

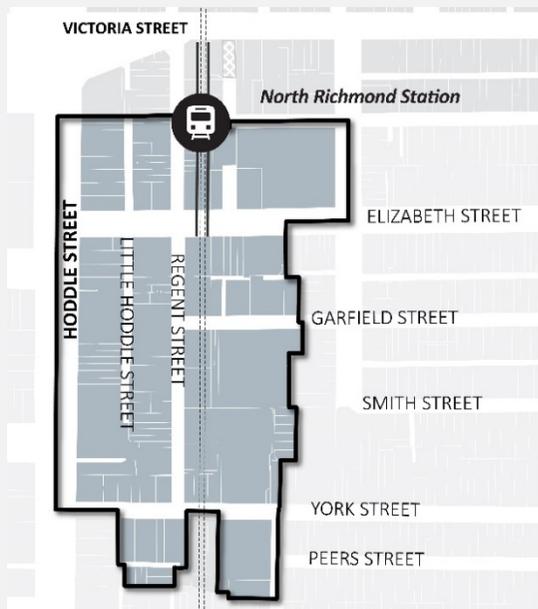
Draft DDO48 – North Richmond Station

Information Sheet



North Richmond Station is roughly located between Hoddle Street, properties to the east of the railway line, Butler Street and York Street, south of the North Richmond Train Station.

The precinct contains former industrial buildings along Regent Street, Garfield and York Street, some of which have been developed for apartments. Commercial and office developments are located fronting busy Hoddle Street with intimate creative industries, cafes and other uses on Little Hoddle Street.



More information

If you would like to know more about this project, contact us on **9205 5555** or strategicplanning@yarracity.vic.gov.au

What is this Design and Development Overlay trying to achieve?

Draft Design and Development Overlay – Schedule 48 (Draft DDO48) supports the development of this precinct as a dense mixed-use corridor for housing and employment growth.

Draft DDO48 promotes new mid-rise development up to 9 commercial storeys along Hoddle Street. A higher street wall (the height of the building on the street) of 4 storeys is supported on Hoddle Street with upper levels pushed back 4.5m. The DDO requires that development should that reinforces the importance of the boulevard, along with improving its pedestrian environment and landscape character.

Elsewhere the DDO supports new mid-rise development from 6 to 9 storeys along Regent Street and on larger sites east of railway line with lower heights of 4 storeys adjoining low-rise residential areas. The DDO reinforces the existing 2 to 3 storey street wall. Taller elements of buildings should also be pushed back 6 metres.

New development also needs to maintain the visual prominence heritage buildings.

Additional setbacks at ground floor have been applied along Little Hoddle Street and the Jonas Street side of 33 to 35 Elizabeth Street.

DDO48 also requires that development is designed to create safe, active and attractive street frontages including Little Hoddle Street and the streets leading to the North Richmond Station. Development must be designed to make sure it protects sunlight to the Elizabeth Street footpath – a key pedestrian and cycling route.

What are the main design requirements to guide potential developments?

Below are maps and tables providing a summary of built form and design requirements in draft DDO48 (see Section 2.2 of the DDO48).

Built form and design requirements in DDO48 relate to front setbacks, street wall height, setbacks for upper levels, building height and transition of potential development towards residential properties at the rear.

The DDO also includes requirements and guidelines on overshadowing, facade design, access and movement and others.

NOTE: Amendment C291yara also includes new policy which describes the proposed future character of the precinct (see [Clause 21.11 – Local Areas](#)).

Mandatory and preferred requirements

DDO48 includes a mix of mandatory and preferred requirements.

A mandatory requirement is a requirement or control that must be met. There is no opportunity to vary it. For example, a proposal cannot be approved taller than the mandatory height listed in the DDO.

A preferred requirement provides for flexibility in the approach to achieve the required outcome.

(See the [Design and Development Overlays Information Sheet](#) for more information about how DDOs work.)

Building heights and interfaces

The Height and Interface Plan and Interface Table show the maximum building heights and the interface requirements that apply.

Mandatory maximum heights are shown with cross hatching.

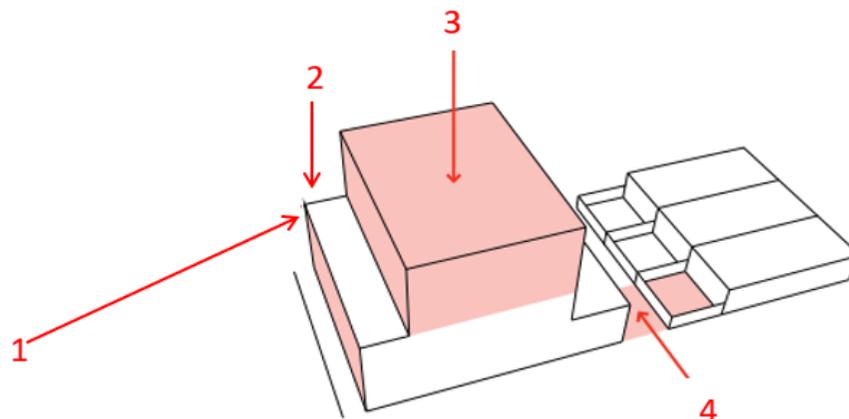
See *Section 2.2 Building Height, Street Wall and Setback and Upper Level Requirements* in draft DDO48 for greater detail.

NOTE

This information sheet provides a summary of some requirements and where they apply can be found in the DDO. It is not part of the formal amendment documentation. It is recommended you refer to the DDO and the supporting documents below if you wish to make a submission. Go to the Yarra website to review [Draft DDO48](#).

Common terms

Street wall, upper level setbacks and overall building height are terms that are used in the DDO which set the general building envelop which new buildings or additions should fit into (see the diagram below).

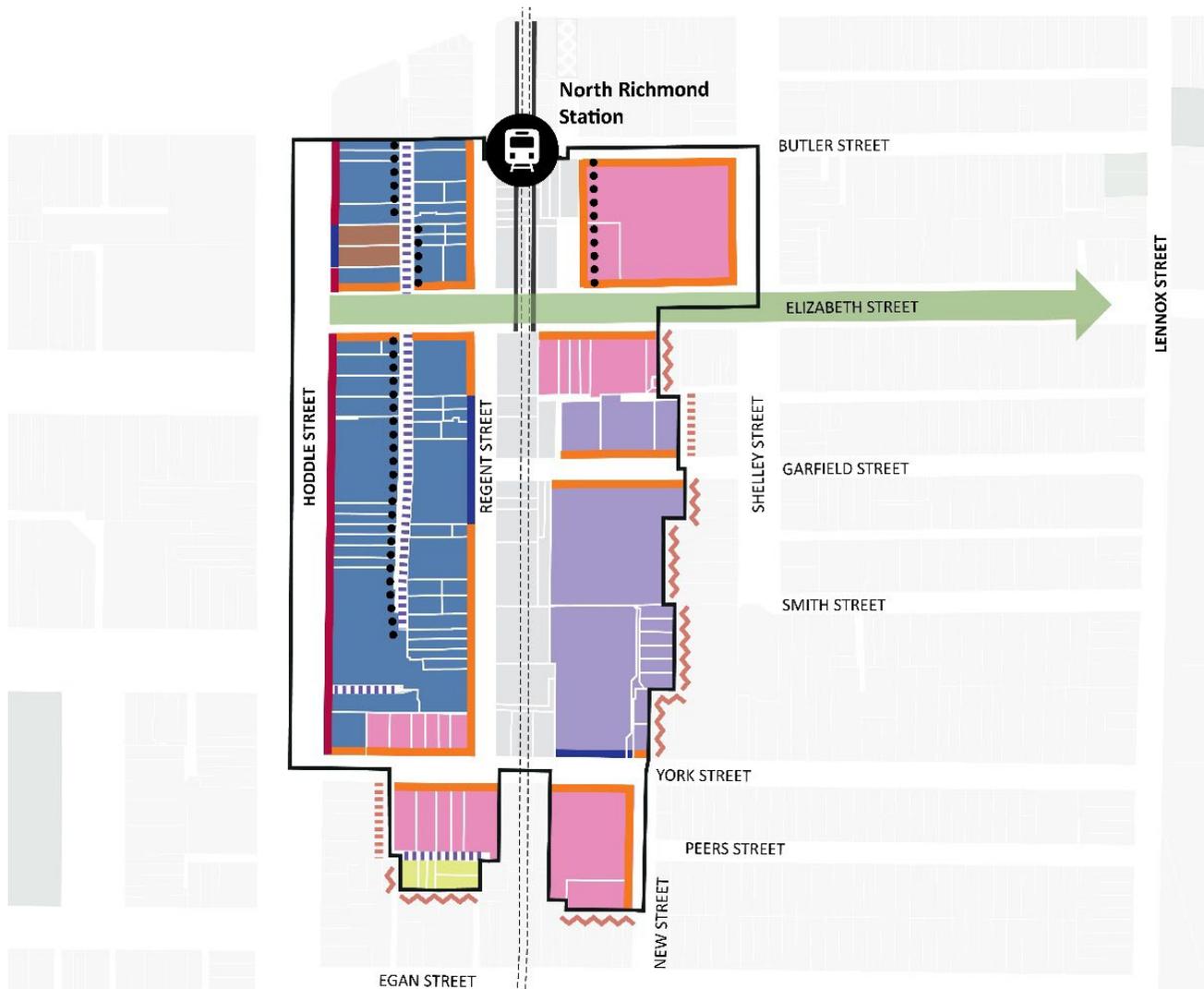


1. Street wall
2. Upper level setback
3. Overall building height
4. Residential interface

Source: Johnston Street Local Area Plan - Built Form Analysis and Recommendations (December 2015)

Heritage buildings are buildings within a Heritage Overlay in the planning scheme, which are graded as either 'Contributory' or 'Individually Significant' or any building on the Victorian Heritage Register.

Building Heights and Interfaces



Legend

Precinct Boundary

Train Station

Green Streets - Key pedestrian/cycle routes

Note all heights are preferred maximum building Heights except where mandatory maximum building heights are shown

Building Heights

- 11m
- 18m
- 24m
- 28m
- 34m

Mandatory heights

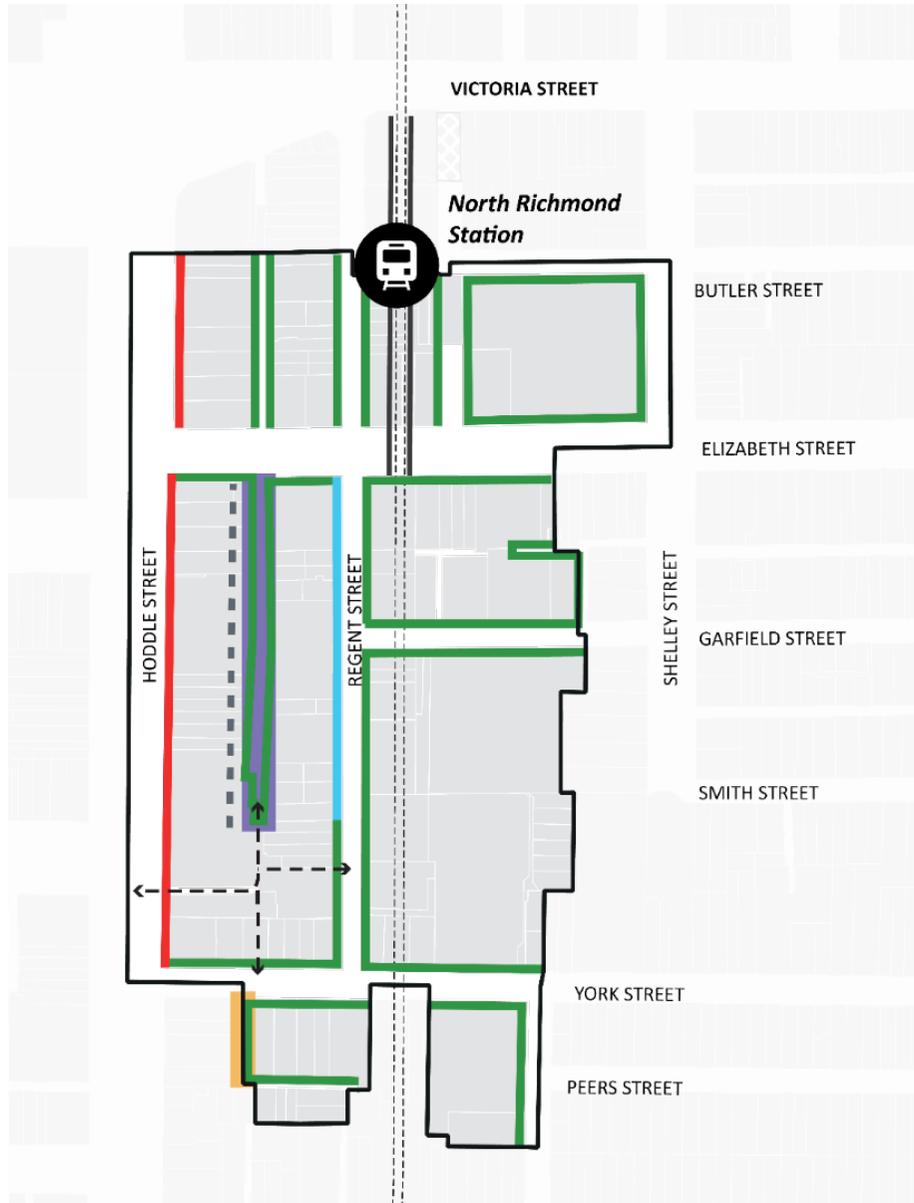
Street wall height and setback interface ref

- Interface A
- Interface C
- Interface D
- Interface H Residential interface (direct abuttal)
- Interface H Residential interface (laneway)
- Interface I
- 2m Setback

Interfaces

Interface Type	Street Wall Height	Street Wall Setback	Upper Level Setback
Interface A 	Retain existing street wall height for heritage buildings 8m-11m (2-3 storeys) for other buildings <u>Mandatory</u> Other buildings should match the parapet height of the adjoining heritage building, for a minimum length of 6m from the heritage building. <u>Preferred</u>	Retain existing street wall setback for heritage buildings <u>Mandatory</u> 0m for other buildings <u>Preferred</u>	6m minimum <u>Mandatory</u> For buildings >15m (4 storeys), the uppermost level should be set back 9m minimum <u>Preferred</u>
Interface C 	Retain existing street wall height for heritage buildings. 8m – 11m (2-3 storeys) for other buildings Match the parapet height of the adjoining heritage building, for a minimum length of 6m from the heritage building. <u>Preferred</u>	Retain existing street wall setback for heritage buildings. 12 Shelley Street and 33 Elizabeth Street - 2m setback on western boundary Elsewhere - 0m <u>Preferred</u>	6m minimum <u>Preferred</u>
Interface D 	15m maximum <u>Preferred</u>	0m <u>Preferred</u>	4.5m minimum <u>Preferred</u>
Interface I 	11m (3 storeys) maximum <u>Preferred</u> NOTE: Interface I control relates to side / rear wall height rather than street wall height	2m setback along Little Hoddle Street to the eastern boundary of 15 – 25 Hoddle Street, 6-8 Elizabeth Street and 35-81 Hoddle Street and to the western boundary of 28-30 Regent Street, 31-33 Little Hoddle Street and 5 Elizabeth Street <u>Preferred</u> NOTE: Interface I control relates to side / rear wall setback rather than street wall setback.	Minimum 4.5m from the centre of the laneway <u>Preferred</u>

Access and Movement



Vehicle access

The requirements aim to provide a safe and accessible environment for everyone and to limit potential conflict between vehicle movements and pedestrians. See *Section 2.2 Vehicle Access* in draft DDO48 for more information.

Pedestrian and Bicycle Access

The DDO requires new development consider the design of bicycle parking and how pedestrians and cyclists safely and easily access the building. See *Section 2.2 Pedestrian and Bicycle Access* in DDO48 for more information.

Legend

- Precinct Boundary
- Access Preferred
- Access Not Preferred
- Access Not Supported
- Setbacks
- Potential Future Shared Zones
- Potential Pedestrian Links
- Passing Areas

What are some of the other design requirements?

Interfaces to residential properties

The DDO includes a requirement which ensure new buildings minimise any impacts on the amenity of adjoining low scale residential neighbourhoods such as overlooking or reducing sunlight to backyards.

See *Section 2.2 Interface to residential properties in NRZ or GRZ requirements in DDO48* for all the details.

Building separation

Building separation refers to the space between buildings at upper levels. The requirement aims to ensure good levels of internal amenity for current and future building occupants and provides a visual break between taller buildings.

See *Section 2.2 Building Separation in DDO48* for all the details.

Overshadowing

The requirement aims to retain sunlight to the southern footpath of Elizabeth Street identified as a 'Green Street', an important pedestrian and cycle routes. (Shown on the Height and Interface Plan in this Information Sheet and in the DDO).

See *Section 2.2 Overshadowing in DDO48* for all the details.

Design quality

The DDO includes a number of requirements to ensure buildings are well designed.

Several requirements ensure new development provides high quality and pedestrian focussed design at street level. They will ensure the precinct's main streets are activated.

Where existing heritage buildings are not a constraint, the DDOs also encourage generous entry spaces to buildings where there are narrow footpaths. New designs need to be designed to fit into the character of the area.

The DDO also addresses how new development responds to heritage and design details like services on roof and front of buildings (like meter boxes and gas mains).

Developments along identified Green Streets (shown on Height and Interface Plan in this Information Sheet and DDO48) are encouraged to contribute to urban greening through planting, including vertical and rooftop gardens.

See Section 2.2 Design Quality in DDO48 for all the details.

How to make a submission?

Submissions must be made in writing. Submissions close **27 October 2021**.

- **Email:** strategicplanning@yarracity.vic.gov.au
- **Post:** Attention Strategic Planning PO Box 168, Richmond VIC 3121
- **Subject line:** Amendment C291yara - Submission

Note: Your submission must indicate if you support or oppose the draft amendment (or parts thereof) and outline any recommended changes to the draft amendment.

If you do not receive a confirmation email on your submission, please get in touch with us on 9205 5555.

National Relay Service

TTY 133 677 then (03) 9205 5055

Languages

العربية 9280 1930

中文 9280 1937

Ελληνικά 9280 1934

Italiano 9280 1931

Español 9280 1935

Tiếng Việt 9280 1939

Other 9280 1940

