

Attachment 1 - PLN160041.01 - 274 Brunswick Street Fitzroy - Site plan

ATTACHMENT 1

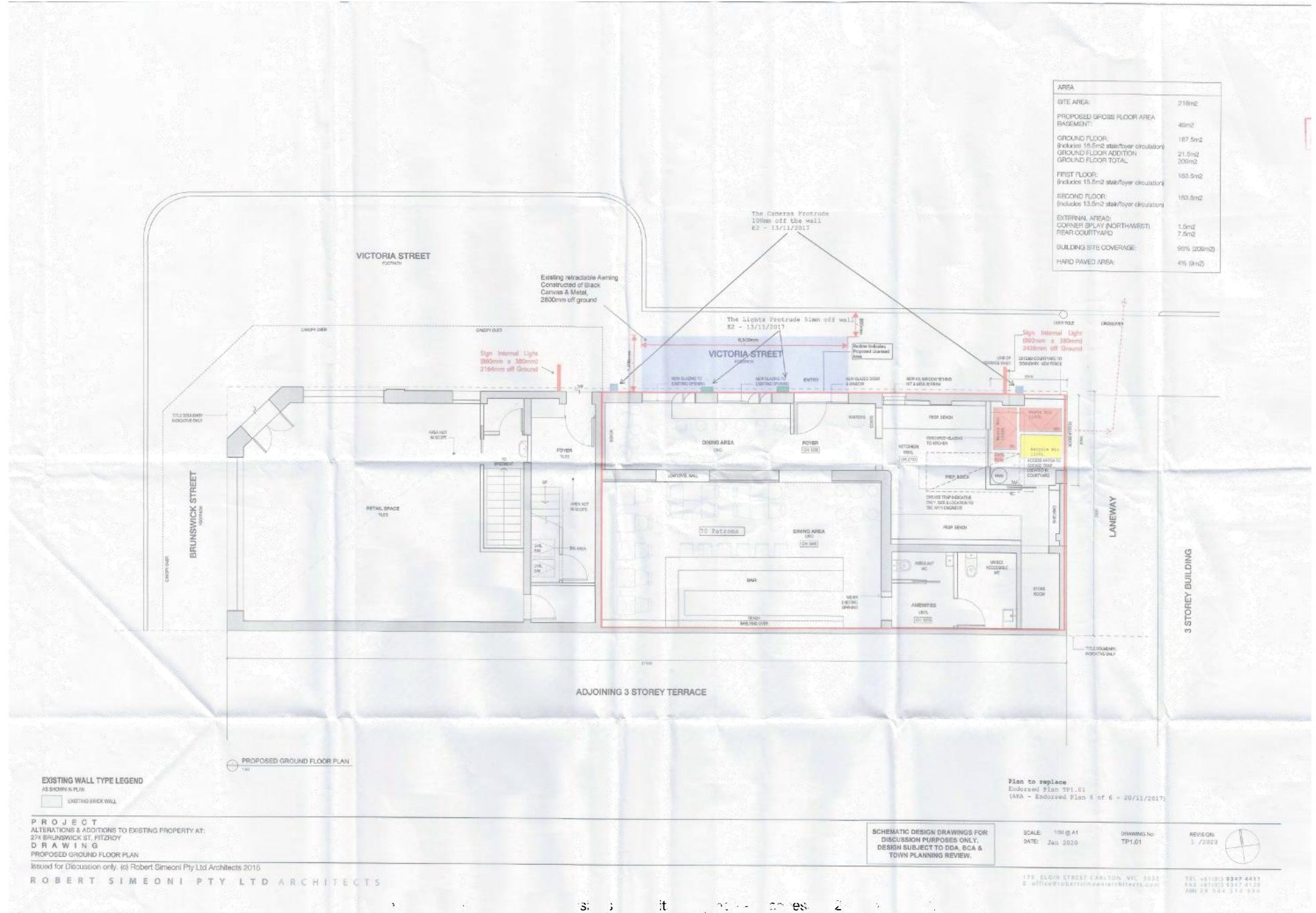
SUBJECT LAND: 274 Brunswick Street, Fitzroy



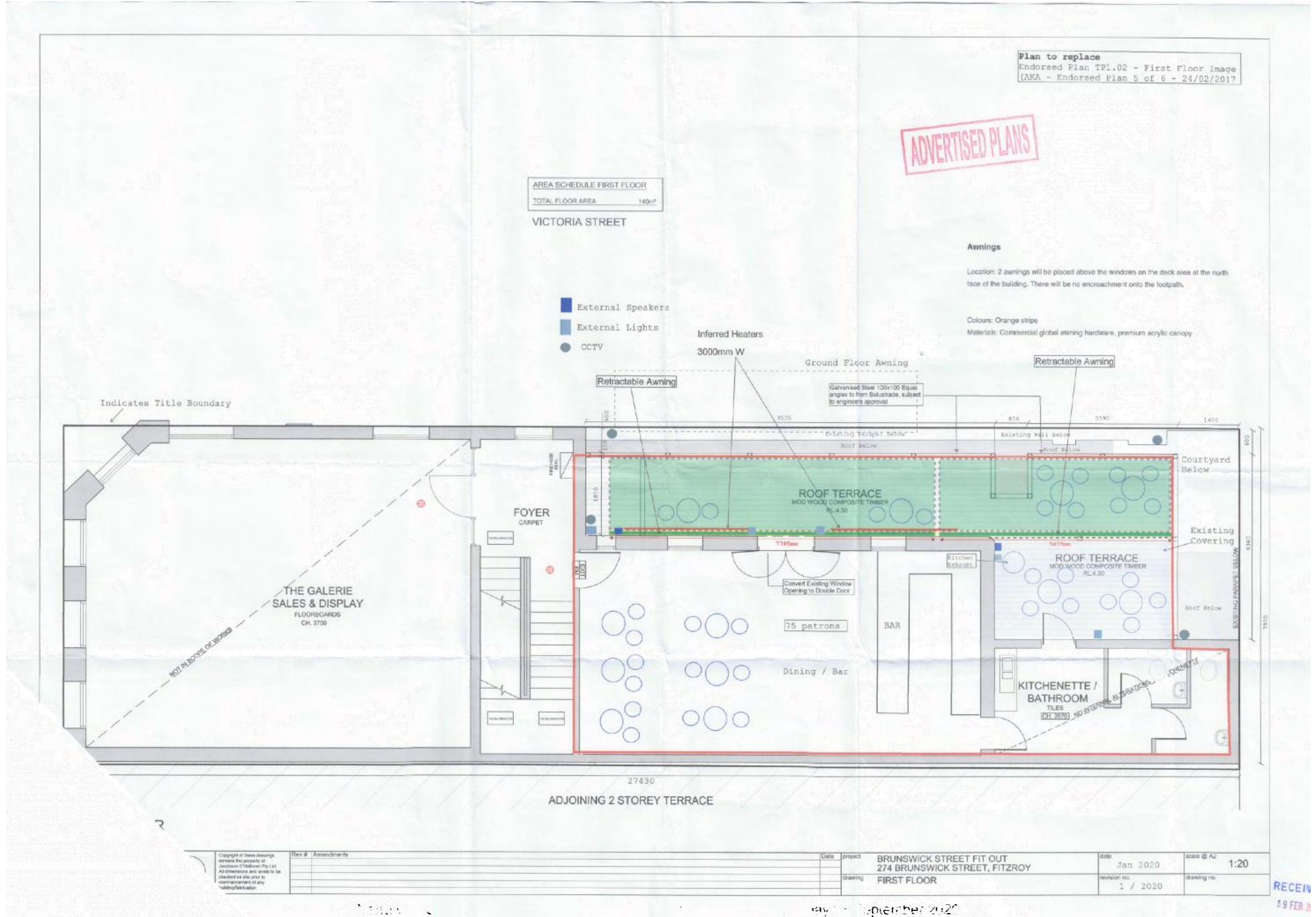
North

★ Subject Site

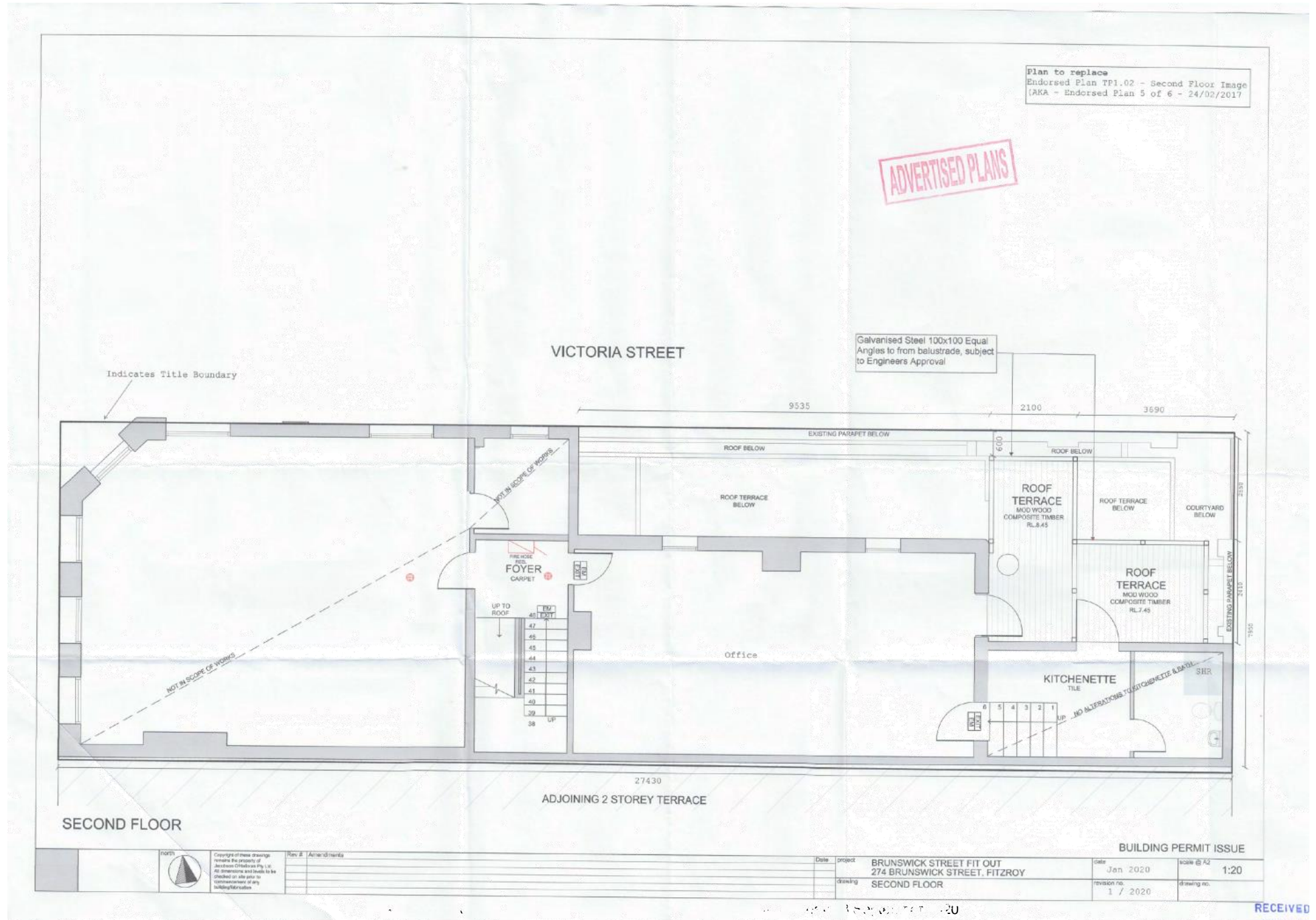
Attachment 2 - PLN160041.01 - 274 Brunswick Street Fitzroy - Advertised Plans



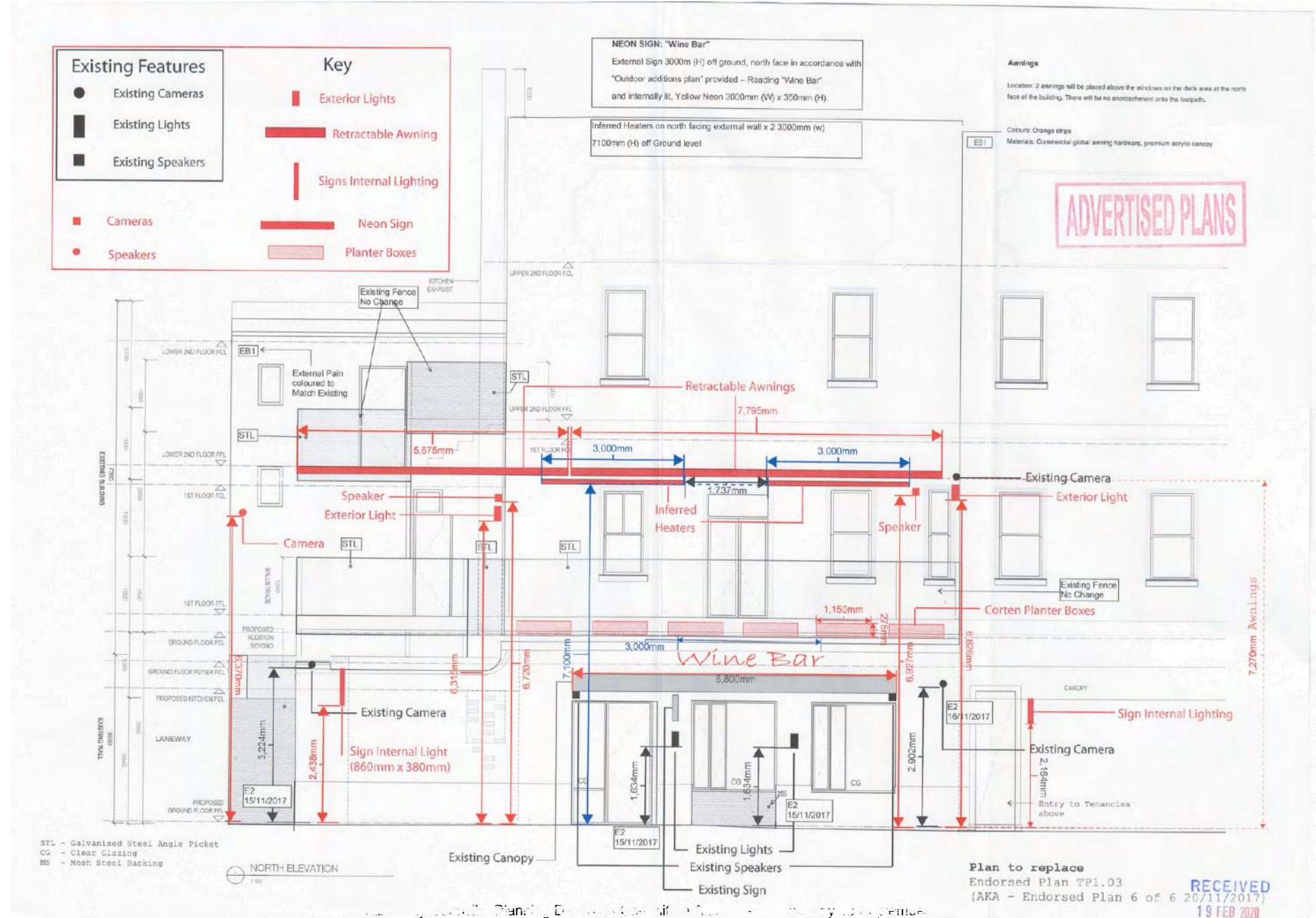
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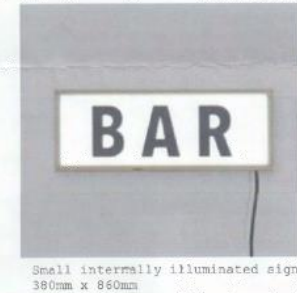
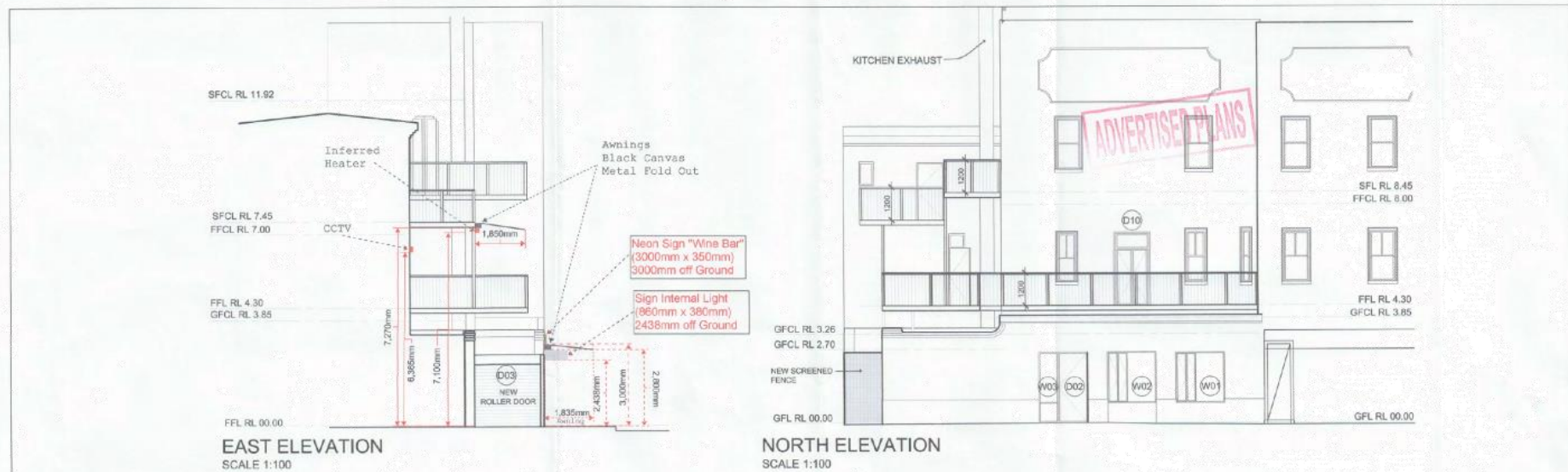
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Placement



<p>6/108 Union St Brunswick, VIC, 3056 studio@architects.com.au www.architects.com.au (03) 8387 0770</p>	<p>North</p>	<p>Copyright of these drawings remains the property of Architects. No part of this drawing may be reproduced without written permission from the architect.</p>	<p>Rev # Amendments</p>	<p>Date project drawing</p>	<p>Date revision no drawing no</p>
				<p>BRUNSWICK STREET FIT OUT 274 BRUNSWICK STREET, FITZROY</p>	<p>Jan 2020 1 / 2020 AS NOTED</p>

ELEVATIONS

RECEIVED
19 FEB 2021

Attachment 2 - PLN160041.01 - 274 Brunswick Street Fitzroy - Advertised Plans



RED LINE PLANS VICTORIA
 VENUE FLOOR PLANS, PATRON CAPACITY REPORTS, LANDSCAPE PLANS
 UNIT 1, 116B INGLIS STREET, BALLAN, VICTORIA - 3342
 TEL: (03) 5368 1881 WEBSITE: www.redlineplans.com.au

CONCEPT ONLY
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NOTES:

1. Drawings shall not be scaled.
2. All dimensions are in mm.
3. Any discrepancy in drawings and existing conditions should be brought to the notice of the architect prior to proceeding with the item.

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NEXT LEVEL HOSPITALITY PTY LTD

Site Address:
 274 Rear, Brunswick Street, Fitzroy, Victoria - 3065

R1 Sketch Design 11/07/2019 Drawing Title:

Rev Description Date Site Context Plan

Revision History

Client ID:
 137633966

Project ID:
 9646077

Project Phase:

PLANNING APPLICATION

Drawn by: VC Drawing scale @ A2: 1:300

Checked by: VC **RECEIVED** Date Plotted: 11/07/2019

Layout ID: H3a Revision: R1



Attachment 3 - PLN160041.01 - 274 Brunswick Street Fitzroy - Sketch Plans - 10 June 2020

On Tap Liquor Consulting
PO Box 7
BALLAN 3342



1 June 2020

Our Ref: 9645951

City of Yarra
Statutory Planning Branch
PO Box 168
RICHMOND VIC 3121

Attention: Mr Gary O'Reilly

RE: PLN16/0041.01 – 274 Brunswick St, Fitzroy

Dear Gary,

We have spoken to our client and they have advised that they intend on the following actions related to this planning application in response to the objections within council.

1. Changing the Neon Sign to that of a standard sign as recommended in the Heritage report at point 2.
 - a. "That the proposed business identification sign must be either on a board or individual lettering fixed to the building façade which may be externally illuminated, if required."
2. That the items on the first floor be deleted, the items are as follows;
 - a. Awnings
 - b. Heaters
 - c. Lights
 - d. Security cameras
 - e. Speakers
 - f. Planter boxes

New plans are provided with this response related to these deletions.

3. Attached is the updated acoustic report as requested.

Attachment 3 - PLN160041.01 - 274 Brunswick Street Fitzroy - Sketch Plans - 10 June 2020**4. Updated Waste Management report****Response to objections****Yvonne King – 113-115 Victoria St:**

The objection in this matter related to ongoing noise issues within the commercial 1 area and the fact that use of the “outside deck” would contribute to this ongoing issue. The objector went on to discuss current issues with a venue known as “Naked for Satan”. The objector has stated that they have spent \$40,000 on sound proofing.

The objection property is located within the Commercial 1 Zone and according to real estate site “Domain” was purchased in March 2009. The objector in the case purchased and moved into a location fully knowing that it was located with a commercial areas, more though, an activity centre known for the extensive hospitality and entertainment in the area. The building appears to be that of a converted warehouse with solid brick wall facing Victoria street along with two ground floor pedestrian doors and a roller door for vehicle access.

A search of real estate sites located a floor plan for building (*see image 3 below*) and we note that all sleeping areas are located at the rear of the building on the first floor with a number of walls and living areas between the front of the site and the bedrooms and the master bedroom is situated on a second level also at the rear of the venue. The living areas are situated on the Victoria Street frontage.

We note with interest that the issues of noise related to “Naked for Satan” see that the master bedroom on the 2nd floor is within the direct line of site with the four level licensed premises being some 62m to the west, a venue that also houses some 280 patrons.

In this matter we attest that the noise associated with our client’s venue will have no impact on the objectors premises any more so than any other business operating at this site.

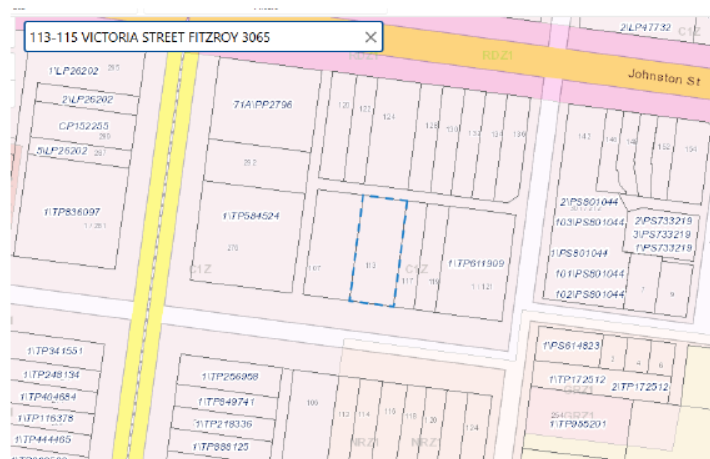


Figure 1 - Location of address

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Figure 2 - Front of 113-115 Victoria St (Captured July 2019)

113 Victoria Street, Fitzroy VIC - Sold price



Figure 3 - Floor Plan of residence

1

¹ http://house.speakingsame.com/house_img.php?sta=vic&tid=958479&addr=113+Victoria+Street®ion=Fitzroy&img=1

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Maureen Fallon – 2/270 Brunswick St:

The objection relates largely about “Kodiak Club” at 272 Brunswick St, along with identifying that the building walls were thin between buildings and that noise had cause the loss of tenants in the past. The objection raised concerns related to in increase patronage on the corner block stating that it will cause problems for business and residents in the area.

We note that the objector resides in a residence in a commercial 1 zone and acknowledges the fact that the area is “*busy and popular location*”. However, none of the complaint related to noise is associated with our client’s venue. We note that there is an entire building separating the objector’s property and that of the applicant. The applicant has not windows or opening on the southern wall which is solid brick.

Regarding the ascertain that that the venue will be an ongoing issue for residents and business in the area, we note with interest that only two objectors submitted concerns.

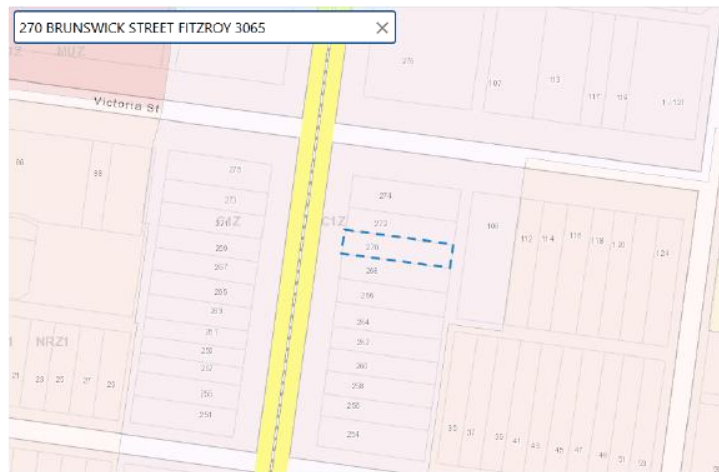


Figure 4 - Location of Address



Figure 5 - Satellite View of address

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Conclusion

Councils and VCAT have grappled with the idea of what is a reasonable level of amenity in such situations. Defining such matters relies on decisions of the past. In the VCAT matter of *MicJay Pty Ltd v Melbourne CC* [2005] VCAT 1483 [11] which considered a proposed tavern close to apartments in Flinders Lane, Member Bennett observed:

Over many years and in many cases, various divisions of the Tribunal have commented that residents living close to or abutting non-residential zones cannot expect the same level of amenity as residents living in the middle of pristine residential areas.²

Amenity expectations vary depending on the context of the area. Member Bennett observed that it would be unreasonable for residents living in the CBD to expect to have the same level of amenity as residents living, for example, in Carlton, East Melbourne or even in Docklands. He concluded:

“The reality is that residents have to tailor their expectations to the location. If noise levels and other disturbances are intolerable, but still within limits set by permits and licences, then residents may need to consider residing in locations that meet their expectations.³”

Those principles were affirmed by the Tribunal in a decision concerning the amendment of a permit allowing a licensed cafe at 46 Oxford Street in the matter of *Robertson v Yarra CC* [2014] VCAT 571 [24], Member Rickards commented:

“Although the subject land is located close to, it is not within the Smith Street Activity Centre. It is therefore necessary to balance the amenity expectations of nearby residents with the use of the café. Living in close proximity to a Major Activity Centre and within a mixed-use zone it should be expected that there will be some level of noise over and above what might be expected in a purely residential area. The nearby residents therefore cannot expect their amenity will not be impacted to a certain extent by some level of noise from other uses within the mixed-use zone.⁴”

The site is surrounded by a mix of commercial and residential uses in the activity centre in which it is situated. It would be perceived that residential use situated in the activity zone would expect a higher level of amenity than those situated in a residential area.

We remind council that the applicant is seeking to only utilise any external area to 10pm on any given day and that the size of the area restricts the number of patrons able to access this area. Music levels are background only along with an extensive Noise and Amenity Action Plan.

² *MicJay Pty Ltd v Melbourne CC* [2005] VCAT 1483 [11].

³ *MicJay Pty Ltd v Melbourne CC* [2005] VCAT 1483 [12].

⁴ *Robertson v Yarra CC* [2014] VCAT 571 [24].

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Should you require further information relating to the above, I can be reached on phone 53681881, or via email at apps@ontapliquor.com.au.

I look forward to speaking with you soon.

Yours Sincerely,

A handwritten signature in blue ink, appearing to read 'Stephan J. Jerman', with a stylized flourish extending to the right.

Stephan J. Jerman

Principal Consultant

Waste Management Plan

Date: 14 May 2020

Planning application number: PLN16/0041.01

Address: 274 Rear, Brunswick St, Fitzroy

Land use type: Commercial

Number of floors: Three

Floor area (m²): 433m² (area subject to waste plan) over three levels

Bin Storage area: 7.49m² – related to the venue use.

The following types of waste are most commonly generated within a commercial development such as that proposed:

- General landfill rubbish;
- Recyclables such as glass, paper, cardboard, cartons, plastics with ID Codes 1 to 7, steel & aluminium cans;
- Compostable organic material (food scraps);
- Hard rubbish such as broken furniture and large objects; and
- Sundry waste types such as electronic waste and cartridges.

Sundry waste types will also potentially include other types of waste derived from the artisan manufacturing and other possible uses.

Waste rates for the venue have been broken down to better reflect the multi-use of the site between, restaurant, greengrocer and licensed club with areas identified on the image below and the provided waste plan.

City of Melbourne waste generation rates (L/day)

Outlet type	Garbage	Recycling
Café (ground floor)	300L/100 m ² floor area/day	200L/100 m ² floor area/day
Office (third floor)	10L/100 m ² floor area/day	10L/100 m ² floor area/day
Licensed club (second floor)	50L/100 m ² floor area/day	50L/100 m ² floor area/day

Waste volume calculation

Tenancy size	Garbage	Recycling
185 m ² cafe	185/100 x 300L = 555 L/day	185/100 x 200L = 370 L/day
176 m ² Licensed club	176/100 x 50L = 88 L/day	176/100 x 50L = 88 L/day
72 m ² Office	72/100 x 10L = 7 L/day	72/100 x 10L = 7 L/day
Total daily waste	650 L/day	465 L/day
Total weekly waste	4,550 L/week (7 days)	3,255 L/week (7 days)

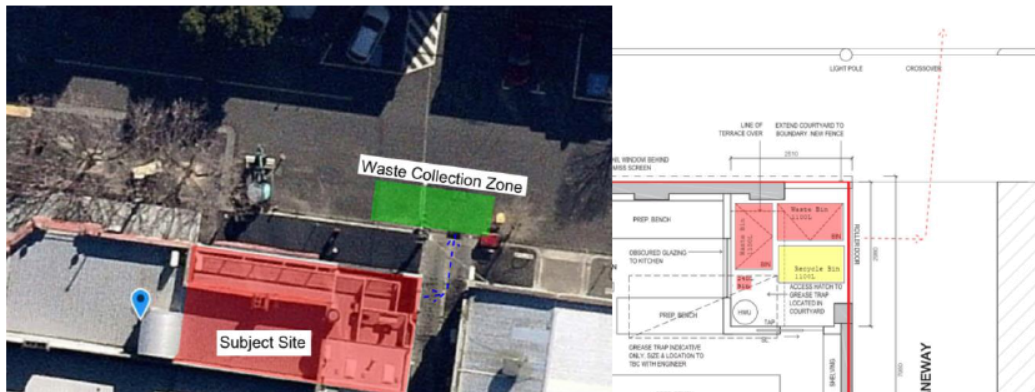
Note: Only fill in rows required

Weekly waste = total L/day by number of operational days per week

Attachment 3 - PLN160041.01 - 274 Brunswick Street Fitzroy - Sketch Plans - 10 June 2020**Collection frequency, number and size of bins**

Garbage				Recycling			
Collections per week	Bin size	No. Bins	Weekly Volume	Collections per week	Bin size	No. Bins	Weekly Volume
2	1100L	2	4400 L	3	1100L	1	3,300 L
2	240 L	1	480 L				

Note: Only fill in bin sizes required.

Bin storage location:

Bins provided for the venue will be in accordance with Council's specifications for manufacture, composition, colour coding, and have required stickers applied including the development address.

The space required in order to store the waste bins is approximately 5.40m², **the waste storage areas is 7.49m² in size**. The roller door allows for bins to be rolled to the street for collection and manoeuvred back into the storage area.

Waste collection:

Collection will be undertaken by a private contractor. Waste and recycling bins will be collected 2 times a week for general waste and 3 for recycle.

Waste bins will be moved to a collection point at the front of the venue and moved onto Victoria Street on the arrival of the waste collection vehicle. All collections will occur inside business hours to ensure minimal disruption to the amenity of the area.

Waste bins will then be returned to the waste area and secured.

The collection will require two separate trucks from the contractor, one for general rubbish and one for recyclables. Collection will occur outside of peak traffic hours and will be in accordance with EPA and City of Yarra requirements, to minimise any traffic disturbance for surrounding occupants or visitors using Victoria Street.

The storage area will be regularly cleaned (as necessary) to prevent the attraction of vermin.

Waste will be collection between 9am and 7pm on any given day.

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E-Waste / Hard Waste:

The venue operates as a food and drink premises and e-waste along with hard waste items are not generally an item of concern, however, any e-waste and hard waste will be stored in the office spaces to be taken to the City of Yarra recycling drop-off centre in Clifton Hill, sold or donated to charity at the discretion of the business owner.

Food Waste Diversion:

There are no plans in place related to the collection of food waste (organic matter) at the venue at this time due to the lack of ventures will into take such waste. The business is willing to assist in the distribution of food waste to a composting facility once made available by utilising organic waste bins that can be collected. The venue does not have the infrastructure or equipment at the present time in order to allow for the food waste to be processed onsite and will assist a third party with such product should they desire.

Signage:

Waste management signage will be placed in the venue to direct staff and patrons to the bin collection point. Visual prompts will be placed on the bins, such as identified below, this will assist with the appropriate disposal of the different types of waste.



Figure 1 - Examples of proper point of disposal signage from Sustainability Victoria

City of Yarra can assist in providing signage, it can be located on Sustainability Victoria's website: www.sustainability.vic.gov.au and signage may also be provided by the private waste contractor.

Waste collection contractor:

A private contractor is to be engaged to manage the bin collections of the 1100 L bins with council collecting the 240 L bins.

Review:

This waste management plan will be reviewed on a 12 monthly basis or when the business model changes to such a degree that a new assessment of waste is required.

Prepared By

On Tap Liquor Consulting
PO Box 7, Ballan 3342

www.ontapliquor.com.au

P: 5368 1881

E: enquiries@ontapliquor.com.au



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Project: Little Odessa Bar Eatery – Rear of 274 Brunswick St Fitzroy

#19819

1.6.20

Client Contact: Stefan Soltys

P 0402942417

E info@littleodessa.com.au



Waveform Acoustics
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Blackburn Victoria
m +61 402477774
info@waveformacoustics.com.au
waveformacoustics.com.au

Acoustic Report Information Sheet

Project

19819 Little Odessa – Rear of 274 Brunswick St Fitzroy

Prepared for

Stefan Soltys

Prepared by

Rohan Barnes from Waveform Acoustics

20 Albert St Blackburn Victoria 0402477774

REVISIONS REGISTER	Issue Date
Draft Acoustic Report	28.6.19
Final Acoustic Report	4.7.19
Final Acoustic Report Rev a	1.6.20

DOCUMENT REGISTER	Issue Date
Letter of engagement	15.6.19

Attachment 3 - PLN160041.01 - 274 Brunswick Street Fitzroy - Sketch Plans - 10 June 2020

Date: 1.6.20

Executive Summary

Waveform Acoustics has been engaged by Stefan Soltys from Little Odessa to provide an Acoustic Report in relation to the potential noise emissions from the proposed outdoor dining/function area situated at the rear of 274 Brunswick St Fitzroy, and in particular their EPA Sepp No. N-1 and N-2 requirements during the day, evening and night period.

The client has informed us that background music will only be played outside in the new deck area.

Testing was conducted during the day evening and night period from the 20.6.19 to the 25.6.19

The client has advised us that the intended hours of operation are as follows:

Internal:

Sunday 10am – 1am Monday

Good Friday and Anzac Day – 12 noon to 1am the following day

On all other days 7am – 1am

External Deck Area:

Sunday 10am – 10pm

Good Friday and Anzac Day – 12 noon to 1am the following day

On all other days 7am – 10pm

Patron numbers are 80 on the external deck area.

The nearest residence appears to be to the north of the building at 107 Victoria St Brunswick.

It is our opinion based on the available environmental noise data, plans received and technical performance information from suppliers for products selected for the development, strict implementation of the requirements outlined in this acoustic assessment report is expected to enable achievement of the nominated noise compliances.

Best Regards,



Rohan Barnes
Principal Consultant

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Legislation and Guidelines

In the preparation of the report the following legislation and guidelines were used:

State Environmental Protection Policy (Control of Noise from Commerce, Industry and Trade) No. N-1 (SEPP N-1)

- The policy aims to protect people from commercial, industrial or trade noise that may affect the beneficial uses made of noise sensitive areas while recognizing the reality of the existing land use structure in the Metropolitan Region.

State Environmental Protection Policy (Control of Music Noise from Public Places) No. N-2 (SEPP N-2)

- The policy aims to protect residents from levels of music noise that may affect the beneficial uses of noise sensitive areas, while recognizing the community demand for a wide range of musical entertainment.

Sleep Disturbance Criteria – Sources from NSW Road Noise Policy 2011

- This guideline is often used in Victoria for general guidance on potential sleep disturbance from noise. The NSW policy nominates maximum external night-time noise levels at noise sensitive locations which are unlikely to cause sleep disturbance.

Acoustic Assessment

An Acoustic Research Laboratory ARL Ngara noise logger recorded the environmental noise data calibrated prior to and after measurement. This equipment recorded background noise levels at the rear of the venue. Testing Location 1 – Appendix 1).

1. Details of the instrumentation

- a. An Acoustic Research Laboratory ARL Ngara noise logger (S/N 878 153 Cal Due 2.11.20)
- b. A SV 33A Acoustic Calibrator was used to Calibrate the unit (S/N 73304 Cal Due 19.7.20)

Details of Testing:

Date and Time	location	Atmospheric
20.6.19 10.30am to 9am 25.6.19	On the outside deck area facing Victoria St. Microphone was 1m from the unit. See location on map and picture in appendix 1	Conditions according to the BOM ¹

Sepp No. N-1 – plant and machinery

TABLE 1 EPA SEPP No. N-1 Determined Noise limits for mechanical services

PERIOD	SEPP No N-1 ZONING LEVEL dB(A)	EXISTING LEVEL L _{A90} (less -2 reflective adjustment)	Determined SEPP No.N-1 NOISE LIMIT L _{Aeq}
DAY PERIOD (0700-1800 hours)	55	53 (55)	53
EVENING PERIOD (1800-2200 hours)	47	55 (57)	58 (high)
NIGHT PERIOD (2200 – 0700 hours)	43	47(49)	50 (high)

¹ <http://www.bom.gov.au/climate/dwo/201906/html/IDCJDW3050.201906.shtml>

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Table 1 describes the external noise limits set in the EPA SEPP N-1 Policy in relation to mechanical services type noise, not music.

Any items of plant and machinery such as but not limited to Air-conditioning systems, chiller units or exhaust and extraction systems must be within the limits as set out above.

TABLE 2 EPA SEPP No. N-2 Determined noise limit guide for entertainment music activities

PERIOD	Measure Type	OCTAVE BAND CENTRE FREQUENCY (Hz)							A Scale
		63	125	250	500	1k	2k	4k	
DAY PERIOD (0700-1800)	$L_{A90} + 5dB(A)$								54
EVENING PERIOD (1800-2200 hours)	$L_{A90} + 5dB(A)$								57
NIGHT PERIOD (22.00 - 0700 hours)	$L_{OCT90} + 8dB$	58	54	50	48	46	41	31	

Table 2 describes the external noise limits set in the EPA SEPP N-2 Policy in relation to noise associated with entertainment, specifically music and the activities which may be involved.

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The effective noise level (music) for an indoor venue as follows to be measured at the nearest noise sensitive receptor)

Day – 54 L_{Aeq}

Evening – 57 L_{Aeq}

Night L_{OCT10}

Table 3:

PERIOD	Measure Type	OCTAVE BAND CENTRE FREQUENCY (Hz)						
		63	125	250	500	1k	2k	4k
NIGHT PERIOD (22.00 - 0900 hours)	L _{oct 10}	58	54	50	48	46	41	31

NUMBER OF OPERATIONS PER WEEK	HOUR		A.M.												P.M.												
	DAY		12	1	2	3	4	5	6	7	8	9	10	11	12	1	2	3	4	5	6	7	8	9	10	11	12
One	Friday																										
	Saturday																										
	Sunday																										
	Other																										
Two or three	Thursday																										
	Friday																										
	Saturday																										
	Other																										
More than three	Saturday																										
	Sunday																										
	Other																										
	Other																										
			12	1	2	3	4	5	6	7	8	9	10	11	12	1	2	3	4	5	6	7	8	9	10	11	12
			Operating Periods																								

Patron Noise

The client has advised us that the upstairs internal area will be limited to 70 patrons seated at table within the restaurant area.

While there is no specific regulations regarding patron noise we use the methodology as proposed in the paper Prediction of Noise from Small to Medium Sized Crowds by Hayne, Taylor, Rumble and Mee.²

As such the following equation is used to calculate the sound power of patron noise where N is the number of patrons.

$$L_{WAeq} = 15\log N + 64 \text{ dB(A)}$$

As such the Sound Power level of the 80 patrons is 93 dB(A).

The NSW Road Noise Policy 2011 provides a guidance on potential for sleep disturbance.

The policy notes the following:

- maximum internal noise levels below 50–55 dB L_{Amax} are unlikely to awaken people from sleep
- one or two noise events per night, with maximum internal noise levels of 65–70 dB L_{Amax} , are not likely to affect health and wellbeing significantly.

By converting to a Sound Pressure level and allowing for the attenuation of both the facade of 107 Victoria St Brunswick coupled with the distance decay of 25m that it is unlikely that Patron numbers will cause Sleep Disturbance as set out in the criteria above.

Notwithstanding we recommend that patrons are encouraged when exiting the facility to consider the neighbourhood amenity.

² https://www.acoustics.asn.au/conference_proceedings/AAS2011/papers/p133.pdf

Recommendations:

1. The client has advised that they intend to have background music only in the outdoor area.

- i. Liquor Licensing Victoria define a background music level thus:

"Background music level" is defined as a level that enables patrons to conduct a conversation at a distance of 600mm without having to raise their voices to a substantial degree.

- ii. As the outdoor area is to be used during the period designated as night period
 - a. Sunday morning from 10am – midday is considered night period.
 - b. Sunday evening from 9-10pm is also considered night period
 2. As such any music must be set at a level that it does not exceed the prescribed limits at the nearest residence as a single dB(A) figure for the day and evening period as and at the octave limits from 63 Hz – 4kHz as set out in table.
 - a. Limits should be calibrated and site verified at the nearest residence when the PA system is commissioned.

- iii. As a guide the level produced on the outside deck should not exceed 65dB(A) and 70 dB(C).

As such the music should be limited to no greater than 65dB(A) and 70 dB(C). The sound system must be connected to a noise limiting device calibrated to shut the sound off should it exceed this limit. Limits by frequency are set out below.

Frequency	63 Hz	125 Hz	250 Hz	500 Hz	1000 Hz	2000 Hz	4000 Hz	
Limit	65	67	60	60	59	58	55	70 dB(C)

- iv. We suggest that management display signage encouraging patrons to consider the neighbourhood amenity in their behaviour.

Summary

Based on existing background noise levels and the determined noise limits, I am confident that with the strategies in place and maintained as outlined, that venue can operate in compliance with EPA SEPP No. N-2 noise limits at the nearest residences at 107 Victoria St Fitzroy.

This report gives consideration to acoustic matters associated with the provision of recorded background music, with recommended acoustic treatments based on manufacturers' acoustic performance data where relevant.

Where clarification is required, or the recommended acoustic treatments may be found to impact on other services or statutory requirements, Independent advice, as appropriate, is to be sought in respect to any such impact that these acoustic works may have on the building design and construction.

Rohan Barnes

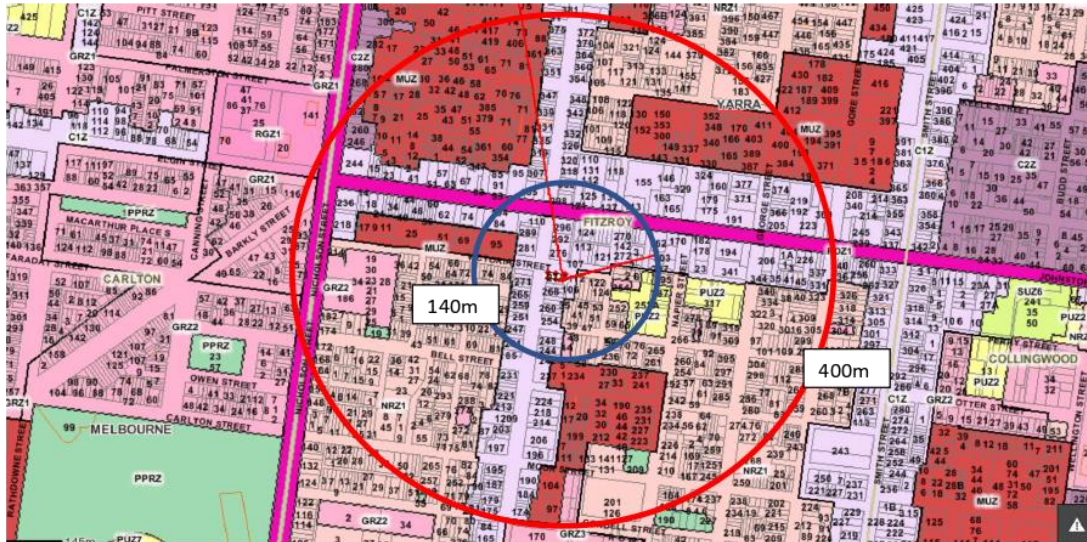
Waveform Acoustics.

Appendix 1 - Site Map



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Appendix 2 Zoning Map



Attachment 3 - PLN160041.01 - 274 Brunswick Street Fitzroy - Sketch Plans - 10 June 2020

Appendix 3 Data

Date	Time	Laeq	Lmax	Lmin	LA90	63Hz	125Hz	250Hz	500Hz	1000Hz	2000Hz	4000Hz
20/06/2019	10:30 AM	62	76	53	55	62	58	54	52	50	46	40
20/06/2019	10:45 AM	60	74	53	56	60	58	54	52	51	48	42
20/06/2019	11:00 AM	60	80	52	55	60	58	54	52	50	47	40
20/06/2019	11:15 AM	60	75	53	56	60	58	54	53	51	48	41
20/06/2019	11:30 AM	62	77	57	59	63	59	55	55	55	52	45
20/06/2019	11:45 AM	61	72	53	56	62	59	56	53	52	49	41
20/06/2019	12:00 PM	62	80	53	56	60	59	54	52	50	47	40
20/06/2019	12:15 PM	59	72	54	56	60	61	57	53	51	48	41
20/06/2019	12:30 PM	63	85	53	56	60	58	57	53	50	47	41
20/06/2019	12:45 PM	59	72	53	56	60	58	55	53	51	48	40
20/06/2019	1:00 PM	60	76	54	56	61	61	57	53	51	48	41
20/06/2019	1:15 PM	60	83	53	55	60	58	55	53	50	47	40
20/06/2019	1:30 PM	59	74	52	54	59	57	53	52	50	46	38
20/06/2019	1:45 PM	59	73	53	56	61	58	55	53	51	47	39
20/06/2019	2:00 PM	60	83	54	56	62	61	57	54	50	46	39
20/06/2019	2:15 PM	60	75	54	56	64	61	57	54	51	47	39
20/06/2019	2:30 PM	60	74	54	56	62	61	57	54	50	46	39
20/06/2019	2:45 PM	62	84	53	56	63	61	56	53	50	47	39
20/06/2019	3:00 PM	61	77	53	55	62	60	56	53	50	46	39
20/06/2019	3:15 PM	63	83	53	56	62	60	56	53	50	46	38
20/06/2019	3:30 PM	60	79	53	55	62	60	56	53	50	46	38
20/06/2019	3:45 PM	59	75	53	55	61	60	57	53	50	46	38
20/06/2019	4:00 PM	61	74	54	56	62	60	57	54	51	47	38
20/06/2019	4:15 PM	60	74	54	56	62	61	57	54	51	46	38
20/06/2019	4:30 PM	60	73	55	56	63	61	57	53	51	46	38
20/06/2019	4:45 PM	60	80	55	56	64	62	57	54	51	47	39
20/06/2019	5:00 PM	61	74	55	57	64	62	57	55	52	48	39
20/06/2019	5:15 PM	61	74	54	56	64	63	57	54	51	46	38
20/06/2019	5:30 PM	60	74	54	57	64	63	57	54	51	47	38
20/06/2019	5:45 PM	61	84	55	57	64	62	58	55	51	48	40
20/06/2019	6:00 PM	61	72	55	57	64	63	59	55	52	48	39
20/06/2019	6:15 PM	60	71	55	57	64	63	59	55	51	48	40
20/06/2019	6:30 PM	61	81	55	58	65	64	59	55	52	49	40
20/06/2019	6:45 PM	61	77	56	58	64	64	59	55	52	48	41
20/06/2019	7:00 PM	61	77	55	57	65	64	58	54	52	48	40
20/06/2019	7:15 PM	61	73	55	58	65	65	58	55	52	49	40
20/06/2019	7:30 PM	60	75	54	57	63	63	57	55	52	48	39

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20/06/2019	7:45 PM	60	76	55	57	63	62	57	55	52	48	39
20/06/2019	8:00 PM	60	75	55	57	64	63	57	55	52	48	39
20/06/2019	8:15 PM	60	71	55	57	63	61	57	55	52	48	39
20/06/2019	8:30 PM	60	75	56	57	64	63	57	55	52	48	39
20/06/2019	8:45 PM	60	69	55	57	62	61	57	55	52	48	39
20/06/2019	9:00 PM	61	78	55	57	63	62	57	55	52	49	40
20/06/2019	9:15 PM	60	69	54	57	59	56	53	55	53	49	41
20/06/2019	9:30 PM	60	73	53	56	56	55	53	54	52	48	40
20/06/2019	9:45 PM	60	75	53	56	57	55	53	53	51	47	40
20/06/2019	10:00 PM	60	72	52	56	57	54	53	53	51	48	39
20/06/2019	10:15 PM	59	74	52	55	55	53	52	52	51	47	38
20/06/2019	10:30 PM	58	70	49	53	55	52	50	50	49	45	36
20/06/2019	10:45 PM	58	71	50	53	57	52	50	50	48	45	36
20/06/2019	11:00 PM	57	72	49	52	55	51	50	49	48	44	35
20/06/2019	11:15 PM	58	72	50	53	55	52	51	50	48	45	35
20/06/2019	11:30 PM	58	75	48	52	55	51	50	50	47	43	33
20/06/2019	11:45 PM	58	75	49	53	54	51	50	50	49	45	36
21/06/2019	12:00 AM	59	71	49	53	55	51	50	51	48	45	40
21/06/2019	12:15 AM	57	72	47	50	53	50	49	48	46	42	35
21/06/2019	12:30 AM	58	70	48	51	53	50	49	49	46	43	36
21/06/2019	12:45 AM	59	75	51	52	53	50	49	50	47	45	41
21/06/2019	1:00 AM	57	74	48	50	52	50	48	47	44	41	37
21/06/2019	1:15 AM	60	81	46	50	52	49	48	48	46	42	35
21/06/2019	1:30 AM	55	70	44	47	52	48	46	45	43	38	31
21/06/2019	1:45 AM	55	72	43	45	51	48	45	42	40	36	27
21/06/2019	2:00 AM	57	76	44	49	49	47	46	46	44	41	31
21/06/2019	2:15 AM	57	67	50	52	51	48	47	49	47	45	42
21/06/2019	2:30 AM	54	65	45	48	50	47	45	44	42	41	38
21/06/2019	2:45 AM	54	65	44	46	50	47	45	43	41	37	33
21/06/2019	3:00 AM	52	64	44	46	49	46	44	43	41	37	32
21/06/2019	3:15 AM	54	67	42	44	49	46	44	41	39	35	29
21/06/2019	3:30 AM	58	73	43	45	51	47	44	43	40	36	28
21/06/2019	3:45 AM	57	70	43	45	49	46	45	43	41	37	29
21/06/2019	4:00 AM	56	69	45	50	50	56	54	47	42	38	31
21/06/2019	4:15 AM	53	69	41	42	49	46	43	40	37	32	24
21/06/2019	4:30 AM	52	66	41	43	48	46	43	40	38	33	25
21/06/2019	4:45 AM	55	70	43	45	52	47	45	43	41	37	28
21/06/2019	5:00 AM	54	67	42	45	49	47	45	42	40	36	28
21/06/2019	5:15 AM	57	70	45	48	50	48	46	44	43	41	38
21/06/2019	5:30 AM	57	71	44	46	50	48	45	43	41	37	32
21/06/2019	5:45 AM	60	76	45	51	53	50	48	48	46	44	37
21/06/2019	6:00 AM	60	72	48	51	54	50	47	46	46	44	39
21/06/2019	6:15 AM	60	73	46	50	55	51	48	46	46	43	36

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21/06/2019	6:30 AM	62	79	47	52	57	53	51	49	48	44	36
21/06/2019	6:45 AM	62	79	51	54	58	55	52	50	50	46	38
21/06/2019	7:00 AM	60	71	51	54	59	55	52	50	50	47	38
21/06/2019	7:15 AM	64	80	51	55	59	56	53	52	51	48	41
21/06/2019	7:30 AM	65	89	54	57	59	57	54	53	52	50	45
21/06/2019	7:45 AM	63	86	53	56	59	56	53	51	51	49	43
21/06/2019	8:00 AM	61	80	52	56	60	57	54	52	51	48	42
21/06/2019	8:15 AM	61	77	54	56	60	58	54	52	52	49	42
21/06/2019	8:30 AM	61	78	52	56	61	59	55	52	52	49	42
21/06/2019	8:45 AM	62	78	52	56	61	59	54	53	52	49	41
21/06/2019	9:00 AM	62	76	54	57	61	59	55	53	52	48	40
21/06/2019	9:15 AM	62	72	54	56	61	59	54	53	52	49	42
21/06/2019	9:30 AM	62	73	53	56	60	59	55	53	52	48	40
21/06/2019	9:45 AM	61	79	52	55	60	59	54	52	50	47	39
21/06/2019	10:00 AM	60	71	54	56	60	58	56	53	52	48	40
21/06/2019	10:15 AM	62	74	52	56	60	58	56	52	51	47	39
21/06/2019	10:30 AM	68	91	53	56	62	59	55	53	51	48	42
21/06/2019	10:45 AM	60	70	52	55	59	58	54	52	50	47	40
21/06/2019	11:00 AM	60	76	53	55	60	58	54	52	51	47	40
21/06/2019	11:15 AM	60	84	52	55	59	58	54	52	50	47	39
21/06/2019	11:30 AM	60	80	52	54	59	58	54	52	50	46	38
21/06/2019	11:45 AM	60	81	52	55	60	58	55	52	50	46	38
21/06/2019	12:00 PM	59	74	53	55	59	60	57	52	50	46	38
21/06/2019	12:15 PM	60	75	53	55	58	58	56	53	50	46	38
21/06/2019	12:30 PM	60	74	52	55	59	58	55	52	50	47	38
21/06/2019	12:45 PM	59	70	53	55	61	58	55	53	51	46	38
21/06/2019	1:00 PM	59	75	52	55	61	58	55	52	50	46	38
21/06/2019	1:15 PM	58	69	52	54	59	57	55	51	49	45	37
21/06/2019	1:30 PM	59	70	52	54	59	57	55	51	49	45	37
21/06/2019	1:45 PM	59	79	52	54	58	57	54	52	50	46	37
21/06/2019	2:00 PM	60	78	54	57	65	64	58	55	50	46	38
21/06/2019	2:15 PM	60	81	54	56	66	63	57	53	50	46	37
21/06/2019	2:30 PM	59	72	54	55	62	60	57	53	50	46	38
21/06/2019	2:45 PM	59	74	55	56	64	64	59	53	50	46	38
21/06/2019	3:00 PM	60	74	54	56	64	62	59	54	50	46	38
21/06/2019	3:15 PM	59	74	55	56	61	61	59	54	50	46	39
21/06/2019	3:30 PM	60	71	54	56	62	59	57	55	50	46	38
21/06/2019	3:45 PM	60	78	53	55	60	59	57	53	50	45	38
21/06/2019	4:00 PM	59	77	54	55	62	60	57	53	50	46	38
21/06/2019	4:15 PM	60	75	54	56	62	60	57	54	50	46	38
21/06/2019	4:30 PM	62	80	55	57	64	62	57	54	51	48	40
21/06/2019	4:45 PM	61	85	54	56	63	61	57	54	50	46	38
21/06/2019	5:00 PM	61	83	54	56	64	62	57	54	50	46	38

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21/06/2019	5:15 PM	61	76	56	57	64	63	59	55	51	47	40
21/06/2019	5:30 PM	62	84	55	57	63	62	59	54	51	47	39
21/06/2019	5:45 PM	60	79	55	57	63	62	59	54	51	47	39
21/06/2019	6:00 PM	60	77	55	57	64	63	59	54	51	47	40
21/06/2019	6:15 PM	60	72	55	57	63	62	59	55	51	47	39
21/06/2019	6:30 PM	60	79	56	57	63	62	59	54	52	48	40
21/06/2019	6:45 PM	60	78	55	56	63	62	58	54	51	46	38
21/06/2019	7:00 PM	60	76	55	57	63	62	59	54	51	47	39
21/06/2019	7:15 PM	59	78	54	56	63	62	58	53	51	47	39
21/06/2019	7:30 PM	59	74	55	57	63	63	59	54	51	48	40
21/06/2019	7:45 PM	60	77	56	57	64	63	59	54	52	48	40
21/06/2019	8:00 PM	61	86	55	57	61	62	59	54	51	48	40
21/06/2019	8:15 PM	59	71	55	57	62	62	57	54	52	48	40
21/06/2019	8:30 PM	60	72	55	57	62	61	57	55	52	48	39
21/06/2019	8:45 PM	60	71	55	57	62	61	57	55	52	48	40
21/06/2019	9:00 PM	60	74	56	58	63	62	57	56	53	49	40
21/06/2019	9:15 PM	60	69	55	58	62	61	57	55	53	49	40
21/06/2019	9:30 PM	61	79	55	58	60	58	54	55	53	50	41
21/06/2019	9:45 PM	60	69	55	58	60	57	54	55	53	50	41
21/06/2019	10:00 PM	60	77	55	57	59	56	54	55	53	49	40
21/06/2019	10:15 PM	61	74	55	57	63	58	54	55	53	48	39
21/06/2019	10:30 PM	59	71	54	57	63	57	54	54	52	48	39
21/06/2019	10:45 PM	60	73	55	57	63	59	55	55	53	49	40
21/06/2019	11:00 PM	61	73	56	58	65	60	57	55	53	49	40
21/06/2019	11:15 PM	60	77	55	57	63	57	54	55	53	48	39
21/06/2019	11:30 PM	60	73	55	57	64	57	53	55	52	48	39
21/06/2019	11:45 PM	61	85	54	57	63	57	53	55	53	49	40
22/06/2019	12:00 AM	68	94	55	57	62	57	53	55	53	49	40
22/06/2019	12:15 AM	60	72	54	58	64	57	54	55	53	49	39
22/06/2019	12:30 AM	59	76	54	57	61	58	54	54	52	48	39
22/06/2019	12:45 AM	59	73	53	55	64	57	52	52	50	47	37
22/06/2019	1:00 AM	60	83	51	54	63	56	51	51	49	45	35
22/06/2019	1:15 AM	58	71	50	53	62	54	50	51	49	45	35
22/06/2019	1:30 AM	58	75	50	53	62	53	50	51	49	44	35
22/06/2019	1:45 AM	57	71	49	51	63	54	49	48	47	42	32
22/06/2019	2:00 AM	55	71	48	51	59	54	49	48	46	42	31
22/06/2019	2:15 AM	55	67	47	50	62	55	48	47	44	40	29
22/06/2019	2:30 AM	55	74	47	50	60	54	49	47	45	40	30
22/06/2019	2:45 AM	57	73	47	51	63	55	50	47	46	42	32
22/06/2019	3:00 AM	54	63	47	49	62	55	49	47	44	39	31
22/06/2019	3:15 AM	58	74	47	51	51	51	48	48	47	42	33
22/06/2019	3:30 AM	57	74	45	50	53	52	48	47	46	43	33
22/06/2019	3:45 AM	57	73	44	48	52	51	47	45	43	39	33

Attachment 3 - PLN160041.01 - 274 Brunswick Street Fitzroy - Sketch Plans - 10 June 2020

22/06/2019	4:00 AM	58	77	45	48	54	52	47	45	43	39	33
22/06/2019	4:15 AM	53	64	42	45	51	50	45	42	39	36	28
22/06/2019	4:30 AM	54	69	43	45	52	51	46	43	40	36	27
22/06/2019	4:45 AM	56	70	42	45	48	50	46	43	39	34	26
22/06/2019	5:00 AM	56	74	42	44	49	50	46	42	39	34	25
22/06/2019	5:15 AM	52	63	41	43	48	49	45	41	37	32	23
22/06/2019	5:30 AM	51	72	42	43	47	49	46	41	37	32	23
22/06/2019	5:45 AM	54	72	42	44	48	49	46	41	38	33	23
22/06/2019	6:00 AM	55	71	42	44	49	50	46	41	38	34	24
22/06/2019	6:15 AM	56	72	44	46	51	50	47	44	41	37	31
22/06/2019	6:30 AM	56	72	44	46	51	51	47	43	41	37	31
22/06/2019	6:45 AM	58	72	45	47	54	52	47	44	43	39	32
22/06/2019	7:00 AM	59	72	46	49	53	52	48	47	45	41	35
22/06/2019	7:15 AM	59	85	45	48	53	53	47	45	43	40	33
22/06/2019	7:30 AM	65	92	48	50	54	56	51	47	45	42	35
22/06/2019	7:45 AM	60	72	49	52	55	56	51	48	47	45	37
22/06/2019	8:00 AM	61	79	48	51	57	56	51	48	47	44	35
22/06/2019	8:15 AM	58	71	48	51	55	56	51	48	46	43	35
22/06/2019	8:30 AM	59	83	49	51	56	56	51	48	47	43	34
22/06/2019	8:45 AM	59	73	49	52	57	56	52	49	47	44	36
22/06/2019	9:00 AM	60	74	49	52	58	56	52	49	48	45	36
22/06/2019	9:15 AM	58	71	49	52	57	56	52	49	48	44	36
22/06/2019	9:30 AM	60	77	52	54	57	56	52	51	50	47	40
22/06/2019	9:45 AM	63	75	55	58	56	56	53	53	52	52	48
22/06/2019	10:00 AM	62	81	52	56	57	56	53	51	50	49	44
22/06/2019	10:15 AM	61	76	53	56	59	57	53	52	51	49	43
22/06/2019	10:30 AM	61	76	55	57	59	58	54	52	52	50	43
22/06/2019	10:45 AM	72	86	55	58	60	59	57	54	53	50	43
22/06/2019	11:00 AM	75	89	54	59	70	63	59	58	55	53	47
22/06/2019	11:15 AM	62	81	54	56	60	57	54	52	52	49	42
22/06/2019	11:30 AM	63	74	54	58	63	58	55	53	52	50	43
22/06/2019	11:45 AM	63	79	55	57	61	61	55	54	52	49	42
22/06/2019	12:00 PM	60	73	52	55	59	57	54	52	50	47	39
22/06/2019	12:15 PM	59	75	52	54	59	56	53	52	50	46	38
22/06/2019	12:30 PM	60	69	53	55	61	58	54	53	50	47	39
22/06/2019	12:45 PM	59	70	52	55	59	57	53	53	50	47	39
22/06/2019	1:00 PM	59	73	53	55	59	57	53	52	50	46	38
22/06/2019	1:15 PM	58	70	52	54	59	57	53	52	49	46	37
22/06/2019	1:30 PM	59	76	51	54	59	56	53	52	50	46	37
22/06/2019	1:45 PM	63	83	53	55	60	57	53	52	50	47	39
22/06/2019	2:00 PM	60	83	53	55	59	57	54	53	50	46	38
22/06/2019	2:15 PM	59	74	53	55	61	57	55	54	50	46	39
22/06/2019	2:30 PM	58	75	54	56	63	62	56	53	50	46	39

Attachment 3 - PLN160041.01 - 274 Brunswick Street Fitzroy - Sketch Plans - 10 June 2020

22/06/2019	2:45 PM	59	76	54	56	64	61	56	54	50	46	39
22/06/2019	3:00 PM	59	72	53	55	63	60	56	53	50	46	38
22/06/2019	3:15 PM	60	82	53	56	62	60	56	53	51	47	39
22/06/2019	3:30 PM	59	73	54	56	61	60	56	53	50	47	38
22/06/2019	3:45 PM	59	73	53	55	62	59	56	53	50	46	38
22/06/2019	4:00 PM	58	71	53	55	62	59	56	53	50	46	38
22/06/2019	4:15 PM	60	77	54	57	62	61	57	54	51	48	40
22/06/2019	4:30 PM	60	84	55	57	62	62	59	54	51	47	39
22/06/2019	4:45 PM	61	77	55	57	64	62	58	54	52	49	40
22/06/2019	5:00 PM	60	84	54	56	63	62	57	54	51	47	39
22/06/2019	5:15 PM	61	76	56	57	65	63	59	54	52	48	40
22/06/2019	5:30 PM	60	72	55	57	64	62	59	54	51	47	39
22/06/2019	5:45 PM	60	78	55	57	63	63	59	55	52	48	40
22/06/2019	6:00 PM	60	72	55	57	64	63	59	55	52	48	40
22/06/2019	6:15 PM	60	75	56	58	64	63	58	55	52	49	40
22/06/2019	6:30 PM	61	76	56	58	64	63	59	55	52	48	40
22/06/2019	6:45 PM	60	75	55	57	64	62	59	54	52	48	40
22/06/2019	7:00 PM	60	71	56	58	63	63	59	55	52	48	40
22/06/2019	7:15 PM	60	70	56	58	64	63	59	55	52	48	40
22/06/2019	7:30 PM	60	72	56	58	63	63	59	56	53	49	41
22/06/2019	7:45 PM	60	71	57	58	63	63	59	56	53	49	41
22/06/2019	8:00 PM	61	74	56	58	62	62	59	56	53	49	41
22/06/2019	8:15 PM	61	75	57	59	63	63	59	56	53	50	42
22/06/2019	8:30 PM	61	74	56	58	63	62	58	56	53	49	41
22/06/2019	8:45 PM	61	74	57	59	65	63	58	56	54	50	43
22/06/2019	9:00 PM	61	81	57	58	64	62	58	56	53	50	41
22/06/2019	9:15 PM	60	74	56	58	63	61	58	57	53	49	41
22/06/2019	9:30 PM	62	78	57	59	64	62	58	56	54	50	42
22/06/2019	9:45 PM	61	80	57	59	66	64	58	56	53	49	41
22/06/2019	10:00 PM	61	81	57	59	64	62	58	57	53	50	41
22/06/2019	10:15 PM	59	70	55	57	63	58	53	54	52	48	39
22/06/2019	10:30 PM	60	71	55	57	64	58	54	55	53	49	40
22/06/2019	10:45 PM	60	79	55	57	65	59	54	55	53	49	40
22/06/2019	11:00 PM	59	72	55	57	64	59	54	55	53	49	39
22/06/2019	11:15 PM	61	77	55	57	64	58	54	55	52	49	39
22/06/2019	11:30 PM	60	77	55	57	64	58	54	55	52	48	39
22/06/2019	11:45 PM	60	75	55	57	63	58	54	55	53	48	39
23/06/2019	12:00 AM	61	80	56	58	64	59	54	56	54	49	40
23/06/2019	12:15 AM	63	85	55	57	63	58	54	56	53	49	39
23/06/2019	12:30 AM	60	75	56	57	64	59	54	56	53	49	40
23/06/2019	12:45 AM	59	69	54	56	64	58	52	53	52	47	38
23/06/2019	1:00 AM	60	72	53	56	63	58	53	54	52	48	38
23/06/2019	1:15 AM	60	84	53	56	64	58	53	53	51	47	37

Attachment 3 - PLN160041.01 - 274 Brunswick Street Fitzroy - Sketch Plans - 10 June 2020

23/06/2019	1:30 AM	62	82	54	56	63	57	53	55	52	48	38
23/06/2019	1:45 AM	59	73	52	55	64	58	52	52	51	46	36
23/06/2019	2:00 AM	57	79	51	53	65	58	52	51	49	44	33
23/06/2019	2:15 AM	56	69	50	53	62	57	51	50	48	43	33
23/06/2019	2:30 AM	58	71	50	52	64	58	51	49	47	42	32
23/06/2019	2:45 AM	57	72	49	53	64	58	51	49	48	43	33
23/06/2019	3:00 AM	58	74	50	53	63	58	51	51	48	43	33
23/06/2019	3:15 AM	60	75	50	54	54	57	51	52	50	45	34
23/06/2019	3:30 AM	59	78	50	52	54	58	50	49	48	43	34
23/06/2019	3:45 AM	56	74	46	51	53	56	49	47	47	42	32
23/06/2019	4:00 AM	55	68	45	48	52	57	47	45	44	38	27
23/06/2019	4:15 AM	54	64	44	47	53	57	46	44	42	36	25
23/06/2019	4:30 AM	54	74	44	46	52	57	46	43	42	36	25
23/06/2019	4:45 AM	53	67	44	46	50	57	45	42	41	35	24
23/06/2019	5:00 AM	52	61	44	45	50	56	45	42	40	34	23
23/06/2019	5:15 AM	53	64	44	46	50	57	45	43	41	35	23
23/06/2019	5:30 AM	54	70	43	44	50	56	44	41	39	33	23
23/06/2019	5:45 AM	53	73	43	45	49	55	45	42	40	34	23
23/06/2019	6:00 AM	57	76	43	45	51	56	45	42	41	35	25
23/06/2019	6:15 AM	57	73	44	47	51	55	46	44	42	37	25
23/06/2019	6:30 AM	55	70	43	45	50	55	45	42	40	34	23
23/06/2019	6:45 AM	53	64	43	45	50	55	45	42	40	34	24
23/06/2019	7:00 AM	54	68	42	44	50	54	44	41	39	34	25
23/06/2019	7:15 AM	56	73	49	51	52	58	55	47	43	39	32
23/06/2019	7:30 AM	56	72	48	50	51	57	50	46	43	40	34
23/06/2019	7:45 AM	56	72	48	49	53	57	50	46	44	40	31
23/06/2019	8:00 AM	56	71	48	50	54	57	50	47	44	41	32
23/06/2019	8:15 AM	56	73	48	50	54	56	51	47	45	41	32
23/06/2019	8:30 AM	57	72	48	50	54	57	51	47	45	41	32
23/06/2019	8:45 AM	56	71	48	49	54	57	50	47	44	40	31
23/06/2019	9:00 AM	57	69	48	50	54	57	51	47	45	42	33
23/06/2019	9:15 AM	57	75	48	50	54	56	51	47	44	41	32
23/06/2019	9:30 AM	58	78	49	51	55	57	51	49	46	43	34
23/06/2019	9:45 AM	58	75	48	51	55	56	51	48	46	43	34
23/06/2019	10:00 AM	57	75	50	51	56	56	51	49	47	43	34
23/06/2019	10:15 AM	59	80	50	52	55	57	52	49	47	43	34
23/06/2019	10:30 AM	58	72	50	52	57	57	52	50	48	44	35
23/06/2019	10:45 AM	58	73	51	53	56	57	52	51	49	45	36
23/06/2019	11:00 AM	58	72	51	53	56	57	52	50	48	44	35
23/06/2019	11:15 AM	60	87	50	53	58	56	53	51	48	44	36
23/06/2019	11:30 AM	58	73	50	52	58	57	53	50	48	44	35
23/06/2019	11:45 AM	58	70	50	53	57	56	53	51	49	45	36
23/06/2019	12:00 PM	58	70	51	54	58	56	53	51	49	46	36

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23/06/2019	12:15 PM	58	72	51	54	57	56	53	51	49	45	36
23/06/2019	12:30 PM	59	72	51	54	58	56	54	52	49	45	37
23/06/2019	12:45 PM	59	71	53	55	60	59	57	52	50	46	38
23/06/2019	1:00 PM	59	74	52	55	60	57	54	52	50	47	38
23/06/2019	1:15 PM	58	73	52	54	59	56	53	52	50	46	37
23/06/2019	1:30 PM	58	75	51	54	57	56	53	51	49	45	36
23/06/2019	1:45 PM	58	77	52	54	59	56	53	51	49	45	36
23/06/2019	2:00 PM	61	77	51	54	58	56	53	51	49	45	36
23/06/2019	2:15 PM	59	73	51	54	57	55	53	52	49	45	36
23/06/2019	2:30 PM	57	70	51	53	57	55	53	51	49	45	36
23/06/2019	2:45 PM	58	70	51	53	57	56	53	51	49	45	36
23/06/2019	3:00 PM	58	81	51	54	58	56	53	51	49	45	36
23/06/2019	3:15 PM	59	74	52	55	58	57	54	53	50	46	37
23/06/2019	3:30 PM	59	71	53	55	57	57	54	53	50	46	37
23/06/2019	3:45 PM	58	72	53	55	59	57	55	53	50	46	37
23/06/2019	4:00 PM	61	78	56	57	62	62	58	56	51	47	39
23/06/2019	4:15 PM	60	81	55	57	63	63	58	55	51	47	38
23/06/2019	4:30 PM	60	72	56	57	63	63	58	55	51	47	38
23/06/2019	4:45 PM	60	73	56	58	65	64	58	55	52	49	40
23/06/2019	5:00 PM	61	79	56	57	64	63	58	55	51	47	39
23/06/2019	5:15 PM	61	82	56	57	64	63	58	55	52	48	40
23/06/2019	5:30 PM	60	77	54	56	63	62	57	54	51	46	37
23/06/2019	5:45 PM	59	72	54	56	64	63	57	53	50	45	37
23/06/2019	6:00 PM	60	76	54	56	65	63	57	54	51	47	38
23/06/2019	6:15 PM	59	71	54	56	64	63	57	53	51	46	36
23/06/2019	6:30 PM	59	75	54	55	63	62	57	53	50	46	37
23/06/2019	6:45 PM	60	82	54	55	63	63	57	53	50	46	37
23/06/2019	7:00 PM	59	75	54	56	64	63	57	54	50	46	37
23/06/2019	7:15 PM	59	70	54	56	65	64	57	53	50	45	37
23/06/2019	7:30 PM	59	73	55	56	64	63	57	53	50	46	39
23/06/2019	7:45 PM	60	72	54	56	63	62	57	53	50	47	38
23/06/2019	8:00 PM	59	72	54	56	64	62	57	53	50	46	37
23/06/2019	8:15 PM	60	76	53	55	63	62	56	53	49	45	37
23/06/2019	8:30 PM	58	73	53	55	63	62	57	52	49	44	36
23/06/2019	8:45 PM	58	74	53	55	62	62	57	52	49	44	36
23/06/2019	9:00 PM	59	71	54	55	62	62	57	53	49	45	36
23/06/2019	9:15 PM	60	86	53	55	61	61	57	53	49	45	36
23/06/2019	9:30 PM	57	72	51	53	56	55	52	51	48	44	35
23/06/2019	9:45 PM	58	71	50	53	55	54	51	51	48	44	34
23/06/2019	10:00 PM	58	72	48	52	54	53	50	50	47	43	33
23/06/2019	10:15 PM	57	79	47	51	54	52	50	48	46	42	31
23/06/2019	10:30 PM	59	82	48	51	53	50	49	49	46	42	31
23/06/2019	10:45 PM	55	70	48	50	53	50	49	49	46	41	31

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23/06/2019	11:00 PM	57	74	47	50	53	51	49	48	46	42	31
23/06/2019	11:15 PM	55	77	46	48	53	50	48	46	44	39	29
23/06/2019	11:30 PM	57	78	46	49	53	50	48	47	44	40	31
23/06/2019	11:45 PM	54	68	45	47	53	50	47	46	42	38	28
24/06/2019	12:00 AM	55	76	43	46	53	50	45	44	41	36	26
24/06/2019	12:15 AM	67	95	42	45	53	49	44	42	40	35	25
24/06/2019	12:30 AM	57	76	42	44	52	47	43	41	39	34	24
24/06/2019	12:45 AM	52	68	41	43	51	47	42	41	39	34	24
24/06/2019	1:00 AM	53	68	40	43	51	47	42	41	38	33	23
24/06/2019	1:15 AM	51	68	40	43	51	47	42	41	38	33	24
24/06/2019	1:30 AM	50	69	39	42	49	45	41	40	37	32	22
24/06/2019	1:45 AM	52	62	41	49	50	48	47	45	42	37	30
24/06/2019	2:00 AM	52	66	42	47	47	46	49	41	38	36	29
24/06/2019	2:15 AM	55	72	46	49	47	55	54	46	41	37	30
24/06/2019	2:30 AM	52	70	43	49	48	47	53	41	40	37	30
24/06/2019	2:45 AM	55	70	48	49	48	56	54	46	42	37	30
24/06/2019	3:00 AM	52	71	44	49	49	47	52	44	40	37	31
24/06/2019	3:15 AM	51	65	42	47	48	46	50	42	39	36	29
24/06/2019	3:30 AM	55	68	41	48	52	46	50	42	40	37	29
24/06/2019	3:45 AM	52	70	48	49	50	55	54	46	42	38	30
24/06/2019	4:00 AM	53	71	40	42	46	45	42	40	38	32	21
24/06/2019	4:15 AM	49	62	38	40	46	44	41	38	36	30	20
24/06/2019	4:30 AM	50	64	39	40	47	44	41	38	36	30	20
24/06/2019	4:45 AM	50	69	38	41	47	45	41	38	37	32	21
24/06/2019	5:00 AM	56	76	44	47	50	48	45	44	43	39	28
24/06/2019	5:15 AM	52	70	42	44	48	47	44	41	40	33	22
24/06/2019	5:30 AM	54	71	43	46	50	48	45	43	42	36	23
24/06/2019	5:45 AM	57	75	43	45	50	48	45	42	42	36	27
24/06/2019	6:00 AM	59	83	44	48	52	49	46	44	43	38	27
24/06/2019	6:15 AM	58	71	43	48	54	49	46	45	44	39	28
24/06/2019	6:30 AM	59	73	45	49	54	50	47	46	45	40	29
24/06/2019	6:45 AM	61	78	46	50	57	51	49	48	46	42	32
24/06/2019	7:00 AM	61	77	47	52	57	52	49	49	48	44	33
24/06/2019	7:15 AM	60	73	47	52	57	52	50	49	48	44	34
24/06/2019	7:30 AM	60	74	50	53	58	54	51	50	49	45	36
24/06/2019	7:45 AM	61	76	50	54	58	54	51	50	50	46	37
24/06/2019	8:00 AM	67	89	53	56	61	56	53	53	52	48	40
24/06/2019	8:15 AM	62	80	51	56	60	56	53	52	52	48	39
24/06/2019	8:30 AM	60	74	53	56	61	58	55	53	51	48	40
24/06/2019	8:45 AM	61	76	52	56	62	58	54	53	52	48	40
24/06/2019	9:00 AM	61	76	53	56	62	58	54	53	52	47	40
24/06/2019	9:15 AM	61	72	53	56	60	58	54	53	52	48	40
24/06/2019	9:30 AM	66	91	53	55	61	57	54	53	51	47	39

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24/06/2019	9:45 AM	60	74	53	54	59	57	55	52	50	45	37
24/06/2019	10:00 AM	60	72	52	54	59	58	55	52	50	45	37
24/06/2019	10:15 AM	60	74	51	54	59	58	54	52	49	45	37
24/06/2019	10:30 AM	62	82	52	55	60	58	54	52	51	47	39
24/06/2019	10:45 AM	60	72	52	55	59	57	54	52	50	46	38
24/06/2019	11:00 AM	61	79	51	55	61	58	54	52	51	46	38
24/06/2019	11:15 AM	59	80	51	53	59	57	53	51	49	44	36
24/06/2019	11:30 AM	59	71	52	54	59	57	53	51	49	45	36
24/06/2019	11:45 AM	61	76	52	54	60	57	53	52	50	45	37
24/06/2019	12:00 PM	59	71	52	55	60	56	55	52	50	46	38
24/06/2019	12:15 PM	58	72	51	53	59	55	53	51	49	45	36
24/06/2019	12:30 PM	62	84	51	53	59	55	53	51	49	44	36
24/06/2019	12:45 PM	61	81	50	53	58	55	52	51	49	45	36
24/06/2019	1:00 PM	59	74	53	55	60	58	54	52	49	45	37
24/06/2019	1:15 PM	61	85	53	55	61	59	56	54	49	45	37
24/06/2019	1:30 PM	68	94	53	54	61	59	56	53	49	45	37
24/06/2019	1:45 PM	59	73	52	54	61	59	56	52	48	44	36
24/06/2019	2:00 PM	59	73	53	55	61	59	56	52	49	45	37
24/06/2019	2:15 PM	60	79	52	54	60	58	55	52	49	44	36
24/06/2019	2:30 PM	59	76	52	54	59	58	56	53	49	45	36
24/06/2019	2:45 PM	59	76	50	53	57	55	52	51	48	44	35
24/06/2019	3:00 PM	60	79	50	53	59	55	52	50	48	45	36
24/06/2019	3:15 PM	60	77	50	53	58	55	52	51	49	45	36
24/06/2019	3:30 PM	58	73	50	53	58	55	52	50	48	44	35
24/06/2019	3:45 PM	58	72	49	53	57	55	52	50	48	45	35
24/06/2019	4:00 PM	60	78	50	53	58	56	52	50	48	44	35
24/06/2019	4:15 PM	59	74	52	54	58	56	53	51	49	45	36
24/06/2019	4:30 PM	59	75	51	54	58	57	53	51	49	45	36
24/06/2019	4:45 PM	59	76	52	54	58	57	53	51	49	45	36
24/06/2019	5:00 PM	59	76	51	54	58	56	53	51	49	45	36
24/06/2019	5:15 PM	60	79	51	53	58	56	53	51	49	45	36
24/06/2019	5:30 PM	69	98	51	53	60	56	52	51	49	44	35
24/06/2019	5:45 PM	60	78	51	53	59	56	53	51	49	45	36
24/06/2019	6:00 PM	59	84	52	54	59	56	53	51	49	45	36
24/06/2019	6:15 PM	59	75	51	54	59	56	52	51	49	45	36
24/06/2019	6:30 PM	58	70	52	54	58	56	52	51	50	45	35
24/06/2019	6:45 PM	60	72	51	54	58	55	52	51	50	45	35
24/06/2019	7:00 PM	59	71	52	54	57	56	52	51	51	45	34
24/06/2019	7:15 PM	59	74	53	55	59	56	53	52	52	46	36
24/06/2019	7:30 PM	59	72	52	54	57	55	51	51	50	45	35
24/06/2019	7:45 PM	58	72	52	54	56	54	51	51	50	44	34
24/06/2019	8:00 PM	59	77	52	53	56	54	51	51	50	45	34
24/06/2019	8:15 PM	58	70	50	52	55	54	50	50	48	43	33

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24/06/2019	8:30 PM	58	72	50	53	55	53	51	51	49	44	34
24/06/2019	8:45 PM	57	70	49	52	54	53	50	51	48	43	32
24/06/2019	9:00 PM	58	74	50	52	55	53	51	51	48	43	32
24/06/2019	9:15 PM	61	90	50	52	57	54	51	50	48	43	34
24/06/2019	9:30 PM	58	72	49	52	55	54	51	50	48	43	33
24/06/2019	9:45 PM	57	72	51	54	55	58	56	51	49	44	34
24/06/2019	10:00 PM	60	75	52	54	56	54	55	51	49	44	34
24/06/2019	10:15 PM	57	71	48	52	54	52	51	49	47	42	32
24/06/2019	10:30 PM	56	68	48	51	54	50	48	48	48	42	31
24/06/2019	10:45 PM	56	70	47	51	55	51	48	48	47	42	31
24/06/2019	11:00 PM	57	77	48	51	54	51	48	48	47	42	31
24/06/2019	11:15 PM	59	85	47	50	54	50	47	47	46	40	29
24/06/2019	11:30 PM	56	76	46	49	54	50	47	47	46	40	29
24/06/2019	11:45 PM	55	74	46	48	52	49	46	45	45	38	27
25/06/2019	12:00 AM	57	78	44	47	52	48	46	44	43	37	25
25/06/2019	12:15 AM	57	81	44	46	52	48	45	43	42	36	25
25/06/2019	12:30 AM	55	69	43	44	52	48	44	42	40	34	24
25/06/2019	12:45 AM	56	82	42	43	51	47	43	41	39	33	23
25/06/2019	1:00 AM	59	90	41	44	52	47	44	42	39	34	23
25/06/2019	1:15 AM	50	60	41	43	51	47	44	41	39	33	22
25/06/2019	1:30 AM	52	66	42	44	51	47	44	42	40	33	24
25/06/2019	1:45 AM	51	61	41	43	50	46	44	42	39	32	22
25/06/2019	2:00 AM	52	70	40	43	49	46	43	40	38	33	22
25/06/2019	2:15 AM	57	73	40	42	48	45	43	40	37	31	20
25/06/2019	2:30 AM	51	67	41	43	49	46	44	41	39	32	22
25/06/2019	2:45 AM	47	59	41	43	48	46	43	41	38	32	22
25/06/2019	3:00 AM	51	65	41	42	48	45	43	40	38	31	22
25/06/2019	3:15 AM	51	70	40	42	47	45	43	40	37	30	19
25/06/2019	3:30 AM	57	78	42	44	49	46	44	42	40	33	23
25/06/2019	3:45 AM	51	67	42	44	49	46	44	42	40	33	22
25/06/2019	4:00 AM	48	63	41	42	49	46	43	40	38	31	20
25/06/2019	4:15 AM	50	64	42	44	49	46	44	41	39	33	22
25/06/2019	4:30 AM	52	69	42	44	50	46	44	42	40	32	21
25/06/2019	4:45 AM	53	69	43	45	49	47	44	43	41	33	23
25/06/2019	5:00 AM	54	72	44	45	51	48	46	43	41	34	22
25/06/2019	5:15 AM	53	71	45	47	51	49	46	45	44	36	22
25/06/2019	5:30 AM	58	73	48	50	53	51	49	48	47	39	24
25/06/2019	5:45 AM	56	72	48	50	53	51	48	47	47	38	23
25/06/2019	6:00 AM	59	72	49	51	55	52	49	48	48	41	31
25/06/2019	6:15 AM	58	72	49	51	56	53	50	48	48	41	29
25/06/2019	6:30 AM	60	76	50	52	57	54	51	49	48	41	28
25/06/2019	6:45 AM	61	72	51	54	59	55	53	51	50	44	33
25/06/2019	7:00 AM	60	72	51	54	59	55	52	51	50	44	31

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25/06/2019	7:15 AM	60	74	50	54	59	55	52	51	50	44	33
25/06/2019	7:30 AM	60	73	50	54	59	56	52	51	51	45	34
25/06/2019	7:45 AM	61	72	52	55	60	57	53	52	51	46	36
25/06/2019	8:00 AM	60	77	52	55	59	58	54	52	51	46	36
25/06/2019	8:15 AM	62	82	53	55	60	58	54	53	52	46	36
25/06/2019	8:30 AM	61	74	54	57	61	59	55	54	52	48	37
25/06/2019	8:45 AM	61	77	54	56	61	58	55	53	52	47	38
25/06/2019	9:00 AM	61	76	54	56	62	59	55	54	52	47	39
Day	7am-6pm											
Evening	6pm-10pm											
Night	10pm-7am											

Appendix 4 Planning Report

PLANNING PROPERTY REPORT



From: www.planning.vic.gov.au on 28 June 2019 10:12 AM

PROPERTY DETAILS

Address: 274 BRUNSWICK STREET FITZROY 3065
 Lot and Plan Number: Lot 1 TP256958
 Standard Parcel Identifier (SPI): 1 TP256958
 Local Government Area (Council): YARRA www.yarracity.vic.gov.au
 Council Property Number: More than one - not listed.
 Planning Scheme: Yarra planning-schemes.delwp.vic.gov.au/schemes/yarra
 Directory Reference: Melway 2C B7

UTILITIES

Rural Water Corporation: Southern Rural Water
 Melbourne Water Retailer: City West Water
 Melbourne Water: inside drainage boundary
 Power Distributor: CITIPOWER

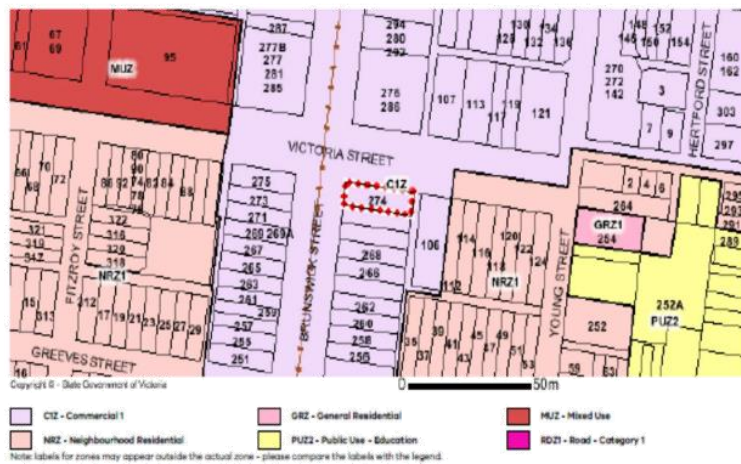
STATE ELECTORATES

Legislative Council: NORTHERN METROPOLITAN
 Legislative Assembly: RICHMOND

Planning Zones

COMMERCIAL 1 ZONE (C1Z)

SCHEDULE TO THE COMMERCIAL 1 ZONE (C1Z)



Attachment 3 - PLN160041.01 - 274 Brunswick Street Fitzroy - Sketch Plans - 10 June 2020

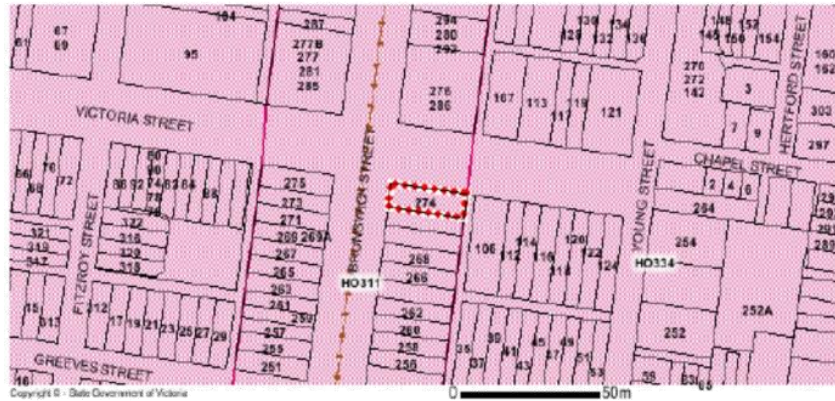
PLANNING PROPERTY REPORT



Planning Overlay

[HERITAGE OVERLAY \(HO\)](#)

[HERITAGE OVERLAY SCHEDULE \(HO311\)](#)



HO - Heritage

Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend.

OTHER OVERLAYS

Other overlays in the vicinity not directly affecting this land

[DESIGN AND DEVELOPMENT OVERLAY \(DDO\)](#)

[ENVIRONMENTAL AUDIT OVERLAY \(EAO\)](#)



DDO - Design and Development

EAO - Environmental Audit

Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend.

Attachment 3 - PLN160041.01 - 274 Brunswick Street Fitzroy - Sketch Plans - 10 June 2020

PLANNING PROPERTY REPORT



Designated Bushfire Prone Area

This property is not in a designated bushfire prone area.
No special bushfire construction requirements apply. Planning provisions may apply.



Designated bushfire prone areas as determined by the Minister for Planning are in effect from 8 September 2011 and amended from time to time.

The Building Regulations 2018 through application of the Building Code of Australia, apply bushfire protection standards for building works in designated bushfire prone areas.

Designated bushfire prone areas maps can be viewed on VicPlan at <http://mapshare.maps.vic.gov.au/vicplan> or at the relevant local council.

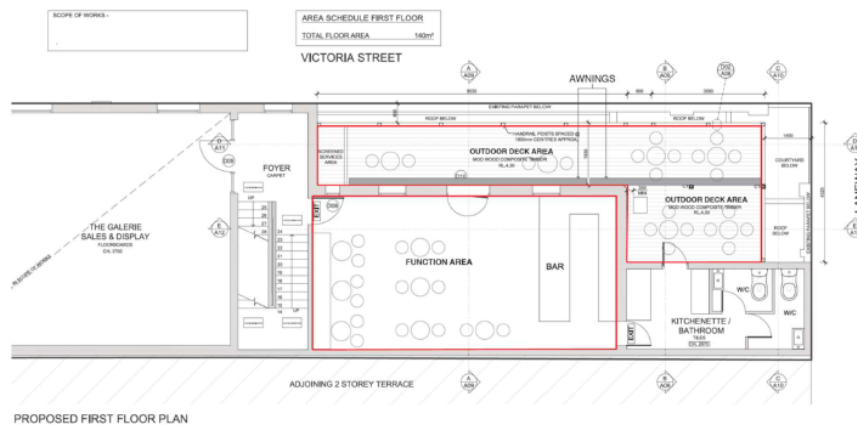
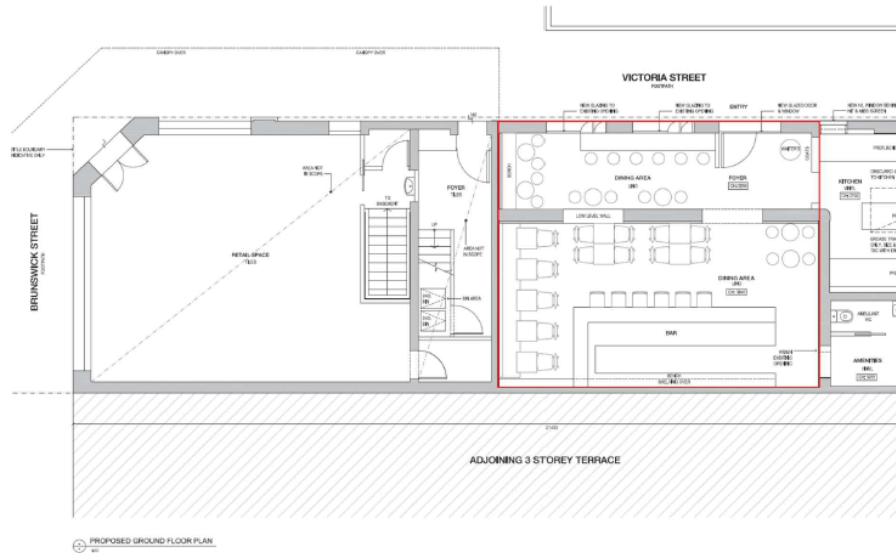
Note: prior to 8 September 2011, the whole of Victoria was designated as bushfire prone area for the purposes of the building control system.

Further information about the building control system and building in bushfire prone areas can be found on the Victorian Building Authority website www.vba.vic.gov.au

Copies of the Building Act and Building Regulations are available from www.legislation.vic.gov.au

For Planning Scheme Provisions in bushfire areas visit <https://www.planning.vic.gov.au>

Appendix 5 – Proposed Floor Plan



Glossary of Acoustic Terms

L_{Aeq} means the equivalent continuous A-weighted sound pressure level.

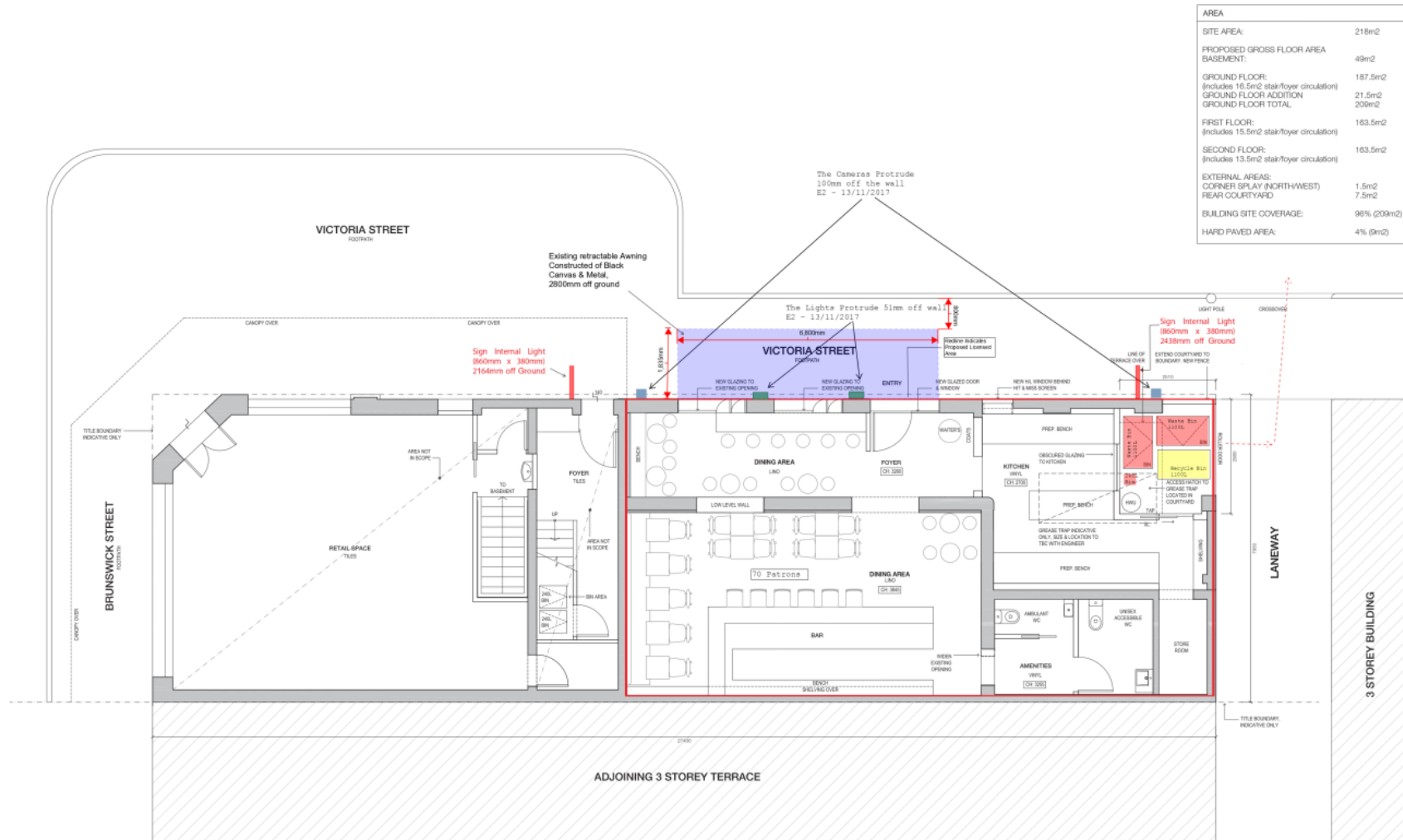
L_{A90} means the A-weighted sound pressure level which is exceeded 90% of the time interval considered.

L_{Amax} means the maximum A-weighted sound pressure level during the time interval considered.

L_{Amin} means the minimum A-weighted sound pressure level during the time interval considered.

L_{OCT10} means the 'C' weighted or linear sound pressure level for a specified octave band that is exceeded for 10% of the time.

Attachment 3 - PLN160041.01 - 274 Brunswick Street Fitzroy - Sketch Plans - 10 June 2020



AREA	
SITE AREA:	218m ²
PROPOSED GROSS FLOOR AREA BASEMENT:	49m ²
GROUND FLOOR:	187.5m ²
(includes 16.5m ² stair/foyer circulation)	
GROUND FLOOR ADDITION	21.5m ²
GROUND FLOOR TOTAL	209m ²
FIRST FLOOR:	163.5m ²
(includes 15.5m ² stair/foyer circulation)	
SECOND FLOOR:	163.5m ²
(includes 13.5m ² stair/foyer circulation)	
EXTERNAL AREAS:	
CORNER SPILL (NORTHWEST)	1.5m ²
REAR COURTYARD	7.5m ²
BUILDING SITE COVERAGE:	96% (209m ²)
HARD PAVED AREA:	4% (9m ²)

PROPOSED GROUND FLOOR PLAN
130

EXISTING WALL TYPE LEGEND
AS SHOWN IN PLAN
EXISTING BRICK WALL

Plan to replace
Endorsed Plan TP1.01
(AFA - Endorsed Plan 4 of 6 - 20/11/2017)

PROJECT
ALTERATIONS & ADDITIONS TO EXISTING PROPERTY AT:
274 BRUNSWICK ST, FITZROY
DRAWING
PROPOSED GROUND FLOOR PLAN

Issued for Discussion only. (c) Robert Simeoni Pty Ltd Architects 2015

ROBERT SIMEONI PTY LTD ARCHITECTS

SCHEMATIC DESIGN DRAWINGS FOR DISCUSSION PURPOSES ONLY.
DESIGN SUBJECT TO DDA, BCA & TOWN PLANNING REVIEW.

SCALE: 1:50 @ A1
DATE: Jan 2020

DRAWING NO:
TP1.01

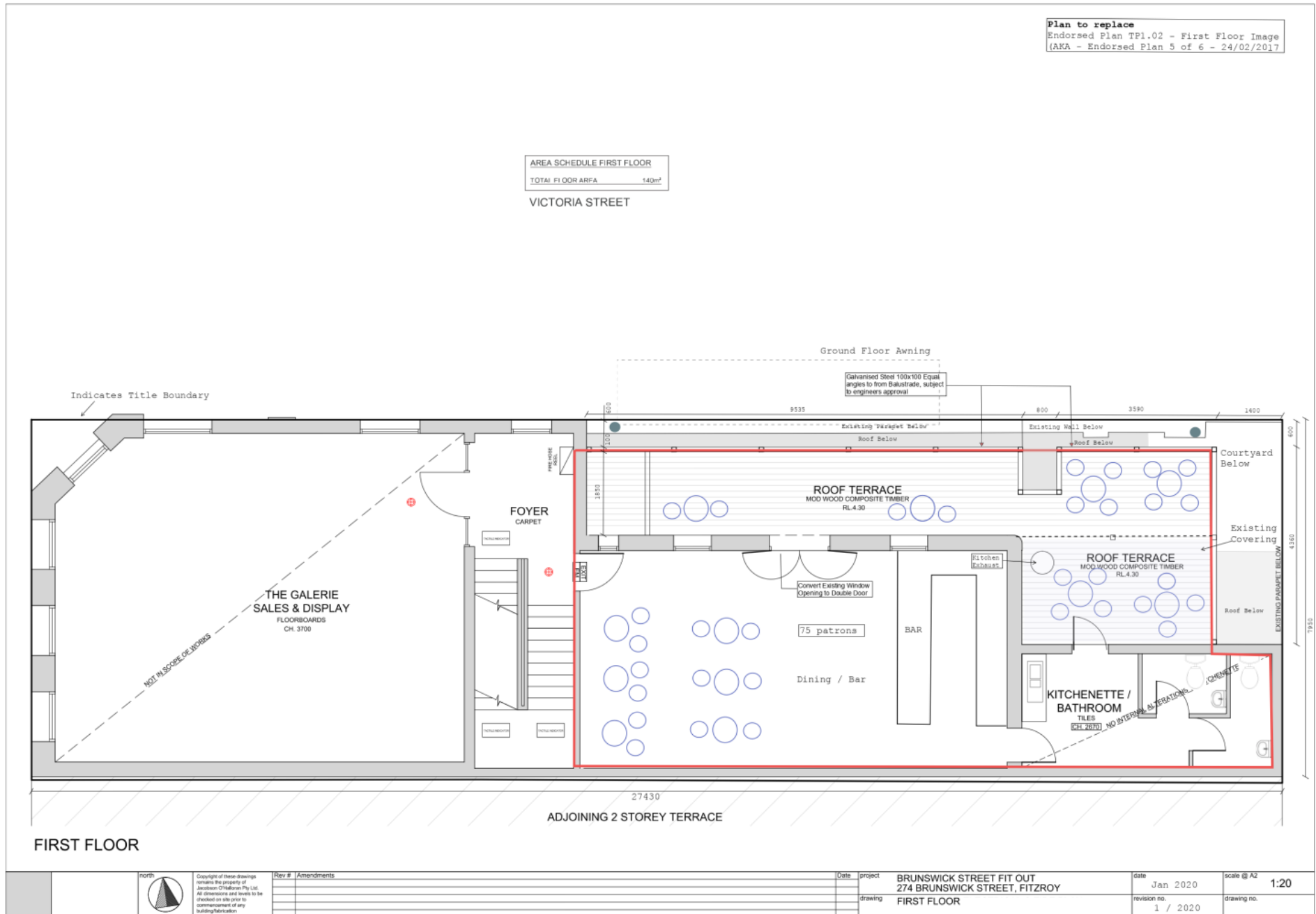
REVISION:
1 / 2020



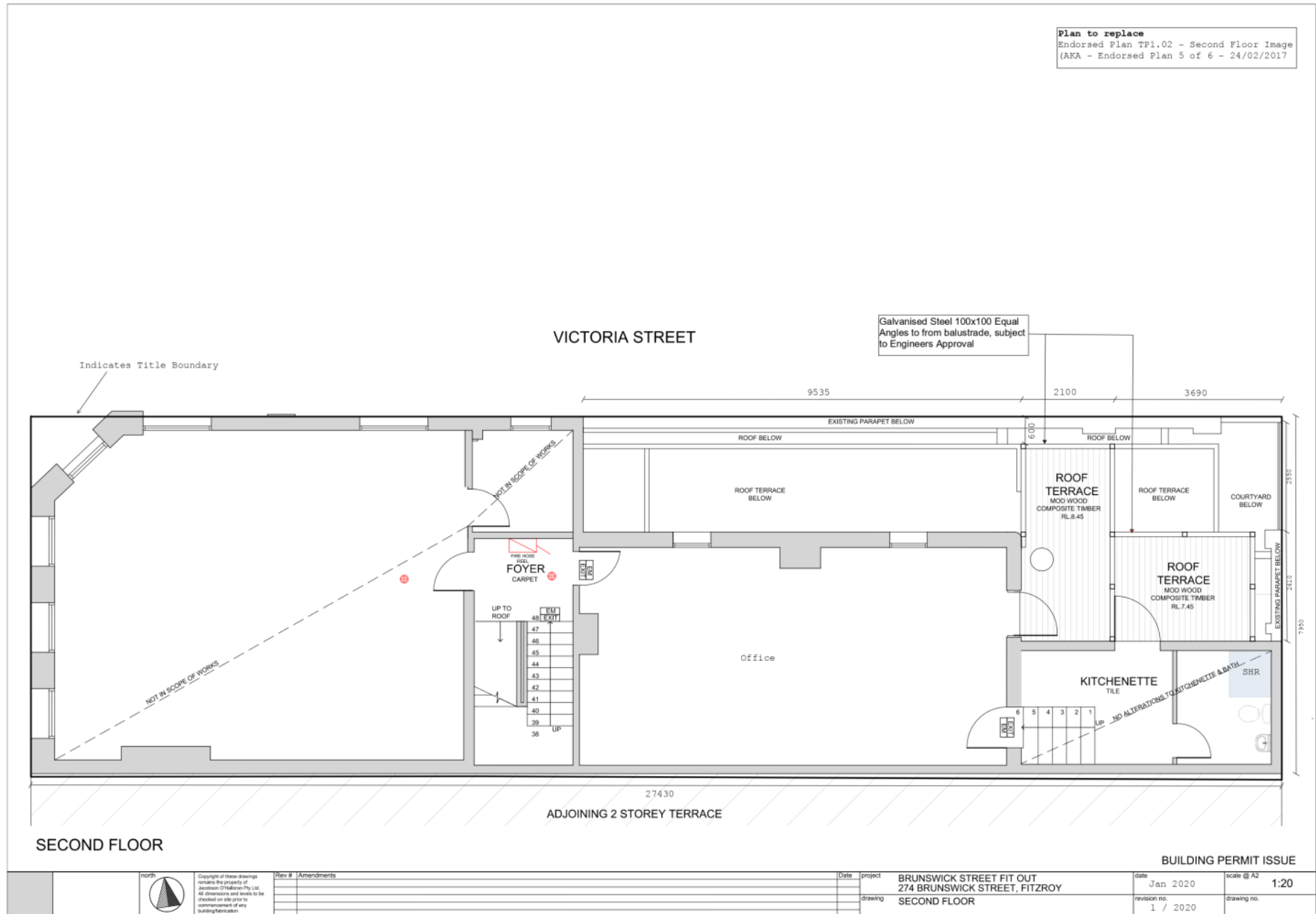
178 ELGIN STREET CARLTON VIC 3053
E office@robertsimeoniarchitects.com

TEL +61(0)3 9347 4611
FAX +61(0)3 9347 4120
ABN 29 084 516 938

Attachment 3 - PLN160041.01 - 274 Brunswick Street Fitzroy - Sketch Plans - 10 June 2020



Attachment 3 - PLN160041.01 - 274 Brunswick Street Fitzroy - Sketch Plans - 10 June 2020





Attachment 3 - PLN160041.01 - 274 Brunswick Street Fitzroy - Sketch Plans - 10 June 2020



Attachment 4 - PLN160041.01 - 274 Brunswick Street Fitzroy - Acoustic referral - Advertised plans



8 April 2020

640.10090.06370-L01-v1.0 274 Brunswick St Fitzroy.docx

City of Yarra
P.O. Box 168
Richmond VIC 3121

Attention: Gary O'Reilly

Dear Gary

274 Brunswick Street, Fitzroy Development Application Acoustic Review PLN 16/0041.01

SLR Consulting Pty Ltd (SLR) has been retained by the City of Yarra to provide a review of the acoustic assessment report for the planning application at 274 Brunswick Street, Fitzroy.

Details of the report are as follows:

- Title: Little Odessa Bar Eatery – Rear of 274 Brunswick St Fitzroy
- Reference: 19819
- Date: 04/07/2019
- Prepared for: Stefan Soltys
- Prepared by: Waveform Acoustics

The report has been prepared to support the application for an outdoor patron area on the first floor of the existing venue.

1 Background Information

Summary of the Acoustic Report (Pages 3 and 8)

An outdoor dining/function area is proposed for the first floor of the existing building at 274 Brunswick Street, Fitzroy. Background music is proposed for this outdoor area.

The operating hours proposed for the outdoor area are 9 am to 11 pm, 7 days per week.

Page 3 of the report states that the nearest noise sensitive receiver is the residence to the north at 107 Victoria Street Fitzroy, however the site map in Appendix A states that 109 Victoria Street is the nearest residence.

Attachment 4 - PLN160041.01 - 274 Brunswick Street Fitzroy - Acoustic referral - Advertised plans

City of Yarra
274 Brunswick Street, Fitzroy
Development Application Acoustic Review
PLN 16/0041.01

SLR Ref: 640.10090.06370-L01-v1.0 274 Brunswick St
Fitzroy.docx
Date: 8 April 2020

SLR comments

The patron numbers for this outdoor area are not stated in the report.

The location of the nearest sensitive receiver should be consistent between page 3 and the site map in Appendix A.

The operating hours of 10 pm to 11 pm on Monday to Saturday, 9 am to midday on Sunday and 9 am to 11 pm on Sunday falls within the SEPP N-2 night period, based on more than 3 operations per week for the venue.

2 Music Noise

2.1 Criteria

Summary of the Acoustic Report (Pages 6-7)

Unattended monitoring was conducted within the subject site, on the outdoor deck facing Victoria Street. The monitoring was conducted from Thursday 20 to Tuesday 25 June 2019. Noise limits based on the collected noise logging results are presented in Table 2 of the report. The L₉₀ results used for the basis of determining the noise limits under SEPP N-2 would appear to be as follows:

- 53 dBA for the day period
- 55 dBA for the evening period

The L₉₀ background noise spectra for the SEPP N-2 night period is presented and equates to:

- 47 dBA for the proposed operating hours during the night period

SEPP N-2 limits for music noise have been calculated based on the measured background noise levels. Based on the venue playing music more than three nights per week, the night period is defined as starting at 10 pm on Monday to Saturday nights and starting at 9 pm on Sunday night. The calculated external noise limits are as follows:

- Day/ period: 58 dBA Leq
- Evening period: 60 dBA Leq
- Night period: As per the spectra shown in Table 3 (equivalent to 55 dBA L₁₀).

SLR Comments:

The report does not provide a description of the measurement position, such as height above ground level and whether there were nearby reflecting surfaces. Ideally, photos of measurement equipment installed on site should be included in the report or a more detailed description as a minimum.

Appendix A appears to include background noise levels lower than those used for the assessment (eg on 24 June, 53 dBA was measured during the daytime and 52 dBA was measured during the evening). We therefore recommend that the limits be revised based on the lowest measured levels in each time period.

Attachment 4 - PLN160041.01 - 274 Brunswick Street Fitzroy - Acoustic referral - Advertised plans

City of Yarra
274 Brunswick Street, Fitzroy
Development Application Acoustic Review
PLN 16/0041.01

SLR Ref: 640.10090.06370-L01-v1.0 274 Brunswick St
Fitzroy.docx
Date: 8 April 2020

2.2 Evaluation of Impacts

Summary of the Acoustic Report (Page 8)

An in-house sound system is proposed to play music through speakers located within the outdoor area. No live music is proposed for the venue. "Background music level" has been defined as "a level that enables patrons to conduct a conversation at a distance of 600 mm without having to raise their voices to a substantial degree".

The report recommendations are:

- The level of music to be background music only.
- Music be set at a level which does not exceed the external SEPP N-2 limits described above.
- Signage encouraging patrons to "consider the neighbourhood amenity in their behaviour" is suggested.

SLR comments

There is no formal assessment of noise impacts from music from the venue, only recommendations for general management. 'Background music' can vary and can have significant low frequency content which could impact nearby sensitive receivers. It is recommended that the report include an internal source music noise level spectrum and provide a more formal assessment with calculated levels at sensitive receivers. Any structures on the subject site (existing or proposed) which provide acoustic shielding to sensitive receivers should be nominated.

Page 9 of the report states "This report gives consideration to acoustic matters associated with the operation of the live music venue", however we assume that it should refer to background music instead, since live music is not proposed.

3 Patron Noise

SLR comments

Patron noise to nearby sensitive receivers has not been assessed. Due to the proximity of residences to the proposed outdoor patron area, we recommend that a formal noise assessment be provided, including both an Leq based and an Lmax based assessment for potential sleep disturbance impacts. Any structures on the subject site (existing or proposed) which provide acoustic shielding to sensitive receivers should be nominated.

4 Mechanical Plant Noise

SLR comments

The consultant has informed us that no additional plant is proposed, and operating hours for existing plant will not be extended. Therefore, no assessment of plant noise is necessary for this application.

Attachment 4 - PLN160041.01 - 274 Brunswick Street Fitzroy - Acoustic referral - Advertised plans

City of Yarra
274 Brunswick Street, Fitzroy
Development Application Acoustic Review
PLN 16/0041.01

SLR Ref: 640.10090.06370-L01-v1.0 274 Brunswick St
Fitzroy.docx
Date: 8 April 2020

5 Recommendations

A review of the acoustic report prepared for the proposed bar at 274 Brunswick Street, Fitzroy has been completed.

Our summary and recommendations are:

- 1. The inconsistency in the report regarding the location of the nearest sensitive receiver (on page 3 and the site map in Appendix A) be resolved.*
- 2. The background measurement location be clarified (such as height above ground level and whether there were nearby reflecting surfaces). Ideally, photos of measurement equipment installed on site would be included.*
- 3. SEPP N-2 limits be revised based on the lowest measured levels in each time period.*
- 4. A more formal assessment be provided for music and patron noise, with the source levels (music noise level spectrum, patron noise levels etc.) and resulting calculated levels at sensitive receivers presented. Both L_{eq} -based and L_{max} -based assessments should be provided to appropriate design targets. Any structures on the subject site (existing or proposed) which provide acoustic shielding to sensitive receivers should be nominated, and recommendations provided to ensure compliance.*
- 5. The sentence on page 9 stating "This report gives consideration to acoustic matters associated with the operation of the live music venue", be amended to reflect that only recorded background music is proposed.*

Regards,



Simon de Lisle
Associate – Acoustics

Checked/ Authorised by: JA

Attachment 5 - PLN160041.01 - 274 Brunswick Street Fitzroy - Acoustic referral - Sketch plans



7 July 2020

640.10090.06370-L02-v1.0 274 Brunswick St Fitzroy.docx

City of Yarra
P.O. Box 168
Richmond VIC 3121

Attention: Gary O'Reilly

Dear Gary

274 Brunswick Street, Fitzroy Development Application Acoustic Review PLN 16/0041.01

SLR Consulting Pty Ltd (SLR) has been retained by the City of Yarra to provide a review of the acoustic assessment report for the planning application at 274 Brunswick Street, Fitzroy.

Details of the report are as follows:

Title:	Little Odessa Bar Eatery – Rear of 274 Brunswick St Fitzroy
Reference:	19819
Date:	01/06/2020
Prepared for:	Stefan Soltys
Prepared by:	Waveform Acoustics

The report has been prepared to support the application for a liquor licence at the existing venue.

1 Background Information

Summary of the Acoustic Report (Page 3)

The application is for a liquor licence to reflect the upgrades proposed at 274 Brunswick Street, Fitzroy. The venue is proposing to expand from its current operations (on the ground floor) to also include indoor and outdoor areas on the first floor.

The operating hours proposed are as follows:

Level 1 indoor dining/bar:	Monday to Saturday 7 am to 1 am, Sunday 10 am to 1 am
Level 1 external deck:	Monday to Saturday 7 am to 10 pm, Sunday 10 am to 10 pm

Up to 70 patrons will be present in the indoor area (stated on page 9 of the report) and up to 80 patrons will be present on the external deck.

The nearest noise sensitive receiver is the residence to the north at 107 Victoria Street Fitzroy.

Attachment 5 - PLN160041.01 - 274 Brunswick Street Fitzroy - Acoustic referral - Sketch plans

City of Yarra
274 Brunswick Street, Fitzroy
Development Application Acoustic Review
PLN 16/0041.01

SLR Ref: 640.10090.06370-L02-v1.0 274 Brunswick St
Fitzroy.docx
Date: 7 July 2020

SLR comments

Drawing TP1.02 states that the capacity of the indoor area is 75 patrons (rather than 70 as stated in the report), however this difference is unlikely to affect the outcome of the assessment.

2 Music Noise

2.1 Criteria

Summary of the Acoustic Report (Pages 7 and 8)

Unattended monitoring was conducted within the subject site, on the outdoor deck facing Victoria Street. The monitoring was conducted from Thursday 20 to Tuesday 25 June 2019. SEPP N-2 limits for music noise have been calculated based on the measured background noise levels. The calculated external noise limits are as follows:

- Day period: 54 dBA Leq
- Evening period: 57 dBA Leq
- Night period: As per the spectra shown in Table 3 (equivalent to 50 dBA L10)

The report notes (on page 8) that the SEPP N-2 night period is defined to include 10 am to midday on Saturday and 9-10 pm on Sunday.

SLR Comments:

The SEPP N-2 night period noise limits also apply for the proposed operating hours of 7 am to 9 am on Monday to Friday, and 7 am to midday on Saturday.

We have calculated the noise limits based on the monitoring results presented and can confirm that the limits determined by Waveform appear to be determined via conservative consideration of the noise monitoring data. This approach is appropriate for a planning assessment.

2.2 Assessment

Summary of the Acoustic Report (Page 10)

An in-house sound system is proposed to play music through speakers located on the external deck. No live music is proposed for the venue. The report recommends that a noise limiting device be installed and calibrated to limit music to the spectrum shown on page 10 (equivalent to 65 dBA and 70 dBC).

SLR comments

The report does not include predicted levels of music noise at the nearest sensitive receiver. As per our previous review, we recommend that this information be included.

Attachment 5 - PLN160041.01 - 274 Brunswick Street Fitzroy - Acoustic referral - Sketch plans

City of Yarra
274 Brunswick Street, Fitzroy
Development Application Acoustic Review
PLN 16/0041.01

SLR Ref: 640.10090.06370-L02-v1.0 274 Brunswick St
Fitzroy.docx
Date: 7 July 2020

3 Patron Noise

3.1 Criteria

Summary of the Acoustic Report (Page 9)

The proposed design targets are 55 dBA L_{max} measured indoors at the sensitive receiver, with up to two events per night of 70 dBA L_{max} indoors. These targets are based on the 2011 New South Wales Road Noise Policy.

SLR comments

The proposed criteria are considered too high and also do not address the semi-steady / continuous nature of noise from a crowd which is best assessed using an L_{eq} descriptor. As per other development applications within the City of Yarra, we recommend both an L_{max} and L_{eq} assessment to the following criteria as a minimum to protect the amenity of nearby residences:

- *L_{max} assessed to sleep disturbance criteria of 65 dBA L_{max} outside openable bedroom windows*
- *L_{eq} assessed either to SEPP N-1 based criteria or the 'Marshall Day methodology' external criteria ie:*
 - *Minimum Background + 10 dB during the day and evening period (including weekends)*
 - *Minimum Background + 5 dB at night (after 10 pm)*

3.2 Assessment

Summary of the Acoustic Report (Page 9)

A patron noise assessment has been conducted for the indoor dining/bar area on level one. Source levels have been calculated using the paper *Prediction of Noise from Small to Medium Sized Crowds* by Hayne et al ('the Hayne paper'). Based on 80 patrons, a source sound power level of 93 dBA is predicted.

The report states it is unlikely that the noise targets from the 2011 New South Wales Road Noise Policy will be exceeded.

Signage encouraging patrons to "consider the neighbourhood amenity in their behaviour" is suggested.

SLR comments

We recommend that the noise criteria used for the assessment be updated (see previous section).

An assessment of patron noise from the external deck has not been conducted. This outdoor area has potential to cause greater patron noise impacts than the indoor area, so we recommend that a patron noise assessment be provided for the external deck.

Regarding the patron noise source levels, the Hayne Paper is based on noise data obtained from cafes, RSL venues, church groups, a bowls club, a hotel and a private party. The authors state that none of the patrons were affected by alcohol. The paper does not provide information about patron density, however from the venues described we assume that they were not high density environments. SLR has ongoing concerns about the application of Haynes data to heavily populated bar environments, and consider it appropriate only to café style

Attachment 5 - PLN160041.01 - 274 Brunswick Street Fitzroy - Acoustic referral - Sketch plans

City of Yarra
274 Brunswick Street, Fitzroy
Development Application Acoustic Review
PLN 16/0041.01

SLR Ref: 640.10090.06370-L02-v1.0 274 Brunswick St
Fitzroy.docx
Date: 7 July 2020

venues, where patrons are both seated and not affected by alcohol. We are therefore concerned that this method will under-predict patron noise levels for the proposed venue.

Based on the proposed patron density, we suggest that the “vertical consumption” curve in the Marshall Day methodology (as used in planning assessment such as 60 Lennox Street, Richmond PLN17/1065) provides appropriate source levels for the proposed venue. This corresponds to source levels for 80 patrons of 104 dBA L_{max} and 102 dBA L_{eq}.

By our calculations, the area of the external deck is approximately 35 m². We would query whether 80 patrons (as stated on page 3) is appropriate for an area of this size.

The report does not include predicted levels of patron noise at the nearest sensitive receiver. As per our previous review, we recommend that this information be included.

4 Mechanical Plant Noise

SLR comments

The consultant has informed us that no additional plant is proposed, and operating hours for existing plant will not be extended. Therefore, no assessment of plant noise is necessary for this application.

5 Recommendations

A review of Revision A of the acoustic report prepared 274 Brunswick Street, Fitzroy has been completed.

Our summary and recommendations are:

1. Predicted levels of music noise at the nearest sensitive receiver be presented in the report.
2. The following criteria be used for the assessment of patron noise:
 - L_{max} assessed to sleep disturbance criteria of 65 dBA L_{max} outside openable bedroom windows
 - L_{eq} assessed either to SEPP N-1 based criteria or to:
 - Minimum Background + 10 dB during the day and evening period (including weekends)
 - Minimum Background + 5 dB at night (after 10 pm)
3. A patron noise assessment be provided for the external deck, including predicted patron noise levels at the sensitive receiver.
4. Higher source noise levels be used for the patron noise assessment, such as the “vertical consumption” curve in the Marshall Day methodology.
5. The number of patrons for the external deck be confirmed, since 80 patrons seems unusually high for an area of approximately 35 m².

Attachment 5 - PLN160041.01 - 274 Brunswick Street Fitzroy - Acoustic referral - Sketch plans

City of Yarra
274 Brunswick Street, Fitzroy
Development Application Acoustic Review
PLN 16/0041.01

SLR Ref: 640.10090.06370-L02-v1.0 274 Brunswick St
Fitzroy.docx
Date: 7 July 2020

Regards,

SDL

Simon de Lisle
Associate – Acoustics

Checked/ Authorised by: JA

Attachment 6 - PLN160041.01 - 274 Brunswick Street Fitzroy - Waste referral - Advertised plans

Waste Referral – 274 Brunswick Street, Fitzroy – PLN16/0041.01

31 March 2020

The waste management plan for 274 Brunswick Street, Fitzroy authored by On Tap Liquor Consulting and dated 24/9/19 is not satisfactory from a City Works Branch's perspective.

Issues to be rectified include, but may not be limited to the following:

1. Council does not allow private and Council services to operate at the same site.
2. Council only provides 1x80L waste and 1x120L recycle bin for commercial use.
The waste generation rates for this development do not meet this, so Council service is not suitable.
3. Please provide the total size of the bin storage area by M²
4. Please detail how e-waste will be stored and disposed of.
5. Please detail how hard waste will be stored and disposed of.
6. Food waste diversion should be included as a requirement.
7. A clause must be included in the plan regarding potential review into the service if operational requirements change.

Attachment 7 - PLN160041.01 - 274 Brunswick Street Fitzroy - Waste referral - Sketch plans

Waste Referral – 274 Brunswick Street, Fitzroy – PLN16/0041.01

12 September 2020

The waste management plan for 274 Brunswick Street, Fitzroy authored by On Tap Liquor Consulting and dated 14/5/20 is not satisfactory from a City Works Branch's perspective.

Issues to be rectified include, but may not be limited to the following:

1. Council only provides 1x80L waste and 1x120L recycle bin for commercial use. The waste generation rates for this development do not meet this, so Council service is not suitable.
2. Food waste diversion should be included as a requirement.
3. The bin storage area should be expanded if possible.

Attachment 8 - PLN160041.01 - 274 Brunswick Street, Fitzroy - Heritage advice - Advertised Plans

City of Yarra Heritage Advice on Amended Drawings

Application No.:	PLN16/0041.01
Address of Property:	Ground floor, Rear of 274 Brunswick Street, Fitzroy
Planner:	Gary O'Reilly
Yarra Planning Scheme References:	<ul style="list-style-type: none"> • Clause 15.03 Heritage • Clause 21.05-1 Built Form (Heritage) • Clause 22.02 Development Guidelines for sites subject to the Heritage Overlay • Clause 43.01 Heritage Overlay • Clause 59.07 Applications Under A Heritage Overlay
Heritage Overlay No. & Precinct:	HO311 Brunswick Street Precinct, Fitzroy NOTE: External paint controls apply
Level of significance:	Godfrey's, Shop & residence, Contributory, constructed 1880-1890 (City of Yarra Review of Heritage Areas 2007 Appendix 8 (as updated from time to time)
General description:	Installation of signage and works to building frontage
Drawing Nos.:	Set of six drawings prepared by JOH Architects, received by Council and date stamped 19/02/2020

CONTEXT IMAGES:



Attachment 8 - PLN160041.01 - 274 Brunswick Street, Fitzroy - Heritage advice - Advertised Plans



ASSESSMENT OF PROPOSED AMENDED WORKS:

Comments regarding amended works:

The extent of amended works proposed by this application includes:

- *Installation of retractable awnings:*

Retractable awnings that are representative of street verandahs (especially where these have been removed) can often be considered an acceptable alteration to the appearance of a commercial building.

The proposal to add awnings to an upper floor level on the façade of a building that did not originally have a balcony or any form of upper level verandah should not be supported on the grounds that it will change the appearance of the heritage building quite substantially.

- *Installation of infrared heaters:*

There is no indication how big the proposed heaters will be or what they will look like. Insufficient details have been submitted to provide any heritage comments,

Without the support of the proposed upper level awnings, the need for these appliances at the upper level balcony appears unnecessary.

- *Installation of speakers:*

There is no indication how big the proposed speakers will be or what they will look like. Insufficient details have been submitted to provide any heritage comments,

- *Installation of external lighting:*

There is no indication how big the proposed light fittings will be or what they will look like. Insufficient details have been submitted to provide any heritage comments,

- *Installation of cameras:*

There is no indication how big the proposed cameras will be or what they will look like. Insufficient details have been submitted to provide any heritage comments,

- *Installation of internally illuminated signage:*

Attachment 8 - PLN160041.01 - 274 Brunswick Street, Fitzroy - Heritage advice - Advertised Plans

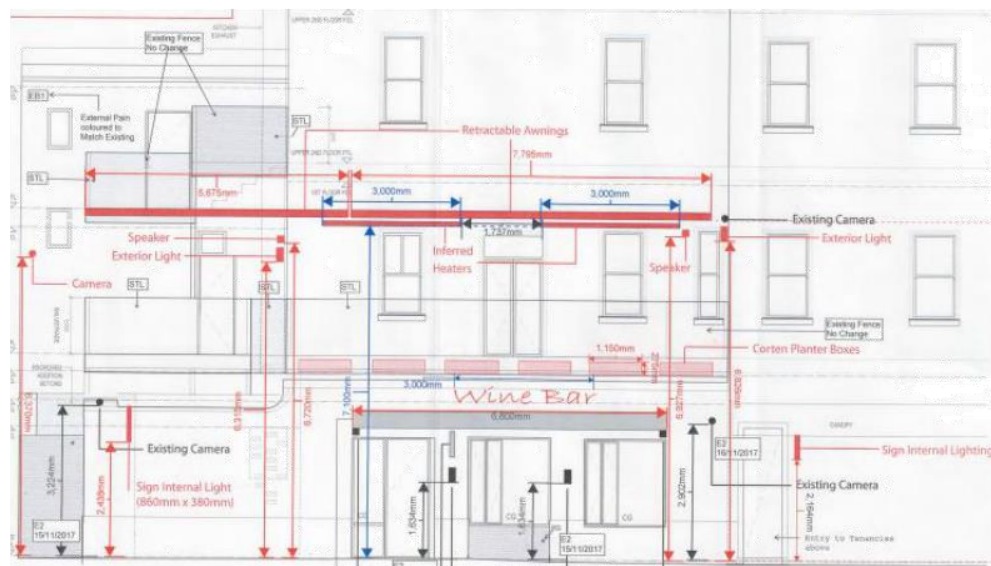
The two proposed light boxes at ground level are in locations where you might expect such signs. They are acceptable as they are not excessively large.

- *Installation of neon signage:* To be fitted on the wall below the moulding on the parapet and above (approved?) awning at ground level. Neon signage is not characteristic of Late Victorian commercial buildings. New neon signs or lettering should be restricted to small areas, preferably only within shop windows.

Size and location of the proposed naming sign is acceptable. Sign may be externally illuminated, if necessary, using discrete spotlights.

- *Installation of planter boxes:*

There is limited information about the proposed planter boxes. Where will they be located – in front or behind the existing balustrading? Insufficient details have been submitted to provide any heritage comments,



Above: Proposed amended plans

RECOMMENDATIONS:

On heritage grounds the works proposed in this application may be approved subject to the following conditions:

	Suggested condition	Explanation
1.	That the proposed neon business identification sign must be deleted	<i>Neon signage is not characteristic of Late Victorian commercial buildings. New neon signs or lettering should be restricted to small areas, preferably only within shop windows.</i>
2.	That the proposed business identification sign must be either on a board or individual lettering fixed to the building façade which may be externally illuminated, if required	<i>Signage is not typical to this part of the subject building. New signs must be in character with the style of the host building or of minimal appearance through the use of individual lettering fixed to the façade.</i> <i>External illumination of signs with the use of discrete spotlights is considered acceptable</i>

Attachment 8 - PLN160041.01 - 274 Brunswick Street, Fitzroy - Heritage advice - Advertised Plans

		<i>for heritage buildings.</i>
3.	That the proposed upper level awnings be deleted	<i>The façade of a building that did not originally have a balcony or any form of upper level verandah should not be supported on the grounds that it will change the appearance of the heritage building quite substantially.</i>
4.	That further details of the proposed infrared heaters be provided regarding the size and their appearance to determine their appropriateness	
5.	That further details of the proposed speakers be provided regarding the size and their appearance to determine their appropriateness	
6.	That further details of the proposed external light fittings be provided regarding the size and their appearance to determine their appropriateness	
7.	That further details of the proposed cameras be provided regarding the size and their appearance to determine their appropriateness	
8.	That further details of the proposed planter boxes be provided regarding the size, location, and their appearance to determine their appropriateness	

SIGNED:



Diahn McIntosh

DATED: 4 May 2020

Attachment 9 - PLN160041.01 - 274 Brunswick Street, Fitzroy - Heritage Advice - Sketch Plans

City of Yarra Heritage Advice

Application No.:	PLN16/0041.01
Address of Property:	274 BRUNSWICK STREET, FITZROY
Planner:	Gary O'Reilly
Yarra Planning Scheme References:	<ul style="list-style-type: none"> • Clause 15.03 Heritage • Clause 21.05-1 Built Form (Heritage) • Clause 22.02 Development Guidelines for sites subject to the Heritage Overlay • Clause 43.01 Heritage Overlay • Clause 59.07 Applications Under A Heritage Overlay
Heritage Overlay No. & Precinct:	HO311 Brunswick Street Precinct, Fitzroy
Level of significance:	Godfrey's, Shop & residence, Contributory, constructed 1880-1890 (City of Yarra Review of Heritage Areas 2007 Appendix 8 (as updated from time to time))
General description:	section 72 amendment for buildings and works to an existing building, and installation of internally illuminated signage
Drawing Nos.:	Set of drawings, entitled "Alterations & Additions to Existing Property at: 274 Brunswick Street, Fitzroy", prepared by Robert Simeoni Pty Ltd, received by Council and dated 10 June 2020

BACKGROUND TO THIS REFERRAL:

Heritage advice on this application was provided on 4 May 2020.

The following recommendations were provided:

	Suggested condition	Explanation
1.	That the proposed neon business identification sign must be deleted	<i>Neon signage is not characteristic of Late Victorian commercial buildings. New neon signs or lettering should be restricted to small areas, preferably only within shop windows.</i>
2.	That the proposed business identification sign must be either on a board or individual lettering fixed to the building façade which may be externally illuminated, if required	<p><i>Signage is not typical to this part of the subject building. New signs must be in character with the style of the host building or of minimal appearance through the use of individual lettering fixed to the façade.</i></p> <p><i>External illumination of signs with the use of discrete spotlights is considered acceptable for heritage buildings.</i></p>

Attachment 9 - PLN160041.01 - 274 Brunswick Street, Fitzroy - Heritage Advice - Sketch Plans

3.	That the proposed upper level awnings be deleted	<i>The façade of a building that did not originally have a balcony or any form of upper level verandah should not be supported on the grounds that it will change the appearance of the heritage building quite substantially.</i>
4.	That further details of the proposed infrared heaters be provided regarding the size and their appearance to determine their appropriateness	
5.	That further details of the proposed speakers be provided regarding the size and their appearance to determine their appropriateness	
6.	That further details of the proposed external light fittings be provided regarding the size and their appearance to determine their appropriateness	
7.	That further details of the proposed cameras be provided regarding the size and their appearance to determine their appropriateness	
8.	That further details of the proposed planter boxes be provided regarding the size, location, and their appearance to determine their appropriateness	

ASSESSMENT OF AMENDED WORKS:

Response commendations 1 & 2:

It is noted that the proposed neon sign is to be removed and replaced with either on a board or individual lettering fixed to the building façade which may be externally illuminated, if required.

This is acceptable, subject to details of the proposed dimensions, colours, materials, method of fixing, etc being submitted prior to installation.

Recommendations 3 -8:

It is noted that the following items are to be deleted:

- a. Awnings
- b. Heaters
- c. Lights
- d. Security cameras
- e. Speakers
- f. Planter boxes

This is acceptable.

Attachment 9 - PLN160041.01 - 274 Brunswick Street, Fitzroy - Heritage Advice - Sketch Plans**RECOMMENDATIONS:**

1. On heritage grounds the works proposed in this application may be approved subject to the following conditions:

	Suggested condition	Explanation
1.	That full details of the proposed business identification sign must be submitted prior to installation	

SIGNED:

Diahnn McIntosh

DATED: 25 July 2020

Attachment 10 - PLN160041.01 - 274 Brunswick Street Fitzroy - Social Planning referral



MeMO

TO: Gary O'Reilly, Statutory Planner

FROM: Julia Bennett-Mitrovski, Senior Planner (Community Health and Safety)

DATE: 1 June 2020

ADDRESS: 274 Brunswick Street, Fitzroy VIC 3065

APPLICATION NO: PLN16/0041.01

DESCRIPTION: Amendment for buildings and works to an existing building, **change in the type of liquor licence from a restaurant licence to a food and drink (hotel) general licence, an increase of 99 patrons (i.e. patron capacity increased from 46 to 145 patrons), an increase to the 'red line' area to include the first floor (including outdoor balcony),** installation of internally illuminated signage and a reduction in the bicycle facilities requirement of the Yarra Planning Scheme.

Social Strategy has been requested to comment on the proposal.

PROPOSAL

Key aspects of the site and proposal include:

- The site is zoned as Commercial 1 Zone and is affected by the Heritage Overlay (Schedule 311).
- The application seeks an amendment to an existing planning permit to allow an change in the type of liquor licence from a restaurant licence to a food and drink (hotel) general licence, an increase of 99 patrons (i.e. patron capacity increased from 46 to 145 patrons), an increase to the 'red line' area to include the first floor (including outdoor balcony), installation of internally illuminated signage and a reduction in the bicycle facilities requirement of the Yarra Planning Scheme.
- Given that the venue/planning permit already does not seek to operate beyond 1am, the late night freeze is not applicable.
- The proposed hours of operation are as follows:
 - Sunday - 10am and 1am the following day;
 - Good Friday & ANZAC Day —12 noon to 1am the following day; and
 - On any other day - 7am and 1am the following day.

External Area (deck):

- Sunday - 10am and 10pm;

Attachment 10 - PLN160041.01 - 274 Brunswick Street Fitzroy - Social Planning referral

- Good Friday & ANZAC Day —12 noon to 10pm; and
- On any other day - 7am and 10pm.
- The total number of patrons is proposed to increase by 99 patrons to a total of 145 patrons (i.e. patron capacity increased from 46 patrons to 145 patrons), 70 on the ground floor and 75 at the first floor. A total floor area capacity of 145m² is proposed.
- Recorded music will be provided via small speakers within the internal (external to 10pm) area of the premises and will be maintained at no higher than background level at all times. Noise emitted from the venue must comply with SEPP N-2 noise limits, which will be controlled through selection, location, orientation and music levels from speakers.

COMMENTS

- The submitted information shows that the venue proposes to provide food and that the supply of food will be the part of the focus of the venue. Food will be available throughout the entire operating hours. This is considered acceptable as Practice Note 61 notes that: *Venues that serve food or meals are shown to be less at risk of excessive alcohol consumption. This does not include venues that only serve basic snacks.* Lack of food offerings have been proven to increase risky drinking and associated anti-social behaviours.
- It is acknowledged that Clause 22.09 states that for outdoor areas, including smoking areas, rooftops and open courtyards, the sale and consumption of liquor should not occur after 10pm, unless the responsible authority is satisfied that it will not adversely affect the amenity of the area. The applicant has indicated that the external areas of the venue will close at 10pm with internal areas remaining open for consuming food and liquor after 10pm (and until 1am). This is supported. The applicant has also stated that staff will not allow queuing of patrons adjacent to the venue, instead advising patrons that no space is available when the venue is at capacity. This is supported.
- It is noted that the total number of patrons is proposed to increase, from 46 patrons to a total of 145 patrons. The submitted patron capacity report states that with a proposed floor area of 145m², calculations are based on a ratio of one person per 0.75m². The applicant proposes a total of 145 patrons. Therefore, 145 patrons are to be enclosed within a venue capacity of 145m² (internal and external) at a rate of 0.75m². Based on this calculation a total of 193 patrons would be allowable up until the external areas close at 10pm. After such time, the floor area capacity is reduced to internal areas only, equating to a venue capacity of 110m². This would allow up to 110/0.75 patrons on the site which equates to 146 patrons on the site. This is acceptable.
- The applicant's submitted NAAP states that all music provided at the venue will be via small speakers positioned within the venue as well as those placed on the external wall. Music noise will at no time be higher than background level with no live or recorded amplified music other than background music to be played at any time. This is supported. It is recommended that the submitted acoustic report be reviewed by an independent, suitably qualified acoustic engineer to determine acoustic suitability.
- The applicant has stated that all waste and recycling will be collected by third party operators during reasonable business hours. Collection of waste by

Attachment 10 - PLN160041.01 - 274 Brunswick Street Fitzroy - Social Planning referral

contractors will only occur between the hours of 7am and 8pm in accordance with City of Yarra local laws in place within the area. This is supported.

- It is proposed that all amenity areas be excluded from the red line plan.

Attachment 11 - PLN160041.01 - 274 Brunswick Street Fitzroy - Civic Compliance referral

MeMO

TO: Gary O'REILLY
cc:
FROM: Brad SPEECHLEY
DATE: 29/05/2020
APPLICATION: PLN16/0041.01
SUBJECT: Amenity Enforcement Referral – 274 Brunswick St Fitzroy VIC 3065

Dear Gary,

Thank you for your referral PLN16/0041.01 dated 29 May 2020. This has been referred to me for consideration and reply.

Planning Enforcement has not received any recent amenity concerns in relation to 274 Brunswick St Fitzroy, however I note that this is a proposed amendment for buildings and works to an existing building, change in the type of liquor licence from a restaurant licence to a food and drink (hotel) general licence, an increase of 99 patrons (i.e. patron capacity increased from 46 to 145 patrons), an increase to the 'red line' area to include the first floor (including outdoor balcony), installation of internally illuminated signage and a reduction in the bicycle facilities requirement of the Yarra Planning Scheme

The application may have an impact to the amenity as there are residential properties in close proximity, given it proposes the outdoor area to operate with recorded background music until 10:00pm, seven days a week.

In consultation with the Planning Enforcement Officers I have reviewed the proposal and recommend the following:

1. No external speaker's in any outdoor (including courtyard) area Monday to Sunday

The above recommendation was made with consideration to the fact noise will generally carry further from an open area. Experience tells us that open areas in particular courtyards, terraces and roof decks have a tendency to impact the amenity.

The Compliance Branch does not have any concern in relation to the proposed amendments for the change in the type of liquor licence or an increase patron capacity from 46 to 145 patrons. This proposal poses a low amenity risk and the Compliance Branch does not have any concerns with the application.

Should you wish to discuss the application further, please feel free to contact me on 9205-5166.

Regards,



Brad Speechley
Senior Team Leader Civic Compliance