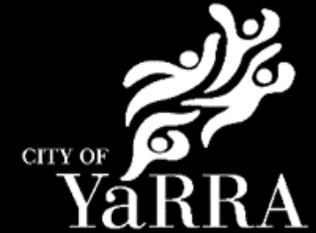


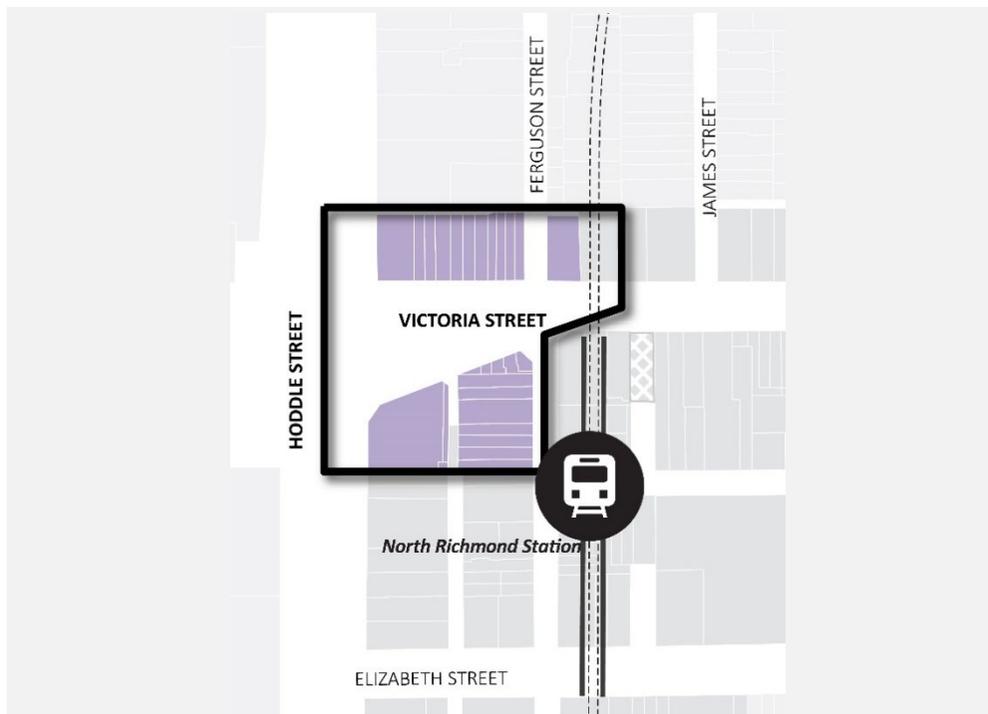
# Draft DDO46 – Victoria Street West

## Information Sheet



Victoria Street West provides the entry to the Victoria Street Activity Centre. The distinctive sense of arrival is created by the Victoria Street Gateway in the centre of Victoria Street.

The precinct's character and sense of place is defined by the intact heritage streetscape on the northern side which is bookended by the prominent former State Savings Bank on the corner, and low-rise heritage dwellings along Regent Street. The southern corner contains a large potential redevelopment site fronting Hoddle Street.



### What is this Design and Development Overlay trying to achieve?

The requirements in Draft Design and Development Overlay – Schedule 46 (DDO46) are driven by the Precinct's highly intact heritage streetscapes and heritage buildings.

In DDO46, new development needs to ensure heritage buildings and the highly intact heritage streetscape remain highly visible.

DDO46 generally supports lower mid-rise development up to 3-5 storeys. It requires the heritage street wall / streetscape to be retained. New or infill buildings need to match this 2 to 3 storey height. Any development above the heritage building should be pushed back by at least 6 metres. In some cases, this is greater where building heights are taller.

It also aims to respect and provide a transition to low scale heritage buildings along Regent Street. Tailored heights and upper level setbacks of 7m from the front of the buildings apply to the low scale heritage properties.

It also supports high quality taller development on the south-west corner of Hoddle and Victoria Street of up to 9-10 storeys.

Under the DDO, development should be designed to create safe, active and attractive street frontages. Development must be designed to make sure it does not overshadow the southern side of Victoria Street and the open space opposite the Victoria Street Gateway.

#### More information

If you would like to know more about this project, contact us on **9205 5555** or [strategicplanning@yarracity.vic.gov.au](mailto:strategicplanning@yarracity.vic.gov.au)

## What are the main design requirements to guide potential developments?

Below are maps and tables providing a summary of built form and design requirements in draft DDO46 (see Section 2.2 of the DDO46).

Built form and design requirements in DDO46 relate to front setbacks, street wall height, setbacks for upper levels, building height and transition of potential development towards residential properties at the rear.

The DDO also includes requirements and guidelines on overshadowing, facade design, access and movement and others.

NOTE: Amendment C291yara also includes new policy which describes the proposed future character of the precinct (see [Clause 21.11 – Local Areas](#)).

### Mandatory and preferred requirements

DDO46 includes a mix of mandatory and preferred requirements.

A mandatory requirement is a requirement or control that must be met. There is no opportunity to vary it. For example, a proposal cannot be approved taller than the mandatory height listed in the DDO.

A preferred requirement provides for flexibility in the approach to achieve the required outcome.

(See the [Design and Development Overlays Information Sheet](#) for more information about how DDOs work.)

## Building heights and interfaces

The Height and Interface Plan and Interface Table show the maximum building heights and the interface requirements that apply.

Mandatory maximum heights are shown with cross hatching.

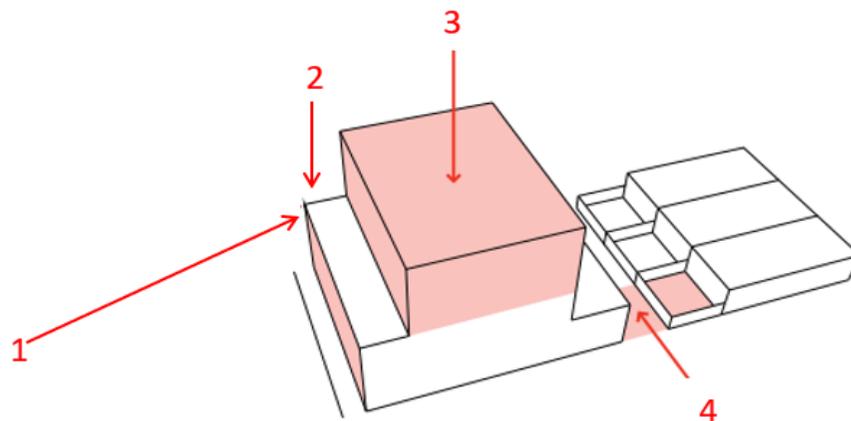
See *Section 2.2 Building Height, Street Wall and Setback and Upper Level Requirements* in draft DDO46 for greater detail.

### NOTE

This information sheet provides a summary of some requirements and where they apply can be found in the DDO. It is not part of the formal amendment documentation. It is recommended you refer to the DDO and the supporting documents below if you wish to make a submission. **Go to the Yarra website to review [Draft DDO46](#).**

## Common terms

**Street wall, upper level setbacks and overall building height** are terms that are used in the DDO which set the general building envelop which new buildings or additions should fit into (see the diagram below).



1. Street wall
2. Upper level setback
3. Overall building height
4. Residential interface

*Source: Johnston Street Local Area Plan – Built Form Analysis and Recommendations (December 2015)*

**Heritage buildings** are buildings within a Heritage Overlay in the planning scheme, which are graded as either ‘Contributory’ or ‘Individually Significant’ or any building on the Victorian Heritage Register.

# Building Heights and Interfaces



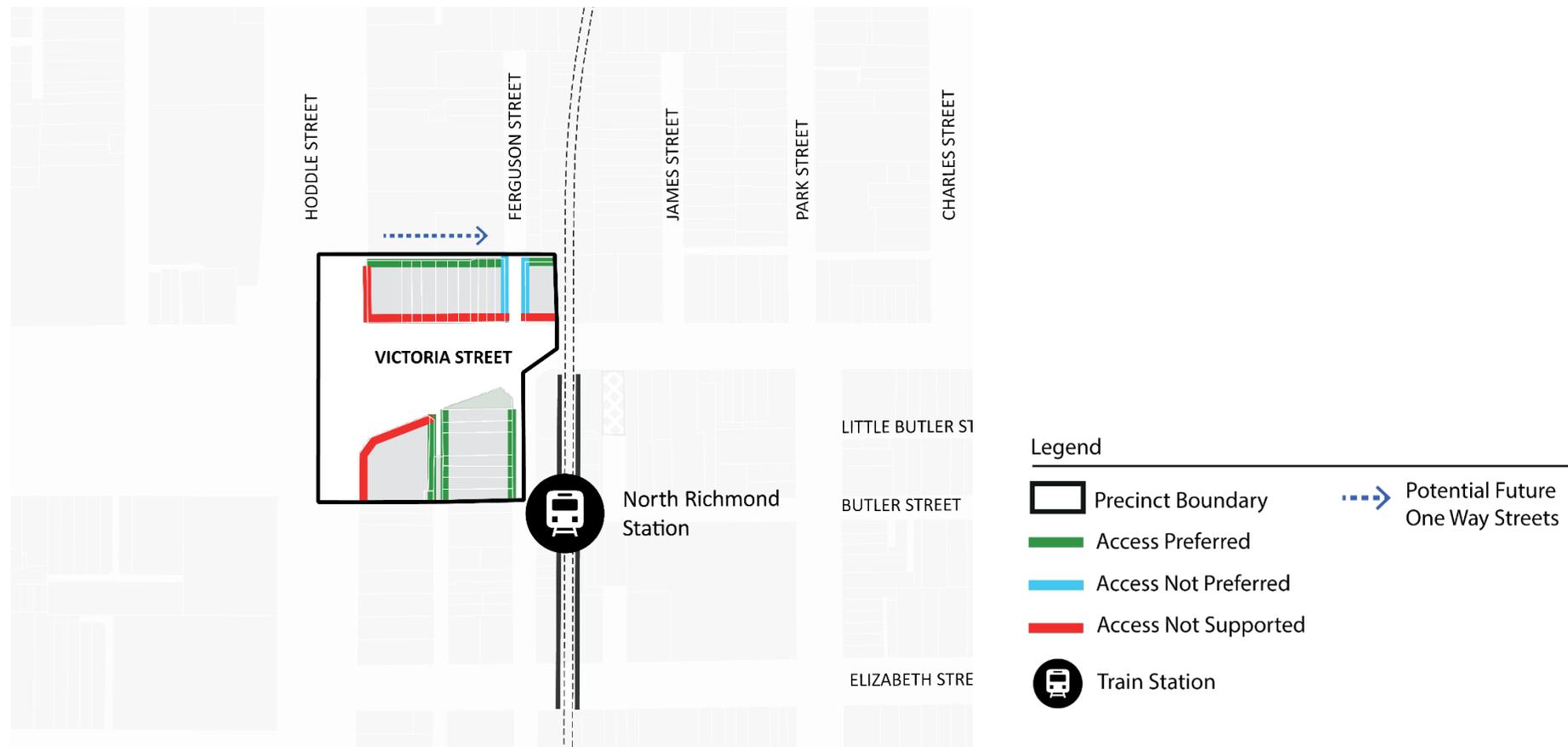
## Interfaces

Interface Type	Street Wall Height	Street Wall Setback	Upper Level Setback
<b>Interface A</b> 	Retain existing street wall height for heritage buildings 8m-11m (2-3 storeys) for other buildings <u><b>Mandatory</b></u>  Other buildings should match the parapet height of the adjoining heritage building, for a minimum length of 6m from the heritage building. <u><b>Preferred</b></u>	Retain existing street wall setback for heritage buildings <u><b>Mandatory</b></u>  0m for other buildings <u><b>Preferred</b></u>	6m minimum <u><b>Mandatory</b></u>  For buildings >15m (4 storeys), the uppermost level should be set back 9m minimum <u><b>Preferred</b></u>
<b>Interface D</b> 	15m maximum <u><b>Preferred</b></u>	0m <u><b>Preferred</b></u>	4.5m minimum <u><b>Preferred</b></u>
<b>Interface E</b> 	Retain existing street wall height for heritage buildings 11m (3 storeys) maximum for other buildings <u><b>Preferred</b></u>	Retain existing street wall setback for heritage buildings 253 – 257 Victoria Street – 2m setback along western boundary <u><b>Preferred</b></u>	6m minimum for heritage buildings 3m minimum for other buildings <u><b>Preferred</b></u>
<b>Interface G</b> 	Retain existing street wall height for heritage buildings 8m-11m (2-3 storeys) for other buildings <u><b>Mandatory</b></u>  Other buildings should match the parapet or roof height of the adjoining heritage building, for a minimum length of 6m from the heritage building. <u><b>Preferred</b></u>	Retain existing street wall setback for heritage buildings. <u><b>Mandatory</b></u>	7m minimum for heritage buildings <u><b>Mandatory</b></u> 7m minimum for other buildings <u><b>Preferred</b></u>
<b>Interface I</b> 	11m (3 storeys) maximum <u><b>Preferred</b></u> <b>NOTE:</b> Interface I relates to side / rear wall height rather than street wall height	1-11 Hoddle Street - 2m setback on eastern boundary Elsewhere – 0m <u><b>Preferred</b></u>	Minimum 4.5m from the centre of the laneway <u><b>Preferred</b></u>

## Access and Movement

### Vehicle Access

The requirements aim to provide a safe and accessible environment for everyone and to limit potential conflict between vehicle movements and pedestrians. See *Section 2.2 Vehicle Access* in draft DDO46 for more information.



### Pedestrian and Bicycle Access

The DDO requires new development consider the design of bicycle parking and how pedestrians and cyclists safely and easily access the building. See *Section 2.2 Pedestrian and Bicycle Access* in DDO46 for more information.

## What are some of the other design requirements?

### Building separation

Building separation refers to the space between buildings at upper levels. The requirement aims to ensure good levels of internal amenity for current and future building occupants and provides a visual break between taller buildings.

See *Section 2.2 Building Separation* in DDO46 for all the details.

### Overshadowing

The requirement aims to retain sunlight to the southern footpath on Victoria Street and the Victoria Street Gateway Park.

See *Section 2.2 Overshadowing* in DDO46 for all the details.

### Design quality

The DDO includes a number of requirements to ensure buildings are well designed.

Several requirements ensure new development provides high quality and pedestrian focussed design at street level. They will ensure the precinct's main streets are activated. New designs need to be designed to fit into the character of the area.

The DDO also addresses how new development responds to heritage and design details like services on roof and front of buildings (like meter boxes and gas mains).

See Section 2.2 Design Quality in DDO46 for all the details.

## How to make a submission?

Submissions must be made in writing. Submissions close **27 October 2021**.

- **Email:** [strategicplanning@yarracity.vic.gov.au](mailto:strategicplanning@yarracity.vic.gov.au)
- **Post:** Attention Strategic Planning PO Box 168, Richmond VIC 3121
- Subject line: Amendment C291yara - Submission

Note: Your submission must indicate if you support or oppose the draft amendment (or parts thereof) and outline any recommended changes to the draft amendment.

If you do not receive a confirmation email on your submission, please get in touch with us on 9205 5555.

### National Relay Service

TTY 133 677 then (03) 9205 5055

### Languages

العربية 9280 1930

中文 9280 1937

Ελληνικά 9280 1934

Italiano 9280 1931

Español 9280 1935

Tiếng Việt 9280 1939

Other 9280 1940