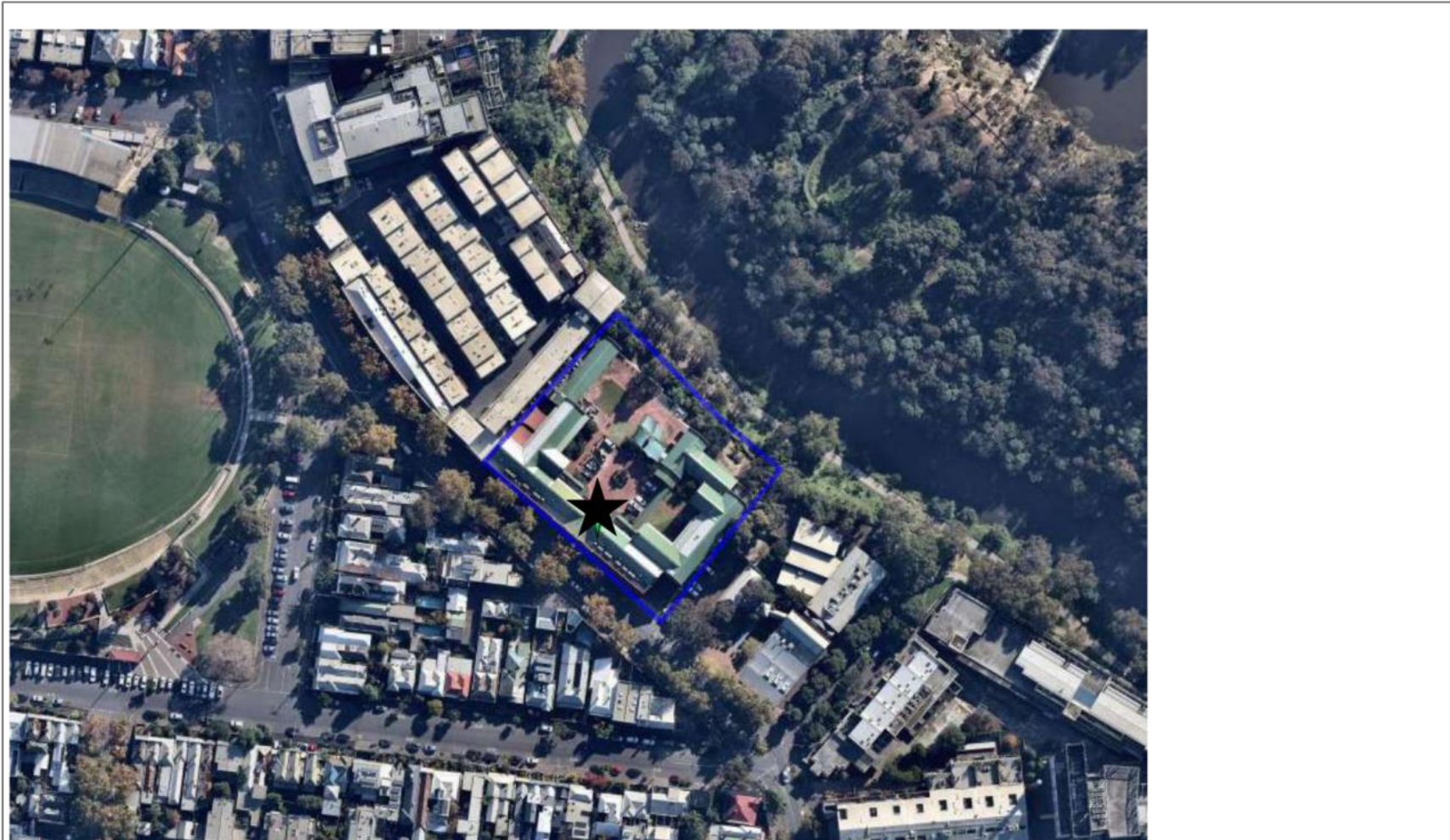


Attachment 1 - PLN20/0646 - 64 - 78 Trenerry Crescent Abbotsford - Site Map

SUBJECT LAND: 64 – 78 Trenerry Crescent Abbotsford



↑ North

★ Subject Site



2008年10月10日 星期五

COVER PAGE & DEVELOPMENT SUMMARY

TPO000	COVER PAGE	TOWN PLANNING
TPO001	DEVELOPMENT SUMMARY	TOWN PLANNING
EXISTING PLANS		
TPO408	EXISTING BASEMENT 2 PLAN	TOWN PLANNING
TPO409	EXISTING BASEMENT 1 PLAN	TOWN PLANNING
TPO500	EXISTING GROUND FLOOR PLAN	TOWN PLANNING
TPO501	EXISTING FIRST FLOOR PLAN	TOWN PLANNING
TPO502	EXISTING ROOF PLAN	TOWN PLANNING
EXISTING ELEVATIONS		
TPO555	EXISTING ELEVATIONS	TOWN PLANNING
TPO556	EXISTING ELEVATIONS	TOWN PLANNING
DEMOLITION PLANS		
TPO658	BASEMENT 2 DEMOLITION PLAN	TOWN PLANNING
TPO659	BASEMENT 1 DEMOLITION PLAN	TOWN PLANNING
TPO660	GROUND FLOOR DEMOLITION PLAN	TOWN PLANNING
TPO661	FIRST FLOOR DEMOLITION PLAN	TOWN PLANNING
TPO662	ROOF DEMOLITION PLAN	TOWN PLANNING
TPO663	FACE DEMOLITION AND NEW WORKS	TOWN PLANNING
TPO664	FACE DEMOLITION AND NEW WORKS	TOWN PLANNING
TPO665	FACE DEMOLITION AND NEW WORKS	TOWN PLANNING
TPO666	FACE DEMOLITION AND NEW WORKS	TOWN PLANNING
PROPOSED PLANS		
TPO708	BASEMENT 2 FLOOR PLAN	TOWN PLANNING
TPO709	BASEMENT 1 FLOOR PLAN	TOWN PLANNING
TPO710	GROUND FLOOR PLAN	TOWN PLANNING
TPO711	FIRST FLOOR PLAN	TOWN PLANNING
TPO712	ROOF PLAN	TOWN PLANNING
ELEVATIONS & SECTIONS		
TPO758	EXISTING ELEVATIONS	TOWN PLANNING
TPO759	DEMOLITION ELEVATIONS	TOWN PLANNING
TPO760	ELEVATIONS	TOWN PLANNING
TPO761	ELEVATIONS	TOWN PLANNING
TPO762	ELEVATIONS	TOWN PLANNING
TPO763	SECTIONS	TOWN PLANNING
TPO764	SECTIONS	TOWN PLANNING
TPO765	SECTIONS	TOWN PLANNING
PERSPECTIVE VIEWS		
TPO300	AERIAL VIEW	TOWN PLANNING
TPO301	COURTYARD VIEW	TOWN PLANNING
SHADOW DIAGRAMS		
TPO400	SHADOW DIAGRAMS	TOWN PLANNING
TPO401	SHADOW DIAGRAMS	TOWN PLANNING
TPO402	MANDATORY HEIGHT AND SETBACK DIAGRAM	TOWN PLANNING
TPO403	SHADOW DIAGRAMS	TOWN PLANNING
BUILDING ENVELOPE DIAGRAMS & MATERIALS SCHEDULE		
TPO450	MANDATORY HEIGHT AND SETBACK DIAGRAM	TOWN PLANNING
TPO451	SHADOW DIAGRAMS	TOWN PLANNING
TPO700	MATERIALS SCHEDULE	TOWN PLANNING



類別號碼	類別名稱	類別日期
01	TF FOR 8/9/2020	01.11.2019
02	TF 8/11	29.04.2020
03	TF 8/12	04.12.2020
04	TF 8/13	05.05.2021

EQUALITY ASSURANCE (WE ARE A CERTIFIED COMPANY TO ISO 9001-2015)

THIS PROJECT IS SUBJECT TO THE PE EQUALITY ASSURANCE SYSTEM

<input checked="" type="checkbox"/>	SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS COMPLETE	DATE OF REVIEW: 04-05-2020
<input type="checkbox"/>	DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED	
<input type="checkbox"/>	TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED	

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PROJECT
TRENERRY WORKPORT
70 TRENERRY CRESCENT
ABBOTSFORD VIC 3067

FENDER KATSALIDIS
WWW.FK.AUSTRALIA.COM
2 RIVERSIDE QUAY, SOUTHBANK
VICTORIA 3006 AUSTRALIA
TELEPHONE: +61 3 8886 3888
FENDER KATSALIDIS (AUST) PTY LTD ACN 082 943 032



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DRAWN	DATE	CHECKED	PLST DATE	JOB NO.	SCALE	DRAWING TITLE	

ISSUE PURPOSE	REV.	DRAWING NO.
TOWN PLANNING	03	TP000

Attachment 2 - PLN20/0646 - 64 - 78 Trenerry Crescent Abbotsford - Decision Plans

DEVELOPMENT SUMMARY

EXISTING GFA	
LEVEL	AREA
BASEMENT 2	2 887
BASEMENT 1	4 761
GROUND FLOOR	2 189
LEVEL 1	1 818
	11 655 m²

GFA EXPANSION/DEMOLITION		
LEVEL	DEMOLITION	EXPANSION
BASEMENT 2		
BASEMENT 1		
GROUND FLOOR	5	597
LEVEL 1	5	630
	10 m²	1 227 m²

TOTAL GFA	
LEVEL	AREA
BASEMENT 2	2 887
BASEMENT 1	4 761
GROUND FLOOR	2 781
LEVEL 1	2 443
	12 872 m²

EXISTING NLA	
LEVEL	AREA
BASEMENT 2	705
BASEMENT 1	934
GROUND FLOOR	1 933
LEVEL 1	1 642
	5 214 m²

NLA EXPANSION/DEMOLITION		
LEVEL	DEMOLITION	EXPANSION
BASEMENT 2	63	8
BASEMENT 1	0	4
GROUND FLOOR	13	604
LEVEL 1	18	627
	94 m²	1 243 m²

TOTAL NLA	
LEVEL	AREA
BASEMENT 2	650 *
BASEMENT 1	938
GROUND FLOOR	2 524
LEVEL 1	2 251
	6 363 m²

* Proposed Basement 2 total NLA represents a reduction from existing NLA due to addition of new toilet facilities in place of existing office space

EXISTING SITE COVERAGE	
TOTAL SITE AREA	5 922m²
EXISTING SITE COVERAGE	2 189 m²
PERCENTAGE OF SITE AREA	37%

PROPOSED SITE COVERAGE	
TOTAL SITE AREA	5 922m²
PROPOSED SITE COVERAGE	2 781 m²
PERCENTAGE OF SITE AREA	47%

EXISTING SITE PERMEABILITY	
	1 106 m²
PERCENTAGE OF SITE AREA	19%

PROPOSED SITE PERMEABILITY	
	621 m²
	20%

EXISTING PARKING		
LEVEL	CARS	BIKES
BASEMENT 2	76	
BASEMENT 1	109	24
GROUND FLOOR	10	6
	195	30


PROPOSED PARKING		
LEVEL	CARS	BIKES
BASEMENT 2	73	
BASEMENT 1	109	36
GROUND FLOOR	2	6
	184	42

PROPOSED NLA - WEST	
LEVEL	AREA
GROUND FLOOR	1 091
LEVEL 1	1 065
	2 156 m²

PROPOSED NLA - EAST	
LEVEL	AREA
GROUND FLOOR	1 382
LEVEL 1	1 186
	2 568 m²

PROPOSED NLA - RIVER	
LEVEL	AREA
BASEMENT 2	650
BASEMENT 1	938
GROUND FLOOR	51
	1 639 m²

Site Plan: 1000000001 - Finalised Plans for ADO/ASD 2/1/2021 64-78 Trenerry Crescent 1/2021 Page 7 - General

REVISION		REVISION		QUALITY ASSURANCE		NOTES		PROJECT		FENDER KATSALIDIS	
THIS PROJECT IS SUBJECT TO THE FOLLOWING ASSURANCE SYSTEM		THE DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF FENDER KATSALIDIS (PKF) LTD		CHECK AND VERIFY ALL DIMENSIONS IN ORDER TO CONSIDER WORKING DRAWING TO BE USED		TRENERRY WORKPORT 70 TRENERRY CRESCENT ABBOTSFORD VIC 3067		FENDER KATSALIDIS WWW.FKASIA.COM.AU 2 RIVERSIDE QUAY, SOUTHBRIDGE VIC 3006 AUSTRALIA TELEPHONE: +61 3 9366 3000 FENDER KATSALIDIS (AUSTRALIA) PTY LTD A/CN 001 943 032			
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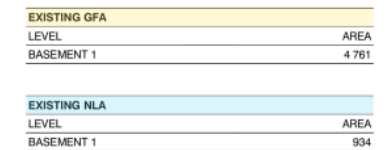
☒ SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS COMPLETE. DATE OF REVIEW: 06.05.2020

☐ DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.

☐ TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.

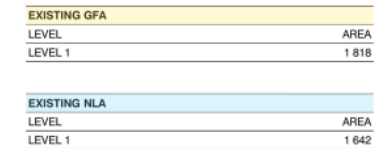
SWATH	DATE	CHECKED	PLUT DATE
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REF. 03
DRAWING NO. TP048





		REVISION		QUALITY ASSURANCE		NOTES		 PROJECT TRENNERY WORKPORT 70 TRENNERY CRESCENT ABBOTSFORD VIC 3667		FENDER KATSALIDIS WWW.FENDERKATSALIDIS.COM 2 HAVESBORO QUAY, SOUTHBANK VICTORIA 3006 AUSTRALIA TELEPHONE: +61 3 8888 8888 FENDER KATSALIDIS (AUSTRALIA) PTY LTD ACN 006 042 042	
		FA	31.11.2019	THE DRAWING IS COPYRIGHTED AND SHALL REMAIN THE PROPERTY OF FENDER KATSALIDIS (AUSTRALIA) PTY LTD. CHECK AND VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. DRAWING IS TO BE USED IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS. (DO NOT SCALE DRAWING). USE DIMENSIONS (DIMENSIONS ONLY). SEE ALL APPLICATIONS OF DIMENSIONS FOR DETAILS.		THIS PROJECT IS SUBJECT TO THE QUALITY ASSURED SYSTEM					
01	TRF0101 INFORMATION	FA	26.06.2020	<input checked="" type="checkbox"/> SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS COMPLETE. DATE OF REVIEW: 04.03.2020 <input type="checkbox"/> DESIGN DOCUMENTATION REVISION FOR THIS PROJECT IS NOT TO BE COMPLETED. <input type="checkbox"/> DESIGN DOCUMENTATION REVISION FOR THIS PROJECT IS NOT TO BE COMPLETED. <input type="checkbox"/> DESIGN DOCUMENTATION REVISION FOR THIS PROJECT IS NOT TO BE COMPLETED.							
02	TRF0101	FA	04.12.2020								
03	TRF0102	AT	05.05.2021								



EXISTING GFA	
LEVEL	AREA
LEVEL 1	1 816

EXISTING NLA	
LEVEL	AREA
LEVEL 1	1 642

附注内容			
-	-	附注	01.11.2019
01	TP FOR INFORMATION	附注	29.04.2020
02	TP REF1	附注	04.12.2020
03	TP REF02	附注	05.05.2021

EQUALITY ASSURANCE (IN IS A CERTIFIED COMPANY TO ISO 9001-2015)

THIS PROJECT IS SUBJECT TO THE EQUALITY ASSURANCE SYSTEM

☒ SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS COMPLETE. (ONE OF FOUR)

☐ DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.

☐ TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.

☐ CONSTRUCTION DOCUMENTATION REVIEW FOR THIS CONTRACT IS YET TO BE COMPLETED.

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Agenda Page 7

PROJECT
TRENER
70 TRENER
ABBOTT

DATE	NO.	NAME
05.05.2021	19023	1:200@A

PROJECT
TRENNY WORKPORT
70 TRENNY CRESCENT
ABBOTSFORD VIC 3067

EXISTING FIRST FLOOR PLAN

FENDER KATSALIDIS
WWW.FK.AUSTRALIA.COM
2 RIVERSIDE QUAY, SOUTHBANK
VICTORIA 3006 AUSTRALIA
TELEPHONE: +61 3 8886 3888
FENDER KATSALIDIS (AUST) PTY LTD ACN 082 943 032

TOWN PLANNING

FK

TP051



項目名稱	審核日期
-	FW 01.11.2019
01 TP FOR INFORMATION	FW 29.04.2020
02 TP 0011	FW 04.12.2020
03 TP 0102	KT 05.05.2021

QUALITY ASSURANCE (PM IS A CERTIFIED COMPANY TO ISO 9001:2015)

THIS PROJECT IS SUBJECT TO THE PM QUALITY ASSURANCE SYSTEM

<input checked="" type="checkbox"/>	SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS COMPLETE.	DATE OF REVIEW: 06.05.2020
<input type="checkbox"/>	DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.	
<input type="checkbox"/>	TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.	

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IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS. DO NOT SCALE DRAWINGS. USE FIGURED
DIMENSIONS ONLY. SEEK CLARIFICATION OF AMBIGUITIES / CONFLICTS.

ISSN	DATE	CHECKED	PLST DATE
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Agenda Page 8

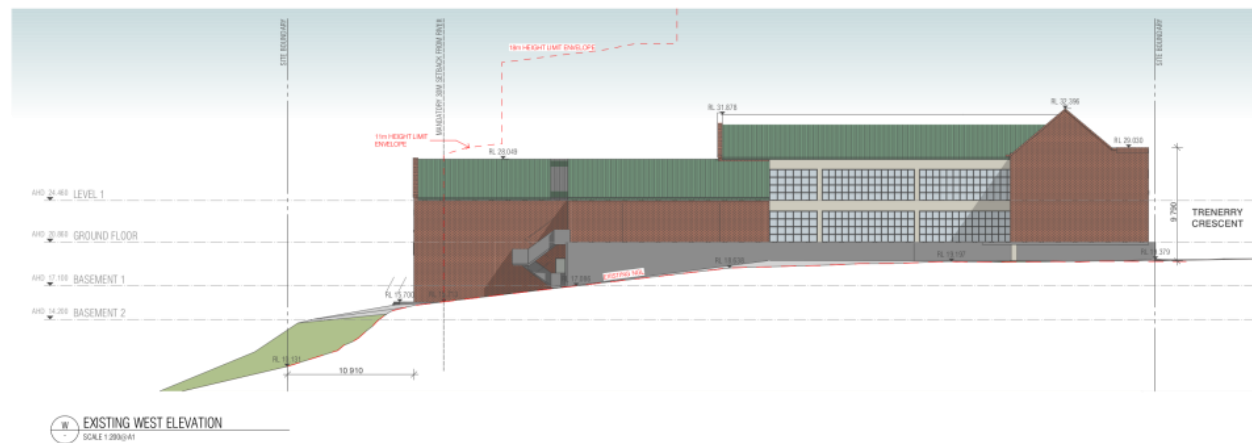
PROJECT
TRENNERY WORKPORT
70 TRENNERY CRESCENT
ABBOTSFORD VIC 3067

DRAWING TITLE

FENDER KATSALIDIS
WWW.FK.AUSTRALIA.COM
2 RIVERSIDE QUAY, SOUTHBANK
VICTORIA 3006 AUSTRALIA
TELEPHONE: +61 3 9896 3899
FENDER KATSALIDIS (AUST) PTY LTD ACN 082 943 032

ISSUE PURPOSE
TOWN PLANNING

REV. 03
DRAWING NO. TP052





TRENERRY CRESCENT

附注信息			
01	TP FOR INFORMATION	FIN	01.11.2019
02	TP REF1	FIN	29.04.2020
03	TP REF2	FIN	04.12.2020
04	TP REF3	KT	05.05.2021

QUALITY ASSURANCE (PM IS A CERTIFIED COMPANY TO ISO 9001:2015)

THIS PROJECT IS SUBJECT TO THE PM QUALITY ASSURANCE SYSTEM

<input checked="" type="checkbox"/>	SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS COMPLETE.	DATE: 09/04/2015
<input type="checkbox"/>	DESIGN/CONSTRUCTION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.	
<input type="checkbox"/>	TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.	
<input type="checkbox"/>	CONSTRUCTION DOCUMENTATION REVIEW FOR THIS DRAWING IS YET TO BE COMPLETED.	

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[illegible]

Agenda Page 11

①

PROJECT
TRENNERY WORKPORT
70 TRENNERY CRESCENT
ABBOTSFORD VIC 3067

DRAWING TITLE
BASEMENT 2 DEMOLITION PLAN

FENDER KATSALIDIS
WWW.FKAUSTRALIA.COM
2 RIVERSIDE QUAY, SOUTHBANK
VICTORIA 3006 AUSTRALIA
TELEPHONE: +61 3 8896 3888
FENDER KATSALIDIS (AUST) PTY LTD ACN 082 943 032



TOWN PLANNING

REV. 03
DRAWING NO. TP058



BISS Server: BMS23N0121 - BMScloud Basic for AND-HEAD 2.5/19023-64-78 Temporary-Customer/19023-Phase 2 - General

購買日期		到期日期
-	-	FIN 01.11.2019
01	TP FOR INFORMATION	FIN 29.04.2020
02	TP RFI1	FIN 04.12.2020
03	TP RFI02	KT 05.05.2021

BEAUTY ASSURANCE (FBI IS A CERTIFIED COMPANY TO ISO 9001-2015)

THIS PROJECT IS SUBJECT TO THE FH QUALITY ASSURANCE SYSTEM

 SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS COMPLETE. DATE OF REVIEW: 06/05/2020

☐ DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.

☐ TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.

CONSTRUCTION DOCUMENTATION REVIEW FOR THIS DRAWING IS YET TO BE COMPLETED.

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(DIMENSIONS ONLY. SEE CLASSIFICATION OF INCONSISTENCIES/CONFLICTS.)

OWNER	DATE	CHECKED	PLST DATE
DAU	05.05.2024	OD	05.05.2024

RW 05.05.2021 17:58 05.05.2021
enda Page 12

PROJECT
TRENERRY WORKPORT
70 TRENERRY CRESCENT
ABBOTSFORD VIC 3067

FENDER KATSALIDIS
WWW.FK1AUSTRALIA.COM
2 RIVERSIDE QUAY, SOUTHBANK
VICTORIA 3006 AUSTRALIA
TELEPHONE: +61 3 8866 3688
FENDER KATSALIDIS (AUST) PTY LTD ACN 082 943 032



Agenda Page 12



IPV6 连接		系统时间	
-	-	FW	01.11.2019
01	TFPCN INFORMATION	FW	28.06.2020
02	TFBF1	FW	04.12.2020
» 03	TFBF02	KT	05.05.2021

QUALITY ASSURANCE **IS A CERTIFIED COMPANY TO ISO 9001-2015**

THIS PROJECT IS SUBJECT TO THE FH QUALITY ASSURANCE SYSTEM

 SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS COMPLETE.

☐ DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPL.

☐ TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COM

CONSTRUCTION DOCUMENTATION REVIEW FOR THIS DRAWING IS PENDING

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(DIMENSIONS ONLY. SEE CLARIFICATION OF INCONSISTENCIES/CONFLICTS.)

ISSUED	DATE	CHECKED	POST DATE
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RW 05.05.2021 CB 05.05.2021

enda Page 13



PROJECT
TRENNERY WORKPORT
70 TRENNERY CRESCENT
ABBOTSFORD VIC 3067

FENDER KATSALIDIS
WWW.FKALISTRAIA.COM
2 RIVERSIDE CLAY, SOUTHBANK
VICTORIA 3006 AUSTRALIA
TELEPHONE: +61 3 8966 3008
FENDER KATSALIDIS (AUSTRALIA) PTY LTD ACN 082 943 032



Agenda Page 13

GROUND FLOOR DEMOLITION PLAN

ISSUE PURPOSE

TOWN PLANNING

REV. 03
DRAWING NO. TP060



TRENERRY CRESCENT

研究数据			
01	TP FOR INFORMATION	PM	01.11.2019
02	TP REF1	PM	29.04.2020
03	TP REF2	PM	04.12.2020
04	TP REF3	KT	05.05.2021

THIS PROJECT IS SUBJECT TO THE F4 QUALITY ASSURANCE SYSTEM

<input checked="" type="checkbox"/>	SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS COMPLETE.
<input type="checkbox"/>	DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLE
<input type="checkbox"/>	TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COM

ISSUE	DATE	CHECKED	PLST DATE
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PROJECT
TRENERRY WORKPORT
70 TRENERRY CRESCENT
ABBOTSFORD VIC 3067

FK

REV.	DRAWING NO.
03	TP061



附註詳情			
-	-	FW	01.11.2019
01	TP FOR INFORMATION	FW	28.04.2020
02	TP R011	FW	04.12.2020
03	TP R0102	WT	05.05.2021

THIS PROJECT IS SUBJECT TO THE PE QUALITY ASSURANCE SYSTEM

<input checked="" type="checkbox"/>	SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS COMPLETE.
<input type="checkbox"/>	DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.
<input type="checkbox"/>	TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.

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SWATH	DATE	CHECKED	PLUT DATE
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RW 05.05.2021 CB 05.05.2021



PROJECT
TRENERRY WORKPORT
70 TRENERRY CRESCENT
ABBOTSFORD VIC 3067

FENDER KATSLIDIS
WWW.FK.AUSTRALIA.COM
2 RIVERSIDE QUAY, SOUTHBANK
VICTORIA 3006 AUSTRALIA
TELEPHONE: +61 3 9086 3099
FENDER KATSLIDIS (AUST) PTY LTD ACN 082 943 032



Agenda Page 15

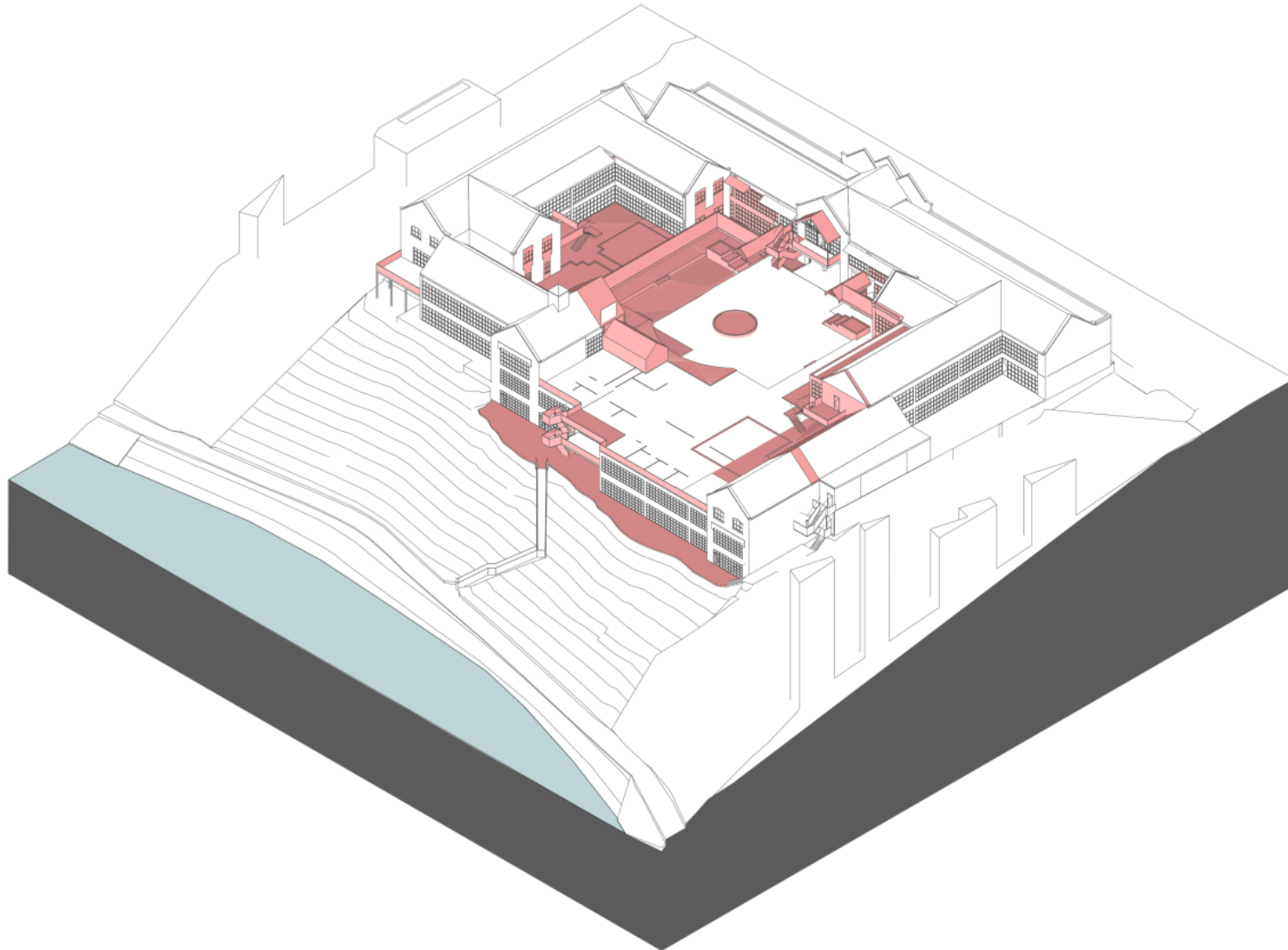
RW 05.05.2021 GB
anda Page 16

05.05.2021	19023	1:200@A1	ROOF DEMOLITION PLAN
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TOWN PLANNING

TP062

Attachment 2 - PLN20/0646 - 64 - 78 Trenerry Crescent Abbotsford - Decision Plans



 TO BE DEMOLISHED

BBN Server: 15MEZ9W5T21 - BBNCLOUD Static for AND-6CAD 21/1/2023 64-TS Ternary Output/19023 Phase 2 - Series

購買日期		購買金額
-	-	¥0 01/11/2019
01	TP FOR INFORMATION	¥0 29/04/2020
02	TP REF11	¥0 04/12/2020
03	TP REF12	¥0 05/05/2021

EQUALITY ASSURANCE **PK IS A CERTIFIED COMPANY TO ISO 9001-2015**

THIS PROJECT IS SUBJECT TO THE PE QUALITY ASSURANCE SYSTEM

<input checked="" type="checkbox"/>	SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS NOW BEING COMPLETED.	DATE OF REVIEW: 06.06.2020
<input type="checkbox"/>	DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.	
<input type="checkbox"/>	TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.	
<input type="checkbox"/>	CONSTRUCTION DOCUMENTATION REVIEW FOR THIS DRAWING IS YET TO BE COMPLETED.	

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BROWN	DATE	CHECKED	PLST DATE
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SALES (USD) PTY LTD
 STAINING TO BE PAID
 WINGS, 120 FOLDED

PLSTDATE	JOB NO.	SCALE
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PROJECT
TRENNERY WORKPORT
70 TRENNERY CRESCENT
ABBOTSFORD VIC 3067

PROJECT TITLE
FACADE DEMOLITION AND NEW WORKS

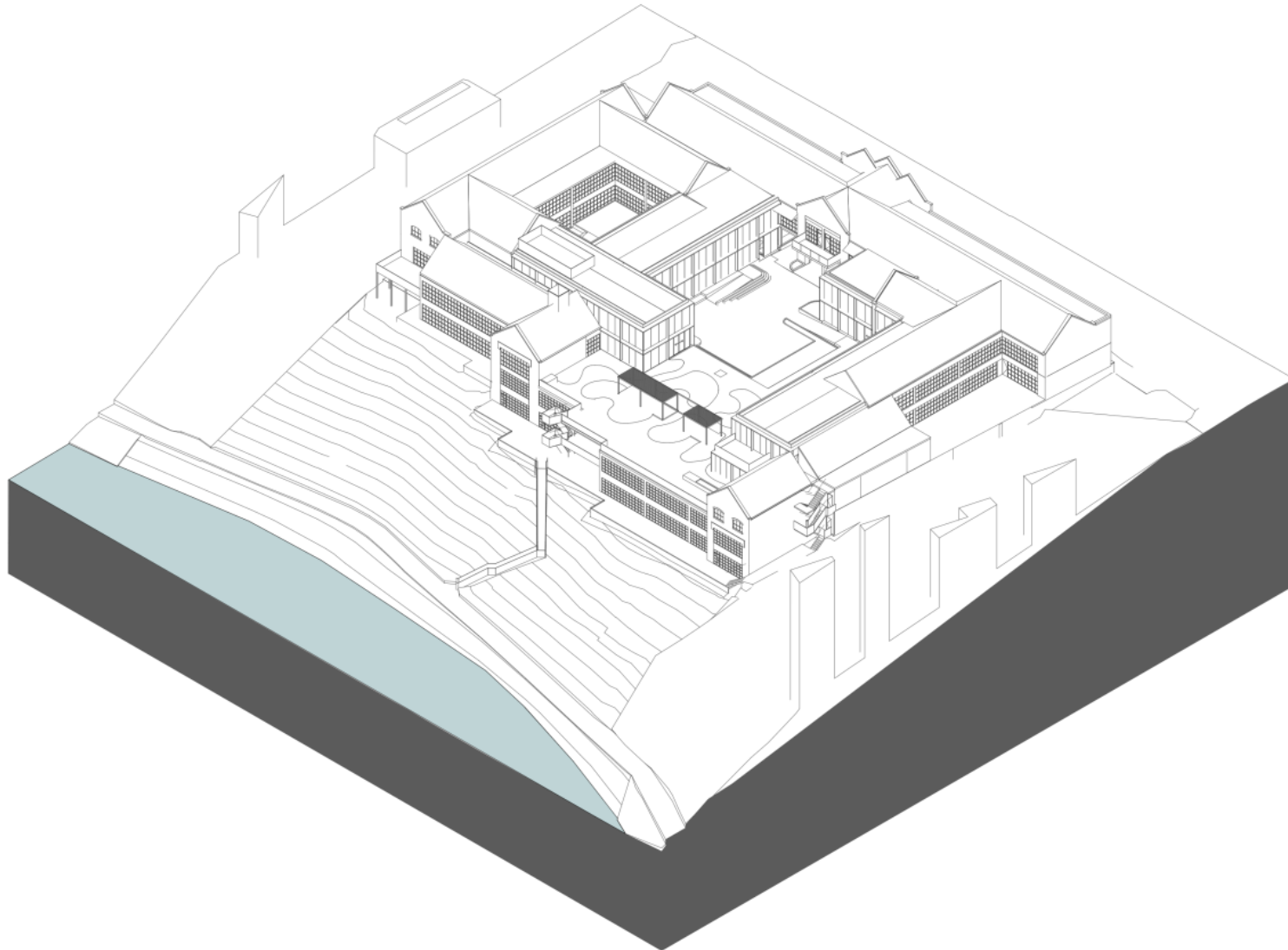
FENDER KATSALIDIS
WWW.FK.AUSTRALIA.COM
2 RIVERSIDE QUAY, SOUTHBANK
VICTORIA 3006 AUSTRALIA
TELEPHONE: +61 3 8886 3688
FENDER KATSALIDIS (AUST) PTY LTD ACN 082 943 032

BASE PURPOSE
TOWN PLANNING



REV. 03 DRAWING NO. TP063

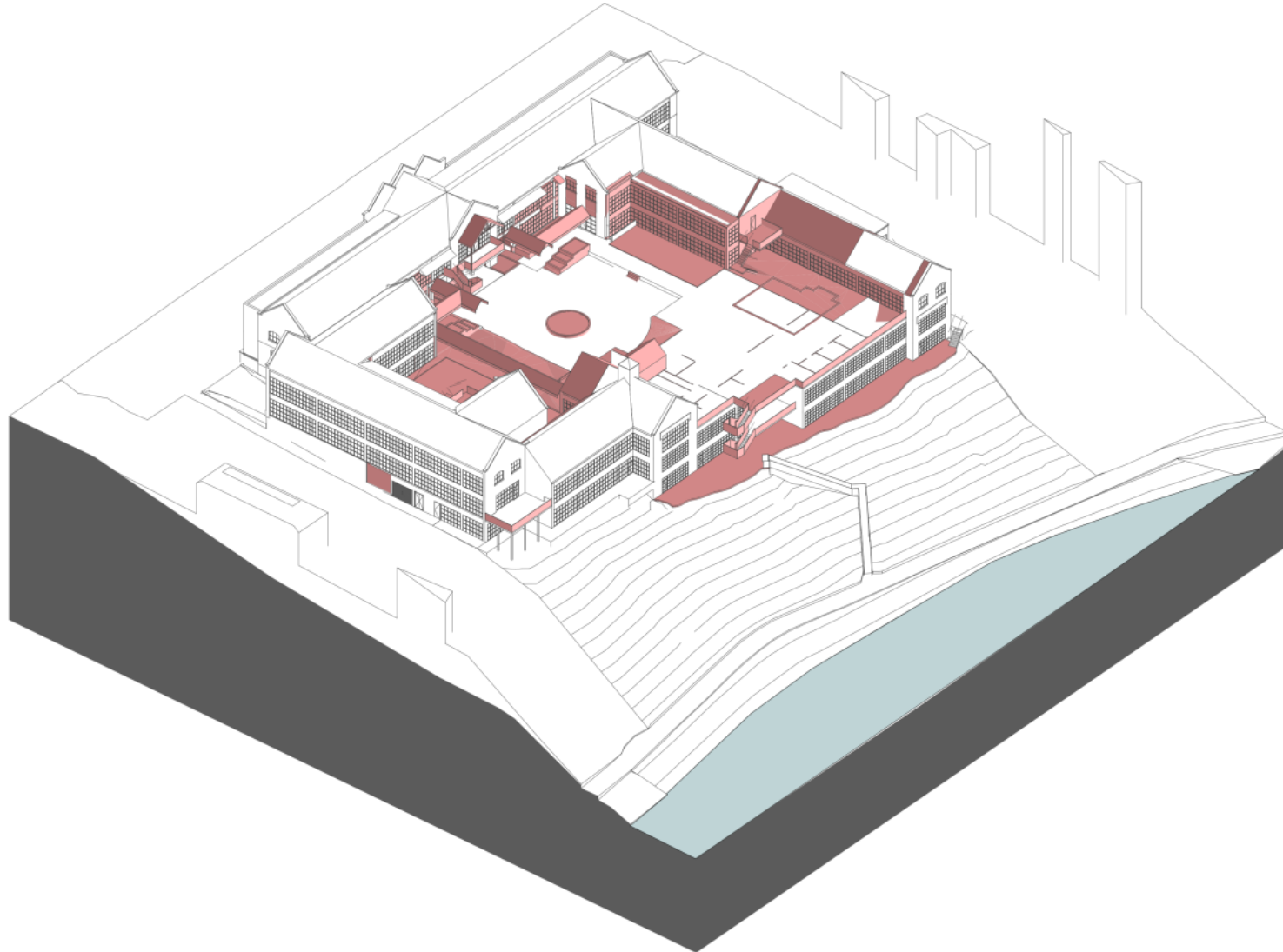
Attachment 2 - PLN20/0646 - 64 - 78 Trenerry Crescent Abbotsford - Decision Plans



3000 Series 3000/3000/3000 - 3000/3000 Series for ARCH/ASD 2/1/2021 64 - 78 Trenerry Crescent 1/2021 Page 7 - General

REVISION	DATE	REVISION	QUALITY ASSURANCE	NOTES	PROJECT	DRAWING TITLE	DATE	SCALE	PROJECT	DATE	SCALE	PROJECT	DATE	SCALE	PROJECT	DATE	SCALE
01	01/11/2019	FW	01/11/2019	FW	01/11/2019	FW	01/11/2019	FW	01/11/2019	FW	01/11/2019	FW	01/11/2019	FW	01/11/2019	FW	01/11/2019
02	02/04/2020	FW	02/04/2020	FW	02/04/2020	FW	02/04/2020	FW	02/04/2020	FW	02/04/2020	FW	02/04/2020	FW	02/04/2020	FW	02/04/2020
03	04/12/2020	FW	04/12/2020	FW	04/12/2020	FW	04/12/2020	FW	04/12/2020	FW	04/12/2020	FW	04/12/2020	FW	04/12/2020	FW	04/12/2020
04	05/05/2021	FW	05/05/2021	FW	05/05/2021	FW	05/05/2021	FW	05/05/2021	FW	05/05/2021	FW	05/05/2021	FW	05/05/2021	FW	05/05/2021

Attachment 2 - PLN20/0646 - 64 - 78 Trenerry Crescent Abbotsford - Decision Plans



 TO BE DEMOLISHED

BRI Server: BRIDGE021 - Distributed Basis for ARCHAS 2/1/2023 64-TS Tenney Outcast.1/2023 Phase 2 - General			
REVISION			
			FW 01.11.2019
01	TP FOR INFORMATION	FW	29.04.2020
02	TP RFI1	FW	04.12.2020
03	TP RFI02	KT	05.05.2021

QUALITY ASSURANCE (PM IS A CERTIFIED COMPANY TO ISO 9001:2015)

THIS PROJECT IS SUBJECT TO THE PM QUALITY ASSURANCE SYSTEM

<input checked="" type="checkbox"/>	SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS COMPLETE.	DATE OF REVIEW
<input type="checkbox"/>	DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.	
<input type="checkbox"/>	TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.	
<input type="checkbox"/>	CONSTRUCTION DOCUMENTATION REVIEW FOR THIS DRAWING IS YET TO BE COMPLETED.	

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DIMENSIONS ONLY. SEEK CLARIFICATION OF INCONSISTENCIES / CONFLICTS.

PROJECT
TRENNERY WORKPORT
70 TRENNERY CRESCENT
ABBOTSFORD VIC 3067

FENDER KATSALIDIS
WWW.FK.AUSTRALIA.COM
2 RIVERSIDE QUAY, SOUTHBANK
VICTORIA 3006 AUSTRALIA
TELEPHONE: +61 3 8886 3888
FENDER KATSALIDIS (AUST) PTY LTD ACN 082 943 032



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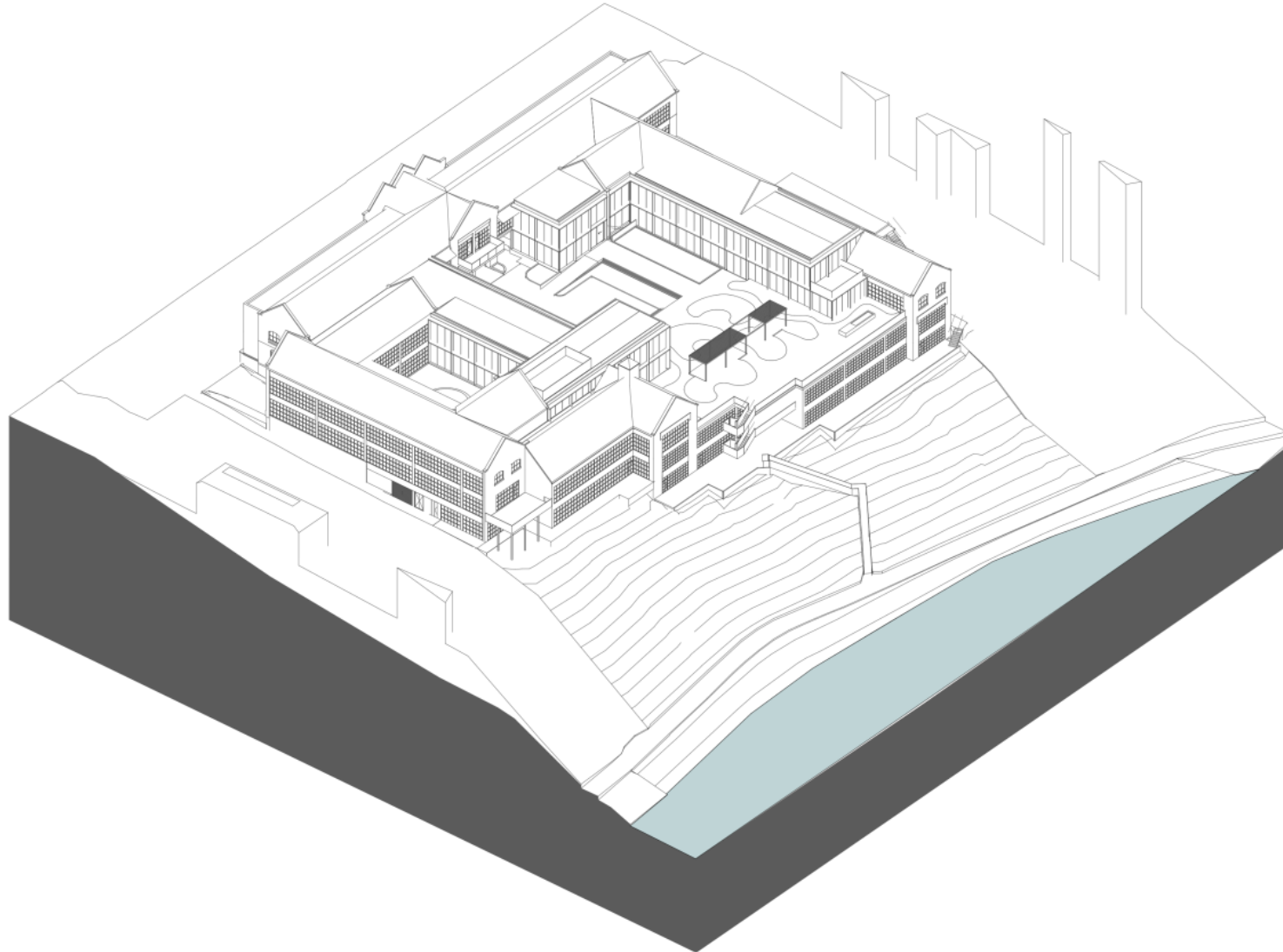
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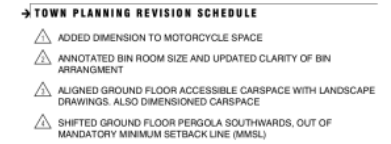
DRAWING TITLE
FACADE DEMOLITION AND NEW WORKS

TOWN PLANNING

REV. 03
DRAWING NO. TP065

Attachment 2 - PLN20/0646 - 64 - 78 Trenerry Crescent Abbotsford - Decision Plans





TOTAL GFA	
LEVEL	AREA
BASEMENT 1	4 761

TOTAL NLA	
LEVEL	AREA
BASEMENT 1	938

BMW Server: 50M2W5121 - E-Cloud-Static for ANSYS-CAD 21/1/2023 64-18 Temporary Content/1/2023 Phase 2 - General

REVISED		DATE
01	TP FOR INFORMATION	FRI 01.11.2019
02	TP RFI1	FRI 29.04.2020
03	TP RFI2	FRI 04.12.2020
04	TP RFI3	FRI 05.05.2021

8740

QUALITY ASSURANCE (PN IS A CERTIFIED COMPANY TO ISO 9001:2015)

THIS PROJECT IS SUBJECT TO THE PN QUALITY ASSURANCE SYSTEM

☒ SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS COMPLETE. DATE OF REVIEW: 06.05.2020

☐ DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.

☐ TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.

FOR MORE INFORMATION VISIT: WWW.PNQUALITY.COM AND WWW.PNQUALITY.COM/CONTACT

1

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CO, PNY LTD
HEAD
GURUG

PS

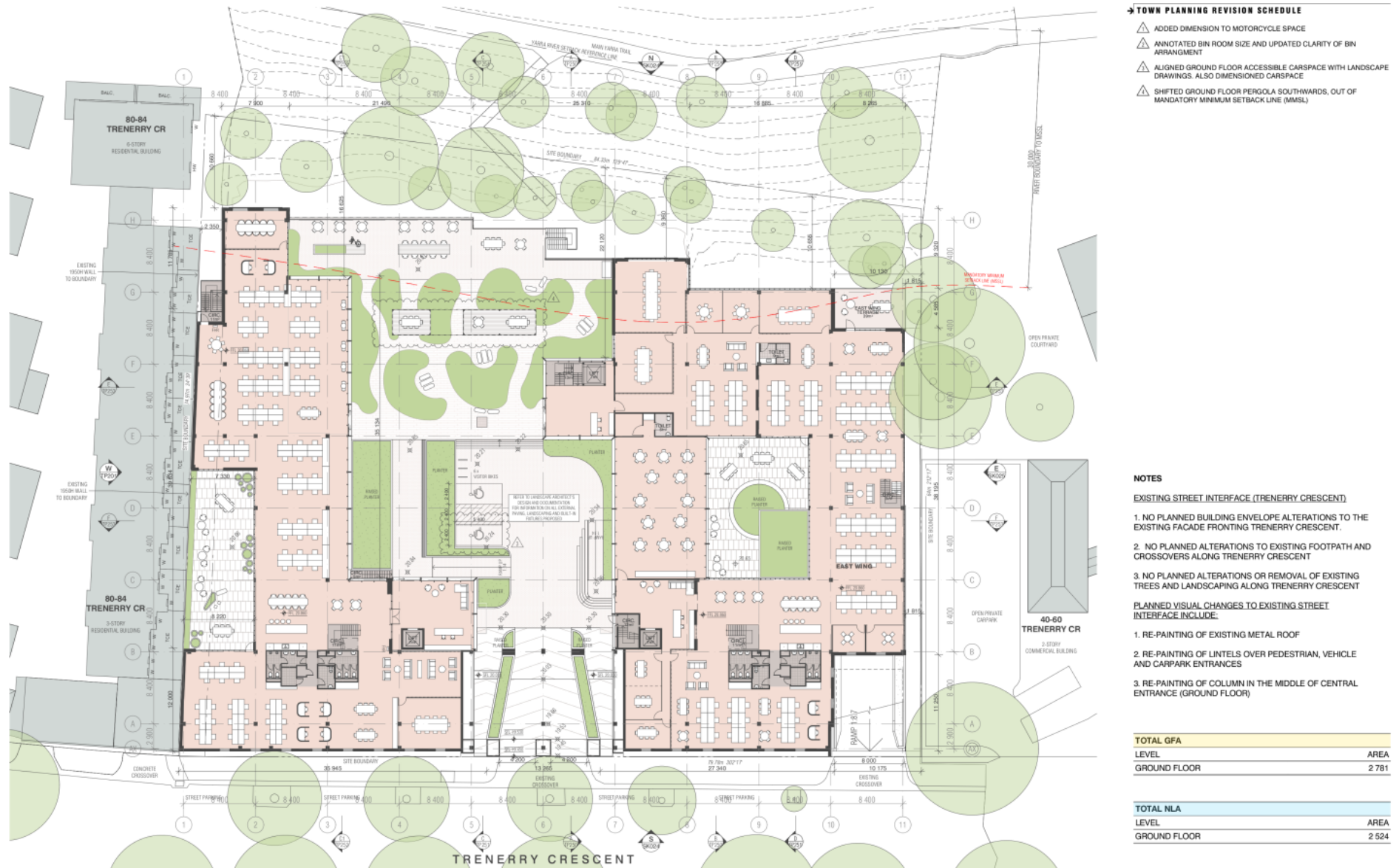
TRENERRY WORKPORT
70 TRENERRY CRESCENT
ABBOTSFORD VIC 3067

FENDER KATSALIDIS
WWW.FK.AUSTRALIA.COM
2 RIVERSIDE QUAY, SOUTHBANK
VICTORIA 3006 AUSTRALIA
TELEPHONE: +61 3 8886 3888
FENDER KATSALIDIS (AUST) PTY LTD ACN 082 943 032



TOWN PLANNING

REF. 03
DRAWING NO. **TR000**

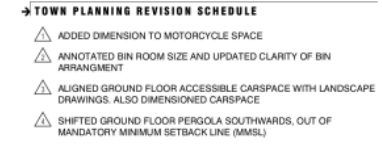


TOTAL GFA	
LEVEL	AREA
GROUND FLOOR	2 781

TOTAL NLA	
LEVEL	AREA
GROUND FLOOR	2 524

FENDER KATSALIDIS
WWW.FKALISTRALIA.COM
2 RIVERSIDE QUAY, SOUTHBANK
VICTORIA 3006 AUSTRALIA
TELEPHONE: +61 3 8896 3668
FENDER KATSALIDIS (AUSTRALIA) PTY LTD ACN 082 943 032

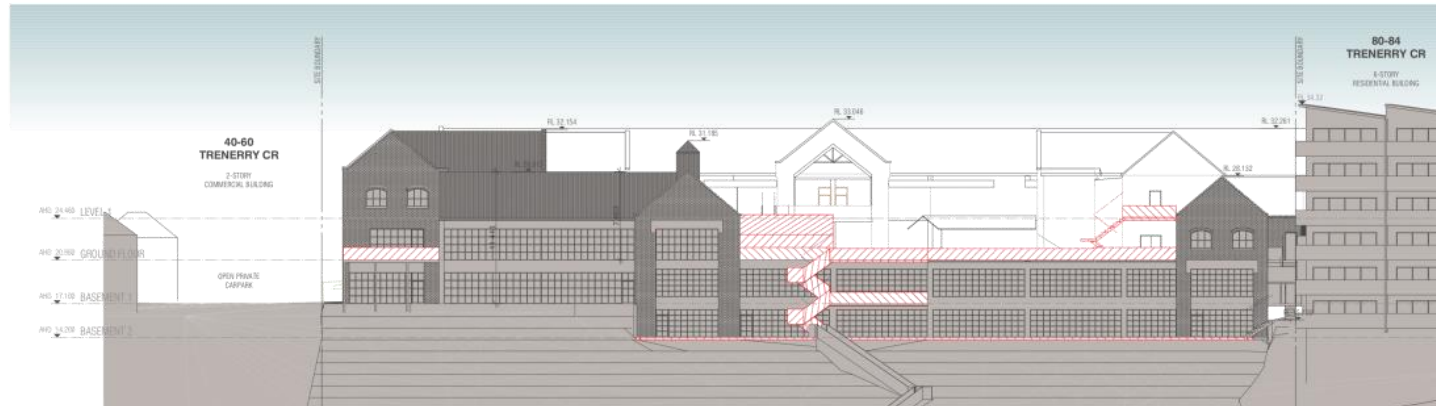




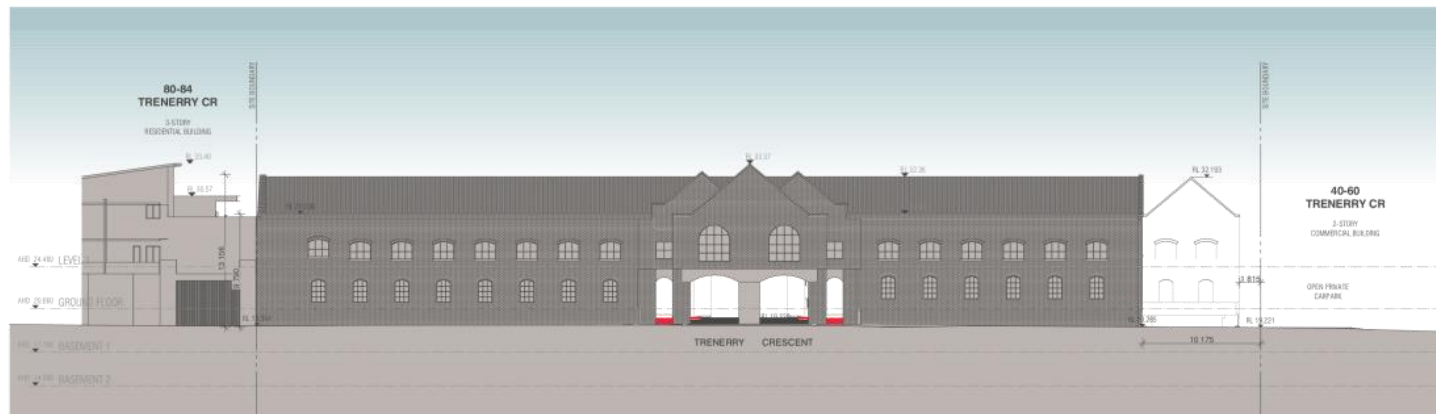
001 Server: 00000001-00000000 for ARCHCAD 2.0.0.00266-18 Treasury Outcome 01/0021 Page 2 - Green

REVISION	REVISION	QUALITY ASSURANCE	NOTES	PROJECT	FENDER KATSALIDIS
01	FOR 01.11.2019	THE QUALITY ASSURANCE (QA) IS A CERTIFIED COMPANY (ISO 9001:2015)	THE DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF FENDER KATSALIDIS. JUSTIFY FOR USE ORDER AND SHALL BE LARGELY IN THE HANDS OF ENGINEERING WORK. DRAWING IS FOR FIELD USE ONLY AND NOT FOR ALL OTHER CONTRACT DOCUMENTS. CHECK THE FIELD DRAWING AND FIELD DRAWING ONLY. ONLY CLARIFICATION OR REVISIONS/COMMENTS.	TREENERY WORKPORT 70 TREENERY CRESCENT ABBOTSFORD VIC 3007	WWW.FENDERKATSALIDIS.COM 1 WARRIEWEE CREEK, SOUTH-EASTERN VICTORIA 3006 AUSTRALIA TELEPHONE: +61 3 9069 3711 FENDER KATSALIDIS 1000 PTY LTD ACN 060 960 002
02	FOR 29.09.2020	<input type="checkbox"/> COMPLETE DESIGN REVIEW FOR THIS PROJECT IS COMPLETE. DATE OF REVIEW: 29.09.2020 <input type="checkbox"/> DESIGN/CONSTRUCTION REVIEW FOR THIS PROJECT IS NOT YET COMPLETE. <input type="checkbox"/> DESIGN/CONSTRUCTION REVIEW FOR THIS PROJECT IS NOT YET COMPLETE. <input type="checkbox"/> DESIGN/CONSTRUCTION REVIEW FOR THIS PROJECT IS NOT YET COMPLETE.			
03	FOR 01.11.2020				
04	FOR 05.05.2021				

- 79 PINT FINISH
MEDIUM GREY COLOUR
- 79 PINT FINISH
CHARNOVAL GREY COLOUR
- 79 PINT FINISH
SLATE GREY COLOUR
TO METAL ROOFING
- 80 COLOURED STEEL ROOFING
LYSAGHT ALUKOR 700 HIGH STRENGTH PROFILE
SLATE GREY COLOUR
- 80 METAL CLADDING
CHARNOVAL GREY COLOUR
- 81 METAL SCREEN
CHARNOVAL GREY COLOUR
- 81 BRICKWORK
BRICKWORK TO MATCH EXISTING BUILDING
- 82 GLAZING
CLEAR GLAZING
FRAMING COLOUR TO MATCH METAL CLADDING
- 86 BALLUSTRADE
GLASS INSULATED PANEL
CHARNOVAL GREY METAL FRAME



NORTH DEMOLITION ELEVATION
SCALE 1/200 @ A1



5 SOUTH DEMOLITION ELEVATION
SCALE 1/200 (3/4")

NOTE:
NATURAL GROUND LINE SOURCED FROM WGNAP DATA

[illegible]

TASS

-

REV. 01

- 7191 PAINT FINISH
MEDIUM GREY COLOUR
- 7192 PAINT FINISH
CHARCOAL GREY COLOUR
- 7193 PAINT FINISH
SLATE GREY COLOUR TO
METAL ROOFING
- 7194 COLOURING STEEL ROOFING
LYSAGHT® KLIP-LOK T80 HIGH STRENGTH PROFILE
SLATE GREY COLOUR
- 7195 METAL CLADDING
CHARCOAL GREY COLOUR
- 7196 METAL SCREEN
CHARCOAL GREY COLOUR
- 7197 BROOKBROOK
BROOKBROOK TO MATCH EXISTING BUILDING
- 7198 GLAZING
CLEAR GLAZING
FRAMING COLOUR TO MATCH METAL CLADDING
- 7199 BALLISTAVANDE
GLASS INSULATED PANEL
CHARCOAL GREY METAL FRAME



NORTH ELEVATION
SCALE 1:200 @ A1

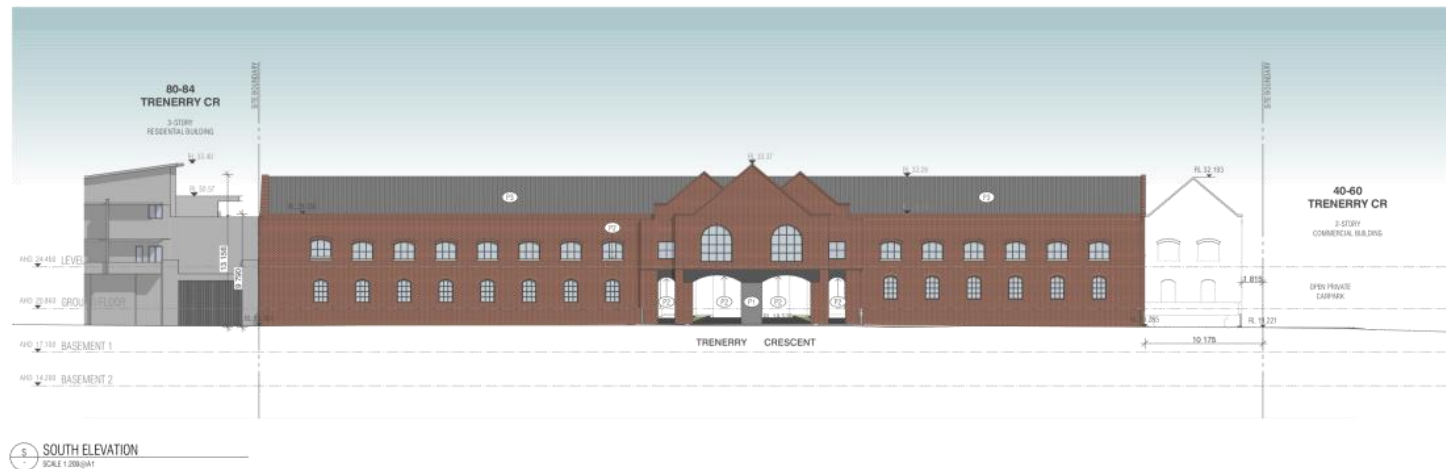
EXISTING STREET INTERFACE (TRENNY CRESCENT)

1. NO PLANNED BUILDING ENVELOPE ALTERATIONS TO THE EXISTING FACADE FRONTING TRENERRY CRESCENT.
2. NO PLANNED ALTERATIONS TO EXISTING FOOTPATH AND CROSSOVERS ALONG TRENERRY CRESCENT

- ### 3. NO PLANNED ALTERATIONS OR REMOVAL OF EXISTING TREES AND LANDSCAPING ALONG TRENERRY CRESCENT

PLANNED VISUAL CHANGES TO EXISTING STREET
INTERFACE INCLUDE:

1. RE-PAINTING OF EXISTING METAL ROOF
2. RE-PAINTING OF LINTELS OVER PEDESTRIAN, VEHICLE AND CARPARK ENTRANCES
3. RE-PAINTING OF COLUMN IN THE MIDDLE OF CENTRAL ENTRANCE (GROUND FLOOR)



 SOUTH ELEVATION
SCALE 1:200 @ A1

BIOL Server: 50427N 2121 - Ethical Ratio for AND-ACAD 2111 2023 64-15 Tenney-Crook 19023 Phase 2 - Series 1

年份/地区	数量/比例
01 1998-1999	100%
02 2000-2001	100%
03 2002-2003	100%

QUALITY ASSURANCE (JK is a Certified Company to ISO 9001:2015)

THIS PROJECT IS SUBJECT TO THE PQ QUALITY ASSURANCE SYSTEM

<input checked="" type="checkbox"/>	SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS COMPLETE.	(JK is Affiliated)
<input type="checkbox"/>	DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.	
<input type="checkbox"/>	TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.	
<input type="checkbox"/>	CONSTRUCTION DOCUMENTATION REVIEW FOR THIS DRAWING IS YET TO BE COMPLETED.	

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INWAIN	DATE	CHECKED	PLST DATE
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PROJECT
TRENNERY WORKPORT
70 TRENNERY CRESCENT
ABBOTSFORD VIC 3067

FENDER KATSALIDIS
WWW.FK.AUSTRALIA.COM
2 RIVERSIDE QUAY, SOUTHBANK
VICTORIA 3006 AUSTRALIA
TELEPHONE: +61 3 9096 3099
FENDER KATSALIDIS (AUST) PTY LTD ACN 082 943 032



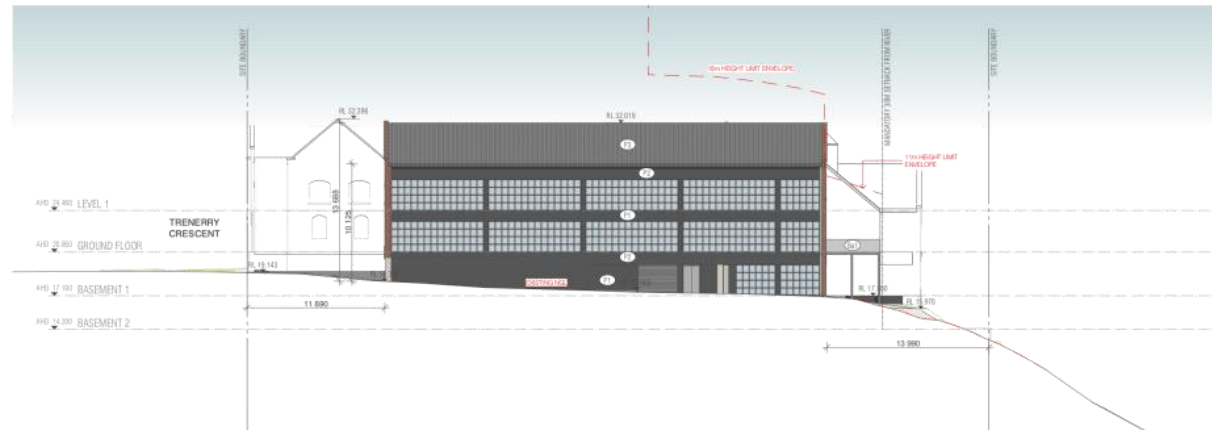
NOTE:
NATURAL GROUND LINE SOURCED FROM VICMAP DATA

TOWN PLANNING

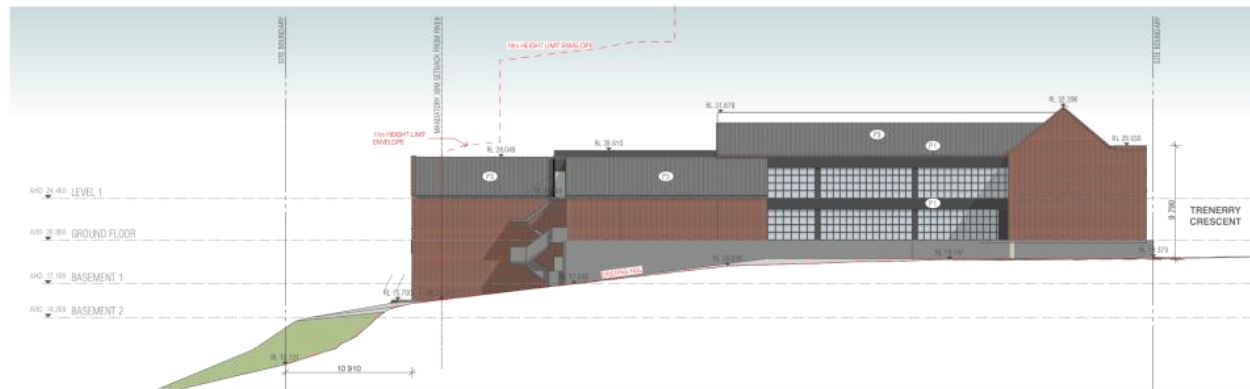
REV. 03 DRAWING NO. TP200

TASS

- 79 PINT FINISH
MEDIUM GREY COLOUR
- 79 PINT FINISH
CHARNOVAL GREY COLOUR
- 79 PINT FINISH
SLATE GREY COLOUR
TO METAL ROOFING
- 80 COLOURED STEEL ROOFING
LYSAGHT ALUKA 700 HIGH STRENGTH PROFILE
SLATE GREY COLOUR
- 80 METAL CLADDING
CHARNOVAL GREY COLOUR
- 81 METAL SCREEN
CHARNOVAL GREY COLOUR
- 81 BRICKWORK
BRICKWORK TO MATCH EXISTING BUILDING
- 82 GLAZING
CLEAR GLAZING
FRAMING COLOUR TO MATCH METAL CLADDING
- 86 BALLUSTRADE
GLASS INSULATED WITH
CHARNOVAL GREY METAL FRAME



 EAST ELEVATION
SCALE 1:200 (1"=4')



WEST ELEVATION
SCALE 1:200 (V=1)

NOTE:
NATURAL GROUND LINE SOURCED FROM WCMAP DATA

BBV Serier: 550239/2021 - Efficacy Ratio for AND-NCAD 2's/19023 64-18 Temery Oncocort, 19023 Phase 2 - General

履歴情報		更新情報	
-	-	FW	01.11.2019
01	TF-FR-NP(NM430)	FW	29.04.2020
02	TF-011	FW	04.12.2020
03	TF-0102	KT	05.05.2021

EQUALITY ASSURANCE **PK IS A CERTIFIED COMPANY TO ISO 9001-2015**

THIS PROJECT IS SUBJECT TO THE PM QUALITY ASSURANCE SYSTEM

<input checked="" type="checkbox"/>	SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS COMPLETE.	DATE OF REVIEW: 06-05-2020
<input type="checkbox"/>	DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.	
<input type="checkbox"/>	TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.	

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SWRN	DATE	CHECKED	PLST DATE
------	------	---------	-----------

PROJECT

TRENERY WORKPORT
70 TRENERY CRESCENT
ABBOTSFORD VIC 3067

GRANTING TITLE

FENDER KATSALIDIS
WWW.FK.AUSTRALIA.COM
2 RIVERSIDE QUAY, SOUTHBANK
VICTORIA 3006 AUSTRALIA
TELEPHONE: +61 3 8686 8688
FENDER KATSALIDIS (AUSTRALIA) PTY LTD ACN 082 943 032



ISSUE PURPOSE

REV.	GRANT NO.
------	-----------

Attachment 2 - PLN20/0646 - 64 - 78 Trenerry Crescent Abbotsford - Decision Plans

ELEVATION/SECTION FINISHES LEGEND

- 75 PAINT FRESH
MEDIUM GREY COLOUR
- 76 PAINT FRESH
CHARCOAL GREY COLOUR
- 77 PAINT FRESH
SLATE GREY COLOUR
TO METAL ROOFING
- 80 COLOURADO STEEL ROOFING
LOOKS LIKE A LOT TOO HIGH STRENGTH PROFILE
SLATE GREY COLOUR
- 80* METAL CLADDING
CHARCOAL GREY COLOUR
- 81* METAL SCREEN
CHARCOAL GREY COLOUR
- 81* BRICKWORK
BROWNISH TO MATCH EXISTING BUILDING
- 82 GLAZING
CLAY GLAZING
FINISHING COLOUR TO MATCH METAL CLADDING
- 83 BALUSTRADE
GLASS BALUSTRADE WITH
CHARCOAL GREY METAL FINWIRE



SECTION AA
SCALE 1:200 @ A1



SECTION BB
SCALE 1:200 (3)A1

NOTE:
NATURAL GROUND LINE SOURCED FROM YCOMAP DATA

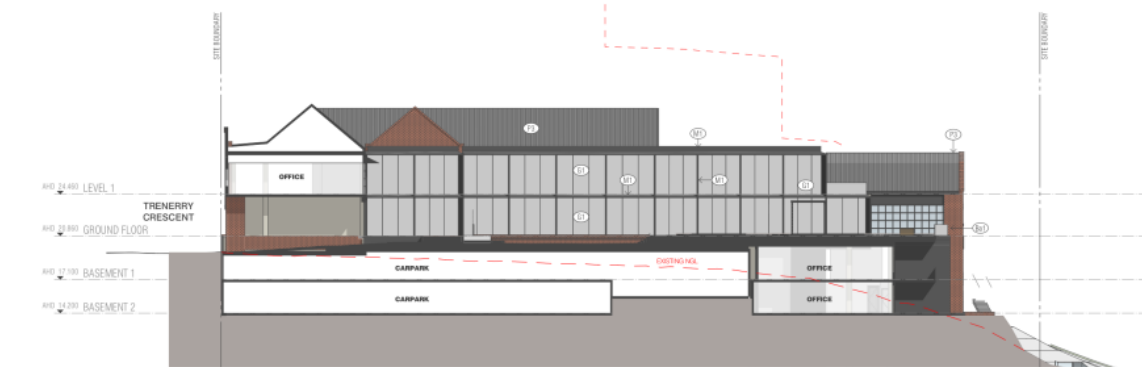
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Attachment 2 - PLN20/0646 - 64 - 78 Trenerry Crescent Abbotsford - Decision Plans

ELEVATION/SECTION FINISHES LEGEND

TABLES

- 75 PAINT FRESH
MEDIUM GREY COLOUR
- 76 PAINT FRESH
CHARCOAL GREY COLOUR
- 77 PAINT FRESH
SLATE GREY COLOUR
TO METAL ROOFING
- 80 COLOURED STEEL ROOFING
LOOKS LIKE TOO HIGH STRENGTH PROFILE
SLATE GREY COLOUR
- 80* METAL CLADDING
CHARCOAL GREY COLOUR
- 81* METAL SCREEN
CHARCOAL GREY COLOUR
- 81* BROOKSHIRE
BROOKSHIRE TO MATCH EXISTING BUILDING
- 82 GLAZING
CLAY GLAZING
FINISHING COLOUR TO MATCH METAL CLADDING
- 83 BALUSTRADE
GLASS BALUSTRADE WITH
CHARCOAL GREY METAL FINWIRE



SECTION CC
SCALE 1:200 @ A1



SECTION DD
SCALE 1:200 (3)A1

NOTE:
NATURAL GROUND LINE SOURCED FROM VCONAP DATA

[illegible]



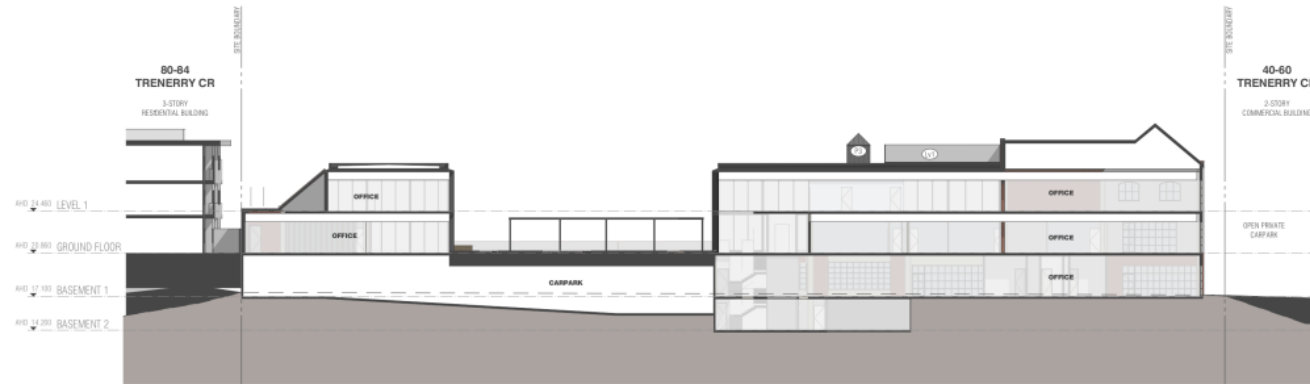
TP252

Attachment 2 - PLN20/0646 - 64 - 78 Trenerry Crescent Abbotsford - Decision Plans

ELEVATION/SECTION FINISHES LEGEND

TAGS

- (P1) PAINT FINISH
MEDIUM GREY COLOUR
- (P2) PAINT FINISH
CHARCOAL GREY COLOUR
- (P3) PAINT FINISH
SLATE GREY COLOUR
TO METAL ROOFING
- (E) COLORGRIND STEEL HOOFING
150x40x10 RULP L&R 700 HIGH STRENGTH PROFILE
SLATE GREY COLOUR
- (M1) METAL CLADDING
CHARCOAL GREY COLOUR
- (M2) METAL SCREEN
CHARCOAL GREY COLOUR
- (B1) BRICKWORK
BRICKWORK TO MATCH EXISTING BUILDING
- (GL) GLAZING
CLEAR GLAZING
FRAMING COLOUR TO MATCH METAL CLADDING
- (BS) BALUSTRADE
GLASS BALUSTRADE WITH
CHARCOAL GREY METAL FINISH



SECTION EE
SCALE 1:200@A1



SECTION FF
SCALE 1:200@A1

NOTE:
NATURAL GROUND LINE SOURCED FROM VICMAP DATA

3000 Series 3000/20/20/20 - Electrical Signs for ADO/MSA 2/1/2021 64-78 Trenerry Crescent 1/2021 Phase 2 - General

REVISION	DATE	BY	REVISION
01	26.04.2020	FW	TP FOR INFORMATION
02	04.12.2020	FW	TP 0011
03	05.05.2021	BT	TP 0012

QUALITY ASSURANCE	DATE	BY	REVISION
THIS PROJECT IS SUBJECT TO THE QUALITY ASSURANCE SYSTEM	05.05.2021	CB	TP 0012
SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS COMPLETE			
DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS NOT TO BE COMPLETED			
TECHNICAL DOCUMENTATION REVIEW FOR THIS PROJECT IS NOT TO BE COMPLETED			
CONSTRUCTION DOCUMENTATION REVIEW FOR THIS PROJECT IS NOT TO BE COMPLETED			

NOTES	DATE	BY	REVISION
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PROJECT	DATE	BY	REVISION
TRENNERY WORKPORT 70 TRENNERY CRESCENT ABBOTSFORD VIC 3067	05.05.2021	CB	TP 0012

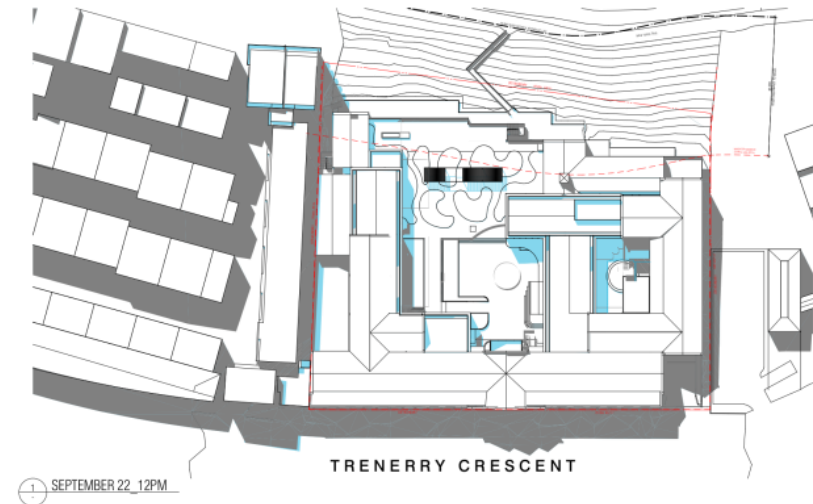
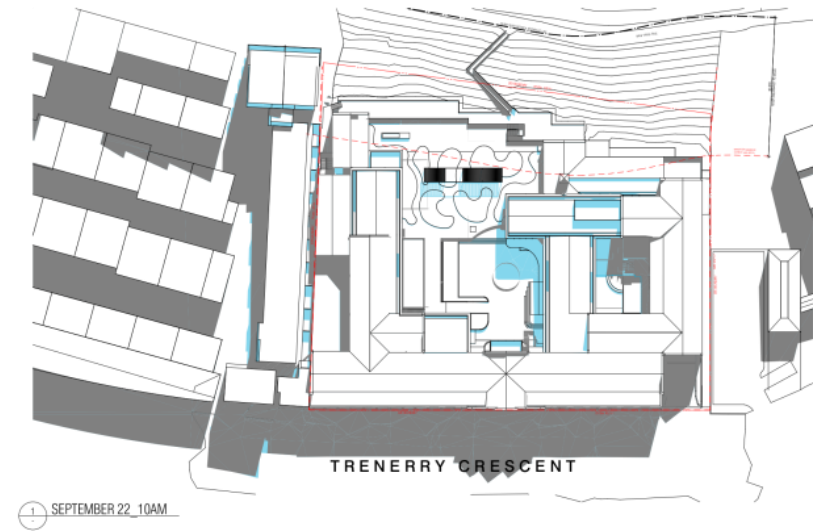
FENDER KATSALIDIS	DATE	BY	REVISION
WWW.FENDERKATSALIDIS.COM 2 RIVERBROOK QUAY, SOUTHMEAD VICTORIA 3006 AUSTRALIA TELEPHONE: +61 3 9666 3088 FENDER KATSALIDIS (AUSTRALIA) PTY LTD ACH 082 943 032	05.05.2021	CB	TP 0012



[illegible]

Attachment 2 - PLN20/0646 - 64 - 78 Trenerry Crescent Abbotsford - Decision Plans

[illegible]



EXISTING BUILDING SHADOWS

EXISTING BUILDING SHADOWS

 PROPOSED DEVELOPMENT SHADOWS SITE BOUNDARY

BMW Server: 50M2W5121 - E-Cloud-Static for ANSYS-CAE 21/1/2023 64-18 Temporary Content/1/2023 Phase 2 - General

附注内容			
-	-	FA	01.11.2019
01	TP FOR INFORMATION	FA	29.04.2020
02	TP BE11	FA	04.12.2020
03	TP BE102	KT	05.05.2021

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SWORN	SAFE	CHECKED	PLST SAFE
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PROJECT
TRENERRY WORKPORT
70 TRENERRY CRESCENT
ABBOTSFORD VIC 3067

FENDER KATSALIDIS
WWW.FKALISTRAALIA.COM
2 RIVERSIDE QUAY, SOUTHBANK
VICTORIA 3006 AUSTRALIA
TELEPHONE: +61 3 8986 3688
FENDER KATSALIDIS AUSTRALIA PTY LTD ACN 082 943 032



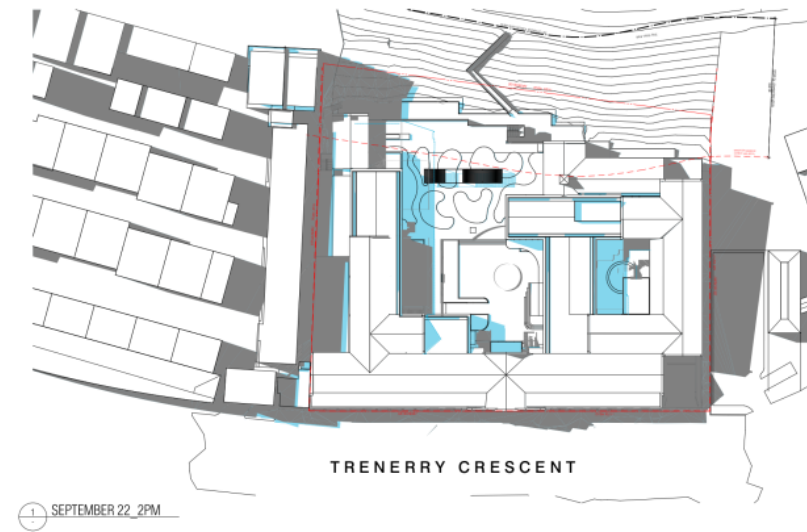
ISSUE PURPOSE

REV.	CRANFORD NO.
------	--------------

TOWN PLANNING

①

TP400



EXISTING BUILDING SHADOWS

 PROPOSED DEVELOPMENT SHADOWS SITE BOUNDARY

IBM Server: BMC29WPC1 - IBMcloud Elastic for AIO/ML 2.1.1 2023 64-Testimony October 19 2023 Phase 2 - General

提供信息		提供日期
-	-	FA 0
01	TP FOR INFORMATION	FA 29.04.2020
02	TP RF11	FA 04.12.2020
03	TP RF102	KT 05.05.2021

QUALITY ASSURANCE (F&N IS A CERTIFIED COMPANY TO ISO 9001-2015)
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UNCONTROLLED

UNCONTROLLED COPY

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BROWN	DATE	CHECKED	PLST DATE
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PROJECT
TRENNERY WORKPORT
70 TRENNERY CRESCENT
ABBOTSFORD VIC 3067

FENDER KATSALIDIS
WWW.FKALISTRAIA.COM
2 RIVERSIDE CLAY, SOUTHBANK
VICTORIA 3006 AUSTRALIA
TELEPHONE: +61 3 8966 3008
FENDER KATSALIDIS (AUSTRALIA) PTY LTD ACN 082 943 032

FK

ISSUE PURPOSE

TOWN PLANNING

REV. 03
DRAWING NO. TP401



EXTENT OF NEW BUILT FORM ENVELOPE ALLOWED NEW BUILDING ELEMENTS

NOTES

NOTES

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ISSUED	DATE	CHECKED	PLST DATE
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PROJECT
TRENNERY WORKPORT
70 TRENNERY CRESCENT
ABBOTSFORD VIC 3067

DRAWING TITLE

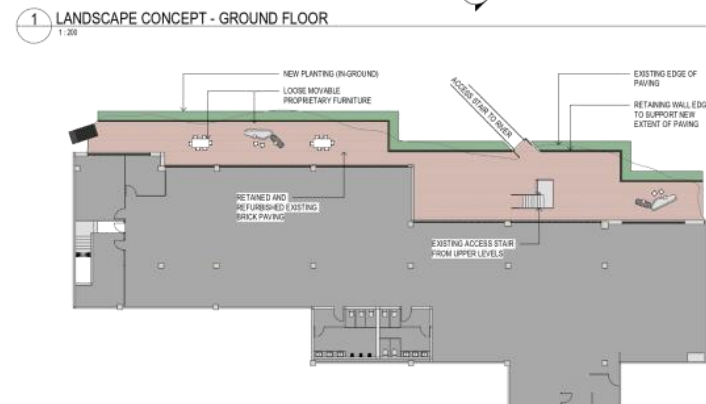
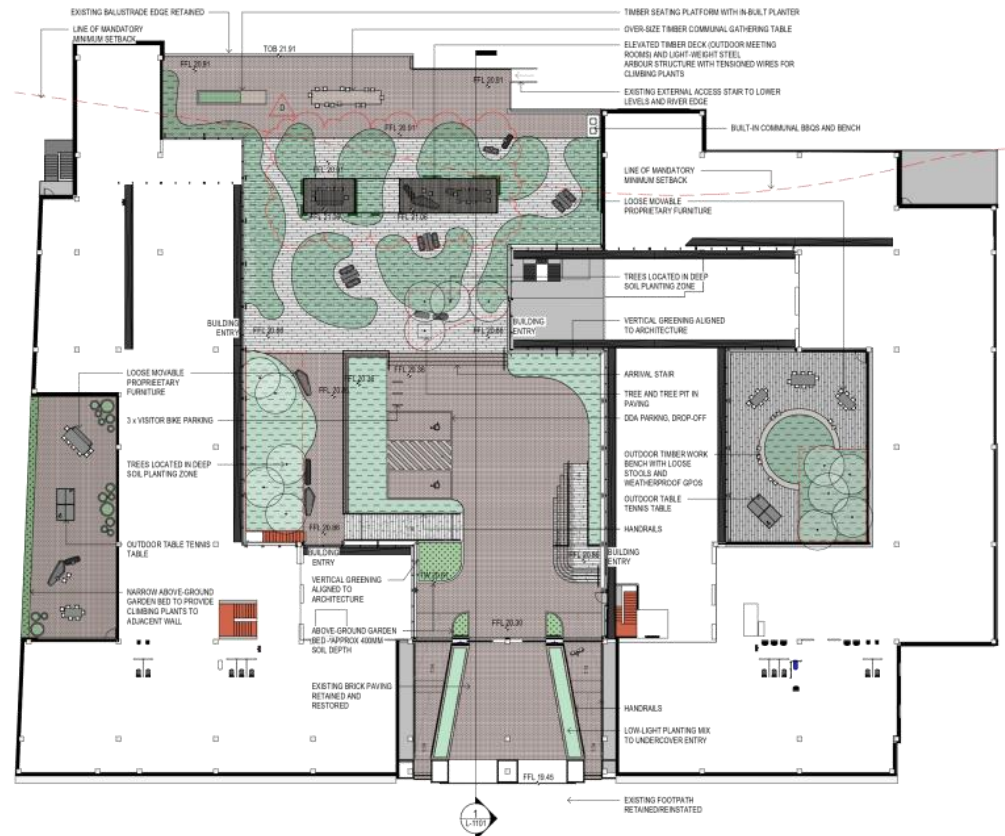
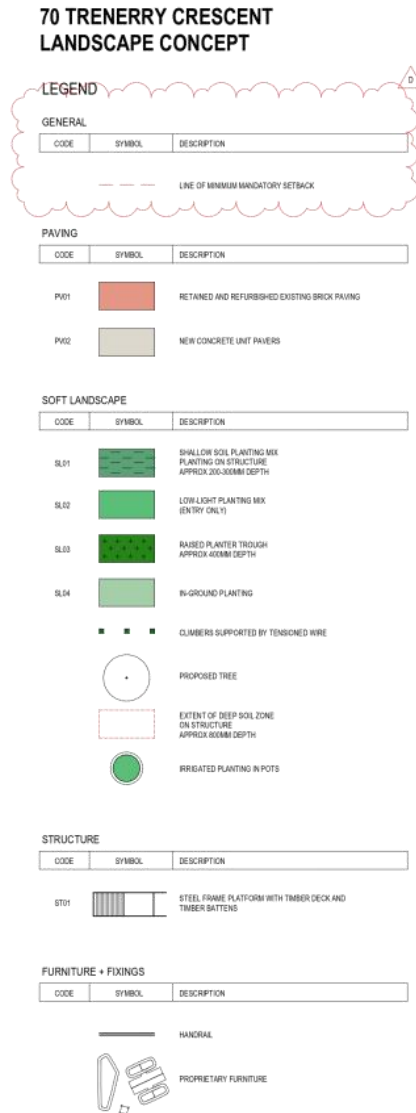
FENDER KATSALIDIS
WWW.FK18.AUSTRALIA.COM
2 RIVERSIDE QUAY, SOUTHBANK
VICTORIA 3006 AUSTRALIA
TELEPHONE: +61 3 9086 3088
FENDER KATSALIDIS (AUST) PTY LTD ACN 082 943 032



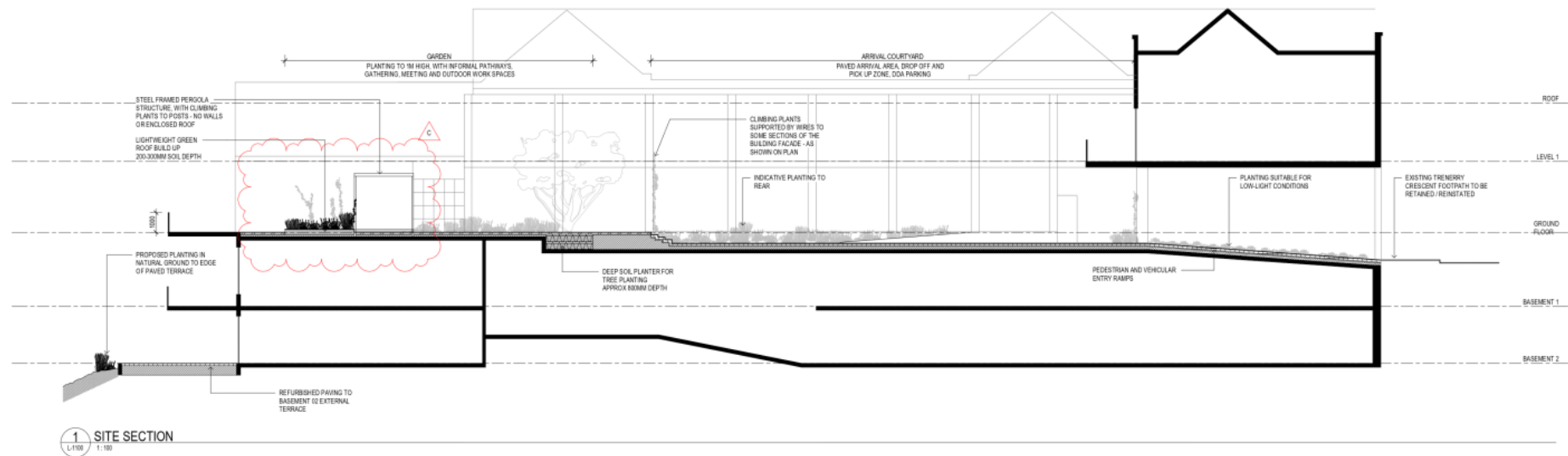
REV.	DRAWING NO.
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Attachment 3 - PLN20/0646 - 64 - 78 Trenerry Crescent Abbotsford - Landscape Plans



Attachment 3 - PLN20/0646 - 64 - 78 Trenerry Crescent Abbotsford - Landscape Plans



	CONSULTANT Hassell 100/101 ADE 007 711 435 61 Little Collins Street Melbourne VIC 3000 Australia T +61 3 9322 3000 F +61 3 9322 1000 melbourne@hassell.com.au melbourne@hassell.com.au Project: 2020/0646	REFERENCE NORTH	NOTES 1. Do not scale drawing. Where dimensions given. 2. All dimensions are in millimeters unless noted otherwise. 3. All dimensions shall be verified on site before proceeding with the work. Hassell shall be notified in writing of any discrepancies. 4. This drawing must be read in conjunction with all relevant contracts, specifications and drawings. This drawing is an uncontrolled copy. Unless noted otherwise. © Copyright of this drawing is vested in Hassell Ltd.	REV DESCRIPTION A. LANDSCAPE CONCEPT B. LANDSCAPE TP-HPIS C. LANDSCAPE TOWN PLANNING UPDATE	DATE 10.04.2020 15.11.2020 05.05.2021	CLIENT EPC PACIFIC PROJECT TO TRENNERY CR. ABBOTSFORD	STATUS TOWN PLANNING SUBMISSION DRAWING TITLE LANDSCAPE SECTION	REVIEWED DT APPROVED - DRAWING NO. L-1101 SCALE @ A1 1:100 PROJECT NO. 014730 REV NO. C
--	---	---------------------------	--	---	---	---	--	--

Attachment 3 - PLN20/0646 - 64 - 78 Trenerry Crescent Abbotsford - Landscape Plans



1 IMPERMEABLE SURFACE AREA
1:200

CONSULTANT

Hassell

Hassell Pty Ltd
11 Little Collins Street
Melbourne VIC 3000 Australia
T +61 3 9332 3300
F +61 3 9332 1000
melbourne@hassell.com.au
Perth@hassell.com.au
Perth Law 101766

REFERENCE

NORTH



NOTES

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 2. All dimensions are in millimeters unless noted otherwise.
 3. All dimensions shall be verified on site before proceeding with the work. Hassell shall be notified in writing of any discrepancies.
 4. This drawing must be read in conjunction with all relevant contracts, specifications and standards.
- This drawing is an uncontrolled copy. Unless noted otherwise.
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REV DESCRIPTION

- A. LANDSCAPE PRELIMINARY
B. LANDSCAPE TOWN PLANNING UPDATE

DATE

10.11.2020
09.09.2021

CLIENT

EPC PACIFIC

PROJECT
70 TRENNERY CR.
ABBOTSFORD

STATUS

LANDSCAPE CONCEPT
DRAWING TITLE
VEGETATED AREA PLAN

REVIEWED

Checker

APPROVED

Approver

DRAWING NO.
L-1102

SCALE @ A1

1:200

PROJECT NO.

014730

REV NO.
B

Attachment 4 - PLN20/0646 - 64 - 78 Trenerry Crescent Abbotsford - Referral comments

Referral Comments – PLN20/0646 – 64 – 78 Trenerry Crescent Abbotsford

Melbourne Water

Decision

Melbourne Water, pursuant to Section 56(1) of the Planning and Environment Act 1987, does not object to the proposal, subject to the following conditions:

Conditions

- (a) Finished floor levels of the building extensions must be constructed 600mm above the applicable flood levels.
- (b) All open space within the property must be set at existing natural surface level so as not to obstruct the passage of overland flows.
- (c) Any new fencing/gates must be of an open style of construction (minimum 50% open) to allow for the passage of overland flows.
- (d) No imported fill outside of the proposed building footprint.
- (e) The entry / exit driveway of the basement carpark must incorporate a flood proof apex of a minimum of 600mm above the applicable flood level.
- (f) All doors, windows, vents and openings to the basement car park must be a minimum of 600mm above the applicable flood level.
- (g) Prior to the commencement of works, a separate application direct to Melbourne Water must be made for any new or modified storm water connection to Melbourne Water's drains or watercourses.

Advice (Note)

The flood level for the property grades from 12.53 metres to Australian Height Datum (AHD) at the north-west corner down to 12.43 metres to Australian Height Datum at the north east corner. These level are based upon a flood which has a 1% Annual Exceedance Probability, that is, a probability of being equalled or exceeded in any one year.

Heritage

Proposed works include:

- the partial demolition of unused access ways and spaces,
- reconfiguration of the existing 2 levels of basement parking;
- refurbishment of 2 office levels of River, East and West Wings and
- extension of East and West Wings

Comments on Extent of Demolition:

The subject site is identified as non-contributory; there are no heritage concerns regarding the extent of demolition.

Comments on Proposed Extension:

A majority of the proposed works are within the existing building complex with no change to the street façade of the existing Trenerry Crescent frontage. All internal development will only be visible a distance from the north east, which is the Yarra River open space.

Proposed alterations and extensions will have no impact on the character or appearance of the Trenerry Crescent streetscape of the precinct as a whole.

Comments on Materials and Finishes:

Attachment 4 - PLN20/0646 - 64 - 78 Trenerry Crescent Abbotsford - Referral comments

The proposed works will involve the painting of parts of the existing Trenerry Crescent façade as well as the roof cladding.

The existing building was designed to respond to the established industrial heritage character of built form in Trenerry Crescent. The unpainted face brickwork of the existing building plays a critical role in ensuring that the development responds well to the industrial heritage surroundings. While the painting of the face brickwork in any colour would not be supported, the repainting of the existing cement render details in shades of grey is acceptable.

The repainting of the green roof cladding in a 'slate grey' colouring would be supported.

RECOMMENDATION

1. On heritage grounds the works proposed in this application may be approved without specific heritage conditions.

Biodiversity Referral

This development occurs within an SLO1 of the Yarra Planning Scheme. The key SLO1 environmental (biodiversity) objectives and decision guidelines that relate to planting palettes are:

- *The ability for proposed vegetation species to be matched to the local plant communities.*
- *To protect, rehabilitate and expand a continuous corridor of riparian and indigenous vegetation using appropriate indigenous species.*
- *Whether sufficient vegetation and canopy trees of appropriate species are to be planted to replace the removal of the existing vegetation and mature canopy trees.*
- *To protect and enhance both terrestrial and aquatic habitat to allow the movement of wildlife within the Yarra River corridor.*

RECOMMENDATION

Therefore the proposed planting palette should consist of:

- Species that are locally indigenous to the Melbourne area;
- Exotic species should only be used if a local indigenous plant to the Melbourne Area cannot perform the same intended function (e.g. Japanese Maple shedding leaves to allow winter sun in the courtyard);
- Species selection should be consistent with the following local Victorian Volcanic Plains Bioregion Ecological Vegetation Classes (EVC): Riparian Woodland (EVC 641) and Plains Grassy Woodland (EVC 55_61).

Use of plants that are not locally indigenous and have the ability to naturalise and can unintentionally spread into the Yarra River riparian corridor river, negatively impacting on biodiversity values.

The following species listed in the planting palette are suitable for use provided the genetic origin is sourced less than 10km from Abbotsford and within the Victorian Volcanic Plains Bioregion:

- *Carex apressa*
- *Ficinia nodosa*
- *Chryscephalum apiculatum*

Under no circumstances can *Hedera helix* be used. It's highly invasive and will naturalise in the riparian corridor.

The planting palette includes many species that are not locally indigenous. The table below outlines a palette of local indigenous species that are suggested as replacements for the species listed in the planting palette.

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Botanical Name	Common Name	Spacing	Floodplain Riparian Woodland EVC	Plains Grassy Woodland EVC	Examples Of Planting Palette Species In This Column To Be Replaced With Species In the Far Left Hand Column
Trees					
<i>Eucalyptus leucoxylon</i>	'Eucy Dwarf'	As required		ü	Blueberry Ash
<i>Banksia marginata</i>	Silver Banksia	As required		ü	Blueberry Ash/Crepe Myrtle
Large Shrubs					
<i>Acacia melanoxylon</i>	Blackwood	1 plant/m ²	ü		
<i>Acacia pycnantha</i>	Golden Wattle	1 plant/m ²		ü	
<i>Acacia paradoxa</i>	Hedge Wattle	1 plant/m ²		ü	
<i>Bursaria spinosa</i>	Sweet Bursaria	1 plant/m ²	ü	ü	
<i>Callistemon sieberi</i>	River Bottle Brush	1 plant/m ²	ü		Crepe Myrtle, <i>Callistemon</i> 'Green John'
<i>Correa reflexa</i>	Common Correa	1 plant/m ²		ü	<i>Correa glabra</i> 'Ivory Lantern', <i>Correa alba</i>
<i>Gynatrix pulchella</i>	Hemp Bush	1 plant/m ²	ü		
<i>Leptospermum obovatum</i>	River Tea-tree	1 plant/m ²	ü		
<i>Melicytus dentatus</i>	Tree Violet	1 plant/m ²	ü		
<i>Viminaria juncea</i>	Golden Spray	1 plant/m ²	ü		<i>Adenanthos sericeus</i> 'Silver Streak'
<i>Dodonaea viscosa</i>	Sticky Hop Bush	1 plant/m ²	ü		<i>Philodendron</i> 'Xanadu'
Small Shrubs, Groundcovers & Climbers					
<i>Acaena novae-zelandiae</i>	Bidgee-widgee	6 plants/m ²	ü	ü	<i>Crassula tetragona</i>
<i>Atriplex semibaccata</i>	Berry Saltbush	4 plants/m ²		ü	<i>Carpobrotus rossii</i> , <i>Crassula tetragona</i> ,
<i>Austrostipa mollis</i>	Supple Spear-grass	4 plants/m ²		ü	<i>Sedum cyclidricus</i>
<i>Bulbine bulbosa</i>	Bulbine Lily	8 plants/m ²	ü	ü	<i>Aloe plicatilis</i> , <i>Anigozanthos</i> 'Gold Velvet'
<i>Clematis microphylla</i>	Small-leaved Clematis	4 plants/m ²			<i>Parthenocissus tricuspidata</i>

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<i>Dianella revoluta s.l.</i>	Black-anther Flax-lily	4 plants/m ²	ü	ü	<i>Clivia miniate</i> , <i>Senecio serpens</i> , <i>Dianella caerulea</i> 'Little Jess'
<i>Dichondra repens</i>	Kidneyweed	6 plants/m ²	ü	ü	<i>Crassula undulata</i> , <i>Hedera helix</i>
<i>Einadia nutans</i>	Nodding Saltbush	6 plants/m ²		ü	<i>Carpobrotus rossii</i> , <i>Crassula tetragona</i>
<i>Goodenia ovata</i>	Hop Goodenia	4 plants/m ²		ü	<i>Plectranthus ciliates</i> , <i>Asparagus densiflorus</i>
<i>Hardenbergia violacea</i>	Purple Coral-pea	4 plants/m ²		ü	<i>Wisteria spp</i>
<i>Lomandra longifolia</i>	Spiny- headed Mat- rush	4 plants/m ²	ü	ü	<i>Clivia miniate</i> , <i>Asparagus densiflorus</i>
<i>Microlaena stipoides</i>	Weeping Grass	4 plants/m ²	ü	ü	<i>Hedera helix</i>
<i>Poa labillardierei</i>	Common Tussock- grass	4 plants/m ²	ü	ü	<i>Aloe plicatilis</i> , <i>Plectranthus ciliatus</i>
<i>Rytidosperma racemosum</i>	Stiped Wallaby- grass	4 plants/m ²		ü	<i>Aloe plicatilis</i> , <i>Callistemon</i> 'Green John'
<i>Themeda triandra</i>	Kangaroo Grass	4 plants/m ²		ü	<i>Senecio serpens</i> , <i>Strelitzia reginae</i>
<i>Wahlenbergia gracilis s.s.</i>	Sprawling Bluebell	6 plants/m ²		ü	<i>Scaevola aemula</i>

Plants must be purchased from a commercial nursery that supplies indigenous plants of local provenance. In this case, the City of Yarra suggests VINC (Victorian Indigenous Nurseries Co-operative, based in Fairfield) is engaged to supply the relevant indigenous plants of local provenance in tubes/cells and larger pots if required.

Substitution of plant species outside the local range, due to availability shall be at the discretion of the City of Yarra before species have been ordered.

Open Space

The landscape concept proposal is fine and is certainly an improvement over what is currently there.

RECOMMENDATION

If a planning permit is issued for the development, I would like to request detailed landscape plans that:

- show the type, location, quantity, height at maturity and botanical names of all proposed plants;
- provide details of the raised planters and terrace/rooftop planting (including planter box materials and dimensions, mulch layer – something that won't blow away, growing media – suitable in weight and content for roof top gardens, filter media, irrigation method, drainage system, root barrier / water proofing layer);
- provide details of the *proposed method for irrigation and drainage*;

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- (d) detail the *maintenance (duration, regime) and irrigation*;
- (e) provide a specification of works to be undertaken prior to planting; and
- (f) detail plant/planting maintenance schedules and requirements.

City Works (WMP)

RECOMMENDATION

- (a) In order to assess whether enough space has been allocated to form an effective waste system please include the total footprint of the bins allocated and the space available in the bin storage room in M²

ESD Officer

The standard of the ESD does not meet Council's Environmental Sustainable Design (ESD) standards. Should a permit be issued, the following ESD commitments (1) and deficiencies (2) should be conditioned as part of a planning permit to ensure Council's ESD standards are fully met.

(1) Applicant ESD Commitments:

- Services design will document a metering and monitoring strategy for energy and water sources and install meters and monitoring equipment for all common, individual tenant spaces, and major uses (SMP, p. 5).
- The head contractor will have an ISO14001 certified Environmental Management System and be required to implement a project-specific Environmental Management Plan (SMP, p. 5).
- Specifications around TVOC and formaldehyde limits to align with GBCA requirements (SMP, p. 5).
- The BESS report indicates 66% of nominated floor area achieves a DF>2.0 (IEQ 1.4).
- Newly installed glazing will exceed NCC Section J requirements by 10% (SMP, p. 6).
- Refurbishment of bicycle storage facility with 36 bicycle spaces, and 6 visitor spaces (SMP, p. 2).
- Commitment to 20% reduction in the NCC 2016 lighting density requirements (SMP, p. 2).
- Hot water system to be upgraded throughout the development (retained and new areas) (SMP, p. 2).
- Water efficient fixtures and taps (SMP, p. 7).
- Native or drought-tolerant plants will be preferred for the landscaped and mulch to help minimise water requirements – with irrigation provided via a 10,000-litre rainwater tank (SMP, p. 7).
- Steel to be sourced from a Responsible Steel maker (SMP, p. 8).
- Specifications around certified timber and PVC (SMP, p. 8).
- The new thermal insulation will not contain any ozone- depleting substances and will not use any in its manufacturing (SMP, p. 8).
- A 2kW rooftop solar PV system is proposed (SMP, p. 6).

(2) Application ESD Deficiencies:

- Some commitments rely on ambiguous language such as 'wherever possible', and 'it is encouraged' – replace with clear language that articulates the (firm) extent of each commitment.
- No STORM or MUSIC model has been provided to articulate the developments best practice approach to stormwater management and rainwater reuse, despite 100% being claimed in the BESS report.
- Whilst the development commits to best practice in terms of predicted mean vote levels, the new development does provides no protection to northern and western facades or information on what windows will be operable. A shading and ventilation strategy is required to address these concerns.
- The solar PV system should be significantly increased to better cater for the energy consumption on site.

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(3) Outstanding Information:

- Confirm provision of outdoor air to office spaces on all levels and consider incorporating a series of operable windows (i.e. louvres) to provide natural cross-ventilation to reduce reliance on mechanical systems.
- Remove ambiguous language and confirm extent of VOC strategy.
- Revise all commitments against NCC 2019 and provide a Section J Report articulating improvements (including building fabric). Noting that 10% above NCC 2016 is not considered best practice nor provides the building with a sufficient level of future proofing.
- Revise against NCC 2019, and include within Section J Report – detailing the proposed building with reference services to articulate building fabric improvements.
- Confirm HWS and consider using a heat pump.
- Confirm extent of HVAC strategy (whether existing spaces will be serviced by the VRF system).
- Confirm CO monitoring.
- Confirm lighting commitment against NCC 2019.
- Confirm if there is no new gas connections (i.e. gas existing), or no gas throughout development.
- Confirm irrigation system.
- Provide a STORM or MUSIC model.
- Confirm extent of either recycled materials (i.e. bricks) or materials with post-consumer content (i.e. insulation).
- Confirm extent (by weight or cost) of embodied energy strategy – and consider reclaimed water and recycled aggregate for concrete components.
- Remove ambiguous language and clarify extent of commitment for sustainable timber.
- Remove ambiguous language and clarify extent of commitment for limiting PVC impacts.
- Confirm surrounding locations of car-share programs and/or a collaboration within the development and include within a Green Travel Plan.
- Provide a Green Travel Plan with performance targets and monitoring and reporting components included.
- Confirm size of bin store room and amend plans to reflect bin type and layout as per WMP.
- Provide a statement that addresses urban heat – considering the north-east facing courtyard and consider additional climbing vegetation to cover the masonry components which are susceptible to heat gain.
- Confirm all energy and water management systems will be commissioned in accordance with the manufacturer's specifications
- Provide a Building Users Guide explaining optimal usage of building services to minimise energy and water consumption.

(4) ESD Improvement Opportunities

- Increase the rainwater tank size to service toilet flushing throughout.
- Provide a small pallet of materials and construction techniques that can assist in disassembly.
- While the increase in bike parking is welcome, being so well positioned along the Yarra Trail and within cycling distance to the CBD more bicycle parking spaces should be strongly considered.
- Provide some charging stations or wiring for future.
- Increase green cover (to mitigate urban heat as mentioned above) and increase the ecological value of the site.
- Provide commitments that would elevate the proposal beyond 'best practice'.

The ESD Officer confirmed in email dated 31 May 2021 that as a non-residential use (i.e. higher daytime energy draw), a rooftop solar PV system of at least 30kW should be conditioned in the permit.

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Under the provisions of Clause 52.06-5 of the Yarra Planning Scheme, the development's parking requirements are as follows:

Proposed Use	Quantity/ Size	Statutory Parking Rate*	No. of Spaces Required	No. of Spaces Allocated
Office	6,363 m ²	3.0 spaces per 100 m ² of net floor area	190	182

* Since the site is located within the Principal Public Transport Network Area, the parking rates in Column B of Clause 52.06-5 now apply. A reduction of 8 car spaces in the car parking requirement is sought.

Car Parking Demand Assessment

In reducing the number of parking spaces required for the proposed development, the Car Parking Demand Assessment would assess the following:

- *Parking Demand for Office Use.*

The proposed office use would be provided with a total of 182 on-site parking spaces, which equates to a parking rate of 2.86 spaces per 100 square metres of floor area.

Throughout the municipality, a number of developments have been approved with reduced office rates, as shown in the following table:

Development Site	Approved Office Parking Rate
60-88 Cremorne Street, Cremorne PLN17/0626 issued 21 June 2018	0.72 spaces per 100 m ² (200 on-site spaces; 27,653 m ²)
2-16 Northumberland Street, Collingwood PLN16/0435 issued 14 June 2017	0.89 spaces per 100 m ² (135 on-site spaces; 15,300 m ²)
51 Langridge Street PLN17/0332 (Amended) issued 18 May 2018	0.54 spaces per 100 m ² (18 on-site space; 3,335 m ²)

The proposed on-site office parking rate has reduced to 2.86 spaces per 100 square metres of office floor area (compared to the previous parking rate of 3.76 spaces per 100 square metres of office floor area). The site's good accessibility to public transport services and proximity to Melbourne would encourage visitors to the site to utilise more sustainable forms of transportation such as catching public transport or riding a bicycle, and perhaps consider car-pooling as a means of reducing the likelihood of parking on-street – measures that are in line with Council's position on promoting sustainable and active transport.

- *Availability of Public Transport in the Locality of the Land.*

The following public transport services can be accessed to and from the site by foot:

- Johnston Street buses – 190 metre walk
- Victoria Park station – 430 metre walk
- Hoddle Street buses – 600 metre walk

- *Multi-Purpose Trips within the Area.*

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Visitors and clients to the site might combine their visit by engaging in other activities or business whilst in the area.

- *Convenience of Pedestrian and Cyclist Access.*
The site is easily accessible by pedestrians and bicycles.

Appropriateness of Providing Fewer Spaces than the Likely Parking Demand

Clause 52.06 lists a number of considerations for deciding whether the required number of spaces should be reduced. For the subject site, the following considerations are as follows:

- *Availability of Car Parking.*
Due to the COVID-19 restrictions, car parking occupancy surveys would not provide an accurate representation of car parking demands in the surrounding area at this time.

To determine the parking demands in the surrounding area, the on-street car parking occupancy survey for the development at 288-296 Johnston Street, Abbotsford (Application Number PLN17/0948), has been referenced. Although the survey results are slightly outdated, the survey results provide an insight to the likely parking demands in this part of Abbotsford.

Cardno had conducted on-street parking occupancy surveys on Thursday 17 August 2017 from 5:00pm to 9:00pm and on Saturday 19 August 2017 from 2:00pm to 8:00pm. The survey area encompassed Johnston Street (Hoddle St to Nicholson St), Stafford Street, Lulie Street, Rich Street and Park Street. The survey times could have included the morning periods of both days. An inventory of 330 publicly available parking spaces was identified. The survey results recorded that a peak peaking occupancy of 73 % had occurred at 8:00pm on the Thursday evening. At that time, 88 spaces were vacant. On the Saturday, the peak parking occupancy also occurred at 8:00pm, resulting in 86 spaces vacant. Although the surveys show the availability of on-street parking, the recent redevelopment of sites in the area (such as 247 Johnston Street) would also compete for available on-street parking.

- *Relevant Local Policy or Incorporated Document.*
The proposed development is considered to be in line with the objectives contained in Council's *Strategic Transport Statement*. The site is ideally located with regard to sustainable transport alternatives and the reduced provision of on-site car parking would potentially discourage private motor vehicle ownership and use.

Adequacy of Car Parking

From a traffic engineering perspective, the full waiver of parking associated with the development is considered appropriate in the context of the development and the surrounding area.

The Civil Engineering unit has no objection to the reduction in the car parking requirement for this site.

Layout Design Assessment

Item	Assessment
Access Arrangements	
Development Entrance – Trenerry Crescent	Although the geometry of the raised planter has been modified at the development's entrance, the dimensions and width of the accessway remains the same.
Visibility at the Vehicle Entrance	No change.
Headroom Clearance	No change.

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Car Parking Modules	
Regular Car Spaces	No change.
Accessible Parking Space	Not dimensioned on the drawings. The applicant is to confirm the number of accessible parking spaces to be provided for the development. The information on the architectural drawings and landscape plans do not match-up.
Aisles	No change.
Column Depths and Setbacks	No change.
Clearances to Walls	No change.
Gradients	
Ramp Grade for First 5.0 metres inside Property	No change.
Ramp Grades and Changes of Grade	No change.
Other	
Motorcycle Spaces	Not dimensioned on the drawings.

Design Items to be Addressed

Item	Details
Accessible Parking Space	The applicant is to dimension and confirm the number of accessible parking spaces to be provided for the development.
Motorcycle Parking	To be dimensioned on the drawings.

ENGINEERING CONDITIONS**Road Asset Protection**

- Any damaged roads, footpaths and other road related infrastructure adjacent to the development site as a result of the construction works, including trenching and excavation for utility service connections, must be reconstructed to Council's satisfaction and at the developer's expense.

Construction Management Plan

- A Construction Management Plan must be prepared and submitted to Council. The Plan must be approved by Council prior to the commencement of works. A detailed dilapidation report should detail and document the existing and post construction conditions of surrounding road infrastructure and adjoining private properties.

Impact of Assets on Proposed Development

- Any services poles, structures or pits that interfere with the proposal must be adjusted, removed or relocated at the owner's expense after seeking approval from the relevant authority.
- Areas must be provided inside the property line and adjacent to the footpath to accommodate pits and meters. No private pits, boundary traps, valves or meters on Council property will be accepted.

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ADDITIONAL ENGINEERING ADVICE FOR THE APPLICANT

Item	Details
Legal Point of Discharge	The applicant must apply for a Legal Point of Discharge under Regulation 133 – Stormwater Drainage of the <i>Building Regulations</i> 2018 from Yarra Building Services unit. Any storm water drainage within the property must be provided and be connected to the nearest Council pit of adequate depth and capacity (legal point of discharge), or to Council's satisfaction under Section 200 of the <i>Local Government Act</i> 1989 and Regulation 133.
Tree Protection	The applicant is to liaise with Council's Open Space unit regarding the protection of the street trees along the property's Trenerry Crescent frontage.

Strategic Transport

Under the provisions of Clause 52.34-3 of the Yarra Planning Scheme, the development's bicycle parking requirements are as follows:

Proposed Use	Quantity/ Size	Statutory Parking Rate	No. of Spaces Required	No. of Spaces Allocated
Office	1,243sqm	1 employee space to each 300 sqm of net floor area if the net floor area exceeds 1000 sqm	4 employee spaces	
		1 visitor space to each 1000 sqm of net floor area if the net floor area exceeds 1000 sqm	1 visitor spaces	
Bicycle Parking Spaces Total			4 employee spaces	12 employee spaces
			1 visitor spaces	6 visitor spaces
Showers / Change rooms		1 to the first 5 employee spaces and 1 to each additional 10 employee spaces	0 shower / change room	0 showers / change rooms

Adequacy of visitor spaces:

- 6 visitor spaces are proposed, which exceeds Council's best-practice rate¹ recommendation of 2 spaces and is supported.
- The visitor spaces are provided within the property boundary at the loading area / entry, adjacent to a disabled parking bay.
- Visitor spaces are provided as 3 horizontal at-grade bike hoops and appear to meet access and clearance requirements of AS2890.3.

Adequacy of employee spaces

¹ Category 6 of the Built Environment Sustainability Scorecard (BESS) recommends 1 visitor space to each 500sqm of office floor space.

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Number of spaces

12 employee spaces are proposed in addition to the existing 24 employee bicycle spaces, providing a total of 36 employee spaces. Provision of 12 employee spaces meets Council's best practice rate² recommendation for the extension of 1,243sqm and is acceptable.

It is noted that Council's best practice rate recommends 64 employee spaces for the total office area of 6,363sqm. It is recommended that the applicant consider increasing the number of employee bicycle spaces to provide the best practice recommendation for the overall development to support staff to cycle to work.

Design and location of employee spaces and facilities

The following comments are provided in relation to the location and design of employee bike parking:

- All employee spaces are provided within a secure facility at basement level 1, with access via the vehicle entrance at Trenerry Crescent.
- 10 employee spaces are provided as horizontal at-grade spaces, which satisfies the AS2890.3 requirement for at least 20% of bicycle storage spaces to be provided as horizontal at ground-level spaces.
- The layout of bicycle spaces appears to comply with access and clearance requirements of AS2890.3.
- No additional shower / change rooms are provided. Six existing shower / change rooms are provided for employees in an end of trip facilities area within close proximity to the bicycle storage area. The existing provision of shower / change rooms is considered sufficient, however it is recommended that the number of lockers is increased as per Council's best practice recommendation of 1 locker per employee bicycle space.

Electric Vehicles

Council's BESS guidelines encourage the use of fuel efficient and electric vehicles (EV). The addition of EV charging points within basement level 1 is supported. To allow for easy future provision for electric vehicle charging throughout the car park, it is recommended that car parking areas should be electrically wired to be 'EV ready' to enable future installation of EV charging.

Green Travel Plan

Given the development has a total non-residential floor area of more than 1,000sqm, pursuant to Clause 22.17-4 a Green Travel Plan (GTP) must be provided. The following information should be included:

- (a) Description of the location in the context of alternative modes of transport;
- (b) Employee welcome packs (e.g. provision of Myki/transport ticketing);
- (c) Sustainable transport goals linked to measurable targets, performance indicators and monitoring timeframes;
- (d) A designated 'manager' or 'champion' responsible for co-ordination and implementation;
- (e) Details of bicycle parking and bicycle routes;
- (f) Details of Green Travel funding and management responsibilities;
- (g) The types of bicycle storage devices proposed to be used for employee and visitor spaces (i.e. hanging or floor mounted spaces);
- (h) Security arrangements to access the employee bicycle storage spaces;
- (i) Signage and wayfinding information for bicycle facilities and pedestrians pursuant to Australian Standard AS2890.3; and
- (j) Provisions for the GTP to be updated not less than every five years.

² Category 6 of the SDAPP offers the following for best-practice guidance for employee office rates: 'Non-residential buildings should provide spaces for at least 10% of building occupants.' Assuming a floor-space occupancy of 1 staff member to 10sqm (which is the maximum rate allowed under the National Construction Code for fire safety), providing bicycle spaces for 10% of occupants results in a rate of 1 space per 100sqm of floor area

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RECOMMENDATION

- (a) Increase the number of employee bicycle spaces to provide the best practice recommendation for the overall development to support staff to cycle to work;
- (b) The number of lockers is increased as per Council's best practice recommendation of 1 locker per employee bicycle space;
- (c) Car parking areas should be electrically wired to be 'EV ready' to enable future installation of EV charging.
- (d) A Green Travel Plan provided to include the following:
 - i. Description of the location in the context of alternative modes of transport;
 - ii. Employee welcome packs (e.g. provision of Myki/transport ticketing);
 - iii. Sustainable transport goals linked to measurable targets, performance indicators and monitoring timeframes;
 - iv. A designated 'manager' or 'champion' responsible for co-ordination and implementation;
 - v. Details of bicycle parking and bicycle routes;
 - vi. Details of Green Travel funding and management responsibilities;
 - vii. The types of bicycle storage devices proposed to be used for employee and visitor spaces (i.e. hanging or floor mounted spaces);
 - viii. Security arrangements to access the employee bicycle storage spaces;
 - ix. Signage and wayfinding information for bicycle facilities and pedestrians pursuant to Australian Standard AS2890.3; and
 - x. Provisions for the GTP to be updated not less than every five years.