

Attachment 1 - PLN13/1039.01 - 29 Brighton Street, Richmond - Subject Site

29 Brighton Street, Richmond



Attachment 2 - PLN13/1039 - 29 Brighton Street Richmond - Current Planning Permit

Helping you understand your planning needs



PLANNING PERMIT

Permit No: PLN13/1039

Planning Scheme: Yarra

Responsible Authority: City Of Yarra

COPY

ADDRESS OF THE LAND:

29 Brighton St Richmond VIC 3121

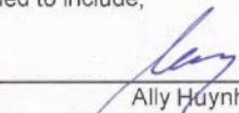
THE PERMIT ALLOWS:

Full demolition of the existing dwelling, construction of two double-storey dwellings, plus basements and roof terraces and a reduction in the car parking requirement.

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

1. Before the development commences, amended plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plans will be endorsed and will then form part of this permit. The plans must be drawn to scale with dimensions and three copies must be provided. The plans must be generally in accordance with the decision plans but modified to show:
 - a. The external first-floor privacy screens on the north elevation of both dwellings to be deleted and replaced either with screening flush to the windows or opaque glazing to a height of 1.7m above the finished floor level. The transparency of these screens must be no greater than 25% and compliant with Standard B22 of the Scheme.
 - b. Privacy screens or opaque glazing to a height of 1.7m above the finished floor level must be provided to the first-floor north-facing kitchen windows and internal east and west-facing dining-room windows of both dwellings. The transparency of these screens must be no greater than 25% and compliant with Standard B22 of the Scheme.
 - c. A fence with a minimum height of 1.7m to be constructed within the ground level courtyard, to separate the dwellings.
 - d. Delete the roof terraces from both units 1 and 2.
 - e. The first-floor façade (east wall) of dwelling 2 to be setback 4.0 metres from the eastern boundary to project no further forward than the property at 31 Brighton Street.
 - f. The location of all proposed mechanical equipment, with this equipment to be located so as to reduce amenity impacts to adjacent sites and to be screened from Brighton Street.
 - g. All of the relevant plans and elevations amended to include;

Date: 21 July 2015


Ally Huynh
Signature for the Responsible Authority

Planning and Environment Regulations 2015 No. 33/2015 Form 4 Sections 63, 64 64A and 86

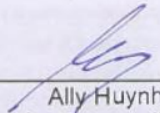
Page 1 of 3

For more information call 9205 5555 or visit www.yarracity.vic.gov.au

Attachment 2 - PLN13/1039 - 29 Brighton Street Richmond - Current Planning Permit

- i. The correct notation for FT1 – '1.5m high timber pickets with gate and red face brick piers'.
 - ii. The retention of the southern half of the chimney associated with No. 31 Brighton Street.
 - h. The design of the east boundary pedestrian gate amended to provide a minimum degree of permeability of 25%, to the satisfaction of the Responsible Authority.
 - i. A notation to confirm that a minimum of 6 cubic metres of storage is provided for each dwelling.
 - j. The removal of the tree within the site to the north. If approval to remove this tree is not given by the owner of this site, the methods outlined within the Arborist Report to minimise damage to this tree must be undertaken or the design of dwelling 2 must be altered, with a Tree Management Plan to be submitted in accordance with Condition 3 to outline how this will occur.
2. The development as shown on the endorsed plans must not be altered (unless the Yarra Planning Scheme specifies that a permit is not required) without the prior written consent of the Responsible Authority.
 3. Before the development commences (if the Sweet Pittosporum is to be retained), a Tree Management Plan to the satisfaction of the Responsible Authority must be prepared by a suitably qualified Arborist and must be submitted to and approved by the Responsible Authority. When approved the Tree Management Plan will be endorsed and will form part of this permit. The Tree Management Plan must make recommendations for:
 - a. the protection of the Sweet Pittosporum within the site to the north;
 - i. pre-construction;
 - ii. during construction; and
 - iii. post construction
 - b. the provision of any barriers;
 - c. any pruning necessary; and
 - d. watering and maintenance regimes;
 to the satisfaction of the Responsible Authority.
 4. The provisions, recommendations and requirements of the endorsed Tree Management Plan must be complied with and implemented to the satisfaction of the Responsible Authority.
 5. The provisions, recommendations and requirements of the endorsed Sustainable Design Assessment must be implemented and complied with to the satisfaction of the Responsible Authority.
 6. Before the buildings are occupied, or by such later date as approved in writing by the Responsible Authority, all screening and other measures to prevent overlooking as shown on the endorsed plans must be installed to the satisfaction of the Responsible Authority. Once installed the screening and other measures must be maintained to the satisfaction of the Responsible Authority.
 7. Before the buildings are occupied, or by such later date as approved in writing by the Responsible Authority, external lighting capable of illuminating access to the dwelling entrances must be provided. Lighting must be:
 - a. located;
 - b. directed;
 - c. shielded; and
 - d. of limited intensity,
 to the satisfaction of the Responsible Authority.

Date: 21 July 2015


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 Signature for the Responsible Authority

Attachment 2 - PLN13/1039 - 29 Brighton Street Richmond - Current Planning Permit

8. Before the buildings are occupied, or by such later date as approved in writing by the Responsible Authority, any damage to Council infrastructure resulting from the development must be reinstated:
 - a. at the permit holder's cost; and
 - b. to the satisfaction of the Responsible Authority.
9. Before the buildings are occupied, or by such later date as approved in writing by the Responsible Authority, all new on-boundary walls must be cleaned and finished to the satisfaction of the Responsible Authority.
10. Except with the prior written consent of the Responsible Authority, Council assets must not be altered in any way.
11. Except with the prior written consent of the Responsible Authority, demolition or construction works must not be carried out:
 - a. before 7.00 am or after 6.00 pm, Monday-Friday (excluding public holidays);
 - b. before 9.00 am or after 3.00 pm, Saturdays and public holidays (other than ANZAC Day, Christmas Day and Good Friday); or
 - c. at any time on Sundays, ANZAC Day, Christmas Day and Good Friday.
12. This permit will expire if:
 - a. the development is not commenced within two years of the date of this permit; or
 - b. the development is not completed within four years of the date of this permit.

The Responsible Authority may extend the periods referred to if a request is made in writing before the permit expires or within six months afterwards for commencement or within twelve months afterwards for completion.

Notes:


A building permit may be required before development is commenced. Please contact Council's Building Services on 9205 5095 to confirm.

This site is subject to a Heritage Overlay. A planning permit may be required for any external works.

All future residents residing within the development approved under this permit will not be permitted to obtain resident or visitor parking permits.

Provision must be made for drainage of the site to a legal point of discharge. Please contact Council's Building Services on 9205 5095 for further information.

Date: 21 July 2015


Ally Huynh
Signature for the Responsible Authority

Attachment 2 - PLN13/1039 - 29 Brighton Street Richmond - Current Planning Permit

PLANNING PERMIT

IMPORTANT INFORMATION ABOUT THIS PERMIT

WHAT HAS BEEN DECIDED?

The Responsible Authority has issued a permit.

(Note: This is not a permit granted under Division 5 or 6 of Part 4 of the **Planning and Environment Act 1987**.)

WHEN DOES A PERMIT BEGIN?

A permit operates:

- from the date specified in the permit; or
- if no date is specified, from—
 - (i) the date of the decision of the Victorian Civil and Administrative Tribunal, if the permit was issued at the direction of the Tribunal; or
 - (ii) the date on which it was issued, in any other case.

WHEN DOES A PERMIT EXPIRE?

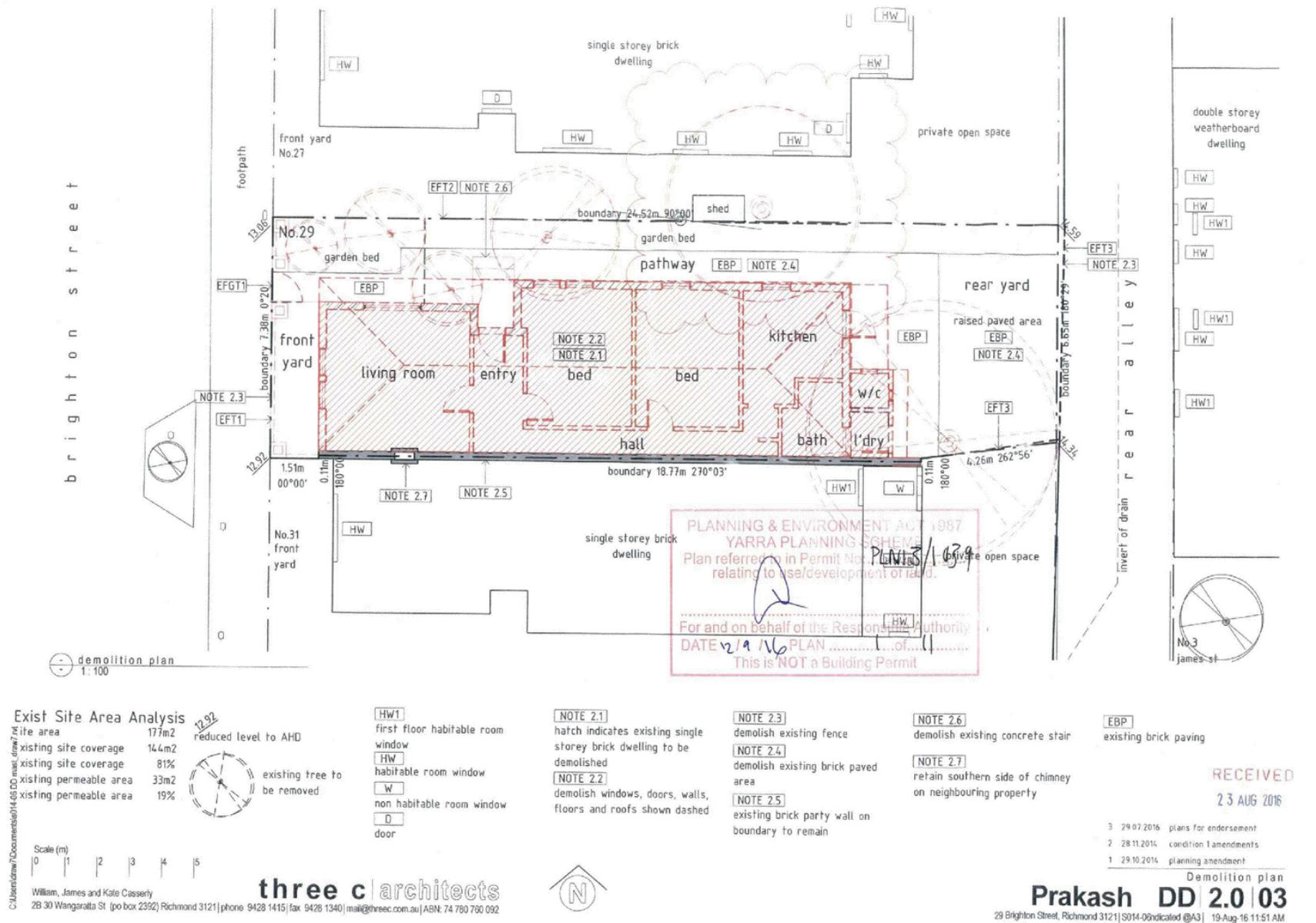
1. A permit for the development of land expires if—
 - the development or any stage of it does not start within the time specified in the permit; or
 - the development requires the certification of a plan of subdivision or consolidation under the Subdivision Act 1988 and the plan is not certified within two years of the issue of the permit, unless the permit contains a different provision; or
 - the development or any stage is not completed within the time specified in the permit, or, if no time is specified, within two years after the issue of the permit or in the case of a subdivision or consolidation within 5 years of the certification of the plan of subdivision or consolidation under the **Subdivision Act 1988**.
2. A permit for the use of land expires if—
 - the use does not start within the time specified in the permit, or if no time is specified, within two years after the issue of the permit; or
 - the use is discontinued for a period of two years.
3. A permit for the development and use of land expires if—
 - the development or any stage of it does not start within the time specified in the permit; or
 - the development or any stage of it is not completed within the time specified in the permit, or, if no time is specified, within two years after the issue of the permit; or
 - the use does not start within the time specified in the permit, or, if no time is specified, within two years after the completion of the development; or
 - the use is discontinued for a period of two years.
4. If a permit for the use of land or the development and use of land or relating to any of the circumstances mentioned in section 6A(2) of the **Planning and Environment Act 1987**, or to any combination of use, development or any of those circumstances requires the certification of a plan under the **Subdivision Act 1988**, unless the permit contains a different provision—
 - the use or development of any stage is to be taken to have started when the plan is certified; and
 - the permit expires if the plan is not certified within two years of the issue of the permit.
5. The expiry of a permit does not affect the validity of anything done under that permit before the expiry.

WHAT ABOUT REVIEWS?

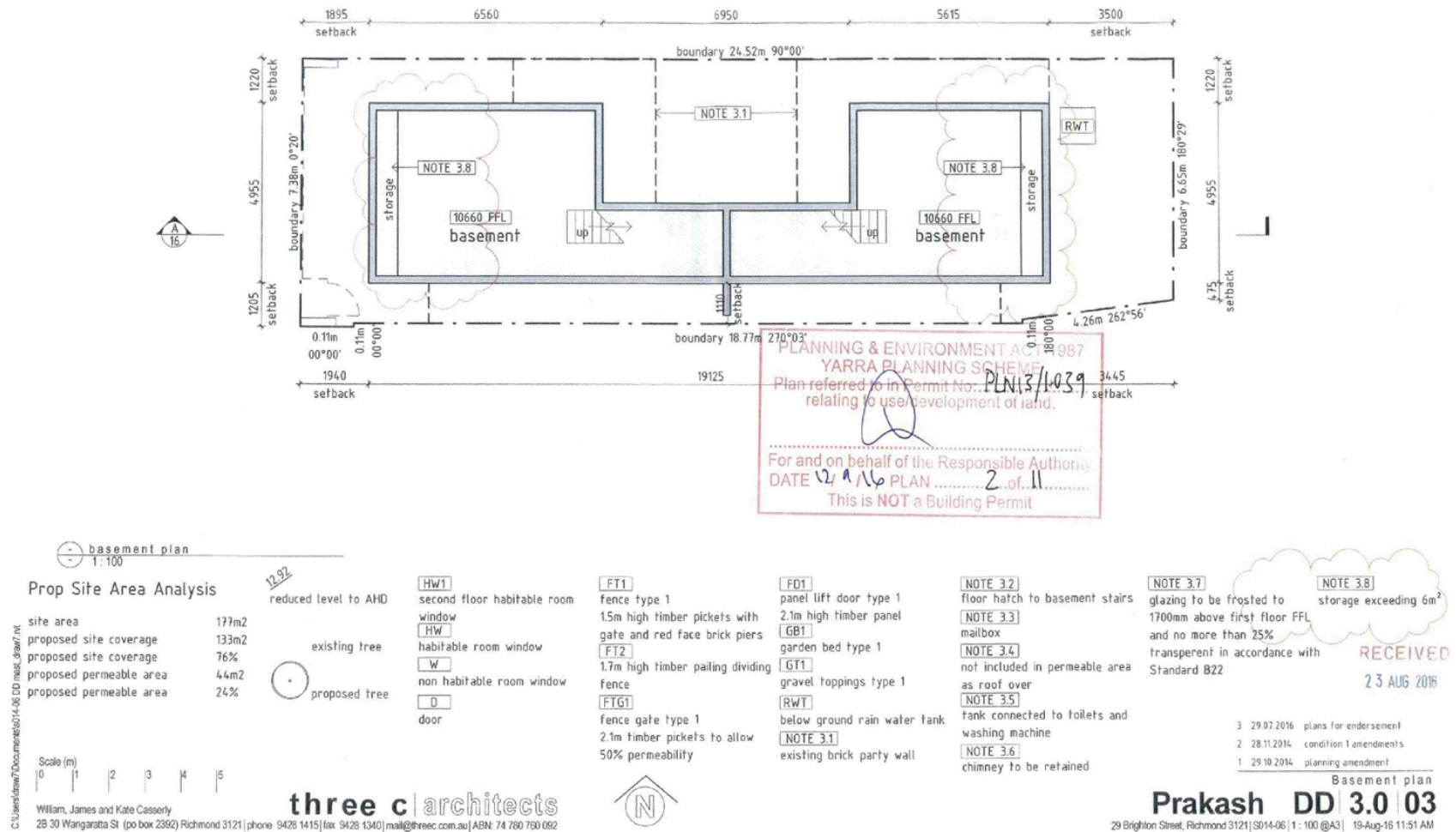
- The person who applied for the permit may apply for a review of any condition in the permit unless it was granted at the direction of the Victorian Civil and Administrative Tribunal, in which case no right of review exists.
- An application for review must be lodged within 60 days after the permit was issued, unless a notice of decision to grant a permit has been issued previously, in which case the application for review must be lodged within 60 days after the giving of that notice.
- An application for review is lodged with the Victorian Civil and Administrative Tribunal.
- An application for review must be made on relevant form which can be obtained from the Victorian Civil and Administrative Tribunal, and be accompanied by the applicable fee.
- An application for review must state the grounds upon which it is based.
- A copy of an application for review must be served on the responsible authority.
- Details about applications for review and the fees payable can be obtained from the Victorian Civil and Administrative Tribunal.

Planning and Environment Regulations 2015 No. 33/2015 Form 4 Sections 63, 64, 64A and 86

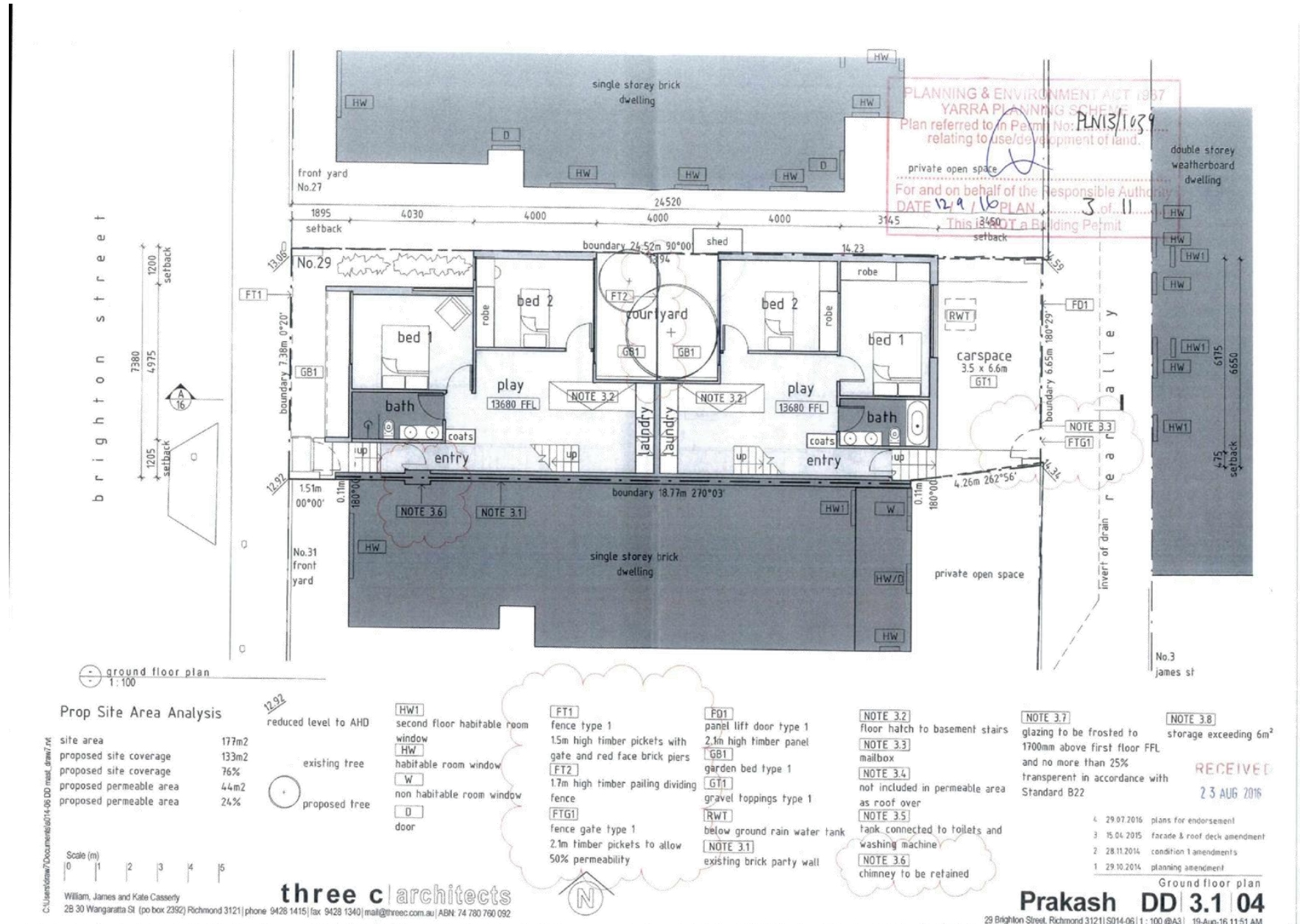
Attachment 3 - PLN13/1039 - 29 Brighton Street Richmond - Current Endorsed Plans



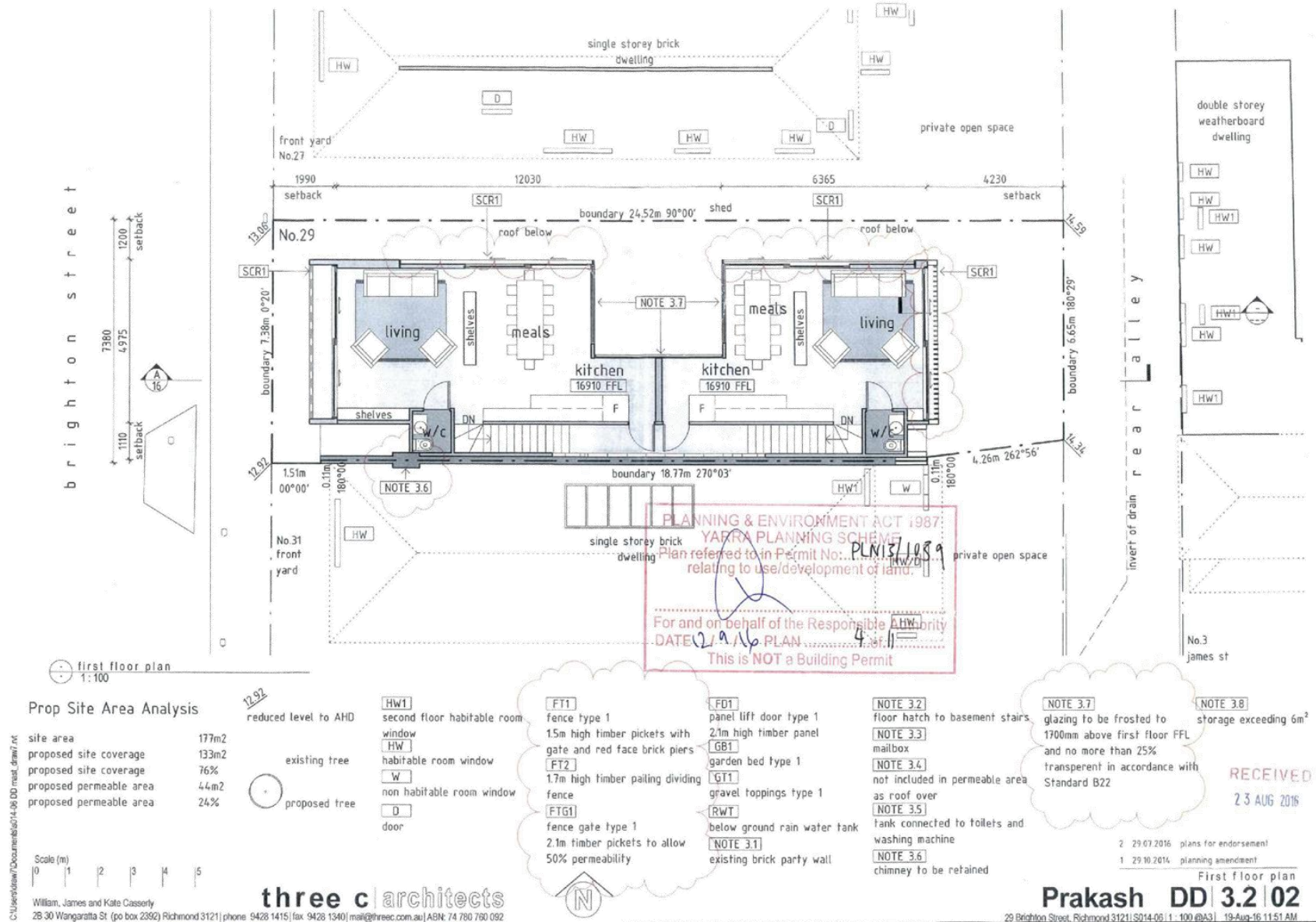
Attachment 3 - PLN13/1039 - 29 Brighton Street Richmond - Current Endorsed Plans



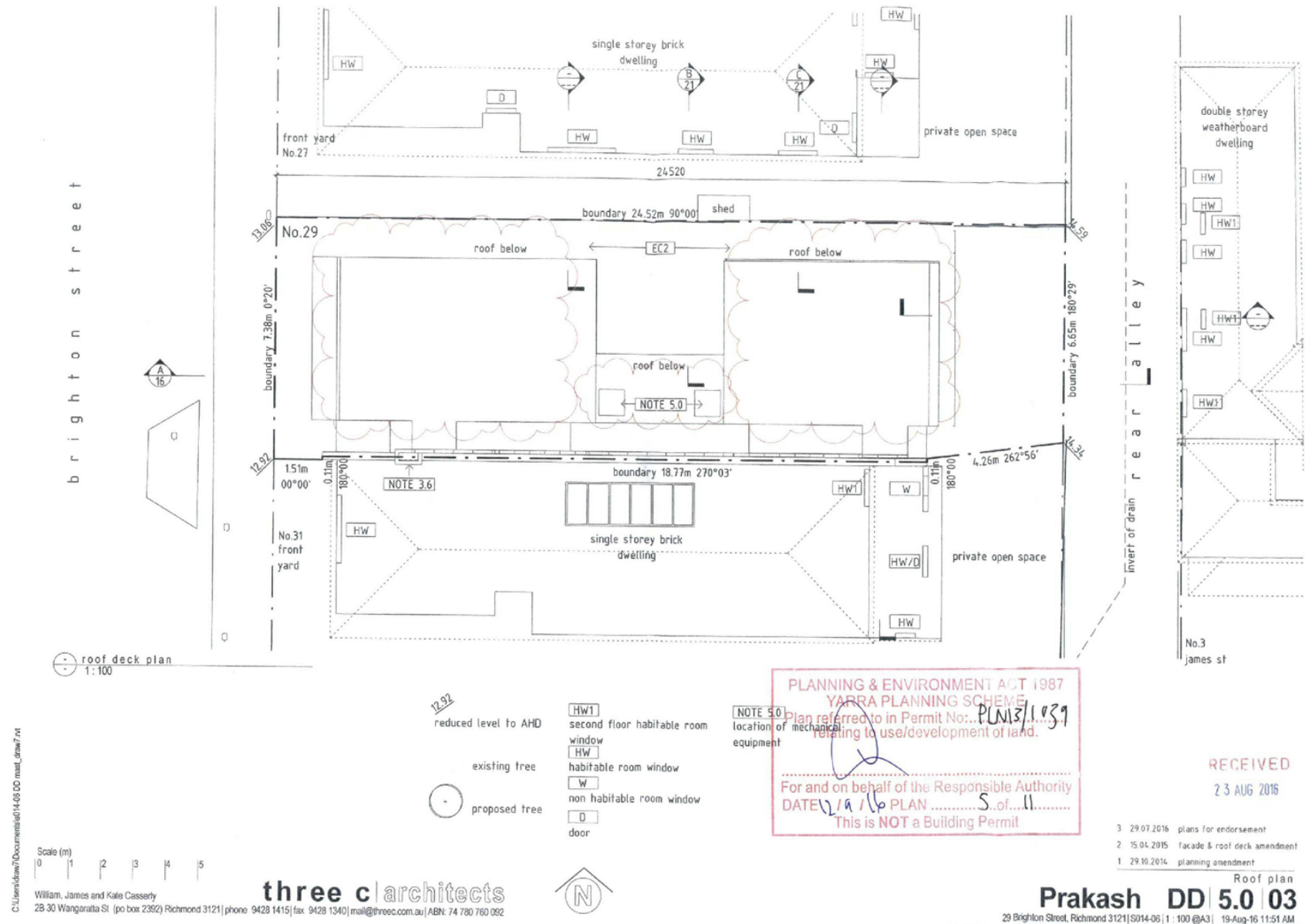
Attachment 3 - PLN13/1039 - 29 Brighton Street Richmond - Current Endorsed Plans



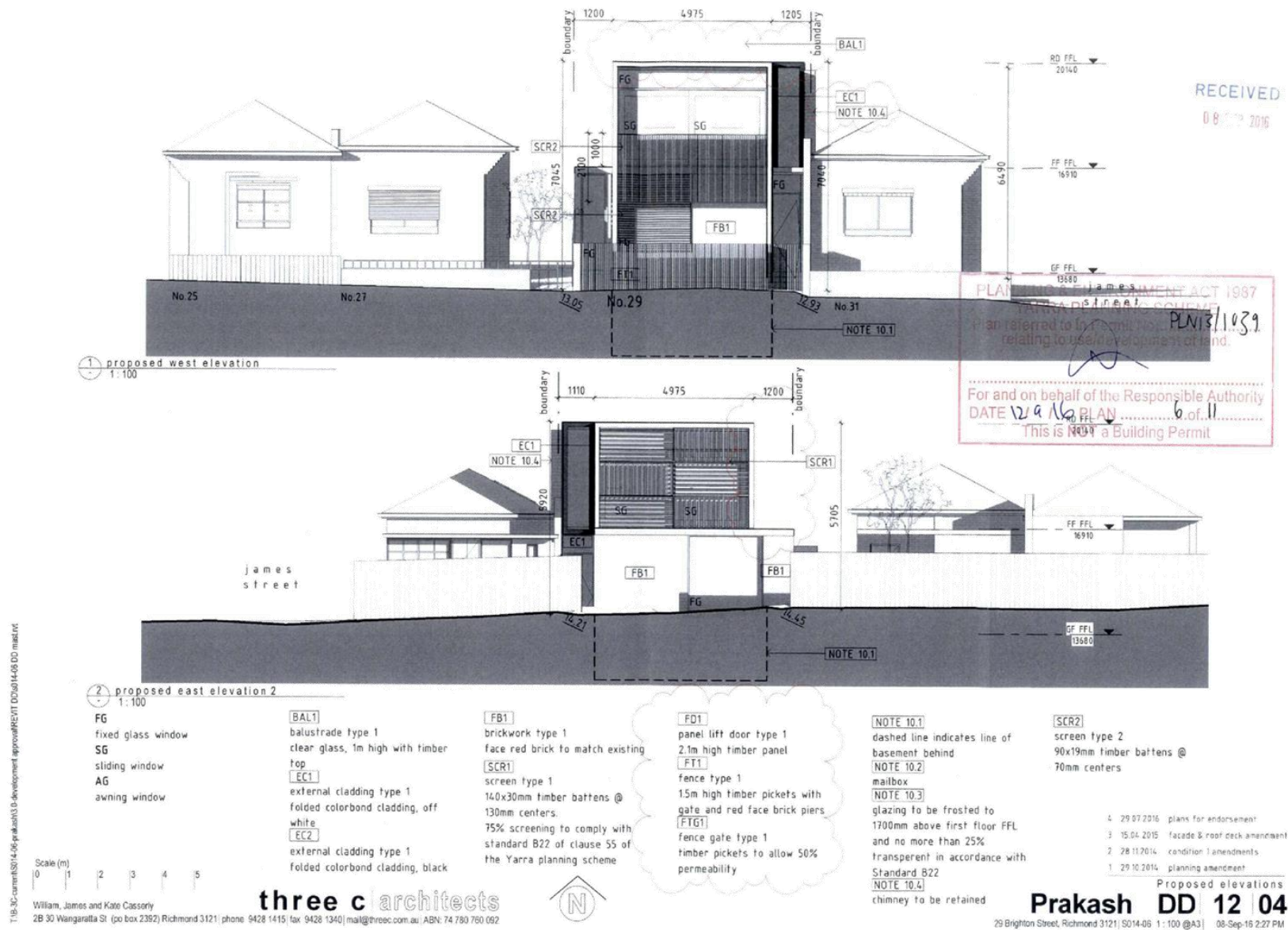
Attachment 3 - PLN13/1039 - 29 Brighton Street Richmond - Current Endorsed Plans



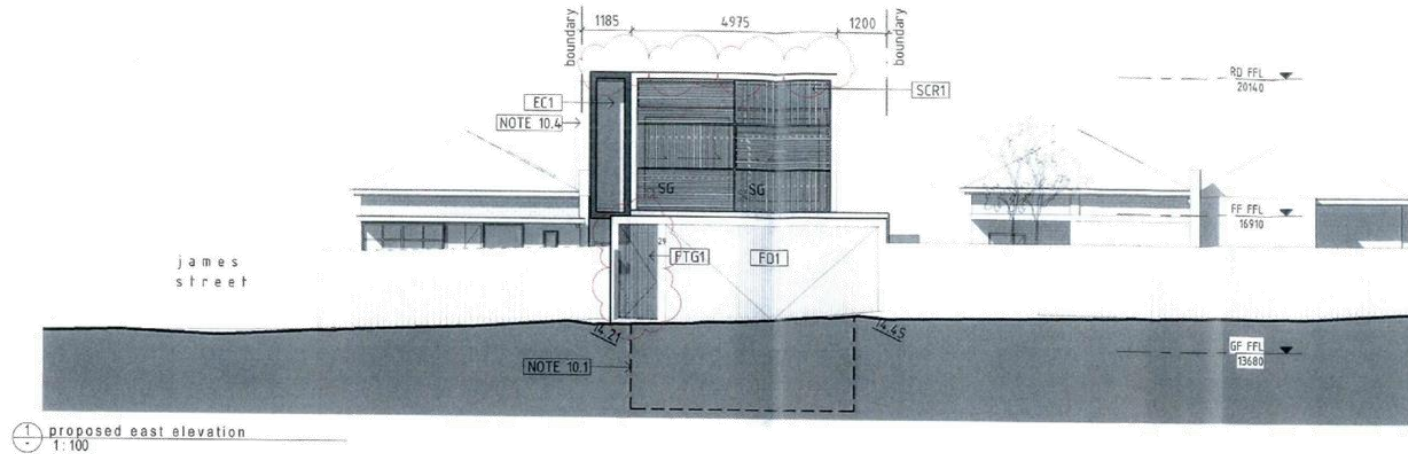
Attachment 3 - PLN13/1039 - 29 Brighton Street Richmond - Current Endorsed Plans



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Attachment 3 - PLN13/1039 - 29 Brighton Street Richmond - Current Endorsed Plans



PLANNING & ENVIRONMENT ACT 1987
YARRA PLANNING SCHEME
Plan referred to in Permit No. PLN13/1039
relating to use/development of land.

For and on behalf of the Responsible Authority
DATE 2/8/16 PLAN 7 of 11
This is NOT a Building Permit

FG
fixed glass window
SG
sliding window
AG
awning window

BAL1
balustrade type 1
clear glass, 1m high with timber top
EC1
external cladding type 1
folded colorbond cladding, off white
EC2
external cladding type 1
folded colorbond cladding, black

FB1
brickwork type 1
face red brick to match existing
SCR1
screen type 1
140x30mm timber battens @ 130mm centers.
75% screening to comply with standard B22 of clause 55 of the Yarra planning scheme

FD1
panel lift door type 1
2.1m high timber panel
FT1
fence type 1
1.5m high timber pickets with gate and red face brick piers
FTG1
fence gate type 1
timber pickets to allow 50% permeability

NOTE 10.1
dashed line indicates line of basement behind
NOTE 10.2
mailbox
NOTE 10.3
glazing to be frosted to 1700mm above first floor FFL and no more than 25% transparent in accordance with Standard B22
NOTE 10.4
chimney to be retained

SCR2
screen type 2
90x19mm timber battens @ 70mm centers

RECEIVED
23 AUG 2016

3 25.07.2016 plans for endorsement
2 28.11.2014 condition 1 amendments
1 29.10.2014 planning amendment

C:\Users\james\Documents\2014-08 DD east.dwg / nrl

Scale (m)
0 1 2 3 4 5

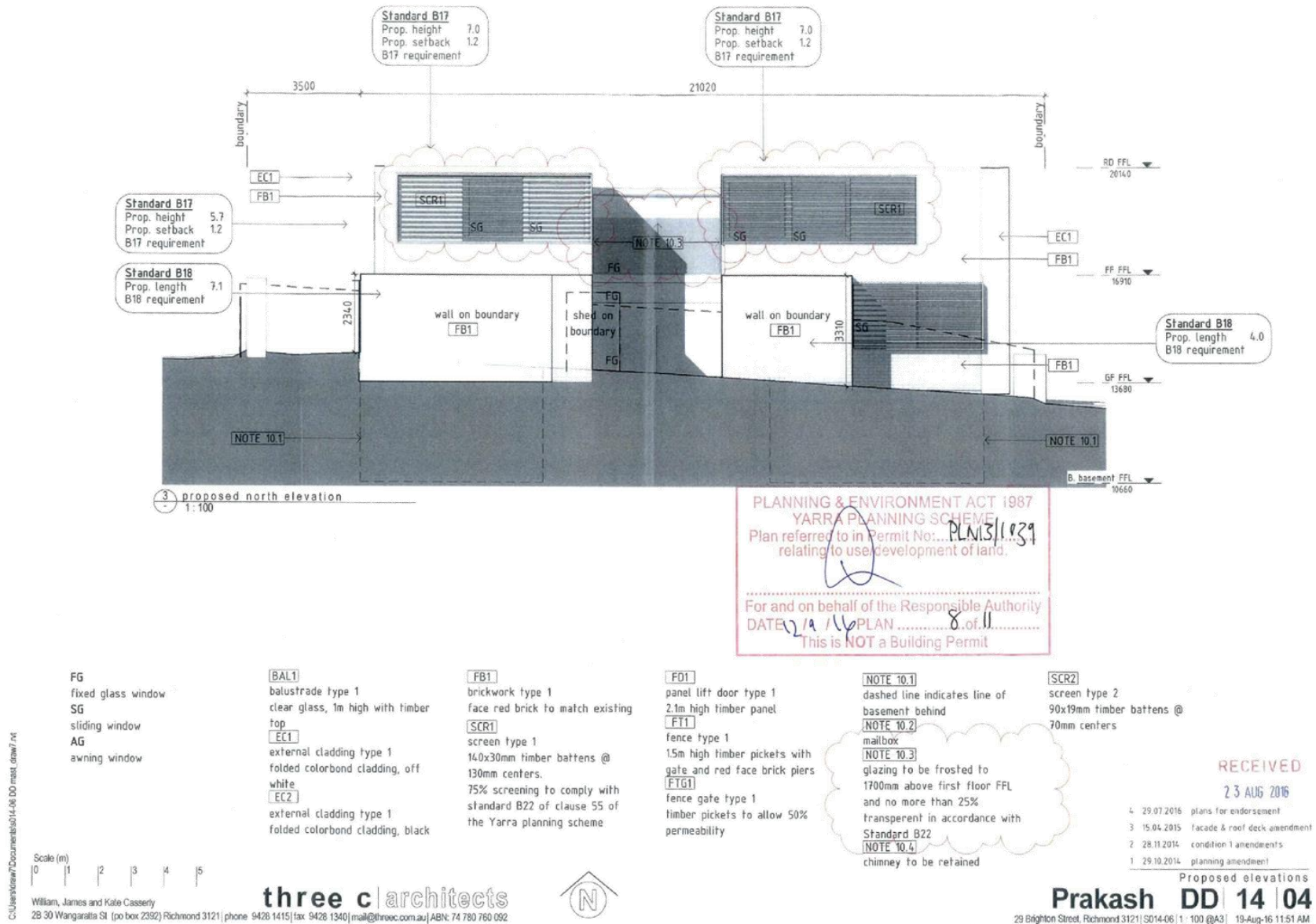
three c architects
William, James and Kate Casserly
28 30 Wangaratta St (po box 2392) Richmond 3121 | phone 9428 1415 | fax 9428 1340 | mail@threec.com.au | ABN: 74 780 760 092



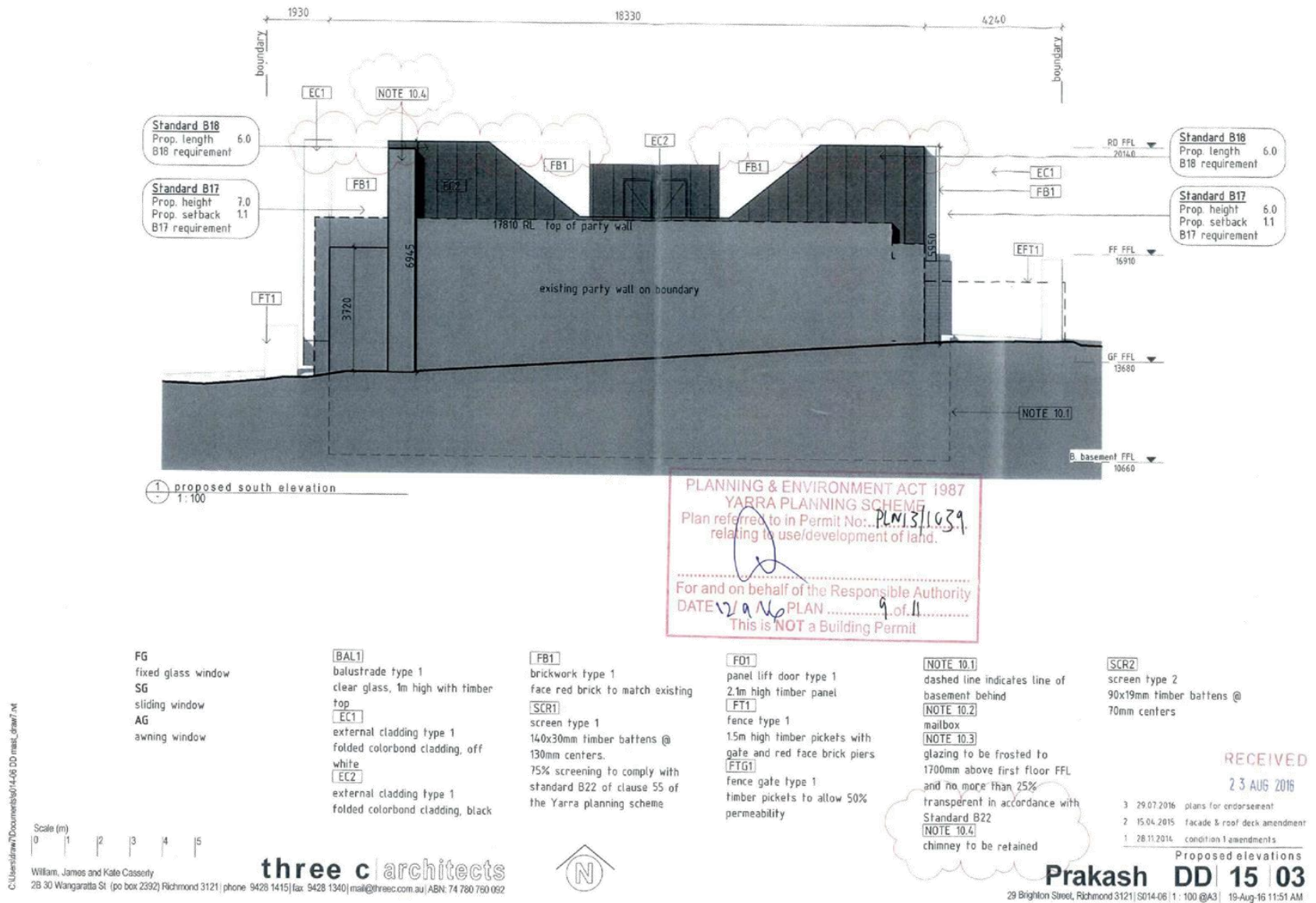
Proposed elevations
Prakash DD 13 03

29 Brighton Street, Richmond 3121 | 5014-06 | 1:100 @A3 | 19-Aug-16 11:51 AM

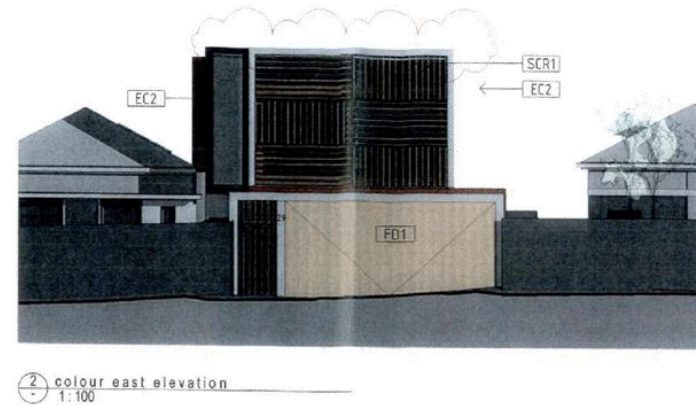
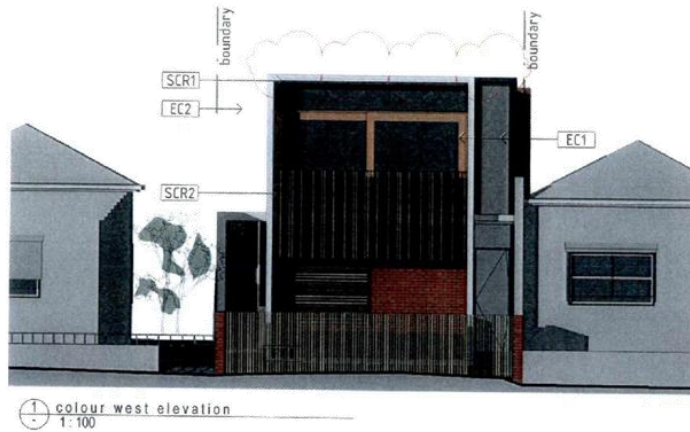
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Attachment 3 - PLN13/1039 - 29 Brighton Street Richmond - Current Endorsed Plans



Attachment 3 - PLN13/1039 - 29 Brighton Street Richmond - Current Endorsed Plans



TD1
timber deck type 1
clear stain



SCR1
screen type 1
140x30mm timber battens @
130mm centers.
75% screening to comply with
standard B22 of clause 55 of
the Yarra planning scheme

SCR2
screen type 2
90x19mm timber battens @
70mm centers
FD1
fence type 1
1.5m high timber pickets with
red face brick piers



EC1
external cladding type 1,
folded colourbond cladding,
off white



FB1
brickwork type 1
face red brick to match
existing



EC2
external cladding type 2,
folded colourbond cladding, black

C:\Users\dw7\Documents\14-08-DD-mat-draw7.rvt

Scale (m)
0 1 2 3 4 5

three c|architects
William, James and Kate Casserly
28-30 Wangaratta St (po box 2392) Richmond 3121 | phone 9428 1415 | fax 9428 1340 | mail@threec.com.au | ABN: 74 780 760 092

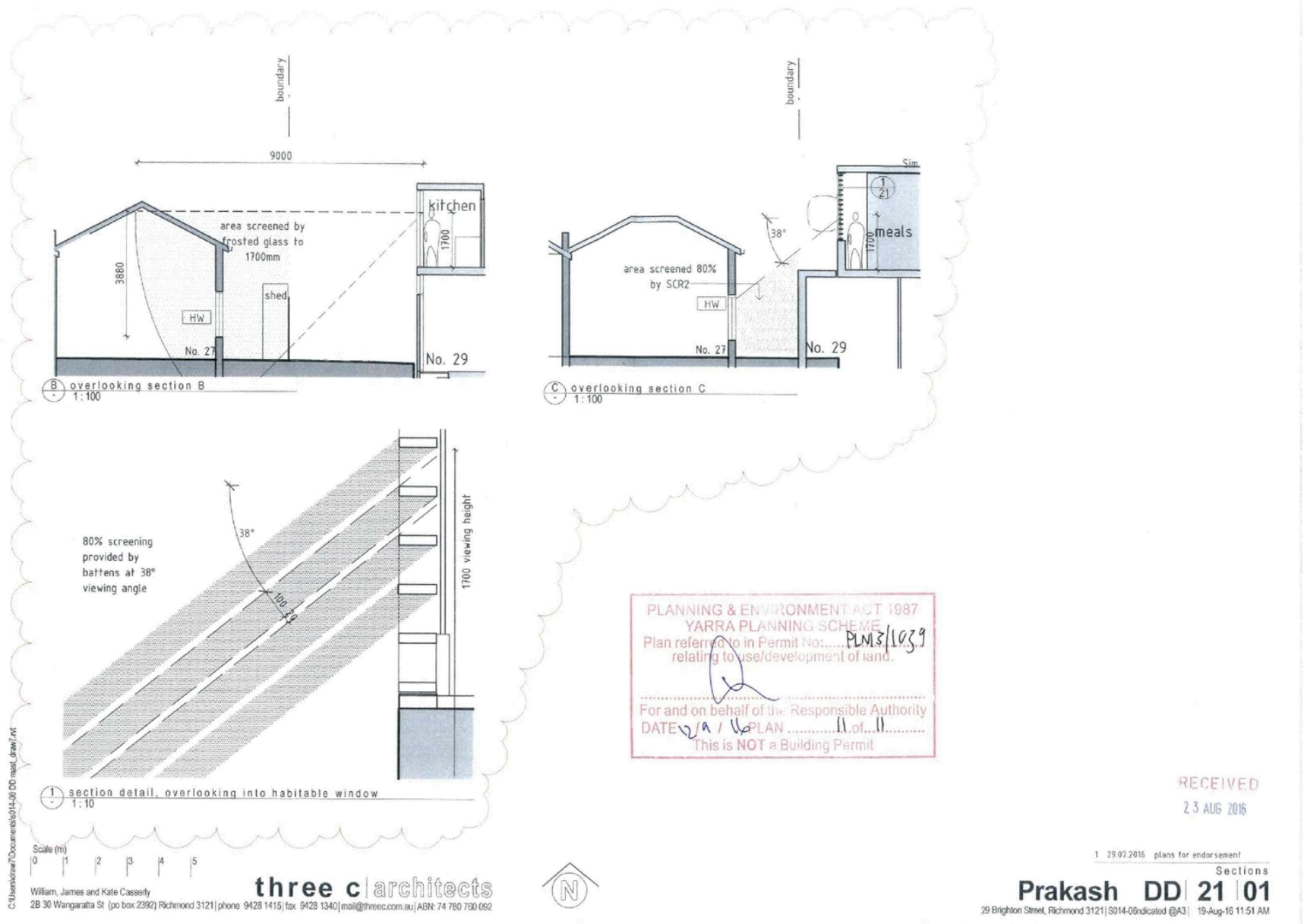


RECEIVED
23 AUG 2016

- 3 29.07.2016 plans for endorsement
- 2 15.04.2015 facade & roof deck amendment
- 1 29.10.2014 planning amendment

Colour elevations & external materials schedule
Prakash DD 17 03
29 Brighton Street, Richmond 3121 | S014-06 | 1:100 @A3 | 19-Aug-16 11:51 AM

Attachment 3 - PLN13/1039 - 29 Brighton Street Richmond - Current Endorsed Plans



Attachment 4 - PLN13/1039 - 29 Brighton Street Richmond - Heritage advice original application

City of Yarra Heritage Advice

Application No.:	<i>PLN13/1039 – S57 Amendment</i>
Address of Property:	29 Brighton Street, Richmond
Planner:	<i>Lara Fiscalini</i>
Yarra Planning Scheme References:	<p><i>STATE POLICY:</i></p> <ul style="list-style-type: none"> • <i>Clause 15.03 Heritage</i> <p><i>LOCAL POLICY:</i></p> <ul style="list-style-type: none"> • <i>Clause 21.05-1 Built Form (Heritage)</i> • <i>Clause 43.01 Heritage Overlay</i> • <i>Clause 22.02 Development Guidelines for sites subject to the Heritage Overlay</i>
Heritage Overlay No. & Precinct:	<i>HO308 Barkly Gardens Precinct, Richmond</i>
Level of significance:	<i>Not contributory, constructed 1940-1950 (Appendix 8, City of Yarra Review of Heritage Overlay Areas 2007)</i>
General description:	<i>Full demolition of the existing building and construction of a pair of attached double-storey apartments</i>
Drawing Nos.:	<i>Set of 11 x A3 drawings prepared by Three C Architects, received by Council and date stamped 17 Nov 2014 and 22 April 2015</i>

CONTEXT DESCRIPTION:

The context of the subject site has not changed since the previous assessment of this application.

ASSESSMENT OF PROPOSED WORKS:

Comments regarding proposed demolition:

Full demolition of the subject building has previously been accepted.

Comments regarding amended proposal:

Most aspects of the proposed new build have previously been accepted. Previous recommendations included: reducing overall building height and redesigning Brighton Street façade.

The extent of new works proposed by this application includes

- 1) a redesign of architectural fenestration to Brighton Street (including front fence); and
- 2) an increased setback for the roof terrace facing Brighton Street.

Attachment 4 - PLN13/1039 - 29 Brighton Street Richmond - Heritage advice original application

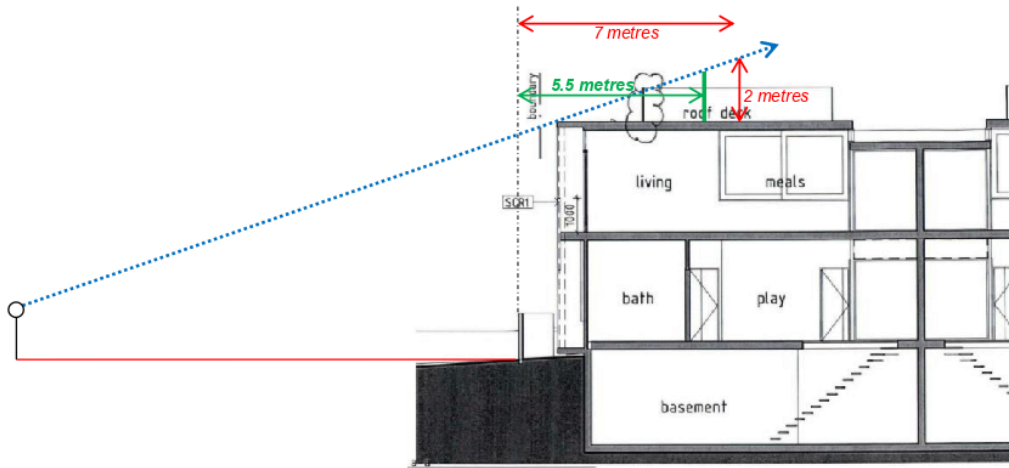
Setbacks:

There are two roof terraces proposed. A number of factors need to be considered:

- a) the location of Shamrock Street immediately across from the subject site,
- b) the low-scale of the adjoining buildings, and
- c) the ROW at the rear.

It is considered that it will not be possible to fully conceal the proposed terraces and associated activity and paraphernalia. As such, this assessment has been made on the *level* of visibility of the terraces and the *impact* this will have on the surrounding heritage precinct, and on the Brighton Street streetscape specifically.

The proposed front setback for the western terrace is 3.6 metres from the front title boundary; 1.7 metres from the northern boundary and 2 metres from the southern boundary. Sightline diagrams show that the setback from the front of the property is not sufficient enough to conceal objects more than 2m high from across Brighton Street. In order to achieve full concealment (at least from immediately across from the subject site), the roof terrace would have to be set back at least 7 metres from the front title boundary.



Above: Annotated sightline drawing from the opposite side of Brighton Street

The roof terrace would not only be seen from immediately across Brighton Street. Apart from the level of visibility afforded from Shamrock Street, the southern and eastern elevations of the new build will be visible due to the low-scale of the adjoining buildings and the ROW at the rear of the property. The visibility of the eastern terrace is of less concern.

No matter how far setback the roof terraces are, they will be visible due to the conditions of the site. Though the proposal is for a new build (as opposed to an addition to an existing building) the introduction of roof terraces, which are not contemporary with the era of the majority of properties in this area, would diminish the historic integrity of the immediate area. The proposed glass balustrades for the roof terrace is unacceptable as it will be reflective and will not conceal activity. To minimise the potential visibility of roof top activity, while allowing at least a usable roof terrace area, it is considered that the proposed balustrading of the west facing apartment must be setback at least 5.5 metres and the height of the balustrade must be increased to 1.7 metres. The balustrading must also be of a solid material that restricts visibility of the any activity or paraphernalia from within the heritage precinct. A grey colouring or similar would be in keeping with the colouring of the surrounding roofscape.

Attachment 4 - PLN13/1039 - 29 Brighton Street Richmond - Heritage advice original application

Façade appearance:

Previously the proposed cladding for the Brighton Street elevation was timber batten screening. The revised scheme includes:

- exposed redbrick and a garage door at ground level;
- vertical timber screening used as balustrade for the first level balcony;
- a recessed balcony at the upper level.

The revised fenestration of the Brighton Street façade is considered more congruent with traditional terrace housing in the area, which also have recessed balconies at the upper level. Additionally, the proportion of timber, redbrick and metal is more consistent with the traditional proportions of these materials used in the area and as such the revised material palette is considered acceptable from a heritage perspective.

RECOMMENDATIONS:

On heritage grounds the amended proposal shown in this application may be approved subject to the following conditions:

- 1) That the setback of proposed roof terrace on the west facing townhouse must be increased to no less than 5.5 metres from the front title boundary;
- 2) That the proposed roof terrace balustrading on the west facing townhouse must be modified to be at least 1.7 metres high and constructed of a solid material finished in a grey colouring or similar.

Should the above changes not be adopted, the western roof terrace should be deleted from the scheme on the grounds that highly visible roof terraces (and the associated activity and paraphernalia which is associated with them) in HO areas do not respect the architectural integrity and context of heritage overlay areas.

SIGNED:

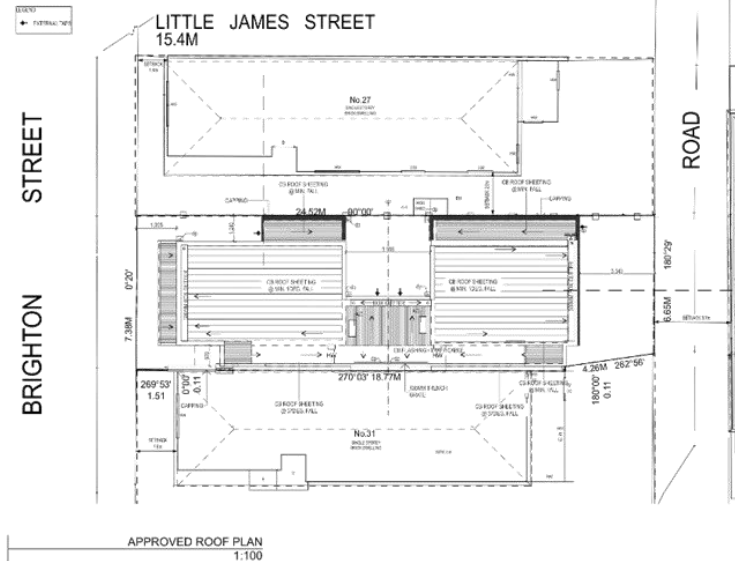


Ruth Redden

DATED: 25 May 2015

Attachment 5 - PLN13/1039.01 - 29 Brighton Street Richmond - Amendment Plans

REV	REVISION DESCRIPTION	DATE
1	REVISION DESCRIPTION	DATE
2	REVISION DESCRIPTION	DATE
3	REVISION DESCRIPTION	DATE
4	REVISION DESCRIPTION	DATE
5	REVISION DESCRIPTION	DATE
6	REVISION DESCRIPTION	DATE
7	REVISION DESCRIPTION	DATE
8	REVISION DESCRIPTION	DATE
9	REVISION DESCRIPTION	DATE
10	REVISION DESCRIPTION	DATE



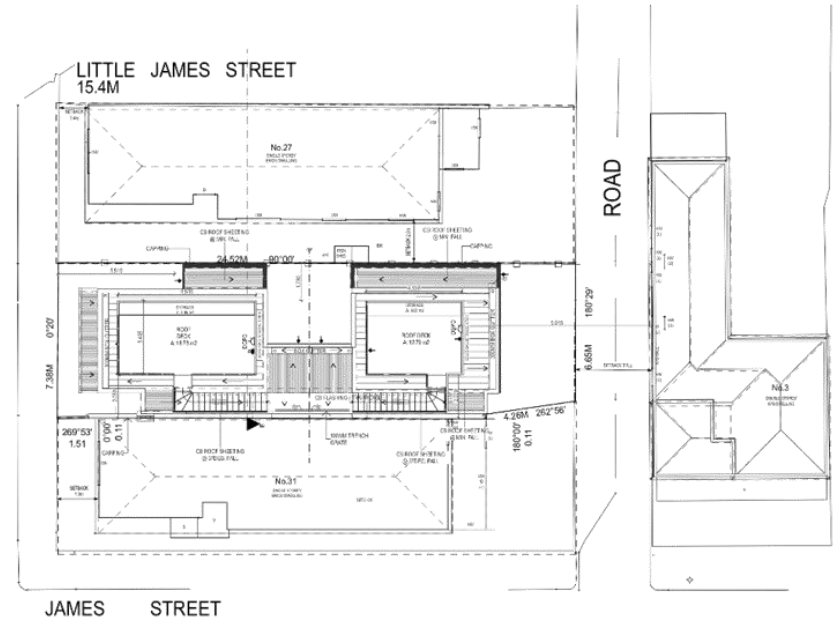
EXISTS
+ EXISTING FLOOR

BRIGHTON STREET



NOTE:

APPROVED PLANS REFERS TO THE ENDS PLANNING PERMIT
PLN13/1039, 13 SEPT. 2018



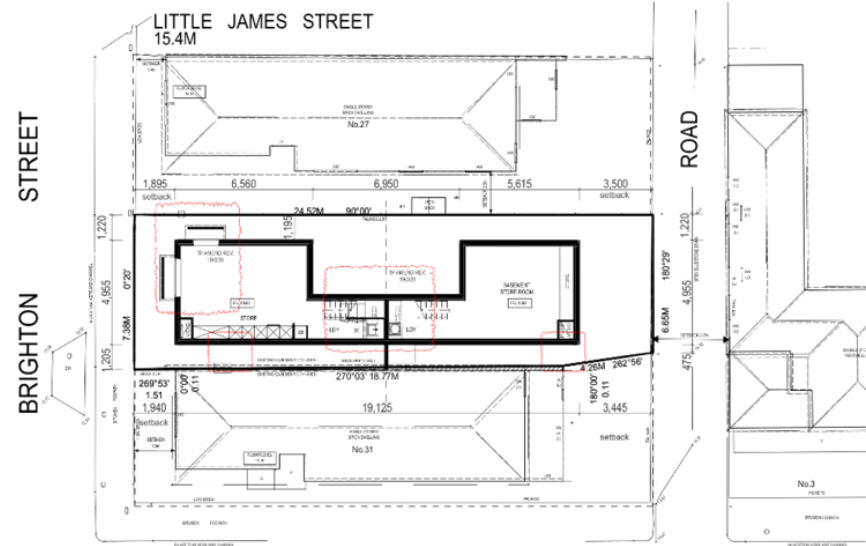
PROPOSED ROOF DECK PLAN
1:100

DRAWING No.	DESCRIPTION	SCALE	REMARK
A01	SITE PLAN	1:100	
A02	FLOOR PLANS	1:100	
A03	ELEVATIONS & OVERLOOKING	1:100	
A04	SHADOWS	1:100	

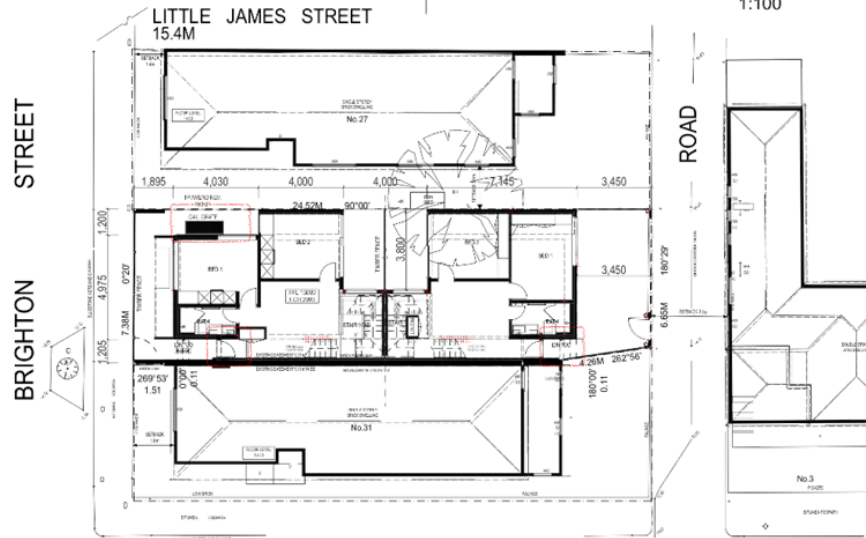
TOWN PLANNING AMENDMENT (RFP)
 DUAL OCCUPANCY
 29 BRIGHTON STREET
 RICHMOND VIC 3121
 PROJECT NO. 13/1039.01
 SITE PLAN

DATE: 13/09/2018
 BY: [Signature]
 CHECKED: [Signature]
 APPROVED: [Signature]
 PROJECT NO. 13/1039.01

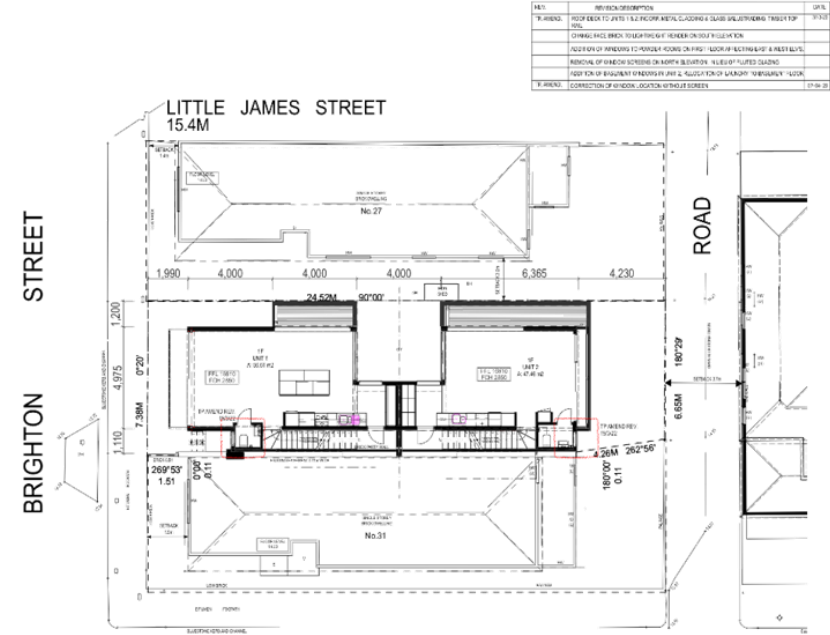
Attachment 5 - PLN13/1039.01 - 29 Brighton Street Richmond - Amendment Plans



PROPOSED BASEMENT FLOOR PLAN
1:100

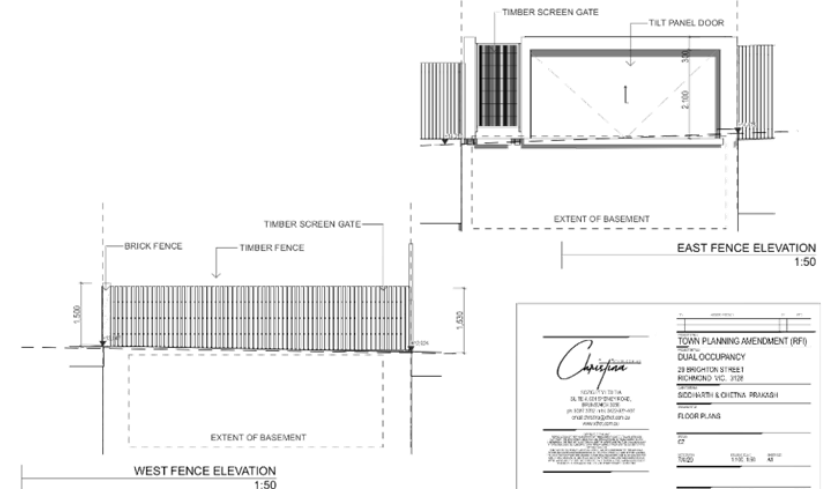


PROPOSED GROUND FLOOR PLAN
1:100



JAMES STREET

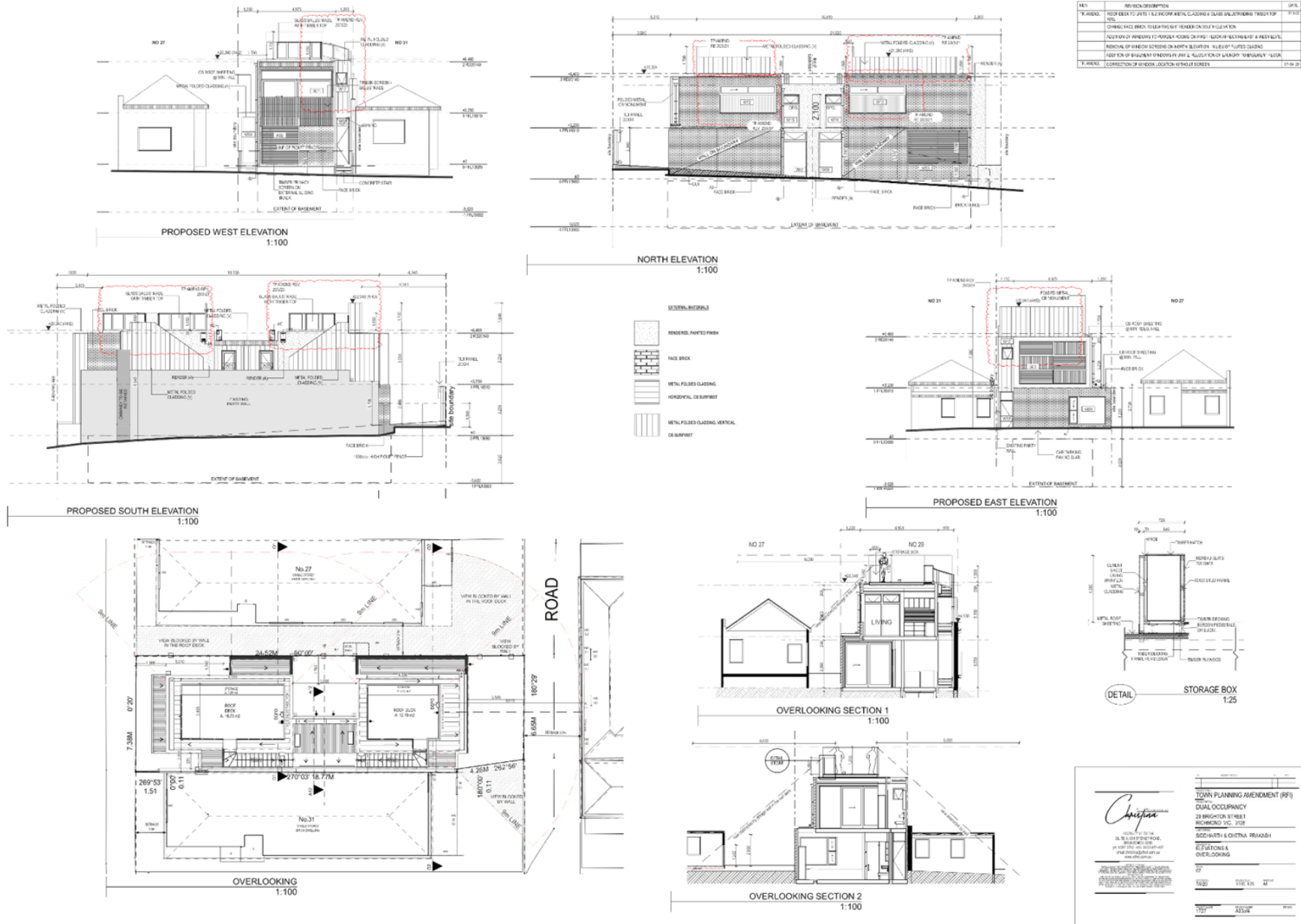
PROPOSED FIRST FLOOR PLAN
1:100



TOWN PLANNING AMENDMENT (RFP)	
DUAL OCCUPANCY	
29 BRIGHTON STREET	
RICHMOND VIC 3100	
SUBMITTED BY: CHITRA PRAKASH	
DATE: 10/10/2020	
DRAWN BY: CHITRA PRAKASH	
CHECKED BY: CHITRA PRAKASH	
DATE: 10/10/2020	
SCALE: AS SHOWN	
PROJECT NO: PLN13/1039.01	
SHEET NO: 1 OF 1	

REV	REVISION/DESCRIPTION	DATE
1	ISSUED FOR TENDERS	10/10/2020
2	REVISION: CORRECTION OF DIMENSIONS	10/10/2020
3	REVISION: CORRECTION OF DIMENSIONS	10/10/2020
4	REVISION: CORRECTION OF DIMENSIONS	10/10/2020
5	REVISION: CORRECTION OF DIMENSIONS	10/10/2020
6	REVISION: CORRECTION OF DIMENSIONS	10/10/2020
7	REVISION: CORRECTION OF DIMENSIONS	10/10/2020
8	REVISION: CORRECTION OF DIMENSIONS	10/10/2020
9	REVISION: CORRECTION OF DIMENSIONS	10/10/2020
10	REVISION: CORRECTION OF DIMENSIONS	10/10/2020

Attachment 5 - PLN13/1039.01 - 29 Brighton Street Richmond - Amendment Plans



[illegible]

Attachment 6 - PLN13/1039.01 - 29 Brighton Street Richmond - Heritage advice on Amendment

City of Yarra

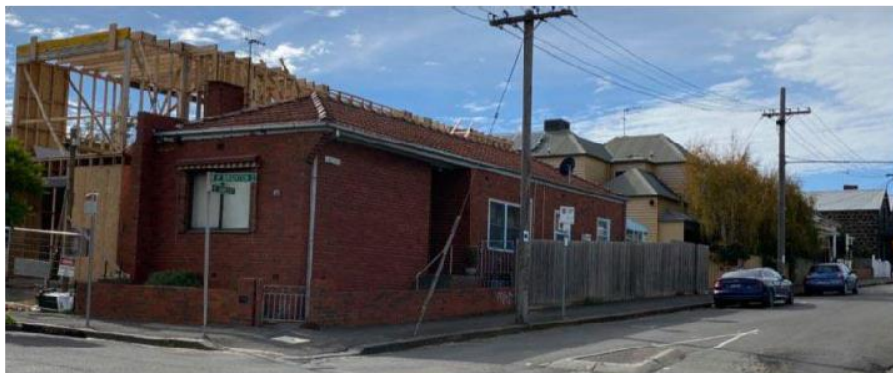
Heritage Advice on Amendment

Application No.:	PLN13/1039.01
Address of Property:	29 Brighton Street, Richmond
Planner:	Laura Condon
Yarra Planning Scheme References:	<ul style="list-style-type: none">• Clause 15.03 Heritage• Clause 21.05-1 Built Form (Heritage)• Clause 22.02 Development Guidelines for sites subject to the Heritage Overlay• Clause 43.01 Heritage Overlay• Clause 59.07 Applications Under A Heritage Overlay
Heritage Overlay No. & Precinct:	HO308 - Barkly Gardens Precinct, Richmond
Level of significance:	Not contributory, constructed 1940-1950 (City of Yarra Review of Heritage Areas 2007 Appendix 8 (as updated from time to time))
General description:	Construction of a roof deck and associated stairs for both dwellings, minor changes to the basement and first level and change to the external building materials
Drawing Nos.:	Set of four drawings, entitled "Dual Occupancy, 29 Brighton Street, Richmond, prepared by XtheT, received by Council, not date stamped.

CONTEXT IMAGES:



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Yarra Heritage Advice
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ASSESSMENT OF PROPOSED AMENDED WORKS:

Comments regarding amended works:

ROOF DECK AND ASSOCIATED STAIRS:

The proposal comprises the construction of a roof deck and associated stairs for both dwellings. Each deck, which will be centrally-located on the roof of its dwelling, will have contemporary glass balustrading with timber top and metal cladding screening.

The front setback of the decks will be 2.8m from Brighton Street and the proposed decks will add about 1m to the maximum building height of the dwellings, which will now be approximately 8.5m.

No major visible roof top plant above the roof decks is proposed.

Background to current proposal:

The heritage advice for the original application recommended that the proposed front terrace be setback a minimum of 5.5m from the front boundary, together with various other changes. Following numerous objections, the application went to IDAC for decision and Councillors deleted the roof terraces all together. The applicant did not appeal that condition.

Response:

Clause 22.02-5.7.1 of the Yarra Planning Scheme states that it is policy for the design of new development to:

- Respect the pattern, rhythm, orientation to the street, spatial characteristics, fenestration, **roof form**, materials and heritage character of the surrounding historic streetscape.
- Discourage elements which detract from the heritage fabric such as **unroofed or open upper level decks or balconies**, reflective glass, **glass balustrades** and pedestrian entrance canopies.

The application of the sightline assessment tool (Clause 22.02-5.7.1) used in the previous heritage advice to determine the minimum of 5.5m setback for the roof terraces only considered the visibility from directly opposite the site. As the structure of the approved building has been constructed, it has become evident that the proposed roof decks will be openly visible from all directions along Brighton Street, both near and far. In this case, it is considered that the sightline tool is of limited usefulness for assessing the real visual impact of the proposed roof decks on the streetscape. Roof decks are specifically discouraged in the heritage policy and the proposed roof terraces will be clearly apparent.

The use of glass balustrading is specifically not supported by the policy and will allow clear visible of all items and activity on the roof deck.

As currently designed, the proposed roof decks shown in this application are not supported.

The only potential way for roof decks to be incorporated into the design of these dwellings without having a visible impact on the streetscape would be to hide the deck within a roof structure that would be consistent with the predominant hipped roof forms from the street. Given the existing narrow width of the subject site it is however considered unlikely that a suitable roof form could be designed that would allow a reasonable usable roof deck floor area.

It is also considered that any additional roof structure to the new development will increase the finished height of the development, making its scale even more prominent in the street than the existing approved design.

The examples of other roof decks in the area presented in this application are not considered precedents as they relate to buildings that are either commercial and not included in the heritage overlay, or properties that are located between 350 and 500m away from the subject site and therefore do not characterise the subject streetscape.

BASEMENT LEVEL:

Works include the provision of windows to dwelling 2 and internal rearrangement including relocation of storage areas and stairs as well as provision of laundry.

Response:

No heritage concerns.

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EXTERNAL BUILDING MATERIALS:

Works include change to the external building materials including face brickwork on the south elevation replaced with lightweight render.

Response:

No heritage concerns.

FIRST FLOOR LEVEL:

Minor modification to screening devices to the first floor, north facing windows including provision of sliding fluted glass windows above 1700mm from floor level. New window openings proposed to the first floor powder rooms, east and west elevations.

Response:

No heritage concerns.

RECOMMENDATIONS:

On heritage grounds the works proposed in this application may be approved subject to the following conditions:

	Suggested condition	Explanation
1.	That the proposed roof top terraces must be deleted.	<i>Open upper level decks and glass balustrades are specifically discouraged in Clause 22.02-5.7.1</i>

SIGNED:



Diahnn McIntosh

DATED: 26 May 2020