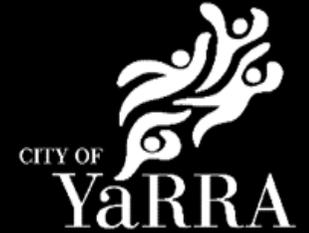


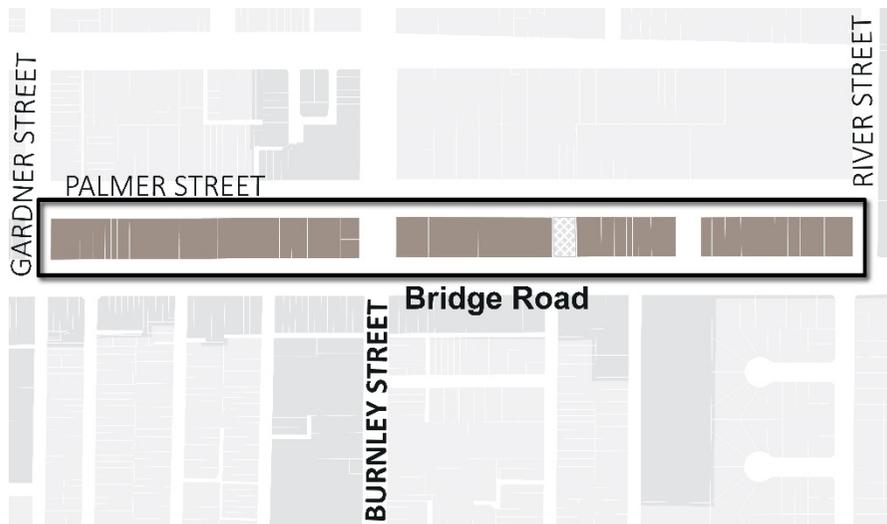
# Draft DDO45 – Bridge Road East North

## Information Sheet



Bridge Road East North is located on the northern side of Bridge Road between Gardner Street and River Street. Properties in the precinct have frontages to both Bridge Road and Palmer Street. The precinct abuts a residential neighbourhood north of Palmer Street, east of Burnley Street and industrial uses, west of Burnley Street.

The precinct also includes a mix of shops, cafes and restaurants, offices, large format retail stores, service industry and new apartment buildings. The prominent Royal Oak Hotel marks the centre of this precinct.



### More information

If you would like to know more about this project, contact us on **9205 5555** or [strategicplanning@yarracity.vic.gov.au](mailto:strategicplanning@yarracity.vic.gov.au)

## What is this Design and Development Overlay trying to achieve?

Draft Design and Development Overlay – Schedule 45 (Draft DDO45) supports new well designed mid-rise development up to 8 storeys on Bridge Road and Palmer Street. This precinct is identified as a preferred location for housing and employment growth within the Bridge Road Activity Centre.

As there is no defining heritage streetscape, a new character would be created. The height of street wall (the height of the building on the street) could be up to 15m (4 storeys). Taller parts of the building above 4 storeys would be pushed back by 4.5 to 6 metres.

DDO45 requires that buildings are designed with breaks between upper levels of the development to provide views to the sky from the street and an interesting skyline.

Buildings should present attractive and interesting frontages to Palmer Street, particularly facing the residential neighbourhood to the north.

DDO45 also requires that new development is designed to ensure the visual prominence of the Royal Oak Hotel and other heritage buildings is retained. Development of up to 5 storeys is permitted on sites with heritage buildings with upper levels pushed back.

Development should be designed to create safe, active and attractive street frontages. It must also be designed to ensure buildings protect sunlight to important footpaths to the southern side of Bridge Road, Burnley Street and any potential future urban space at Whites Place.

It also aims to make sure new development minimises its amenity impacts on the low scale residential neighbourhoods which abut the activity centre. This includes minimising overlooking, overshadowing and visual bulk.

## What are the main design requirements to guide potential developments?

Below are maps and tables providing a summary of built form and design requirements in draft DDO45 (see Section 2.2 of the DDO45).

Built form and design requirements in DDO45 relate to front setbacks, street wall height, setbacks for upper levels, building height and transition of potential development towards residential properties at the rear.

The DDO also includes requirements and guidelines on overshadowing, facade design, access and movement and others.

NOTE: Amendment C291yara also includes new policy which describes the proposed future character of the precinct (see [Clause 21.11 – Local Areas](#)).

### Mandatory and preferred requirements

DDO45 includes a mix of mandatory and preferred requirements.

A mandatory requirement is a requirement or control that must be met. There is no opportunity to vary it. For example, a proposal cannot be approved taller than the mandatory height listed in the DDO.

A preferred requirement provides for flexibility in the approach to achieve the required outcome.

(See the [Design and Development Overlays Information Sheet](#) for more information about how DDOs work.)

## Building heights and interfaces

The Height and Interface Plan and Interface Table show the maximum building heights and the interface requirements that apply.

Mandatory maximum heights are shown with cross hatching.

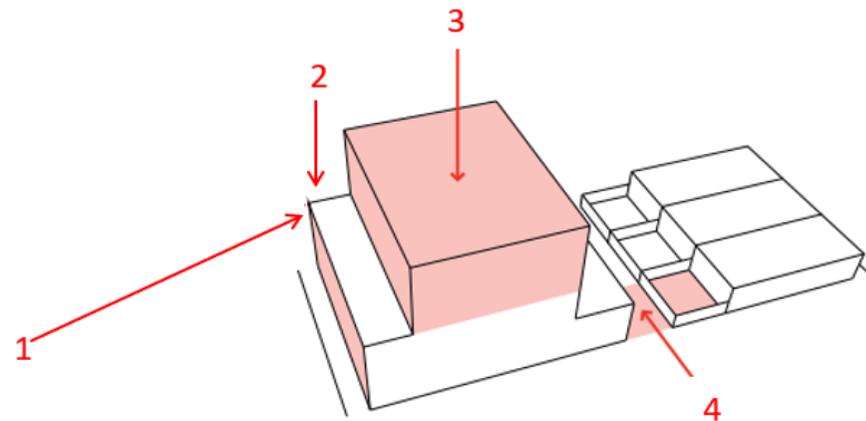
### NOTE

This information sheet provides a summary of some requirements and where they apply can be found in the DDO. It is not part of the formal amendment documentation. It is recommended you refer to the DDO and the supporting documents below if you wish to make a submission. Go to the Yarra website to review [Draft DDO45](#).

See Section 2.2 Building Height, Street Wall and Setback and Upper Level Requirements in draft DDO45 for greater detail.

### Common terms

**Street wall, upper level setbacks and overall building height** are terms that are used in the DDO which set the general building envelop which new buildings or additions should fit into (see the diagram below).

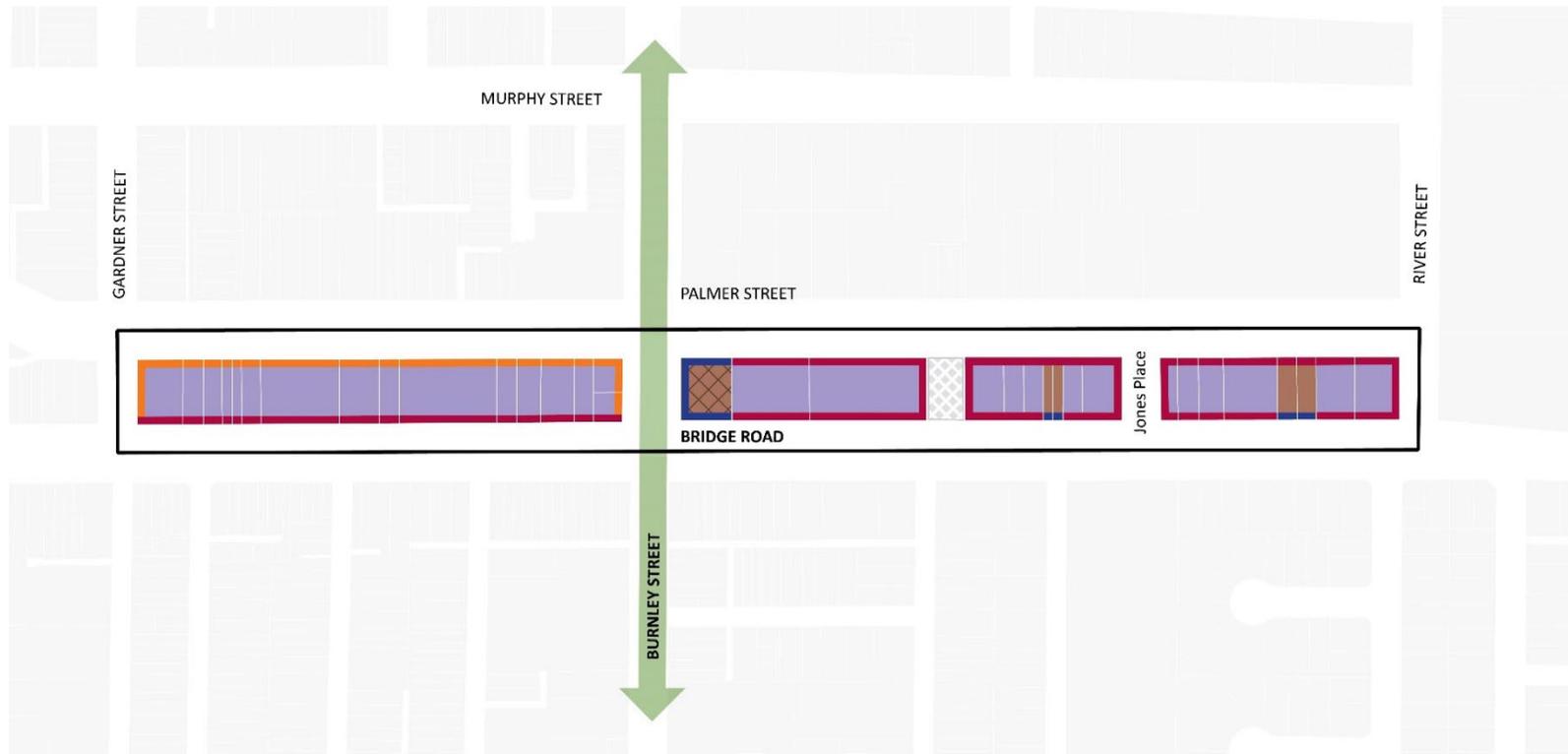


1. Street wall
2. Upper level setback
3. Overall building height
4. Residential interface

Source: Johnston Street Local Area Plan - Built Form Analysis and Recommendations (December 2015)

**Heritage buildings** are buildings within a Heritage Overlay in the planning scheme, which are graded as either 'Contributory' or 'Individually Significant' or any building on the Victorian Heritage Register.

## Building Heights and Interfaces



### Legend

 Precinct Boundary

 Green Streets - Key pedestrian/cycle routes

Note all heights are preferred maximum building Heights except where mandatory maximum building heights are shown

Building Heights

 18m

 28m

 Mandatory heights

Street wall height and setback interface ref

 Interface A

 Interface C

 Interface D

## Interfaces

Interface Type	Street Wall Height	Street Wall Setback	Upper Level Setback
<b>Interface A</b> 	Retain existing street wall height for heritage buildings  8m-11m (2-3 storeys) for other buildings <b><u>Mandatory</u></b>  Other buildings should match the parapet height of the adjoining heritage building, for a minimum length of 6m from the heritage building. <b><u>Preferred</u></b>	Retain existing street wall setback for heritage buildings <b><u>Mandatory</u></b>  0m for other buildings <b><u>Preferred</u></b>	6m minimum <b><u>Mandatory</u></b>  For buildings >15m (4 storeys), the uppermost level should be set back 9m minimum <b><u>Preferred</u></b>
<b>Interface C</b> 	Retain existing street wall height for heritage buildings.  8m – 11m (2-3 storeys) for other buildings  Match the parapet height of the adjoining heritage building, for a minimum length of 6m from the heritage building. <b><u>Preferred</u></b>	Retain existing street wall setback for heritage buildings. <b><u>Mandatory</u></b>  Elsewhere - 0m <b><u>Preferred</u></b>	6m minimum <b><u>Preferred</u></b>
<b>Interface D</b> 	15m maximum (4-5 storeys) <b><u>Preferred</u></b>	0m street wall setback <b><u>Preferred</u></b>	4.5m minimum <b><u>Preferred</u></b>

## Access and Movement

### Vehicle access

The requirements aim to provide a safe and accessible environment for everyone and to limit potential conflict between vehicle movements and pedestrians. See *Section 2.2 Vehicle Access* in draft DDO45 for more information.



### Legend

- Precinct Boundary
- Access Preferred
- Access Not Preferred
- Access Not Supported
- Potential future urban space

### Pedestrian and Bicycle Access

The DDO requires new development consider the design of bicycle parking and how pedestrians and cyclists safely and easily access the building. See *Section 2.2 Pedestrian and Bicycle Access* in DDO45 for more information.

## What are some of the other design requirements?

### Views to landmarks

Views to landmarks are an important aspect of the Bridge Road Activity Centre. New buildings must not obstruct views to the Richmond Town Hall Clock Tower when viewed from the corner of Bridge Road and Burnley Street.

See *Section 2.2 View Lines* in DDO45 for all the details. The viewline is shown in Plan 1 in DDO45.

### Interfaces to residential properties

The DDO includes a requirement which ensure new buildings minimise any impacts on the amenity of adjoining low scale residential neighbourhoods such as overlooking or reducing sunlight to backyards.

See *Section 2.2 Interface to residential properties in NRZ or GRZ requirements* in DDO45 for all the details.

### Building separation

Building separation refers to the space between buildings at upper levels. The requirement aims to ensure good levels of internal amenity for current and future building occupants and provides a visual break between taller buildings.

See *Section 2.2 Building Separation* in DDO45 for all the details.

### Overshadowing

The requirement aims to retain sunlight to the Burnley Street footpath, identified as a Green Street, an important pedestrian and cycle route. (Shown on the Height and Interface Plan in this Information Sheet and in the DDO).

See *Section 2.2 Overshadowing* in DDO45 for all the details.

### Design quality

The DDO includes a number of requirements to ensure buildings are well designed. Several requirements ensure new development provides high quality and pedestrian focussed design at street level. They will ensure the precinct's main streets are activated. Where existing heritage buildings are not a constraint, the DDOs also encourage generous entry spaces to buildings where there are narrow footpaths. New designs need to be designed to fit into the character of the area.

The DDO also addresses how new development responds to heritage and design details like services on roof and front of buildings (like meter boxes and gas main).

Developments along identified Green Streets (shown on Height and Interface Plan in this Information Sheet and DDO45) are encouraged to contribute to urban greening through planting, including vertical and rooftop gardens.

See Section 2.2 Design Quality in DDO45 for all the details.

## How to make a submission?

Submissions must be made in writing. Submissions close **27 October 2021**.

- **Email:** [strategicplanning@yarracity.vic.gov.au](mailto:strategicplanning@yarracity.vic.gov.au)
- **Post:** Attention Strategic Planning PO Box 168, Richmond VIC 3121
- Subject line: Amendment C291yara - Submission

Note: Your submission must indicate if you support or oppose the draft amendment (or parts thereof) and outline any recommended changes to the draft amendment.

If you do not receive a confirmation email on your submission, please get in touch with us on 9205 5555.

### National Relay Service

TTY 133 677 then (03) 9205 5055

### Languages

العربية 9280 1930

中文 9280 1937

Ελληνικά 9280 1934

Italiano 9280 1931

Español 9280 1935

Tiếng Việt 9280 1939

Other 9280 1940