 PM

SHADOW IMPACT ON NO.16 NAPIER STREET, FITZROY			
TIME	UNSHADOWED AREA (EXISTING) SPOS	UNSHADOWED AREA (PROPOSED) SPOS	DECREASE IN OVERALL SHADOWS
9:00 AM	10.31 m <sup>2</sup>	12.86 m <sup>2</sup>	2.55 m <sup>2</sup>
10:00 AM	14.41 m <sup>2</sup>	16.06 m <sup>2</sup>	1.65 m <sup>2</sup>
11:00 AM	17.67 m <sup>2</sup>	20.24 m <sup>2</sup>	2.57 m <sup>2</sup>
12:00 PM	20.60 m <sup>2</sup>	25.01 m <sup>2</sup>	4.41 m <sup>2</sup>
1:00 PM	21.64 m <sup>2</sup>	26.14 m <sup>2</sup>	4.50 m <sup>2</sup>
2:00 PM	NO IMPACT ON SPOS FROM PROPOSED ADDITION		
3:00 PM	6.51 m <sup>2</sup>	7.14 m <sup>2</sup>	0.63 m <sup>2</sup>

## SHADOW LEGEND | 12 PM

- UNSHADOWED AREA (EXISTING) SPOS  
TOTAL 20.60 m<sup>2</sup>
- UNSHADOWED AREA (PROPOSED) SPOS  
TOTAL 25.01 m<sup>2</sup>

## LEGEND

- EXISTING PROPERTIES
- PROPERTY BOUNDARY

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## Project

REFURBISHMENT AND EXTENSION  
WORKS

16 NAPIER STREET, FITZROY VIC 3065

## Client

AUSTRALIAN CATHOLIC UNIVERSITY

## Drawing

PROPOSED SHADOW DIAGRAM -  
12PM

Design PR	Drawn GOY	Check MT
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Date MAR 2020	Scale As indicated A3	Sheet
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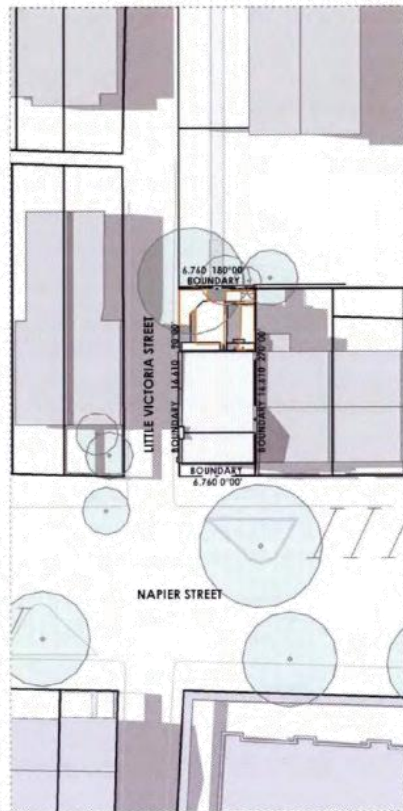
Project 19-026	Drawing TP303	Rev.
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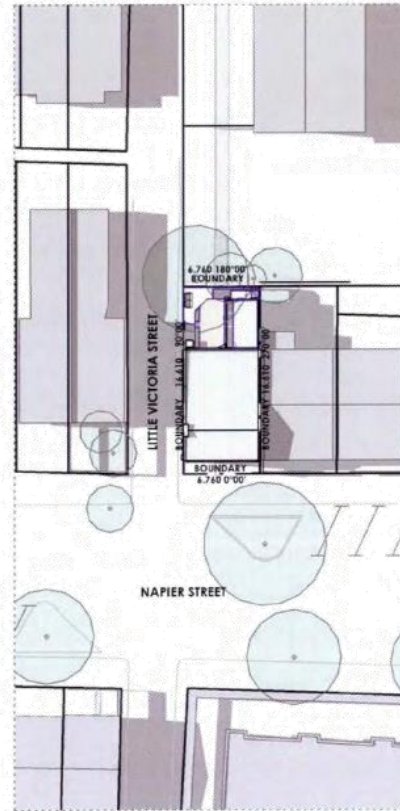


# Attachment 1 - PLN20/0022 - 16 Napier Street Fitzroy - Advertised Plans

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**EXISTING SHADOW DIAGRAM - 1 PM**  
SCALE 1 : 400  
SEPTEMBER EQUINOX 1:00 PM



**PROPOSED SHADOW DIAGRAM - 1 PM**  
SCALE 1 : 400  
SEPTEMBER EQUINOX 1:00 PM

TIME	UNSHADOWED AREA (EXISTING) SPOS	UNSHADOWED AREA (PROPOSED) SPOS	DECREASE IN OVERALL SHADOWS
9:00 AM	10.31 m <sup>2</sup>	12.86 m <sup>2</sup>	2.55 m <sup>2</sup>
10:00 AM	14.41 m <sup>2</sup>	16.06 m <sup>2</sup>	1.65 m <sup>2</sup>
11:00 AM	17.67 m <sup>2</sup>	20.24 m <sup>2</sup>	2.57 m <sup>2</sup>
12:00 PM	20.60 m <sup>2</sup>	25.01 m <sup>2</sup>	4.41 m <sup>2</sup>
1:00 PM	21.64 m <sup>2</sup>	26.14 m <sup>2</sup>	4.50 m <sup>2</sup>
2:00 PM	NO IMPACT ON SPOS FROM PROPOSED ADDITION		
3:00 PM	6.51 m <sup>2</sup>	7.14 m <sup>2</sup>	0.63 m <sup>2</sup>

## SHADOW LEGEND | 1 PM

- UNSHADOWED AREA  
(EXISTING) SPOS  
TOTAL 21.64 m<sup>2</sup>
- UNSHADOWED AREA  
(PROPOSED) SPOS  
TOTAL 26.14 m<sup>2</sup>

## LEGEND

- EXISTING PROPERTIES
- PROPERTY BOUNDARY

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**Project**  
REFURBISHMENT AND EXTENSION  
WORKS

16 NAPIER STREET, FITZROY VIC 3065

**Client**  
AUSTRALIAN CATHOLIC UNIVERSITY

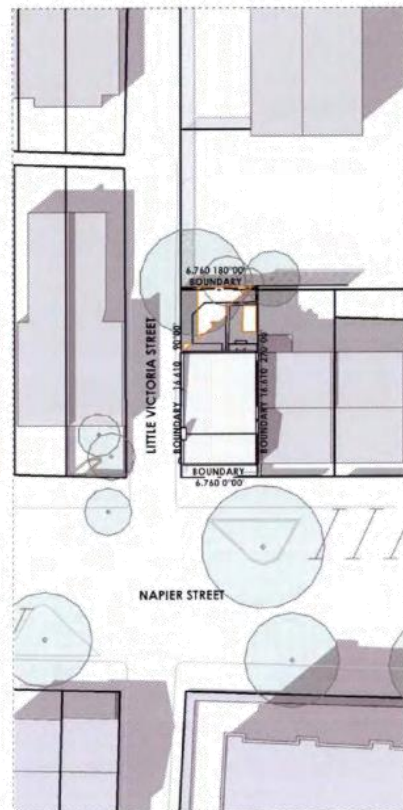
**Drawing**  
PROPOSED SHADOW DIAGRAM -  
1 PM

Design	Drawn	Check
PR	GOY	MT
Date	Scale	Sheet
MAR 2020	As indicated	A3
Project	Drawing	Rev.
19-026	TP304	

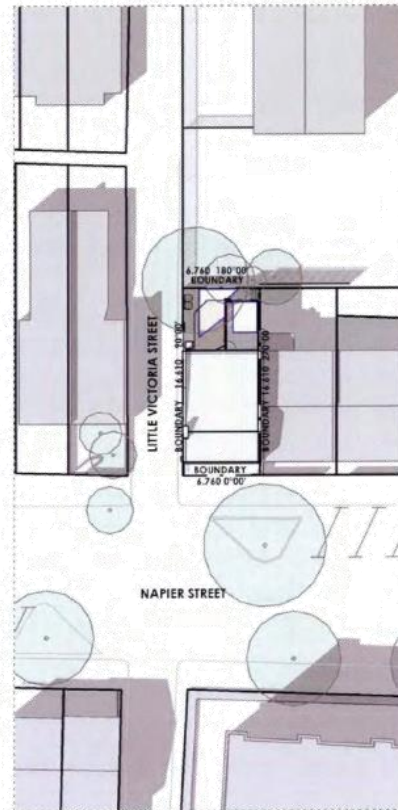


## Attachment 1 - PLN20/0022 - 16 Napier Street Fitzroy - Advertised Plans

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**EXISTING SHADOW DIAGRAM - 2PM**  
SCALE 1 : 400  
SEPTEMBER EQUINOX 2:00 PM



**PROPOSED SHADOW DIAGRAM - 2PM**  
SCALE 1 : 400  
SEPTEMBER EQUINOX 2:00 PM

TIME	UNSHADOWED AREA (EXISTING) SPOS	UNSHADOWED AREA (PROPOSED) SPOS	DECREASE IN OVERALL SHADOWS
9:00 AM	10.31 m <sup>2</sup>	12.86 m <sup>2</sup>	2.55 m <sup>2</sup>
10:00 AM	14.41 m <sup>2</sup>	16.06 m <sup>2</sup>	1.65 m <sup>2</sup>
11:00 AM	17.67 m <sup>2</sup>	20.24 m <sup>2</sup>	2.57 m <sup>2</sup>
12:00 PM	20.60 m <sup>2</sup>	25.01 m <sup>2</sup>	4.41 m <sup>2</sup>
1:00 PM	21.64 m <sup>2</sup>	26.14 m <sup>2</sup>	4.50 m <sup>2</sup>
2:00 PM	NO IMPACT ON SPOS FROM PROPOSED ADDITION		
3:00 PM	6.51 m <sup>2</sup>	7.14 m <sup>2</sup>	0.63 m <sup>2</sup>

#### SHADOW LEGEND | 2 PM

- UNSHADOWED AREA (EXISTING) SPOS  
TOTAL 14.01 m<sup>2</sup>
- UNSHADOWED AREA (PROPOSED) SPOS  
TOTAL 14.03 m<sup>2</sup>

#### LEGEND

- EXISTING PROPERTIES
- PROPERTY BOUNDARY

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#### Project

REFURBISHMENT AND EXTENSION  
WORKS

16 NAPIER STREET, FITZROY VIC 3065

#### Client

AUSTRALIAN CATHOLIC UNIVERSITY

#### Drawing

PROPOSED SHADOW DIAGRAM -  
2PM

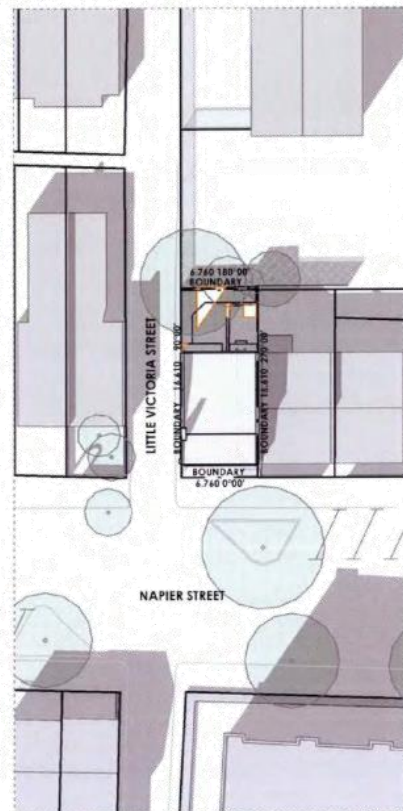
Design	Drawn	Check
PR	GOY	MT
Date	Scale	Sheet
MAR 2020	As indicated	A3
Project	Drawing	Rev.
19-026	TP305	



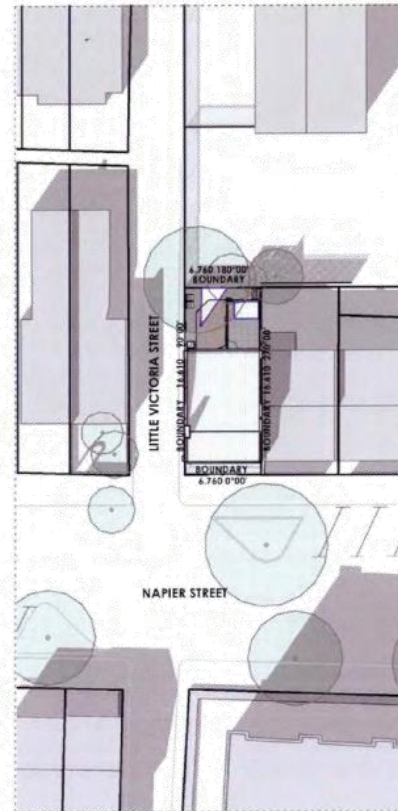


## Attachment 1 - PLN20/0022 - 16 Napier Street Fitzroy - Advertised Plans

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**EXISTING SHADOW DIAGRAM - 3PM**  
SCALE 1 : 400  
SEPTEMBER EQUINOX 3:00 PM



**PROPOSED SHADOW DIAGRAM - 3PM**  
SCALE 1 : 400  
SEPTEMBER EQUINOX 3:00 PM

SHADOW IMPACT ON NO.16 NAPIER STREET, FITZROY			
TIME	UNSHADOWED AREA (EXISTING) SPOS	UNSHADOWED AREA (PROPOSED) SPOS	DECREASE IN OVERALL SHADOWS
9:00 AM	10.31 m <sup>2</sup>	12.86 m <sup>2</sup>	2.55 m <sup>2</sup>
10:00 AM	14.41 m <sup>2</sup>	16.06 m <sup>2</sup>	1.65 m <sup>2</sup>
11:00 AM	17.67 m <sup>2</sup>	20.24 m <sup>2</sup>	2.57 m <sup>2</sup>
12:00 PM	20.60 m <sup>2</sup>	25.01 m <sup>2</sup>	4.41 m <sup>2</sup>
1:00 PM	21.64 m <sup>2</sup>	26.14 m <sup>2</sup>	4.50 m <sup>2</sup>
2:00 PM	NO IMPACT ON SPOS FROM PROPOSED ADDITION		
3:00 PM	6.51 m <sup>2</sup>	7.14 m <sup>2</sup>	0.63 m <sup>2</sup>

**SHADOW LEGEND | 3 PM**

- UNSHADOWED AREA (EXISTING) SPOS  
TOTAL 6.51 m<sup>2</sup>  
 UNSHADOWED AREA (PROPOSED) SPOS  
TOTAL 7.14 m<sup>2</sup>

**LEGEND**

- EXISTING PROPERTIES  
 PROPERTY BOUNDARY

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 office@foursight.com.au

**Project**

REFURBISHMENT AND EXTENSION  
 WORKS

16 NAPIER STREET, FITZROY VIC 3065

**Client**

AUSTRALIAN CATHOLIC UNIVERSITY

**Drawing**

PROPOSED SHADOW DIAGRAM -  
 3PM

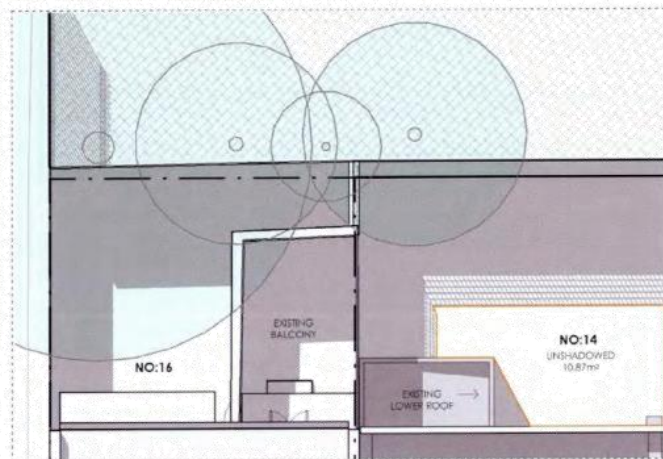
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PR	GOY	MT
Date	Scale	Sheet
MAR 2020	As indicated A3	
Project	Drawing	Rev.
19-026	TP306	

TOWN PLANNING

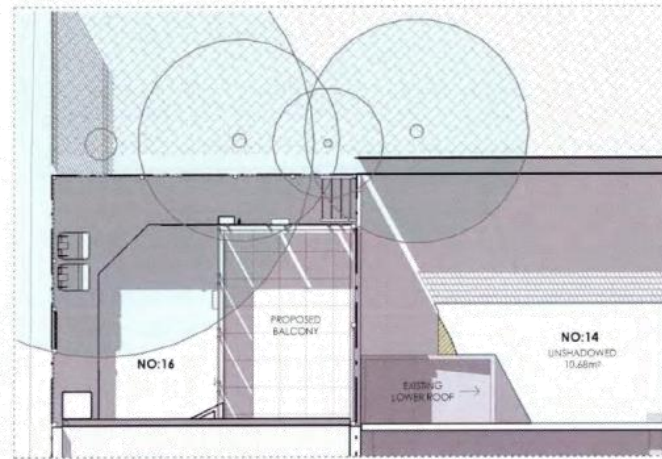
# Attachment 1 - PLN20/0022 - 16 Napier Street Fitzroy - Advertised Plans

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SHADOW IMPACT ON NO.14 NAPIER STREET, FITZROY			
TIME	UNSHADOWED AREA (EXISTING) SPOS	UNSHADOWED AREA (PROPOSED) SPOS	INCREASE IN OVERALL SHADOWS
9:00 AM	10.87 m <sup>2</sup>	10.68 m <sup>2</sup>	0.19 m <sup>2</sup>
10:00 AM	16.86 m <sup>2</sup>	15.95 m <sup>2</sup>	0.91 m <sup>2</sup>
11:00 AM	18.41 m <sup>2</sup>	17.22 m <sup>2</sup>	1.19 m <sup>2</sup>
12:00 PM	19.18 m <sup>2</sup>	17.74 m <sup>2</sup>	1.44 m <sup>2</sup>
1:00 PM	13.66 m <sup>2</sup>	12.57 m <sup>2</sup>	1.09 m <sup>2</sup>
2:00 PM	7.12 m <sup>2</sup>	6.87 m <sup>2</sup>	0.25 m <sup>2</sup>
3:00 PM	NO IMPACT ON SPOS FROM PROPOSED ADDITION		



**BALCONY - EXISTING SHADOW DIAGRAM - 9 AM - NEIGHBOUR**  
SCALE 1:100



**BALCONY - PROPOSED SHADOW DIAGRAM - 9 AM - NEIGHBOUR**  
SCALE 1:100

## LEGEND

SPOS (SECLUDED PRIVATE OPEN SPACE) OF NO.14 NAPIER STREET

TOTAL 35m<sup>2</sup>

## SHADOW LEGEND | 9 AM

UNSHADOWED AREA (EXISTING) SPOS  
TOTAL 10.87 m<sup>2</sup>

UNSHADOWED AREA (PROPOSED) SPOS  
TOTAL 10.68 m<sup>2</sup>

ADDITIONAL SHADOW BY PROPOSED WORKS  
TOTAL 0.19 m<sup>2</sup>

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## Project

REFURBISHMENT AND EXTENSION WORKS

16 NAPIER STREET, FITZROY VIC 3065

## Client

AUSTRALIAN CATHOLIC UNIVERSITY

## Drawing

EXISTING & PROPOSED BALCONY SHADOWS - 9 & 10 AM

Design	Drawn	Check
-	GOY	MT

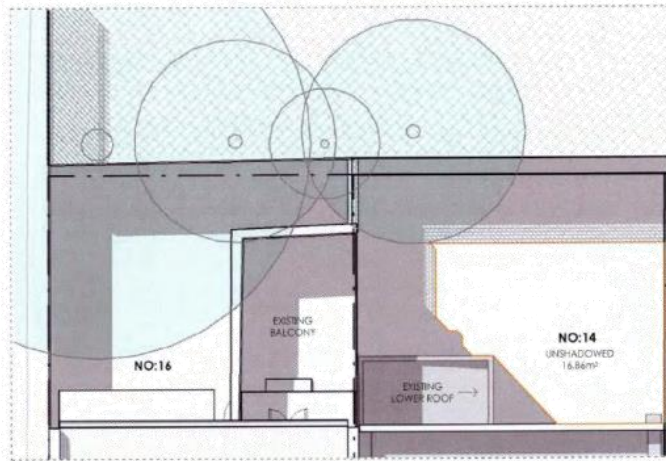
Date	Scale	Sheet
MAR 2020	1:100	A3

Project	Drawing	Rev.
19-026	TP400	

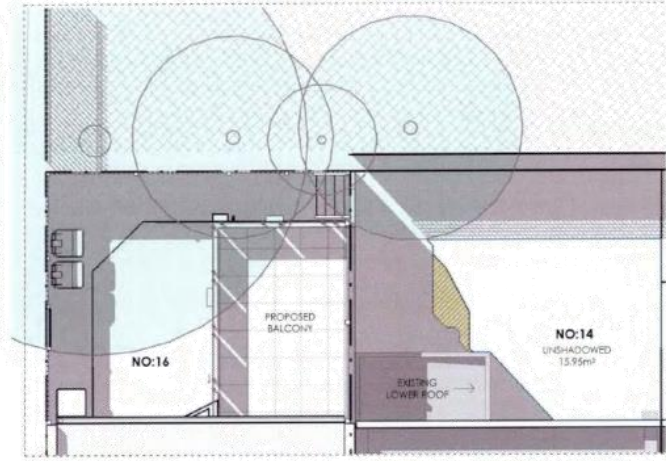




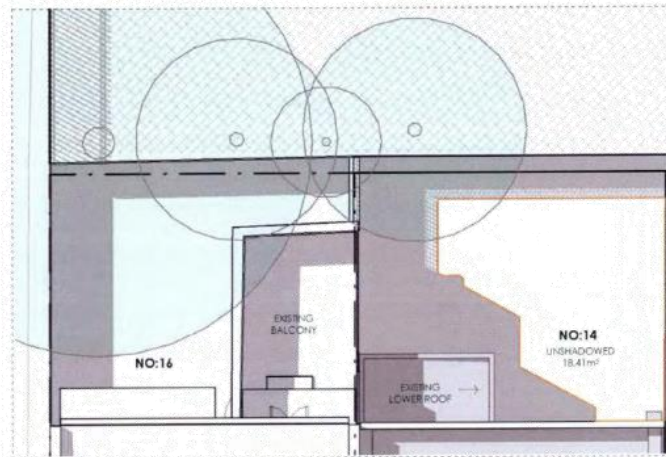
# Attachment 1 - PLN20/0022 - 16 Napier Street Fitzroy - Advertised Plans



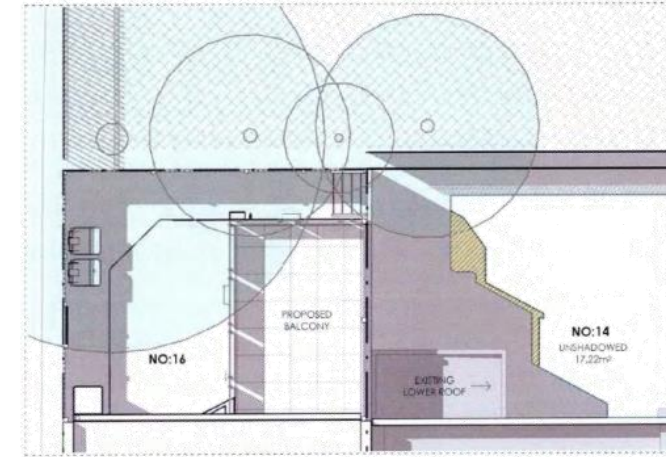
**BALCONY - EXISTING SHADOW DIAGRAM - 10 AM- NEIGHBOUR**  
SCALE 1:100



**BALCONY - PROPOSED SHADOW DIAGRAM - 10 AM- NEIGHBOUR**  
SCALE 1:100



**BALCONY - EXISTING SHADOW DIAGRAM - 11 AM- NEIGHBOUR**  
SCALE 1:100



**BALCONY - PROPOSED SHADOW DIAGRAM - 11 AM- NEIGHBOUR**  
SCALE 1:100

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## SHADOW LEGEND | 10AM

- UNSHADOWED AREA (EXISTING) SPOS  
TOTAL 16.86 m²
- UNSHADOWED AREA (PROPOSED) SPOS  
TOTAL 15.95 m²
- ADDITIONAL SHADOW BY PROPOSED WORKS  
TOTAL 0.91 m²

## LEGEND

SPOS (SECLUDED PRIVATE OPEN SPACE) OF NO.14 NAPIER STREET  
TOTAL 35m²

## SHADOW LEGEND | 11AM

- UNSHADOWED AREA (EXISTING) SPOS  
TOTAL 18.41 m²
- UNSHADOWED AREA (PROPOSED) SPOS  
TOTAL 17.22 m²
- ADDITIONAL SHADOW BY PROPOSED WORKS  
TOTAL 1.19 m²

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**Project**  
REFURBISHMENT AND EXTENSION WORKS

16 NAPIER STREET, FITZROY VIC 3065

**Client**  
AUSTRALIAN CATHOLIC UNIVERSITY

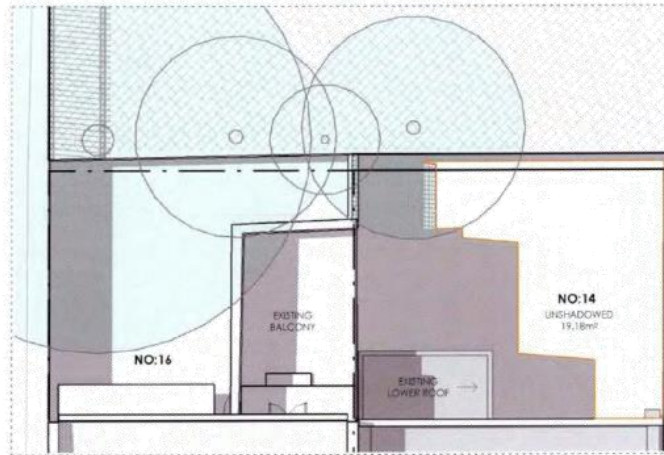
**Drawing**  
EXISTING & PROPOSED BALCONY SHADOWS - 11 & 12 PM

Design	Drawn	Check
-	GOY	MT
Date	Scale	Sheet
MAR 2020	1:100	A3
Project	Drawing	Rev.
19-026	TP401	

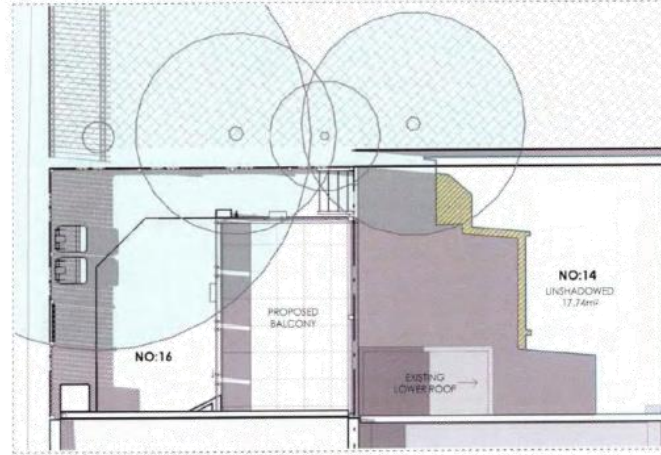




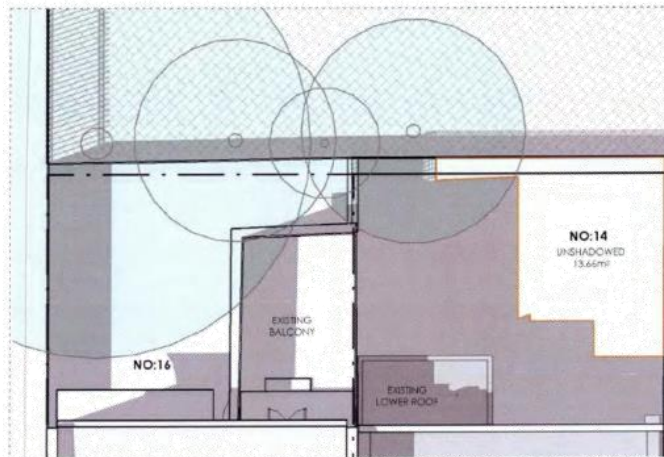
Attachment 1 - PLN20/0022 - 16 Napier Street Fitzroy - Advertised Plans



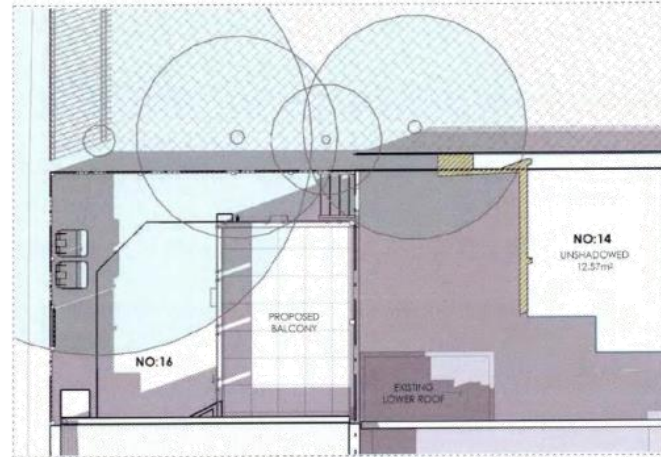
**BALCONY - EXISTING SHADOW DIAGRAM - 12 PM - NEIGHBOUR**  
SCALE 1 : 100



**BALCONY - PROPOSED SHADOW DIAGRAM - 12 PM - NEIGHBOUR**  
SCALE 1 : 100



**BALCONY - EXISTING SHADOW DIAGRAM - 1 PM - NEIGHBOUR**  
SCALE 1 : 100



**BALCONY - PROPOSED SHADOW DIAGRAM - 1 PM - NEIGHBOUR**  
SCALE 1 : 100

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**SHADOW LEGEND | 12PM**

- UNSHADOWED AREA (EXISTING) SPOS  
TOTAL 19.18 m²
- UNSHADOWED AREA (PROPOSED) SPOS  
TOTAL 17.74 m²
- ADDITIONAL SHADOW BY PROPOSED WORKS  
TOTAL 1.44 m²

**LEGEND**

SPOS (SECLUDED PRIVATE OPEN SPACE) OF NO.14 NAPIER STREET  
TOTAL 35m²

**SHADOW LEGEND | 1 PM**

- UNSHADOWED AREA (EXISTING) SPOS  
TOTAL 13.66 m²
- UNSHADOWED AREA (PROPOSED) SPOS  
TOTAL 12.57 m²
- ADDITIONAL SHADOW BY PROPOSED WORKS  
TOTAL 1.09 m²

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**Project**

REFURBISHMENT AND EXTENSION WORKS

16 NAPIER STREET, FITZROY VIC 3065

**Client**

AUSTRALIAN CATHOLIC UNIVERSITY

**Drawing**

EXISTING & PROPOSED BALCONY SHADOWS - 1 & 2 PM

Design Drawn Check

GOY MT

Date Scale Sheet

MAR 2020 1 : 100 A3

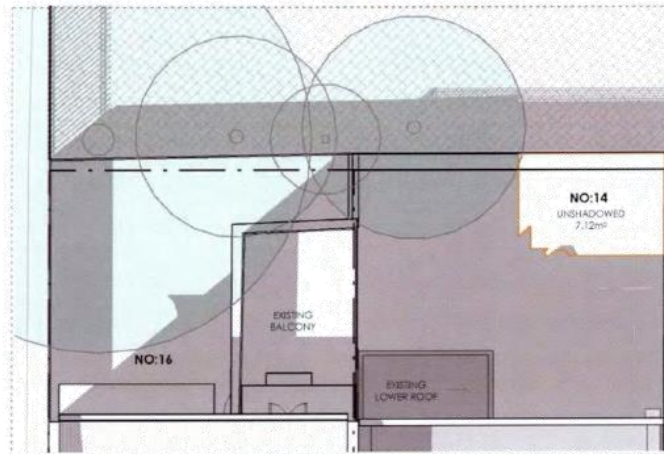
Project Drawing Rev.

19-026 TP402

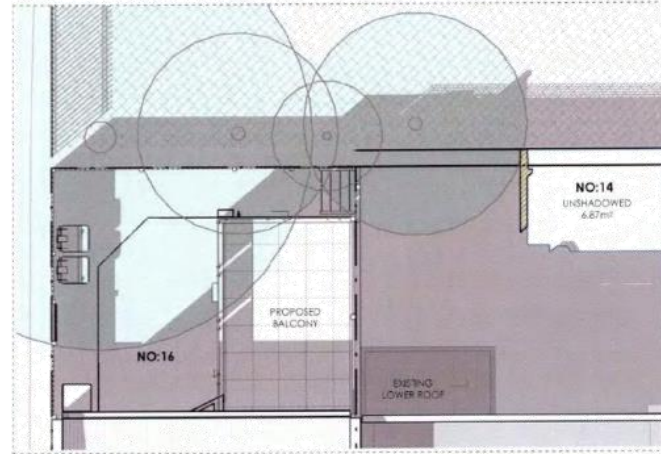




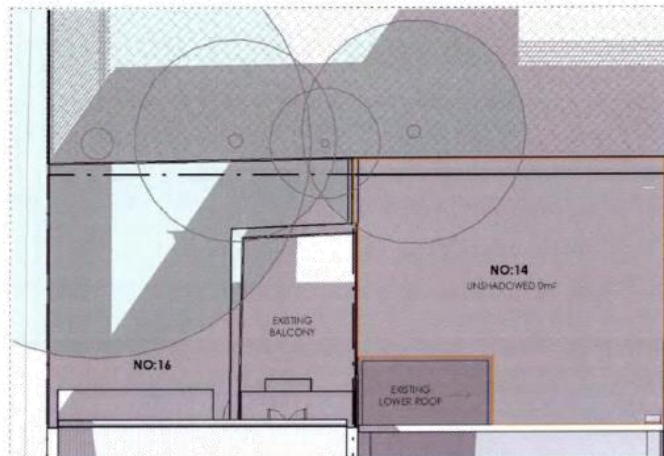
# Attachment 1 - PLN20/0022 - 16 Napier Street Fitzroy - Advertised Plans



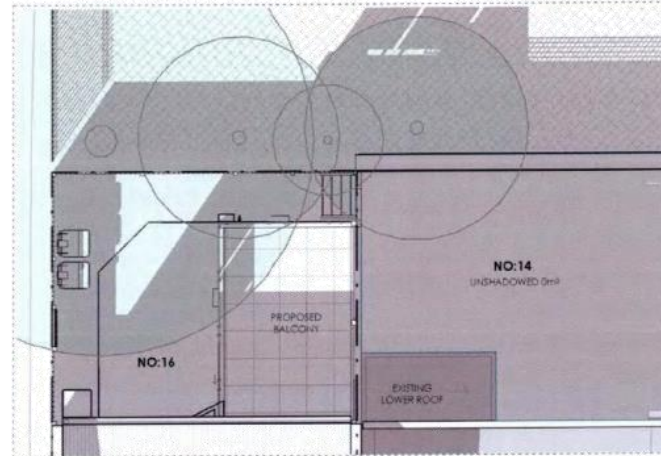
**BALCONY - EXISTING SHADOW DIAGRAM - 2 PM- NEIGHBOUR**  
SCALE 1 : 100



**BALCONY - PROPOSED SHADOW DIAGRAM - 2 PM- NEIGHBOUR**  
SCALE 1 : 100



**BALCONY - EXISTING SHADOW DIAGRAM - 3 PM- NEIGHBOUR**  
SCALE 1 : 100



**BALCONY - PROPOSED SHADOW DIAGRAM - 3 PM- NEIGHBOUR**  
SCALE 1 : 100

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## **SHADOW LEGEND | 2 PM**

- UNSHADOWED AREA (EXISTING) SPOS  
**TOTAL 7.12 m²**
- UNSHADOWED AREA (PROPOSED) SPOS  
**TOTAL 6.87 m²**
- ADDITIONAL SHADOW BY PROPOSED WORKS  
**TOTAL 0.25 m²**

## **LEGEND**

SPOS (SECLUDED PRIVATE OPEN SPACE) OF NO.14 NAPIER STREET  
**TOTAL 35m²**

## **SHADOW LEGEND | 3 PM**

- UNSHADOWED AREA (EXISTING) SPOS  
**TOTAL 0 m²**
- UNSHADOWED AREA (PROPOSED) SPOS  
**TOTAL 0 m²**
- ADDITIONAL SHADOW BY PROPOSED WORKS  
**TOTAL 0 m²**

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**Project**  
REFURBISHMENT AND EXTENSION  
WORKS

16 NAPIER STREET, FITZROY VIC 3065

**Client**  
AUSTRALIAN CATHOLIC UNIVERSITY

**Drawing**  
EXISTING & PROPOSED BALCONY  
SHADOWS - 3 PM

Design	Drawn	Check
GOY	MT	

Date	Scale	Sheet
MAR 2020	1 : 100	A3

Project	Drawing	Rev.
19-026	TP403	





**Attachment 1 - PLN20/0022 - 16 Napier Street Fitzroy - Advertised Plans**

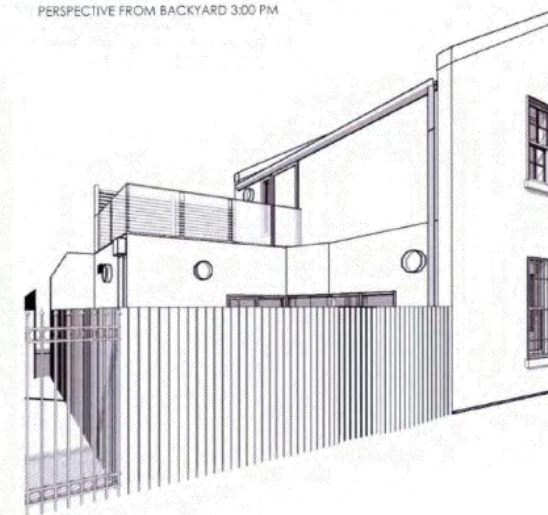
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**EXTERNAL VIEW 01**  
BACKYARD 12:00 PM



**EXTERNAL VIEW 02**  
PERSPECTIVE FROM BACKYARD 3:00 PM



**EXTERNAL VIEW 03**  
PERSPECTIVE FROM LT. VICTORIA ST 9:00 AM

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**Project**

REFURBISHMENT AND EXTENSION  
WORKS

16 NAPIER STREET, FITZROY VIC 3065

**Client**

AUSTRALIAN CATHOLIC UNIVERSITY

**Drawing**

SCHEMATIC 3D VIEWS - EXTERNAL

<b>Design</b>	<b>Drawn</b>	<b>Check</b>
PR	GOY	MT

<b>Date</b>	<b>Scale</b>	<b>Sheet</b>
MAR 2020		A3

<b>Project</b>	<b>Drawing</b>	<b>Rev.</b>
19-026	TP500	

**TOWN PLANNING**



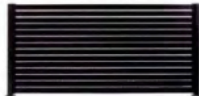
# Attachment 1 - PLN20/0022 - 16 Napier Street Fitzroy - Advertised Plans



GLASS BALUSTRADE



DECORATIVE FENCE -  
POWDERCOATED BLACK



ALUMINIUM SCREEN



PALING FENCE 1900MM HIGH



WHITE FRAME WINDOWS & CLEAR GLASS



CEMENT SHEET- SHALE GREY

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## Project

REFURBISHMENT AND EXTENSION  
WORKS

16 NAPIER STREET, FITZROY VIC 3065

## Client

AUSTRALIAN CATHOLIC UNIVERSITY

## Drawing

PROPOSED FINISHES

Design MT/PR	Drawn MT	Check MT
Date MAR 2020	Scale A3	Sheet A3
Project 19-026	Drawing TP501	Rev.

TOWN PLANNING

## Attachment 2 - PLN20/0022 - 16 Napier Street Fitzroy - Heritage Comments Based on Advertised Plans

### City of Yarra Heritage Advice

---

<b>Application No.:</b>	PLN20/0022
<b>Address of Property:</b>	<b>16 Napier St Fitzroy</b>
<b>Planner:</b>	Nish Goonetilleke
<b>Yarra Planning Scheme References:</b>	<ul style="list-style-type: none"><li>• Clause 15.03 Heritage</li><li>• Clause 21.05-1 Built Form (Heritage)</li><li>• Clause 22.02 Development Guidelines for sites subject to the Heritage Overlay</li><li>• Clause 43.01 Heritage Overlay</li><li>• Clause 59.07 Applications Under A Heritage Overlay</li></ul>
<b>Heritage Overlay No. &amp; Precinct:</b>	HO334 South Fitzroy Heritage Overlay Area
<b>Level of significance:</b>	Individually Significant, constructed 1860-1870 (City of Yarra Review of Heritage Areas 2007 Appendix 8 (as updated from time to time))
<b>General description:</b>	Part demolition, alterations and additions to the existing dwelling, including a ground and first floor dwelling extension
<b>Drawing Nos.:</b>	Set of 32 drawings entitled "Refurbishment and Extension Works, 16 Napier Street, Fitzroy" prepared by Foursight, received by Council.

---

#### CONTEXT IMAGES:





**Attachment 2 - PLN20/0022 - 16 Napier Street Fitzroy - Heritage Comments Based on Advertised Plans**



**ASSESSMENT OF PROPOSED WORKS:**

**Comments regarding proposed demolition:**

The extent of demolition proposed by this application includes the partial demolition of the side and rear of the existing building for the purposes of reconstruction and an addition.

The key consideration for assessing this aspect of the works is whether the proposed demolition will adversely affect the significance of the heritage building or the broader heritage precinct.

## Attachment 2 - PLN20/0022 - 16 Napier Street Fitzroy - Heritage Comments Based on Advertised Plans

The demolition associated with the reconstruction of the side wall and the wall cappings is considered acceptable on the basis that the works will contribute to the long-term conservation of the building. The submitted drawings are considered acceptable for ensuring the accuracy of the proposed reconstruction works.

The removal of the rear kitchen wing and terrace, together with parts of the rear wall for the purposes of constructing a new addition in its place will not adversely affect the significance of the heritage building or the broader heritage precinct. These parts of the building have been previously heavily modified.

### **Comments regarding new development, alterations and additions:**

The extent of new works proposed by this application includes reconstruction of part of the original northern side wall and new capping to the side walls.

### **Regarding the remaining heritage building:**

Clause 15.03-1S of the planning scheme states that it is policy to:

Encourage the conservation and restoration of contributory elements of a heritage place.

Clause 21.05-1 'Built Form – Heritage' of the planning scheme also states that the objective to protect and enhance Yarra's heritage places will be achieved by supporting the restoration of heritage places (Strategy 14.2)

Clause 22.02-4 states that one of the objectives of the heritage policy is:

To encourage the preservation, maintenance, restoration and where appropriate, reconstruction of heritage places

Most specifically, Clause 22.02-5.3 encourages restoration of a heritage place or contributory element if evidence exists to support its accuracy. In regard to reconstruction, the policy encourages works if:

The reconstruction will enhance the heritage significance of the heritage place

Evidence exists to support the accuracy of the reconstruction.

This clause encourages the reconstruction of original or contributory elements where they have been removed. These elements include, but are not limited to, chimneys, fences, verandahs, roofs and roof elements, wall openings and fitting (including windows and doors), shopfronts and other architectural details and features.

### *New windows:*

The proposed reconstruction of the northern sidewall will include the reinstatement of window frames that will match those on the façade. These works are supported.

### *New front fence:*

The existing wrought iron front fence appears to be original but is in need of repair. As an example of an early railing fence, it is considered that the fence should be repaired, rather than simply replaced. Full details of the proposed repairs must be submitted for approval.

### **Regarding the new development:**

The key consideration for assessing this aspect of the works is whether the proposed new development will adversely affect the significance, character or appearance of the heritage building or the broader heritage precinct.

The proposed rear addition will be essentially a replacement for the existing rear wing to the house. The proposed addition will not adversely affect the significance, character or appearance of the heritage building or the broader heritage precinct.

### **RECOMMENDATIONS:**

Yarra Heritage Advice  
16 Napier St Fitzroy  
APPLICATION NO. PLN20/0022

3 of 4

Diahnn McIntosh



## Attachment 2 - PLN20/0022 - 16 Napier Street Fitzroy - Heritage Comments Based on Advertised Plans

On heritage grounds the works proposed in this application may be approved subject to the following conditions:

	<b>Suggested condition</b>	<b>Explanation</b>
1.	That the existing front fence must be retained and restored. Full details of the proposed repairs must be submitted and approved prior to the commencement of works.	<i>The existing fence is believed to be original and should be retained as a contributory element and repaired/restored appropriately.</i>

### Other comments:

There are a number of opportunities for improving the character and appearance of the subject building that should be considered in addition to the proposed works. These include:

- Reconstruction of the central door opening at the upper floor of the facade

The currently proposed works will not involve any change to the existing façade windows despite the fact that the central window original extended to the ground and probably included timber doors below that looked like a panel.

Even if there is no balcony, the reconstruction of the lower timber panel would go some way towards restoring the original appearance of the building.

- Reconstruction of the original front balcony

There are several references that describe the appearance of the missing front balcony. Given that the appearance of this distinctive element is relatively well documented, it is strongly considered that it should be reconstructed. Expert heritage advice should be sought to ensure the accuracy of such reconstruction works.

### SIGNED:



Diahnn McIntosh

DATED: 10 June 2020

## Attachment 3 - PLN20/0022 - 16 Napier Street Fitzroy - Decision Plans (S57A Plans)



## RESIDENTIAL REFURBISHMENT AND EXTENSION WORKS

16 NAPIER STREET, FITZROY VIC 3065

## ARCHITECTURAL DRAWINGS

TP000	DRAWING REGISTER
TP001	EXISTING SITE ANALYSIS PLAN
TP002	PROPOSED SITE PLAN
TP003	EXISTING CONDITIONS & DEMOLITION - GROUND FLOOR PLAN
TP004	EXISTING CONDITIONS & DEMOLITION - FIRST FLOOR PLAN
TP005	EXISTING CONDITIONS & DEMOLITION - BALCONY
TP006	EXISTING CONDITIONS & DEMOLITION - ROOF PLAN
TP007	EXISTING CONDITIONS & DEMOLITION - NORTH & EAST ELEVATIONS
TP008	EXISTING CONDITIONS & DEMOLITION - SOUTH & WEST ELEVATIONS
TP009	EXISTING CONDITIONS & DEMOLITION - NORTH ELEVATION DETAIL
TP010	EXISTING CONDITIONS & DEMOLITION - SECTION EAST-WEST
TP100	PROPOSED WORKS - SLAB PLANS
TP101	PROPOSED WORKS - GROUND FLOOR PLAN
TP102	PROPOSED WORKS - FIRST FLOOR PLAN
TP103	PROPOSED WORKS - BALCONY
TP104	PROPOSED WORKS - ROOF PLAN
TP200	PROPOSED WORKS - NORTH & EAST ELEVATIONS
TP201	PROPOSED WORKS - SOUTH & WEST ELEVATIONS
TP202	PROPOSED WORKS - SECTION EAST-WEST
TP300	PROPOSED SHADOW DIAGRAM - 9AM
TP301	PROPOSED SHADOW DIAGRAM - 10AM
TP302	PROPOSED SHADOW DIAGRAM - 11AM
TP303	PROPOSED SHADOW DIAGRAM - 12PM
TP304	PROPOSED SHADOW DIAGRAM - 1PM
TP305	PROPOSED SHADOW DIAGRAM - 2PM
TP306	PROPOSED SHADOW DIAGRAM - 3PM
TP400	EXISTING & PROPOSED BALCONY SHADOWS - 9 & 10 AM
TP401	EXISTING & PROPOSED BALCONY SHADOWS - 11 & 12 PM
TP402	EXISTING & PROPOSED BALCONY SHADOWS - 1 & 2 PM
TP403	EXISTING & PROPOSED BALCONY SHADOWS - 3 PM
TP500	SCHEMATIC 3D VIEWS - EXTERNAL
TP501	PROPOSED FINISHES

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## REVISION LEGEND

- R1 30 JULY 2020  
CHANGES MADE TO EXISTING FENCE & GATE & LANDSCAPE DESIGN AT FRONT YARD, NOTES & LEGEND, ALTERATIONS TO REAR DEMOLITION & PROPOSED WORKS.
- R2 26 AUGUST 2020  
CHANGES MADE TO NOTES & EXISTING FRONT FENCE AS PER RFI LETTER DATED ON 26.08.2020.

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## Project

REFURBISHMENT AND EXTENSION WORKS

16 NAPIER STREET, FITZROY VIC 3065

## Client

AUSTRALIAN CATHOLIC UNIVERSITY

## Drawing

DRAWING REGISTER

Design	Drawn	Check
-	GOY	MT
Date	Scale	Sheet
AUG 2020	1 : 100	A3
Project	Drawing	Rev.
19-026	TP000	1

TOWN PLANNING



# Attachment 3 - PLN20/0022 - 16 Napier Street Fitzroy - Decision Plans (S57A Plans)

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## EXISTING DEVELOPMENT SUMMARY

TOTAL SITE: 112 m<sup>2</sup>  
SITE COVERAGE: 72 m<sup>2</sup> - 64.28%  
PERMEABILITY: 31 m<sup>2</sup> - 27.67%

## LEGEND

- EXISTING PROPERTIES
- PROPERTY BOUNDARY
- ESL EXISTING TRANSLUCENT CORRUGATED POLYCARBONATE ROOFING
- HRW HABITABLE WINDOW
- N-HRW NON-HABITABLE WINDOW
- EXISTING TREES



DWELLING NO. 21



DWELLING NO. 21 - CARPORT VIEW FROM LT VICTORIA STREET



DWELLING NO. 14



DWELLING NO. 12



DWELLING NO. 10



ACU LIBRARY NO. 115

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**Project**  
REFURBISHMENT AND EXTENSION WORKS

16 NAPIER STREET, FITZROY VIC 3065

**Client**  
AUSTRALIAN CATHOLIC UNIVERSITY

**Drawing**  
EXISTING SITE ANALYSIS PLAN

<b>Design</b> -	<b>Drawn</b> GOY	<b>Check</b> MT
<b>Date</b> AUG 2020	<b>Scale</b> As Indicated A3	<b>Sheet</b>
<b>Project</b> 19-026	<b>Drawing</b> TP001	<b>Rev.</b>



TOWN PLANNING



DWELLINGS NO. 26, 24 & 22



DWELLINGS NO. 20 & 18



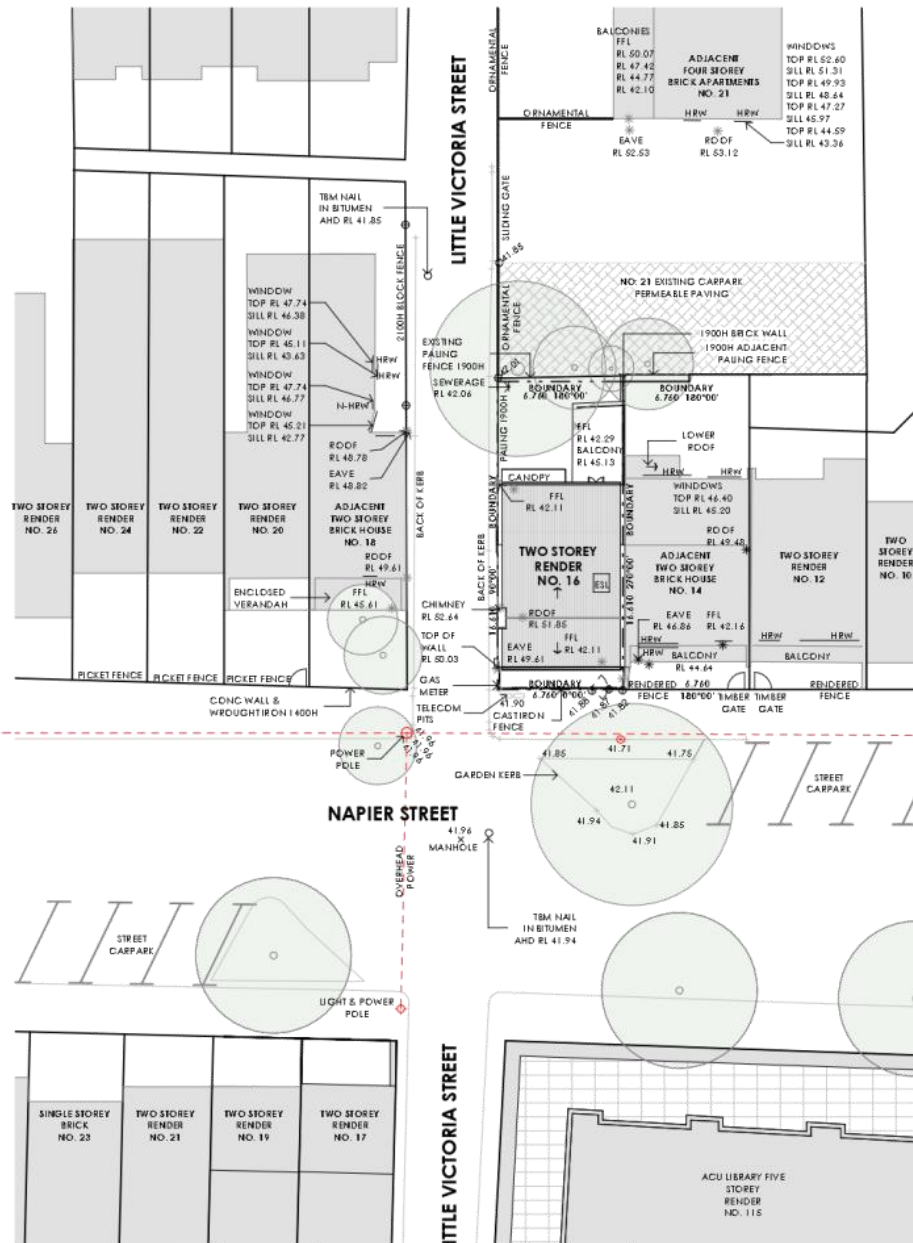
SUBJECT DWELLING NO. 16



DWELLINGS NO. 17 & 19



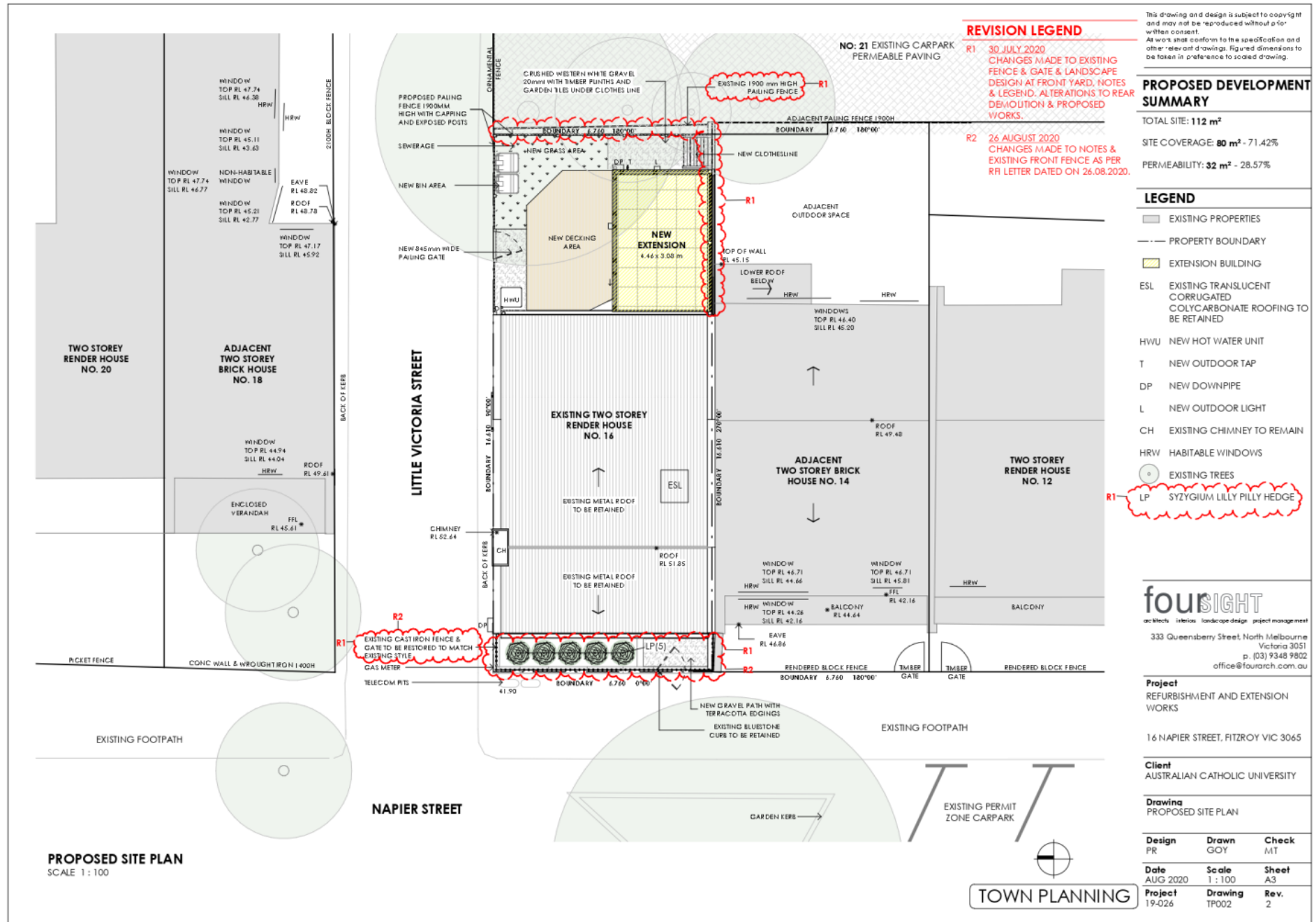
DWELLINGS NO. 21 & 23



## EXISTING SITE ANALYSIS PLAN

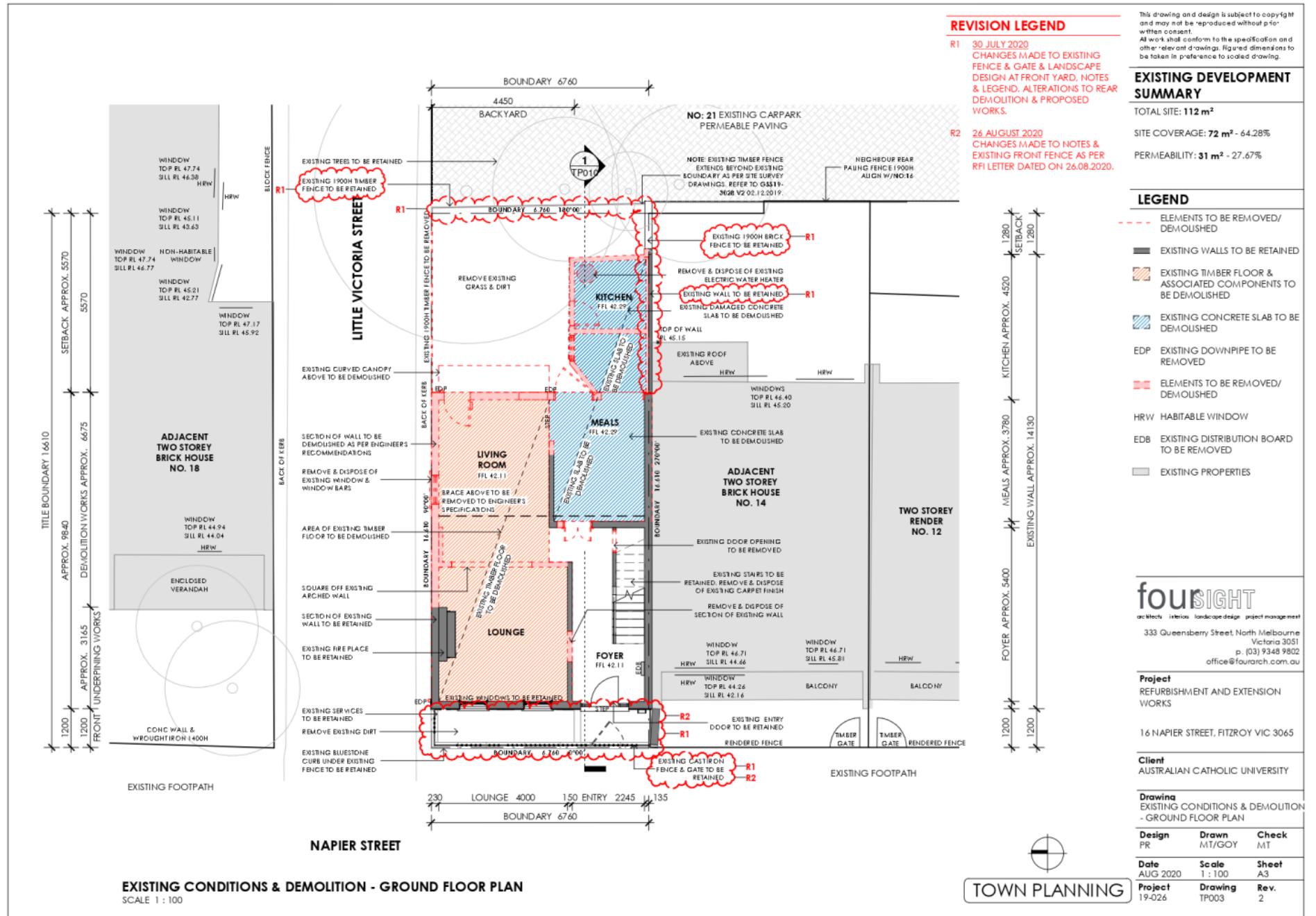
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Attachment 3 - PLN20/0022 - 16 Napier Street Fitzroy - Decision Plans (S57A Plans)





# Attachment 3 - PLN20/0022 - 16 Napier Street Fitzroy - Decision Plans (S57A Plans)



Attachment 3 - PLN20/0022 - 16 Napier Street Fitzroy - Decision Plans (S57A Plans)

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### REVISION LEGEND

- R1 30 JULY 2020**  
CHANGES MADE TO EXISTING FENCE & GATE & LANDSCAPE DESIGN AT FRONT YARD. NOTES & LEGEND. ALTERATIONS TO REAR DEMOLITION & PROPOSED WORKS.
- R2 26 AUGUST 2020**  
CHANGES MADE TO NOTES & EXISTING FRONT FENCE AS PER RFI LETTER DATED ON 26.08.2020.

### LEGEND

- ELEMENTS TO BE REMOVED/DEMOLISHED
- EXISTING WALLS TO BE RETAINED
- EXISTING TIMBER FLOOR & ASSOCIATED COMPONENTS TO BE DEMOLISHED
- EXISTING CONCRETE SLAB TO BE DEMOLISHED
- EDP EXISTING DOWNPIPE TO BE REMOVED
- ELEMENTS TO BE REMOVED/DEMOLISHED
- HRW HABITABLE WINDOW

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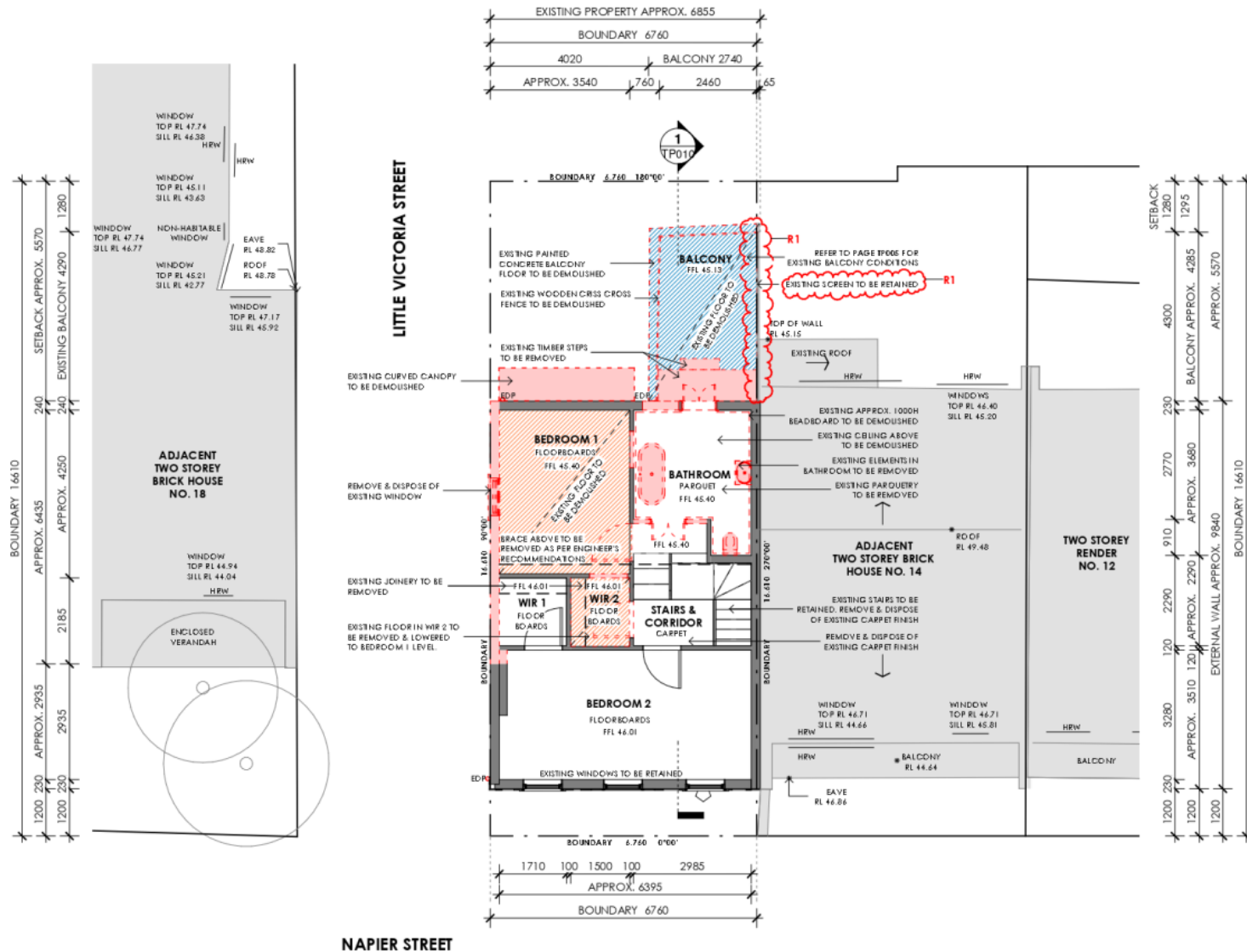
**Project**  
REFURBISHMENT AND EXTENSION WORKS

16 NAPIER STREET, FITZROY VIC 3065

**Client**  
AUSTRALIAN CATHOLIC UNIVERSITY

**Drawing**  
EXISTING CONDITIONS & DEMOLITION  
- FIRST FLOOR PLAN

<b>Design</b> PR	<b>Drawn</b> MT/GOY	<b>Check</b> MT
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<b>Project</b> 19-026	<b>Drawing</b> TP004	<b>Rev.</b> 1

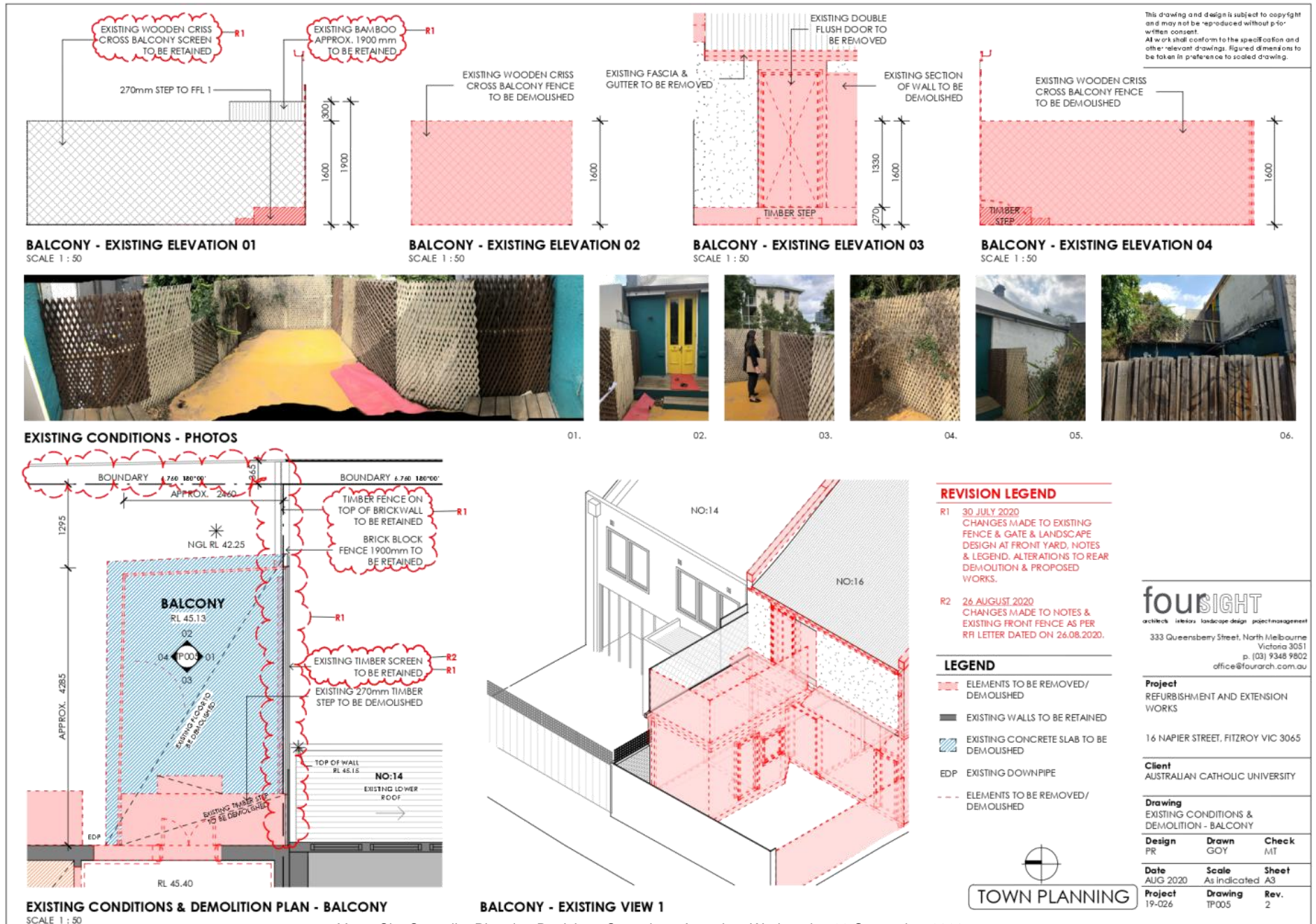


**EXISTING CONDITIONS & DEMOLITION - FIRST FLOOR PLAN**  
SCALE 1:100

**TOWN PLANNING**

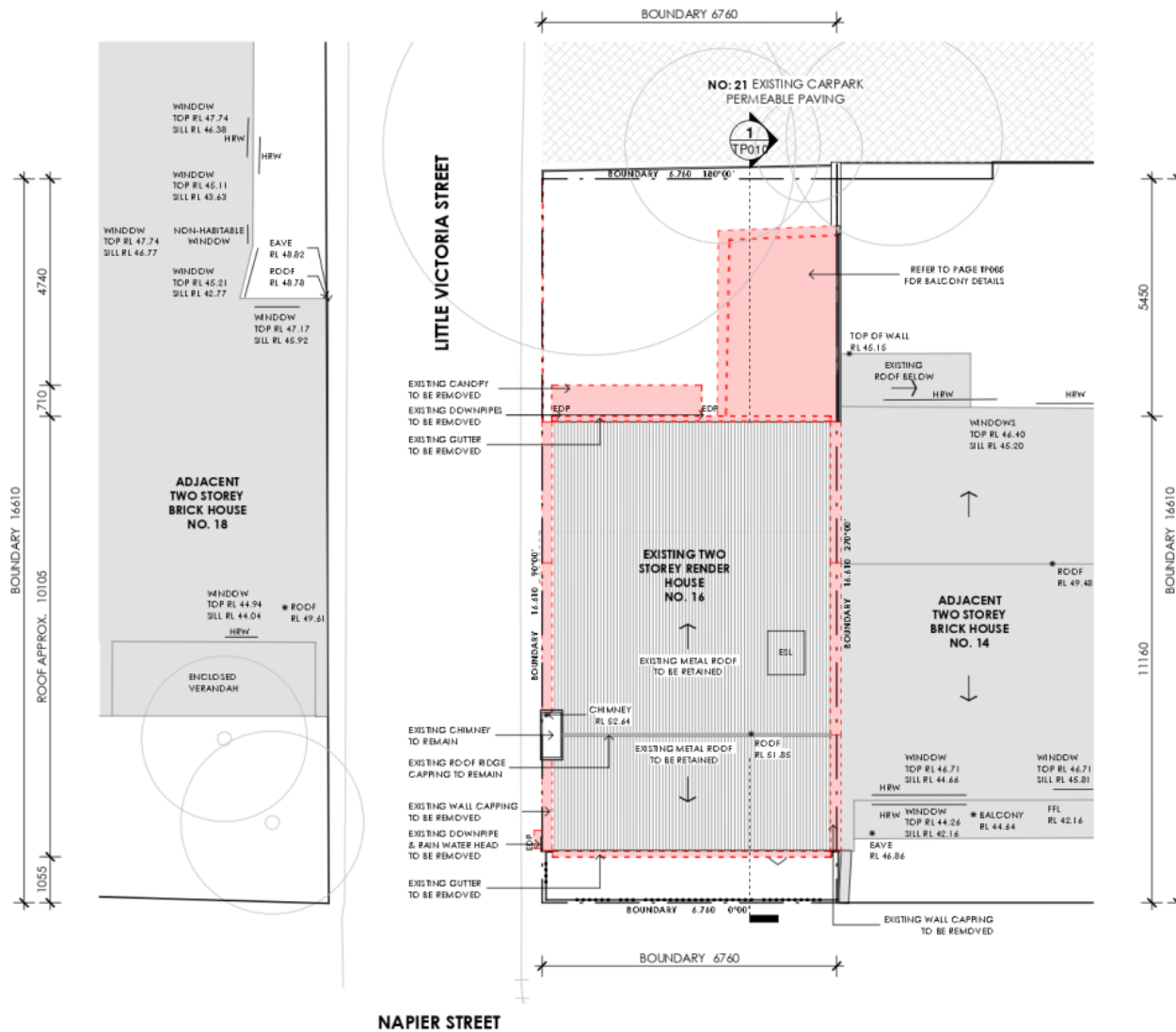


# Attachment 3 - PLN20/0022 - 16 Napier Street Fitzroy - Decision Plans (S57A Plans)



Attachment 3 - PLN20/0022 - 16 Napier Street Fitzroy - Decision Plans (S57A Plans)

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EXISTING CONDITIONS & DEMOLITION - ROOF PLAN  
SCALE 1 : 100

LEGEND

- EDP EXISTING DOWNSPIPE
- HRW HABITABLE WINDOW
- ESL EXISTING TRANSLUCENT CORRUGATED POLYCARBONATE ROOFING TO BE RETAINED
- ELEMENTS TO BE REMOVED/DEMOLISHED
- EXISTING METAL ROOF TO REMAIN UNAFFECTED BY DEMOLITION WORKS
- EXISTING ELEMENTS BELOW ROOF LEVEL TO BE DEMOLISHED

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**Project**  
REFURBISHMENT AND EXTENSION WORKS

16 NAPIER STREET, FITZROY VIC 3065

**Client**  
AUSTRALIAN CATHOLIC UNIVERSITY

**Drawing**  
EXISTING CONDITIONS & DEMOLITION - ROOF PLAN

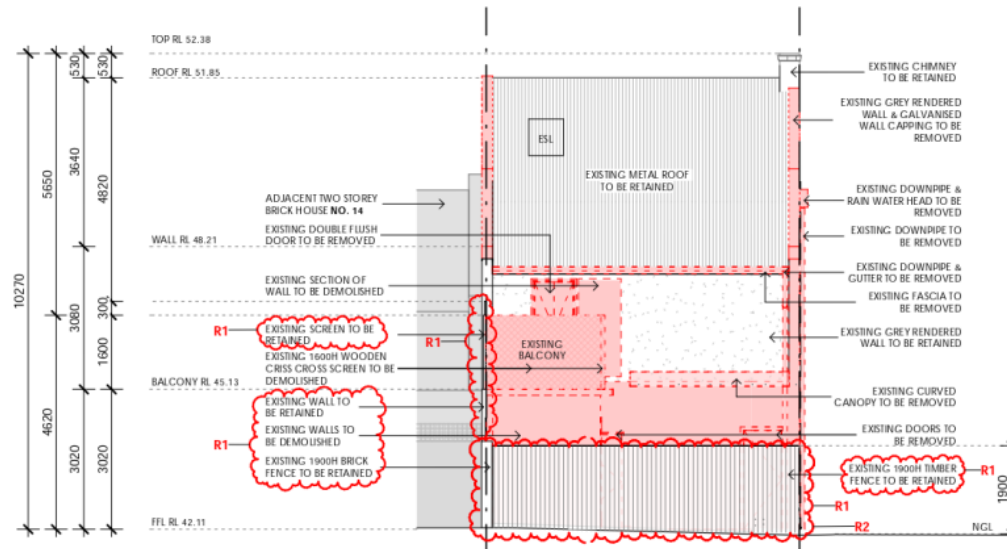
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<b>Project</b> 19-026	<b>Drawing</b> TP006	<b>Rev.</b>





Attachment 3 - PLN20/0022 - 16 Napier Street Fitzroy - Decision Plans (S57A Plans)

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DEMOLITION WORKS - EAST ELEVATION  
SCALE 1 : 100

REVISION LEGEND

- R1 30 JULY 2020  
CHANGES MADE TO EXISTING FENCE & GATE & LANDSCAPE DESIGN AT FRONT YARD, NOTES & LEGEND, ALTERATIONS TO REAR DEMOLITION & PROPOSED WORKS.
- R2 26 AUGUST 2020  
CHANGES MADE TO NOTES & EXISTING FRONT FENCE AS PER RFI LETTER DATED ON 26.08.2020.

LEGEND

- ELEMENTS TO BE REMOVED/DEMOLISHED
- PROPERTY BOUNDARY
- EXISTING CONDITIONS
- ESL EXISTING TRANSLUCENT CORRUGATED POLYCARBONATE ROOFING SHEET TO BE RETAINED

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**Project**  
REFURBISHMENT AND EXTENSION WORKS

16 NAPIER STREET, FITZROY VIC 3065

**Client**  
AUSTRALIAN CATHOLIC UNIVERSITY

**Drawing**  
EXISTING CONDITIONS & DEMOLITION - NORTH & EAST ELEVATIONS

**Design**  
PR

**Drawn**  
GOY

**Check**  
MT

**Date**  
AUG 2020

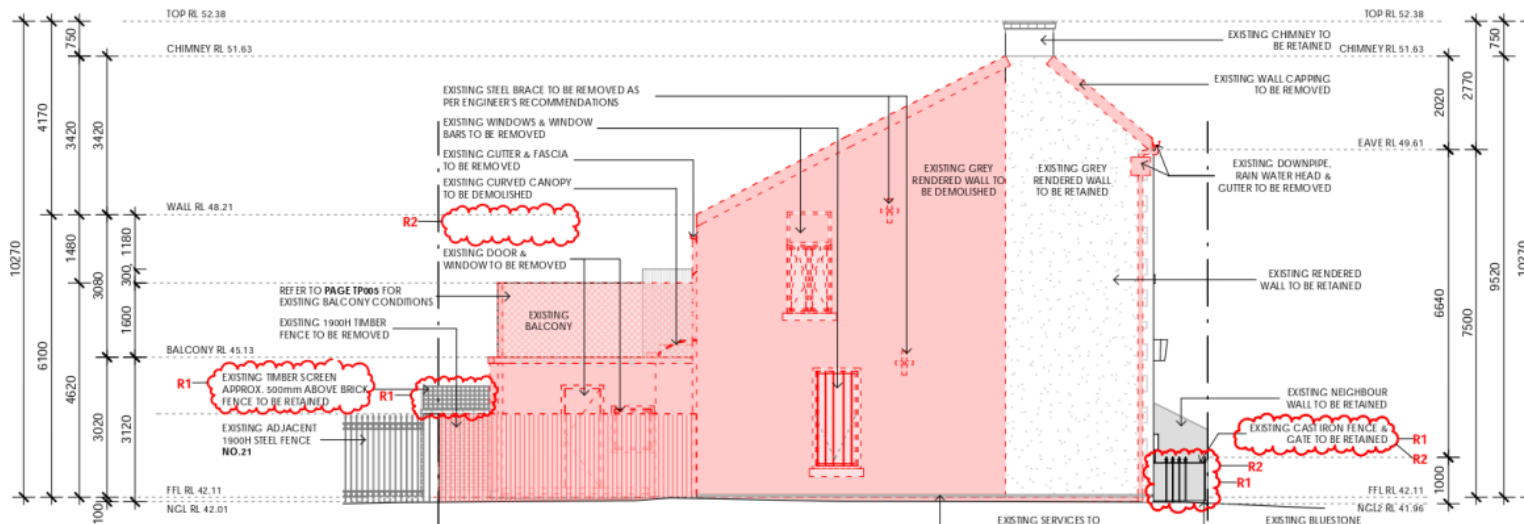
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**Project**  
19-026

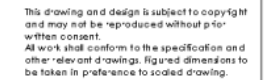
**Drawing**  
TP007

**Rev.**  
2



DEMOLITION WORKS - NORTH ELEVATION  
SCALE 1 : 100

TOWN PLANNING



R1 30 JULY 2020  
CHANGES MADE TO EXISTING  
FENCE & GATE & LANDSCAPE  
DESIGN AT FRONT YARD, NOTES  
& LEGEND, ALTERATIONS TO REAR  
DEMOLITION & PROPOSED  
WORKS.

R2 26 AUGUST 2020  
CHANGES MADE TO NOTES &  
EXISTING FRONT FENCE AS PER  
RFI LETTER DATED ON 26.08.2020.

--- ELEMENTS TO BE REMOVED/  
DEMOLISHED

EXISTING CONDITIONS

<b>Project</b>	
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### REFURBISHMENT AND EXTENSION WORKS

**Client**  
AUSTRALIAN CATHOLIC UNIVERSITY

EXISTING CONDITIONS & DEMOLITION  
- SOUTH & WEST ELEVATIONS

<b>Design</b> PR	<b>Drawn</b> GOY	<b>Check</b> MT
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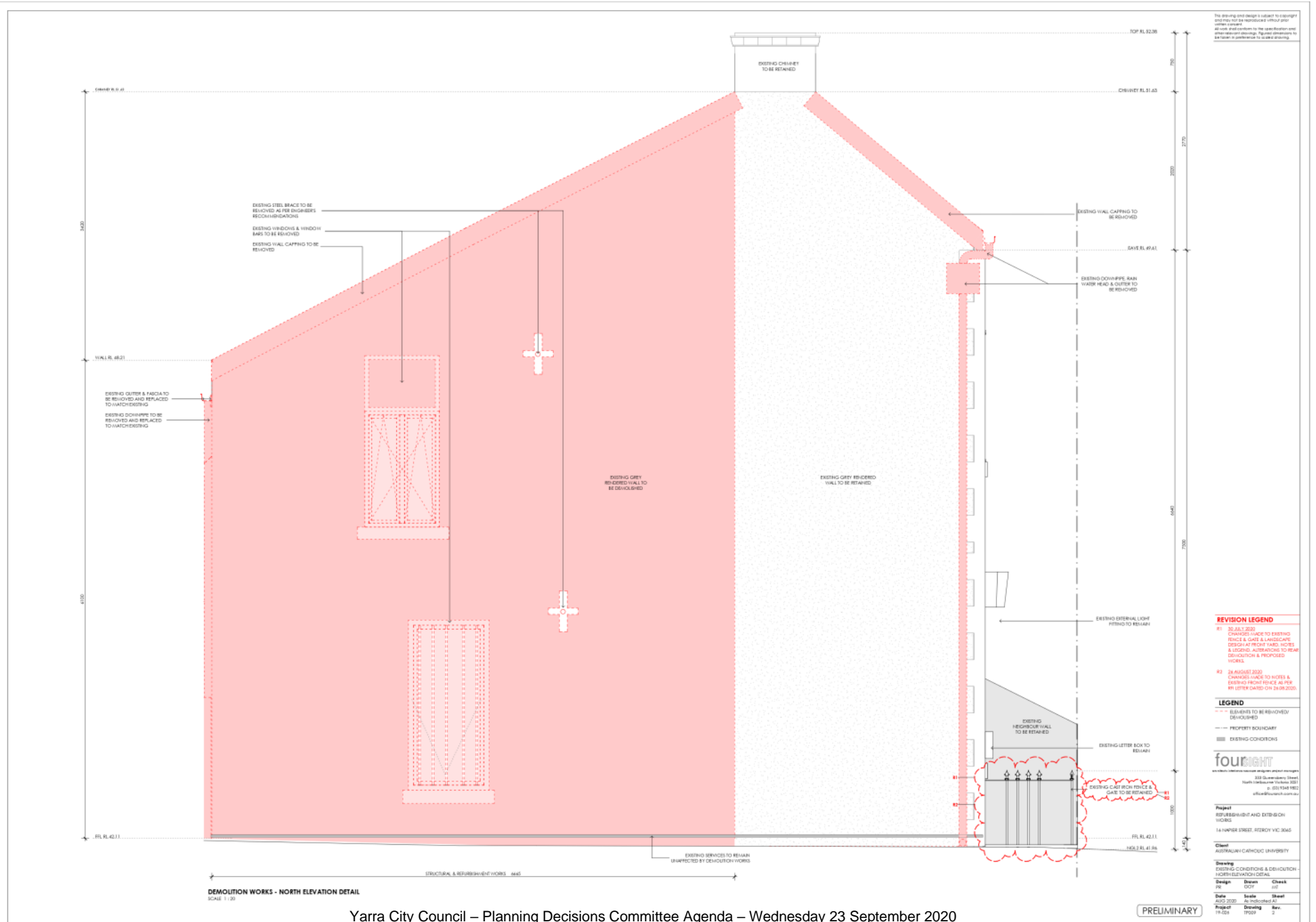
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19-026	TP008	2

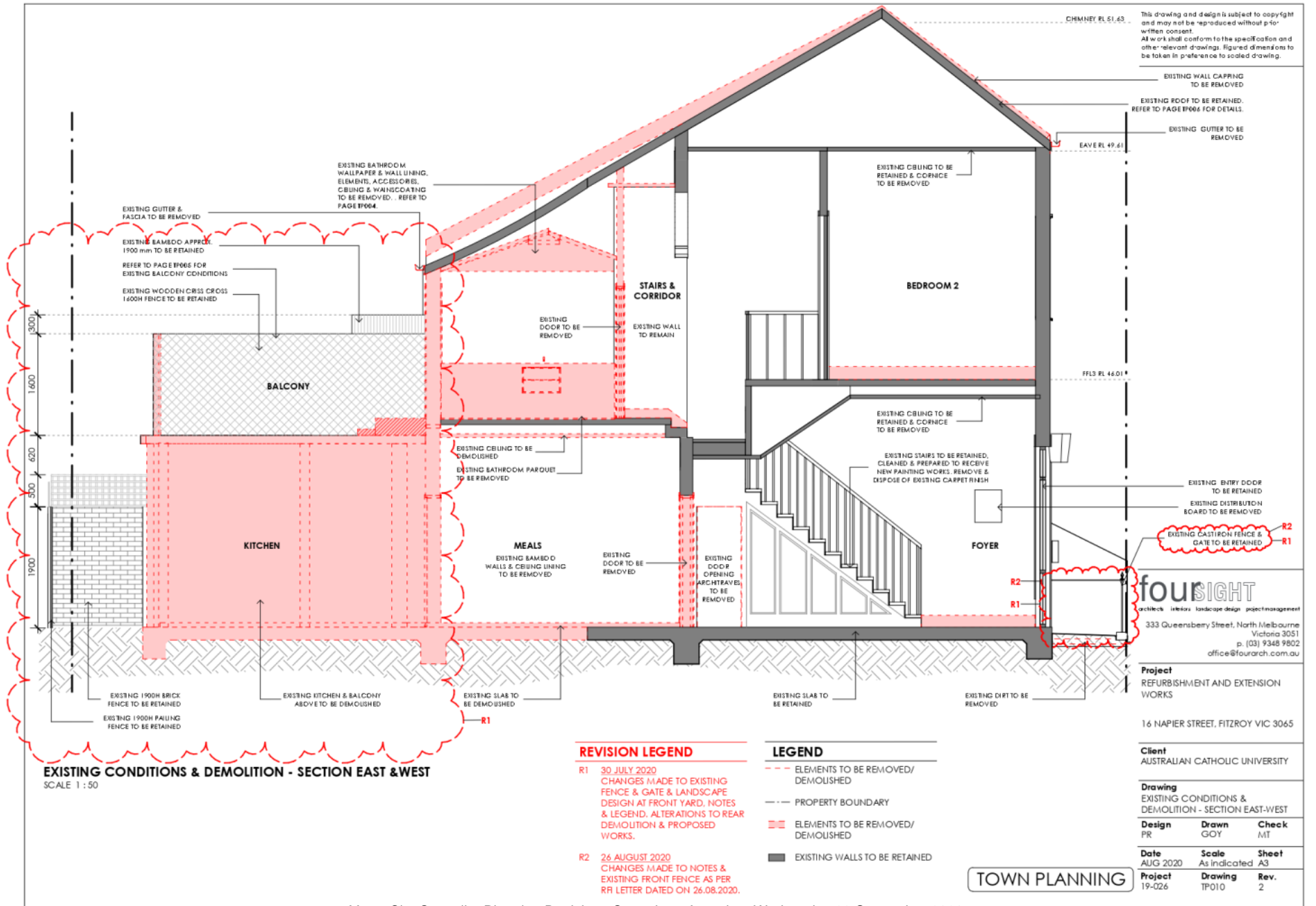
TOWN PLANNING



# Attachment 3 - PLN20/0022 - 16 Napier Street Fitzroy - Decision Plans (S57A Plans)



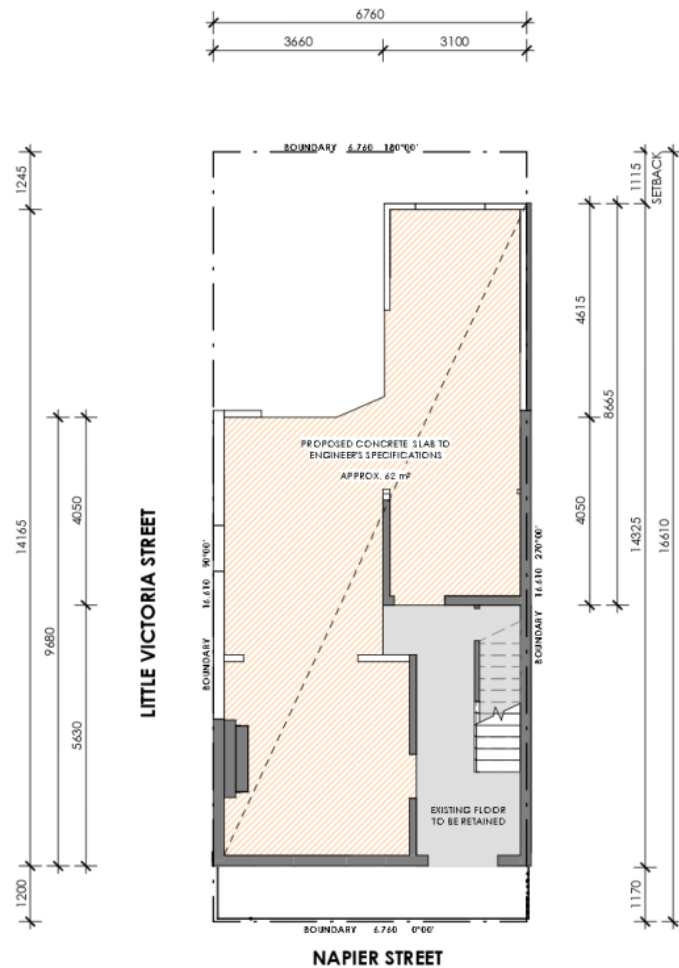
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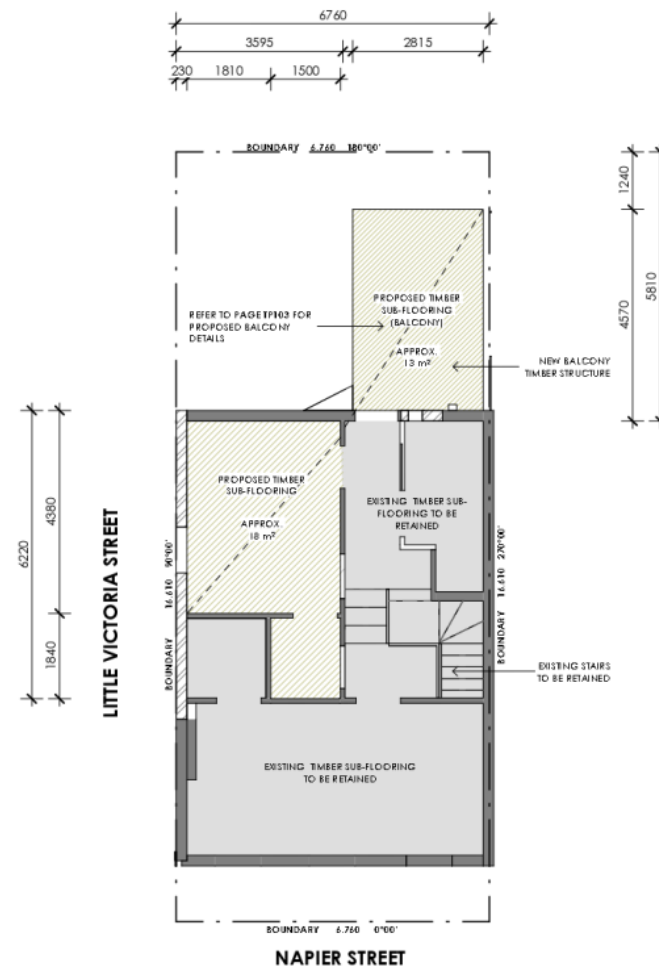


Attachment 3 - PLN20/0022 - 16 Napier Street Fitzroy - Decision Plans (S57A Plans)

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**PROPOSED SLAB PLAN - GROUND FLOOR**  
SCALE 1:100



**PROPOSED SLAB PLAN - FIRST FLOOR**  
SCALE 1:100

**LEGEND**

- EXISTING WALLS TO BE RETAINED
- EXISTING FLOOR TO BE RETAINED
- PROPOSED CONCRETE SLAB
- PROPOSED TIMBER SUB-FLOORING

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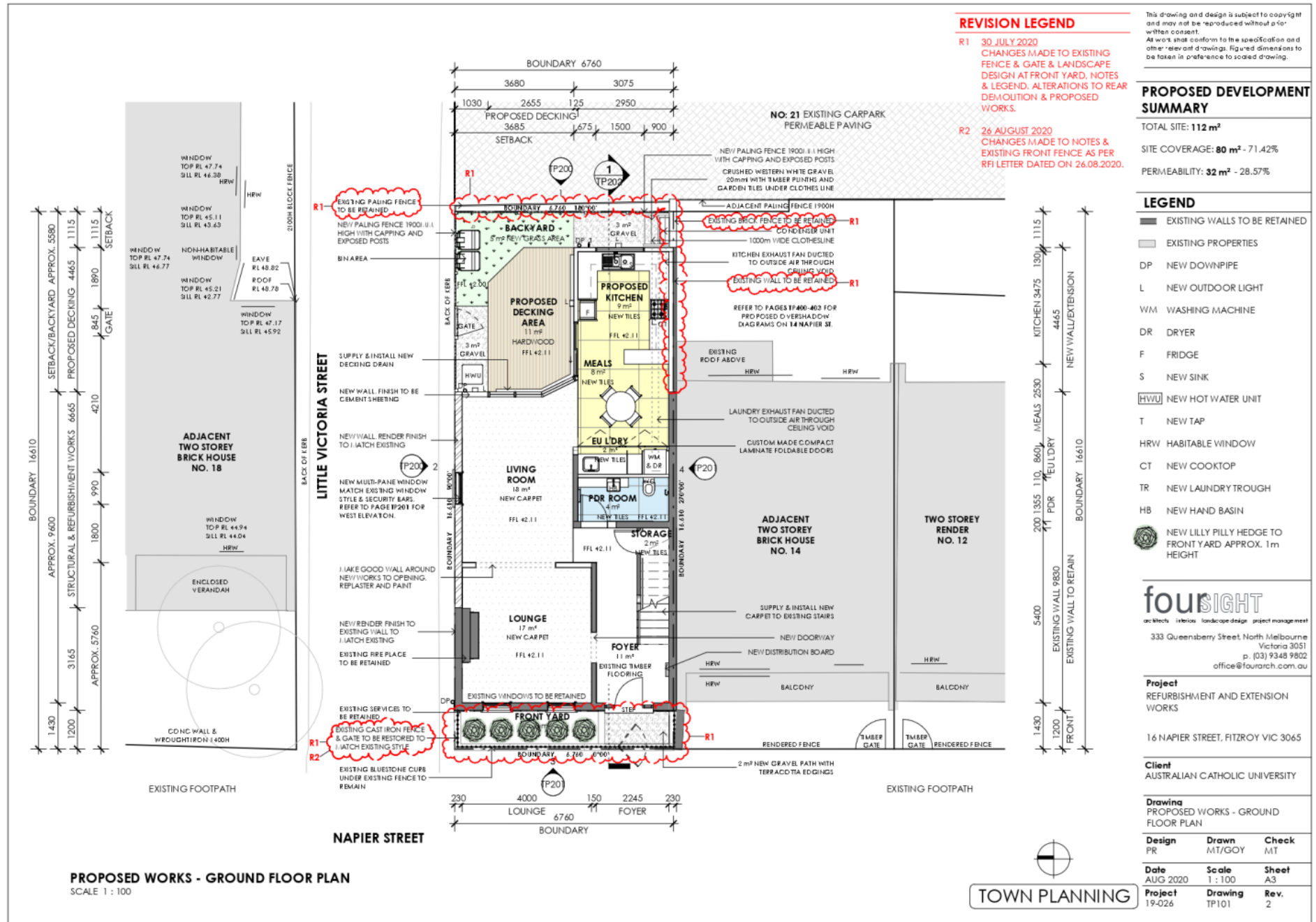
**Drawing**  
PROPOSED WORKS - SLAB PLANS

Design	Drawn	Check
PR	MT/GOY	MT
<b>Date</b> AUG 2020	<b>Scale</b> 1:100	<b>Sheet</b> A3
<b>Project</b> 19-026	<b>Drawing</b> TP100	<b>Rev.</b>



TOWN PLANNING

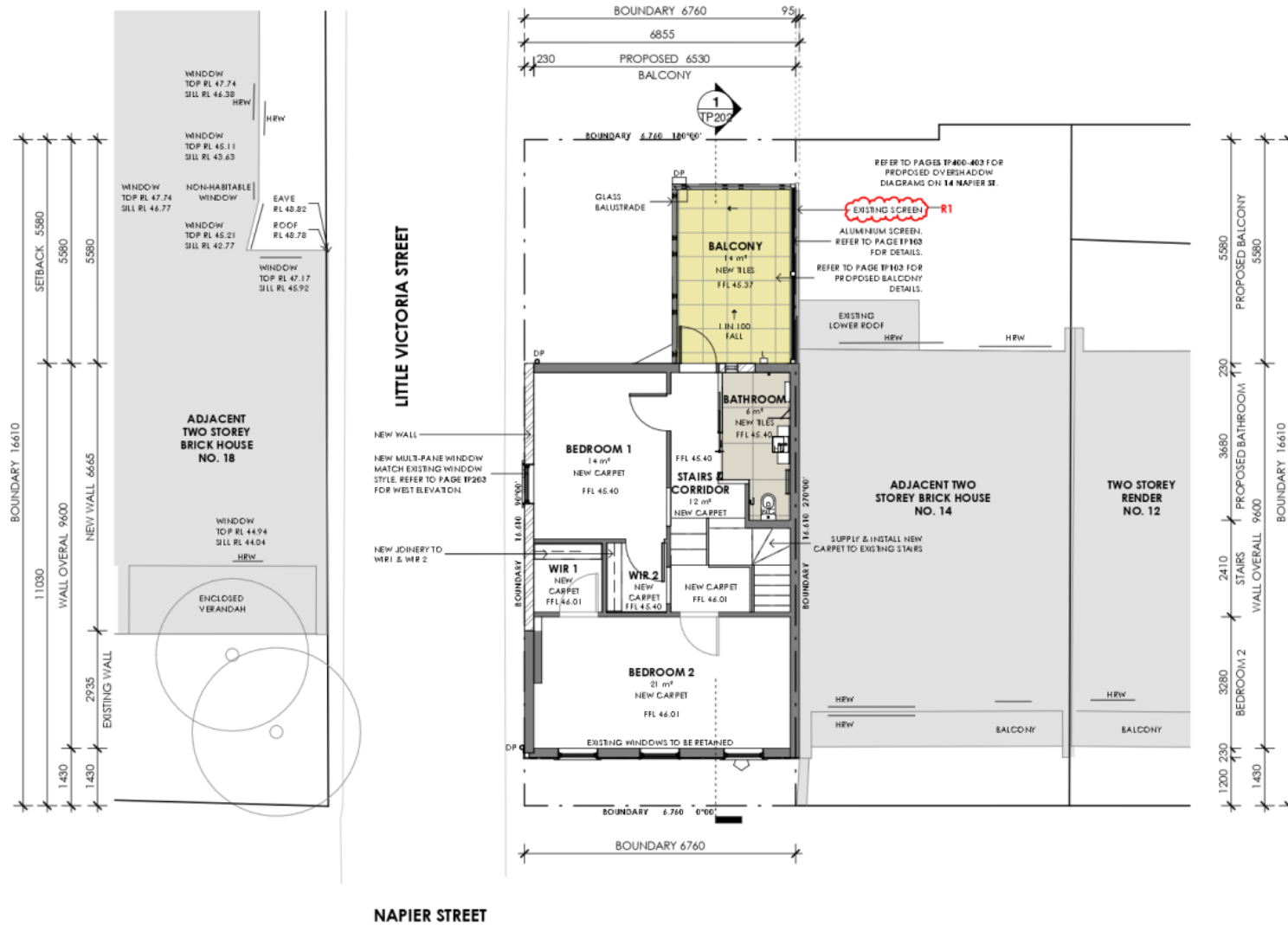
Attachment 3 - PLN20/0022 - 16 Napier Street Fitzroy - Decision Plans (S57A Plans)





Attachment 3 - PLN20/0022 - 16 Napier Street Fitzroy - Decision Plans (S57A Plans)

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## REVISION LEGEND

- R1** 30 JULY 2020  
CHANGES MADE TO EXISTING FENCE & GATE & LANDSCAPE DESIGN AT FRONT YARD, NOTES & LEGEND. ALTERATIONS TO REAR DEMOLITION & PROPOSED WORKS.
- R2** 26 AUGUST 2020  
CHANGES MADE TO NOTES & EXISTING FRONT FENCE AS PER RFI LETTER DATED ON 26.08.2020.

## LEGEND

- L** EXTERIOR WALL LIGHT. REFER TO **PAGE A102** FOR DETAILS.
- S** OXWORKS 2205 STAINLESS STEEL BALUSTRADE BASE PLATED SPIGOT - SQUARE. COVER RING: SP-2 SQUARE RAISED COVER RING - SQUARE. CODE: FR3252.
- PG** PROPOSED FIELDS 3.6m 115mm ZINC QUAD GUTTER & COLOUR TO BE NATURAL ZINC.
- SC** PROPOSED 1715MM ALUMINIUM SCREEN TO BE EZI-SLAT COLOUR TO BE SLATE GREY(EQUIVALENT TO WOODLAND GREY)

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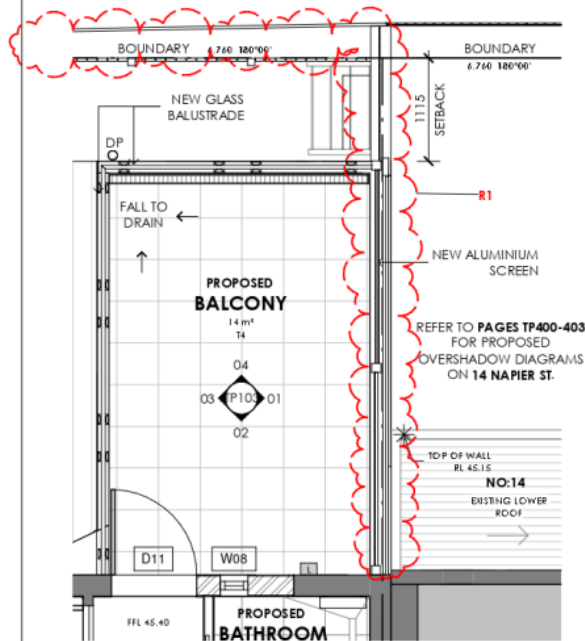
**Project**  
REFURBISHMENT AND EXTENSION WORKS

16 NAPIER STREET, FITZROY VIC 3065

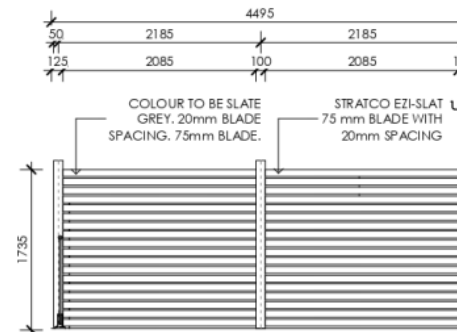
**Client**  
AUSTRALIAN CATHOLIC UNIVERSITY

**Drawing**  
PROPOSED WORKS - BALCONY

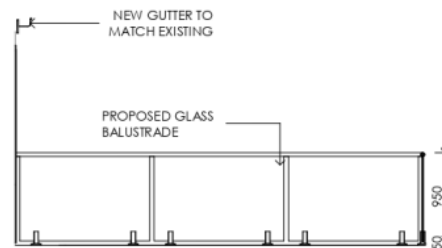
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MT	GOY	MT
Date	Scale	Sheet
AUG 2020	As indicated	A3
Project	Drawing	Rev.
19-026	TP 103	1



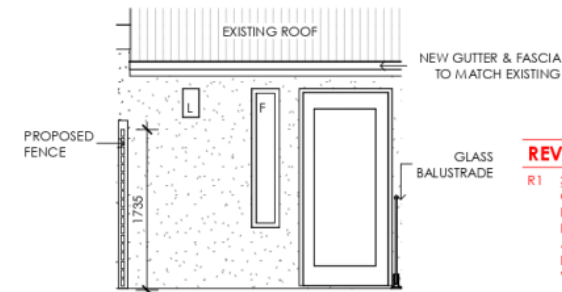
**PROPOSED WORKS - BALCONY**  
SCALE 1:50



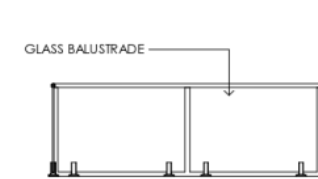
**BALCONY - PROPOSED ELEVATION 01**  
SCALE 1:50



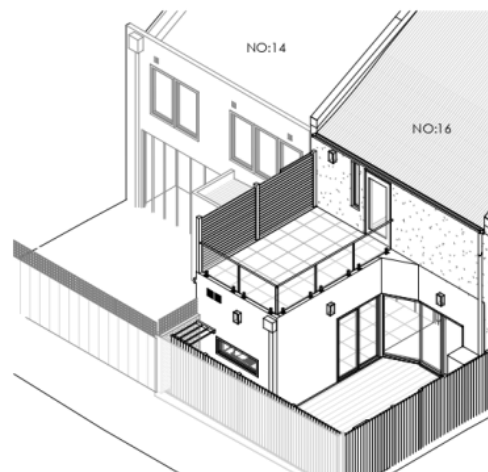
**BALCONY - PROPOSED ELEVATION 03**  
SCALE 1:50



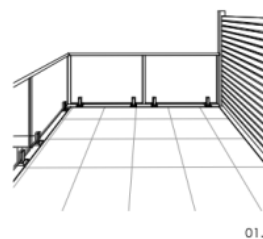
**BALCONY - PROPOSED ELEVATION 02**  
SCALE 1:50



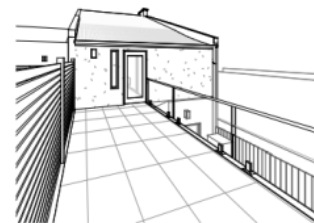
**BALCONY - PROPOSED ELEVATION 04**  
SCALE 1:50



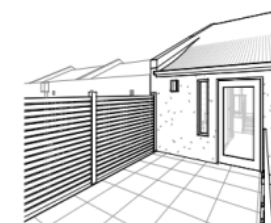
**BALCONY - PROPOSED VIEW 1**



01.



02.

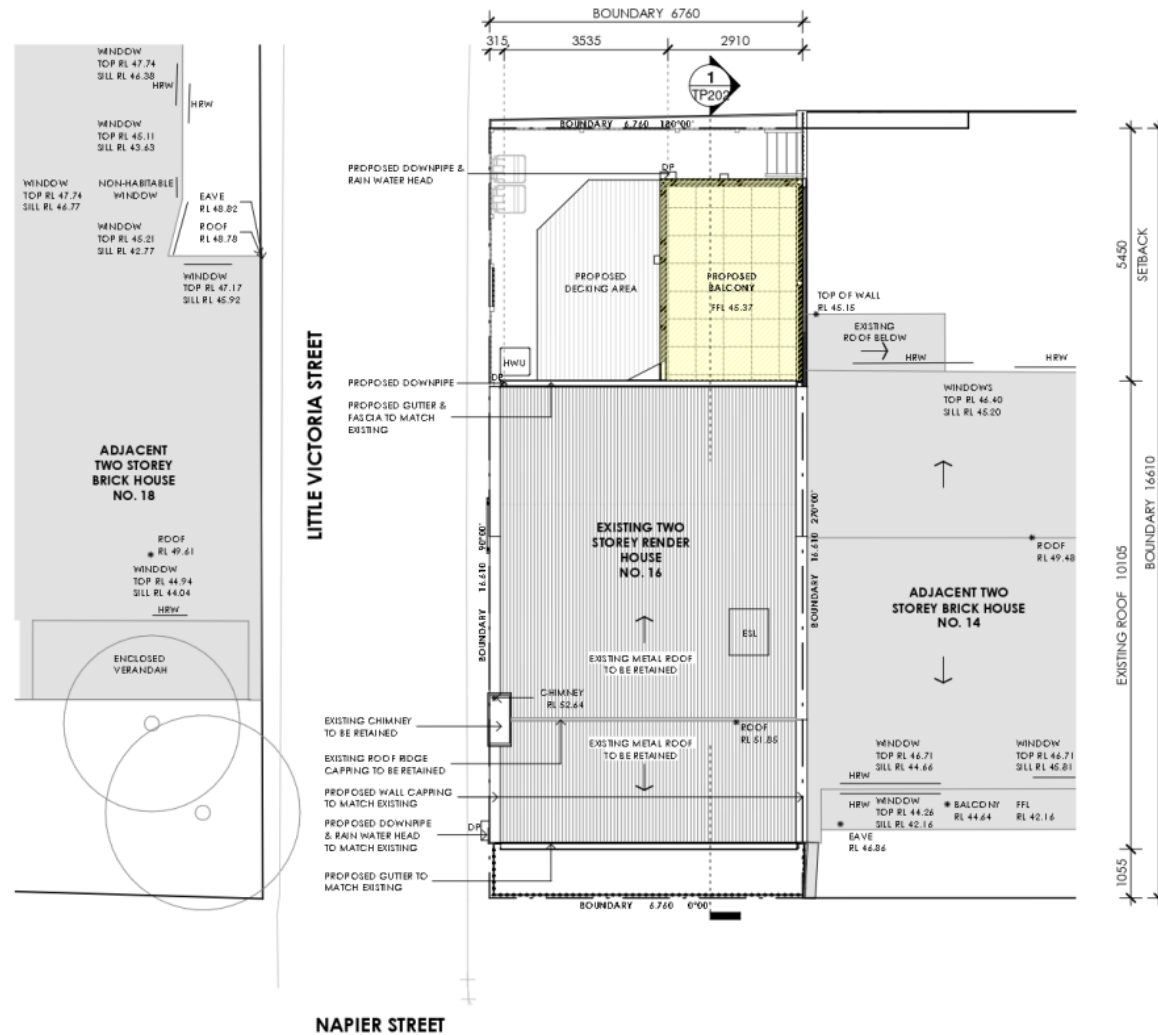


03.





Attachment 3 - PLN20/0022 - 16 Napier Street Fitzroy - Decision Plans (S57A Plans)



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All work shall conform to the specification and other relevant drawings. Figured dimensions to be taken in preference to scaled drawing.

**LEGEND**

- DP PROPOSED DOWNPIPE
- HRW HABITABLE WINDOW
- ESL EXISTING TRANSLUCENT CORRUGATED POLYCARBONATE ROOFING TO BE RETAINED
- EXTENSION BUILDING
- EXISTING METAL ROOF TO REMAIN UNAFFECTED BY DEMOLITION WORKS
- EXISTING PROPERTIES
- HWU NEW HOT WATER UNIT

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**Project**

REFURBISHMENT AND EXTENSION WORKS

16 NAPIER STREET, FITZROY VIC 3065

**Client**

AUSTRALIAN CATHOLIC UNIVERSITY

**Drawing**

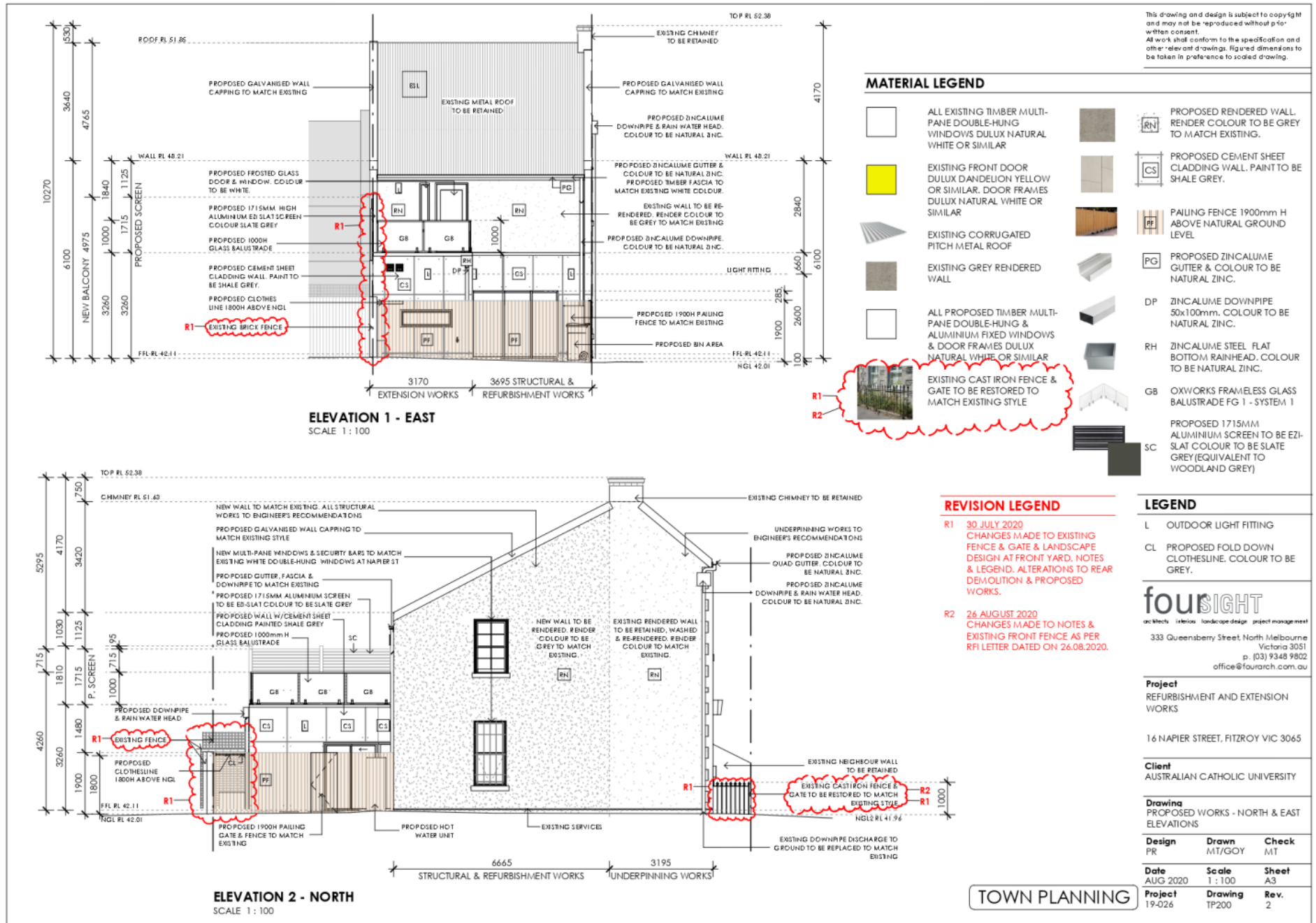
PROPOSED WORKS - ROOF PLAN

<b>Design</b> PR	<b>Drawn</b> GOY	<b>Check</b> MT
<b>Date</b> AUG 2020	<b>Scale</b> 1 : 100	<b>Sheet</b> A3
<b>Project</b> 19-026	<b>Drawing</b> TP104	<b>Rev.</b>



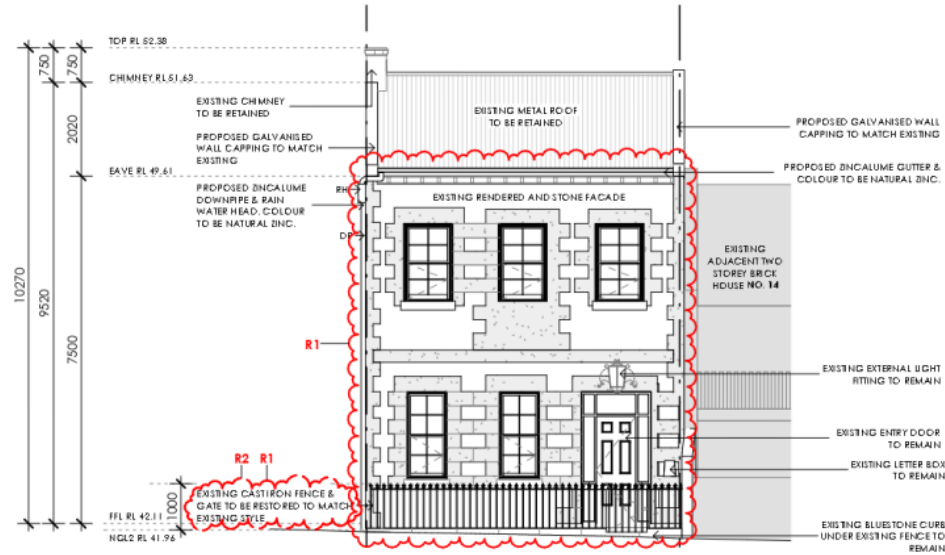
TOWN PLANNING

# Attachment 3 - PLN20/0022 - 16 Napier Street Fitzroy - Decision Plans (S57A Plans)



# Attachment 3 - PLN20/0022 - 16 Napier Street Fitzroy - Decision Plans (S57A Plans)

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**ELEVATION 3 - WEST**  
SCALE 1:100

## MATERIAL LEGEND

	ALL EXISTING TIMBER MULTI-PANE DOUBLE-HUNG WINDOWS DULUX NATURAL WHITE OR SIMILAR		DP ZINCALUME DOWNPIPE 50x100mm. COLOUR TO BE NATURAL ZINC.
	EXISTING FRONT DOOR DULUX DANDELION YELLOW OR SIMILAR. DOOR FRAMES DULUX NATURAL WHITE OR SIMILAR		RH ZINCALUME STEEL FLAT BOTTOM RAINHEAD. COLOUR TO BE NATURAL ZINC.
	EXISTING CORRUGATED PITCH METAL ROOF		RN PROPOSED RENDERED WALL. RENDER COLOUR TO BE GREY TO MATCH EXISTING.
	EXISTING GREY RENDERED WALL		PG PROPOSED ZINCALUME GUTTER & COLOUR TO BE NATURAL ZINC.
	EXISTING GREY RENDERED & STONE FACADE		SC PROPOSED 1715MM ALUMINIUM SCREEN TO BE EZI-SLAT COLOUR TO BE SLATE GREY (EQUIVALENT TO WOODLAND GREY)

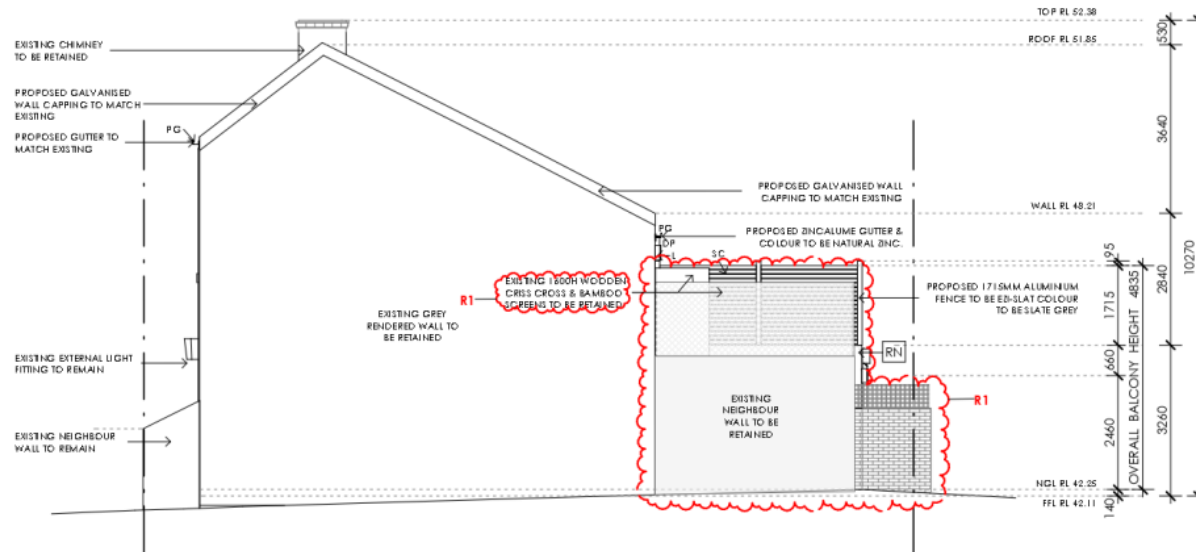
## LEGEND

L OUTDOOR LIGHT FITTING



## REVISION LEGEND

- R1 30 JULY 2020  
CHANGES MADE TO EXISTING FENCE & GATE & LANDSCAPE DESIGN AT FRONT YARD. NOTES & LEGEND. ALTERATIONS TO REAR DEMOLITION & PROPOSED WORKS.
- R2 26 AUGUST 2020  
CHANGES MADE TO NOTES & EXISTING FRONT FENCE AS PER R1 LETTER DATED ON 26.08.2020.



**ELEVATION 4 - SOUTH**  
SCALE 1:100

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**Project**  
REFURBISHMENT AND EXTENSION WORKS

16 NAPIER STREET, FITZROY VIC 3065

**Client**  
AUSTRALIAN CATHOLIC UNIVERSITY

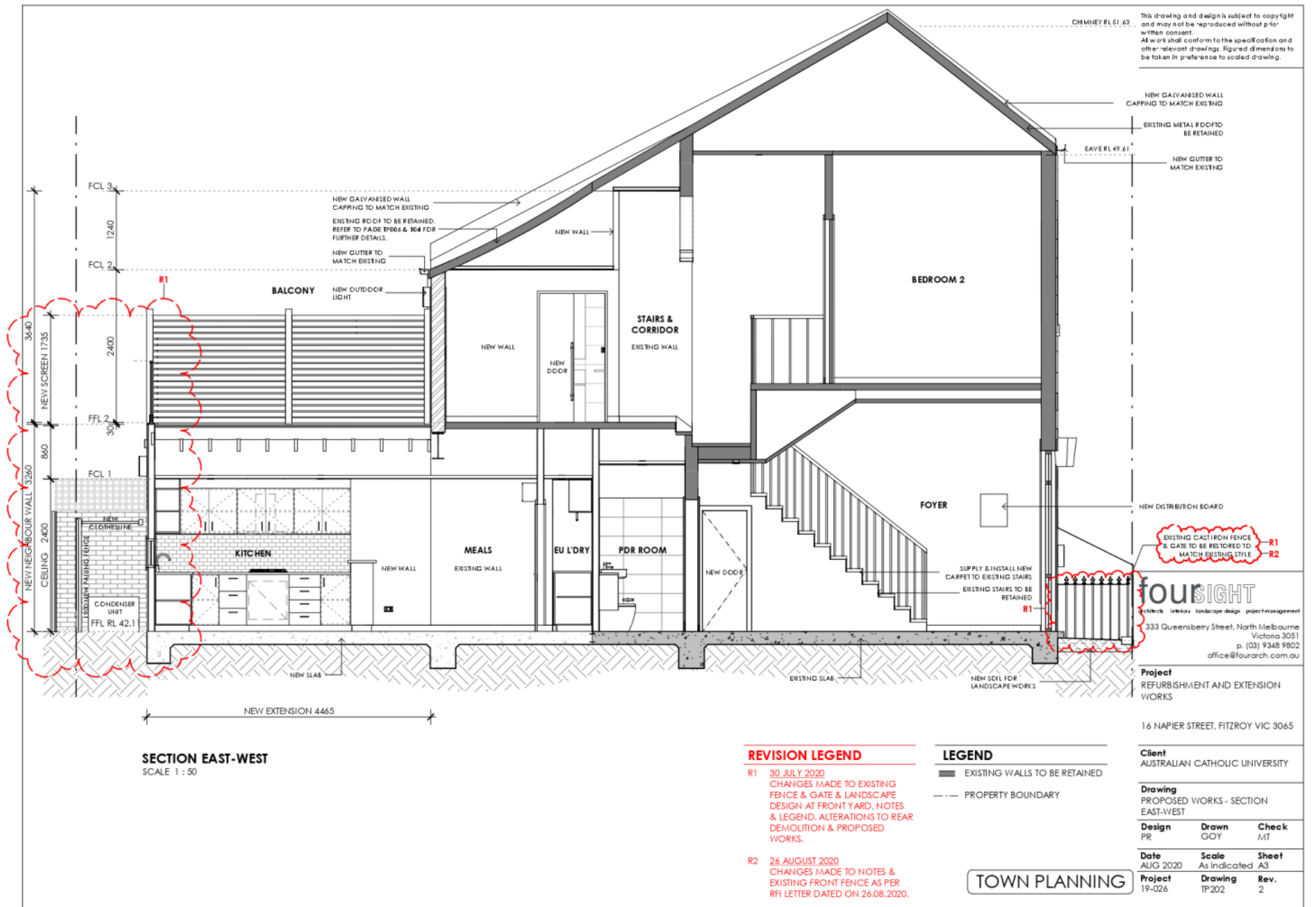
**Drawing**  
PROPOSED WORKS - SOUTH & WEST ELEVATIONS

Design	Drawn	Check
PR	MT/GOY	MT
Date	Scale	Sheet
AUG 2020	1:100	A3
Project	Drawing	Rev.
19-026	TP201	2

TOWN PLANNING

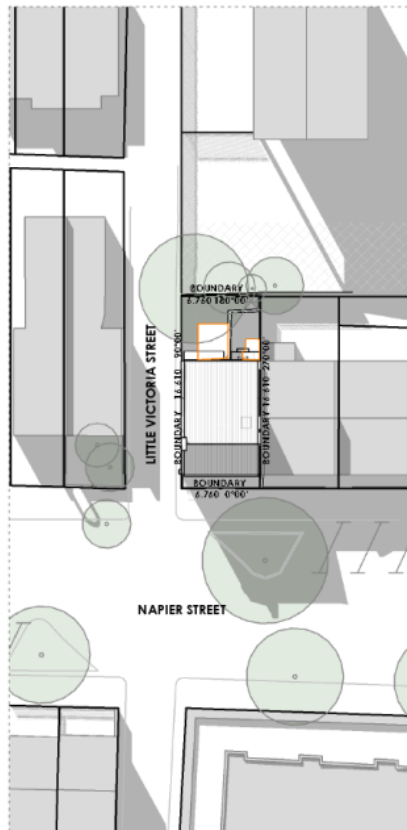


Attachment 3 - PLN20/0022 - 16 Napier Street Fitzroy - Decision Plans (S57A Plans)

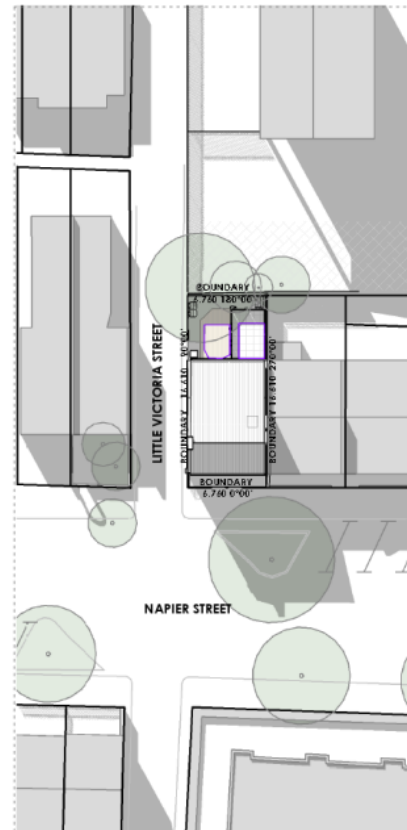


Attachment 3 - PLN20/0022 - 16 Napier Street Fitzroy - Decision Plans (S57A Plans)

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**EXISTING SHADOW DIAGRAM - 9AM**  
SCALE 1 : 400  
SEPTEMBER EQUINOX 9:00 AM



**PROPOSED SHADOW DIAGRAM - 9AM**  
SCALE 1 : 400  
SEPTEMBER EQUINOX 9:00 AM

SHADOW IMPACT ON NO.16 NAPIER STREET, FITZROY			
TIME	UNSHADOWED AREA (EXISTING) SPOS	UNSHADOWED AREA (PROPOSED) SPOS	DECREASE IN OVERALL SHADOWS
9:00 AM	10.31 m <sup>2</sup>	12.86 m <sup>2</sup>	2.55 m <sup>2</sup>
10:00 AM	14.41 m <sup>2</sup>	16.06 m <sup>2</sup>	1.65 m <sup>2</sup>
11:00 AM	17.67 m <sup>2</sup>	20.24 m <sup>2</sup>	2.57 m <sup>2</sup>
12:00 PM	20.60 m <sup>2</sup>	25.01 m <sup>2</sup>	4.41 m <sup>2</sup>
1:00 PM	21.64 m <sup>2</sup>	26.14 m <sup>2</sup>	4.50 m <sup>2</sup>
2:00 PM	NO IMPACT ON SPOS FROM PROPOSED ADDITION		
3:00 PM	6.51 m <sup>2</sup>	7.14 m <sup>2</sup>	0.63 m <sup>2</sup>

**SHADOW LEGEND | 9AM**

- UNSHADOWED AREA (EXISTING) SPOS  
TOTAL 10.31 m<sup>2</sup>
- UNSHADOWED AREA (PROPOSED) SPOS  
TOTAL 12.86 m<sup>2</sup>

**LEGEND**

- EXISTING PROPERTIES
- PROPERTY BOUNDARY

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**Project**  
REFURBISHMENT AND EXTENSION  
WORKS

16 NAPIER STREET, FITZROY VIC 3065

**Client**  
AUSTRALIAN CATHOLIC UNIVERSITY

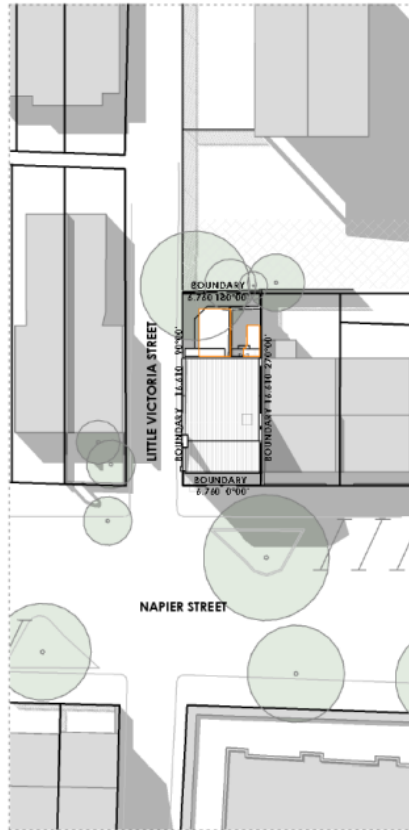
**Drawing**  
PROPOSED SHADOW DIAGRAM -  
9AM

<b>Design</b> PR	<b>Drawn</b> GOY	<b>Check</b> MT
<b>Date</b> AUG 2020	<b>Scale</b> As Indicated A3	<b>Sheet</b> Rev.
<b>Project</b> 19-026	<b>Drawing</b> TP300	

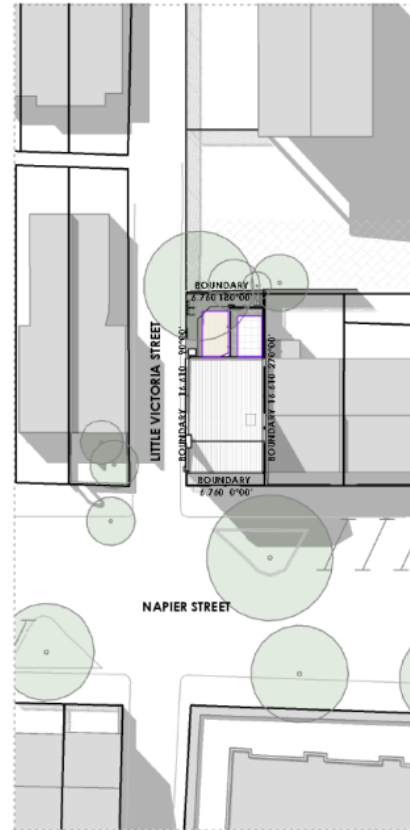


Attachment 3 - PLN20/0022 - 16 Napier Street Fitzroy - Decision Plans (S57A Plans)

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**EXISTING SHADOW DIAGRAM - 10AM**  
SCALE 1 : 400  
SEPTEMBER EQUINOX 10:00 AM



**PROPOSED SHADOW DIAGRAM - 10AM**  
SCALE 1 : 400  
SEPTEMBER EQUINOX 10:00 AM

SHADOW IMPACT ON NO.16 NAPIER STREET, FITZROY			
TIME	UNSHADOWED AREA (EXISTING) SPOS	UNSHADOWED AREA (PROPOSED) SPOS	DECREASE IN OVERALL SHADOWS
9:00 AM	10.31 m <sup>2</sup>	12.86 m <sup>2</sup>	2.55 m <sup>2</sup>
10:00 AM	14.41 m <sup>2</sup>	16.06 m <sup>2</sup>	1.65 m <sup>2</sup>
11:00 AM	17.67 m <sup>2</sup>	20.24 m <sup>2</sup>	2.57 m <sup>2</sup>
12:00 PM	20.60 m <sup>2</sup>	25.01 m <sup>2</sup>	4.41 m <sup>2</sup>
1:00 PM	21.64 m <sup>2</sup>	26.14 m <sup>2</sup>	4.50 m <sup>2</sup>
2:00 PM	NO IMPACT ON SPOS FROM PROPOSED ADDITION		
3:00 PM	6.51 m <sup>2</sup>	7.14 m <sup>2</sup>	0.63 m <sup>2</sup>

**SHADOW LEGEND | 10 AM**

- UNSHADOWED AREA (EXISTING) SPOS  
TOTAL 14.41 m<sup>2</sup>
- UNSHADOWED AREA (PROPOSED) SPOS  
TOTAL 16.06 m<sup>2</sup>

**LEGEND**

- EXISTING PROPERTIES
- PROPERTY BOUNDARY

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**Project**  
REFURBISHMENT AND EXTENSION  
WORKS

16 NAPIER STREET, FITZROY VIC 3065

**Client**  
AUSTRALIAN CATHOLIC UNIVERSITY

**Drawing**  
PROPOSED SHADOW DIAGRAM -  
10AM

<b>Design</b> PR	<b>Drawn</b> GOY	<b>Check</b> MT
<b>Date</b> AUG 2020	<b>Scale</b> As Indicated A3	<b>Sheet</b>
<b>Project</b> 19-026	<b>Drawing</b> TP301	<b>Rev.</b>

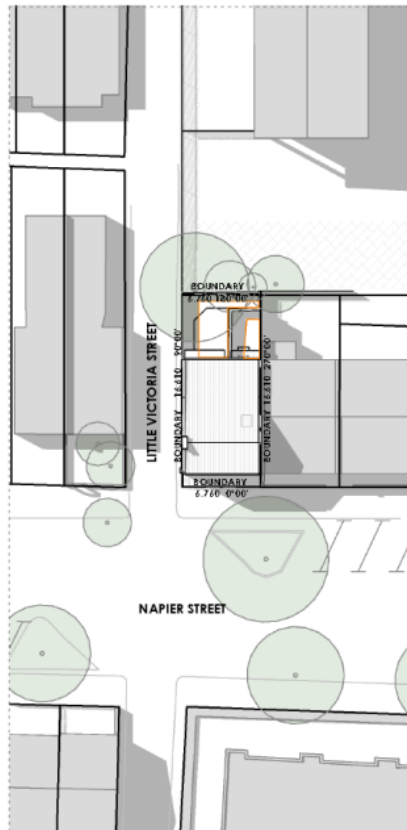


**TOWN PLANNING**

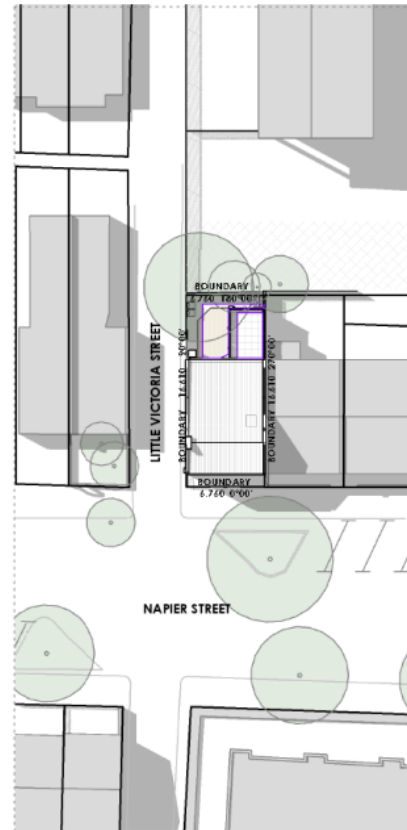


# Attachment 3 - PLN20/0022 - 16 Napier Street Fitzroy - Decision Plans (S57A Plans)

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All work shall conform to the specification and other relevant drawings. Figure dimensions to be taken in preference to scaled drawing.



**EXISTING SHADOW DIAGRAM - 11AM**  
SCALE 1 : 400  
SEPTEMBER EQUINOX 11:00 AM



**PROPOSED SHADOW DIAGRAM - 11AM**  
SCALE 1 : 400  
SEPTEMBER EQUINOX 11:00 AM

SHADOW IMPACT ON NO.16 NAPIER STREET, FITZROY			
TIME	UNSHADOWED AREA (EXISTING) SPOS	UNSHADOWED AREA (PROPOSED) SPOS	DECREASE IN OVERALL SHADOWS
9:00 AM	10.31 m <sup>2</sup>	12.86 m <sup>2</sup>	2.55 m <sup>2</sup>
10:00 AM	14.41 m <sup>2</sup>	16.06 m <sup>2</sup>	1.65 m <sup>2</sup>
11:00 AM	17.67 m <sup>2</sup>	20.24 m <sup>2</sup>	2.57 m <sup>2</sup>
12:00 PM	20.60 m <sup>2</sup>	25.01 m <sup>2</sup>	4.41 m <sup>2</sup>
1:00 PM	21.64 m <sup>2</sup>	26.14 m <sup>2</sup>	4.50 m <sup>2</sup>
2:00 PM	NO IMPACT ON SPOS FROM PROPOSED ADDITION		
3:00 PM	6.51 m <sup>2</sup>	7.14 m <sup>2</sup>	0.63 m <sup>2</sup>

## SHADOW LEGEND | 11 AM

- UNSHADOWED AREA (EXISTING) SPOS  
TOTAL 17.67 m<sup>2</sup>
- UNSHADOWED AREA (PROPOSED) SPOS  
TOTAL 20.24 m<sup>2</sup>

## LEGEND

- EXISTING PROPERTIES
- PROPERTY BOUNDARY

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**Project**  
REFURBISHMENT AND EXTENSION  
WORKS

16 NAPIER STREET, FITZROY VIC 3065

**Client**  
AUSTRALIAN CATHOLIC UNIVERSITY

**Drawing**  
PROPOSED SHADOW DIAGRAM -  
11 AM

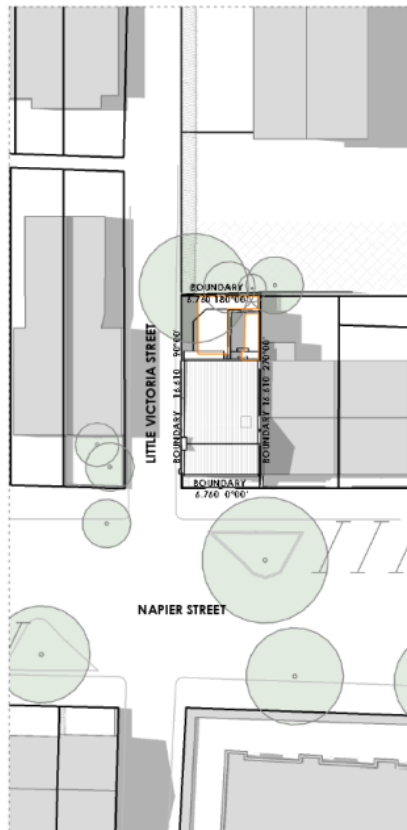
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<b>Date</b> AUG 2020	<b>Scale</b> As Indicated A3	<b>Sheet</b>
<b>Project</b> 19-026	<b>Drawing</b> TP302	<b>Rev.</b>



TOWN PLANNING

## Attachment 3 - PLN20/0022 - 16 Napier Street Fitzroy - Decision Plans (S57A Plans)

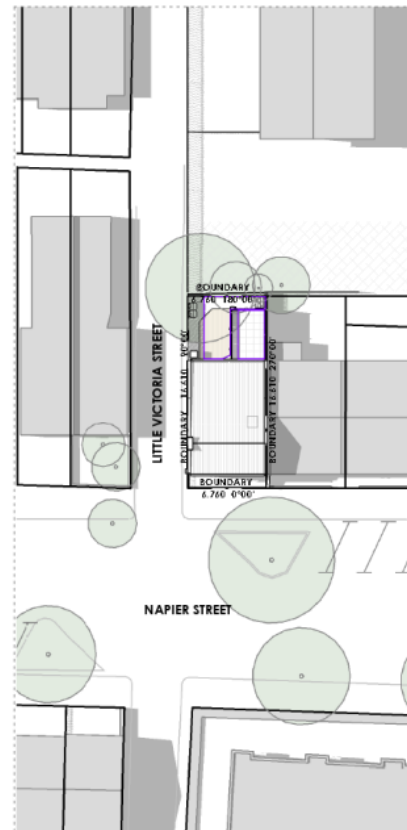
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EXISTING SHADOW DIAGRAM - 12PM

SCALE 1 : 400

SEPTEMBER EQUINOX 12:00 PM



PROPOSED SHADOW DIAGRAM - 12PM

SCALE 1 : 400

SEPTEMBER EQUINOX 12:00 PM

SHADOW IMPACT ON NO.16 NAPIER STREET, FITZROY			
TIME	UNSHADOWED AREA (EXISTING) SPOS	UNSHADOWED AREA (PROPOSED) SPOS	DECREASE IN OVERALL SHADOWS
9:00 AM	10.31 m <sup>2</sup>	12.86 m <sup>2</sup>	2.55 m <sup>2</sup>
10:00 AM	14.41 m <sup>2</sup>	16.06 m <sup>2</sup>	1.65 m <sup>2</sup>
11:00 AM	17.67 m <sup>2</sup>	20.24 m <sup>2</sup>	2.57 m <sup>2</sup>
12:00 PM	20.60 m <sup>2</sup>	25.01 m <sup>2</sup>	4.41 m <sup>2</sup>
1:00 PM	21.64 m <sup>2</sup>	26.14 m <sup>2</sup>	4.50 m <sup>2</sup>
2:00 PM	NO IMPACT ON SPOS FROM PROPOSED ADDITION		
3:00 PM	6.51 m <sup>2</sup>	7.14 m <sup>2</sup>	0.63 m <sup>2</sup>

## SHADOW LEGEND | 12 PM

- UNSHADOWED AREA (EXISTING) SPOS  
TOTAL 20.60 m<sup>2</sup>  
 UNSHADOWED AREA (PROPOSED) SPOS  
TOTAL 25.01 m<sup>2</sup>

## LEGEND

- EXISTING PROPERTIES  
 PROPERTY BOUNDARY

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## Project

REFURBISHMENT AND EXTENSION  
WORKS

16 NAPIER STREET, FITZROY VIC 3065

## Client

AUSTRALIAN CATHOLIC UNIVERSITY

## Drawing

PROPOSED SHADOW DIAGRAM -  
12PM

## Design

PR  
GOY

Date  
AUG 2020

Project  
19-026

## Check

MT

Scale  
As Indicated A3

Drawing  
TP303

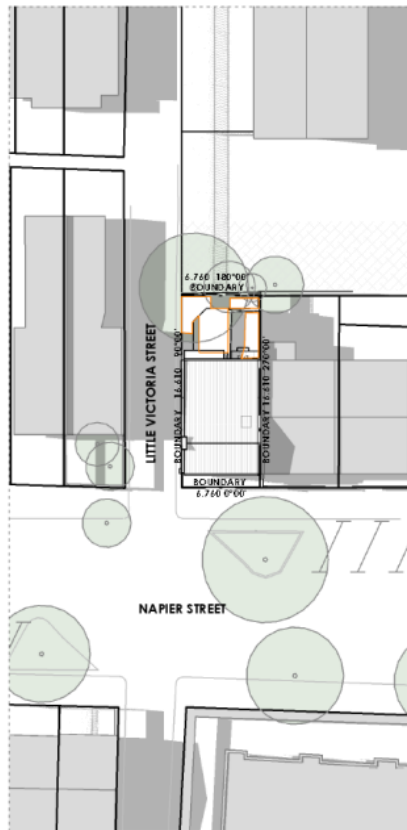
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Rev.

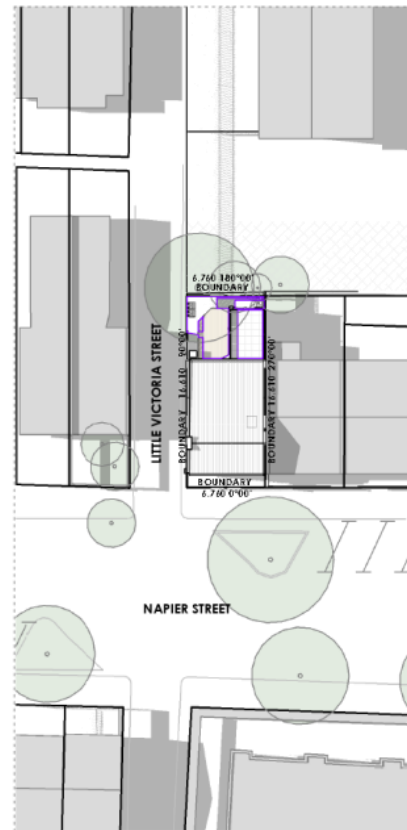


Attachment 3 - PLN20/0022 - 16 Napier Street Fitzroy - Decision Plans (S57A Plans)

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**EXISTING SHADOW DIAGRAM - 1 PM**  
SCALE 1 : 400  
SEPTEMBER EQUINOX 1:00 PM



**PROPOSED SHADOW DIAGRAM - 1 PM**  
SCALE 1 : 400  
SEPTEMBER EQUINOX 1:00 PM

SHADOW IMPACT ON NO.16 NAPIER STREET, FITZROY			
TIME	UNSHADOWED AREA (EXISTING) SPOS	UNSHADOWED AREA (PROPOSED) SPOS	DECREASE IN OVERALL SHADOWS
9:00 AM	10.31 m <sup>2</sup>	12.86 m <sup>2</sup>	2.55 m <sup>2</sup>
10:00 AM	14.41 m <sup>2</sup>	16.06 m <sup>2</sup>	1.65 m <sup>2</sup>
11:00 AM	17.67 m <sup>2</sup>	20.24 m <sup>2</sup>	2.57 m <sup>2</sup>
12:00 PM	20.60 m <sup>2</sup>	25.01 m <sup>2</sup>	4.41 m <sup>2</sup>
1:00 PM	21.64 m <sup>2</sup>	26.14 m <sup>2</sup>	4.50 m <sup>2</sup>
2:00 PM	NO IMPACT ON SPOS FROM PROPOSED ADDITION		
3:00 PM	6.51 m <sup>2</sup>	7.14 m <sup>2</sup>	0.63 m <sup>2</sup>

**SHADOW LEGEND | 1 PM**

- UNSHADOWED AREA (EXISTING) SPOS  
TOTAL 21.64 m<sup>2</sup>
- UNSHADOWED AREA (PROPOSED) SPOS  
TOTAL 26.14 m<sup>2</sup>

**LEGEND**

- EXISTING PROPERTIES
- PROPERTY BOUNDARY

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WORKS  
  
16 NAPIER STREET, FITZROY VIC 3065

**Client**  
AUSTRALIAN CATHOLIC UNIVERSITY

**Drawing**  
PROPOSED SHADOW DIAGRAM -  
1 PM

<b>Design</b> PR	<b>Drawn</b> GOY	<b>Check</b> MT
<b>Date</b> AUG 2020	<b>Scale</b> As Indicated A3	<b>Sheet</b>
<b>Project</b> 19-026	<b>Drawing</b> TP304	<b>Rev.</b>

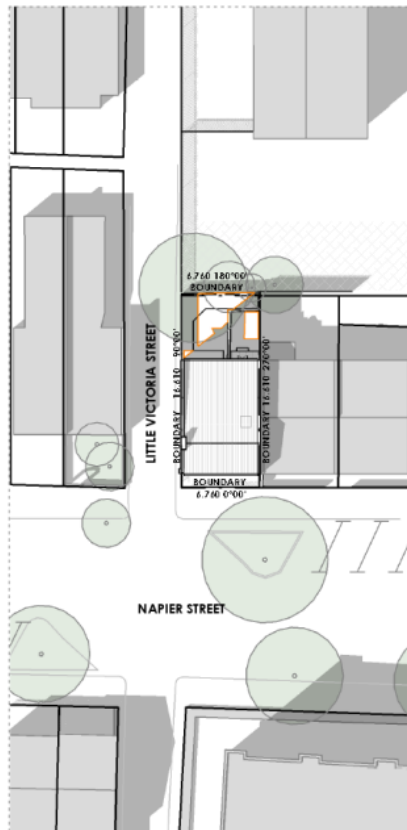


TOWN PLANNING

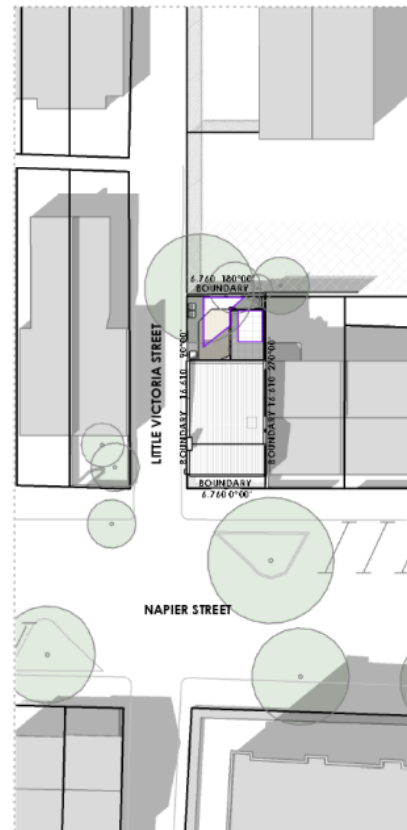


# Attachment 3 - PLN20/0022 - 16 Napier Street Fitzroy - Decision Plans (S57A Plans)

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**EXISTING SHADOW DIAGRAM - 2PM**  
SCALE 1 : 400  
SEPTEMBER EQUINOX 2:00 PM



**PROPOSED SHADOW DIAGRAM - 2PM**  
SCALE 1 : 400  
SEPTEMBER EQUINOX 2:00 PM

SHADOW IMPACT ON NO.16 NAPIER STREET, FITZROY			
TIME	UNSHADOWED AREA (EXISTING) SPOS	UNSHADOWED AREA (PROPOSED) SPOS	DECREASE IN OVERALL SHADOWS
9:00 AM	10.31 m <sup>2</sup>	12.86 m <sup>2</sup>	2.55 m <sup>2</sup>
10:00 AM	14.41 m <sup>2</sup>	16.06 m <sup>2</sup>	1.65 m <sup>2</sup>
11:00 AM	17.67 m <sup>2</sup>	20.24 m <sup>2</sup>	2.57 m <sup>2</sup>
12:00 PM	20.60 m <sup>2</sup>	25.01 m <sup>2</sup>	4.41 m <sup>2</sup>
1:00 PM	21.64 m <sup>2</sup>	26.14 m <sup>2</sup>	4.50 m <sup>2</sup>
2:00 PM	NO IMPACT ON SPOS FROM PROPOSED ADDITION		
3:00 PM	6.51 m <sup>2</sup>	7.14 m <sup>2</sup>	0.63 m <sup>2</sup>

## SHADOW LEGEND | 2 PM

- UNSHADOWED AREA (EXISTING) SPOS  
TOTAL 14.01 m<sup>2</sup>
- UNSHADOWED AREA (PROPOSED) SPOS  
TOTAL 14.03 m<sup>2</sup>

## LEGEND

- EXISTING PROPERTIES
- PROPERTY BOUNDARY

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**Project**  
REFURBISHMENT AND EXTENSION  
WORKS

16 NAPIER STREET, FITZROY VIC 3065

**Client**  
AUSTRALIAN CATHOLIC UNIVERSITY

**Drawing**  
PROPOSED SHADOW DIAGRAM -  
2PM

**Design**  
PR GOY MT

**Date**  
AUG 2020

**Project**  
19-026

**Scale**  
As Indicated A3

**Drawing**  
TP305

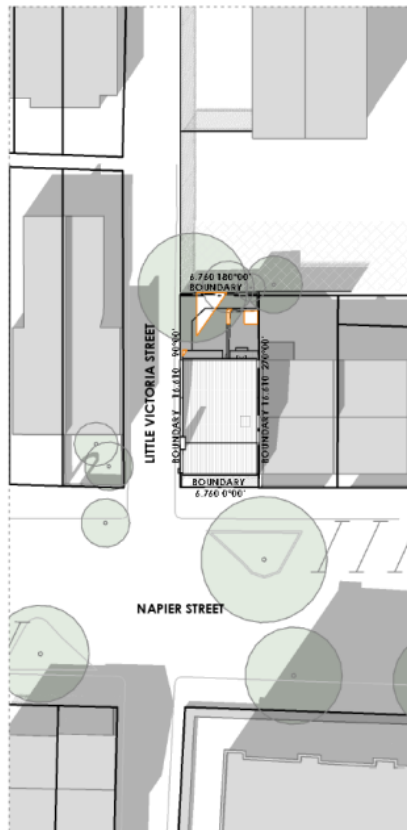
**Sheet**  
Rev.



TOWN PLANNING

## Attachment 3 - PLN20/0022 - 16 Napier Street Fitzroy - Decision Plans (S57A Plans)

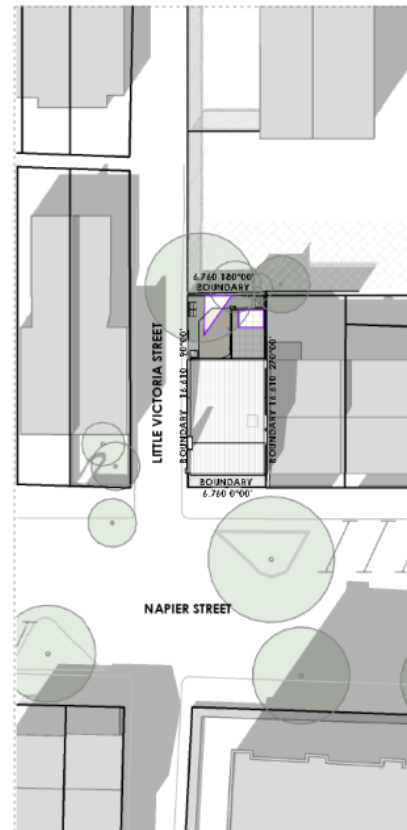
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EXISTING SHADOW DIAGRAM - 3PM

SCALE 1 : 400

SEPTEMBER EQUINOX 3:00 PM



PROPOSED SHADOW DIAGRAM - 3PM

SCALE 1 : 400

SEPTEMBER EQUINOX 3:00 PM

SHADOW IMPACT ON NO.16 NAPIER STREET, FITZROY			
TIME	UNSHADOWED AREA (EXISTING) SPOS	UNSHADOWED AREA (PROPOSED) SPOS	DECREASE IN OVERALL SHADOWS
9:00 AM	10.31 m <sup>2</sup>	12.86 m <sup>2</sup>	2.55 m <sup>2</sup>
10:00 AM	14.41 m <sup>2</sup>	16.06 m <sup>2</sup>	1.65 m <sup>2</sup>
11:00 AM	17.67 m <sup>2</sup>	20.24 m <sup>2</sup>	2.57 m <sup>2</sup>
12:00 PM	20.60 m <sup>2</sup>	25.01 m <sup>2</sup>	4.41 m <sup>2</sup>
1:00 PM	21.64 m <sup>2</sup>	26.14 m <sup>2</sup>	4.50 m <sup>2</sup>
2:00 PM	NO IMPACT ON SPOS FROM PROPOSED ADDITION		
3:00 PM	6.51 m <sup>2</sup>	7.14 m <sup>2</sup>	0.63 m <sup>2</sup>

## SHADOW LEGEND | 3 PM

UNSHADOWED AREA (EXISTING) SPOS  
TOTAL 6.51 m<sup>2</sup>

UNSHADOWED AREA (PROPOSED) SPOS  
TOTAL 7.14 m<sup>2</sup>

## LEGEND

EXISTING PROPERTIES

PROPERTY BOUNDARY

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## Project

REFURBISHMENT AND EXTENSION  
WORKS

16 NAPIER STREET, FITZROY VIC 3065

## Client

AUSTRALIAN CATHOLIC UNIVERSITY

## Drawing

PROPOSED SHADOW DIAGRAM -  
3PM

## Design

PR

## Drawn

GOY

## Check

MT

## Date

AUG 2020

## Scale

As Indicated A3

## Sheet

## Project

19-026

## Drawing

TP306

## Rev.

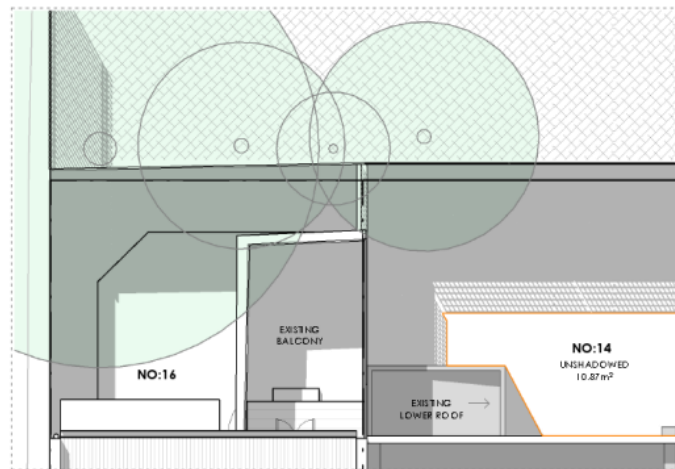


TOWN PLANNING

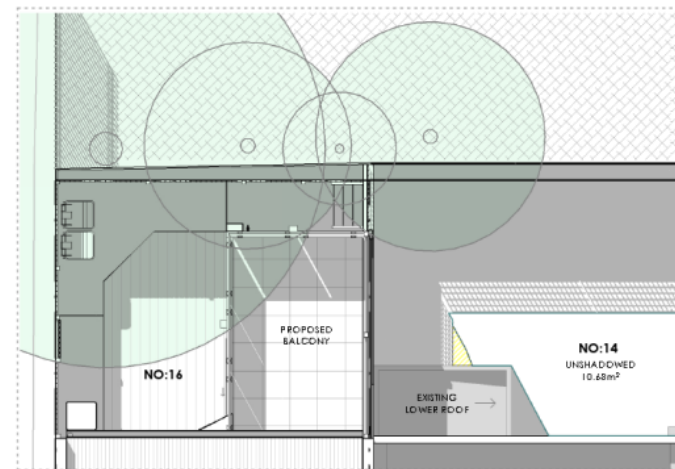
# Attachment 3 - PLN20/0022 - 16 Napier Street Fitzroy - Decision Plans (S57A Plans)

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All work shall conform to the specification and other relevant drawings. Figured dimensions to be taken in preference to scaled drawing.

SHADOW IMPACT ON NO.14 NAPIER STREET, FITZROY			
TIME	UNSHADOWED AREA (EXISTING) SPOS	UNSHADOWED AREA (PROPOSED) SPOS	INCREASE IN OVERALL SHADOWS
9:00 AM	10.87 m <sup>2</sup>	10.68 m <sup>2</sup>	0.19 m <sup>2</sup>
10:00 AM	16.86 m <sup>2</sup>	15.95 m <sup>2</sup>	0.91 m <sup>2</sup>
11:00 AM	18.41 m <sup>2</sup>	17.22 m <sup>2</sup>	1.19 m <sup>2</sup>
12:00 PM	19.18 m <sup>2</sup>	17.74 m <sup>2</sup>	1.44 m <sup>2</sup>
1:00 PM	13.66 m <sup>2</sup>	12.57 m <sup>2</sup>	1.09 m <sup>2</sup>
2:00 PM	7.12 m <sup>2</sup>	6.87 m <sup>2</sup>	0.25 m <sup>2</sup>
3:00 PM	NO IMPACT ON SPOS FROM PROPOSED ADDITION		



**BALCONY - EXISTING SHADOW DIAGRAM - 9 AM- NEIGHBOUR**  
SCALE 1 : 100



**BALCONY - PROPOSED SHADOW DIAGRAM - 9 AM- NEIGHBOUR**  
SCALE 1 : 100

## LEGEND

SPOS (SECLUDED PRIVATE OPEN SPACE) OF NO.14 NAPIER STREET

TOTAL 35m<sup>2</sup>

## SHADOW LEGEND | 9AM

- UNSHADOWED AREA (EXISTING) SPOS  
TOTAL 10.87 m<sup>2</sup>
- UNSHADOWED AREA (PROPOSED) SPOS  
TOTAL 10.68 m<sup>2</sup>
- ADDITIONAL SHADOW BY PROPOSED WORKS  
TOTAL 0.19 m<sup>2</sup>

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**Project**  
REFURBISHMENT AND EXTENSION  
WORKS

16 NAPIER STREET, FITZROY VIC 3065

**Client**  
AUSTRALIAN CATHOLIC UNIVERSITY

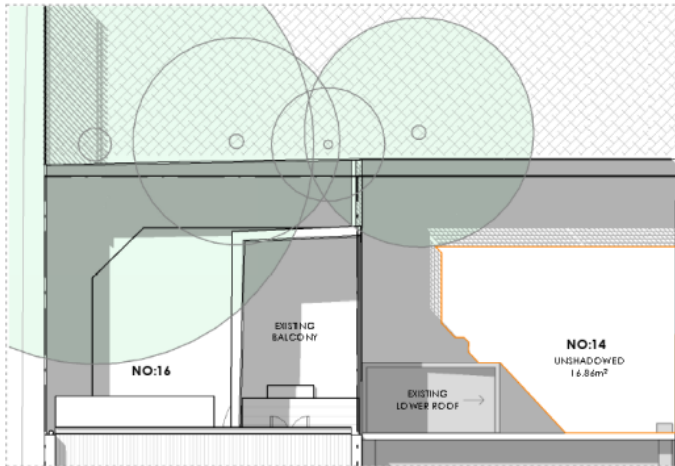
**Drawing**  
EXISTING & PROPOSED BALCONY  
SHADOWS - 9 & 10 AM

<b>Design</b> -	<b>Drawn</b> GOY	<b>Check</b> MIT
<b>Date</b> AUG 2020	<b>Scale</b> 1 : 100	<b>Sheet</b> A3
<b>Project</b> 19-026	<b>Drawing</b> TP400	<b>Rev.</b>

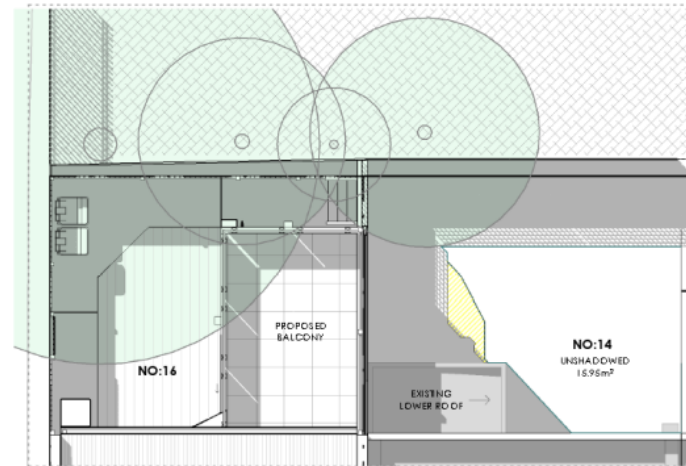




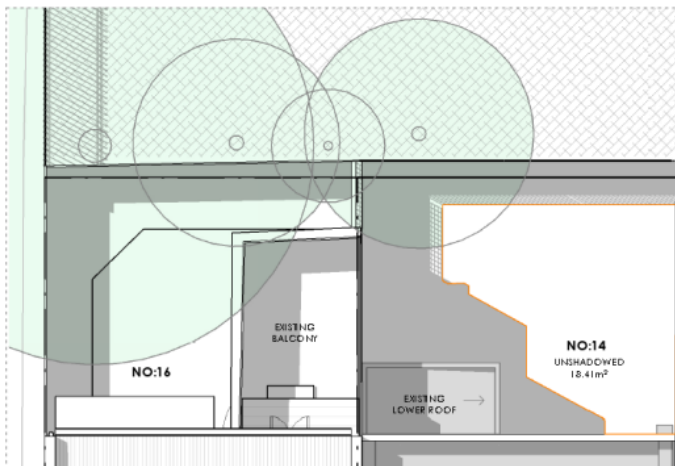
Attachment 3 - PLN20/0022 - 16 Napier Street Fitzroy - Decision Plans (S57A Plans)



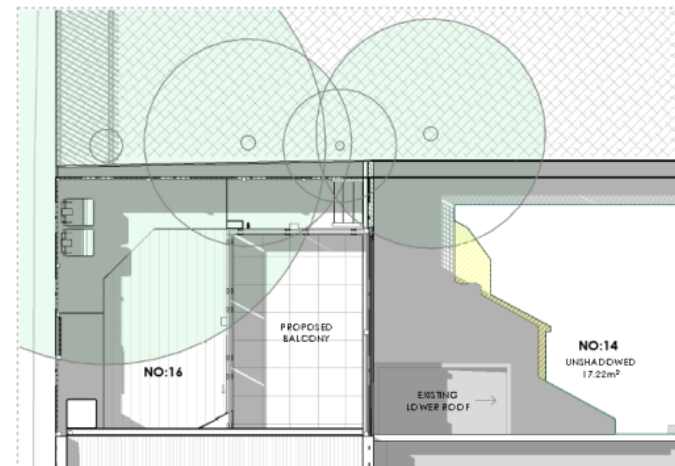
**BALCONY - EXISTING SHADOW DIAGRAM - 10 AM- NEIGHBOUR**  
SCALE 1 : 100



**BALCONY - PROPOSED SHADOW DIAGRAM - 10 AM- NEIGHBOUR**  
SCALE 1 : 100



**BALCONY - EXISTING SHADOW DIAGRAM - 11 AM- NEIGHBOUR**  
SCALE 1 : 100



**BALCONY - PROPOSED SHADOW DIAGRAM - 11 AM- NEIGHBOUR**  
SCALE 1 : 100

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**SHADOW LEGEND | 10AM**

- UNSHADOWED AREA (EXISTING) SPOS  
TOTAL 16.86 m²
- UNSHADOWED AREA (PROPOSED) SPOS  
TOTAL 15.95 m²
- ADDITIONAL SHADOW BY PROPOSED WORKS  
TOTAL 0.91 m²

**LEGEND**

SPOS (SECLUDED PRIVATE OPEN SPACE) OF NO.14 NAPIER STREET  
TOTAL 35m²

**SHADOW LEGEND | 11AM**

- UNSHADOWED AREA (EXISTING) SPOS  
TOTAL 18.41 m²
- UNSHADOWED AREA (PROPOSED) SPOS  
TOTAL 17.22 m²
- ADDITIONAL SHADOW BY PROPOSED WORKS  
TOTAL 1.19 m²

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**Project**  
REFURBISHMENT AND EXTENSION  
WORKS

16 NAPIER STREET, FITZROY VIC 3065

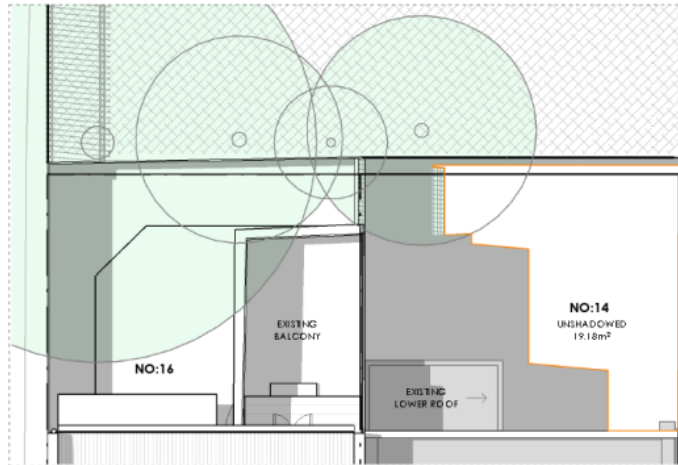
**Client**  
AUSTRALIAN CATHOLIC UNIVERSITY

**Drawing**  
EXISTING & PROPOSED BALCONY  
SHADOWS - 11 & 12 PM

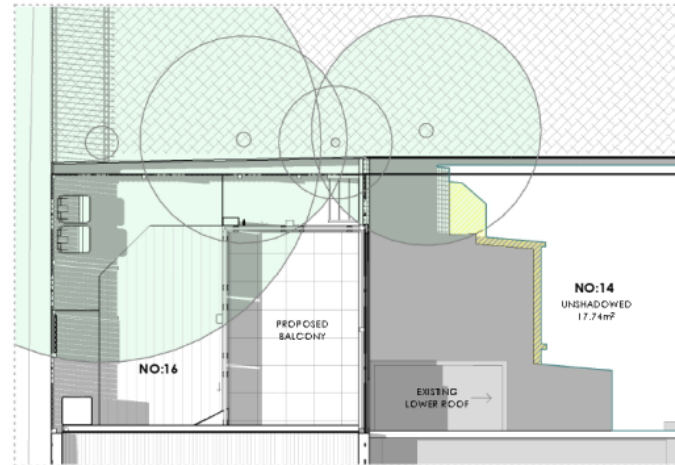
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<b>Date</b> AUG 2020	<b>Scale</b> 1 : 100	<b>Sheet</b> A3
<b>Project</b> 19-026	<b>Drawing</b> TP401	<b>Rev.</b> -



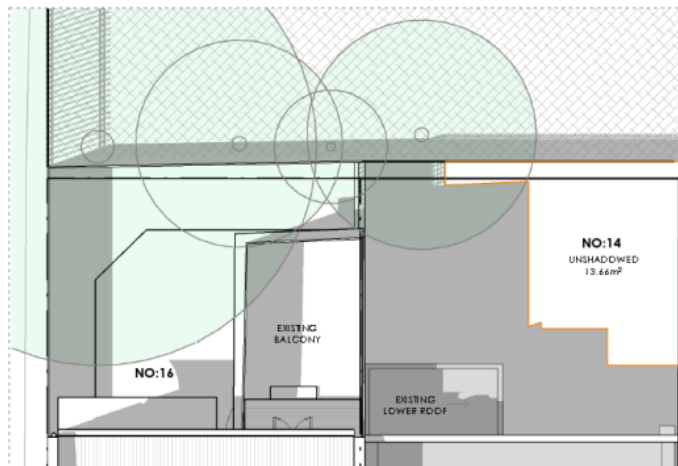
# Attachment 3 - PLN20/0022 - 16 Napier Street Fitzroy - Decision Plans (S57A Plans)



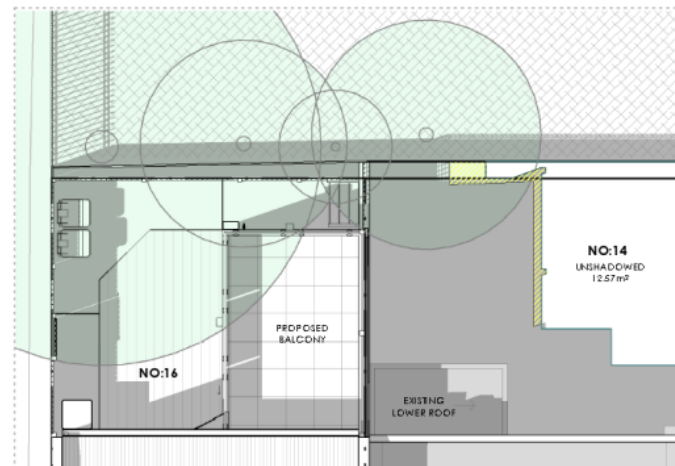
**BALCONY - EXISTING SHADOW DIAGRAM - 12 PM- NEIGHBOUR**  
SCALE 1 : 100



**BALCONY - PROPOSED SHADOW DIAGRAM - 12 PM- NEIGHBOUR**  
SCALE 1 : 100



**BALCONY - EXISTING SHADOW DIAGRAM - 1 PM- NEIGHBOUR**  
SCALE 1 : 100



**BALCONY - PROPOSED SHADOW DIAGRAM - 1 PM- NEIGHBOUR**  
SCALE 1 : 100

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## **SHADOW LEGEND | 12PM**

- UNSHADOWED AREA (EXISTING) SPOS  
TOTAL 19.18 m²
- UNSHADOWED AREA (PROPOSED) SPOS  
TOTAL 17.74 m²
- ADDITIONAL SHADOW BY PROPOSED WORKS  
TOTAL 1.44 m²

## **LEGEND**

SPOS (SECLUDED PRIVATE OPEN SPACE) OF NO.14 NAPIER STREET  
TOTAL 35m²

## **SHADOW LEGEND | 1 PM**

- UNSHADOWED AREA (EXISTING) SPOS  
TOTAL 13.66 m²
- UNSHADOWED AREA (PROPOSED) SPOS  
TOTAL 12.57 m²
- ADDITIONAL SHADOW BY PROPOSED WORKS  
TOTAL 1.09 m²

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**Project**  
REFURBISHMENT AND EXTENSION  
WORKS

16 NAPIER STREET, FITZROY VIC 3065

**Client**  
AUSTRALIAN CATHOLIC UNIVERSITY

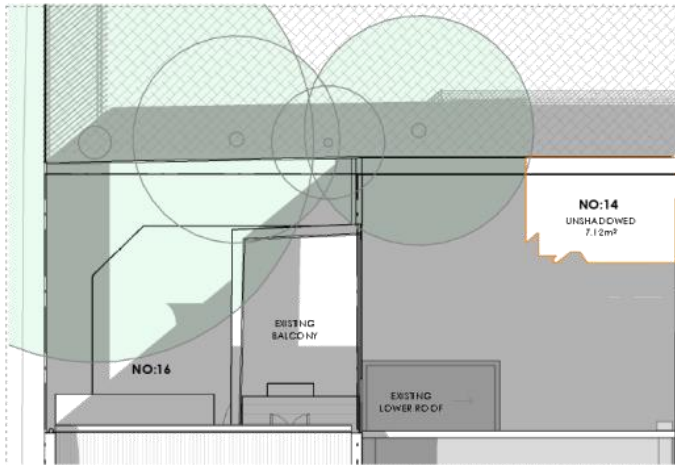
**Drawing**  
EXISTING & PROPOSED BALCONY  
SHADOWS - 1 & 2 PM

<b>Design</b> -	<b>Drawn</b> GOY	<b>Check</b> MT
<b>Date</b> AUG 2020	<b>Scale</b> 1 : 100	<b>Sheet</b> A3
<b>Project</b> 19-026	<b>Drawing</b> TP402	<b>Rev.</b>

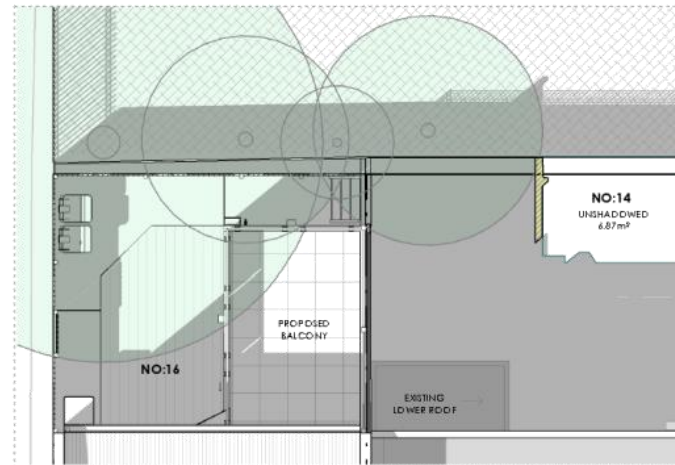


Attachment 3 - PLN20/0022 - 16 Napier Street Fitzroy - Decision Plans (S57A Plans)

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**BALCONY - EXISTING SHADOW DIAGRAM - 2 PM- NEIGHBOUR**  
SCALE 1 : 100



**BALCONY - PROPOSED SHADOW DIAGRAM - 2 PM- NEIGHBOUR**  
SCALE 1 : 100

**SHADOW LEGEND | 2 PM**

- UNSHADOWED AREA (EXISTING) SPOS  
TOTAL 7.12 m²
- UNSHADOWED AREA (PROPOSED) SPOS  
TOTAL 6.87 m²
- ADDITIONAL SHADOW BY PROPOSED WORKS  
TOTAL 0.25 m²

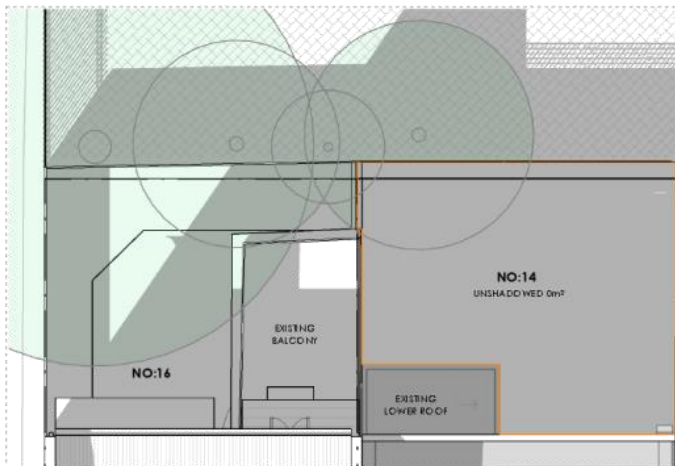
**LEGEND**

SPOS (SECLUDED PRIVATE OPEN SPACE) OF NO.14 NAPIER STREET

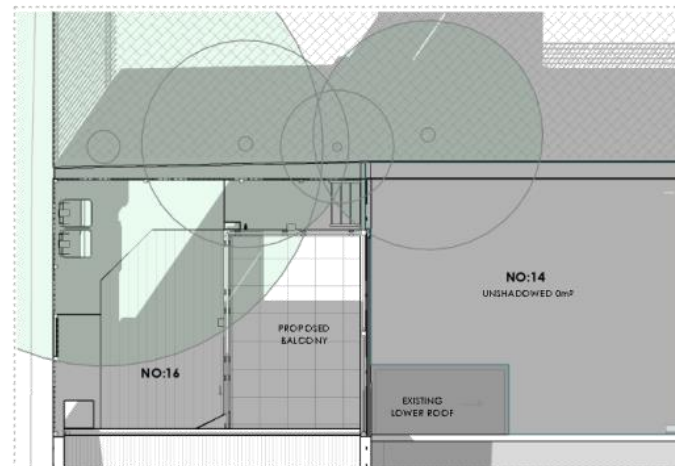
TOTAL 35m²

**SHADOW LEGEND | 3 PM**

- UNSHADOWED AREA (EXISTING) SPOS  
TOTAL 0 m²
- UNSHADOWED AREA (PROPOSED) SPOS  
TOTAL 0 m²
- ADDITIONAL SHADOW BY PROPOSED WORKS  
TOTAL 0 m²



**BALCONY - EXISTING SHADOW DIAGRAM - 3 PM- NEIGHBOUR**  
SCALE 1 : 100



**BALCONY - PROPOSED SHADOW DIAGRAM - 3 PM- NEIGHBOUR**  
SCALE 1 : 100

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**Project**  
REFURBISHMENT AND EXTENSION  
WORKS

16 NAPIER STREET, FITZROY VIC 3065

**Client**  
AUSTRALIAN CATHOLIC UNIVERSITY

**Drawing**  
EXISTING & PROPOSED BALCONY  
SHADOWS - 3 PM

**Design** - **Drawn** GOY **Check** MT

**Date** AUG 2020 **Scale** 1 : 100 **Sheet** A3

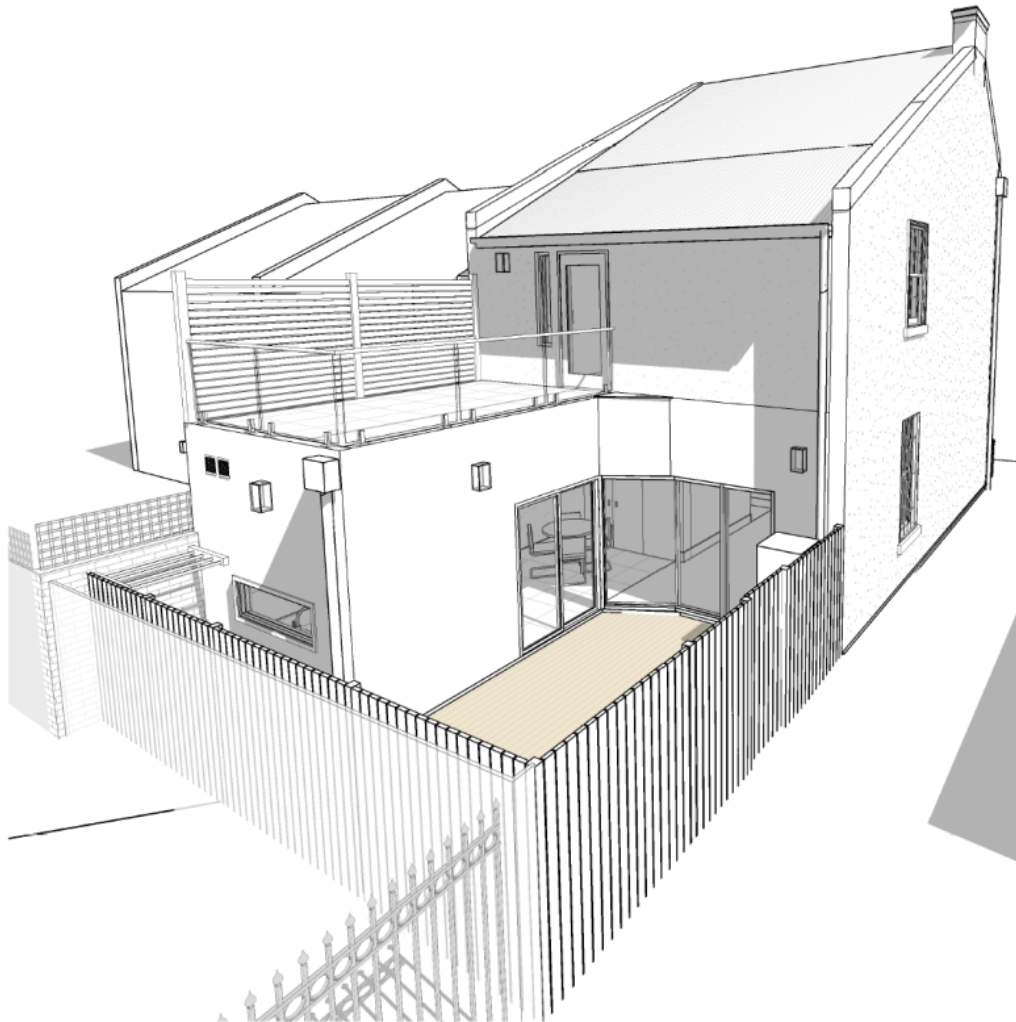
**Project** 19-026 **Drawing** TP403 **Rev.**



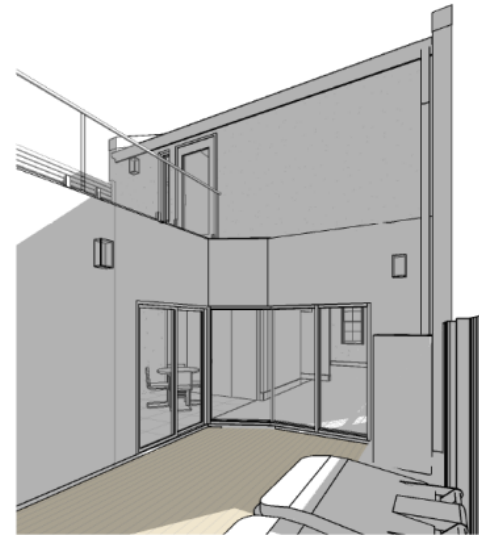


**Attachment 3 - PLN20/0022 - 16 Napier Street Fitzroy - Decision Plans (S57A Plans)**

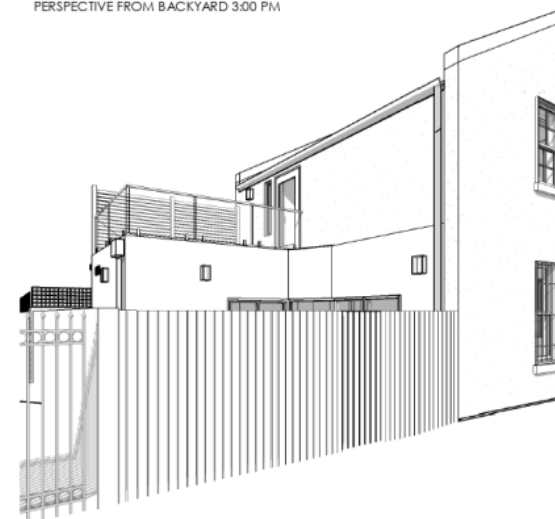
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**EXTERNAL VIEW 01**  
BACKYARD 12:00 PM



**EXTERNAL VIEW 02**  
PERSPECTIVE FROM BACKYARD 3:00 PM



**EXTERNAL VIEW 03**  
PERSPECTIVE FROM LT. VICTORIA ST 9:00 AM

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**Project**  
REFURBISHMENT AND EXTENSION  
WORKS

16 NAPIER STREET, FITZROY VIC 3065

**Client**  
AUSTRALIAN CATHOLIC UNIVERSITY

**Drawing**  
SCHEMATIC 3D VIEWS - EXTERNAL

<b>Design</b> PR	<b>Drawn</b> GOY	<b>Check</b> MT
<b>Date</b> AUG 2020	<b>Scale</b> A3	<b>Sheet</b> A3
<b>Project</b> 19-026	<b>Drawing</b> TP500	<b>Rev.</b>

**TOWN PLANNING**

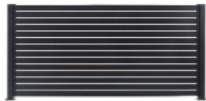
# Attachment 3 - PLN20/0022 - 16 Napier Street Fitzroy - Decision Plans (S57A Plans)



GLASS BALUSTRADE



WHITE FRAME WINDOWS & CLEAR GLASS



ALUMINIUM SCREEN



CEMENT SHEET- SHALE GREY



PALING FENCE 1900MM HIGH

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**Project**  
REFURBISHMENT AND EXTENSION  
WORKS

16 NAPIER STREET, FITZROY VIC 3065

**Client**  
AUSTRALIAN CATHOLIC UNIVERSITY

**Drawing**  
PROPOSED FINISHES

<b>Design</b> MT/PR	<b>Drawn</b> MT	<b>Check</b> MT
<b>Date</b> AUG 2020	<b>Scale</b>	<b>Sheet</b> A3
<b>Project</b> 19-026	<b>Drawing</b> TP501	<b>Rev.</b>

TOWN PLANNING

## Attachment 4 - PLN20/0022 - 16 Napier Street Fitzroy - Heritage Advised based on S57A Plans

### Goonetilleke, Nish

---

**From:** McIntosh, Diahn  
**Sent:** Tuesday, 8 September 2020 1:39 PM  
**To:** Goonetilleke, Nish  
**Subject:** Re: PLN20/0022 - 16 Napier Street Fitzroy

Dear Nish

**Front fence:**

Retaining the existing fence and ensuring that it is repaired appropriately to match original details is supported.

**Front landscaping:**

The heritage policy at cl. 22.02 seeks to:

- *conserve contributory landscape elements such as trees and paving (22.02-3)*
- *respect significant garden layouts (22.02-5.5)*

The subject property does not have any contributory trees or paving that is being removed as part of these works.

The subject property does not have a significant garden layout that is being removed.

The available front garden area is very small. For the last 10 years the front garden area has housed nothing more than a mixture of different types of potted plants.

Historically, it would not be considered unusual for a hedge to be planted in such a small, narrow garden in front of a heritage dwelling.

Lilly Pillies are often planted as an Australian alternative to traditional hedging such as Privet (now considered a noxious weed).

I therefore have no heritage concerns regarding the proposed front landscaping in front of the subject dwelling.

Don't hesitate to contact me if you require any further advice in regard to this referral.

Kind regards,

DIAHNN MCINTOSH  
Heritage Advisor

---

**From:** Goonetilleke, Nish <Nish.Goonetilleke@yarracity.vic.gov.au>  
**Sent:** Tuesday, 8 September 2020 10:34  
**To:** McIntosh, Diahn <Diahn.McIntosh@yarracity.vic.gov.au>  
**Subject:** PLN20/0022 - 16 Napier Street Fitzroy



## **Attachment 4 - PLN20/0022 - 16 Napier Street Fitzroy - Heritage Advised based on S57A Plans**

Good Morning Diahnn,

Hope you're well.

I had a question about the abovementioned application. I have already received heritage comments from you (see attached). The key recommendation was for the front fence to be retained. The applicant lodge amended plans, showing the retention of this front fence. We haven't pursued the reconstruction of the central door opening at the upper floor façade and front balcony as the applicant hasn't proposed to do this.

The application is going up to an IDAC and I wanted to know if the changes made by the applicant are acceptable; mainly to do with the retention of the front fence and the proposed Lilly Pilly within the front setback (previously grass). It has come up in a number of objections that the front landscaping should be "heritage appropriate".

I have attached the advertised plans (original plans) and S57A plans (amended plans).

In terms of the front fence, do I need to include further conditions relating to the repairs?

Thank you very much.

**Kind Regards,**  
**Nish Goonetilleke**  
Senior Statutory Planner  
STATUTORY PLANNING  
City of Yarra PO Box 168 Richmond 3121  
ABN 98 394 086 520

T (03) 9205 5005  
E [Nish.Goonetilleke@yarracity.vic.gov.au](mailto:Nish.Goonetilleke@yarracity.vic.gov.au)  
W [www.yarracity.vic.gov.au](http://www.yarracity.vic.gov.au)



Yarra City Council acknowledges the Wurundjeri as the Traditional Owners of this country, pays tribute to all Aboriginal and Torres Strait Islander people in Yarra, and gives respect to the Elders past and present.