

Attachment 1 - Application Drawings - Advertised Plans

M G
A O

CONTENTS

1.	SITE SURVEY
2.	SITE PHOTOS - EXISTING CONTEXT
3.	SITE PLAN EXISTING
4.	SITE PLAN PROPOSED
5.	PRECEDENT IMAGES
6.	EXISTING FLOORPLAN - DEMOLITION PLAN
7.	PROPOSED LEVEL 0 PLAN
8.	PROPOSED LEVEL 1-5 PLAN (TYPICAL)
9.	PROPOSED LEVEL 6 PLAN
10.	PROPOSED LEVEL 7 PLAN
11.	PROPOSED ROOF PLAN
12.	EAST ELEVATION - ROKEBY STREET
13.	NORTH ELEVATION - ROBERT STREET
14.	WEST ELEVATION
15.	SOUTH ELEVATION
16.	SECTION A
17.	SECTION B
18.	SHADOW DIAGRAMS
19.	SHADOW DIAGRAMS
20.	SHADOW DIAGRAMS
21.	SHADOW DIAGRAMS
22.	MATERIAL SCHEDULE
23.	3D PERSPECTIVE - ROKEBY STREET
24.	3D PERSPECTIVE - ROBERT STREET

PROJECT
MR SMITH - ROKEBY ST

TITLE
TOWN PLANNING SET

LOCATION
91 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3066

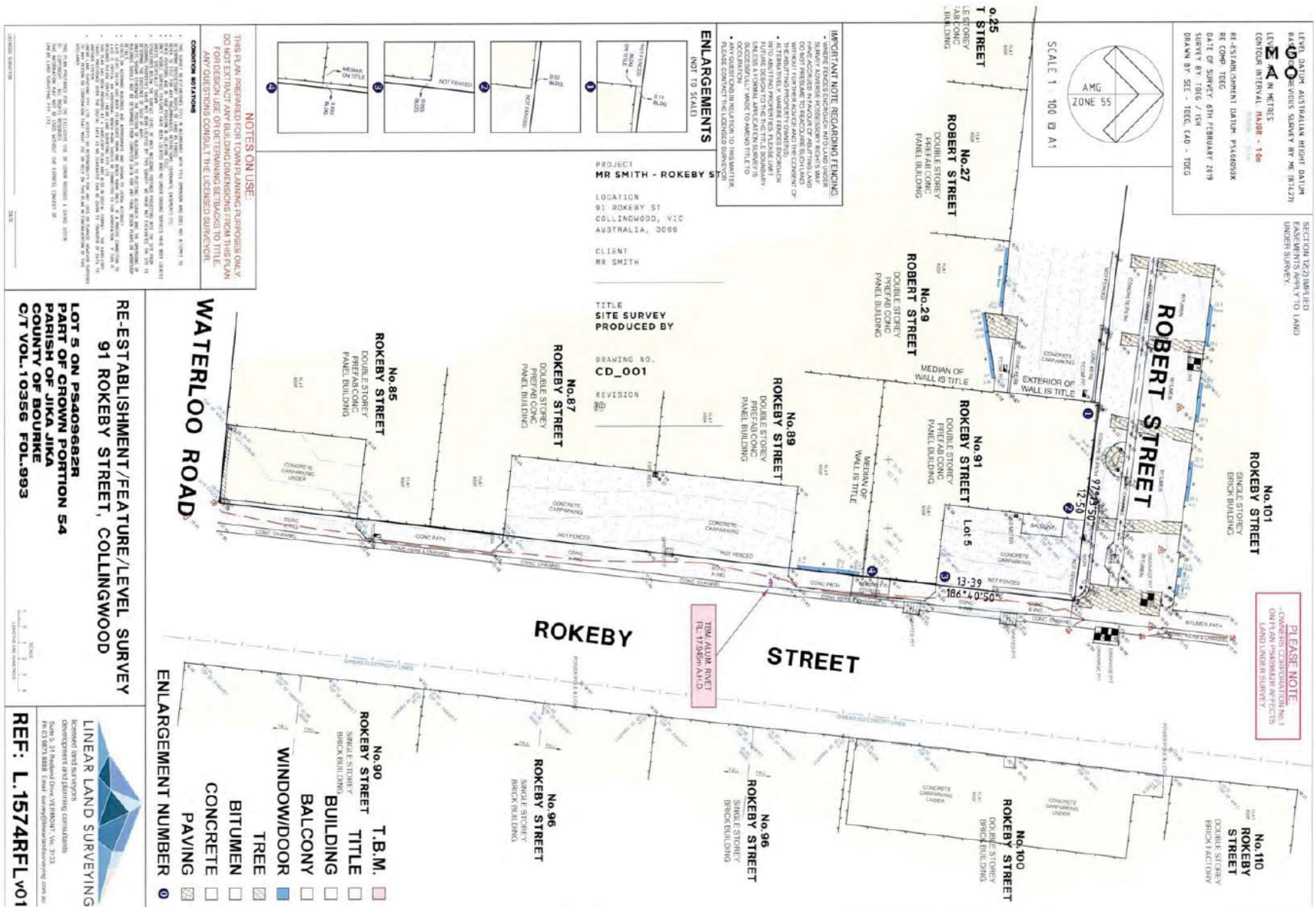
LOT 5 ON PS409682R
PART CROWN PORTION 54
PARISH OF JIKA JIKA
C/T VOL.10356 FOL.993

DATE
14 NOVEMBER 2019

JOB NO.
AD49/ ROKEBY ST /1810

MATT GOODMAN
ARCHITECTURE OFFICE

Attachment 1 - Application Drawings - Advertised Plans



Attachment 1 - Application Drawings - Advertised Plans



AERIAL IMAGE - SUBJECT SITE



ROKEBY ST VIEW - SOUTH 1



ROKEBY ST VIEW - SOUTH 2



ROBERT ST VIEW - EAST 1



ROBERT ST VIEW - EAST 2



SUBJECT SITE - CORNER ROKEBY ST & ROBERT ST

MG
AO

PROJECT
MR SMITH - ROKEBY ST

LOCATION
81 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3066

CLIENT
MR SMITH

TITLE
SITE PHOTOS
EXISTING CONTEXT

SCALE
NTS

DATE
14 NOVEMBER 2019

JOB NO.
A045/ ROKEBY ST /1810

DRAWN
MG

DRAWING NO.
TP_002

REVISION
00

THIS DRAWING IS NOT FOR CONSTRUCTION.
DO NOT SCALE OFF THIS DRAWING.
INFORMATION CONTAINED ON THIS DOCUMENT
IS THE PROPERTY OF MGAO. (P. 177, 178)



100 PARK ST
ST KILDA WEST, VIC
AUSTRALIA 3182
0035 9300 4330
MGAO.COM.AU

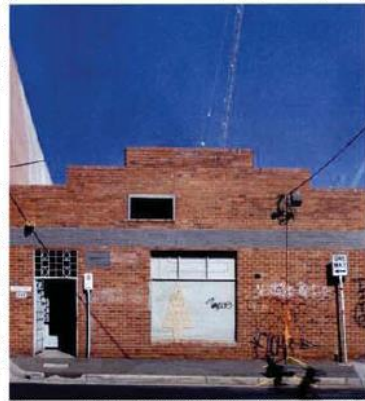
MATT GOODMAN
ARCHITECTURE OFFICE





Attachment 1 - Application Drawings - Advertised Plans

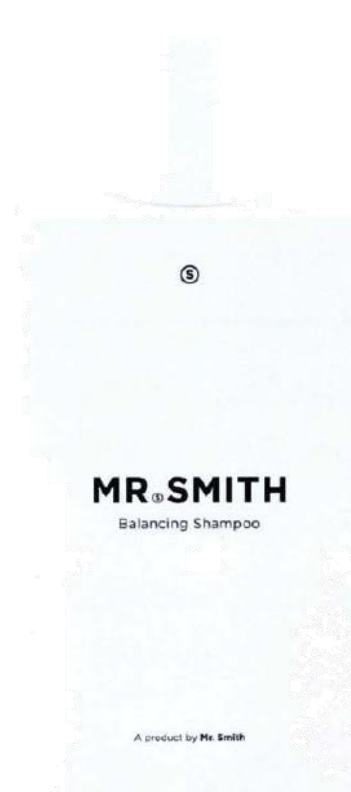
MG
AO



LOCAL RED BRICK INDUSTRIAL BUILDINGS



MINIMALIST DESIGN OF MR SMITH PACKAGING



PROJECT
MR SMITH - ROKEBY ST

LOCATION
51 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3088

CLIENT
MR SMITH

TITLE
PRECEDENT IMAGES

SCALE
N.T.S.

DATE
14 NOVEMBER 2019

JOB NO.
A049/ ROKEBY ST /1910

DRAWN
MG

DRAWING NO.
TP_005

REVISION
00

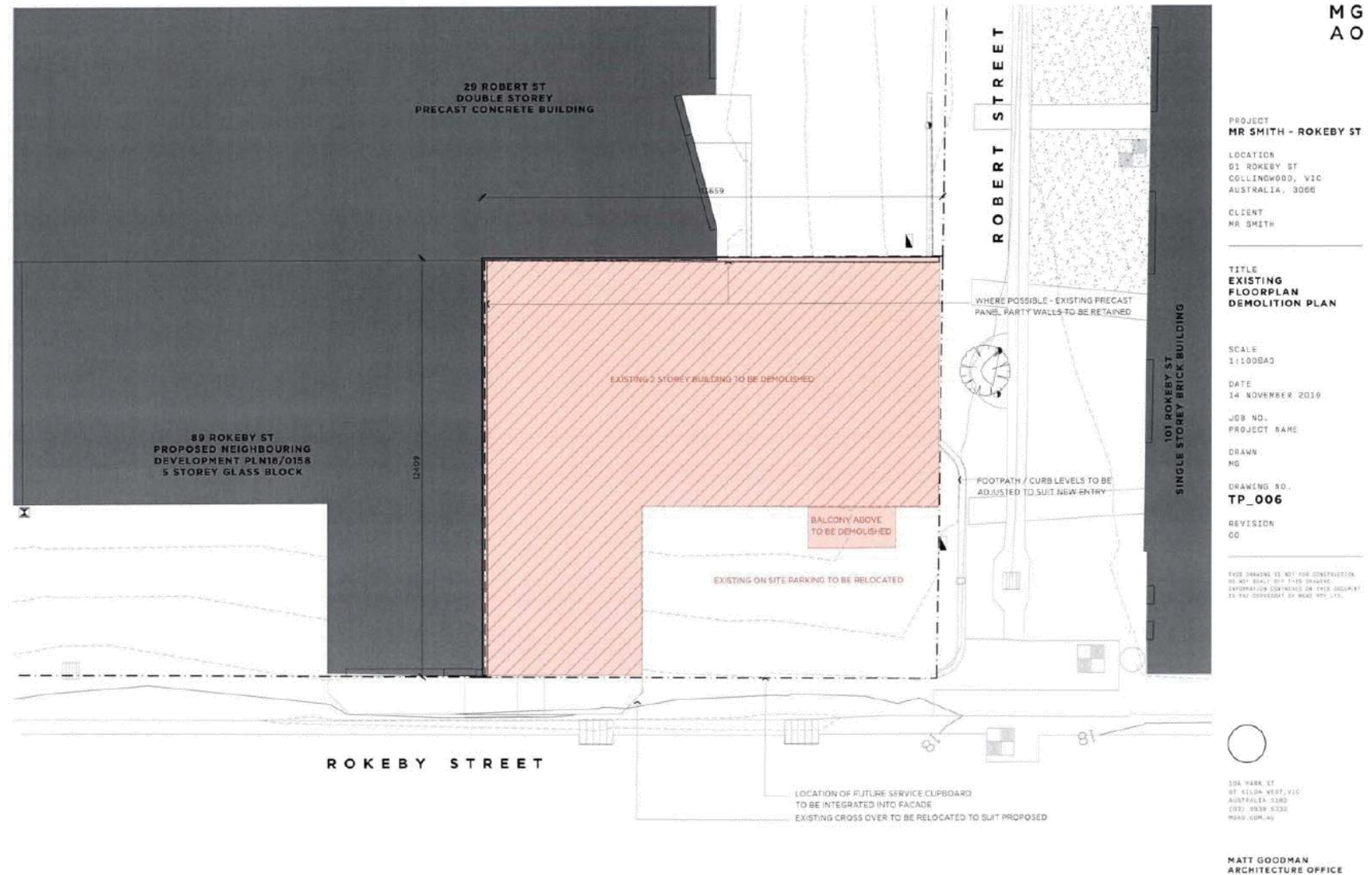
THIS DRAWING IS NOT FOR CONSTRUCTION.
DO NOT SCALE OR FABRICATE DRAWING.
EXPLANATION CONTAINED ON THIS DOCUMENT
IS THE COPYRIGHT OF MGAO PTY LTD.



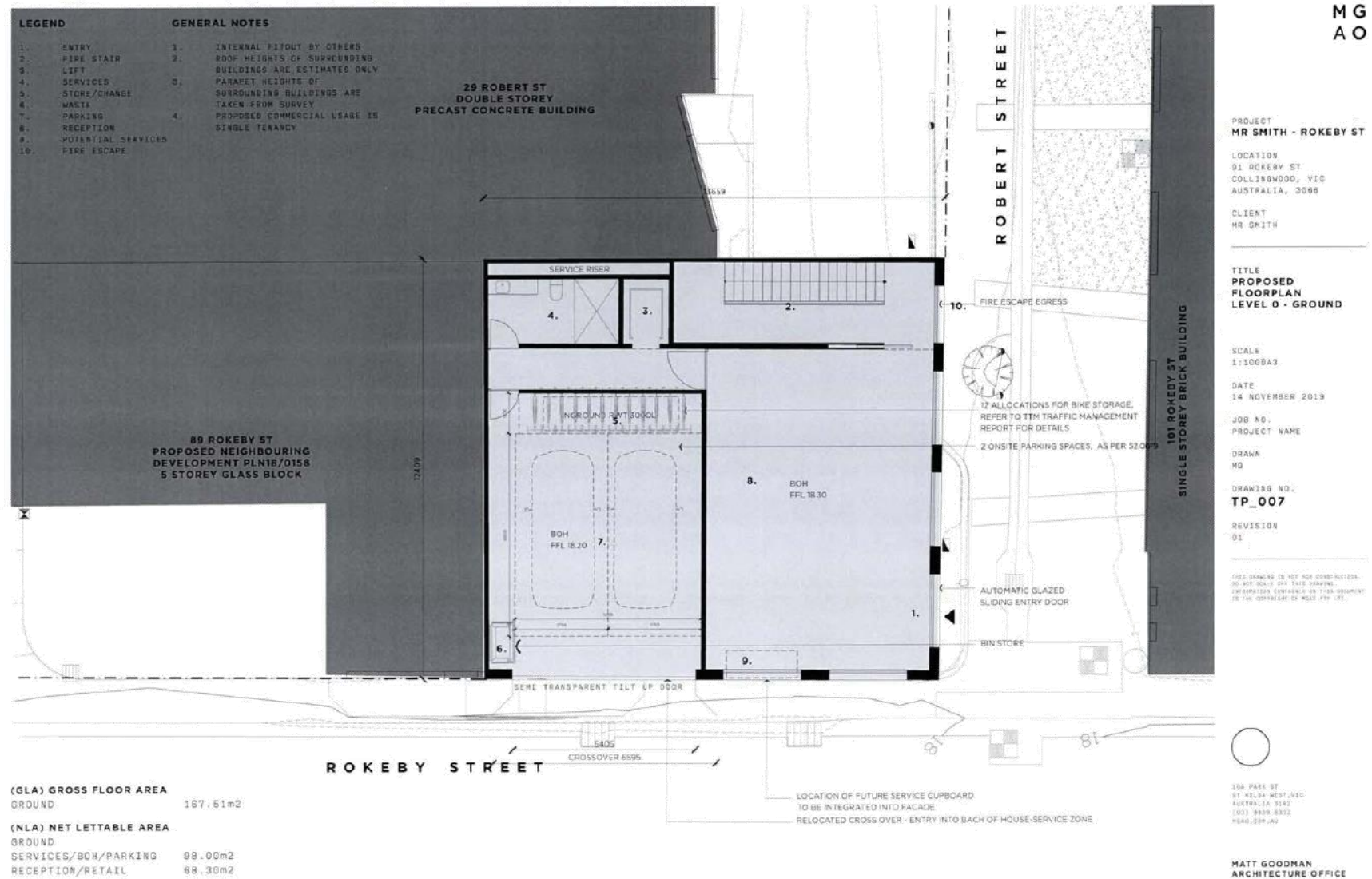
108 PARK ST
ST KILDA WEST, VIC
AUSTRALIA 3182
0393 0029 8332
MGAO.COM.AU

**MATT GOODMAN
ARCHITECTURE OFFICE**

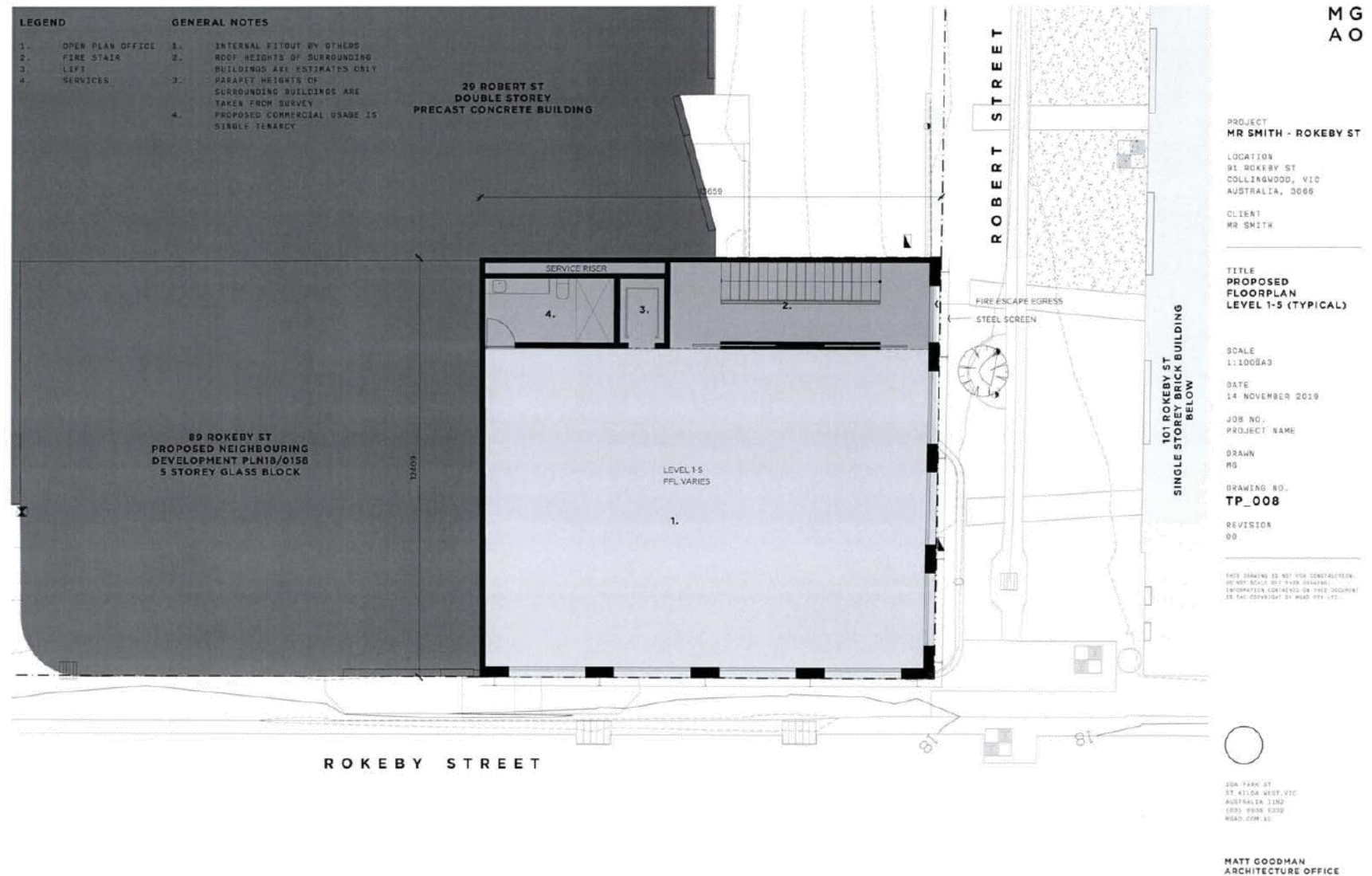
Attachment 1 - Application Drawings - Advertised Plans



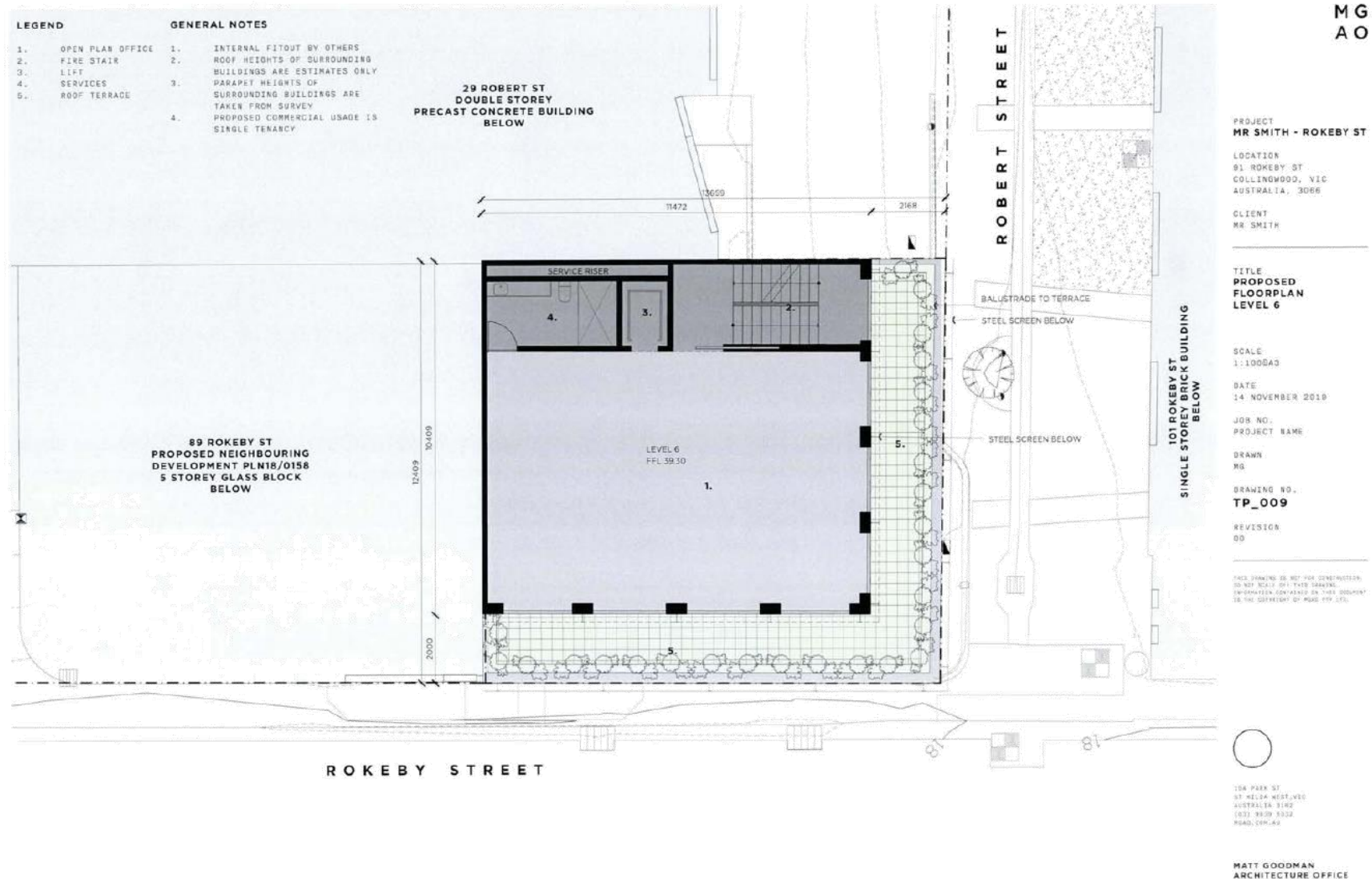
Attachment 1 - Application Drawings - Advertised Plans



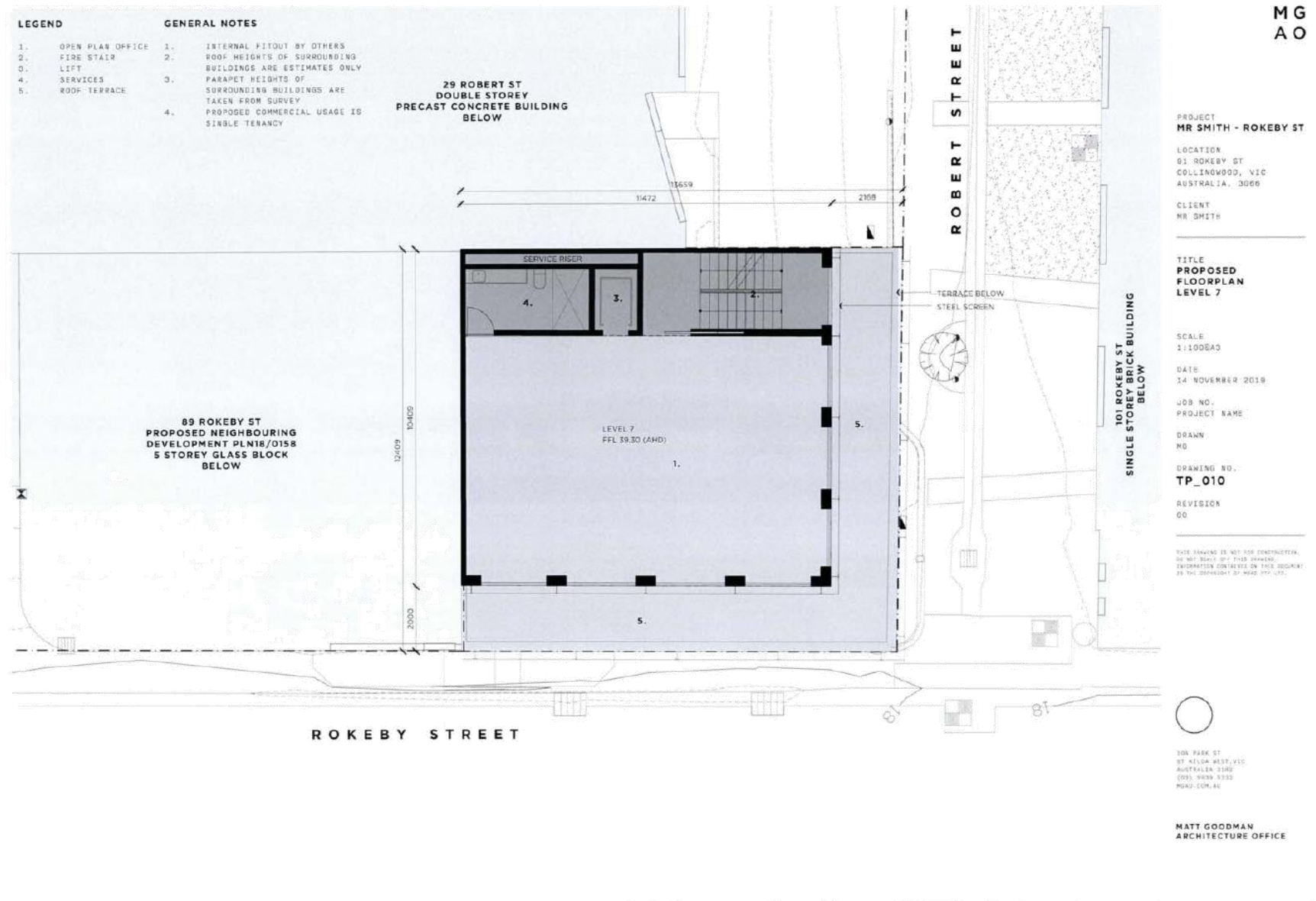
Attachment 1 - Application Drawings - Advertised Plans



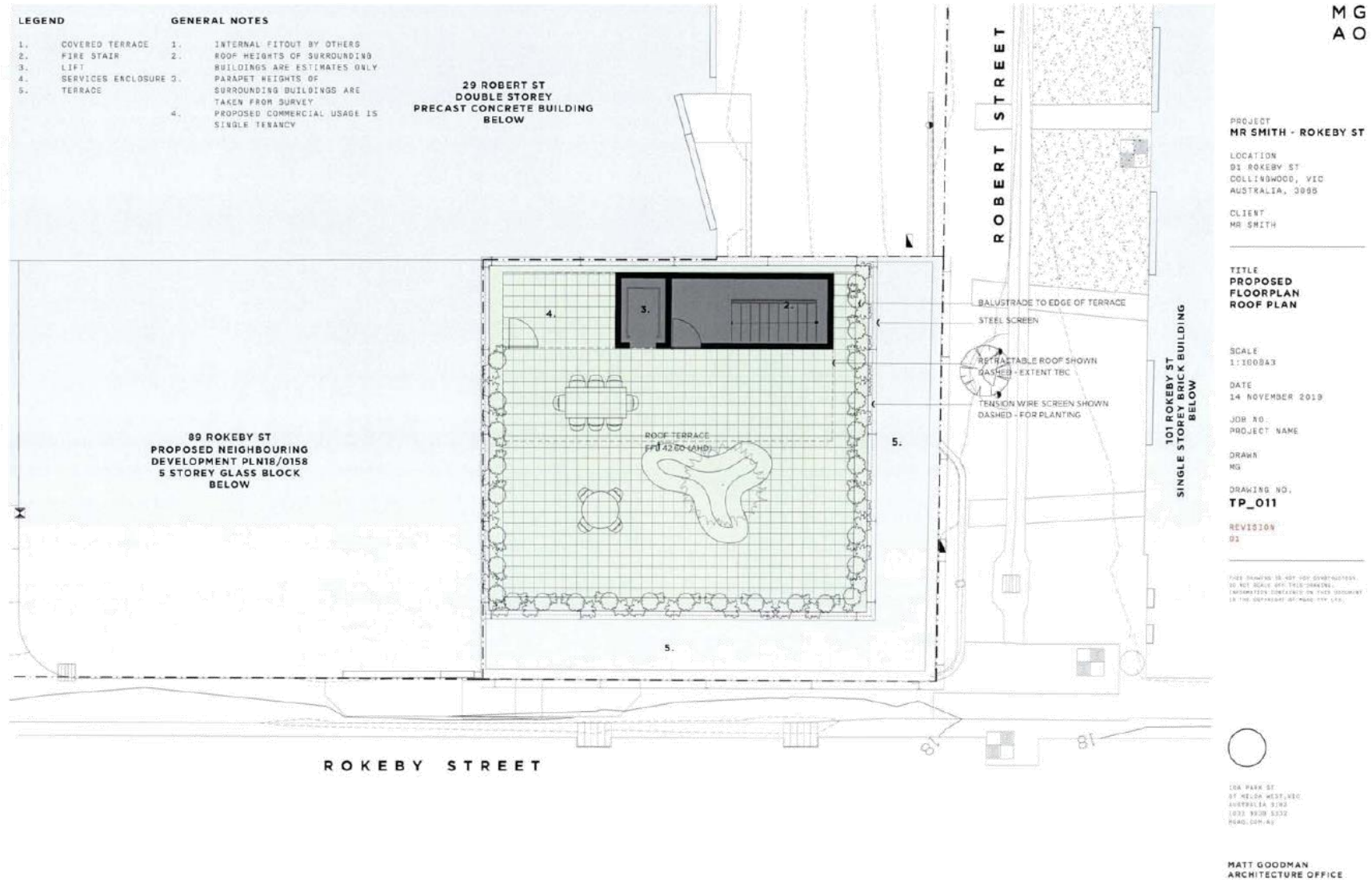
Attachment 1 - Application Drawings - Advertised Plans



Attachment 1 - Application Drawings - Advertised Plans



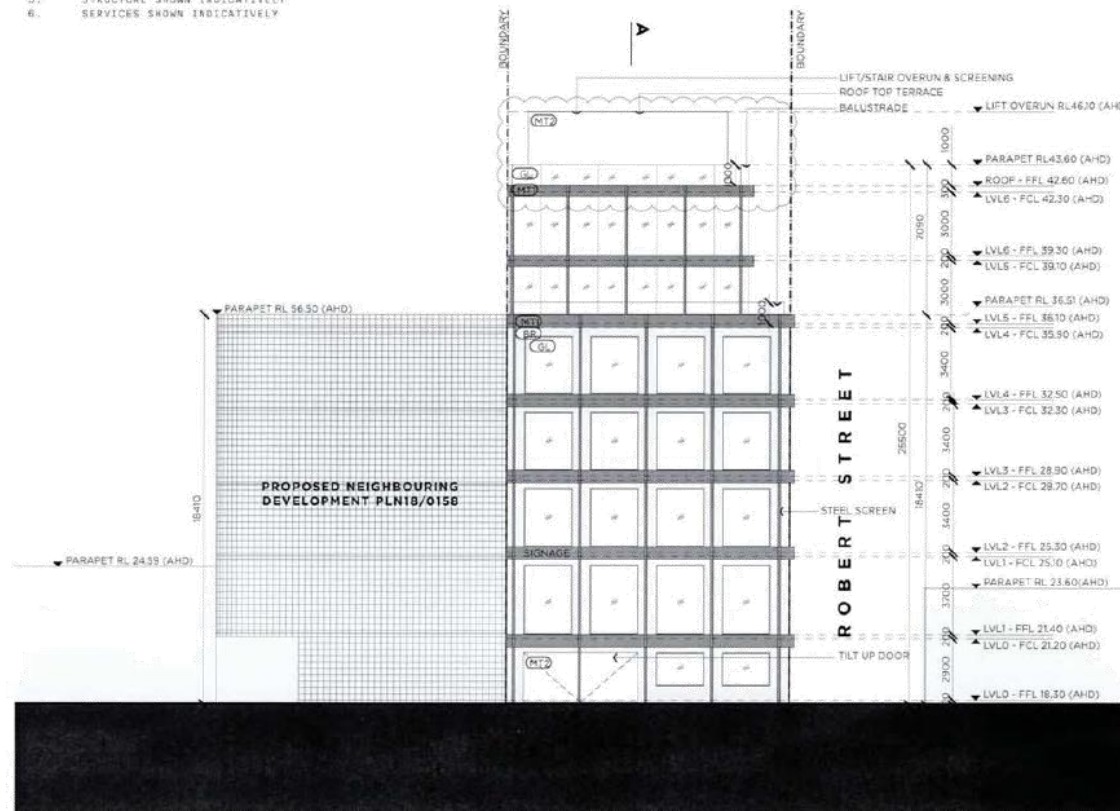
Attachment 1 - Application Drawings - Advertised Plans



Attachment 1 - Application Drawings - Advertised Plans

GENERAL NOTES

1. INTERNAL FITOUT BY OTHERS
2. ROOF HEIGHTS OF SURROUNDING BUILDINGS ARE ESTIMATES ONLY
3. PARAPET HEIGHTS OF SURROUNDING BUILDINGS ARE TAKEN FROM SURVEY
4. PROPOSED COMMERCIAL USAGE IS SINGLE ENANCY
5. STRUCTURE SHOWN INDICATIVELY
6. SERVICES SHOWN INDICATIVELY



MG
AO

PROJECT
MR SMITH - ROKEBY ST

LOCATION
81 ROKEBY ST
COLLINSWOOD, VIC
AUSTRALIA, 3088

CLIENT
MR SMITH

TITLE
ELEVATION EAST
ROKEBY STREET

SCALE
1:100 @ A3

DATE
14 NOVEMBER 2019

JOB NO.
PROJECT NAME

DRAWN
MG

DRAWING NO.
TP_012

REVISION
01

THIS DRAWING IS NOT FOR CONSTRUCTION.
DO NOT SCALE. SEE FIELD DIMENSIONS.
DIMENSIONS CONTAINED ON THIS DRAWING
OR THE CORRESPONDING PLAN SET ONLY.



108-748X ST
ST KILDA WEST, VIC
AUSTRALIA 3187
0903 8800 8730
ROAD.COM.AU

MATT GOODMAN
ARCHITECTURE OFFICE

Attachment 1 - Application Drawings - Advertised Plans

GENERAL NOTES

1. INTERNAL FITOUT BY OTHERS
2. ROOF HEIGHTS OF SURROUNDING BUILDINGS ARE ESTIMATES ONLY
3. PARAPET HEIGHTS OF SURROUNDING BUILDINGS ARE TAKEN FROM SURVEY
4. PROPOSED COMMERCIAL USAGE IS SINGLE ENANCY
5. STRUCTURE SHOWN INDICATIVELY
6. SERVICES SHOWN INDICATIVELY

MG
AO

PROJECT
MR SMITH - ROKEBY ST

LOCATION
01 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3068

CLIENT
MR SMITH

TITLE
ELEVATION NORTH
ROBERT STREET

SCALE
1:100000

DATE
14 NOVEMBER 2010

JOB NO.
PROJECT NAME

DRAWN
MG

DRAWING NO.
TP_013

REVISION
01

THIS DRAWING IS NOT FOR CONSTRUCTION.
DO NOT SCALE SIZE THIS DRAWING.
INFORMATION CONTAINED ON THIS DOCUMENT
IS THE PROPERTY OF MUAL NTR LTD.

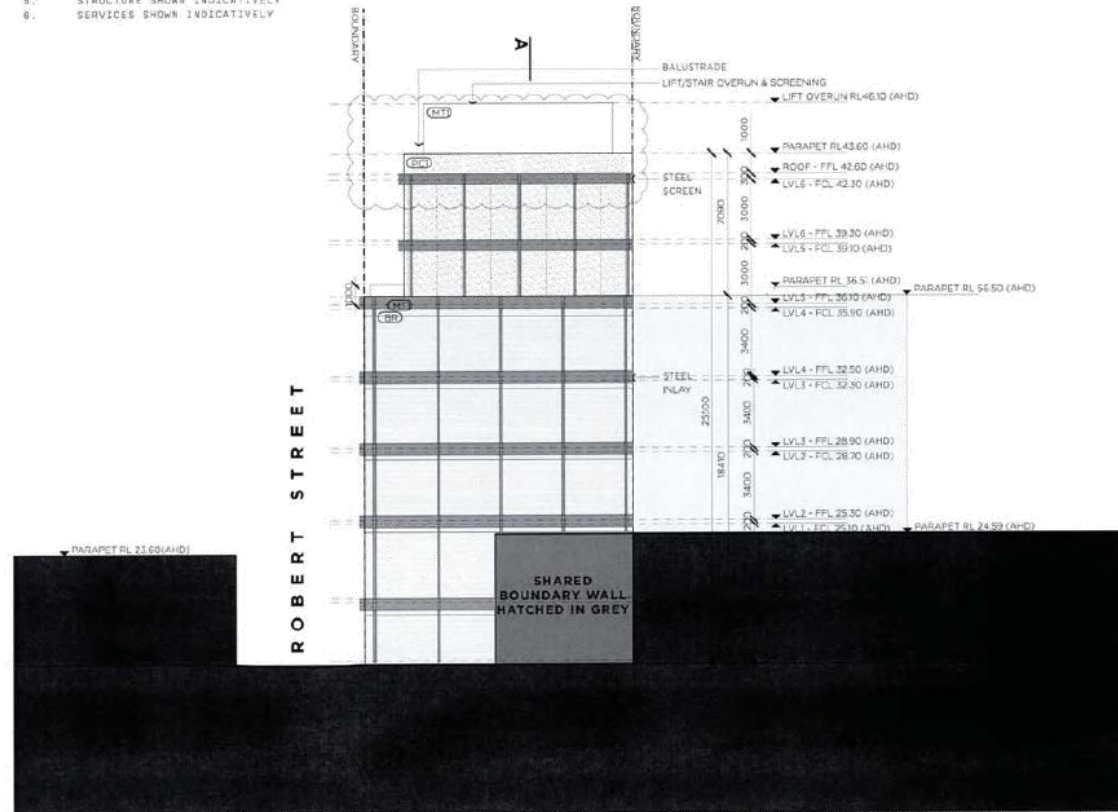
104 PARK ST
ST KILDA WEST VIC
AUSTRALIA 3182
(03) 9839 9332
MSAO.COM.AU

MATT GOODMAN
ARCHITECTURE OFFICE

Attachment 1 - Application Drawings - Advertised Plans

GENERAL NOTES

1. INTERNAL FITOUT BY OTHERS
2. ROOF HEIGHTS OF SURROUNDING BUILDINGS ARE ESTIMATES ONLY
3. PARAPET HEIGHTS OF SURROUNDING BUILDINGS ARE TAKEN FROM SURVEY
4. PROPOSED COMMERCIAL USAGE IS SINGLE ENACV
5. STRUCTURE SHOWN INDICATIVELY
6. SERVICES SHOWN INDICATIVELY



MG
AO

PROJECT
MR SMITH - ROKEBY ST

LOCATION
91 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3066

CLIENT
MR SMITH

TITLE
ELEVATION WEST

SCALE
1:1000

DATE
14 NOVEMBER 2019

JOB NO.
PROJECT NAME

DRAWN
MG

DRAWING NO.
TP_014

REVISION
01

THIS DRAWING IS NOT FOR CONSTRUCTION.
DO NOT SCALE OFF THIS DRAWING.
INFORMATION CONTAINED ON THIS DRAWING
IS THE PROPERTY OF MG AO PTY LTD.



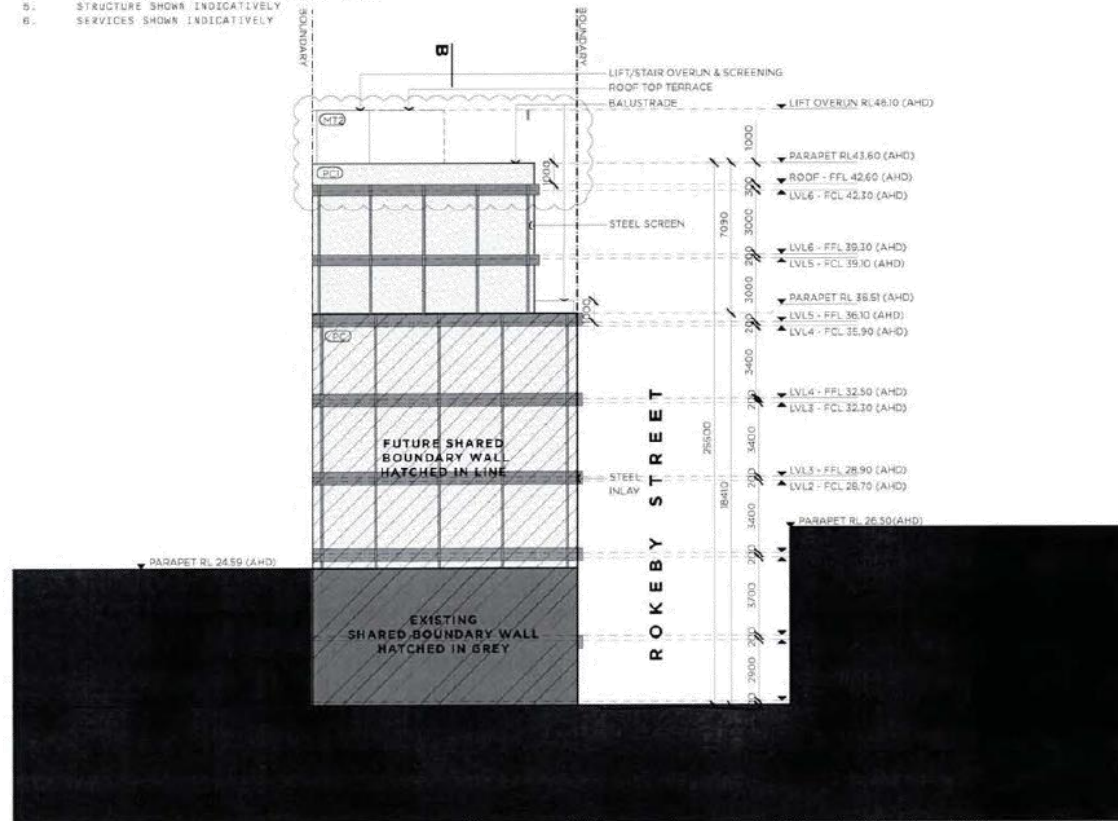
104 PARK ST
ST KILDA WEST, VIC
AUSTRALIA 3182
(03) 9958 8352
MG AO.COM.AU

MATT GOODMAN
ARCHITECTURE OFFICE

Attachment 1 - Application Drawings - Advertised Plans

GENERAL NOTES

1. INTERNAL FITOUT BY OTHERS
2. ROOF HEIGHTS OF SURROUNDING BUILDINGS ARE ESTIMATES ONLY
3. PARAPET HEIGHTS OF SURROUNDING BUILDINGS ARE TAKEN FROM SURVEY
4. PROPOSED COMMERCIAL USAGE IS SINGLE ENDY
5. STRUCTURE SHOWN INDICATIVELY
6. SERVICES SHOWN INDICATIVELY



MG
AO

PROJECT
MR SMITH - ROKEBY ST

LOCATION
91 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3066

CLIENT
MR SMITH

TITLE
ELEVATION SOUTH

SCALE
1:100SAS

DATE
14 NOVEMBER 2019

JOB NO:
PROJECT NAME

DRAWN
MG

DRAWING NO.
TP_015

REVISION
01

THIS DRAWING IS NOT FOR CONSTRUCTION.
DO NOT SCALE OR FAB DRAWING.
INFORMATION CONTAINED ON THIS DOCUMENT
IS THE COPYRIGHT OF MGAO Pty Ltd.



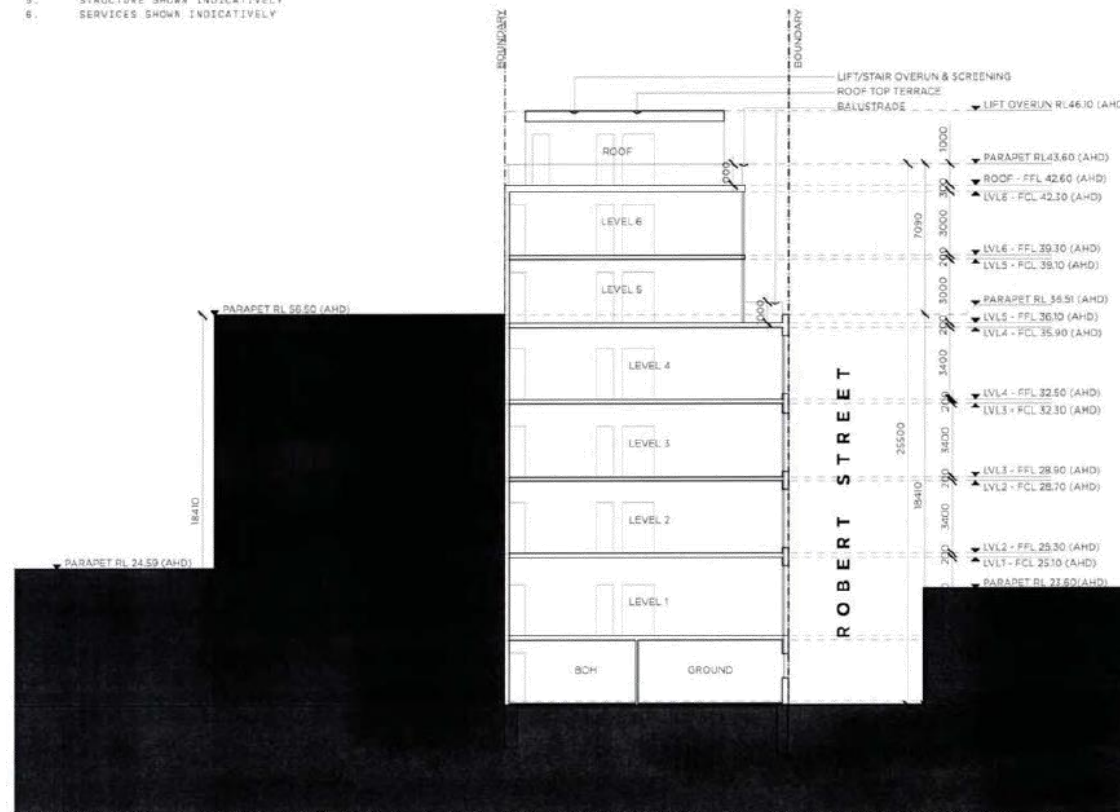
10A PARK ST
ST KILDA WEST, VIC
AUSTRALIA 3187
(03) 8538 5330
MGAO.COM.AU

MATT GOODMAN
ARCHITECTURE OFFICE

Attachment 1 - Application Drawings - Advertised Plans

GENERAL NOTES

1. INTERNAL FITOUT BY OTHERS
2. ROOF HEIGHTS OF SURROUNDING BUILDINGS ARE ESTIMATES ONLY
3. PARAPET HEIGHTS OF SURROUNDING BUILDINGS ARE TAKEN FROM SURVEY
4. PROPOSED COMMERCIAL USAGE IS SINGLE ENANCY
5. STRUCTURE SHOWN INDICATIVELY
6. SERVICES SHOWN INDICATIVELY



MG
AO

PROJECT
MR SMITH - ROKEBY ST

LOCATION
91 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3068

CLIENT
MR SMITH

TITLE
SECTION A

SCALE
1:100@A2

DATE
14 NOVEMBER 2018

JOB NO.
PROJECT NAME

DRAWN
MG

DRAWING NO.
TP_016

REVISION
00

THIS DRAWING IS NOT FOR CONSTRUCTION.
DO NOT SCALE OR COPY DIMENSIONS.
INFORMATION CONTAINED IN THIS DOCUMENT
IS THE COPYRIGHT OF MGAO PTY LTD.



10A PARK ST
ST KILDA VIC
AUSTRALIA 3181
0393 8039 8330
MGAO.COM.AU

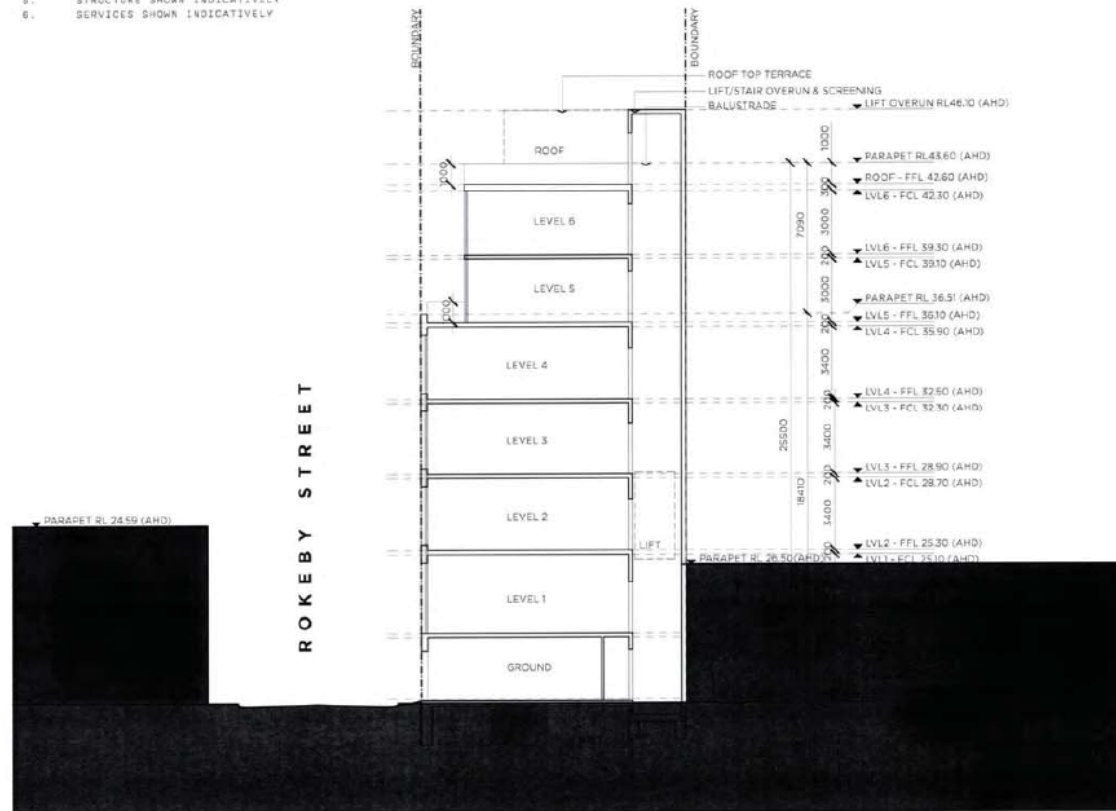
MATT GOODMAN
ARCHITECTURE OFFICE

Attachment 1 - Application Drawings - Advertised Plans

GENERAL NOTES

1. INTERNAL FITOUT BY OTHERS
2. ROOF HEIGHTS OF SURROUNDING BUILDINGS
ARE ESTIMATES ONLY
3. PARAPET HEIGHTS OF SURROUNDING BUILDINGS
ARE TAKEN FROM SURVEY
4. PROPOSED COMMERCIAL USAGE IS SINGLE ENANCY
5. STRUCTURE SHOWN INDICATIVELY
6. SERVICES SHOWN INDICATIVELY

ROKEY STREET

M G
A O

PROJECT
MR SMITH • ROKEBY ST

LOCATION
81 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3066

CLIENT
MR SMITH

TITLE
SECTION B

SCALE
1:1000A3

DATE
14 NOVEMBER 2019

JOB NO.
PROJECT NAME

DRAWN
MG

DRAWING NO.
TP_017

REVISION
00

THIS DRAWING IS NOT FOR CONSTRUCTION,
OR NOT SCALE OR THE DRAWING.
INFORMATION CONTAINED ON THIS DOCUMENT
IS THE PROPERTY OF H&M INC. LTD.

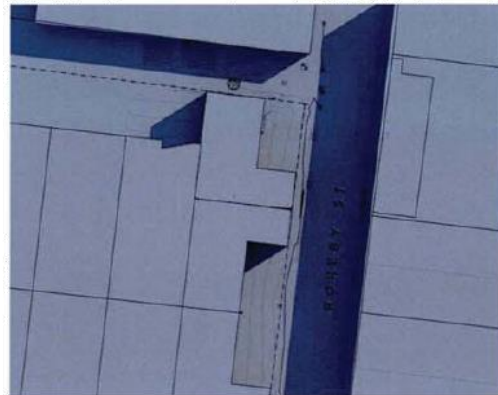


10A PARK ST
ST 4113A WEST,VIC
AUSTRIA 3182
(03) 9939 8382
MGAD.COM.AU

MATT GOODMAN
ARCHITECTURE OFFICE

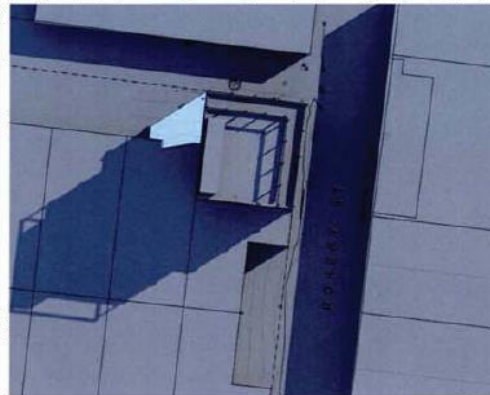
Attachment 1 - Application Drawings - Advertised Plans

MG
AO



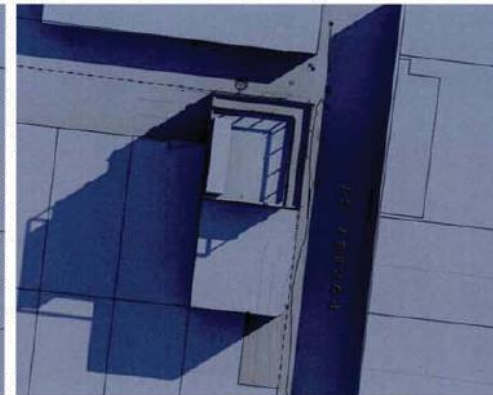
9AM 22 SEPTEMBER EXISTING

EXISTING SHADOWS



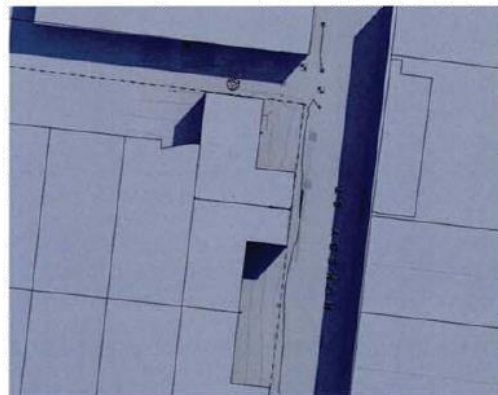
9AM 22 SEPTEMBER PROPOSED

PROPOSED SHADOWS
EXISTING SHADOWS



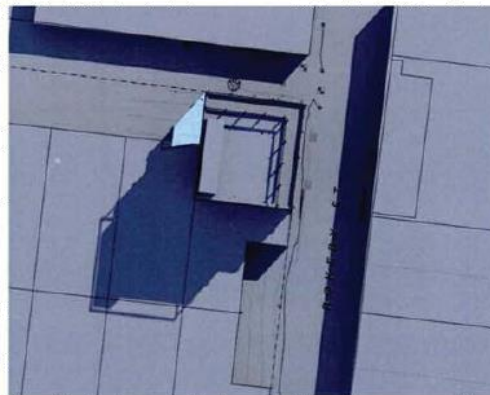
9AM 22 SEPTEMBER PROPOSED WITH
NEIGHBOURING DEVELOPMENT PLN18/0158

PROPOSED SHADOWS



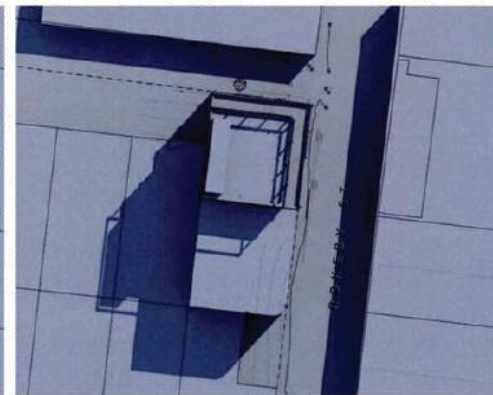
10AM 22 SEPTEMBER EXISTING

EXISTING SHADOWS



10AM 22 SEPTEMBER PROPOSED

PROPOSED SHADOWS
EXISTING SHADOWS



10AM 22 SEPTEMBER PROPOSED WITH
NEIGHBOURING DEVELOPMENT PLN18/0158

PROPOSED SHADOWS

PROJECT
MR SMITH - ROKEBY ST
LOCATION
91 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3066
CLIENT
MR SMITH

TITLE
SHADOW DIAGRAMS

SCALE
N.T.S.

DATE
14 NOVEMBER 2019

JOB NO.
PROJECT NAME

DRAWN
MG

DRAWING NO.
TP_018

REVISION
01

THIS DRAWING IS NOT FOR CONSTRUCTION.
DO NOT SCALE THIS DRAWING.
INFORMATION CONTAINED ON THIS DOCUMENT
IS THE PROPERTY OF MGAO Pty Ltd.

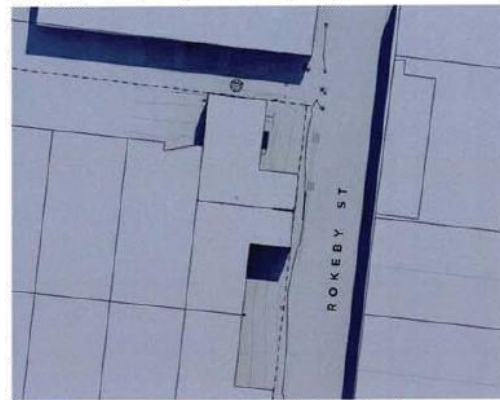


108 PARK ST
ST KILDA WEST VIC
AUSTRALIA 3188
(03) 9599 8000
MGAO.COM.AU

MATT GOODMAN
ARCHITECTURE OFFICE

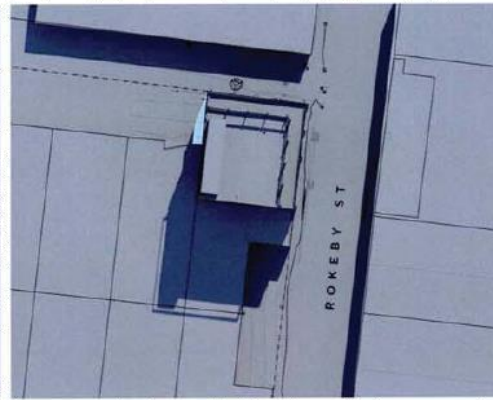
Attachment 1 - Application Drawings - Advertised Plans

MG
AO



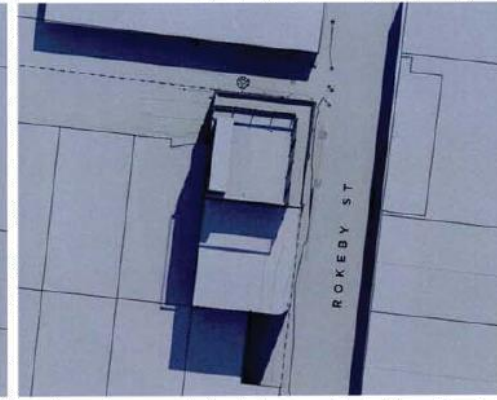
11AM 22 SEPTEMBER EXISTING

EXISTING SHADOWS



11AM 22 SEPTEMBER PROPOSED

PROPOSED SHADOWS
EXISTING SHADOWS



11AM 22 SEPTEMBER PROPOSED WITH
NEIGHBOURING DEVELOPMENT PLN18/0158

PROPOSED SHADOWS

PROJECT
MR SMITH - ROKEBY ST

LOCATION
91 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3066

CLIENT
MR SMITH

TITLE
SHADOW DIAGRAMS

SCALE
NTS

DATE
24 NOVEMBER 2019

JOB NO.
PROJECT NAME

DRAWN
MG

DRAWING NO.
TP_019

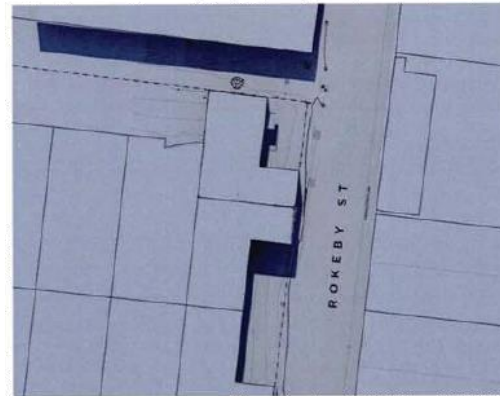
REVISION
01

THIS DRAWING IS NOT FOR CONSTRUCTION.
DO NOT SCALE OFF THIS DRAWING.
INFORMATION CONTAINED IN THIS DOCUMENT
IS THE PROPERTY OF MGA PTY LTD.



104 PARK ST
ST KILDA WEST, VIC
AUSTRALIA 3207
(03) 9559 6300
MGA@MGA.AU

MATT GOODMAN
ARCHITECTURE OFFICE



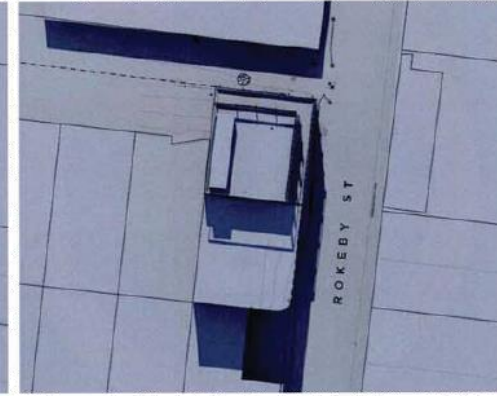
12PM 22 SEPTEMBER EXISTING

EXISTING SHADOWS



12PM 22 SEPTEMBER PROPOSED

PROPOSED SHADOWS
EXISTING SHADOWS

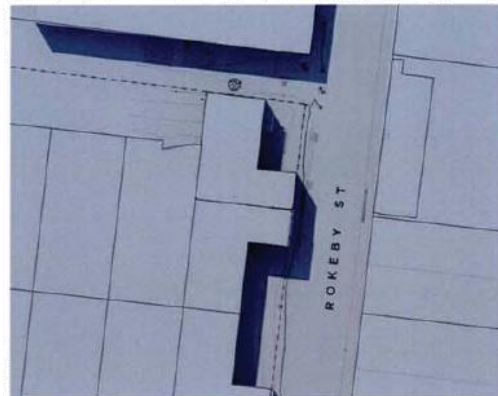


12PM 22 SEPTEMBER PROPOSED WITH
NEIGHBOURING DEVELOPMENT PLN18/0158

PROPOSED SHADOWS

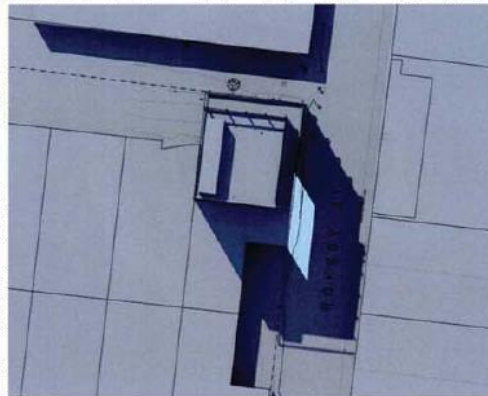
Attachment 1 - Application Drawings - Advertised Plans

MG
AO



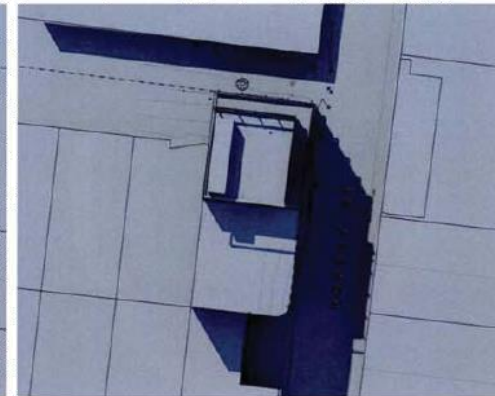
1PM 22 SEPTEMBER EXISTING

EXISTING SHADOWS



1PM 22 SEPTEMBER PROPOSED

PROPOSED SHADOWS
EXISTING SHADOWS



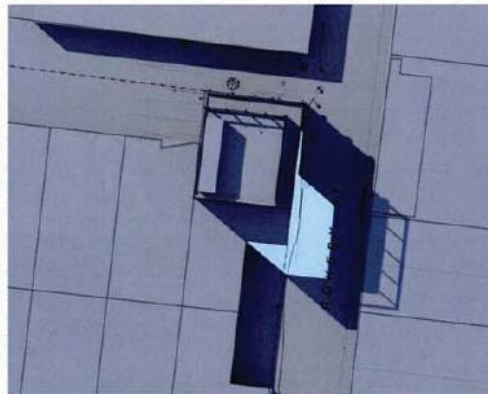
1PM 22 SEPTEMBER PROPOSED WITH
NEIGHBOURING DEVELOPMENT PLN18/0158

PROPOSED SHADOWS



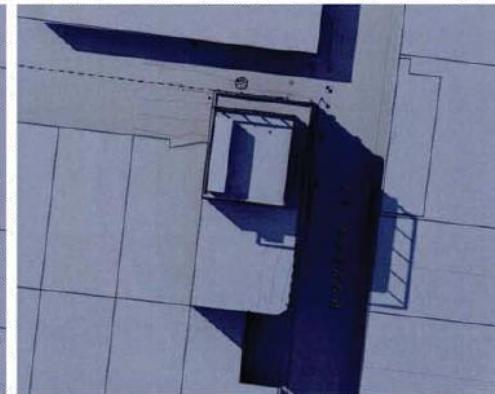
2PM 22 SEPTEMBER EXISTING

EXISTING SHADOWS



2PM 22 SEPTEMBER PROPOSED

PROPOSED SHADOWS
EXISTING SHADOWS



2PM 22 SEPTEMBER PROPOSED WITH
NEIGHBOURING DEVELOPMENT PLN18/0158

PROPOSED SHADOWS

PROJECT
MR SMITH - ROKEBY ST
LOCATION
91 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3066
CLIENT
MR SMITH

TITLE
SHADOW DIAGRAMS

SCALE
NTS

DATE
14 NOVEMBER 2019

JOB NO.
PROJECT NAME

DRAWN
MG

DRAWING NO.
TP_020

REVISION
01

THIS DRAWING IS NOT FOR CONSTRUCTION.
DO NOT SCALE OR COPY DRAWING.
INFORMATION CONTAINED ON THIS DOCUMENT
IS THE SOLE PROPERTY OF MGAO.COM.AU



10A PARK ST
ST ALBA VIC 3010
AUSTRALIA 3100
0393 9928 9328
MGAO.COM.AU

MATT GOODMAN
ARCHITECTURE OFFICE

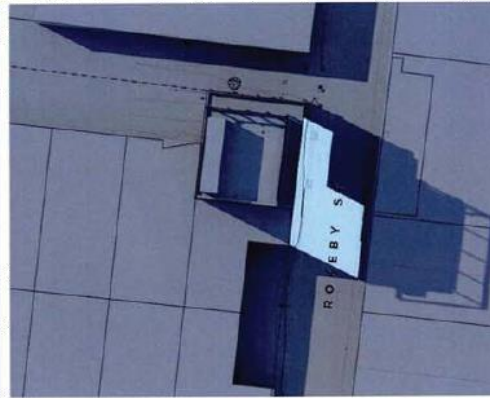
Attachment 1 - Application Drawings - Advertised Plans

MG
AO



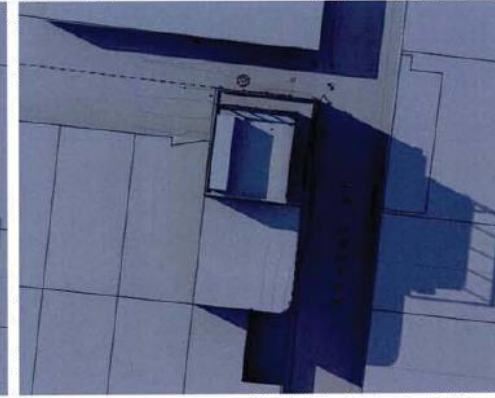
3PM 22 SEPTEMBER EXISTING

EXISTING SHADOWS



3PM 22 SEPTEMBER PROPOSED

PROPOSED SHADOWS
EXISTING SHADOWS



3PM 22 SEPTEMBER PROPOSED WITH
NEIGHBOURING DEVELOPMENT PLN18/0158

PROPOSED SHADOWS

PROJECT
MR SMITH - ROKEBY ST
LOCATION
81 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3066
CLIENT
MR SMITH

TITLE
SHADOW DIAGRAMS

SCALE
RTS

DATE
14 NOVEMBER 2019

JOB NO.
PROJECT NAME

DRAWN
MG

DRAWING NO.
TP_021

REVISION
01

THIS DRAWING IS NOT FOR CONSTRUCTION.
DO NOT SCALE OFF THIS DRAWING.
DIMENSIONS CONTAINED IN THIS DOCUMENT
OR THE COPYRIGHT OF ROAD & CO.



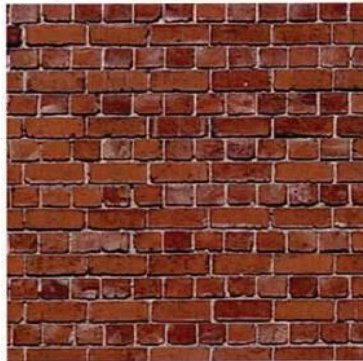
100 PARK ST
ST KILDA WEST, VIC
AUSTRALIA 3102
(03) 9928 8132
ROAD.CO.AU

MATT GOODMAN
ARCHITECTURE OFFICE

Attachment 1 - Application Drawings - Advertised Plans

MG
AO

BR



KRAUSE BRICKS 'DRAMPIAN BLUE + LIGHT BLEND' RED BRICK / BRICK SLIP FACADE - COLOUR TO REFERENCE LOCAL REDBRICK FACTORIES

MT1



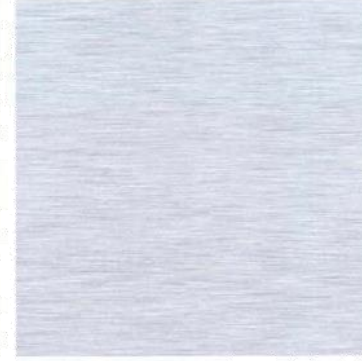
CORTEN METAL SCREEN

PC1



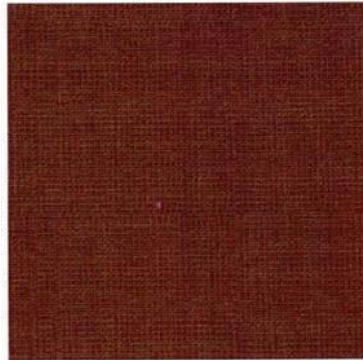
TEXTURED PRECAST CONCRETE WALLS
PATTERN TO MATCH MT1 SCREEN

AL



ALUMINIUM DOOR / WINDOW FRAMES.

FB



EXTERNAL SHADE SCREEN - RED FABRIC

GL



CLEAR GLAZING TO WINDOWS

LANDSCAPING



ROOF TOP TERRACE

PROJECT
MR SMITH - ROKEBY ST

LOCATION
01 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3066

CLIENT
MR SMITH

TITLE
MATERIAL SCHEDULE

SCALE
NTS

DATE
14 NOVEMBER 2019

JOB NO.
PROJECT NAME

DRAWN
MG

DRAWING NO.
TP_022

REVISION
00

THIS DRAWING IS NOT FOR CONSTRUCTION.
DO NOT SCALE UP / DOWN DRAWINGS.
EXPLANATION CONTAINED ON THIS DOCUMENT
IS THE PROPERTY OF MGAO PTY LTD.



108 RANK ST
ST KILDA WEST, VIC
AUSTRALIA 3189
(03) 9338 4330
MGAO.COM.AU

MATT GOODMAN
ARCHITECTURE OFFICE

Attachment 1 - Application Drawings - Advertised Plans



MG
AO

PROJECT
MR SMITH - ROKEBY ST

LOCATION
91 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3066

CLIENT
MR SMITH

TITLE
**3D PERSPECTIVE
ROKEBY ST
SCREENS OPEN**

SCALE
NTS

DATE
14 NOVEMBER 2019

JOB NO.
PROJECT NAME

DRAWN
MR

DRAWING NO.
TP_023A

REVISION
01

THIS DRAWING IS NOT FOR CONSTRUCTION.
DO NOT SCALE OR COPY DRAWING.
INFORMATION CONTAINED ON THIS DOCUMENT
IS THE PROPERTY OF ROAD 474 (P) LTD.



10A PARK ST
ST KILDA WEST, VIC
AUSTRALIA 3187
(03) 9638 4330
ROAD.COM.AU

MATT GOODMAN
ARCHITECTURE OFFICE

Attachment 1 - Application Drawings - Advertised Plans



MG
AO

PROJECT
MR SMITH - ROKEBY ST

LOCATION
81 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3066

CLIENT
MR SMITH

TITLE
**3D PERSPECTIVE
ROKEBY ST
SCREENS PARTIALLY
OPEN**

SCALE
N.T.S.

DATE
14 NOVEMBER 2019

JOB NO.
PROJECT NAME

DRAWN
MG

DRAWING NO.
TP_023B

REVISION
010

THIS DRAWING IS NOT FOR CONSTRUCTION.
DO NOT USE IT FOR ANY PURPOSE.
DISSEMINATION OF THIS OR ANY PART OF IT
IS THE COPYRIGHT OF MGAO PTY LTD.



104 PARK ST
ST KILDA WEST VIC
AUSTRALIA 3182
(08) 9890 8392
MGAO.COM.AU

**MATT GOODMAN
ARCHITECTURE OFFICE**

Attachment 1 - Application Drawings - Advertised Plans



MG
AO

PROJECT
MR SMITH - ROKEBY ST

LOCATION
01 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3088

CLIENT
MR SMITH

TITLE
**3D PERSPECTIVE
ROKEBY ST
SCREENS CLOSED**

SCALE
NTS

DATE
14 NOVEMBER 2019

JOB NO.
PROJECT NAME

DRAWN
MG

DRAWING NO.
TP_023C

REVISION
00

THIS DRAWING IS NOT FOR CONSTRUCTION;
DO NOT SCALE OFF THIS DRAWING;
INFORMATION CONTAINED ON THIS DOCUMENT
IS THE COPYRIGHT OF MGAO Pty Ltd.



108A PARK ST
ST 42104 WEST, VIC
AUSTRALIA 3102
(03) 9038 5330
MGAO.COM.AU

**MATT GOODMAN
ARCHITECTURE OFFICE**

Attachment 1 - Application Drawings - Advertised Plans



Attachment 1 - Application Drawings - Advertised Plans

MG
AO



PROJECT
MR SMITH - ROKEBY ST

LOCATION
91 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3000

CLIENT
MR SMITH

TITLE
**3D PERSPECTIVE
ROBERT STREET
SCREENS CLOSED**

SCALE
NTS

DATE
14 NOVEMBER 2019

JOB NO.
PROJECT NAME

DRAWN
MG

DRAWING NO.
TP_024B

REVISION
00

THIS DRAWING IS NOT FOR CONSTRUCTION.
DO NOT SCALE OR COPY THIS DRAWING.
INFORMATION CONTAINED ON THIS DOCUMENT
IS THE PROPERTY OF MG AO LTD.

104 PASE ST
ST KILDA WEST VIC
AUSTRALIA 3102
(03) 9339 5333
MG AO LTD

MATT GOODMAN
ARCHITECTURE OFFICE

Attachment 1 - Application Drawings - Advertised Plans

MG
AO



PROJECT
MR SMITH - ROKEBY ST

LOCATION
81 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3068

CLIENT
MR SMITH

TITLE
**3D PERSPECTIVE
ROOF TERRACE**

SCALE
N.T.S.

DATE
14 NOVEMBER 2019

JOB NO.
PROJECT NAME

DRAWN
MG

DRAWING NO.
TP_025

REVISION
00

EVER TAKEN TO BE NOT FOR CONSTRUCTION.
DO NOT SCALE OFF THIS DRAWING.
EXPLANATIONS CONTAINED IN THIS DOCUMENT
DO NOT CONSTITUTE AN OFFER OF FINANCIAL SERVICES.



201 PARK ST
ST KILDA WEST, VIC
AUSTRALIA 3182
(03) 9918 8332
MGAO.COM.AU

**MATT GOODMAN
ARCHITECTURE OFFICE**

Attachment 2 - "SKETCH Plans" Referenced

MG
AO

CONTENTS

1.	SITE SURVEY
2.	SITE PHOTOS - EXISTING CONTEXT
3.	SITE PLAN EXISTING
4.	SITE PLAN PROPOSED
5.	PRECEDENT IMAGES
6.	EXISTING FLOORPLAN - DEMOLITION PLAN
7.	PROPOSED LEVEL 0 PLAN
8.	PROPOSED LEVEL 1-4 PLAN (TYPICAL)
9.	PROPOSED LEVEL 5 PLAN
10.	PROPOSED LEVEL 6 PLAN
11.	PROPOSED ROOF PLAN
12.	EAST ELEVATION - ROKEBY STREET
13.	NORTH ELEVATION - ROBERT STREET
14.	WEST ELEVATION
15.	SOUTH ELEVATION
16.	SECTION A
17.	SECTION B
18.	SHADOW DIAGRAMS
19.	SHADOW DIAGRAMS
20.	SHADOW DIAGRAMS
21.	SHADOW DIAGRAMS
22.	MATERIAL SCHEDULE
23.	3D PERSPECTIVE - ROKEBY STREET
24.	3D PERSPECTIVE - ROBERT STREET

PROJECT
MR SMITH - ROKEBY ST

TITLE
**TOWN PLANNING SET
REVISION 2**

LOCATION
91 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3066

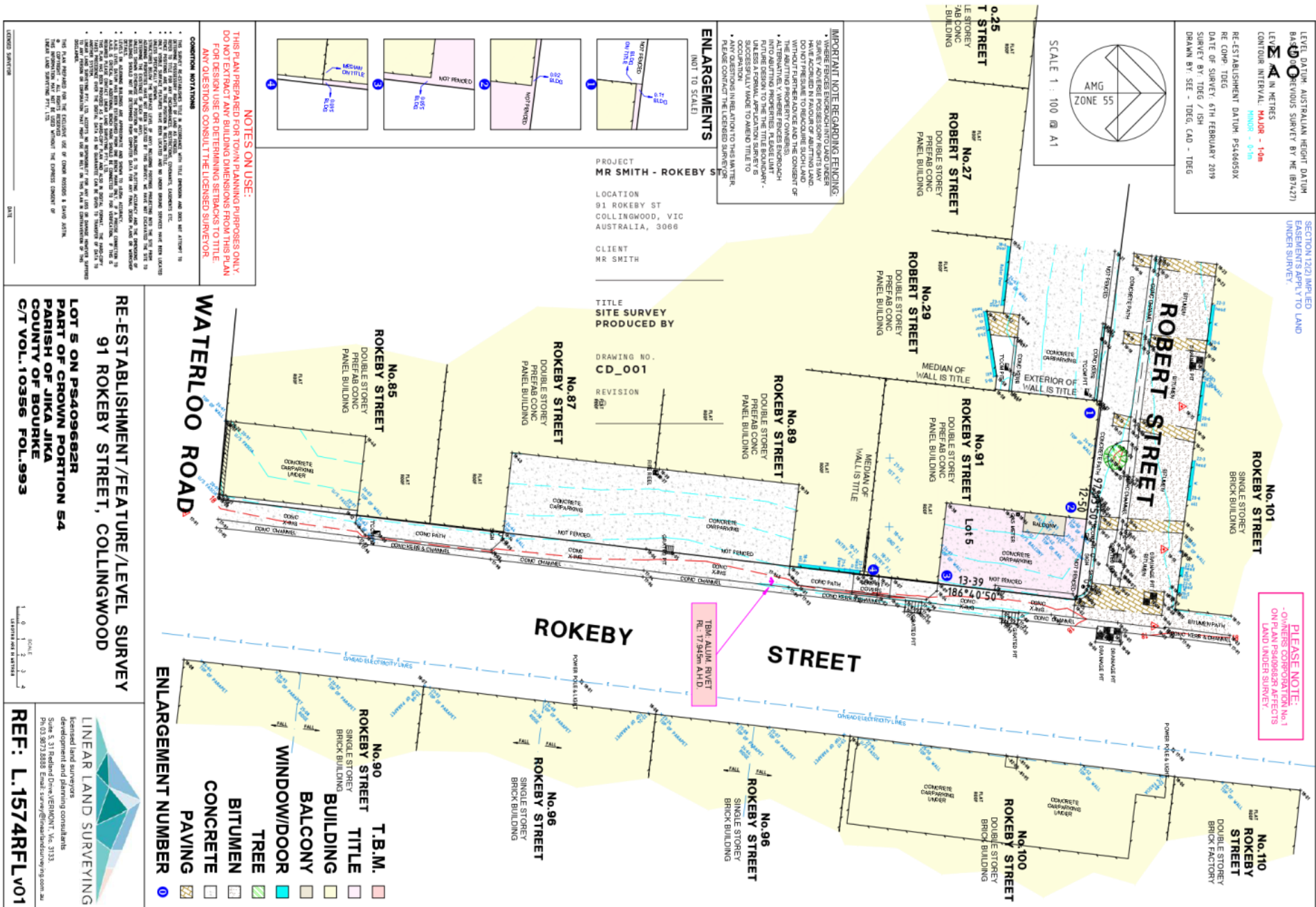
LOT 5 ON PS409682R
PART CROWN PORTION 54
PARISH OF JIKA JIKA
C/T VOL.10356 FOL.993

DATE
10 JUNE 2020

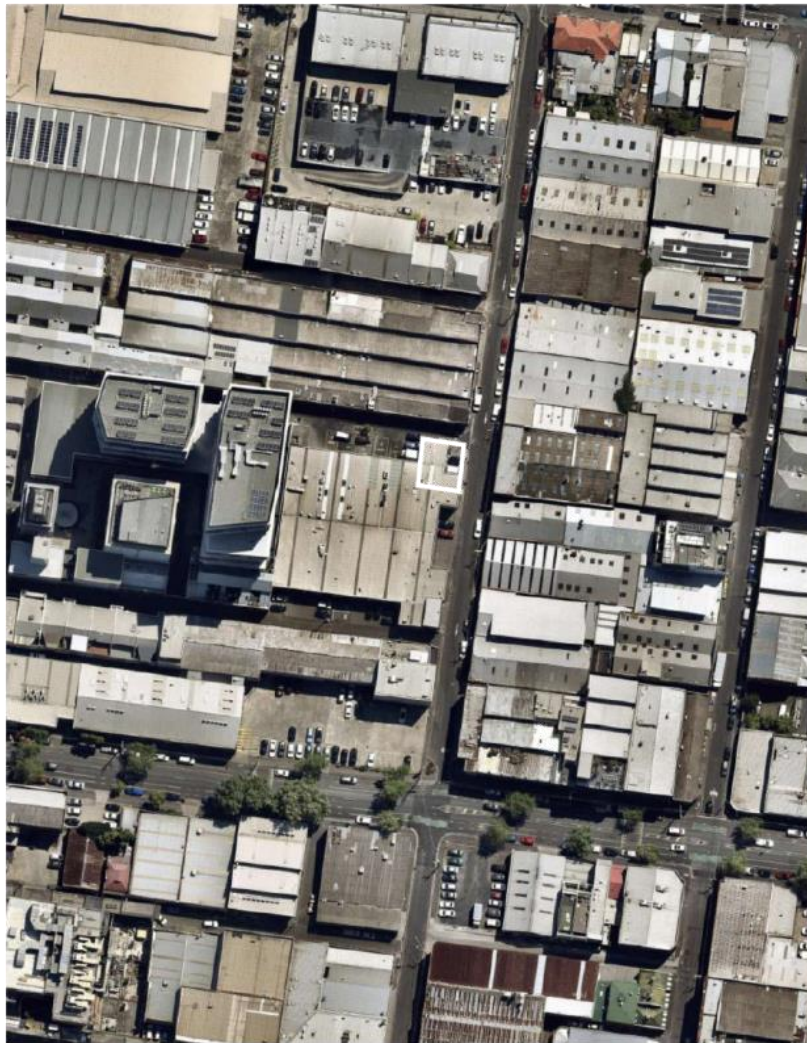
JOB NO.
A045/ ROKEBY ST /1810

**MATT GOODMAN
ARCHITECTURE OFFICE**

Attachment 2 - "SKETCH Plans" Referenced



Attachment 2 - "SKETCH Plans" Referenced



AERIAL IMAGE - SUBJECT SITE



ROKEBY ST VIEW - SOUTH 1



ROKEBY ST VIEW - SOUTH 2



ROBERT ST VIEW - EAST 1



ROBERT ST VIEW - EAST 2



SUBJECT SITE - CORNER ROKEBY ST & ROBERT ST

MG
AO

PROJECT
MR SMITH - ROKEBY ST

LOCATION
91 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3068

CLIENT
MR SMITH

TITLE
**SITE PHOTOS
EXISTING CONTEXT**

SCALE
NTS

DATE
10 JUNE 2020

JOB NO.
A045/ ROKEBY ST /1810

DRAWN
MG

DRAWING NO.
TP_002

REVISION
00

THIS DRAWING IS NOT FOR CONSTRUCTION.
DO NOT SCALE OFF THIS DRAWING.
INFORMATION CONTAINED ON THIS DOCUMENT
IS THE COPYRIGHT OF MGAD PTY LTD.



50A PARK ST
ST KILDA WEST, VIC
AUSTRALIA 3182
(03) 9839 5332
MGAD.COM.AU

**MATT GOODMAN
ARCHITECTURE OFFICE**

Attachment 2 - "SKETCH Plans" Referenced

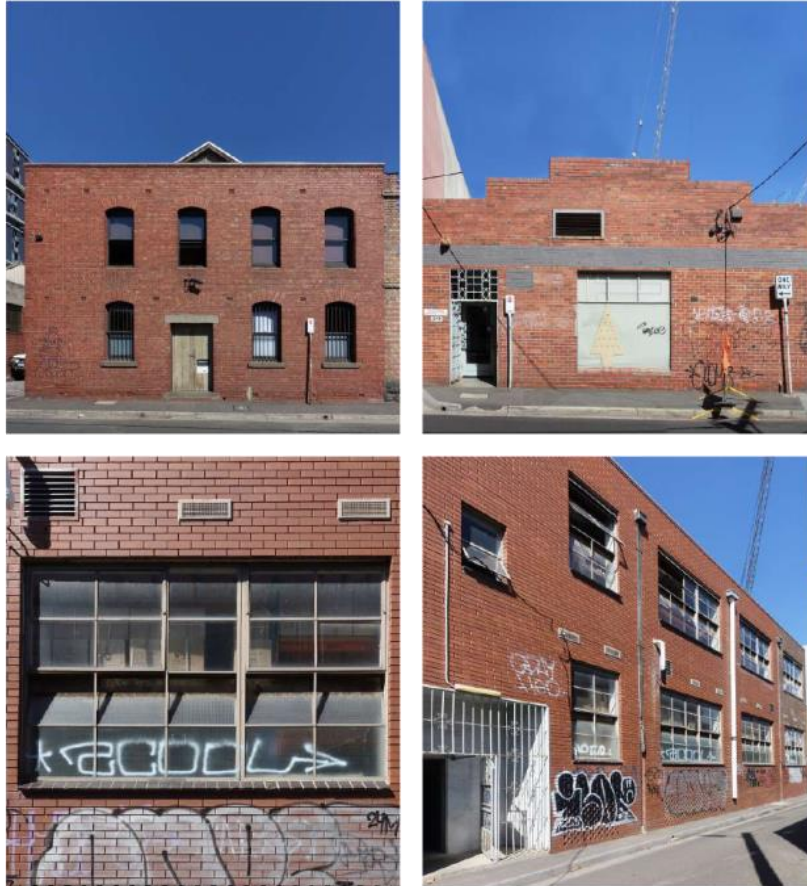


Attachment 2 - "SKETCH Plans" Referenced



Attachment 2 - "SKETCH Plans" Referenced

MG
AO



LOCAL RED BRICK INDUSTRIAL BUILDINGS



MINIMALIST DESIGN OF MR SMITH PACKAGING

PROJECT
MR SMITH - ROKEBY ST

LOCATION
91 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3066

CLIENT
MR SMITH

TITLE
PRECEDENT IMAGES

SCALE
NTS

DATE
10 JUNE 2020

JOB NO.
A045/ ROKEBY ST /1810

DRAWN
MG

DRAWING NO.
TP_005

REVISION
00

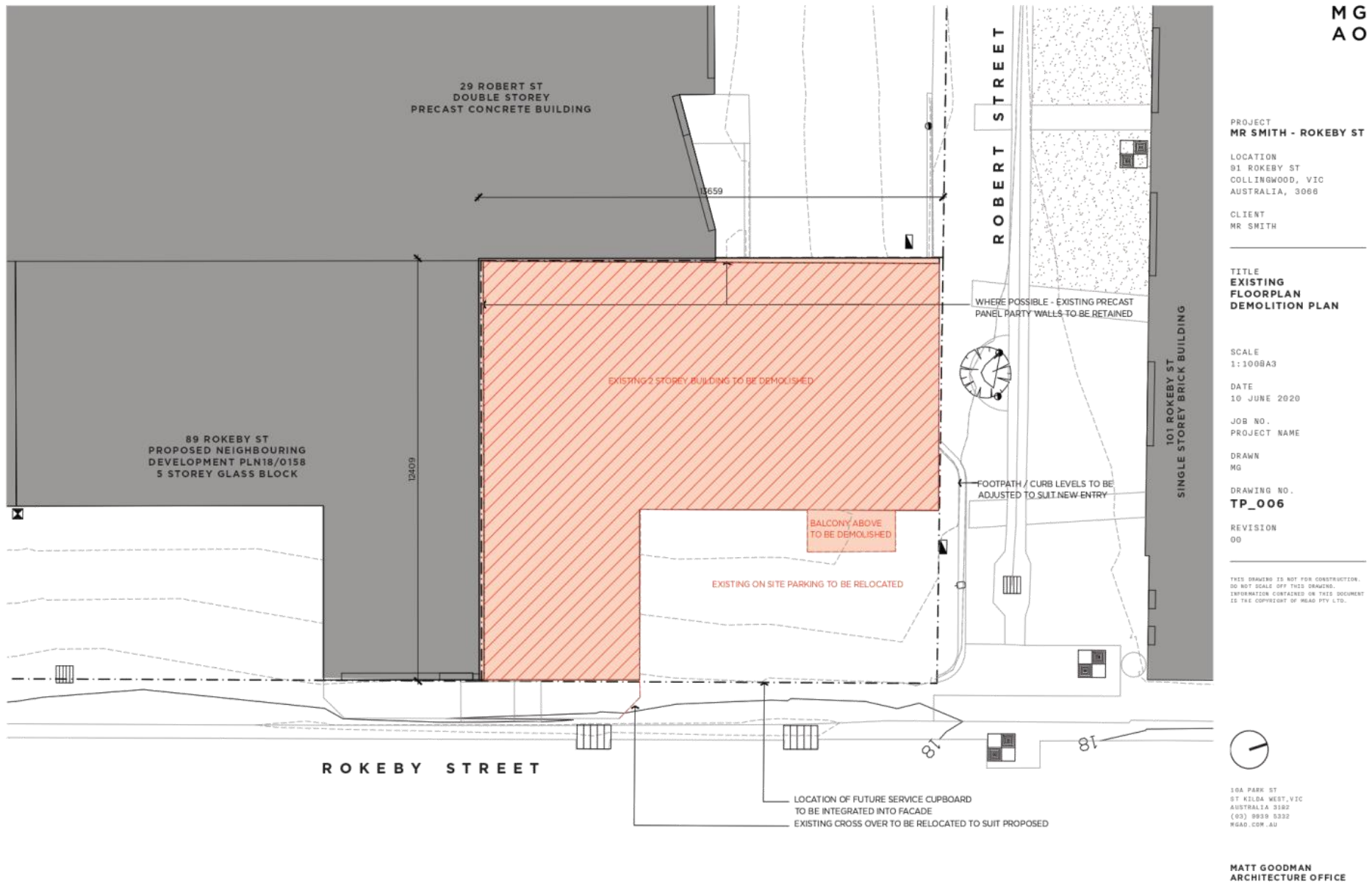
THIS DRAWING IS NOT FOR CONSTRUCTION.
DO NOT SCALE OFF THIS DRAWING.
INFORMATION CONTAINED ON THIS DOCUMENT
IS THE COPYRIGHT OF MGAO PTY LTD.



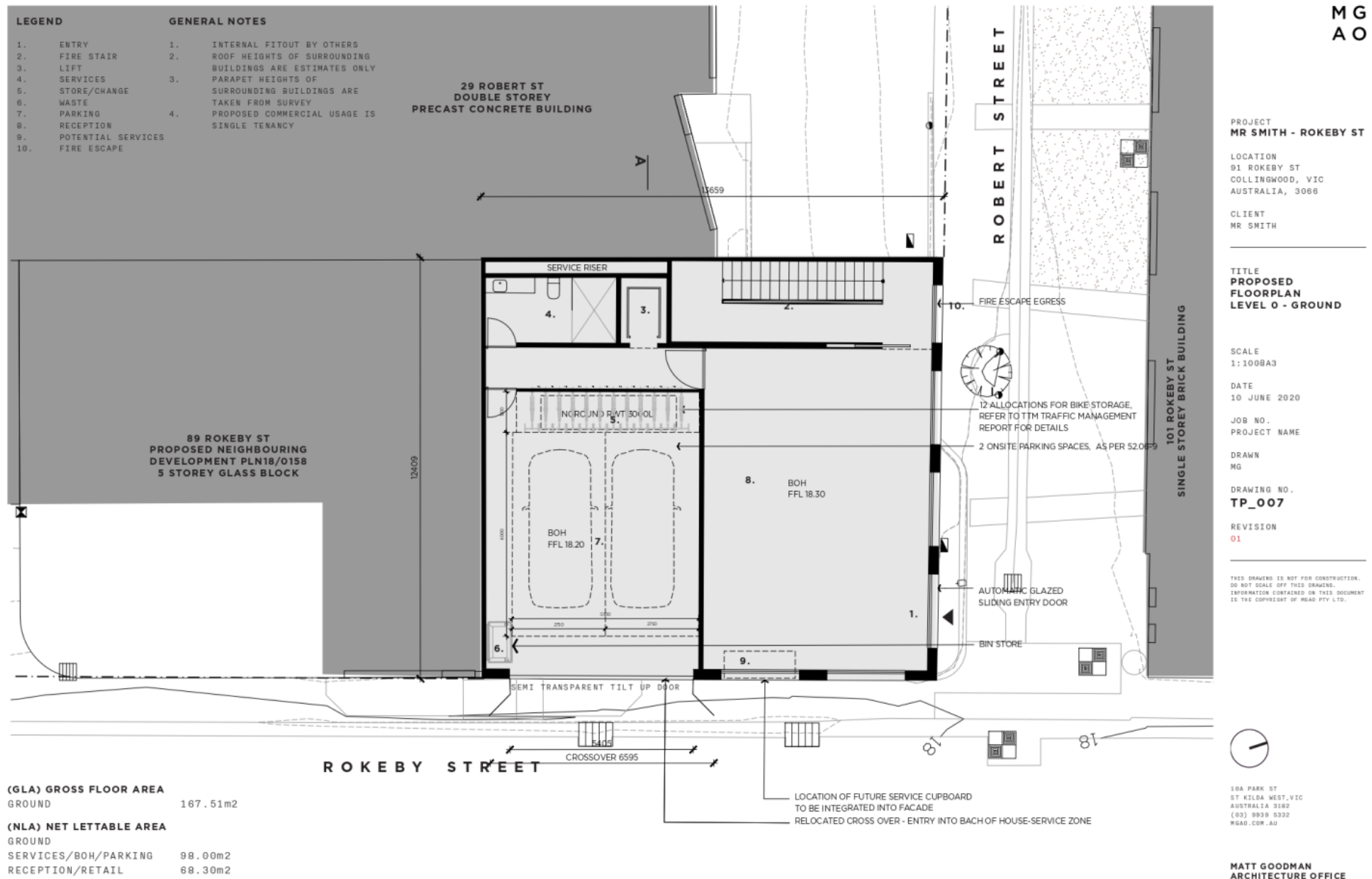
10A PARK ST
ST KILDA WEST, VIC
AUSTRALIA 3182
(03) 9839 5332
MGAO.COM.AU

MATT GOODMAN
ARCHITECTURE OFFICE

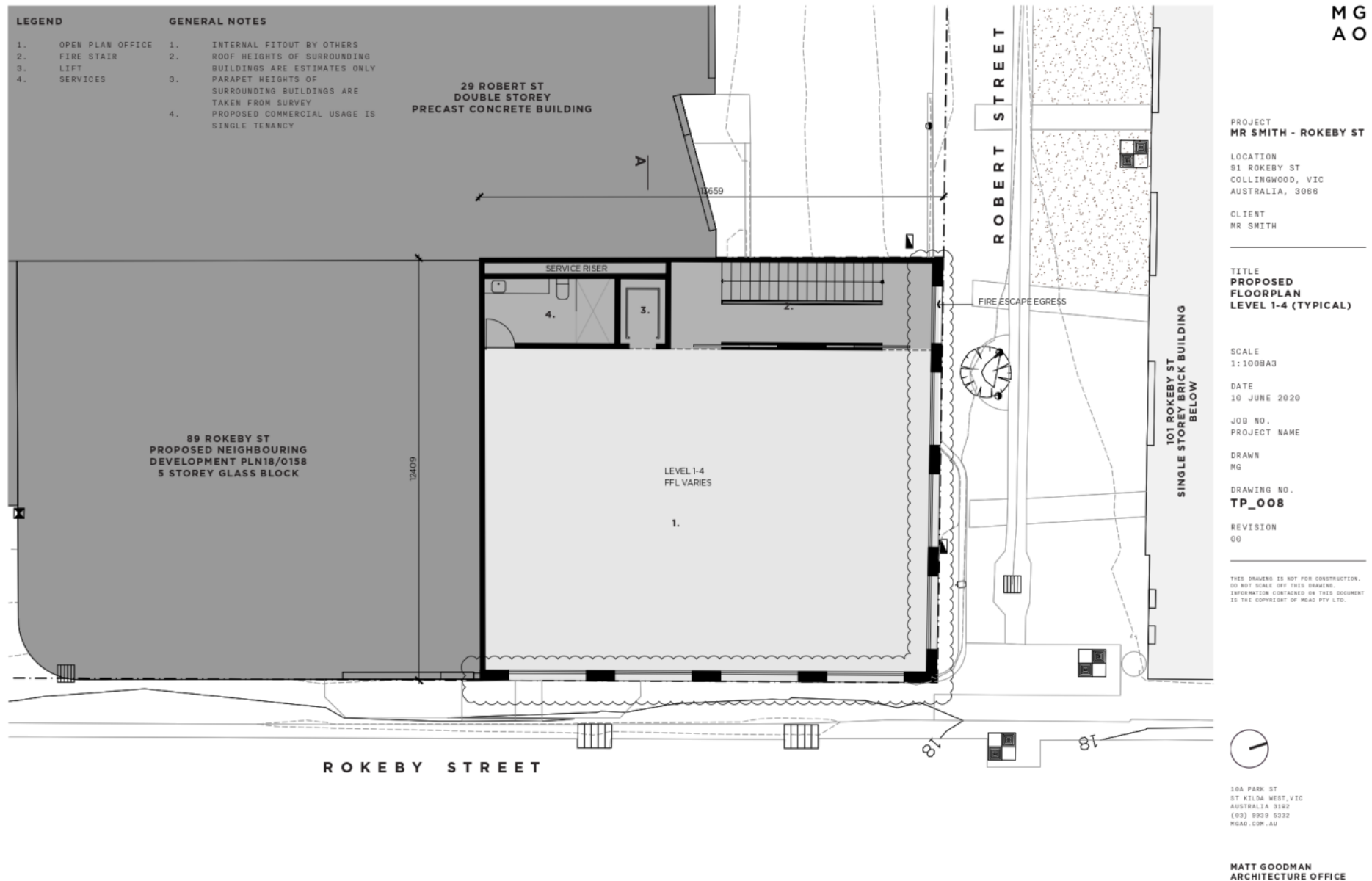
Attachment 2 - "SKETCH Plans" Referenced



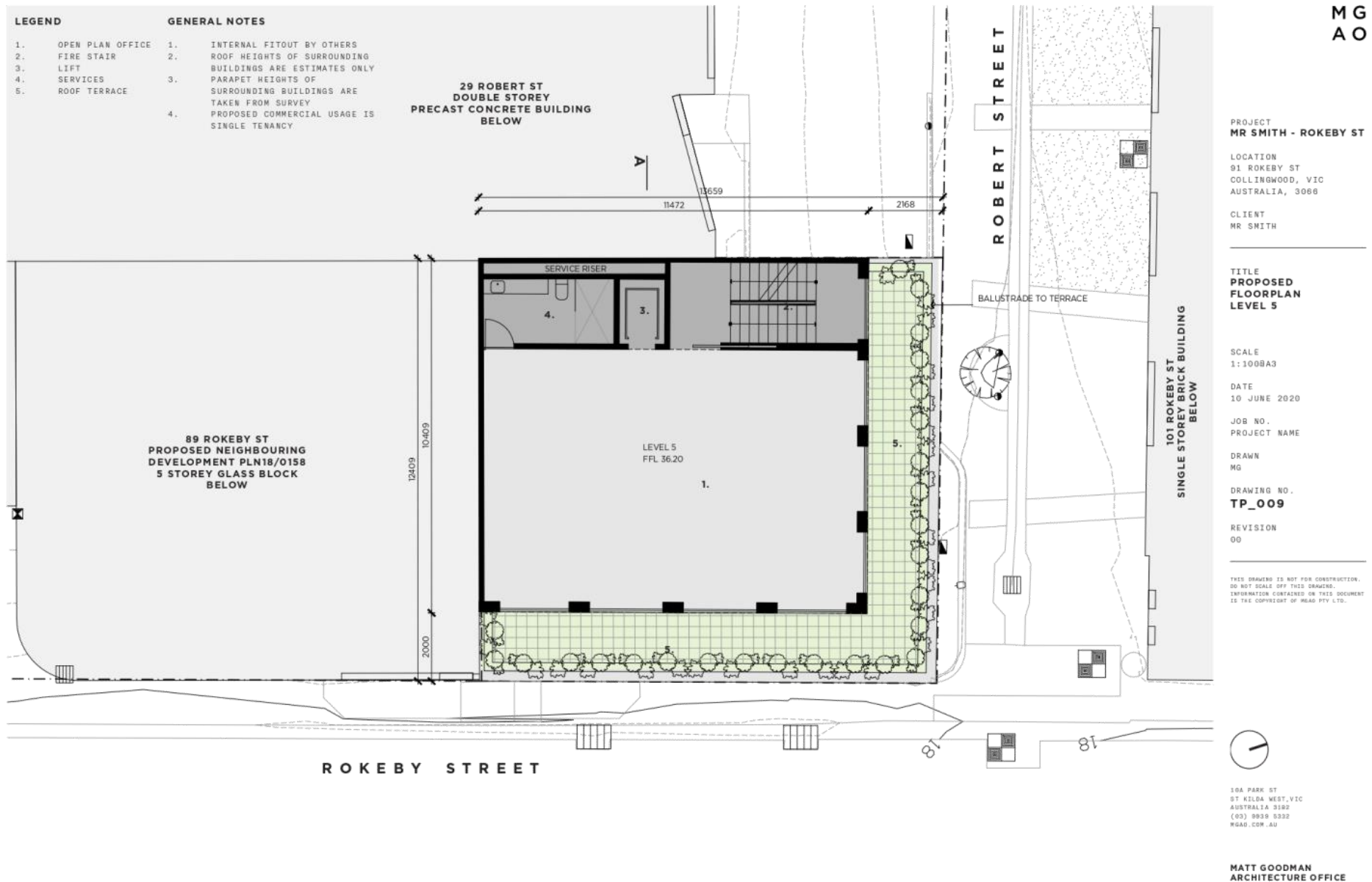
Attachment 2 - "SKETCH Plans" Referenced



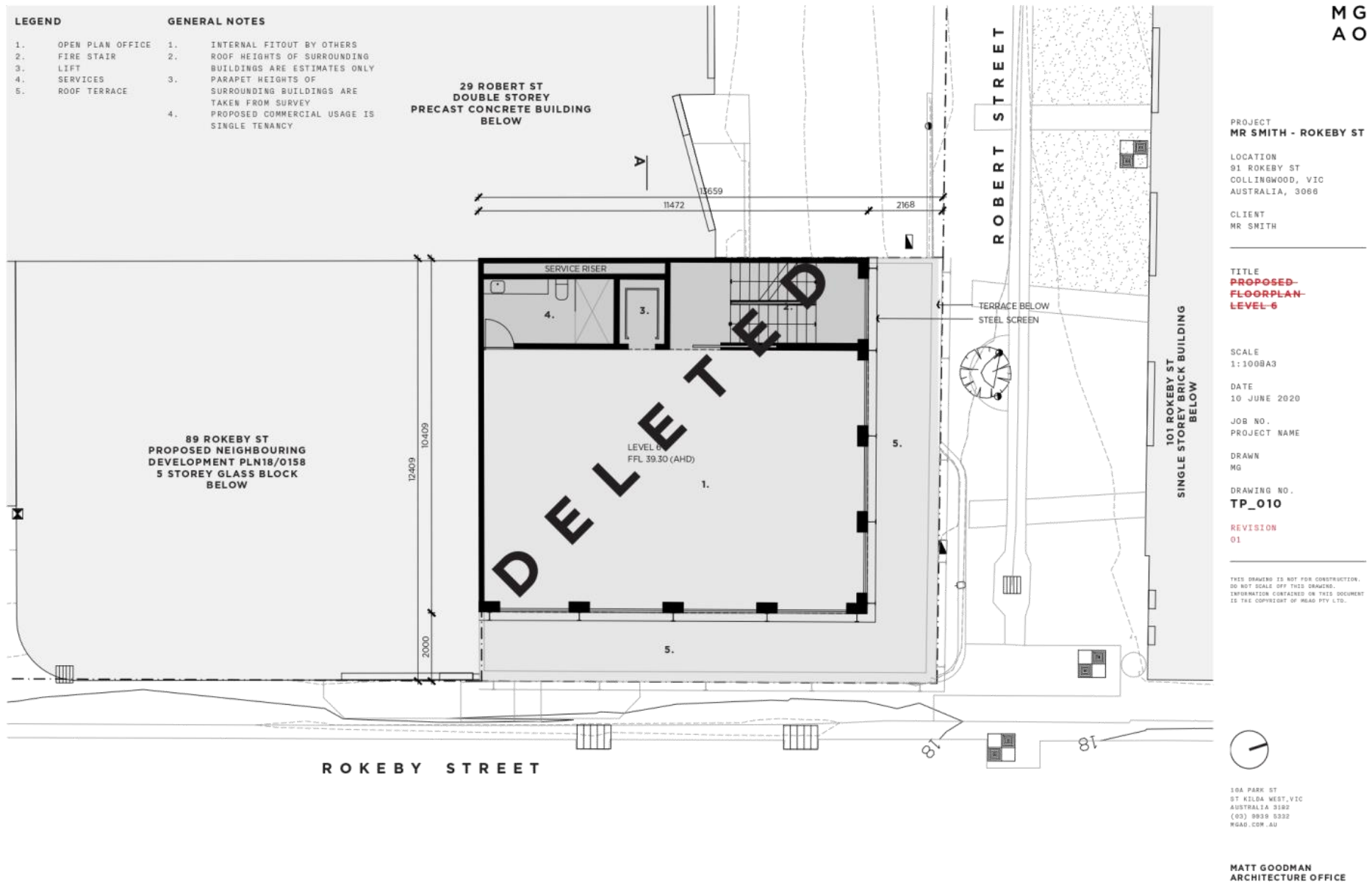
Attachment 2 - "SKETCH Plans" Referenced



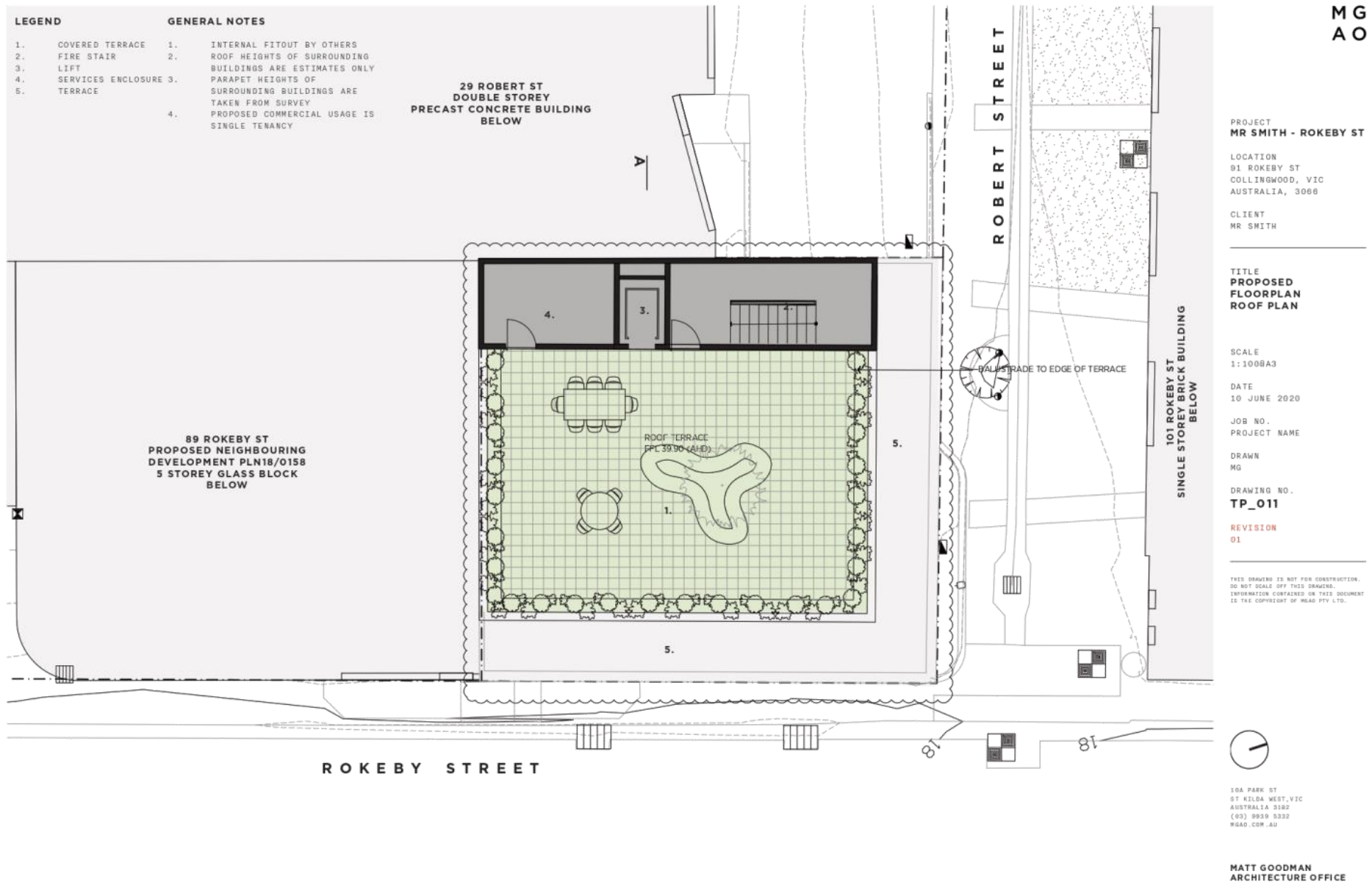
Attachment 2 - "SKETCH Plans" Referenced



Attachment 2 - "SKETCH Plans" Referenced



Attachment 2 - "SKETCH Plans" Referenced



Attachment 2 - "SKETCH Plans" Referenced

GENERAL NOTES

1. INTERNAL FITOUT BY OTHERS
2. ROOF HEIGHTS OF SURROUNDING BUILDINGS
ARE ESTIMATES ONLY
3. PARAPET HEIGHTS OF SURROUNDING BUILDINGS
ARE TAKEN FROM SURVEY
4. PROPOSED COMMERCIAL USAGE IS SINGLE ENANCY
5. STRUCTURE SHOWN INDICATIVELY
6. SERVICES SHOWN INDICATIVELY

M G
A O

PROJECT
MR SMITH - ROKEBY ST

LOCATION
91 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3066

CLIENT
MR SMITH

TITLE
ELEVATION EAST
ROKEBY STREET

SCALE
1:100 @ A3

DATE
10 JUNE 2020

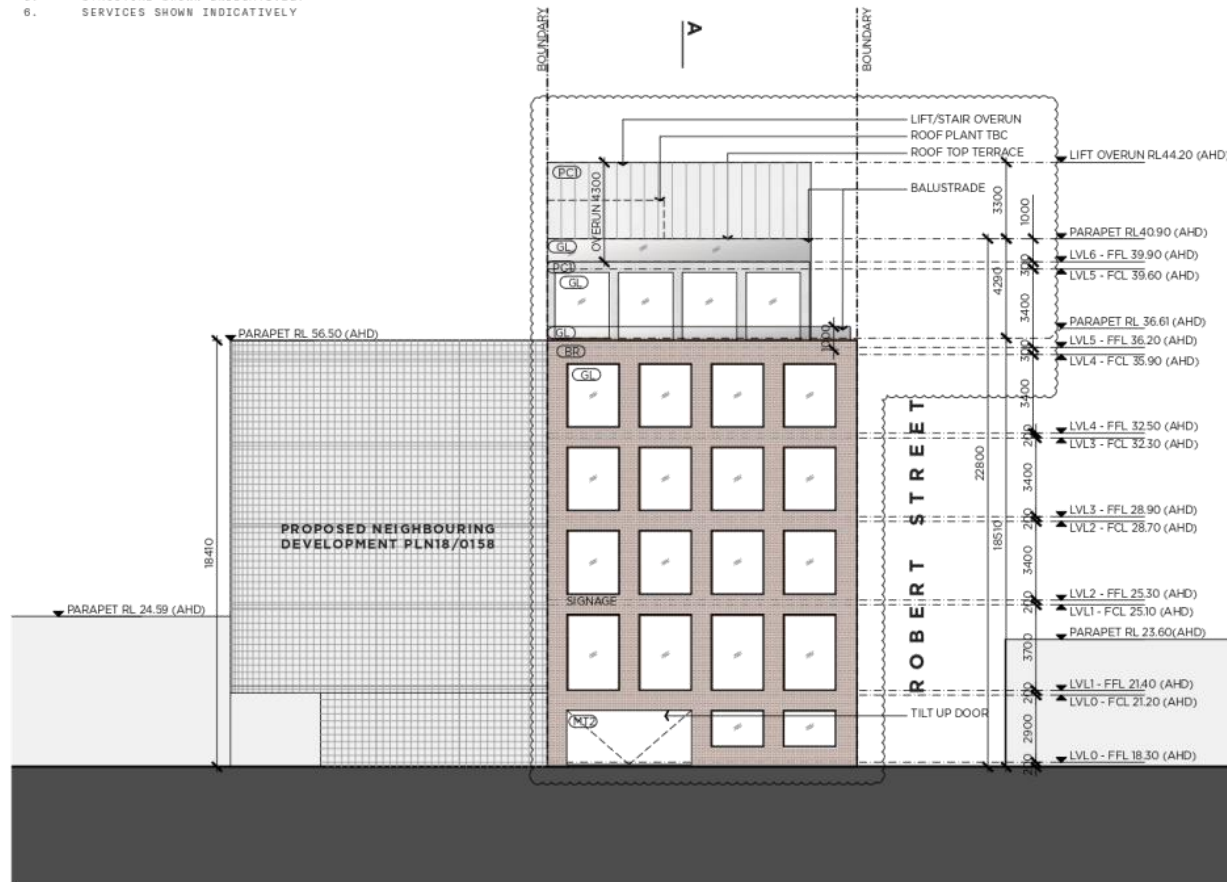
JOB NO.
PROJECT NAME

DRAWN
MG

DRAWING NO.
TP_012

REVISION
01

THIS DRAWING IS NOT FOR CONSTRUCTION.
DO NOT SCALE OFF THIS DRAWING.
INFORMATION CONTAINED ON THIS DOCUMENT
IS THE COPYRIGHT OF M&GD PTY LTD.



10A PARK ST
ST KILDA WEST, VIC
AUSTRALIA 3182
(03) 9838 5332
REGAD.COM.AU

MATT GOODMAN
ARCHITECTURE OFFICE

Attachment 2 - "SKETCH Plans" Referenced

GENERAL NOTES

1. INTERNAL FITOUT BY OTHERS
2. ROOF HEIGHTS OF SURROUNDING BUILDINGS
ARE ESTIMATES ONLY
3. PARAPET HEIGHTS OF SURROUNDING BUILDINGS
ARE TAKEN FROM SURVEY
4. PROPOSED COMMERCIAL USAGE IS SINGLE ENANCY
5. STRUCTURE SHOWN INDICATIVELY
6. SERVICES SHOWN INDICATIVELY

M G
A O

PROJECT
MR SMITH - ROKEBY ST

LOCATION
91 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3066

CLIENT
MR SMITH

TITLE
ELEVATION NORTH
ROBERT STREET

SCALE
1:1000A3

DATE
10 JUNE 2020

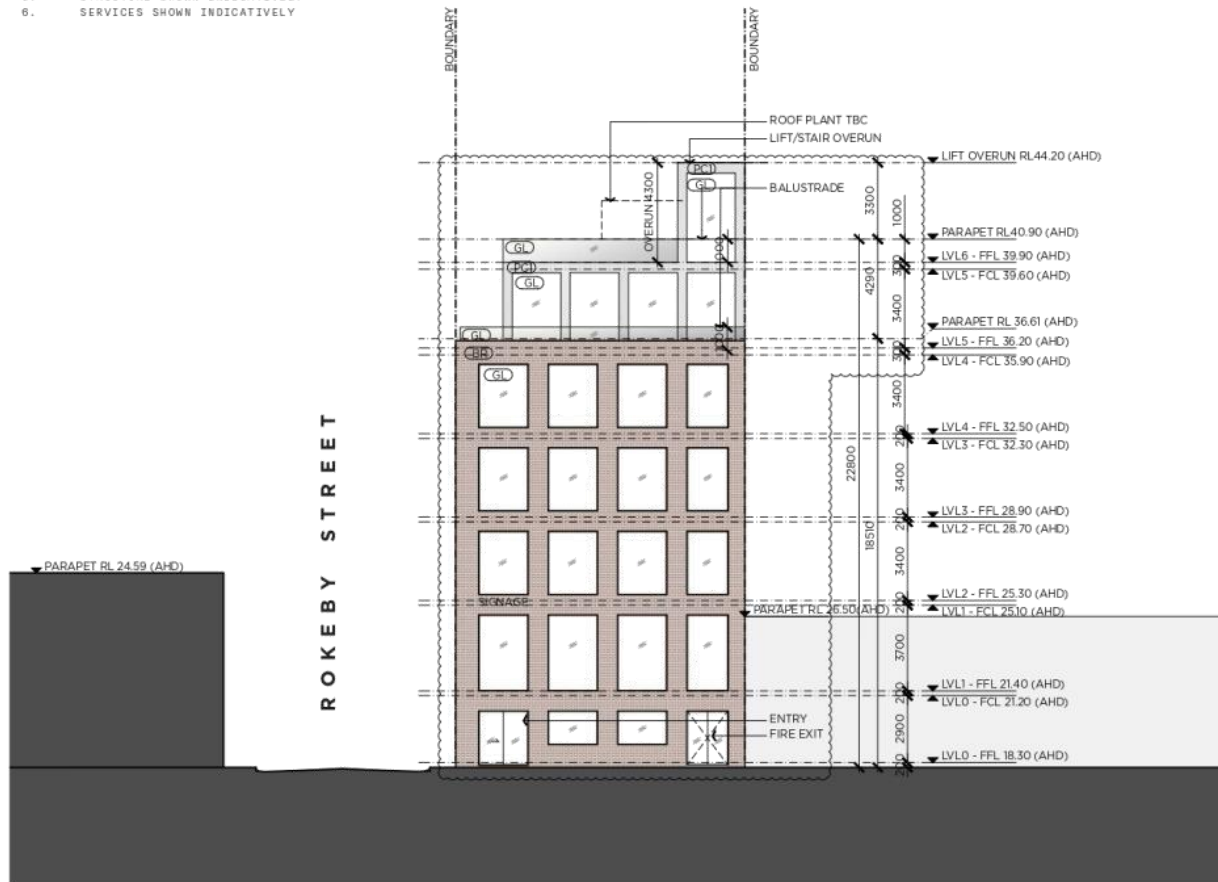
JOB NO.
PROJECT NAME

DRAWN
MG

DRAWING NO.
TP_013

REVISION
01

THIS DRAWING IS NOT FOR CONSTRUCTION.
DO NOT SCALE OFF THIS DRAWING.
INFORMATION CONTAINED ON THIS DOCUMENT
IS THE COPYRIGHT OF HQAD PTY LTD.



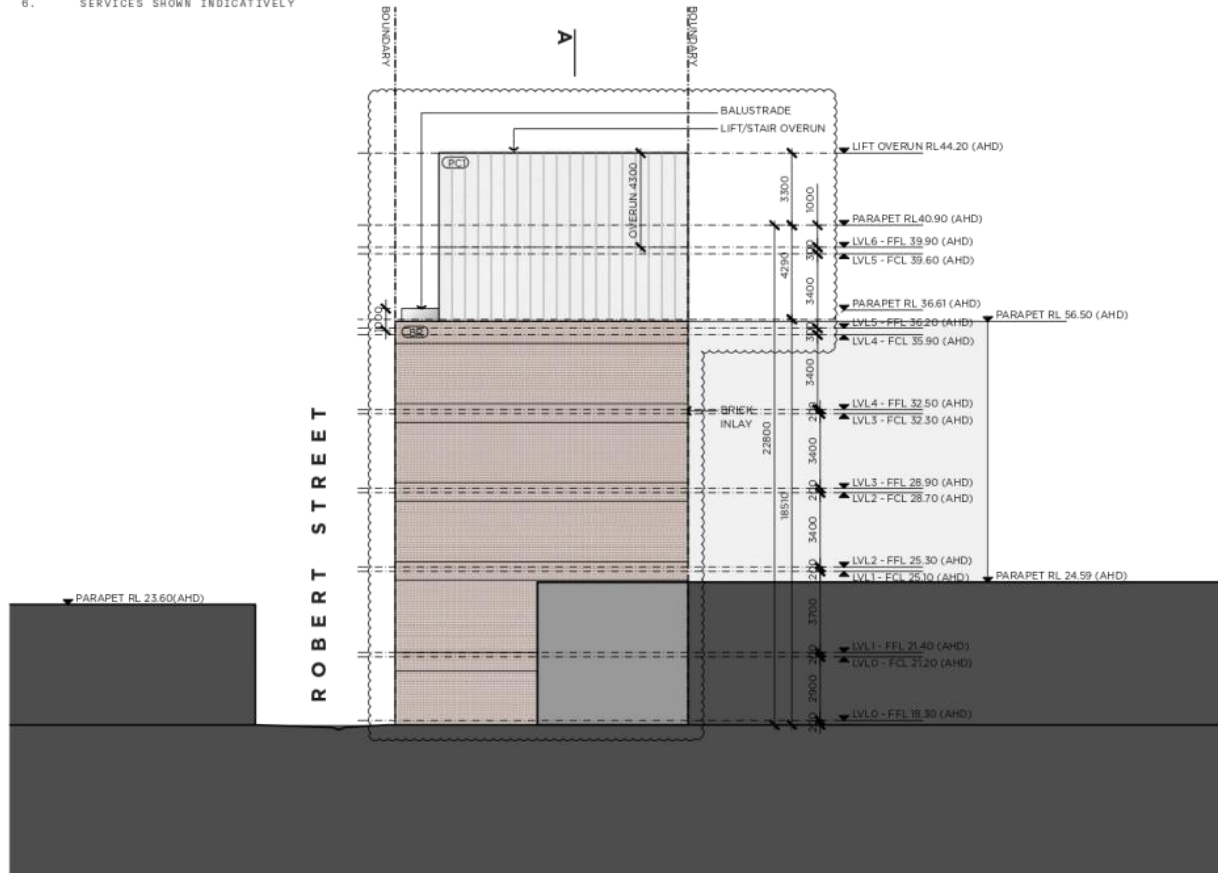
10A PARK ST
ST KILDA WEST, VIC
AUSTRALIA 3182
(03) 9838 5332
REGAD.COM.AU

MATT GOODMAN
ARCHITECTURE OFFICE

Attachment 2 - "SKETCH Plans" Referenced

GENERAL NOTES

1. INTERNAL FITOUT BY OTHERS
2. ROOF HEIGHTS OF SURROUNDING BUILDINGS
ARE ESTIMATES ONLY
3. PARAPET HEIGHTS OF SURROUNDING BUILDINGS
ARE TAKEN FROM SURVEY
4. PROPOSED COMMERCIAL USAGE IS SINGLE ENANCY
5. STRUCTURE SHOWN INDICATIVELY
6. SERVICES SHOWN INDICATIVELY

M G
A O

PROJECT
MR SMITH - ROKEBY ST

LOCATION
91 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3066

CLIENT
MR SMITH

TITLE
ELEVATION WEST

SCALE
1:100 @ A3

DATE
10 JUNE 2020

JOB NO.
PROJECT NAME

DRAWN
MG

DRAWING NO.
TP_014

REVISION
01

THIS DRAWING IS NOT FOR CONSTRUCTION.
DO NOT SCALE OFF THIS DRAWING.
INFORMATION CONTAINED ON THIS DOCUMENT
IS THE COPYRIGHT OF M&GD PTY LTD.



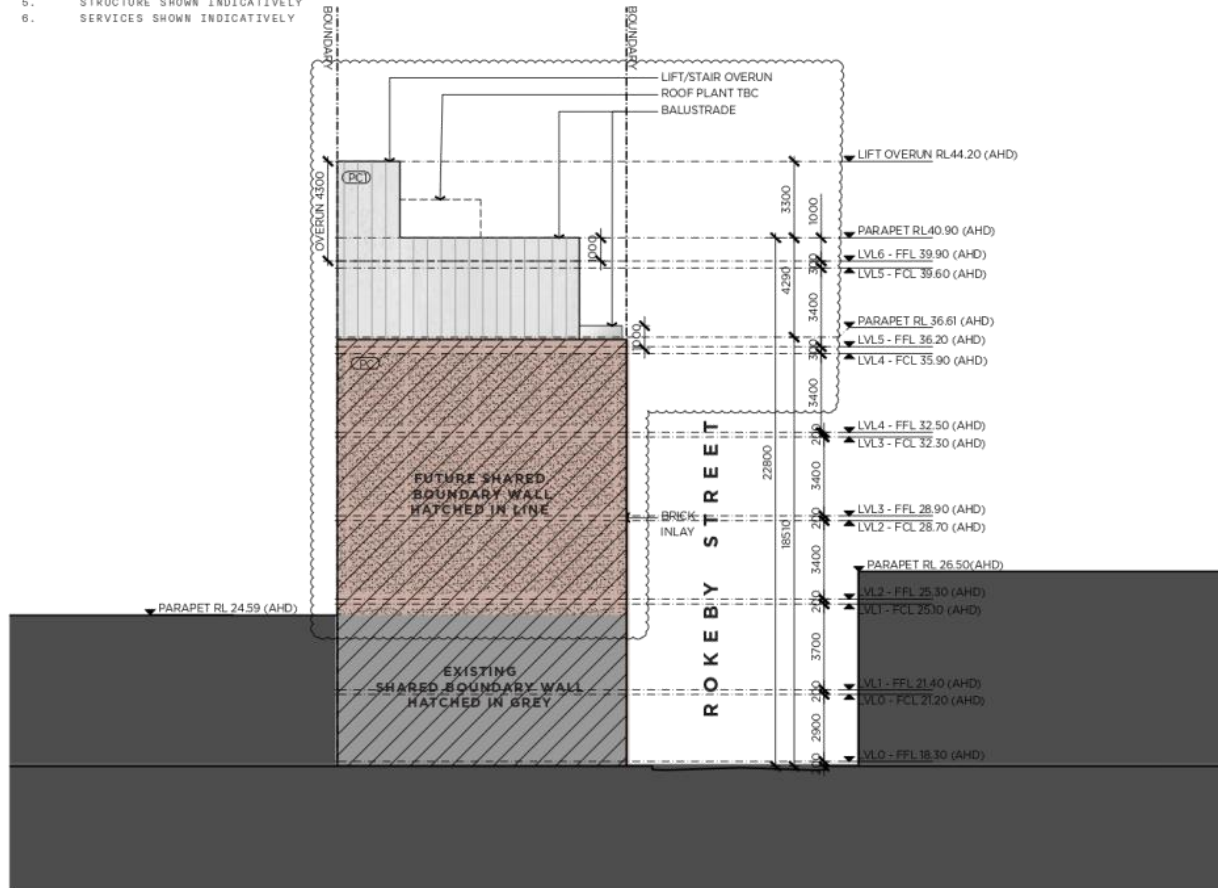
10A PARK ST
ST KILDA WEST, VIC
AUSTRALIA 3102
(03) 9838 5332
REGAD.COM.AU

MATT GOODMAN
ARCHITECTURE OFFICE

Attachment 2 - "SKETCH Plans" Referenced

GENERAL NOTES

1. INTERNAL FITOUT BY OTHERS
2. ROOF HEIGHTS OF SURROUNDING BUILDINGS ARE ESTIMATES ONLY
3. PARAPET HEIGHTS OF SURROUNDING BUILDINGS ARE TAKEN FROM SURVEY
4. PROPOSED COMMERCIAL USAGE IS SINGLE ENANCY
5. STRUCTURE SHOWN INDICATIVELY
6. SERVICES SHOWN INDICATIVELY



MG
AO

PROJECT
MR SMITH - ROKEBY ST

LOCATION
91 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3068

CLIENT
MR SMITH

TITLE
ELEVATION SOUTH

SCALE
1:100BA3

DATE
10 JUNE 2020

JOB NO.
PROJECT NAME

DRAWN
MG

DRAWING NO.
TP_015

REVISION
01

THIS DRAWING IS NOT FOR CONSTRUCTION.
DO NOT SCALE OFF THIS DRAWING.
INFORMATION CONTAINED ON THIS DOCUMENT
IS THE COPYRIGHT OF MGAO PTY LTD.



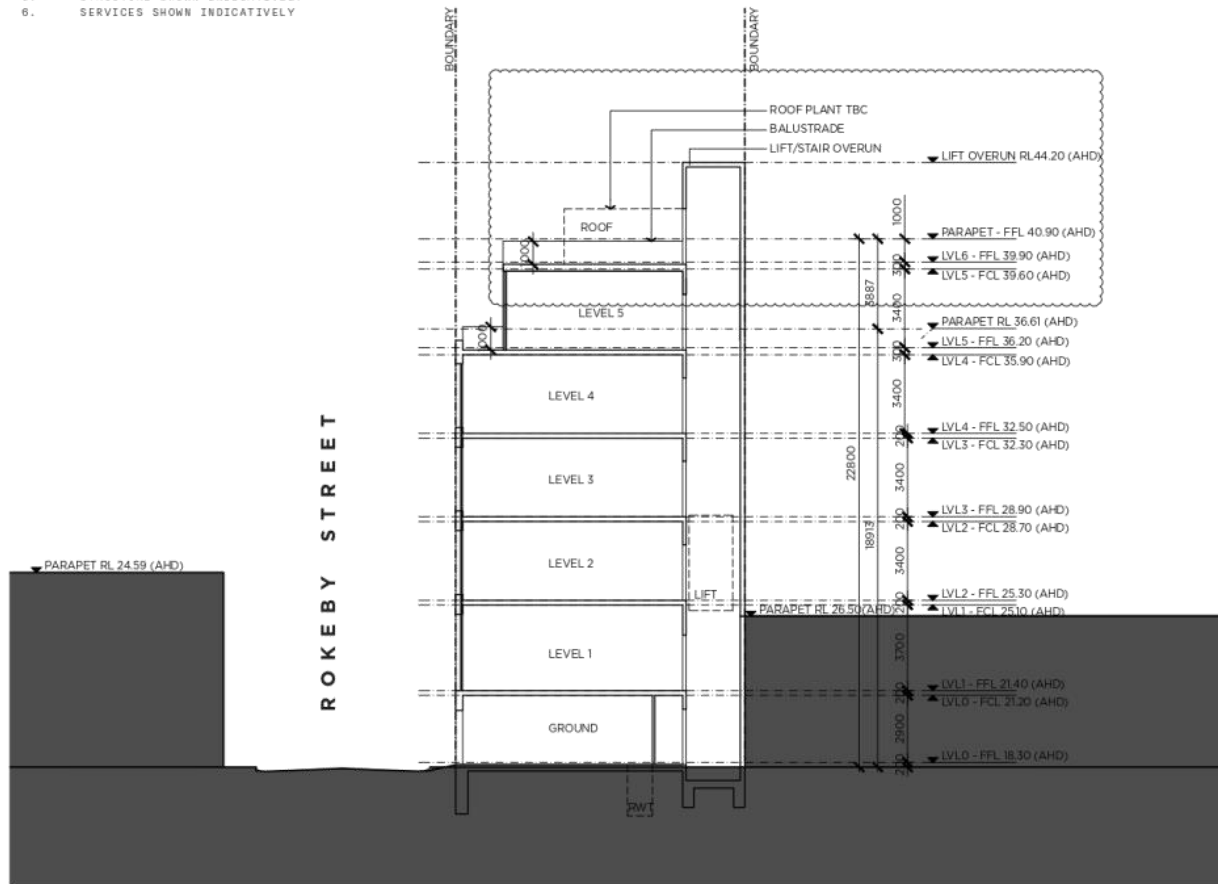
10A PARK ST
ST KILDA WEST, VIC
AUSTRALIA 3182
(03) 9839 5332
MGAO.COM.AU

MATT GOODMAN
ARCHITECTURE OFFICE

Attachment 2 - "SKETCH Plans" Referenced

GENERAL NOTES

1. INTERNAL FITOUT BY OTHERS
2. ROOF HEIGHTS OF SURROUNDING BUILDINGS ARE ESTIMATES ONLY
3. PARAPET HEIGHTS OF SURROUNDING BUILDINGS ARE TAKEN FROM SURVEY
4. PROPOSED COMMERCIAL USAGE IS SINGLE ENANCY
5. STRUCTURE SHOWN INDICATIVELY
6. SERVICES SHOWN INDICATIVELY



MG
AO

PROJECT
MR SMITH - ROKEBY ST

LOCATION
91 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3068

CLIENT
MR SMITH

TITLE
SECTION A

SCALE
1:100BA3

DATE
10 JUNE 2020

JOB NO.
PROJECT NAME

DRAWN
MG

DRAWING NO.
TP_016

REVISION
01

THIS DRAWING IS NOT FOR CONSTRUCTION.
DO NOT SCALE OFF THIS DRAWING.
INFORMATION CONTAINED ON THIS DOCUMENT
IS THE COPYRIGHT OF MGAD PTY LTD.

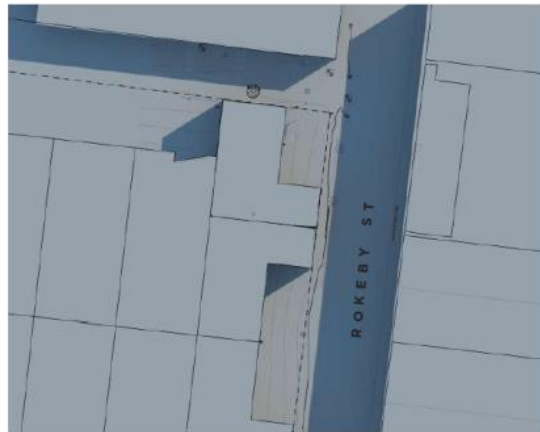


10A PARK ST
ST KILDA WEST, VIC
AUSTRALIA 3182
(03) 9939 5332
MGAD.COM.AU

MATT GOODMAN
ARCHITECTURE OFFICE

Attachment 2 - "SKETCH Plans" Referenced

MG
AO



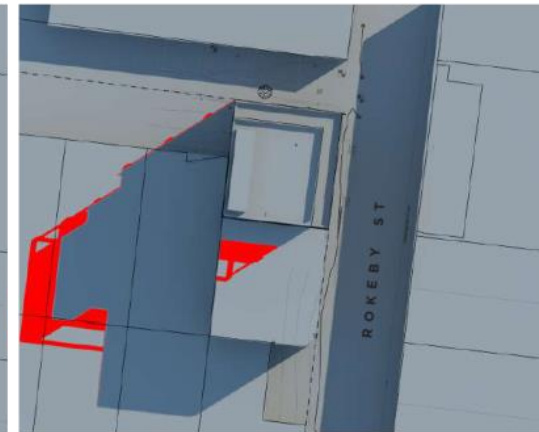
9AM 22 SEPTEMBER EXISTING

EXISTING SHADOWS



9AM 22 SEPTEMBER PROPOSED

PROPOSED SHADOWS
EXISTING SHADOWS
PREVIOUS SHADOWS



9AM 22 SEPTEMBER PROPOSED WITH
NEIGHBOURING DEVELOPMENT PLN18/0158

PROPOSED SHADOWS
PREVIOUS SHADOWS

PROJECT
MR SMITH - ROKEBY ST

LOCATION
91 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3068

CLIENT
MR SMITH

TITLE
SHADOW DIAGRAMS

SCALE
NTS

DATE
10 JUNE 2020

JOB NO.
PROJECT NAME

DRAWN
MG

DRAWING NO.
TP_017

REVISION
02

THIS DRAWING IS NOT FOR CONSTRUCTION.
DO NOT SCALE OFF THIS DRAWING.
INFORMATION CONTAINED ON THIS DOCUMENT
IS THE COPYRIGHT OF MGAO PTY LTD.



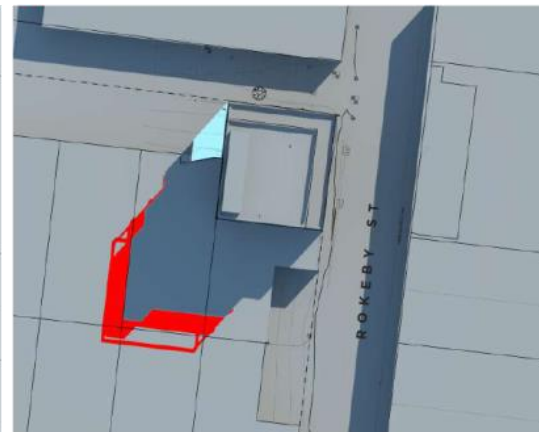
30A PARK ST
ST KILDA WEST, VIC
AUSTRALIA 3182
(03) 9839 5332
MGAO.COM.AU

MATT GOODMAN
ARCHITECTURE OFFICE



10AM 22 SEPTEMBER EXISTING

EXISTING SHADOWS



10AM 22 SEPTEMBER PROPOSED

PROPOSED SHADOWS
EXISTING SHADOWS
PREVIOUS SHADOWS



10AM 22 SEPTEMBER PROPOSED WITH
NEIGHBOURING DEVELOPMENT PLN18/0158

PROPOSED SHADOWS
PREVIOUS SHADOWS

Attachment 2 - "SKETCH Plans" Referenced



11AM 22 SEPTEMBER EXISTING

■ EXISTING SHADOWS



11AM 22 SEPTEMBER PROPOSED

■ PROPOSED SHADOWS
■ EXISTING SHADOWS
■ PREVIOUS SHADOWS



11AM 22 SEPTEMBER PROPOSED WITH
NEIGHBOURING DEVELOPMENT PLN18/0158

■ PROPOSED SHADOWS
■ PREVIOUS SHADOWS

PROJECT
MR SMITH - ROKEBY ST

LOCATION
91 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3068

CLIENT
MR SMITH

TITLE
SHADOW DIAGRAMS

SCALE
NTS

DATE
10 JUNE 2020

JOB NO.
PROJECT NAME

DRAWN
MG

DRAWING NO.
TP_018

REVISION
02

THIS DRAWING IS NOT FOR CONSTRUCTION.
DO NOT SCALE OFF THIS DRAWING.
INFORMATION CONTAINED ON THIS DOCUMENT
IS THE COPYRIGHT OF MGAD PTY LTD.



50A PARK ST
ST KILDA WEST, VIC
AUSTRALIA 3182
(03) 9839 5332
MGAD.COM.AU

MATT GOODMAN
ARCHITECTURE OFFICE



12PM 22 SEPTEMBER EXISTING

■ EXISTING SHADOWS



12PM 22 SEPTEMBER PROPOSED

■ PROPOSED SHADOWS
■ EXISTING SHADOWS
■ PREVIOUS SHADOWS



12PM 22 SEPTEMBER PROPOSED WITH
NEIGHBOURING DEVELOPMENT PLN18/0158

■ PROPOSED SHADOWS
■ PREVIOUS SHADOWS

Attachment 2 - "SKETCH Plans" Referenced



1PM 22 SEPTEMBER EXISTING

EXISTING SHADOWS



1PM 22 SEPTEMBER PROPOSED

PROPOSED SHADOWS
EXISTING SHADOWS
PREVIOUS SHADOWS



1PM 22 SEPTEMBER PROPOSED WITH
NEIGHBOURING DEVELOPMENT PLN18/0158

PROPOSED SHADOWS
PREVIOUS SHADOWS

PROJECT
MR SMITH - ROKEBY ST

LOCATION
91 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3068

CLIENT
MR SMITH

TITLE
SHADOW DIAGRAMS

SCALE
NTS

DATE
10 JUNE 2020

JOB NO.
PROJECT NAME

DRAWN
MG

DRAWING NO.
TP_019

REVISION
02

THIS DRAWING IS NOT FOR CONSTRUCTION.
DO NOT SCALE OFF THIS DRAWING.
INFORMATION CONTAINED ON THIS DOCUMENT
IS THE COPYRIGHT OF MGAD PTY LTD.



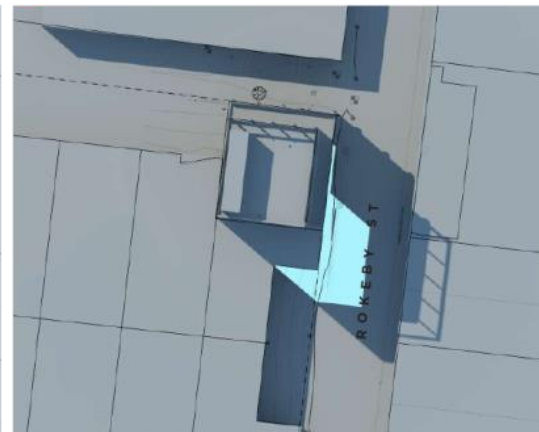
50A PARK ST
ST KILDA WEST, VIC
AUSTRALIA 3182
(03) 9839 5332
MGAD.COM.AU

MATT GOODMAN
ARCHITECTURE OFFICE



2PM 22 SEPTEMBER EXISTING

EXISTING SHADOWS



2PM 22 SEPTEMBER PROPOSED

PROPOSED SHADOWS
EXISTING SHADOWS
PREVIOUS SHADOWS

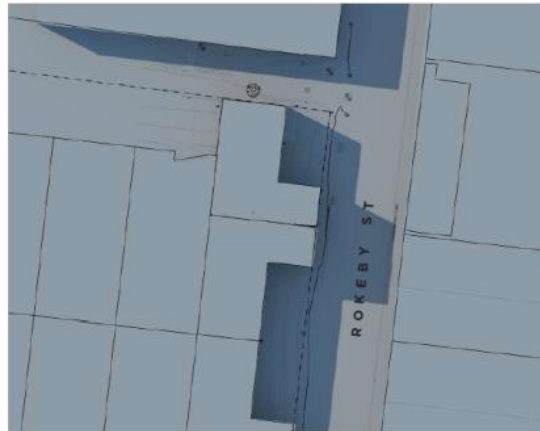


2PM 22 SEPTEMBER PROPOSED WITH
NEIGHBOURING DEVELOPMENT PLN18/0158

PROPOSED SHADOWS
PREVIOUS SHADOWS

Attachment 2 - "SKETCH Plans" Referenced

**MG
AO**



3PM 22 SEPTEMBER EXISTING

■ EXISTING SHADOWS



3PM 22 SEPTEMBER PROPOSED

■ PROPOSED SHADOWS
■ EXISTING SHADOWS
■ PREVIOUS SHADOWS



**3PM 22 SEPTEMBER PROPOSED WITH
NEIGHBOURING DEVELOPMENT PLN18/0158**

■ PROPOSED SHADOWS
■ PREVIOUS SHADOWS

PROJECT
MR SMITH - ROKEBY ST

LOCATION
91 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3068

CLIENT
MR SMITH

TITLE
SHADOW DIAGRAMS

SCALE
NTS

DATE
6 AUGUST 2020

JOB NO.
PROJECT NAME

DRAWN
MG

DRAWING NO.
TP_020

REVISION
02

THIS DRAWING IS NOT FOR CONSTRUCTION.
DO NOT SCALE OFF THIS DRAWING.
INFORMATION CONTAINED ON THIS DOCUMENT
IS THE COPYRIGHT OF MGAO PTY LTD.



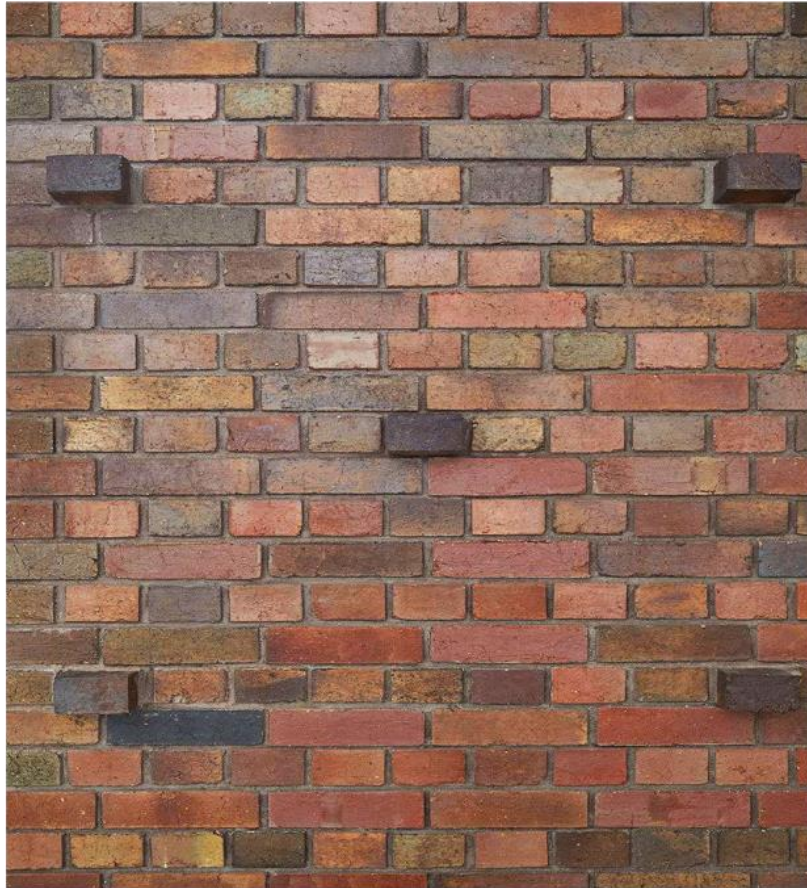
30A PARK ST
ST KILDA WEST, VIC
AUSTRALIA 3182
(03) 9839 5332
MGAO.COM.AU

**MATT GOODMAN
ARCHITECTURE OFFICE**

Attachment 2 - "SKETCH Plans" Referenced

MG
AO

BR



KRAUSE BRICKS 'OLD MELBOURNE TOWN' RED
BRICK / BRICK SLIP FACADE - COLOUR TO
REFERENCE LOCAL REDBRICK FACTORIES

PC1



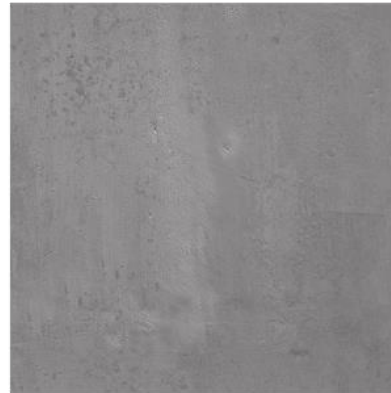
TEXTURED PIGMENTED PRECAST CONCRETE WALLS
WHITE PIGMENT - SHADOW LINE DETAIL

AL



ALUMINIUM DOOR / WINDOW FRAMES.

PC



TEXTURED PRECAST CONCRETE WALLS
BRICK TILE PATTERN

GL



CLEAR GLAZING TO WINDOWS AND BALUSTRADES

PROJECT
MR SMITH - ROKEBY ST

LOCATION
91 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3068

CLIENT
MR SMITH

TITLE
MATERIAL SCHEDULE

SCALE
NTS

DATE
6 AUGUST 2020

JOB NO.
PROJECT NAME

DRAWN
MG

DRAWING NO.
TP_021

REVISION
01

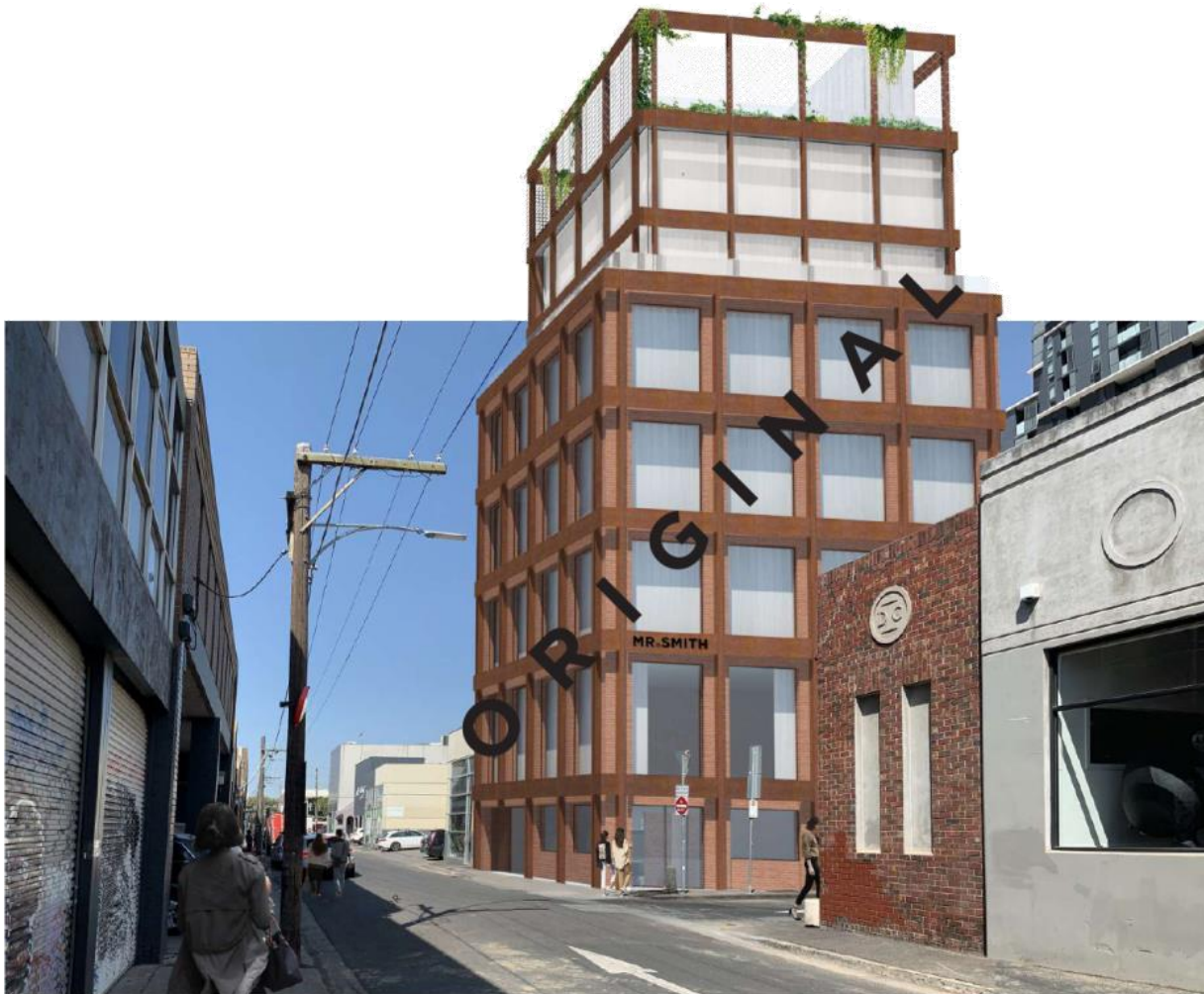
THIS DRAWING IS NOT FOR CONSTRUCTION.
DO NOT SCALE OFF THIS DRAWING.
INFORMATION CONTAINED ON THIS DOCUMENT
IS THE COPYRIGHT OF MGAO PTY LTD.



50A PARK ST
ST KILDA WEST, VIC
AUSTRALIA 3182
(03) 9899 5332
MGAO.COM.AU

MATT GOODMAN
ARCHITECTURE OFFICE

Attachment 2 - "SKETCH Plans" Referenced



**MG
AO**

PROJECT
MR SMITH - ROKEBY ST

LOCATION
91 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3068

CLIENT
MR SMITH

TITLE
**3D PERSPECTIVE
ROKEBY ST
ORIGINAL FOR
REFERENCE ONLY**

SCALE
NTS

DATE
6 AUGUST 2020

JOB NO.
PROJECT NAME

DRAWN
MG

DRAWING NO.
TP_022A

REVISION
01

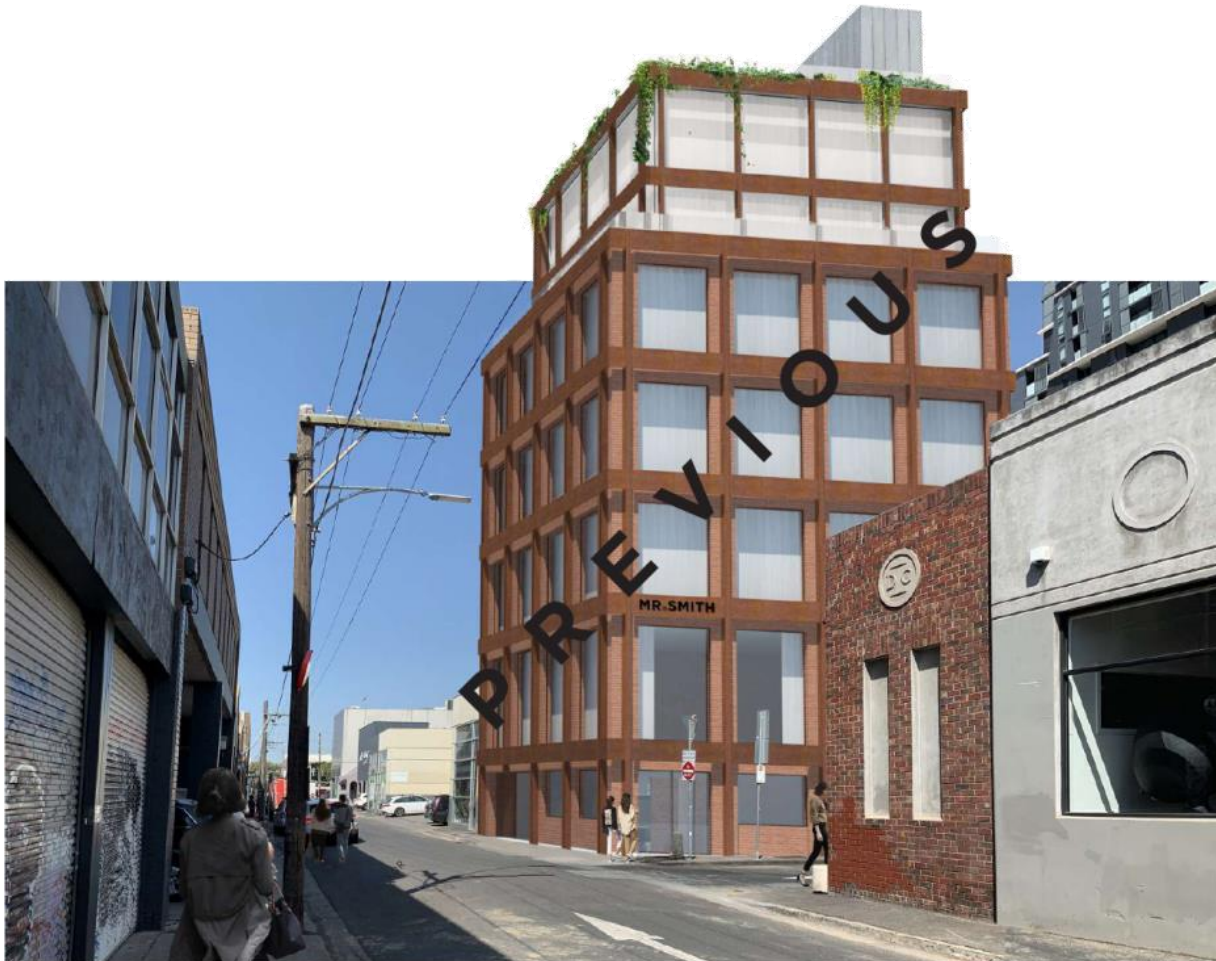
THIS DRAWING IS NOT FOR CONSTRUCTION.
DO NOT SCALE OFF THIS DRAWING.
INFORMATION CONTAINED ON THIS DOCUMENT
IS THE COPYRIGHT OF MGAO PTY LTD.



10A PARK ST
ST KILDA WEST, VIC
AUSTRALIA 3182
(03) 9839 5332
MGAO.COM.AU

**MATT GOODMAN
ARCHITECTURE OFFICE**

Attachment 2 - "SKETCH Plans" Referenced



**MG
AO**

PROJECT
MR SMITH - ROKEBY ST

LOCATION
91 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3066

CLIENT
MR SMITH

TITLE
**3D PERSPECTIVE
ROKEBY ST
PREVIOUS FOR
REFERENCE ONLY**

SCALE
NTS

DATE
6 AUGUST 2020

JOB NO.
PROJECT NAME

DRAWN
MG

DRAWING NO.
TP_022B

REVISION
01

THIS DRAWING IS NOT FOR CONSTRUCTION.
DO NOT SCALE OFF THIS DRAWING.
INFORMATION CONTAINED ON THIS DOCUMENT
IS THE COPYRIGHT OF MGAO PTY LTD.



10A PARK ST
ST KILDA WEST, VIC
AUSTRALIA 3182
(03) 9839 5332
MGAO.COM.AU

**MATT GOODMAN
ARCHITECTURE OFFICE**

Attachment 2 - "SKETCH Plans" Referenced

MG
AO



PROJECT
MR SMITH - ROKEBY ST

LOCATION
91 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3068

CLIENT
MR SMITH

TITLE
**3D PERSPECTIVE
ROKEBY ST
REVISED**

SCALE
NTS

DATE
6 AUGUST 2020

JOB NO.
PROJECT NAME

DRAWN
MG

DRAWING NO.
TP_022C

REVISION
02

THIS DRAWING IS NOT FOR CONSTRUCTION.
DO NOT SCALE OFF THIS DRAWING.
INFORMATION CONTAINED ON THIS DOCUMENT
IS THE COPYRIGHT OF MGAO PTY LTD.



10A PARK ST
ST KILDA WEST, VIC
AUSTRALIA 3182
(03) 9839 5332
MGAO.COM.AU

**MATT GOODMAN
ARCHITECTURE OFFICE**

Attachment 2 - "SKETCH Plans" Referenced

MG
AO



PROJECT
MR SMITH - ROKEBY ST

LOCATION
91 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3068

CLIENT
MR SMITH

TITLE
**3D PERSPECTIVE
ROBERT STREET
ORIGINAL**

SCALE
NTS

DATE
6 AUGUST 2020

JOB NO.
PROJECT NAME

DRAWN
MG

DRAWING NO.
TP_023A

REVISION
01

THIS DRAWING IS NOT FOR CONSTRUCTION.
DO NOT SCALE OFF THIS DRAWING.
INFORMATION CONTAINED ON THIS DOCUMENT
IS THE COPYRIGHT OF MGAO PTY LTD.



50A PARK ST
ST KILDA WEST, VIC
AUSTRALIA 3182
(03) 9899 5332
MGAO.COM.AU

**MATT GOODMAN
ARCHITECTURE OFFICE**

Attachment 2 - "SKETCH Plans" Referenced

MG
AO



PROJECT
MR SMITH - ROKEBY ST

LOCATION
91 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3068

CLIENT
MR SMITH

TITLE
**3D PERSPECTIVE
ROBERT STREET
REVISED**

SCALE
NTS

DATE
6 AUGUST 2020

JOB NO.
PROJECT NAME

DRAWN
MG

DRAWING NO.
TP_023B

REVISION
01

THIS DRAWING IS NOT FOR CONSTRUCTION.
DO NOT SCALE OFF THIS DRAWING.
INFORMATION CONTAINED ON THIS DOCUMENT
IS THE COPYRIGHT OF MGAO PTY LTD.



50A PARK ST
ST KILDA WEST, VIC
AUSTRALIA 3182
(03) 9839 5332
MGAO.COM.AU

**MATT GOODMAN
ARCHITECTURE OFFICE**

Attachment 2 - "SKETCH Plans" Referenced

MG
AO



PROJECT
MR SMITH - ROKEBY ST

LOCATION
91 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3068

CLIENT
MR SMITH

TITLE
**3D PERSPECTIVE
ROOF TERRACE
ORIGINAL**

SCALE
NTS

DATE
6 AUGUST 2020

JOB NO.
PROJECT NAME

DRAWN
MG

DRAWING NO.
TP_024A

REVISION
00

THIS DRAWING IS NOT FOR CONSTRUCTION.
DO NOT SCALE OFF THIS DRAWING.
INFORMATION CONTAINED ON THIS DOCUMENT
IS THE COPYRIGHT OF MGAO PTY LTD.



10A PARK ST
ST KILDA WEST, VIC
AUSTRALIA 3182
(03) 9839 5332
MGAO.COM.AU

**MATT GOODMAN
ARCHITECTURE OFFICE**

Attachment 2 - "SKETCH Plans" Referenced

MG
AO



PROJECT
MR SMITH - ROKEBY ST

LOCATION
91 ROKEBY ST
COLLINGWOOD, VIC
AUSTRALIA, 3068

CLIENT
MR SMITH

TITLE
**3D PERSPECTIVE
ROOF TERRACE
REVISED**

SCALE
NTS

DATE
6 AUGUST 2020

JOB NO.
PROJECT NAME

DRAWN
MG

DRAWING NO.
TP_024B

REVISION
00

THIS DRAWING IS NOT FOR CONSTRUCTION.
DO NOT SCALE OFF THIS DRAWING.
INFORMATION CONTAINED ON THIS DOCUMENT
IS THE COPYRIGHT OF MGAO PTY LTD.



10A PARK ST
ST KILDA WEST, VIC
AUSTRALIA 3182
(03) 9839 5332
MGAO.COM.AU

**MATT GOODMAN
ARCHITECTURE OFFICE**

Attachment 3 - Referral Advice Combined



MeMO

TO: John Theodosakis (Statutory Planning)
FROM: Hayley McNicol (Urban Design)
DATE: 17 March 2020
SUBJECT: 91 Rokeby Street, Collingwood
APPLICATION NO: PLN19/0707
DESCRIPTION: Demolition of the existing building to allow for the development of the land with a seven-storey office building (plus roof terrace) and a reduction in the car parking requirement of the Yarra Planning Scheme.

Urban Design comments have been sought on the above proposal, based on the advertised plans dated 14 November 2019. Confirmation is also sought on any capital works around the site being led by the Urban Design team.

In summary, the proposed development is not supported. The following changes are required to make the proposal more acceptable from an Urban Design perspective.

- Changes to the street wall and upper level setbacks to reduce the visual dominance of the building and achieve greater compliance with DDO11. This may require the height of the building to be reduced given the size of the site. In particular:
 - The street wall height should be reduced to four storeys to better match the existing street wall heights in the area and respond to the width of the street.
 - The upper levels should be set back at least 3 metres from the street wall along Rokeby/Robert Streets, and additional setbacks may be required to reduce overshadowing of the Rokeby Street eastern footpaths.
 - The upper levels should be set back from the western and southern boundaries to address equitable development considerations and provide variation and spacing in the overall built form along both streets.
- The arrangement of garages, service cabinets and entrances should be reviewed to provide an improved ground level interface with Rokeby Street.

These issues are described in more detail overleaf.

Attachment 3 - Referral Advice Combined

- **Overall built form**

DDO11 (Gipps Precinct) applies to the site and sets out a preferred character for the area, which includes *“a consistent streetscape with active street-frontages and well articulated buildings with street facades built to a height of up to 3-4 storeys. Taller built form will be set back from property boundaries and spaced to create new interest and variety in building forms.”*

Section 3.0 notes that *“development above 4 storeys should ... minimise overshadowing of adjoining streets, public spaces or private properties”*.

The Decision Guidelines at Section 7.0 include *“How the design, height and visual bulk of building/s on the site address potential negative amenity impacts on surrounding development.”*

The proposed building would be seven storeys in height with a roof terrace. It would have a five storey street wall, with the sixth and seventh storeys set back 2 metres from Rokeby Street and 2.168 metres from Robert Street. No setbacks are provided from the southern and western site boundaries. It is considered that the overall form of the building does not comply with DDO11 and would result in a visually dominating building in the street. The following changes are recommended to achieve greater compliance with DDO11 and provide a better response to the street and surrounding sites. The recommended changes may mean that seven storeys would be difficult to achieve on a site of this size.

- **Street wall and upper level setback to Rokeby Street / Robert Street**

To meet the preferred character of the area as outlined in DDO11 and better respond to the scale of buildings along Rokeby Street (which are generally one to three storeys in height to the street) as well as the narrow width of street, the street wall on both street frontages should be reduced to four storeys. A four storey street wall is also appropriate given the additional height proposed (seven storeys), to ensure that overall the building is not visually dominating in the street.

The upper levels should be set back from the street wall at least 3 metres to provide clear definition between the street wall and upper levels. Additional setbacks may be required for the upper levels to minimise any additional overshadowing of Rokeby Street, as required under Section 3.0 of DDO11. It is recommended that the eastern footpath is kept clear of shadows up to 1pm (the advertised drawings show that the upper levels overshadow the eastern footpath at 1pm).

- **Side and rear setbacks**

The proposed building would be built directly to the western and southern boundaries, which may result in negative impacts on surrounding sites in terms of equitable development. Furthermore, the lack of setbacks does not align with the preferred character statement set out in DDO11 which expects taller built form to be set back and spaced to create new interest and variety in building forms.

To ensure that adjoining sites can have a reasonable level of amenity in future, and to achieve spacing between buildings, we encourage the proposed building to be set back from the western and southern boundaries. This would also help in improving the appearance of these shear walls by providing some articulation.

Attachment 3 - Referral Advice Combined

- **Street interface**

The Built Form and Design policy at Clause 22.10-3.4 seeks *“to ensure ground level façade and boundary treatments interface positively with the street and public domain treatments interface positively with the street and public domain”*.

The proposed Rokeby Street frontage comprises a double garage and service cabinet, which will take up about two-thirds of the street frontage and will result in a poor interface with the street. It is recommended that this aspect of the proposal is reviewed, also considering the location of the entrance in relation to the Rokeby Street property address.

- **Any other matters**

The floor plans include an annotation ‘steel screen’ on the northern boundary, with the arrow pointing outside the site boundary. Clarification is required on whether there is any screening that protrudes outside the site boundary.

- **Any capital works**

There are no planned capital works led by the Urban Design team which are in proximity to the site.

Attachment 3 - Referral Advice Combined



MEMO

To: John Theodosakis
From: Mark Pisani
Date: 18 February 2020
Subject: Application No: PLN19/0707
 Description: Seven Storey Building
 Site Address: 91 Rokeby Street, Collingwood

I refer to the above Planning Application received on 14 January 2019 in relation to the proposed development at 91 Rokeby Street, Collingwood. Council's Civil Engineering unit provides the following information:

CAR PARKING PROVISION

TTM Consulting (Vic)

Parking Impact Assessment report

Dated 24 July 2019

Proposed Development

Under the provisions of Clause 52.06-5 of the Yarra Planning Scheme, the development's parking requirements are as follows:

Proposed Use	Quantity/ Size	Statutory Parking Rate*	No. of Spaces Required	No. of Spaces Allocated
Office	728.76 m ²	3 spaces per 100 m ² of net floor area	21	2

* Since the site is located within the Principal Public Transport Network Area, the parking rates in Column B of Clause 52.06-5 now apply.

To reduce the number of car parking spaces required under Clause 52.06-5 (including to reduce to zero spaces), the application for the car parking reduction must be accompanied by a Car Parking Demand Assessment.

Car Parking Demand Assessment

In reducing the number of parking spaces required for the proposed development, the Car Parking Demand Assessment would assess the following:

- **Parking Demand for Office Use.** The proposed office would be provided with a total of 2 on-site parking spaces, which equates to a parking rate of 0.30 spaces per 100 square metres of floor area. Throughout the municipality, a number of developments have been approved with reduced office rates, as shown in the following table:

Attachment 3 - Referral Advice Combined

Development Site	Approved Office Parking Rate
60-88 Cremorne Street, Cremorne PLN17/0626 issued 21 June 2018	0.72 spaces per 100 m ² (200 on-site spaces; 27,653 m ²)
13 Cubitt Street, Cremorne PLN16/1022 issued 20 December 2016	0.41 spaces per 100 m ² (3 on-site spaces; 726.25 m ²)
2-16 Northumberland Street PLN16/0435 issued 14 June 2017	0.89 spaces per 100 m ² (135 on-site spaces; 15,300 m ²)

Although lower than the above rates, the proposed office parking rate of 0.30 spaces per 100 square metres of floor space is considered appropriate as the site seeks to minimise car dependency and promote more sustainable forms of transport.

- *Availability of Public Transport in the Locality of the Land.* The following public transport services can be accessed on foot:
 - Smith Street trams – 460 metre walk
 - Victoria Parade trams – 550 metre walk
 - Hoddle Street buses – 450 metre walk
 - Collingwood railway station – 670 metre walk
- *Multi-Purpose Trips within the Area.* Clients and customer to the office might combine their visit by engaging in other activities or business whilst in the area.
- *Convenience of Pedestrian and Cyclist Access.* The site is easily accessible by pedestrians and bicycles.

Appropriateness of Providing Fewer Spaces than the Likely Parking Demand

Clause 52.06 lists a number of considerations for deciding whether the required number of spaces should be reduced. For the subject site, the following considerations are as follows:

- *Availability of Car Parking.* On-street parking in the Collingwood area is very high during business hours. The area surrounding the subject site is blanketed in time based parking restrictions. The high parking demand in the Collingwood area would be a disincentive for visitors, customers or employees to drive.
- *Relevant Local Policy or Incorporated Document.* The proposed development is considered to be in line with the objectives contained in Council's *Strategic Transport Statement*. The site is ideally located with regard to sustainable transport alternatives and the reduced provision of on-site car parking would potentially discourage private motor vehicle ownership and use.

Adequacy of Car Parking

From a traffic engineering perspective, the waiver of parking associated with the proposed office is considered appropriate in the context of the development and the surrounding area. Employees of the office would commute to and from the site using more sustainable forms of transport. The occupation and operation of the site should not adversely impact existing on-street parking conditions in the area.

The Civil Engineering unit has no objection to the reduction in the car parking requirement for this site.

Attachment 3 - Referral Advice Combined

DEVELOPMENT LAYOUT DESIGN

Matt Goodman Architecture Office

Drawing No. TP_007 Revision 01 dated 14 November 2019

Layout Design Assessment

Item	Assessment
Access Arrangements	
Doorway Width	The proposed 5.405 metre wide doorway is considered satisfactory for two B85 design vehicles to enter and exit via Rokeby Street.
Headroom Clearance	Doorway not dimensioned on the drawings.
Car Parking Modules	
Double Garage	The dimensions of the double garage (5.5 metres by 6.0 metres) satisfy <i>Design standard 2: Car parking spaces</i> of Clause 52.06-9.

Design Items to be Addressed

Item	Details
Corner of Building Ground Level Rokeby Street and Robert Street	The north east corner of the new building at Ground Level will be vulnerable to being damaged by turning trucks entering Rokeby Street via Robert Street. The applicant must address this issue before the drawings are endorsed. One suggestion could be to splay the corner of the building (from footpath level to a height of 4.7 metres).

ENGINEERING CONDITIONS

Civil Works

Upon the completion of all building works and connections for underground utility services,

- The south radial at the corner of Robert Street and Rokeby Street must be constructed to cater for truck turning movements from Robert Street into Rokeby Street, to Council's satisfaction and at the Permit Holder's cost. A pram crossing must also be provided at the radial.
- The kerb and channel along the property's Rokeby Street frontage must be reconstructed to Council's satisfaction and at the Permit Holder's cost.
- The footpath along the property's Rokeby Street frontage must be reconstructed to Council's satisfaction and at the Permit Holder's cost. The footpath must have a cross-fall of 1 in 40 or unless otherwise specified by Council.
- The full-width road pavement immediately along the development's Rokeby Street frontage must be profiled and re-sheeted to Council's satisfaction and at the Permit Holder's cost.
- The two existing drainage pit grates outside the property in Rokeby Street are to be replaced with galvanised safety grates to Council's satisfaction and at the Permit Holder's cost.

Redundant Vehicle Crossing

The redundant portion of vehicle crossing fronting Rokeby Street must be demolished and reinstated with paving, kerb and channel to the satisfaction of Council and at the Permit Holder's cost.

Attachment 3 - Referral Advice Combined

New Vehicle Crossing

Before the building is occupied, or by such later date as approved in writing by the Responsible Authority, the new vehicle crossing must be designed and constructed:

- In accordance with any requirements or conditions imposed by Council.
- Demonstrating satisfactory access into and out of the site with a vehicle ground clearance check using the B99 design vehicle, to be fully dimensioned with actual reduced levels (to three decimal places) as per Council's Vehicle Crossing Information Sheet;
- At the Permit Holder's cost; and
- To the satisfaction of Council.

Road Asset Protection

- Any damaged roads, footpaths and other road related infrastructure adjacent to the development site as a result of the construction works, including trenching and excavation for utility service connections, must be reconstructed to Council's satisfaction and at the developer's expense.

Construction Management Plan

- A Construction Management Plan must be prepared and submitted to Council. The Plan must be approved by Council prior to the commencement of works. A detailed dilapidation report should detail and document the existing and post construction conditions of surrounding road infrastructure and adjoining private properties.

Impact of Assets on Proposed Development

- Any services poles, structures or pits that interfere with the proposal must be adjusted, removed or relocated at the owner's expense after seeking approval from the relevant authority.
- Areas must be provided inside the property line and adjacent to the footpath to accommodate pits and meters. No private pits, valves or meters on Council property will be accepted.

Discharge of Water from Development

- Only roof runoff, surface water and clean groundwater seepage from above the water table can be discharged into Council drains.
- Council will not permit clean groundwater from below the groundwater table to be discharged into Council's drainage system. Basements that extend into the groundwater table must be waterproofed/tanked.

Removal, Adjustment, Changing or Relocation of Parking Restriction Signs

- No parking restriction signs or line-marked on-street parking bays are to be removed, adjusted, changed or relocated without approval or authorisation from Council's Parking Management unit and Construction Management branch.
- Any on-street parking reinstated as a result of development works must be approved by Council's Parking Management unit.
- The removal of any kerbside parking sensors and any reinstatement of parking sensors will require the Permit Holder to pay Council the cost of each parking sensor taken out from the kerb/footpath/roadway. Any costs associated with the reinstatement of road infrastructure due to the removal of the parking sensors must also be borne by the Permit Holder.

Attachment 3 - Referral Advice Combined

ADDITIONAL ENGINEERING ADVICE FOR THE APPLICANT

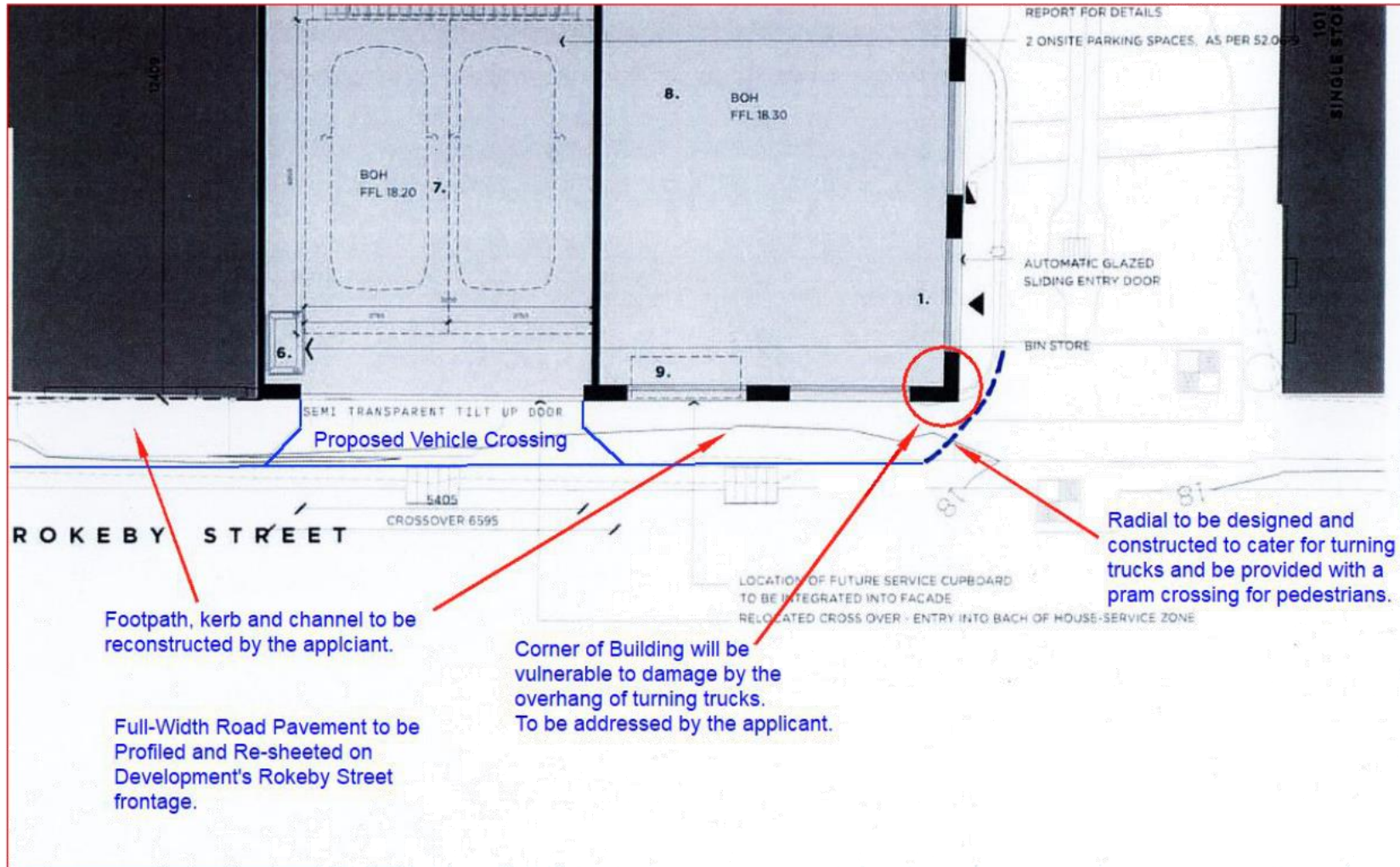
Item	Details
Legal Point of Discharge	The applicant must apply for a Legal Point of Discharge under Regulation 133 – Stormwater Drainage of the <i>Building Regulations</i> 2018 from Yarra Building Services unit. Any storm water drainage within the property must be provided and be connected to the nearest Council pit of adequate depth and capacity (legal point of discharge), or to Council's satisfaction under Section 200 of the <i>Local Government Act</i> 1989 and Regulation 133.



North East Corner of Building will be vulnerable to being damaged by overhang of turning trucks. Applicant needs to address this matter before the drawings are endorsed.

Attachment 3 - Referral Advice Combined

ROKEBY STREET ROAD FRONTAGE OF DEVELOPMENT



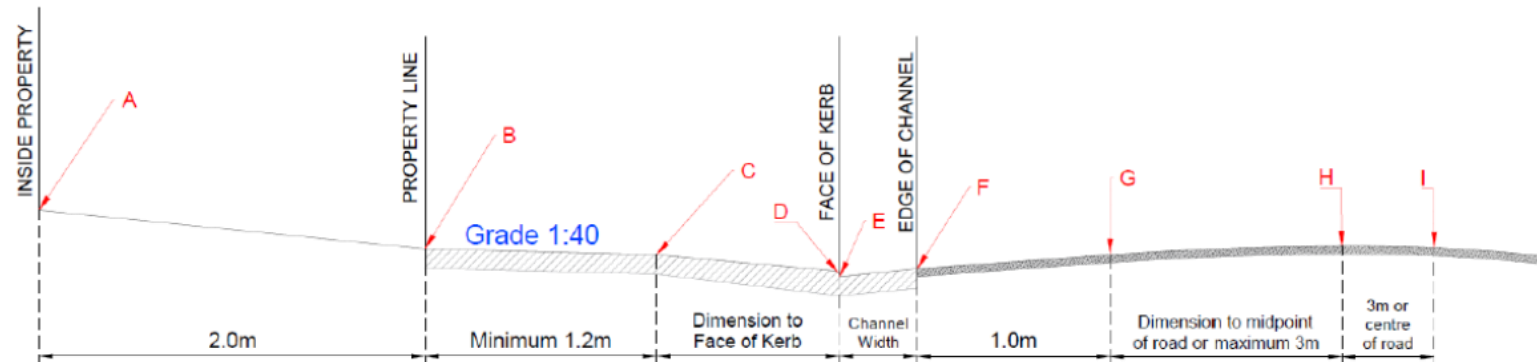
Attachment 3 - Referral Advice Combined

Vehicle Crossing – Cross Section

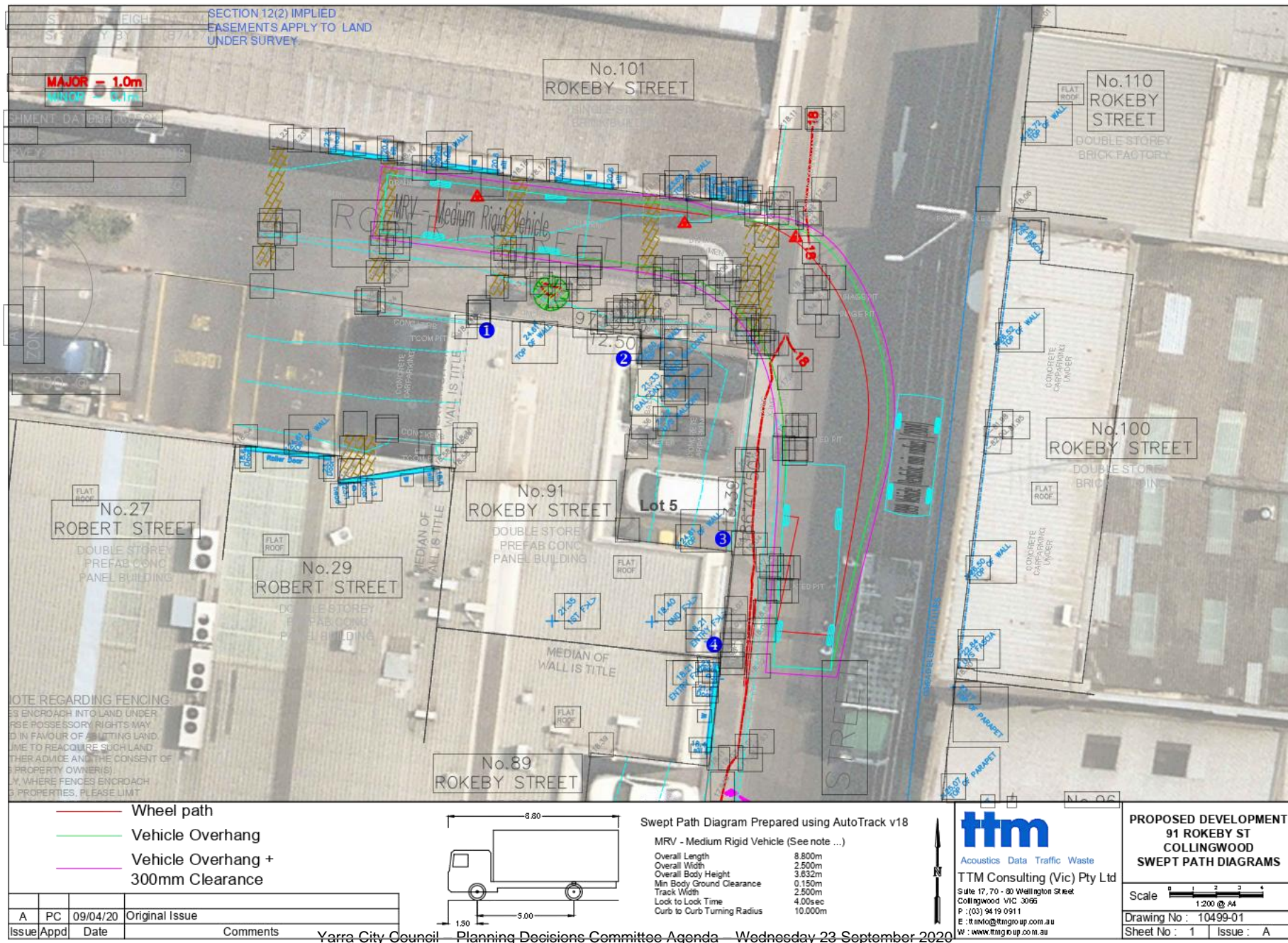


The designer is to submit a 1:20 scale cross section for each proposed vehicle crossing showing the following items:

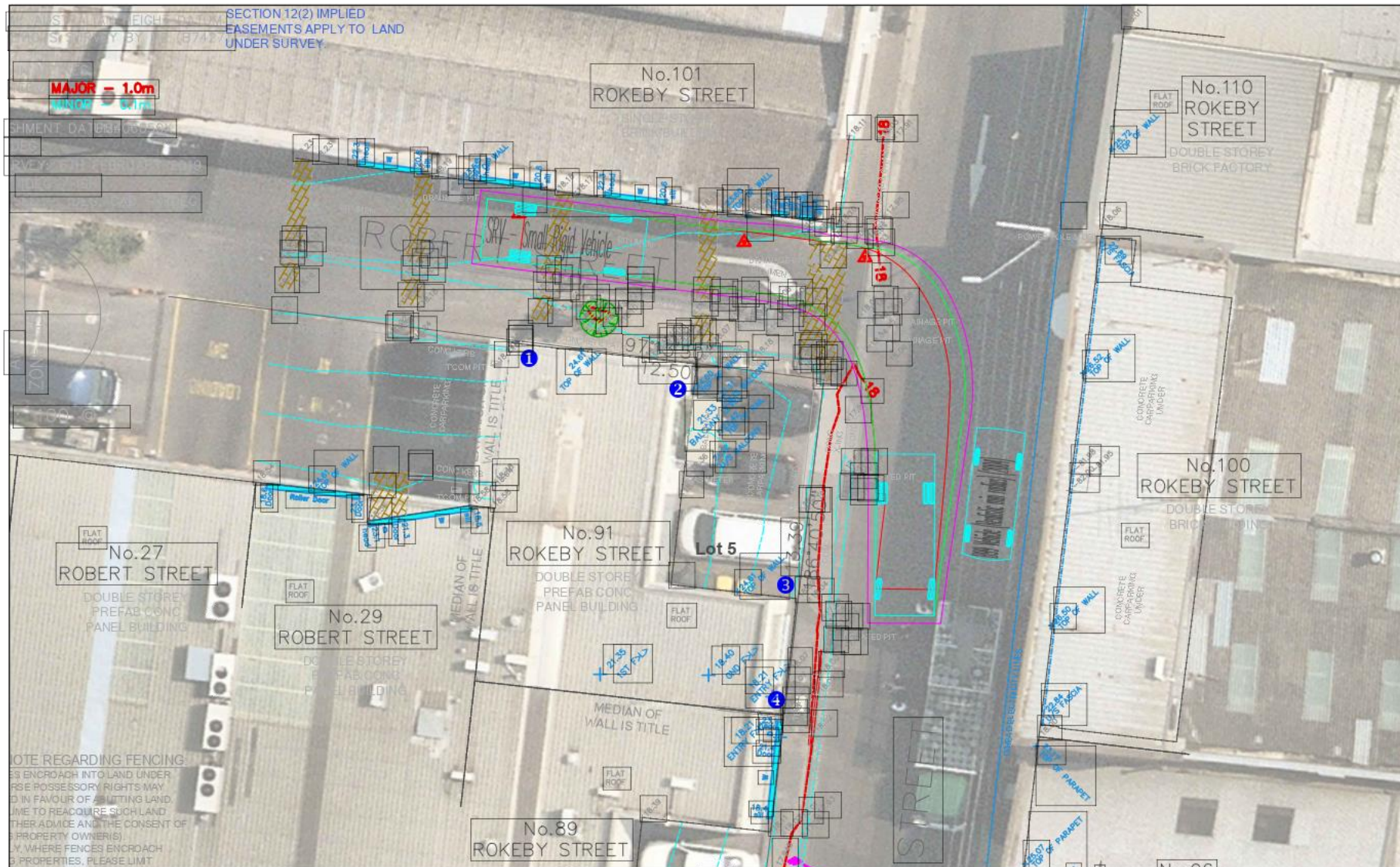
- | | |
|----------------------------------------------------------|--------------------------------------------------|
| A. Finished floor level 2.0 metres inside property | E. Surface level at the bottom of the kerb |
| B. Property line surface level | F. Surface level at the edge of channel |
| C. Surface level at change in grade (if applicable) | G. Road level 1.0 meter from the edge of channel |
| D. Bullnose (max height 60mm) – must be clearly labelled | H., I. Road levels |
- Please note the cross section must be fully dimensioned. As shown in the sketch below.
 - Please show both the existing and proposed surface.
 - The maximum allowable cross-fall between points B and C is 1:40 (2.5%).
 - A bullnose (max 60mm) is permitted at point D, however not compulsory.
 - The levels shown must be exact reduced levels, to three decimal points. Interpolation of levels is not acceptable.
 - The designer must demonstrate that an 85th or 99th percentile vehicle profile can traverse the design cross section as per the Australian/New Zealand Standard ground clearance template (AS/NZS 2890.1:2004).
 - Significant level changes to the existing footpath level B to C will require additional level design either side of the proposed crossing.
 - Please include any additional levels or changes in grade that are not shown in the diagram.



Attachment 3 - Referral Advice Combined



Attachment 3 - Referral Advice Combined



<div><div></div>Wheel path</div> <div><div></div>Vehicle Overhang</div> <div><div></div>Vehicle Overhang + 300mm Clearance</div>				<div><div><div><div></div><div></div><div></div></div><div><div></div><div></div><div></div></div></div><div><div>6.40m</div></div></div> <div><div>Swept Path Diagram Prepared using AutoTrack v18</div><div><div>SRV - Small Rigid Vehicle</div><div><div>Overall Length6.400m</div><div>Overall Width2.300m</div><div>Overall Body Height2.800m</div><div>Min Body Ground Clearance0.380m</div><div>Track Width2.300m</div><div>Lock to Lock Time4.00sec</div><div>Curb to Curb Turning Radius7.100m</div></div></div></div> <div><div><div><div></div><div></div><div></div></div><div><div></div><div></div><div></div></div></div><div><div></div></div></div> <div><div>1.05m</div><div>3.80m</div></div> <div><div><div><div></div><div></div><div></div></div><div><div></div><div></div><div></div></div></div><div><div></div></div></div> <div><div></div></div> <div><div>TTM Consulting (Vic) Pty Ltd</div><div><div>Acoustics Data Traffic Waste</div><div>Suite 17, 70 - 80 Wellington Street</div><div>Collingwood VIC 3066</div><div>P : (03) 94 19 0911</div><div>E : ttm@ttmgroup.com.au</div><div>W : www.ttmgroup.com.au</div></div></div> <div><div><div>PROPOSED DEVELOPMENT</div><div>91 ROKEBY ST</div><div>COLLINGWOOD</div><div>SWEPT PATH DIAGRAMS</div></div><div><div>Scale</div><div><div>01234</div><div>1:200 @ A4</div></div></div><div><div>Drawing No : 10499-01</div><div>Sheet No : 2 Issue : A</div></div></div>			
----------------------------------------------------------------------------------------------------------------------------------	--	--	--	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--	--	--

A	PC	09/04/20	Original Issue		
Issue/Appd	Date		Comments	Yarra City Council	Planning Decisions Committee Agenda - Wednesday 23 September 2020

Issue	Appd	Date	Comments
A	PC	09/04/20	Original Issue

Attachment 3 - Referral Advice Combined

From: Pisani, Mark
Sent: Tuesday, 12 May 2020 11:04 AM
To: Theodosakis, John <John.Theodosakis@yarracity.vic.gov.au>
Subject: RE: 91 Rokeby Street, Collingwood

Hi John

There is no objection to the relocation/repositioning of the bollard on the south side of Robert Street (north east corner of site). The new location of the bollard should be determined before works commence on the site.

The concrete bollard on the north side of Robert Street must remain in its position as this was originally installed to protect the building at 10 Rokeby Street.

Regards
Mark

Mark Pisani
Senior Development Engineer
Traffic and Civil Engineering

PO BOX 168 Richmond VIC
T (03) 9205 5746
E mark.pisani@yarracity.vic.gov.au
W yarracity.vic.gov.au
Follow us on [Facebook](#), [Instagram](#) and [Twitter](#)



Yarra City Council acknowledges the Wurundjeri as the Traditional Owners of this country, pays tribute to all Aboriginal and Torres Strait Islander people in Yarra, and gives respect to the Elders past and present.

From: Theodosakis, John
Sent: Tuesday, 12 May 2020 10:42 AM
To: Pisani, Mark <Mark.Pisani@yarracity.vic.gov.au>
Subject: FW: 91 Rokeby Street, Collingwood

Hi Mark,

Hope this email finds you well.

Can I please get you to review the feedback/ response below.

Attachment 3 - Referral Advice Combined

I think pending on your response this will determine the outcome of my recommendation.

Many thanks in advance,

John

John Theodosakis
Principal Statutory Planner

STATUTORY PLANNING
City of Yarra PO BOX 168 Richmond VIC 3121
T: (03) 9205 5307 F: (03) 8417 6666
E: John.Theodosakis@yarracity.vic.gov.au W: www.yarracity.vic.gov.au

ABN 98 394 086 520

Follow us on [Facebook](#), [Instagram](#) and [Twitter](#)



Yarra City Council acknowledges the Wurundjeri Woi Wurrung as the Traditional Owners of this country, pays tribute to all Aboriginal and Torres Strait Islander people in Yarra, and gives respect to the Elders past and present.

From: Gintaras Simkus [<mailto:gintaras@directplanning.com.au>]
Sent: Thursday, 16 April 2020 3:08 PM
To: Theodosakis, John <John.Theodosakis@yarracity.vic.gov.au>
Cc: Matt Goodman <matt@mgao.com.au>
Subject: 91 Rokeby Street, Collingwood

G'day John,

I hope you are well at this point in time.

I for one am still adjusting to having everyone home at the same time, ALL THE TIME. :0

Just in terms of the questions posed by your internal referral comments.

Urban Design

I cant see us changing the building design given the approval for next door. I have also read the urban design comments in the officer's report (89 Rokeby) and the current comments for our proposal and they are quite inconsistent, particularly as only 6 months has passed.

Attachment 3 - Referral Advice Combined

Furthermore, the UD reasons for a reduction in the podium and increased setback do not stem from any policy outcome sought by the DDO schedule, particularly as Clause 3.0 to the schedule are 'should' requirements not 'must'. Clause 2.0 Design Objectives obviously seek to protect '*existing pockets of residential development*.' That does not apply in this instance. We do not believe the extent of afternoon shadow on the eastern footpath of Rokeby Street to be of such an extent that it requires reduced podium height and increased setbacks, certainly not when you consider the extent of taller buildings that have been approved and are being constructed within the context the immediate area.

We rely on our urban design advice submitted with the application, but, as always, are open to discuss further if you think it appropriate.

Traffic

We enclosed turning circles prepared by TTM. As discussed with you, given the overly wide Robert street intersection with Rokeby Street, the building does not need to be adjusted and the relocation of the bollard would greatly assist the concerns raised by Council's traffic engineers.



Heritage

In terms of the Heritage comments, my clients are willing to remove the skeletal frame from the design. The image below shows it's deletion. This may also assist Council's UD comments given the lighter weight upper section of the building, noting the five (5) storey podium is consistent with the built form approved with No.89 Rokeby.

Trust this info assists you with your current assessment.

Attachment 3 - Referral Advice Combined

Please call if you have any questions, and also let's have a quick chat in terms of progressing to the next stage. Given COVID - 19 do I assume consult meetings are off the agenda for the moment??

Yours faithfully,

Gintaras Simkus

Direct Planning
P.O. Box 5010
Alphington VIC 3078
Mobile 0439 330 583
ABN 95 780 935 896

This email (including any attachments) contains information which is confidential and may be subject to legal privilege. If you are not the intended recipient you must use, distribute or copy this email. If you have received this email in error, please notify the sender immediately and delete this email. Any views expressed in this email are not necessarily the views of Direct Planning management.

Attachment 3 - Referral Advice Combined

From: Athanasi, Atha
Sent: Friday, 31 January 2020 10:10 AM
To: Theodosakis, John <John.Theodosakis@yarracity.vic.gov.au>
Subject: RE: Referral -Planning application No. PLN19/0570 - Development of the land with a 13-storey building.

Hi John,

The waste management plan for 91 Rokeby Street, Collingwood authored by Frater Consulting Services and dated 10/9/19 is not satisfactory from a City Works branch's perspective.

Issues to be rectified include, but may not be limited to the following:

1. The waste storage area must be screened if located outdoors.
2. Please identify hard waste storage area within the bin storage area.
3. Please identify E waste storage area within the bin storage area.
4. Please detail the total space of the waste storage area.
5. A clause must be included in the plan regarding potential review into the service if operational requirements change.

Regards,

Atha Athanasi
Contract Management Officer

City Works Services
Parks, Resource Recovery, Cleansing

City of Yarra – City Works Depot
168 Roseneath St CLIFTON HILL VIC 3068
T (03) 9205 5547 F (03) 8417 6666
Atha.Athanasi@yarracity.vic.gov.au
www.yarracity.vic.gov.au



From: Theodosakis, John
Sent: Tuesday, 14 January 2020 3:56 PM
To: Engineering Referral Unit <EngineeringReferralUnit@yarracity.vic.gov.au>; Urban Design Unit <UrbanDesignUnit@yarracity.vic.gov.au>; Athanasi, Atha <Atha.Athanasi@yarracity.vic.gov.au>; Wearne, Julian <Julian.Wearne@yarracity.vic.gov.au>
Subject: RE: Referral -Planning application No. PLN19/0570 - Development of the land with a 13-storey building.

Attachment 3 - Referral Advice Combined

Dear all,

I have an application for:

Demolition of the existing building to allow for the development of the land with a seven-storey office building (plus roof terrace) and a reduction in the car parking requirement of the Yarra Planning Scheme.

And would like to get your comments from your perspective with regard to your areas of expertise.

The relevant attachments can be found in CM as per:

 D20/3223	  PLN19/0707 - 91 Rokeby Street Collingwood - S52 Advertising Response to RFI
 D20/3221	  PLN19/0707 - 91 Rokeby Street Collingwood - S52 Advertising Urban Design Memo
 D20/3218	  PLN19/0707 - 91 Rokeby Street Collingwood - S52 Advertising Plans
 D20/3217	  PLN19/0707 - 91 Rokeby Street Collingwood - S52 Advertising Waste Management Plan
 D20/3215	  PLN19/0707 - 91 Rokeby Street Collingwood - S52 Advertising ESD Report
 D20/3214	  PLN19/0707 - 91 Rokeby Street Collingwood - S52 Advertising Traffic Impact Assessment Report
 D20/3212	  PLN19/0707 - 91 Rokeby Street Collingwood - S52 Advertising Town Planning Report Part 2
 D20/3211	  PLN19/0707 - 91 Rokeby Street Collingwood - S52 Advertising Town Planning Report Part 1
 D20/3210	  PLN19/0707 - 91 Rokeby Street Collingwood - S52 Advertising Certificate of Title and Title Plan
 D20/3208	  PLN19/0707 - 91 Rokeby Street Collingwood - S52 Advertising Application Form

If you have any queries or require any additional info, please let me know sooner than later as I'll be on leave as of 19th Jan and won't be returning until 17th Feb.

Kind Regards,

John

John Theodosakis
Principal Statutory Planner

City of Yarra PO BOX 168 Richmond VIC 3121
T: (03) 9205 5307 F: (03) 8417 6666
E: John.Theodosakis@yarracity.vic.gov.au W: www.yarracity.vic.gov.au

Attachment 3 - Referral Advice Combined

City of Yarra Heritage Advice

Application No.: PLN19/0707

Address: Nos. 91 Rokeby Street, Collingwood

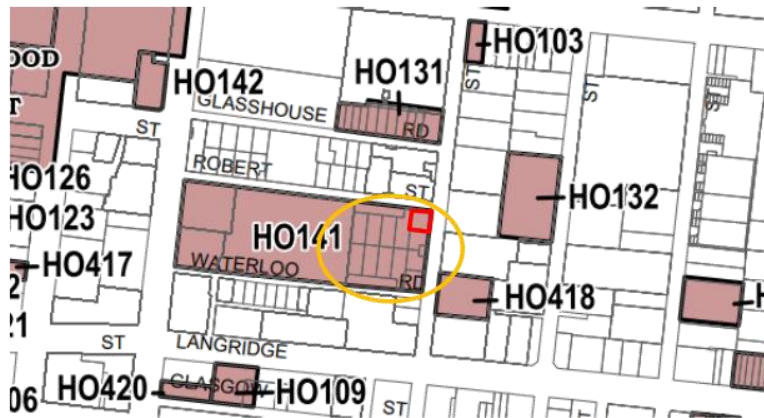
Planner: John Theodosakis

Yarra Planning Scheme References: Clauses 43.01, 21.05 and 22.02

Heritage Overlay No.: Part of HO 141, the Former Yorkshire Brewery at 1-21 Robert Street & 88 Wellington Street. Collingwood and which is on the *Victorian Heritage Register* as H807. This is confirmed by the Planning Property Report.

Level of significance:

No. 91 Rokeby Street Collingwood is not listed in Appendix 8, *City of Yarra Review of Heritage Overlay Areas 2007*. Rev. May 2018 (*Incorporated Document*). The subject building has no heritage significance and neither do any of the buildings circled below. They are all precast concrete slab buildings.



The Heritage Overlay Map showing HO 141 which is the Yorkshire Brewery. The subject site is indicated in red.

Proposal

Demolition of the existing building and construction of a 7 storey building.

Drawing Numbers

29 pages of town planning drawings, prepared by Matt Goodman Architecture Office and with Council date stamp 22 Nov, 2019.

Attachment 3 - Referral Advice Combined

Assessment of Proposed Works

Context

The immediate context of the site is non-heritage. Apart from the actual Yorkshire Brewery Brew Tower to the west and separated by high apartments on the eastern part of that site which was occupied by the silos, and other non-heritage buildings, the nearest heritage building to the south is HO418 which is the Ideal Box Co. Factory at No. 90-94 Rokeby Street, Collingwood. The nearest heritage building to the north is HO 131 the Former United Tannery and Boot Factory at No. 112A Rokeby Street, Collingwood. Both buildings are face brick. Otherwise generally in Rokeby Street there are recent industrial buildings, mainly single- or double storey, most constructed from pre-cast concrete and some from corrugated steel and some with glazed display windows. Robert Street contains red brick and pre-cast concrete buildings. In various nearby parts of Collingwood, e.g. corners of Langridge and Wellington Streets and Wellington Street a number of recent buildings have been constructed up to 13 storeys and probably higher, including on the Yorkshire Brewery site.



Figure 1 The subject site with the tall apartments on the Yorkshire Brewery site in the background.

Demolition

While included in the curtilage of the Yorkshire Brewery site, the subject building has no heritage value and could be demolished.

Proposed works

Height/Setbacks

In terms of height, the immediate context of the site is dominated by the tall buildings on the Yorkshire Brewery site and in the context described above, there are sufficient precedents of taller buildings in this part of Collingwood than is proposed on this site. The proposed building is acceptable in terms of height and setbacks.

Attachment 3 - Referral Advice Combined

Colours/Materials

The choice of red brick as one element in the visible façades is an acceptable response to the industrial nature of the immediate area and the red brick buildings in the immediate streetscape. However, BR on the Materials Schedule is annotated "Krause Bricks 'Grampian Blue - Light Blend' Red Brick/Brick Slip Façade - Colour to Reference Local Redbrick Factories". The bricks are illustrated as red so the reference to "Grampian Blue" is not clear.

MT1: Corten Metal Screen is proposed for the spandrels. While the street has an industrial nature there is nothing which has a "rusted" appearance and in this context the Corten steel is out-of-keeping. There is an unfortunate example of a similar use of Corten steel for spandrels in Church Street, Richmond which is unsightly. Delete the Corten steel and prefer red brick.

MT2: is shown on the elevation but it is not in the Materials Schedule. Clarify what it is and where it is proposed. If it is Corten steel then it is not acceptable.

FB: It is also proposed to use external shade screens in red fabric over the window glazing. The result will be a visually solid sheer vertical box as demonstrated by the perspectives. There is already one unfortunate example of a sheer box, albeit in precast slab, in the nearby context – refer to Fig. 7. While the industrial buildings in the immediate area are of a solid appearance, compared with say residential buildings, their external walls are relieved by windows of varying numbers and dimensions which enable a feeling of 3-dimensionality. Similar screens in Yarra are typically metal and experience has shown that they are left closed more often than open thus presenting a formidable, visually impenetrable and alien element to the street. The proportions of the façade design and its fenestration are comfortable, possibly elegant, and they should be emphasised rather than camouflaged or made less apparent. If sunshades are required then another treatment is preferred e.g. heat resistant/performance glazing, shrouds or internal heat reflective blinds.

Landscaping

Given that this is an important element of the roof area as viewed from the public realm, there should be an Incorporated Landscape Plan or similar, to ensure that it is maintained to a standard as indicated in the design.

Recommendation / Comments:

Approved subject to the following changes and clarifications.

Clarify the reference to "Grampian Blue" bricks.

Delete the Corten steel and prefer red brick.

Clarify what MT2 is and where it is proposed. If it is Corten steel then it is not acceptable.

Delete the external shade screens in red fabric over the window glazing and prefer an alternative treatment if sunshades are required e.g. heat resistant/performance glazing, shrouds or internal heat reflective blinds.

Include an Incorporated Landscape Plan or similar.

Signed:



Attachment 3 - Referral Advice Combined

Robyn Riddett

Director – Anthemion Consultancies

Date: 5 Apr. 2020.



Figure 2 Looking north along Rokeby Street – the subject site is on the left.



Figure 3 The north-west corner of Robert and Rokeby Streets, Collingwood, opposite the subject site.

Attachment 3 - Referral Advice Combined



Figure 4 The abutting site to the west in Robert Street.



Figure 5 HO 131: the Former United Tannery and Boot Factory, 112A Rokeby Street, Collingwood.

Attachment 3 - Referral Advice Combined



Figure 6 HO418: the Ideal Box Co. Factory, 90-94 Rokeby Street, Collingwood.



Figure 7 A sheer box in Wellington Street south of the Former William Peatt Boot Factory (HO 109) at 55 Langridge Street, Collingwood.

Attachment 3 - Referral Advice Combined



MeMO

TO: John Theodosakis
cc:
FROM: Euan Williamson, ESD Advisor
DATE: 8.09.2020
SUBJECT: 91 Rokeby Street Cremorne

John,

I have reviewed the SMP and amended plans for the office development at 91 Rokeby Street Cremorne, PLN19/0707. The standard proposed falls just short of demonstrating best practice in ESD, required by local policy, but with a few minor improvements this project can get there.

The following key ESD features have been proposed:

- 10% improvement in the NCC energy efficiency requirements
- Energy efficient heating, cooling, hotwater and lighting
- Good daylight throughout the building
- 3,000 litres of rainwater storage
- Water efficient taps and fixtures
- 12 bicycle parking spaces and end-of-trip facilities
- Landscaping and communal open space to rooftop and balcony

The following deficiencies have been identified and are recommended for inclusion as a condition on permit:

- No natural ventilation. Recommend operable glazing elements to all office areas to enable natural ventilation and to enable mixed mode ventilation by controlling heating/cooling system via reed switches or similar on openings.
- No external shading and considerable exposed glazing to east and northerly facades. Recommend an operable external shading element to assist with glare control and summer solar heat gain. Consider reinstating external framework façade feature (removed from original design) to mount shading system on.

The following items require further information, and should be included as a condition on permit:

- Please mark the location and volume, toilet connections of rainwater tank on the plans.
- Please note the location of end-of-trip facilities on the plans.

The following recommendations have been made to enhance the ESD performance of this project:

- Install solar PV panels on the lift overrun / services roof, and consider a pergola mounted solar PV array to contribute to onsite electricity consumption and give some shelter to the roof deck garden area.
- Recommend electric vehicle charging infrastructure to car parking spaces.
- Commit to offsite renewable energy purchasing for all electricity consumption for the life of the building.
- Consider heat pump or instantaneous electric hotwater and remove natural gas connection to the building.
- Recommend a larger rainwater tank and increased number of toilet connections to all connections in the building. Size rainwater to ensure a minimum 80% reliability for toilet flushing to all toilets.

If you or the applicant would like to discuss my comments or recommendations, please don't hesitate to contact me.

Attachment 3 - Referral Advice Combined

Euan.

Euan Williamson

Environmentally Sustainable Development Advisor

City of Yarra PO Box 168 Richmond 3121

T (03) 9205 5366 **F** (03) 8417 6666

E euan.williamson@yarracity.vic.gov.au

W www.yarracity.vic.gov.au