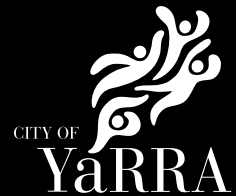


# Draft Amendment C293

## Information Sheet on Design and Development Overlay Schedule 23



### What is draft Design and Development Overlay 23 trying to achieve?

The exhibited draft Design and Development Overlay – Schedule 23 (DDO23) aims to provide a balanced approach by guiding different levels of potential development across the Collingwood South Mixed-Use Zone Precinct. It aims to ensure that new buildings will be sensitive towards heritage buildings, minimising impact on sensitive residential interfaces (for example backyards) and public spaces such as footpaths, parks and expanded street corners.

Built form and design requirements relate to street wall height, front setbacks (distance from a building to the property boundary), upper level setbacks (distance from upper levels to the lower building parts, usually referred to as street wall), overall building height, setbacks to residential properties and transition of potential development towards adjoining heritage buildings and public spaces. In its current form, draft DDO23 would achieve low to mid-rise buildings which would respond to the character and topography of the Collingwood South Mixed-Use Zone Precinct.

The DDO provides built form and design requirements for three areas in Collingwood South:

Area 1 – Area around Peel Street and Oxford Street

Area 2 – Area around Derby Street and Cambridge Street

Area 3 – Area around Wellington Street and Langridge Street.

### What are the main built form and design requirements to guide the outside form of potential developments?

The exhibited draft DDO23 includes a mix of mandatory and preferred requirements to achieve the outcomes generally described above.

The Victorian Planning system prefers the use of preferred requirements. The Department of Environment, Land, Water and Planning has developed a series of planning practice notes to provide guidance on the appropriate use of mandatory and preferred requirements. For further information please check [PPN59](#) and [PPN60](#).

Preferred requirements provide flexibility to respond to local context and unique urban conditions of a site or an area. Most requirements are 'preferred' as a certain outcome can be reached in numerous ways and/or it is very difficult to be absolute about how a good outcome can be achieved.

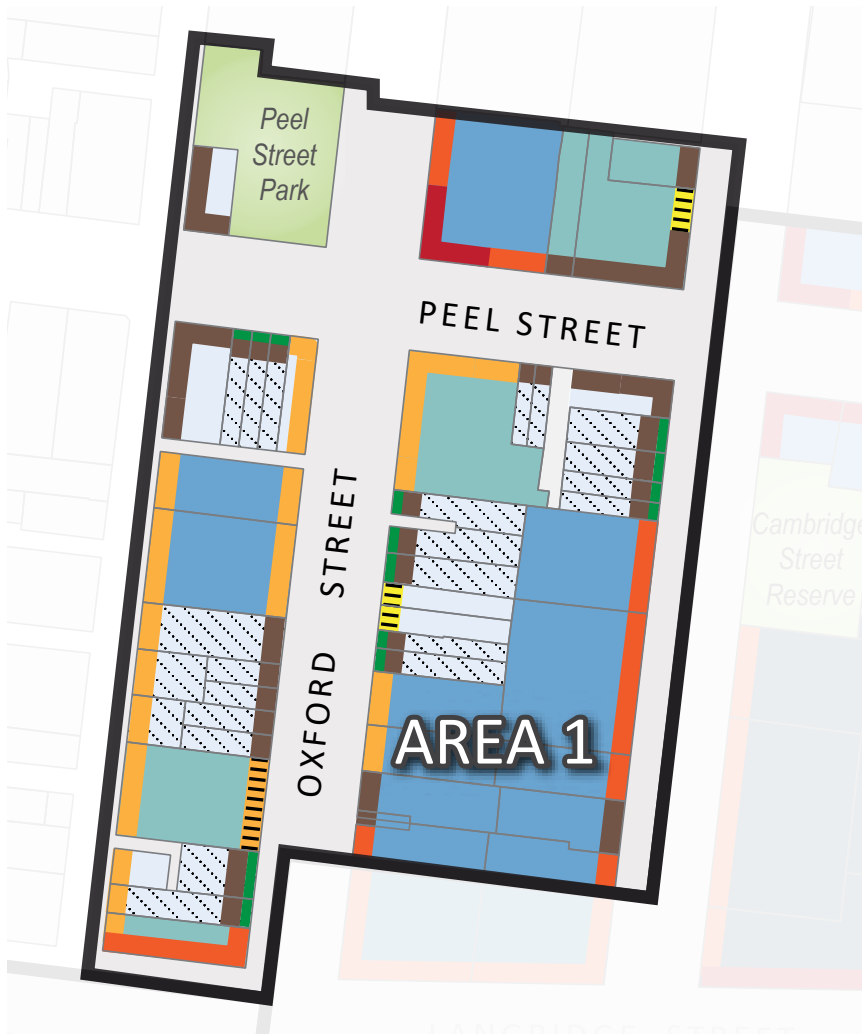
Mandatory requirements must be met by an application and are applied only when they are seen as 'absolutely necessary' to achieve a certain built form outcome or where 'exceptional circumstances' warrant their introduction. Introduction of any mandatory requirements must be based on robust and comprehensive strategic work.

Below are maps and tables providing a summary of proposed built form and design requirements for each precinct within the exhibited draft DDO23. Whether or not a requirement is preferred to mandatory is also indicated.

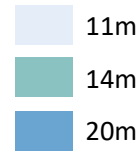
### More information

If you would like to know more about this project, contact us on **9205 5555** or [strategicplanning@yarracity.vic.gov.au](mailto:strategicplanning@yarracity.vic.gov.au)

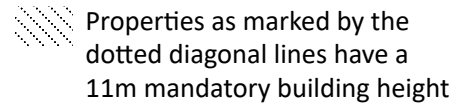
## Area 1 - Area around Peel Street and Oxford Street



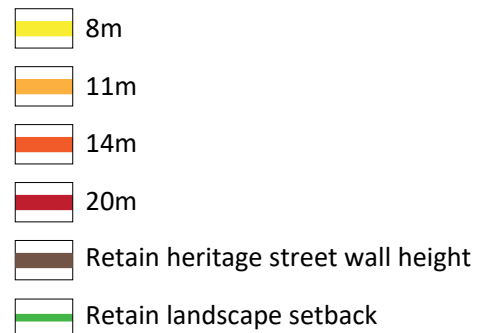
### Building Heights



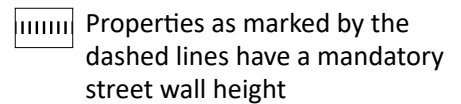
### Mandatory Building Heights



### Street Wall Heights

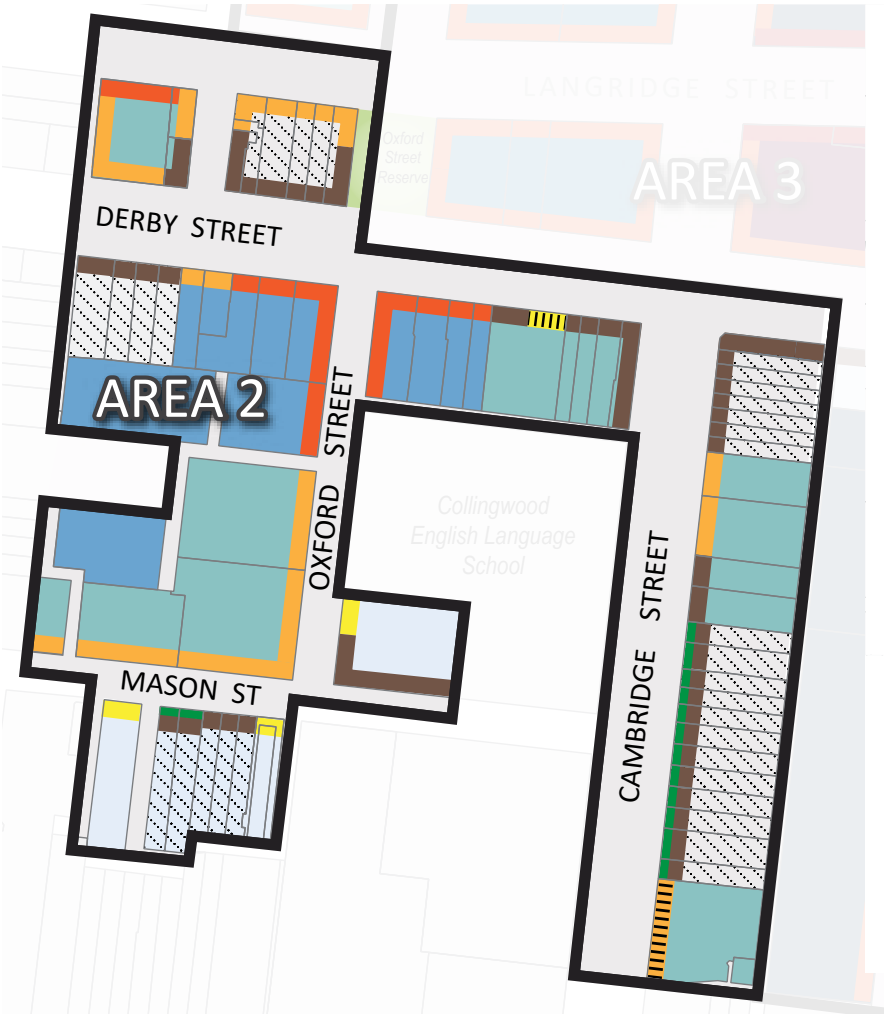


### Mandatory Street Wall Heights



Ground Floor Setbacks - front	Street Wall Heights	Upper Level Setbacks	Overall Heights	Rear Interface
0m (except at 54 and 56 Oxford Street) <b>Preferred</b>	Retain heritage street wall <b>Mandatory</b>	6m for heritage buildings <b>Mandatory</b>	3-6 storeys <b>Preferred and Mandatory</b>	11m maximum at laneway interface. <b>Preferred</b>
1m X 1m splay at site's corner boundaries of non-heritage buildings <b>Preferred</b>	2 – 3 storeys in-between heritage buildings <b>Mandatory</b>	Behind two rooms and/or principle roof form, whichever is greater, for below heritage properties: <ul style="list-style-type: none"> <li>• 50-52 Oxford Street</li> <li>• 57-63 Oxford Street</li> <li>• 13-15 Peel Street</li> </ul> <b>Mandatory</b>		
Development at 54 and 56 Oxford Street must match the front setback of the heritage building at 58 Oxford Street <b>Mandatory</b>	3 – 6 storeys <b>Preferred</b>  Corner buildings should continue the main frontage street wall height for a minimum of 8 metres to the side street <b>Preferred</b>	6m for non-heritage buildings (unless adjoining a heritage building in which case it must match the existing setback of the adjoining heritage building) <b>Preferred</b>		

## Area 2 - Area around Derby Street and Cambridge Street



### Building Heights

- 11m
- 14m
- 20m

### Mandatory Building Heights

- Properties as marked by the dotted diagonal lines have a 11m mandatory building height

### Street Wall Heights

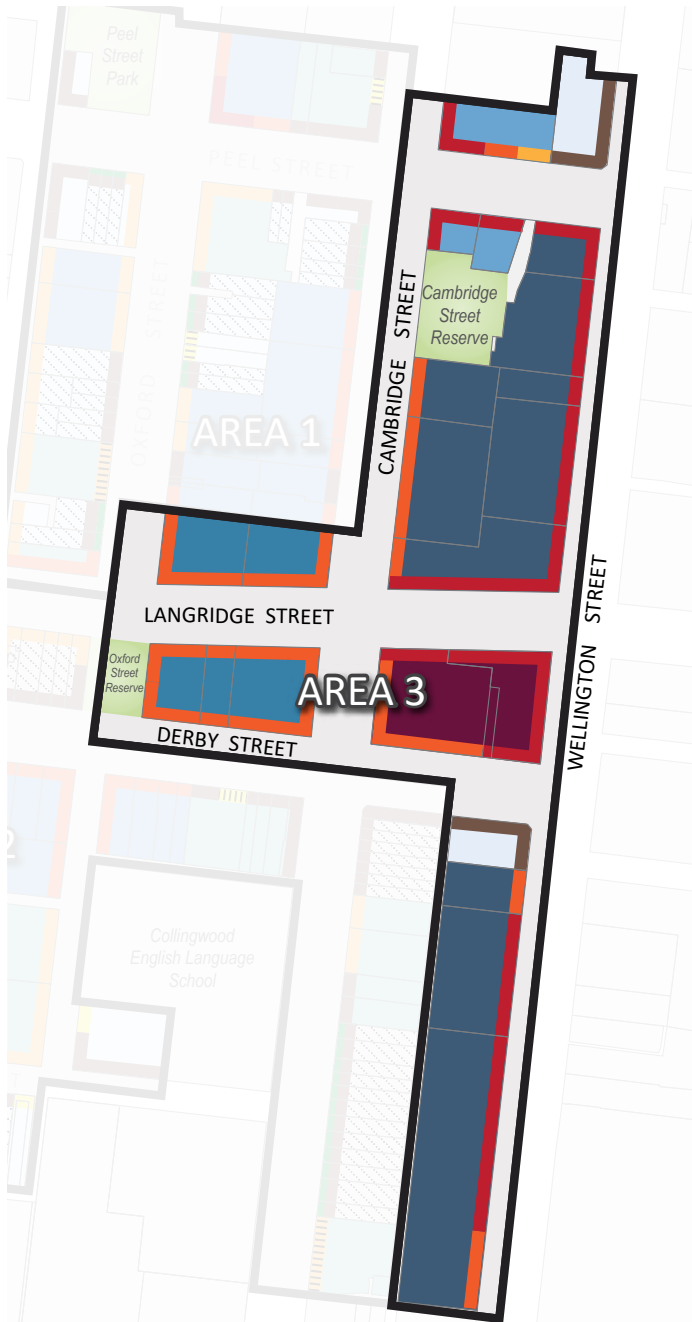
- 8m
- 11m
- 14m
- Retain heritage street wall height
- Retain landscape setback

### Mandatory Street Wall Heights

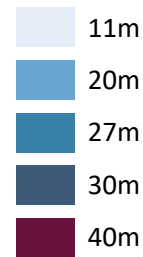
- Properties as marked by the dashed lines have a mandatory street wall height

Ground Floor Setbacks - front	Street Wall Heights	Upper Level Setbacks	Overall Heights	Rear Interface
<p>0m <b>Preferred</b></p> <p>1m X 1m splay at site's corner boundaries of non-heritage buildings <b>Preferred</b></p>	<p>Retain heritage street wall <b>Mandatory</b></p> <p>2 – 3 storeys in-between heritage buildings <b>Mandatory</b></p>	<p>6m for heritage buildings <b>Mandatory</b></p>	<p>3-6 storeys <b>Preferred and Mandatory</b></p>	<p>11m maximum at laneway interface <b>Preferred</b></p>
	<p>2 – 4 storeys with a transition, scaling down to interface with heritage building <b>Preferred</b></p> <p>Corner buildings should continue the main frontage street wall height for a minimum of 8 metres to the side street <b>Preferred</b></p>	<p>6m for non-heritage buildings (unless adjoining a heritage building in which case it must match the existing setback of the adjoining heritage building) <b>Preferred</b></p> <p>Behind two rooms or principle roof form for 14-34 Cambridge Street, Collingwood <b>Preferred</b></p>		

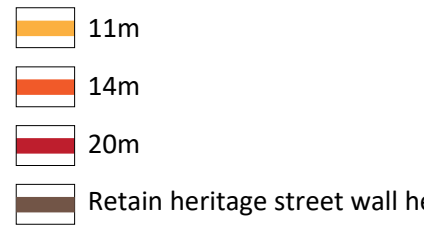
**Area 3 - Area around Wellington Street and Langridge Street**



**Building Heights**



**Street Wall Heights**



Ground Floor Setbacks - front	Street Wall Heights	Upper Level Setbacks	Overall Heights	Rear Interface
0m <u>Preferred</u>	3 – 6 storeys <u>Preferred</u>	6m for heritage buildings <u>Mandatory</u>	3-12 storeys <u>Preferred</u>	11m maximum at laneway interface <u>Preferred</u>
1m X 1m splay at site's corner boundaries of non-heritage buildings <u>Preferred</u>	Corner buildings should continue the main frontage street wall height for a minimum of 8 metres to the side street <u>Preferred</u>	3m for non-heritage buildings <u>Preferred</u>		

## What are some additional built form and design requirements?

The exhibited DDO23 includes a number of other requirements to guide a development's built form and design. The below is a short description of some requirements. For all requirements and their exact wording please see the relevant sections of the exhibited draft DDO23.:

### Overshadowing and solar access requirements

The requirement aims to protect solar access to some parts of the buildings along Little Oxford Street, secluded private open spaces of adjoining residential properties and public spaces (footpaths, open spaces and expanded street corners). See Section 2.6 in DDO23 for all the details.

### Building separation, amenity and equitable development requirements

The requirement aims to ensure good levels of internal amenity for current and future building occupants. See Section 2.7 in DDO23 for all the details.

### Other design requirements

Several requirements aim to ensure that new developments achieve pedestrian-oriented, high quality urban design outcomes at lower and upper levels through street edge activation, generous entry spaces in areas of narrow footpaths and appropriate levels of façade articulation that reflect the character of the area. The requirements would ensure that development is responding sensitively towards heritage buildings and public spaces (footpaths, open spaces and expanded street corners). See section 2.8 in draft DDO23 for all the details.

### Access, parking and loading bay requirements

The requirement aims to provide a safe and accessible environment for pedestrians and to

limit potential conflict between vehicle movements and pedestrian activity. See Section 2.9 in draft DDO23 for all the details.

## Where can I find more information about draft Amendment C293yara

Information on draft amendment and all formal draft amendment documents can be found on our website at [yarracity.vic.gov.au/amendmentC293yara](http://yarracity.vic.gov.au/amendmentC293yara)

## How to make a submission?

You are welcome to make a submission to the proposed draft Amendment C293.

Submissions must be made in writing and are due by **5pm on 27 October 2021**.

### Post

Attention Strategic Planning PO Box 168, Richmond VIC 3121 (Subject line: Collingwood South draft Amendment C293yara - Submission)

### Email

[strategicplanning@yarracity.vic.gov.au](mailto:strategicplanning@yarracity.vic.gov.au)  
(Subject line: Collingwood South draft Amendment C293yara - Submission). If you do not receive a confirmation email on your submission, please get in touch with us on 9205 5555.

Please provide us with **your name and contact details** so that we can contact you about the next stages of the process.

Your submission must indicate if you support or oppose the amendment, or parts of the amendment, and you can also outline any recommended changes.

Please note: in accordance with the Planning and Environment Act 1987, Council must make a copy of any submission available for public inspection.