

# SUBJECT SITE

196 NICHOLSON STREET, ABBOTSFORD 3067

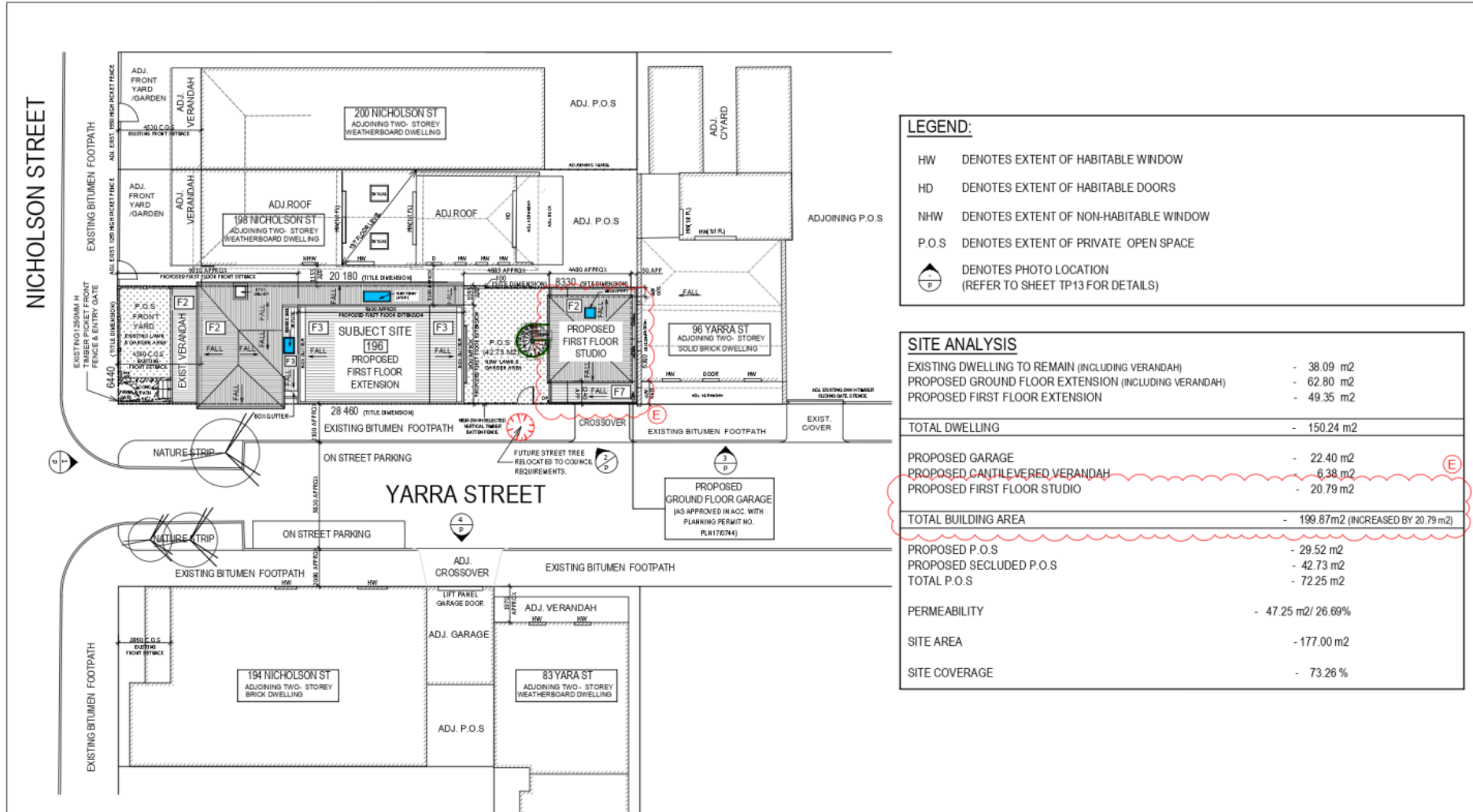
PLN17/0744.02 – Subject Site Map (*NearMaps Aerial Imagery, 29 April 2021*)



SUBJECT SITE



Attachment 2 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - S57B Advertising - Section 57A Amended Plans



**LEGEND:**

- HW DENOTES EXTENT OF HABITABLE WINDOW
- HD DENOTES EXTENT OF HABITABLE DOORS
- NHW DENOTES EXTENT OF NON-HABITABLE WINDOW
- P.O.S DENOTES EXTENT OF PRIVATE OPEN SPACE
- DENOTES PHOTO LOCATION (REFER TO SHEET TP13 FOR DETAILS)

**SITE ANALYSIS**

EXISTING DWELLING TO REMAIN (INCLUDING VERANDAH)	- 38.09 m <sup>2</sup>
PROPOSED GROUND FLOOR EXTENSION (INCLUDING VERANDAH)	- 62.80 m <sup>2</sup>
PROPOSED FIRST FLOOR EXTENSION	- 49.35 m <sup>2</sup>
<b>TOTAL DWELLING</b>	<b>- 150.24 m<sup>2</sup></b>
PROPOSED GARAGE	- 22.40 m <sup>2</sup>
PROPOSED CANTILEVERED VERANDAH	- 6.38 m <sup>2</sup>
PROPOSED FIRST FLOOR STUDIO	- 20.79 m <sup>2</sup>
<b>TOTAL BUILDING AREA</b>	<b>- 199.87m<sup>2</sup> (INCREASED BY 20.79m<sup>2</sup>)</b>
PROPOSED P.O.S	- 29.52 m <sup>2</sup>
PROPOSED SECLUDED P.O.S	- 42.73 m <sup>2</sup>
<b>TOTAL P.O.S</b>	<b>- 72.25 m<sup>2</sup></b>
PERMEABILITY	- 47.25 m <sup>2</sup> / 26.69%
SITE AREA	- 177.00 m <sup>2</sup>
SITE COVERAGE	- 73.26 %

**PROPOSED SITE PLAN (INCLUDES SITE ANALYSIS)**  
SCALE 1:200

ABN 980069082  
  
 POSTAL ADDRESS  
 PO BOX 5043 BURKLEE 3121  
 225 SWAN STREET RICHMOND 3121 ENTRC BELL STREET  
 TELEPHONE 9428 7797 FACSIMILE 9428 5067

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ISSUE	DATE	AMENDMENT
E	MAR '20	SECTION 57A PLANNING AMENDMENT
D	SEPT '20	PLANNING PERMIT AMENDMENT
C	AUG '20	PLANNING PERMIT AMENDMENT
B	JUNE '19	PLANNING PERMIT AMENDMENT
A	MAR '19	PLANNING PERMIT APPLICATION

PROJECT  
**PROPOSED EXTENSION & ALTERATIONS TO EXISTING DWELLING AT 196 NICHOLSON STREET, ABBOTSFORD**

CLIENT  
**MR MARTIN RYAN**

TITLE  
**PROPOSED SITE PLAN (INCLUDES SITE ANALYSIS)**

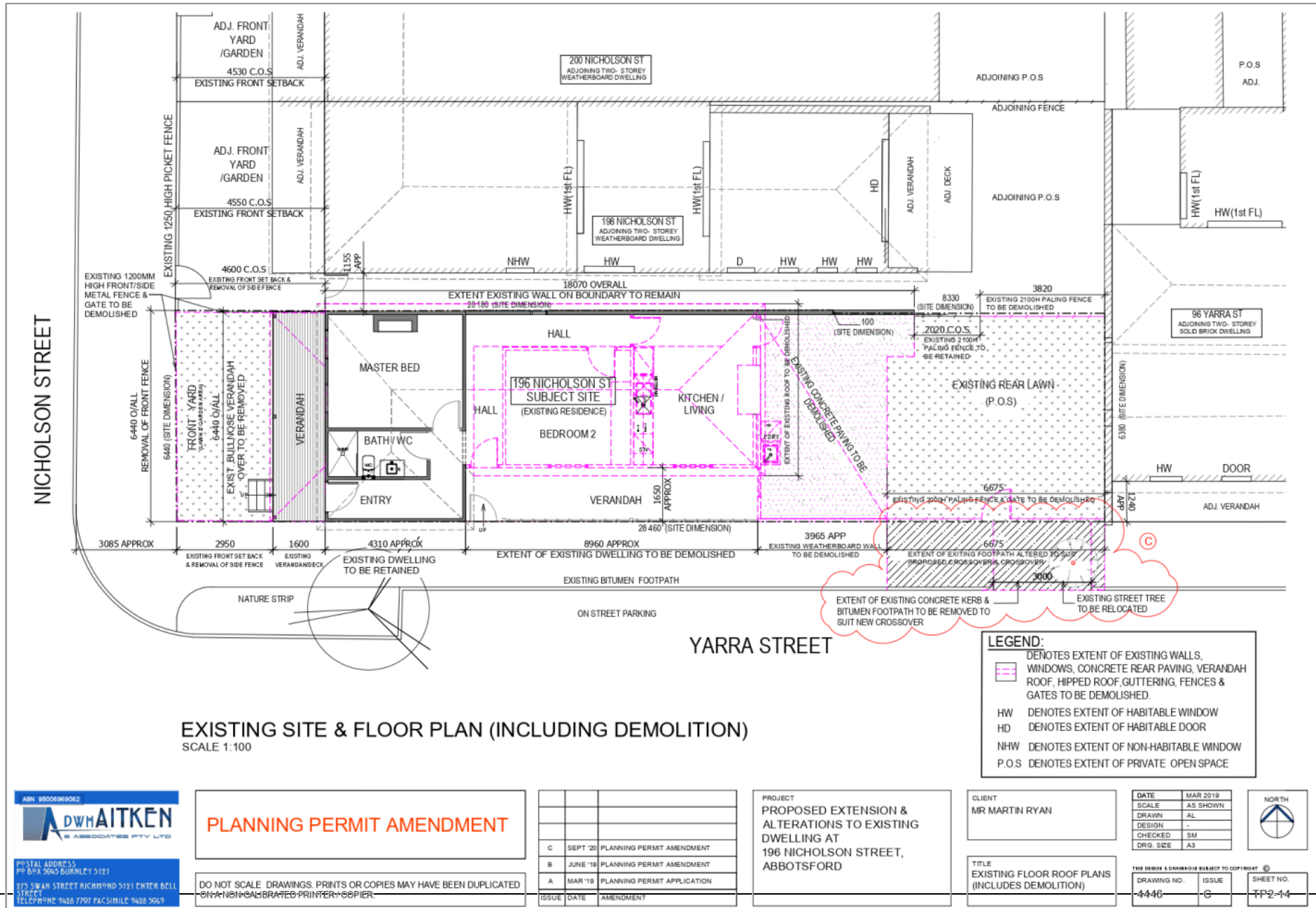
DATE	MAR 2019
SCALE	AS SHOWN
DRAWN	AL
DESIGN	-
CHECKED	SM
DRG. SIZE	A3

NORTH

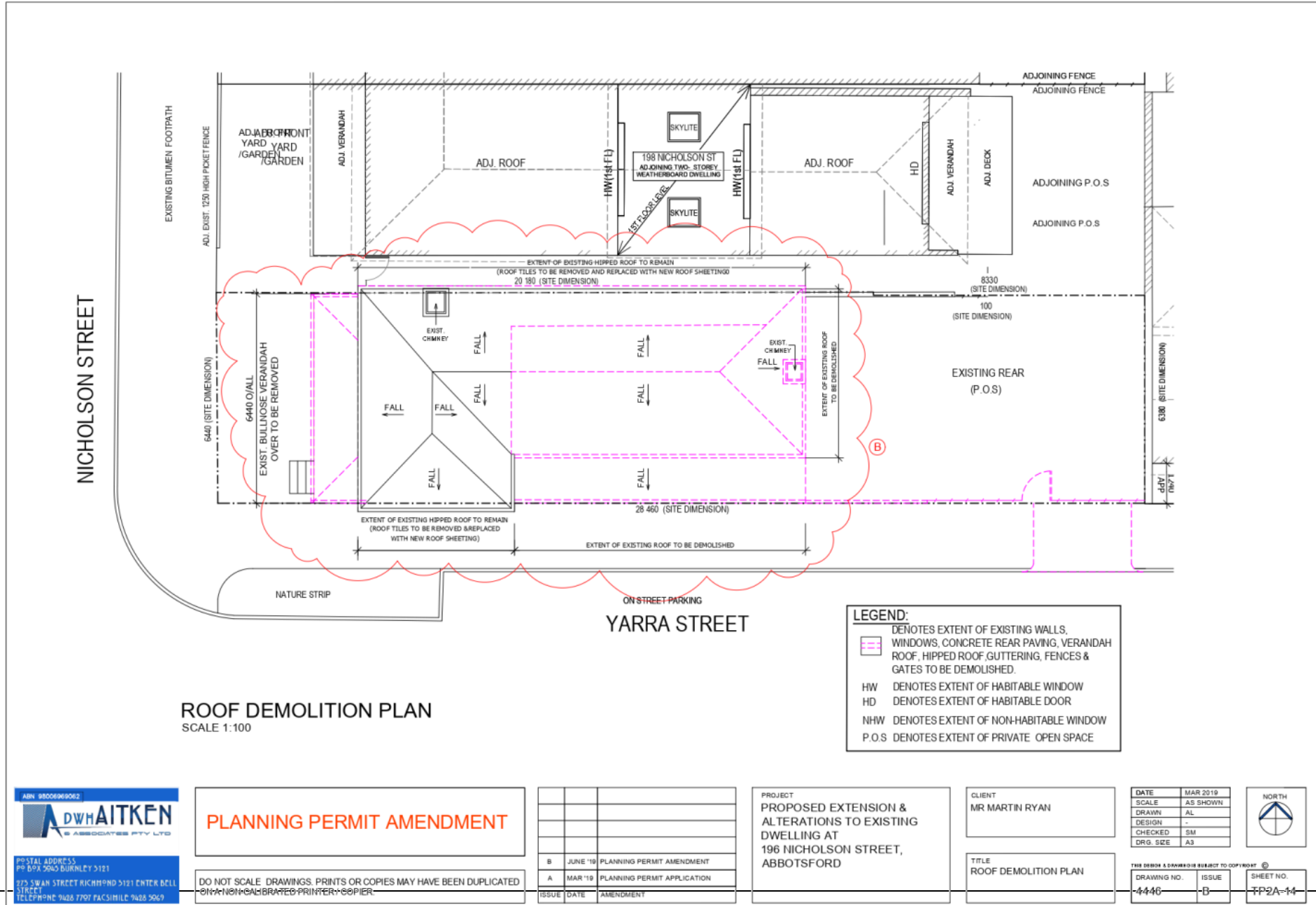
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DRAWING NO.	ISSUE	SHEET NO.
4446	E	TP4-14

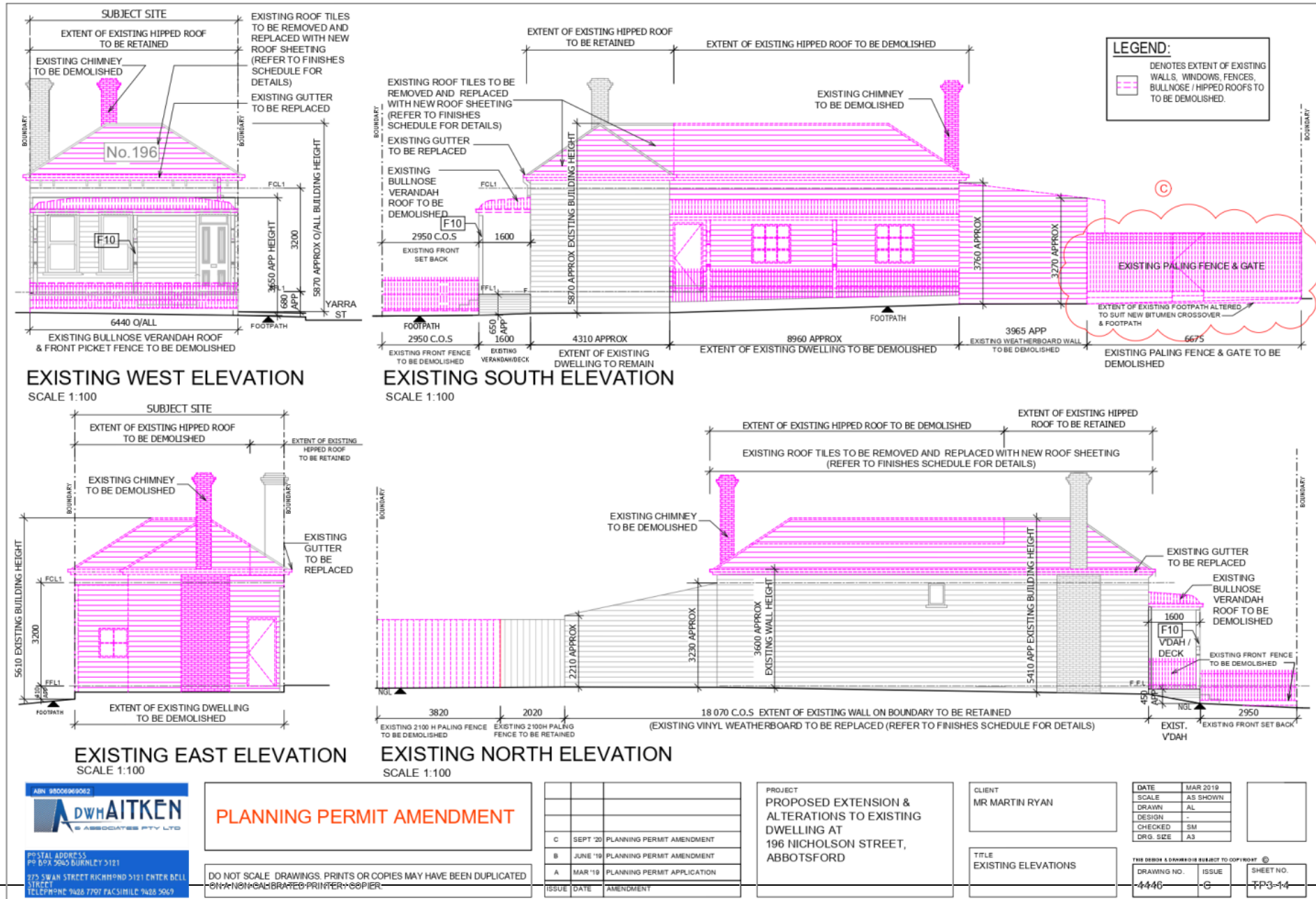
Attachment 2 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - S57B Advertising - Section 57A Amended Plans



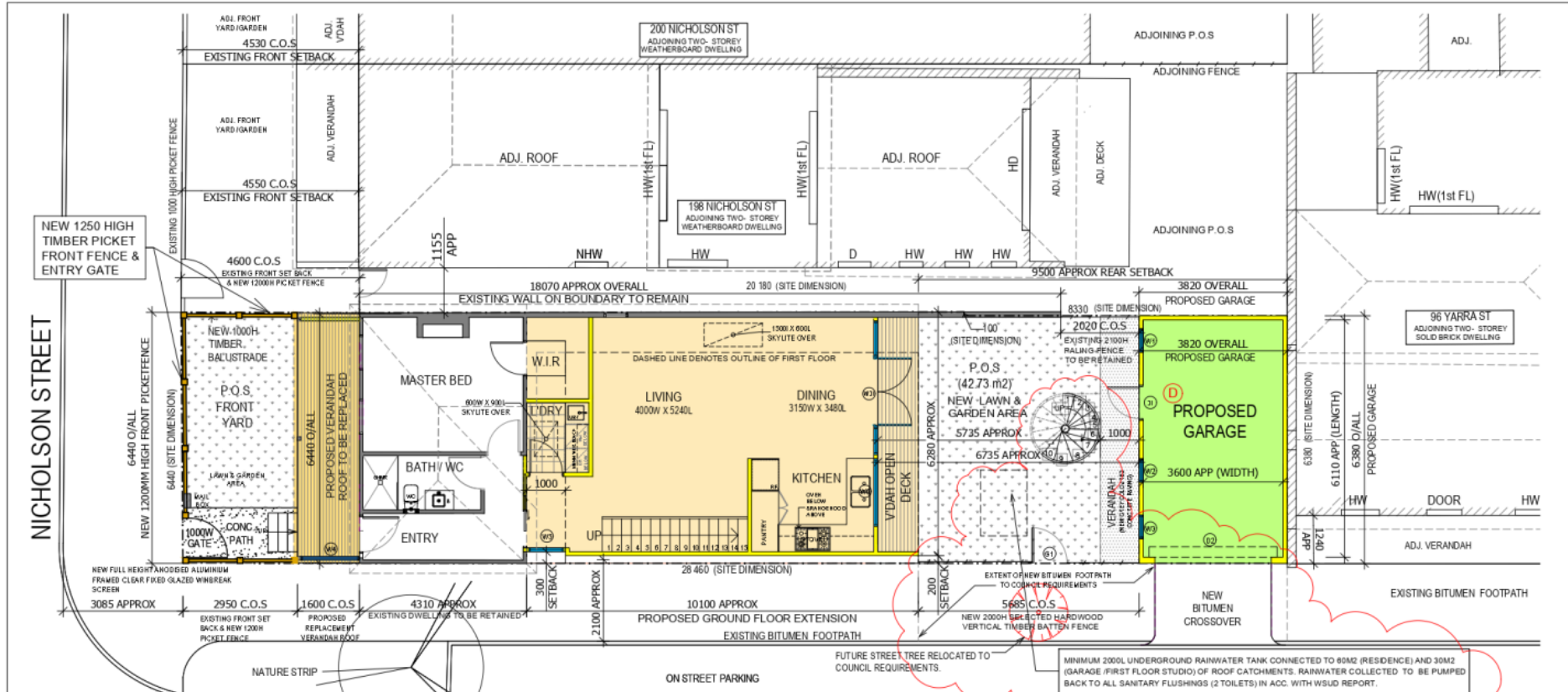
Attachment 2 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - S57B Advertising - Section 57A Amended Plans



Attachment 2 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - S57B Advertising - Section 57A Amended Plans



Attachment 2 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - S57B Advertising - Section 57A Amended Plans



**PROPOSED SITE & GROUND FLOOR PLAN**  
SCALE 1:100

- LEGEND:**
- DENOTES EXTENT OF REPLACEMENT BULLNOSE ROOF OVER FRONT VERANDAH
  - DENOTES EXTENT OF PROPOSED GROUND FLOOR GARAGE
  - DENOTES EXTENT OF PROPOSED FRONT PICKET FENCE
  - DENOTES EXTENT OF PROPOSED REAR GROUND ADDITION / ALTERATION
  - HW DENOTES EXTENT OF HABITABLE WINDOW
  - HD DENOTES EXTENT OF HABITABLE DOOR
  - NHW DENOTES EXTENT OF NON-HABITABLE WINDOW
  - P.O.S DENOTES EXTENT OF PRIVATE OPEN SPACE

ABN 9800696062

**ADWHAITKEN**  
S ASSOCIATES PTY LTD

POSTAL ADDRESS  
PO BOX 5040 BURNLEY VIC 3121

225 SWAN STREET RICHMOND VIC 3121  
STREET TELEPHONE 9428 7797 FACSIMILE 9428 5067

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D	SEPT'20	PLANNING PERMIT AMENDMENT
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B	JUNE '19	PLANNING PERMIT AMENDMENT
A	MAR '19	PLANNING PERMIT APPLICATION

PROJECT  
**PROPOSED EXTENSION & ALTERATIONS TO EXISTING DWELLING AT 196 NICHOLSON STREET, ABBOTSFORD**

CLIENT  
MR MARTIN RYAN

TITLE  
PROPOSED GROUND FLOOR PLAN

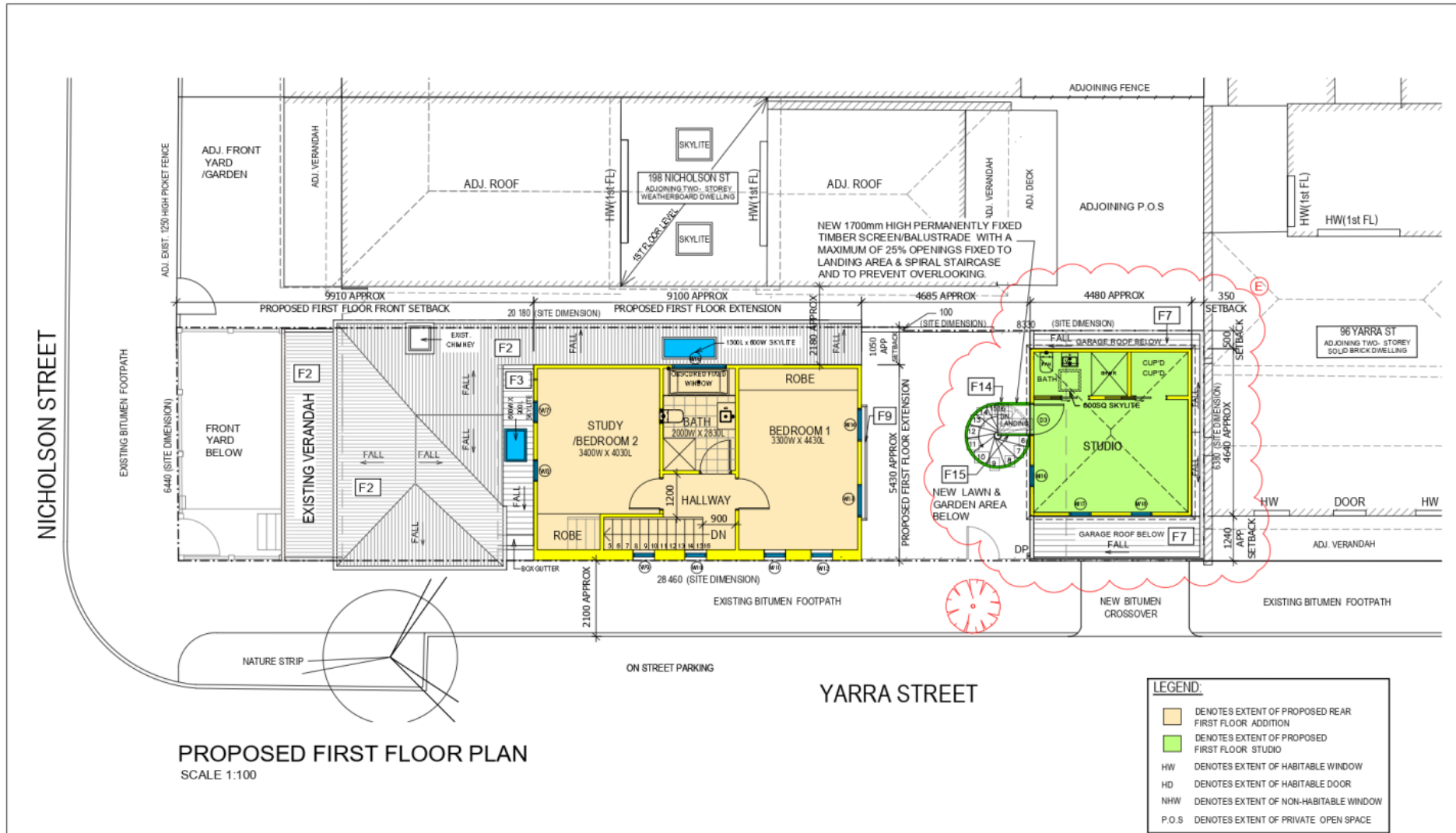
DATE	MAR 2019
SCALE	AS SHOWN
DRAWN	AL
DESIGN	-
CHECKED	SM
DRG. SIZE	A3

NORTH

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4446	D	TP4-14

Attachment 2 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - S57B Advertising - Section 57A Amended Plans



ABN 98006969062

**DWHAITKEN**  
S ASSOCIATES PTY LTD

POSTAL ADDRESS  
PO BOX 5040 BURNLEY VIC 3121

225 SWAN STREET RICHMOND VIC 3121  
STREET LEVEL  
TELEPHONE 9425 7797 FACSIMILE 9425 5067

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B	JUNE '19	PLANNING PERMIT AMENDMENT
A	MAR '19	PLANNING PERMIT APPLICATION

PROJECT  
PROPOSED EXTENSION & ALTERATIONS TO EXISTING DWELLING AT 196 NICHOLSON STREET, ABBOTSFORD

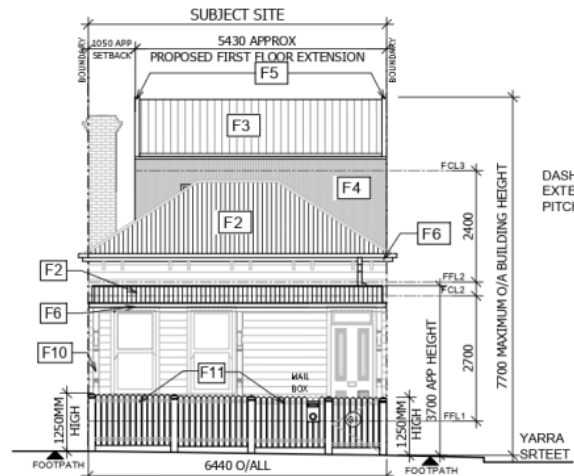
CLIENT  
MR MARTIN RYAN

TITLE  
PROPOSED FIRST FLOOR PLAN

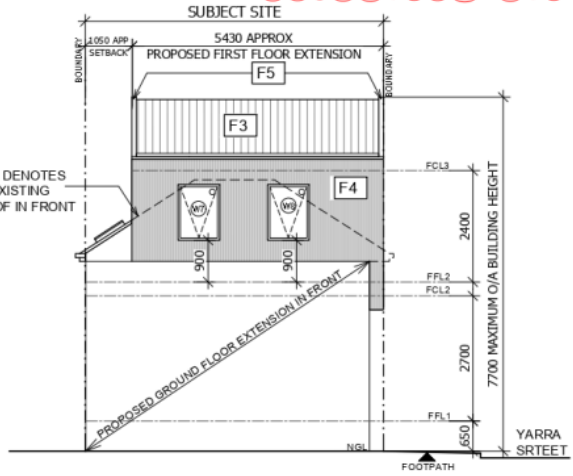
DATE	MAR 2019	NORTH
SCALE	AS SHOWN	
DRAWN	AL	
DESIGN	-	
CHECKED	SM	
DRG. SIZE	A3	
DRAWING NO.	ISSUE	SHEET NO.
4446	E	TP5-14

Attachment 2 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - S57B Advertising - Section 57A Amended Plans

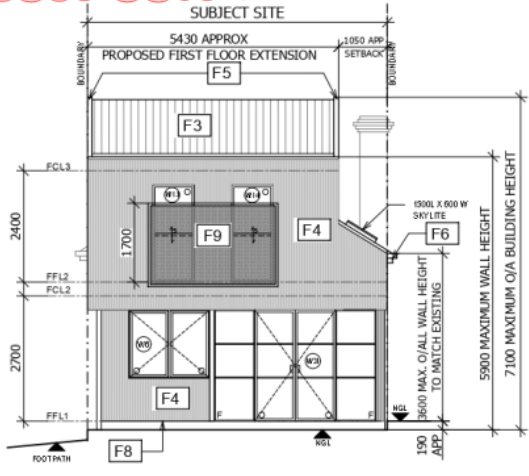
EXTERNAL FINISHES SCHEDULE					
NO.	DESCRIPTION	SAMPLE	NO.	DESCRIPTION	SAMPLE
F1	NEW TIMBER WEATHERBOARD CLADDING TO MATCH EXISTING PROFILE AND PAINTED WHITE FINISH (LOCATION - GROUND FLOOR EXTENSION & GARAGE/ FIRST FLOOR STUDIO)		F10	TREATED PINE OPEN TIMBER DECK WITH CLEAR TUNG OIL FINISH.	
F2	REPLACEMENT UNPAINTED HERITAGE GALVANIZED GRADE Z600 ROOF SHEETING (LOCATION- EXISTING GROUND FLOOR HIPPED ROOF TO BE RETAINED & PROPOSED SHEETING OVER FIRST FLOOR STUDIO ROOF ABOVE GARAGE)		F11	NEW 1250MM HIGH TIMBER PICKET FRONT & SIDE B'DRY FENCES WITH WHITE PAINTED FINISH	
F3	MATT MONUMENT METAL COLORBOND WALL CLADDING AND ROOF SHEETING		F12	PROPOSED CEMENT SHEET CLADDING INFILL PAINTED TO MATCH EXISTING FINISH	
F4	SELECTED HARDWOOD VERTICAL TIMBER BATTEN WALL CLADDING TO GARAGE /1ST FLOOR ADDITION FAÇADE & SIDE BOUNDARY FENCE ALONG YARRA STREET (REFER TO PHOTO EXAMPLE ON SHEET TP8)		F13	PROPOSED 1000MM HIGH TIMBER FRAMED BALUSTRADE PAINTED IN WHITE FINISH TO MATCH EXISTING VERANDAH WITH TURNED POSTS TO REMAIN.	
F5	MATT MONUMENT COLORBOND DOWNPIPES, GUTTERING, CAPPING /FLASHINGS.		F14	NEW 1700MM HIGH PERMANENTLY FIXED TIMBER SCREEN/BALUSTRADE WITH A MAXIMUM OF 25% OPENINGS FIXED TO LANDING AREA & SPIRAL STAIRCASE AND TO PREVENT OVERLOOKING	
F6	NEW SURFMIST COLORBOND DOWNPIPES, GUTTERING / FLASHINGS WITH WHITE PAINTED FINISH TO EAVES FASCIA TO MATCH EXISTING.		F15	NEW 1000mm HIGH TIMBER SCREEN/BALUSTRADE	
F7	NEW WOODLAND GREY COLORBOND FINISH SPEED DECK ROOF SHEETING AT 1' MIN PITCH OVER GARAGE		F16	PROPOSED EXTENDED PALING FENCE TO MATCH EXISTING	
F8	NEW WOODLAND GREY COLORBOND DOWNPIPES, GUTTERING / FLASHINGS WITH WHITE PAINTED FINISH TO EAVES FASCIA TO GARAGE.			PROPOSED NEW WINDOWS AND DOORS FRAMINGS BLACK POWDERCOATED METAL FRAMES	
F9	NEW 1700mm HIGH BLACK POWDERCOATED ALUMINIUM PERFORATED METAL SCREEN WITH MAXIMUM OF 25% OPENING TO PREVENT OVERLOOKING.			NEW 2100H X 3600W COLORBOND METAL PANEL LIFT DOOR AS SELECTED - MANOR RED	



PROPOSED WEST ELEVATION  
SCALE 1:100



PROPOSED INTERNAL WEST ELEVATION  
SCALE 1:100



PROPOSED EAST ELEVATION  
SCALE 1:100

ABN 98006969062  
**DWHAITKEN**  
 & ASSOCIATES PTY LTD  
 POSTAL ADDRESS  
 PO BOX 5040 BURKLEY 5121  
 275 SWAN STREET RICHMOND 3121  
 TELEPHONE 9426 7797 FACSIMILE 9426 5067

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A	MAR '19	PLANNING PERMIT APPLICATION

PROJECT  
 PROPOSED EXTENSION &  
 ALTERATIONS TO EXISTING  
 DWELLING AT  
 196 NICHOLSON STREET,  
 ABBOTSFORD

CLIENT  
 MR MARTIN RYAN

TITLE  
 PROPOSED ELEVATIONS  
 EXTERNAL FINISHES SCHEDULE

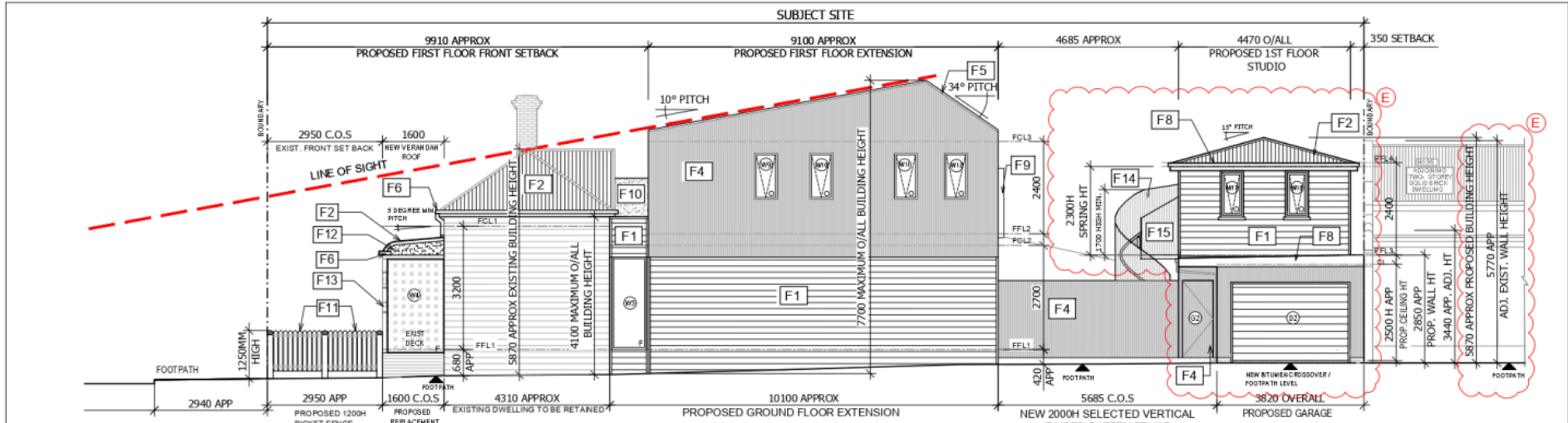
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SCALE	AS SHOWN
DRAWN	AL
DESIGN	-
CHECKED	SM
DRG. SIZE	A3

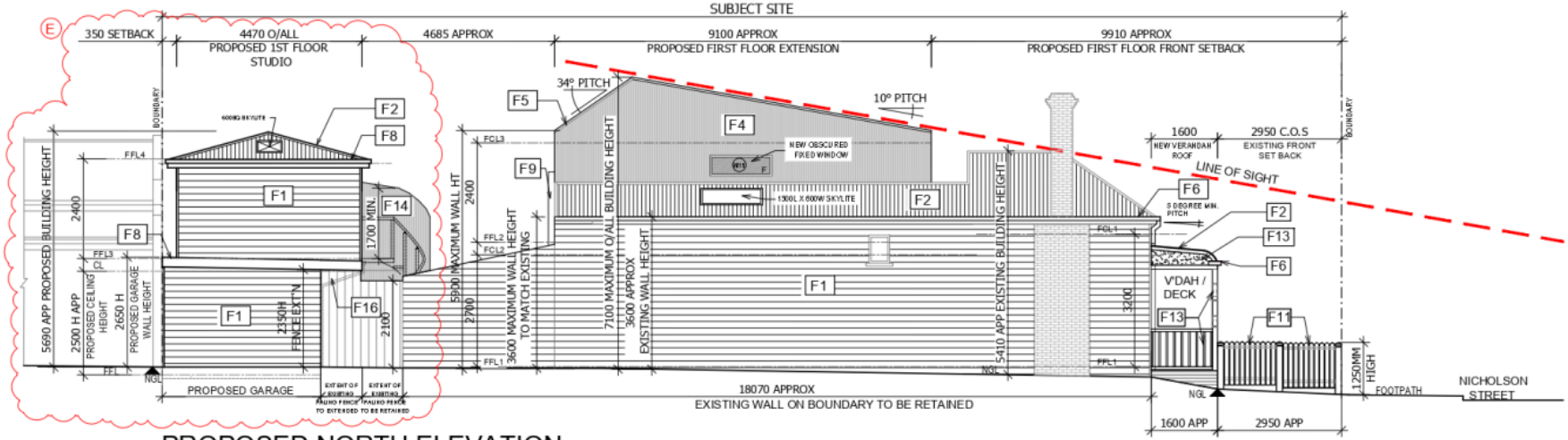
DRAWING NO.	ISSUE	SHEET NO.
4446	E	TP6-14



Attachment 2 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - S57B Advertising - Section 57A Amended Plans



**PROPOSED SOUTH ELEVATION**  
SCALE 1:100



**PROPOSED NORTH ELEVATION**  
SCALE 1:100

ABN 98026949042

**DWHAITKEN**  
ASSOCIATES PTY LTD

POSTAL ADDRESS  
PO BOX 5645 BURKLEE 5121

225 SWAN STREET RICHMOND 5121 ENTER BELL STREET  
TELEPHONE 9428 7797 FACSIMILE 9428 5645

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ISSUE	DATE	AMENDMENT
E	MAR '21	SECTION 57A PLANNING AMENDMENT
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B	JUNE '19	PLANNING PERMIT AMENDMENT
A	MAR '19	PLANNING PERMIT APPLICATION

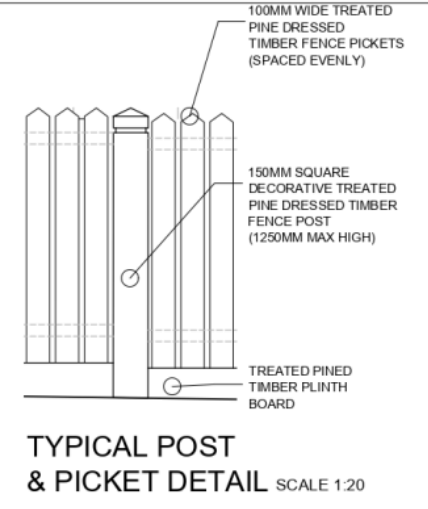
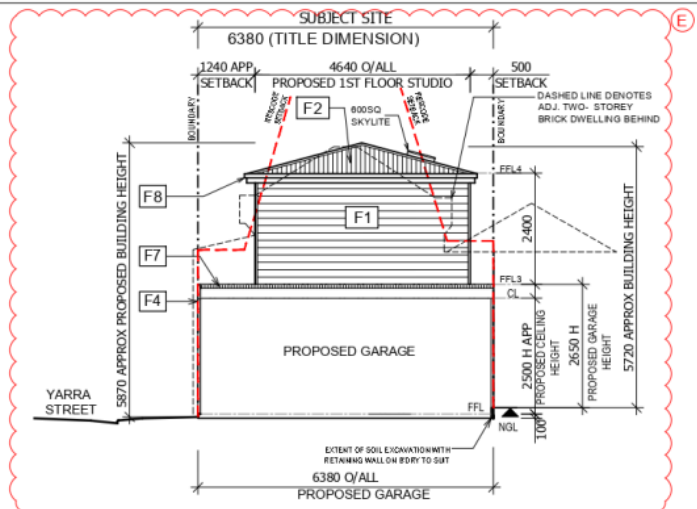
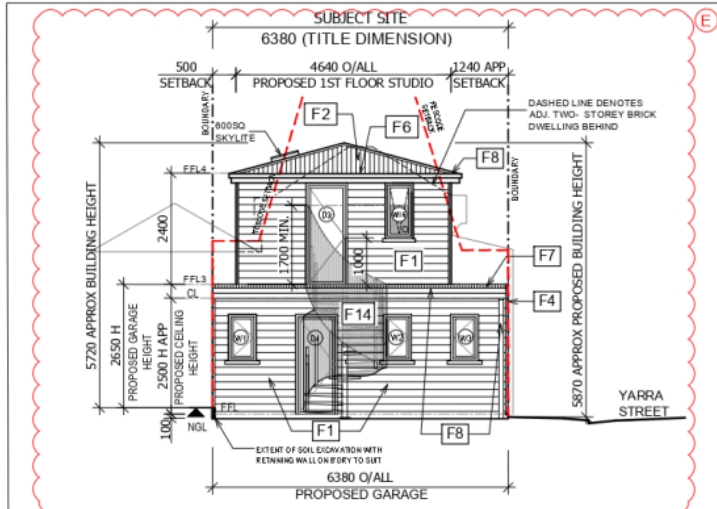
PROJECT  
PROPOSED EXTENSION & ALTERATIONS TO EXISTING DWELLING AT 196 NICHOLSON STREET, ABBOTSFORD

CLIENT  
MR MARTIN RYAN

TITLE  
PROPOSED ELEVATIONS

DATE	MAR 2019	NORTH
SCALE	A3 SHOWN	
DRAWN	AL	
DESIGN		
CHECKED	SM	
DRG. SIZE	A3	
TITLE	PROPOSED ELEVATIONS	
DRAWING NO.	4446	SHEET NO.
ISSUE	E	TP7-14

Attachment 2 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - S57B Advertising - Section 57A Amended Plans



PROPOSED WEST GARAGE/STUDIO ELEVATION

PROPOSED EAST GARAGE/STUDIO ELEVATION SCALE 1:100

DOOR & WINDOW SCHEDULE	
NO.	DESCRIPTION
D1	NEW 2100H X 920W TIMBER FRAMED SOLID CORE TIMBER DOOR AS SELECTED
D2	NEW 2100H X 3600W COLORBOND METAL PANEL LIFT DOOR AS SELECTED - MANOR RED - NOT ENCR OACH OUTSIDE OF TITLE BOUNDARY
D3	NEW 2100H X 820W TIMBER ALUMINIUM FRAMED BLACK POWDERCOATE FRAMED SOLID CORE TIMBER DOOR AS SELECTED
W1	NEW 900H X 600W TIMBER FRAMED DOUBLE GLAZED DOUBLE CASEMENT WINDOW AS SELECTED (PAINTED WITH TE TO MATCH WALL FINISH)
W2	NEW 900H X 600W TIMBER FRAMED DOUBLE GLAZED DOUBLE CASEMENT WINDOW AS SELECTED (PAINTED WITH TE TO MATCH WALL FINISH)
W3	NEW 900H X 600W TIMBER FRAMED DOUBLE GLAZED DOUBLE CASEMENT WINDOW AS SELECTED (PAINTED WITH TE TO MATCH WALL FINISH)
W4	NEW 2450H X 1450W ANODISED ALUMINIUM FIXED CLEAR GLAZED WINDOW /SCREEN
W5	NEW 2400H X 900W ALUMINIUM FRAMED BLACK POWDERCOATED OBSCURE FIXED GLAZED WINDOW
W6	NEW 1400H X 1800W STEEL FRAMED BLACK POWDERCOATED CASEMENT CLEAR GLAZED WINDOW
W7-W8	NEW 1200H X 900W ALUMINIUM FRAMED BLACK POWDERCOATED AWNING CLEAR GLAZED WINDOW
W9-W12	NEW 1200H X 600W ALUMINIUM FRAMED BLACK POWDERCOATED AWNING CLEAR GLAZED WINDOW
W13-W14	NEW 2100H X 900W ALUMINIUM FRAMED BLACK POWDERCOATED SHUGG CLEAR GLAZED WINDOW
W15	NEW 500H X 1500W ALUMINIUM FRAMED BLACK POWDERCOATED OBSCURE FIXED GLAZED WINDOW
W16	NEW 1200H X 600W TIMBER FRAMED DOUBLE GLAZED AWNING WINDOW. (RESTRICTED TO 125MM MAX OPENING WITH OBSCURE GLAZING TO 1.7m FROM FLOOR FINISH LEVEL. OPENABLE OBSCURED GLAZING IN ANY PART OF THE WINDOW BELOW 1.7m WILL NOT HAVE DIRECT VIEWS AS SPECIFIED IN RESCODE STANDARD A15. (PAINTED WHITE TO MATCH WALLS)
W17-W18	NEW 1200H X 600W TIMBER FRAMED DOUBLE GLAZED AWNING WINDOW. (PAINTED WHITE TO MATCH WALL FINISH)
WD1	NEW 2400H X 3500W STEEL FRAMED BLACK POWDERCOATED GLAZED DOORS & FIXED GLAZED WINDOW UNIT
G1	NEW 1200H X 1000W TIMBER PICKET ENTRY GATE
G2	NEW 2000H X 900W TIMBER SALT ENTRY GATE TO MATCH PROPOSED TIMBER SCREEN

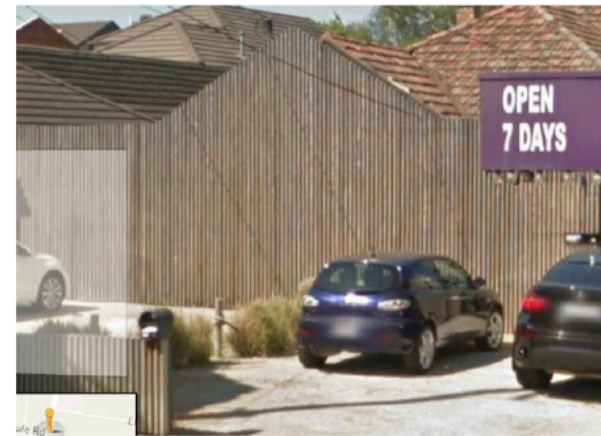


PHOTO EXAMPLE OF HARDWOOD VERTICAL TIMBER BATTEN WALL NOT IN SCALE

ABN 98006969082  
**ADWHAITKEN**  
 & ASSOCIATES PTY LTD  
 POSTAL ADDRESS  
 PO BOX 5943 BURKLEY 5121  
 225 SWAN STREET RICHMOND 5121 ENTER BELL STREET  
 TELEPHONE 9428 7797 FACSIMILE 9426 5067

**PLANNING PERMIT APPLICATION**

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ISSUE	DATE	AMENDMENT
E	MAR '21	SECTION 57A PLANNING AMENDMENT
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B	JUNE '19	PLANNING PERMIT AMENDMENT
A	MAR '19	PLANNING PERMIT APPLICATION

PROJECT  
 PROPOSED EXTENSION & ALTERATIONS TO EXISTING DWELLING AT 196 NICHOLSON STREET, ABBOTSFORD

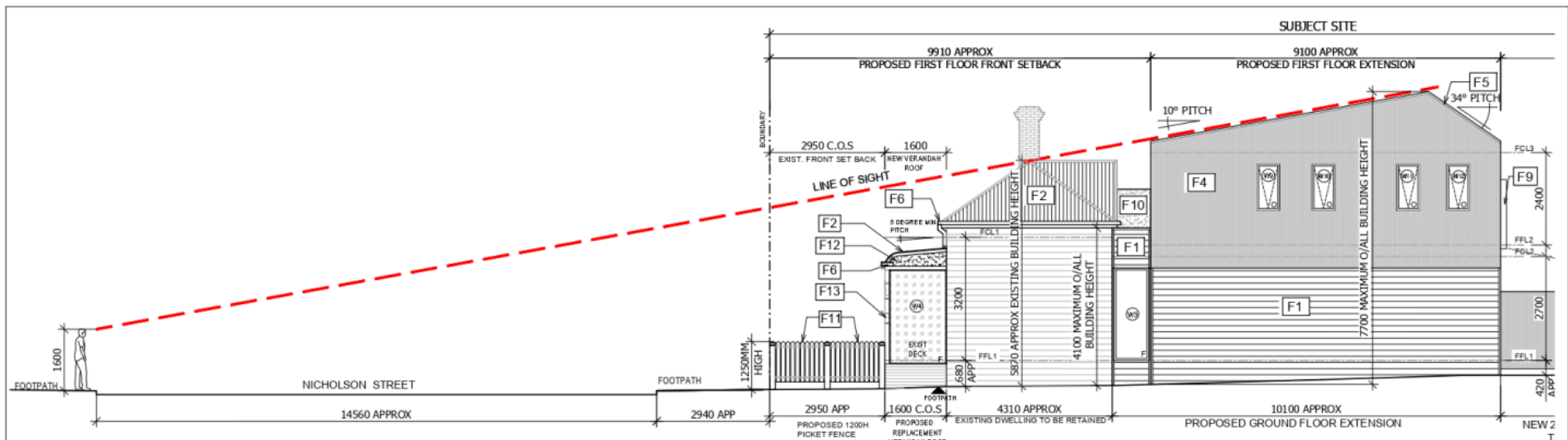
CLIENT  
 MR MARTIN RYAN

TITLE  
 PROPOSED ELEVATIONS DOOR & WINDOW SCHEDULE

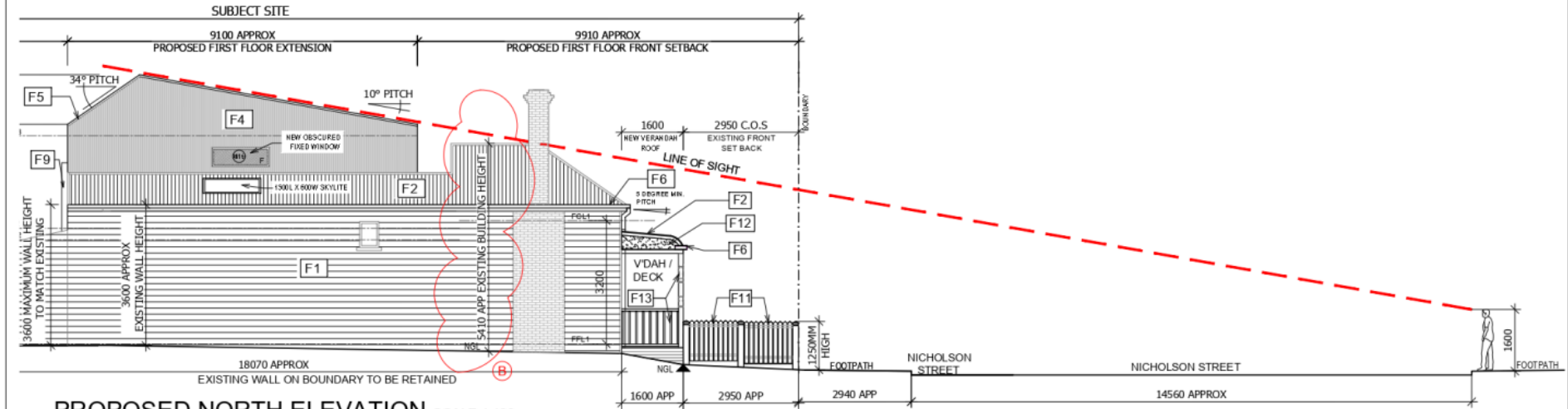
DATE	AUG 2017
SCALE	AS SHOWN
DRAWN	SM
DESIGN	-
CHECKED	SM
DRG. SIZE	A3

DRAWING NO.	ISSUE	SHEET NO.
4384	E	TP8-14

Attachment 2 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - S57B Advertising - Section 57A Amended Plans



**PROPOSED SOUTH ELEVATION**  
SCALE 1:100



**PROPOSED NORTH ELEVATION** SCALE 1:100

ABN 98009949042  
**DWHAITKEN**  
 & ASSOCIATES PTY LTD  
 POSTAL ADDRESS  
 PO BOX 5645 BURKLEIGH 5121  
 275 SWAN STREET RICHMOND 5121 ENTRC BELL STREET  
 TELEPHONE 9428 7707 FACSIMILE 9428 5649

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B	JUNE '19	PLANNING PERMIT AMENDMENT
A	MAR '19	PLANNING PERMIT APPLICATION
ISSUE	DATE	AMENDMENT

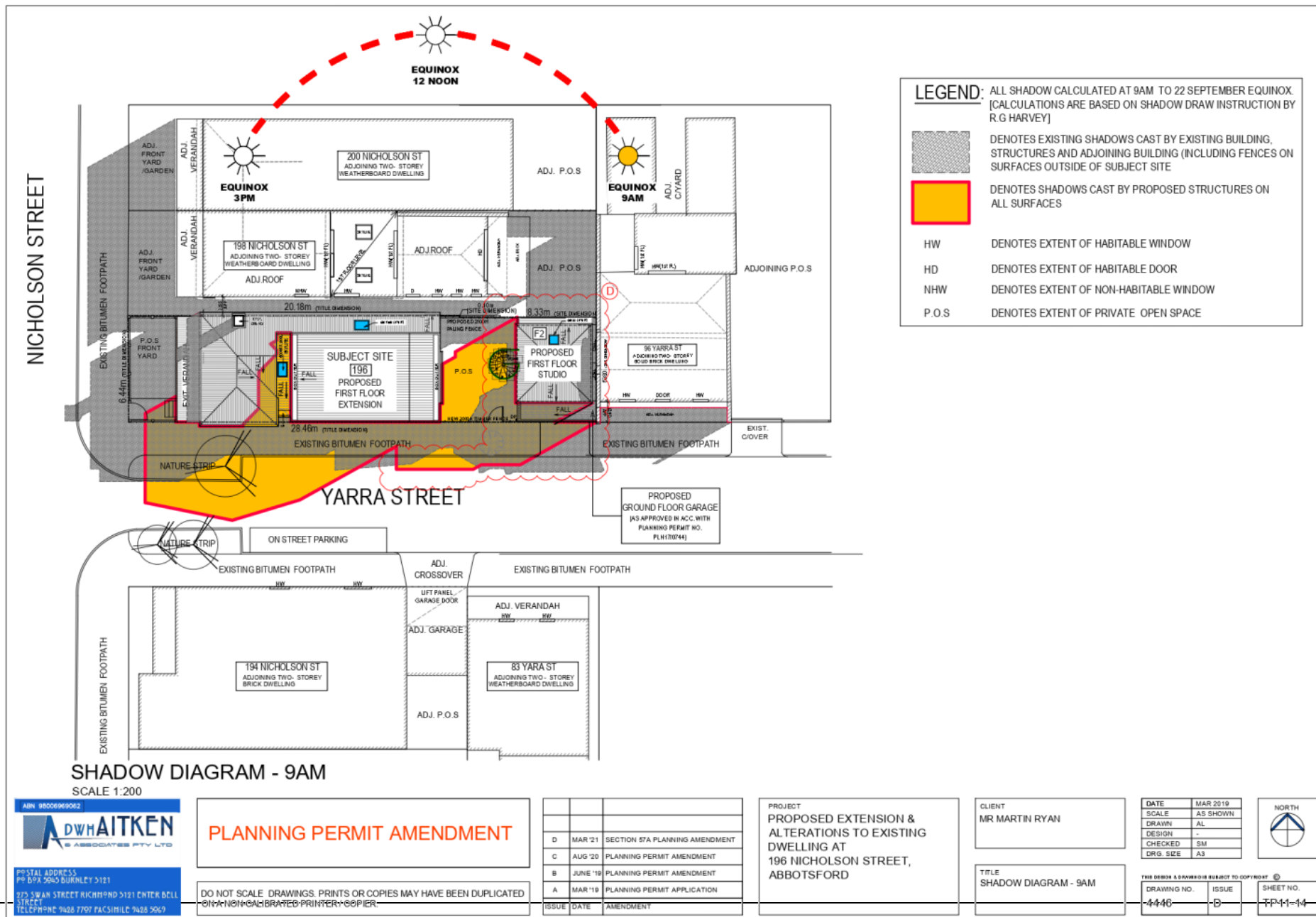
PROJECT  
 PROPOSED EXTENSION &  
 ALTERATIONS TO EXISTING  
 DWELLING AT  
 196 NICHOLSON STREET,  
 ABBOTSFORD

CLIENT  
 MR MARTIN RYAN

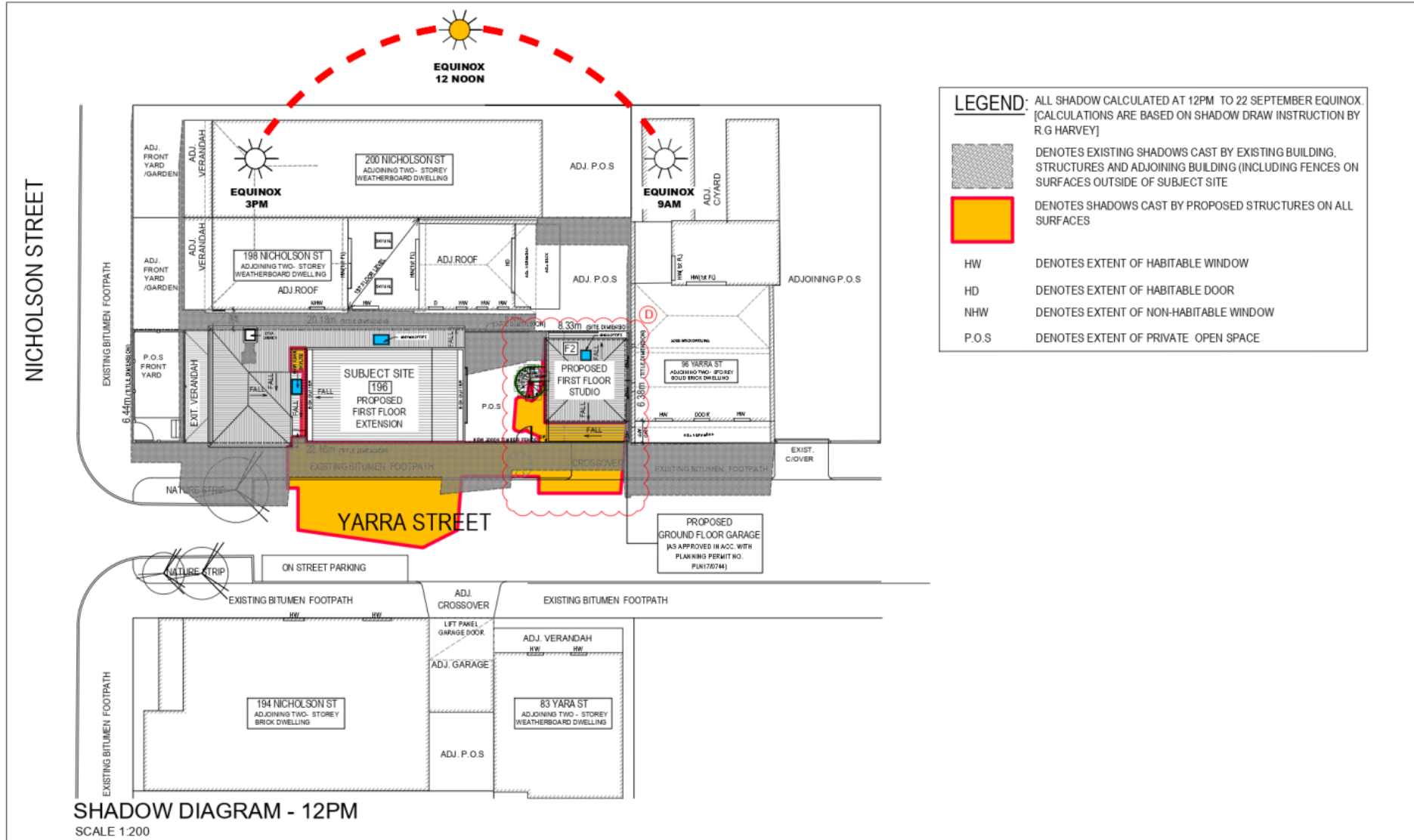
TITLE  
 PROPOSED ELEVATIONS  
 (LINE OF SIGHT)

DATE	MAR 2019	NORTH 			
SCALE	AS SHOWN				
DRAWN	AL				
DESIGN	-				
CHECKED	SM	THIS DESIGN & DRAWING IS SUBJECT TO COPYRIGHT ©			
ORG. SIZE	A3				
DRAWING NO.	4446	ISSUE	B	SHEET NO.	TP9-14

Attachment 2 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - S57B Advertising - Section 57A Amended Plans



Attachment 2 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - S57B Advertising - Section 57A Amended Plans



SHADOW DIAGRAM - 12PM  
SCALE 1:200

ABN 9800690902  
**ADWHAITKEN**  
 & ASSOCIATES PTY LTD  
 POSTAL ADDRESS  
 PO BOX 5040 BURKLEY 3121  
 225 SWAN STREET RICHMOND 3121 ENTIC BELL STREET  
 TELEPHONE 9428 7797 FACSIMILE 9428 5067

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PROJECT  
 PROPOSED EXTENSION &  
 ALTERATIONS TO EXISTING  
 DWELLING AT  
 196 NICHOLSON STREET,  
 ABBOTSFORD

CLIENT  
 MR MARTIN RYAN

TITLE  
 SHADOW DIAGRAM - 12PM

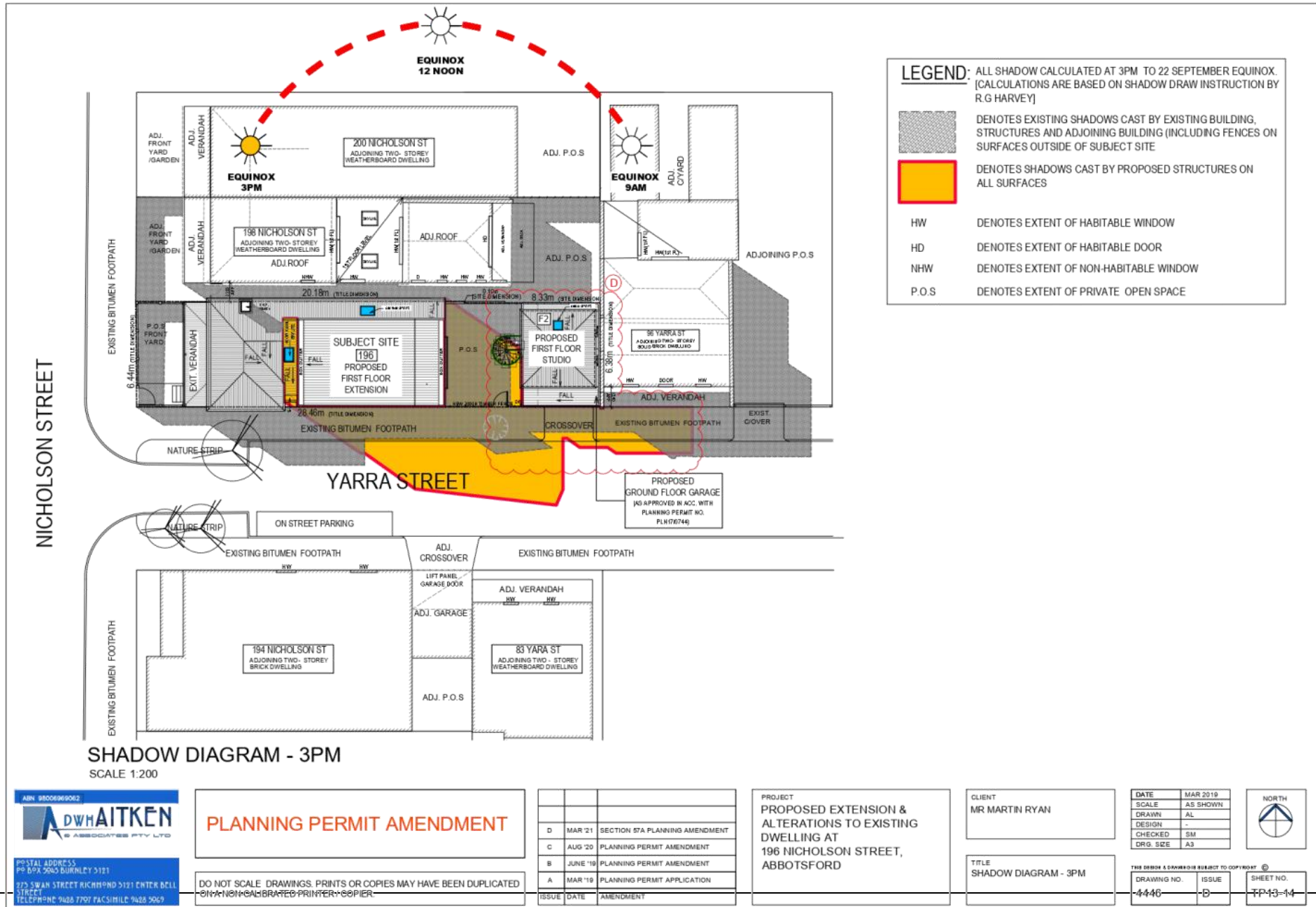
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DRAWN	AL
DESIGN	-
CHECKED	SM
DRG. SIZE	A3



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ADJOINING PROPERTY 200 NICHOLSON ST    ADJOINING PROPERTY 198 NICHOLSON ST    SUBJECT SITE 196 NICHOLSON STREET    YARRA STREET    ADJACENT PROPERTY 194 NICHOLSON STREET




REAR OF SUBJECT SITE  
196 NICHOLSON STREET



P2: EXISTING SOUTH ELEVATION  
(YARRA STREET STREETScape)  
NOT TO SCALE

ADJOINING PROPERTY  
96 YARRA STREET



P3: ADJOINING PROPERTY  
(96 YARRA STREET)  
NOT TO SCALE

REAR OF ADJACENT PROPERTY WITHIN  
YARRA STREET  
194 NICHOLSON STREET



P3: ADJACENT GARAGE OPPOSITE SUBJECT SITE  
(194 NICHOLSON STREET)  
NOT TO SCALE

ABN 98006969082



POSTAL ADDRESS  
PO BOX 5045 BURKLEY 3121  
275 SWAN STREET RICHMOND 3121 ENTER BELL STREET  
TELEPHONE 9428 7797 FACSIMILE 9428 5067

PLANNING PERMIT AMENDMENT

C	MAR '21	SECTION 57A PLANNING AMENDMENT
B	JUNE '19	PLANNING PERMIT AMENDMENT
A	MAR '19	PLANNING PERMIT APPLICATION
ISSUE	DATE	AMENDMENT

PROJECT  
PROPOSED EXTENSION & ALTERATIONS TO EXISTING DWELLING AT 196 NICHOLSON STREET, ABBOTSFORD

CLIENT  
MR MARTIN RYAN

TITLE  
EXISTING PHOTOS

DATE	MAR 2019
SCALE	AS SHOWN
DRAWN	AL
DESIGN	-
CHECKED	SM
DRG. SIZE	A3

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DRAWING NO.	ISSUE	SHEET NO.
4446	G	TP4-14

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### Attachment 3 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - Section 57A - Heritage Referral Comments

#### City of Yarra Heritage Advice on Section 57A Amendment

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<b>Application No.:</b>	PLN17/0744.02
<b>Address of Property:</b>	<b>196 Nicholson Street, Abbotsford</b>
<b>Planner:</b>	Emily Zeng
<b>Yarra Planning Scheme References:</b>	<ul style="list-style-type: none"><li>• Clause 15.03 Heritage</li><li>• Clause 21.05-1 Built Form (Heritage)</li><li>• Clause 22.02 Development Guidelines for sites subject to the Heritage Overlay</li><li>• Clause 43.01 Heritage Overlay</li><li>• Clause 59.07 Applications Under A Heritage Overlay</li></ul>
<b>Heritage Overlay No. &amp; Precinct:</b>	HO313 Charles Street Precinct
<b>Level of significance:</b>	Not contributory, constructed 1890-1900 (City of Yarra Review of Heritage Areas 2007 Appendix 8 (as updated from time to time))
<b>General description:</b>	Construction of a first-floor studio above the previously approved garage
<b>Drawing Nos.:</b>	Set of fourteen drawings, entitled "Proposed Extension & Alterations to Existing Dwelling At 196 Nicholson Street, Abbotsford" – Issue E, prepared by DWH Aitken, received by Council and dated Mar 2021

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#### CONTEXT IMAGES:



Above: Approved garage as constructed 2020



**Attachment 3 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - Section 57A - Heritage Referral Comments**



Above: Aerial of the subject site, taken Apr 2021, shows completed garage

**COMMENTS ON COMPLETED WORKS:**

As previously advised in November 2020, the completed garage does not appear to be fully in accordance with the approved plans. The colour of the garage door is incorrect and the timber wall battens do not appear to be the same as approved either.

**ASSESSMENT OF PROPOSED AMENDED WORKS:**

The proposed addition will be constructed as an upper floor level to the previously approved and constructed garage.

The primary heritage concern of the proposed addition is its appearance in the streetscape.

*Setback:*

The proposed upper floor addition will be setback to match the alignment of the front wall of no. 96 Yarra Street. This is considered an acceptable front setback.

The proposed addition will be setback from the adjoining wall of no.96 allowing the boundary wall to remain intact.

*Scale:*

The maximum height of the finished addition will be slightly higher than the ridge height of the adjoining property at no.96 Yarra Street. It is unlikely that the difference will be perceivable from the street frontage. The overall height of the addition is therefore acceptable.

*Building appearance and Roof form:*

The form and appearance of the proposed addition is acceptable as it:

- Respects the pattern, rhythm, orientation to the street, fenestration, roof form, materials and heritage character of the surrounding historic streetscape.
- Is articulated and massed to correspond with the traditional building form of the surrounding heritage properties.
- Will not dominate the heritage place.

*Spiral staircase:*

The appearance of the spiral staircase is of no heritage concern as it is anticipated that it will have very little visibility from the street.

**Attachment 3 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - Section 57A - Heritage Referral Comments**

**RECOMMENDATIONS:**

1. The colouring and finishes of the recently constructed garage do not appear to match those shown on the approved drawings. An inspection of the site must be carried out to verify if these works are legal.
2. On heritage grounds the works proposed in this application may be approved without specific heritage conditions.

**SIGNED:**



Diahnn McIntosh

**DATED: 19 May 2021**

**Attachment 4 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - S57B Advertising - Section 57A Clause 54 Assessment**

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**Our Reference : 4446**

**PLANNING REPORT - WRITTEN ASSESSMENT AGAINST RESCODE - CLAUSE 54  
PLANNING PERMIT SECTION 57A AMENDMENT APPLICATION - PLN17/0744 .01**

**Amended- MARCH 2021**

**PART DEMOLITION, PROPOSED GROUND / 1ST FLOOR ADDITIONS & ALTERATIONS TO  
REAR OF EXISTING SINGLE STOREY WEATHERBOARD DWELLING & 1ST FLOOR STUDIO  
ADDITION TO REAR GARAGE AT 196 NICHOLSON STREET, ABBOTSFORD.**

**CLAUSE 54.01  
NEIGHBOURHOOD & SITE DESCRIPTION & DESIGN RESPONSE**

**CLAUSE 54.01-1  
NEIGHBOURHOOD AND SITE DESCRIPTION**

The neighbourhood and site description may use a site plan, photographs or other techniques and must accurately describe:

- **In relation to the neighbourhood**
  - The built form, scale and character of surrounding development including front fencing.
  - Architectural and roof styles.
  - Any other notable features or characteristics of the neighbourhood.
- **In relation to the site**
  - Site shape, size, orientation and easements.
  - Levels of the site and the difference in levels between the site and surrounding properties.
  - Location of existing buildings on the site and on surrounding properties, including the location and height of walls built to the boundary of the site.
  - The use of surrounding buildings.
  - The location of secluded private open space and habitable room windows of surrounding properties which have an outlook to the site within 9 metres.
  - Solar access to the site and to surrounding properties.
  - Location of significant trees existing on the site and any significant trees removed from the site in the 12 months prior to the application being made, where known.
  - Any contaminated soils and filled areas, where known.
  - Views to and from the site.
  - Street frontage features such as poles, street trees and kerb crossovers.
  - Any other notable features or characteristics of the site.

**Complies**

**Comments**

**The subject site is rectangular in shape and located on the corner of Nicholson & Yarra Street Abbotsford**

**The existing building consist of a single storey period style weatherboard residence with a combination terracotta hipped roof & bull nose verandah's located along each street frontage.**

**The site has a minimal falls towards the front of the property, similar to adjoining properties.**

**The neighbourhood character of adjacent and adjoining properties along Nicholson and Yarra Streets from the subject site comprise of a variety of single and two storey solid brick and weatherboard dwellings, with a mix of Period, Edwardian and Victorian era style residences.**

**Existing roof forms identified on adjoining properties include hipped, gable and flat parapet style. Corrugated metal is the main roofing material amongst the neighbouring dwellings.**

**(Refer to drawings 4446-sheet TP1 for details)**

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<p><b>LAUSE 54.01-2</b>  <b>DESIGN RESPONSE</b>                  The design response must explain how the proposed design:</p> <ul style="list-style-type: none"> <li>• Derives from and responds to the neighbourhood and site description.</li> <li>• Meets the objectives of Clause 54.</li> <li>• Responds to any neighbourhood character features for the area identified in a local planning policy or a Neighbourhood Character Overlay.</li> <li>• The design response must include correctly proportioned street elevations or photographs showing the development in the context of adjacent buildings.</li> </ul>	<p><b>Complies</b></p> <p><b>Comments</b></p> <p><b>The property is zoned Neighbourhood Residential Zone [NRZ1] and located within a Heritage Overlay (HO313). No specific heritage controls apply to this site.</b></p> <p><b>The proposal shall comprise of the following ;</b></p> <p><b>The built-form of the proposed 1<sup>st</sup> floor studio addition shall be similar and tie in to the original building fabric. The proposed weatherboard clad walls and corrugated sheet hipped roof above will create a visual transition within the streetscape between the modern and traditional roof type forms present.</b></p> <p><b>The proposal will not dominate or diminish the existing streetscape and is setback 1.240 m within Yarra St to match the front wall of the adjoining abutting heritage dwelling (96 Yarra St) to the east.</b></p> <p><b>The proposal will be sighted below the building envelope guidelines in accordance with Clause 22.02 of the Yarra Planning Scheme. This is achieved as the overall building height is in proportion with the existing dwelling and similar to the adjoining heritage building to the east.</b></p> <p><b>The proposal shall comprise the following;</b></p> <ul style="list-style-type: none"> <li>• <b>Heritage Grade Z600 corrugated galvanised steel roof sheeting over hip roof</b></li> <li>• <b>Weatherboard cladding to first floor level external walls painted white to match existing finish.</b></li> <li>• <b>Timber framed awning windows to be of a 2:1 (height/width) proportion, similar to garage windows located on the internal west elevation.</b></li> </ul>
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	<p>All materials and colours selected shall match approved existing surfaces and finishes present on site. This will ensure our proposal is respectful of the surrounding heritage and will not dominate the street.</p> <p>Access to the 1st floor studio is via a new powdercoated steel framed spiral staircase located within the rear yard. It comprises open steel treads and 1.7m high timber screen with maximum 25% openings fixed to the perimeter and upper landing area to prevent overlooking.</p> <p>(Refer to drawings 4446 – sheets TP1, TP5-8 for details)</p>
<p><b>CLAUSE 54.02 NEIGHBOURHOOD CHARACTER</b></p>	
<p><b>CLAUSE 54.02-1 NEIGHBOURHOOD CHARACTER</b></p> <p><b>Objectives</b>                  To ensure that the design respects the existing neighbourhood character or contributes to a preferred neighbourhood character.</p> <p>To ensure that the design responds to the features of the site and the surrounding area.</p> <p><b>Standard A1</b></p> <ul style="list-style-type: none"> <li>The design response <b>must</b> be appropriate to the neighbourhood and the site.</li> <li>The proposed design <b>must</b> respect the existing or preferred neighbourhood character and respond to the features of the site.</li> </ul> <p><b>Decision Guidelines</b>                  Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> <li>Any relevant neighbourhood character objective, policy or statement set out in this scheme.</li> <li>The neighbourhood and site description.</li> <li>The design response.</li> </ul>	<p><b>Complies</b></p> <p><b>Comments</b></p> <p>The neighbourhood character of adjacent and adjoining properties along Nicholson &amp; Yarra Streets from the subject site comprise of a variety of single &amp; two- storey solid brick and weatherboard dwellings, with a mix of Period, Edwardian and Victorian era style residences.</p> <p>The Neighbourhood character will not be affected by this proposal. The proposed 1st floor studio addition will be adequately setback within the Yarra St streetscape and constructed with a traditional pitch with hip roof form, located below the required line of sight. This will provide an enhanced oblique view to the adjoining heritage building on the east side and is further visually recessive within the streetscape</p> <p>The proposed 1<sup>st</sup> floor studio addition will be constructed with materials and finishes that will match approved existing surfaces and finishes present on site. This will ensure our proposal is respectful of the surrounding heritage and will not dominate the street .</p>

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<p><b>CLAUSE 54.02-2 INTEGRATION WITH THE STREET</b></p> <p><b>Objective</b> To integrate the layout of development with the street.</p> <p><b>Standard A2</b></p> <ul style="list-style-type: none"> <li>Dwellings <u>should</u> be orientated to front existing and proposed streets</li> <li>High fencing in front of dwellings <u>should</u> be avoided if practicable. Dwellings <u>should</u> be designed to promote the observation of abutting streets and any abutting public open spaces.</li> </ul> <p><b>Decision Guidelines</b></p> <p><i>Before deciding on an application, the responsible authority must consider:</i></p> <ul style="list-style-type: none"> <li>Any relevant neighbourhood character objective, policy or statement set out in this scheme.</li> <li>The design response.</li> </ul>	<p><b>Complies</b></p> <p><b>Comments</b></p> <p>The integration with the street will remain unaffected, as the proposed first floor addition will be located to the rear of the site and will be significantly setback and partially visible from the existing Nicholson St streetscape.</p> <p>The built-form of the proposed 1<sup>st</sup> floor studio addition shall be similar and tie in to the original building fabric. The proposed hip roof will provide an enhanced oblique view to the adjoining heritage building on the east side and is further visually recessive within the streetscape. Weatherboard cladding to first floor level ties to the rear dwelling addition and existing streetscape.</p> <p>There are similar two storey developments which abuts the subject site, 196 Nicholson St located to the north and 96 Yarra St located to the rear, which are both consistent with this proposal.</p> <p>(Refer to drawings 4446 sheets TP1, TP4-8 for details)</p>
<p><b>CLAUSE 54.03 SITE LAYOUT AND BUILDING MASSING</b></p>	
<p><b>CLAUSE 54.03-1 STREET SETBACK</b></p> <p><b>Objective</b> To ensure that setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site</p> <p><b>Standard A3</b> Walls of buildings <u>should</u> be setback from streets the distance specified in Table A1 as follows:</p> <ul style="list-style-type: none"> <li>Where there are existing buildings on both abutting lots facing the same street, and the site is not on a corner, the average distance of front walls of existing adjacent buildings facing the same street or 9m, whichever is lesser.</li> <li>Where there is an existing buildings on one abutting lot facing the same street, and no existing building on the other abutting lot facing the same street and the site is not on a corner, the same distance as the front wall of the existing adjacent building or 9m, whichever is lesser.</li> </ul>	<p><b>Front Street Setback - Not applicable</b></p> <p><b>Side Street Setback - Variation Required</b></p> <p><b>Comments</b></p> <p>The existing side street setback to the existing garage shall remain unchanged.</p> <p>The proposed 1st floor studio addition will be setback 1.240 metres from Yarra St and will match the existing front setback of the adjoining heritage dwelling to the east - [96 Yarra St].</p>

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<ul style="list-style-type: none"> <li>• Where there is no existing buildings on either abutting lot facing the same street and the site is not on a corner, 6m for streets in a Road Zone Category 1, and 4m for other streets.</li> <li>• Where the site is on a corner, and there is a building on the abutting lot facing the front street, the same distance as the setback of the front wall of the existing abutting building facing the front street, or 9m whichever is lesser.</li> <li>• Where the site is on a corner and there is no building on the abutting lot facing the front street, 6m for streets in a Road Zone Category 1, and 4m for other streets.</li> <li>• Buildings should be setback from the side street of a corner site, the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street, or 2m, whichever is the lesser.</li> </ul> <p><b>Note 1:</b> for a corner lot, the frontage or front street is the smaller frontage. For lots with equal frontage to two streets, the Council may nominate the frontage or front street.</p> <p><b>Note 2:</b> Porches, pergolas and verandahs that are less than 3.6m high and eaves may encroach not more than 2.5m into the setbacks of this standard.</p> <p><b>Decision Guidelines</b>          Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> <li>• Any relevant neighbourhood character objective, policy or statement set out in this scheme.</li> <li>• The design response.</li> <li>• Whether a different setback would be more appropriate taking into account the prevailing setbacks of existing buildings on nearby lots.</li> <li>• The visual impact of the building when viewed from the street and adjoining properties.</li> <li>• The value or retaining vegetation within the front setback.</li> </ul>	<p><b>This proposal is sighted below the building envelope guidelines in accordance with Clause 22.02 of the Yarra Planning Scheme’.</b></p> <p><b>(Refer to drawings 4446 sheets TP1, TP4-8 for details)</b></p>
<p><b>CLAUSE 54.03-2 BUILDING HEIGHT</b></p> <p><b>Objective</b>          To ensure that the height of the buildings respects the existing or preferred neighbourhood character</p> <p><b>Standard A4</b></p> <ul style="list-style-type: none"> <li>• The maximum building height <u>should</u> not exceed 9m, unless the slope of the natural ground level at any cross section wider than 8m of the site of the building is 2.5 degrees or more, in which case the maximum building height should not exceed 10m.</li> <li>• Change of building height between existing buildings and new buildings <u>should</u> be graduated.</li> </ul> <p><b>Decision Guidelines</b>          Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> <li>• Any relevant neighbourhood character objective, policy or statement set out in this scheme.</li> <li>• The design response.</li> <li>• The effect of the slope of the site on the height of the building.</li> <li>• The relationship between the proposed building height and the height of existing adjacent buildings.</li> <li>• The visual impact of the building when viewed from the street and adjoining properties.</li> </ul>	<p><b>Complies</b></p> <p><b>Comments</b></p> <p><b>The proposed maximum building height of the 1st floor studio addition will be 5.870 metres high. This will be sighted below the building envelope guidelines in accordance with Clause 22.02 of the Yarra Planning Scheme’.</b></p> <p><b>All proposed building heights do not exceed the 9 metre high maximum allowed and are compliant with standard.</b></p> <p><b>(Refer to drawings 4446 –sheets TP7-8 for details)</b></p>

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<p><b>CLAUSE 54.03-3 SITE COVERAGE</b></p> <p><b>Objective</b> To ensure that the site coverage respects the existing or preferred neighbourhood character and responds to the features of the site</p> <p><b>Standard A5</b></p> <ul style="list-style-type: none"> <li>The site area covered by buildings <u>should</u> not exceed 60%.</li> </ul> <p><b>Decision Guidelines</b> Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> <li>Any relevant neighbourhood character objective, policy or statement set out in this scheme.</li> <li>The design response.</li> <li>The existing site coverage and any constraints imposed by existing development or the features of the site.</li> <li>The site coverage of adjacent properties.</li> <li>The effect of the visual bulk of the building and whether this is acceptable in the neighbourhood.</li> </ul>	<p><b>Not Applicable</b></p> <p><b>Comments</b> <b>The proposed external spiral staircase within the rear yard to allow access to the 1<sup>st</sup> floor studio is of minimal size and unroofed. Therefore, the total site coverage for this development remains unchanged. - 129.70 m<sup>2</sup> (73.26 %)</b></p> <p><b>(Refer to drawings 4446 – Sheet TP1 for details.)</b></p>
<p><b>CLAUSE 54.03-4 PERMEABILITY</b></p> <p><b>Objectives</b> To reduce the impact of increased stormwater run-off on the drainage system.</p> <p>To facilitate on-site stormwater infiltration</p> <p><b>Standard A6</b></p> <ul style="list-style-type: none"> <li>At least 20 % of the site <u>should</u> not be covered by impervious surfaces.</li> </ul> <p><b>Decision Guidelines</b> Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> <li>The design response</li> <li>The existing site coverage and any constraints imposed by existing development or the features of the site.</li> <li>The capacity of the drainage network to accommodate additional stormwater.</li> <li>The capacity of the site to absorb run-off.</li> <li>The practicality of achieving at least 20 per-cent site coverage of pervious surfaces, particularly on lots of less than 300m<sup>2</sup>.</li> </ul>	<p><b>Complies</b></p> <p><b>Comment</b></p> <p><b>The permeability remains unchanged at 26.69 % and compliant to standard A6.</b></p> <p><b>This has been achieved by retaining the existing front garden and lawn areas and the removal of hard concrete surfaces to the rear private open spaces to be replaced with new lawn and garden areas.</b></p> <p><b>The proposed rear open spiral staircase will also allow stormwater run-off to discharge between the gaps to the existing permeable ground level below.</b></p> <p><b>These measures will further reduce the impact of stormwater run-off on the current drainage system. The proposed dwelling additions will be connected into the existing stormwater system.</b></p>



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<p><b>CLAUSE 54.03-5 ENERGY EFFICIENCY PROTECTION</b></p> <p><b>Objectives</b>                  To achieve and protect energy efficient dwellings.                  To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy.</p> <p><b>Standard A7</b>                  Buildings <u>should</u> be:</p> <ul style="list-style-type: none"> <li>- Orientated to make appropriate use of solar energy.</li> <li>- Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced.</li> </ul> <ul style="list-style-type: none"> <li>• Living areas and private open space <u>should</u> be located on the north side of the dwelling, if practicable.</li> <li>• Dwellings <u>should</u> be designed so that solar access to north-facing windows is maximised.</li> </ul> <p><b>Decision Guidelines</b>                  Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> <li>• The design response</li> <li>• The size, orientation and slope of the lot.</li> <li>• The existing amount of solar access to abutting properties.</li> <li>• The availability of solar access to north facing windows on the site.</li> </ul>	<p><b>Not Applicable</b></p> <p><b>Comments</b></p> <p><b>The proposed 1st floor studio addition is exempt from this clause, however, the proposal shall incorporate double glazed windows and skylights to the main studio area to take advantage of north facing light.</b></p> <p><b>All proposed external timber framed walls; floors and roofs will be adequately insulated in accordance with relevant Australian standards.</b></p>
<p><b>CLAUSE 54.03-6 SIGNIFICANT TREES</b></p> <p><b>Objectives</b>                  To encourage development that respects the landscape character of the neighbourhood.</p> <p>To encourage the retention of significant trees on the site</p> <p><b>Standard A8</b></p> <ul style="list-style-type: none"> <li>• Development <u>should</u> provide for the retention or planting of trees, where these are part of the neighbourhood character.</li> <li>• Development <u>should</u> provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made.</li> </ul> <p><b>Decision Guidelines</b>                  Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> <li>• Any relevant neighbourhood character objective, policy or statement set out in this scheme.</li> <li>• The design response.</li> <li>• The health of any trees that were removed or are proposed to be removed.</li> <li>• Whether a tree was removed to gain a development advantage.</li> </ul>	<p><b>Not Applicable</b></p> <p><b>Comments</b></p> <p><b>No existing trees will be removed within the site.</b></p>

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<p><b>CLAUSE 54.03-7</b></p> <p><b>PARKING</b></p> <p><b>Objective</b> To ensure that car parking is adequate for the needs of residents.</p> <p><b>Standard A9</b></p> <p>Two car spaces <u>should</u> be provide per dwelling with:</p> <ul style="list-style-type: none"> <li>• one space at least 6m x 3.5m and covered or capable of being covered.</li> <li>• One space at least 4.9m x 2.6m.</li> <li>• If the car spaces are in a garage, car port or otherwise constrained by walls, a double space may have an internal width of 5.5m.</li> <li>• A building may project into a car space if it is at least 2.1m above the space.<b>Note:</b> the requirements of this standard do not apply to extensions to existing dwellings.</li> </ul> <p><b>Decision Guidelines</b> Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> <li>• The likely needs of users</li> <li>• The practicality of providing car parking on the site, particularly for lots of less than 300 square metres.</li> <li>• The reduction of on-street car parking spaces resulting from the provision of car parking on the site, particularly for lots of less than 300 square metres.</li> <li>• The availability of public transport and on-street parking.</li> <li>• Any relevant local planning policy or parking precinct plan.</li> </ul>	<p><b>Complies</b></p> <p><b>Comments</b></p> <p><b>The subject property provides 1 secure and covered car spaces within the site, fully accessible via an existing crossover within Yarra Street.</b></p> <p><b>This contributes to the reduction of on street car parking within Yarra Street.</b></p>
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<p><b>CLAUSE 54.04 AMENITY IMPACTS</b></p>	
<p><b>CLAUSE 54.04-1 SIDE AND REAR SETBACKS</b></p> <p><b>Objective</b> To ensure that the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.</p> <p><b>Standard A10</b></p> <ul style="list-style-type: none"> <li>New building not on, or within 150mm of boundary <u>should</u> be setback from side or rear boundaries:             <ul style="list-style-type: none"> <li>1m, plus 0.3m for every metre height over 3.6m up to 6.9m, plus 1m for every metre height over 6.9m.</li> </ul> </li> <li>Sunblinds, verandahs, porches, eaves, gutters etc may encroach not more than 0.5m into the setbacks of this standard.</li> <li>Landings with an area of not more than 2m<sup>2</sup>, and less than 1m high, stairways, ramps, pergolas, shade sails and carports may encroach into the setbacks of this standard.</li> </ul> <p><b>Decision Guidelines</b> <i>Before deciding on an application, the responsible authority must consider:</i></p> <ul style="list-style-type: none"> <li>Any relevant neighbourhood character objective, policy or statement set out in this scheme.</li> <li>The design response.</li> <li>The impact on the amenity of the habitable room windows and secluded private open space of existing dwellings.</li> <li>Whether the wall is opposite an existing or simultaneously constructed wall built to the boundary.</li> <li>Whether the wall abuts a side or rear lane.</li> </ul>	<p><b>Rear setback - Variation Required Side Setbacks- Variation Required</b></p> <p><b>Comments</b> <b>This proposal has taken into consideration both the adjoining secluded private open space and habitable room windows to the north and the adjoining solid brick dwelling wall that abuts the east boundary. This proposal further minimizes the impact on the amenity to these areas with the construction of the 1<sup>st</sup> floor addition setback 500mm from the north and 350mm from the east boundaries respectively.</b></p> <p><b>Overall building height is modified in proportion with the existing dwelling and similar to the adjoining heritage building to the east. This will ensure the proposal is sighted below the required building envelope with Clause 22.02 of the Yarra Planning Scheme<sup>1</sup>.</b></p> <p><b>The proposed studio walls will be located and setback adequately to ensure that there are minimal to no impacts in amenity to any adjoining or surrounding dwellings.</b></p> <p><b>No proposed ground floor walls shall be located opposite any adjacent existing habitable room windows and private open space areas, nor cast any shadows into surrounding or adjoining properties.</b></p> <p><b>(Refer to drawing 4446 sheets TP1, TP4-8 for details)</b></p>
<p><b>CLAUSE 54.04-2 WALLS ON BOUNDARIES</b></p> <p><b>Objective</b> To ensure that the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.</p> <p><b>Standard A11</b></p> <ul style="list-style-type: none"> <li>New wall on or within 150mm of a side or rear boundary of a lot, or</li> </ul>	<p><b>Not Applicable</b></p> <p><b>Comments</b> <b>No boundary walls are proposed for this development</b> <b>(Refer to drawing 4446 sheets TP1, TP4-8 for details)</b></p>

**Attachment 4 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - S57B Advertising - Section 57A Clause 54 Assessment**

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<p>a carport on or within 1m of a side or rear boundary <u>should</u> not abut the boundary for a length of more than:</p> <ul style="list-style-type: none"> <li>• 10m plus 25% of the remaining length of the boundary of an adjoining lot; or</li> <li>• The length of an existing or simultaneously constructed wall or carport whichever is the greater.</li> <li>• A new wall or carport may fully abut a side or rear boundary where the slope and retaining walls would result in the effective height of the wall or carport being less than 2m on the abutting property boundary.</li> <li>• A building on a boundary includes a building up to 200mm from a boundary.</li> <li>• New wall on or within 200mm of a side or rear boundary of a lot, or a carport on or within 1m of a side or rear boundary <u>should</u> not exceed an average of 3.2 m height, with no part higher than 3.6m, unless abutting a higher existing or simultaneously constructed wall.</li> </ul> <p><b>Decision Guidelines</b>  <i>Before deciding on an application, the responsible authority must consider:</i></p> <ul style="list-style-type: none"> <li>• Any relevant neighbourhood character objective, policy or statement set out in this scheme.</li> <li>• The design response.</li> <li>• The extent to which wall on boundaries are part of the neighbourhood character.</li> <li>• The visual impact of the building when viewed from adjoining properties.</li> <li>• The impact on the amenity of existing dwellings.</li> <li>• The opportunity to minimise the length of walls on boundaries by aligning a new wall on a boundary with an existing wall on a lot of an adjoining property.</li> <li>• The orientation of the boundary that the wall is being built on.</li> <li>• The width of the lot.</li> <li>• Whether the wall abuts a side or rear lane.</li> <li>• The need to increase the wall height to screen a box gutter.</li> </ul>	
<p><b>CLAUSE 54.04-3</b>  <b>DAYLIGHT TO EXISTING WINDOWS</b>  <b>Objective</b>                  To allow adequate daylight into existing habitable room windows.</p> <p><b>Standard A12</b></p> <ul style="list-style-type: none"> <li>• Buildings opposite an existing habitable room window <u>should</u> provide for a light court to the existing window, of at least 3m<sup>2</sup> &amp; 1m clear to the sky. The area may include land on the abutting lot.</li> <li>• Walls or carports more than 3m height opposite an existing habitable room window <u>should</u> be setback from the window at least 50% of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window.</li> <li>• <b>Note:</b> Where the existing window is above ground level, the wall height is measured from the floor level of the room containing the window.</li> <li>• <b>Decision Guidelines</b> -Before deciding on an application, the responsible authority must consider:                         <ul style="list-style-type: none"> <li>• The design response.</li> <li>• The extent to which the existing dwelling has provided for reasonable daylight access to its habitable rooms through the siting and orientation of its habitable room windows.</li> <li>• The impact on the amenity of existing dwellings.</li> </ul> </li> </ul>	<p><b>Not Applicable</b></p> <p><b>Comments</b></p> <p><b>There are no existing ground floor windows opposite to this proposal.</b></p>

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<p><b>CLAUSE 54.04-4 NORTH FACING WINDOWS</b></p> <p><b>Objective</b> To allow adequate solar access to existing north facing habitable room windows.</p> <p><b>Standard A13</b></p> <ul style="list-style-type: none"> <li>If a north-facing habitable room window of an existing dwelling is within 3m of a boundary of an abutting lot, a building <u>should</u> be setback:             <ul style="list-style-type: none"> <li>1m, plus 0.6m for every metre height over 3.6m up to 6.9m, plus 1m for every metre height over 6.9m, for a distance of 3m from the edge of each side of the window.</li> </ul> </li> </ul> <p><b>Note:</b> A north facing window is a window with an axis perpendicular to its surface orientated north 20 degrees west to north 30 degrees east.</p> <p><b>Decision Guidelines</b> Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> <li>The design response.</li> <li>Existing sunlight on the north-facing habitable room window of the existing dwelling</li> <li>The impact on the amenity of existing dwellings.</li> </ul>	<p><b>Not Applicable</b></p> <p><b>Comments</b></p> <p><b>There are no existing north facing windows opposite to this proposal.</b></p>
<p><b>CLAUSE 54.04-5 OVERSHADOWING OPEN SPACE</b></p> <p><b>Objective</b> To ensure buildings do not unreasonably overshadow existing secluded private open space.</p> <p><b>Standard A14</b></p> <ul style="list-style-type: none"> <li>Where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75%, or 40m<sup>2</sup> with a minimum dimension of 3m, whichever is the lesser area, or the secluded open space <u>should</u> receive a minimum of 5 hours sunlight between 9am and 3pm at 22 September.</li> <li>If existing sunlight to the secluded private open space of a dwelling is less than the requirements of this standard, the amount of sunlight <u>should not</u> be further reduced.</li> </ul> <p><b>Decision Guidelines</b> Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> <li>The design response.</li> <li>The impact on the amenity of existing dwellings.</li> <li>Existing sunlight penetration to the secluded private open space of the existing dwelling.</li> <li>The time of day that sunlight is available to the secluded private open space of the existing dwelling.</li> <li>The effect of a reduction in sunlight on the existing use of the secluded private open space.</li> </ul>	<p><b>Complies</b></p> <p><b>Comments</b></p> <p><b>There will be no impact of overshadowing to any adjoining or surrounding properties from the proposal.</b></p> <p><b>The proposed 1st floor studio addition will create some minor additional overshadowing within the secluded rear private open space of the subject property between 9am and 12pm only.</b></p> <p><b>(Refer to drawing 4446- sheets TP11-13 for details)</b></p>

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<p><b>CLAUSE 54.04-6 OVERLOOKING</b></p> <p><b>Objective</b> To limit views into existing secluded private open space and habitable room windows.</p> <p><b>Standard A15</b></p> <ul style="list-style-type: none"> <li>Habitable room windows, balconies, terraces etc <u>should</u> be located and designed to avoid direct view to secluded private open space and habitable room windows of an existing dwelling within 9m distance, and a 45 degree arc from the window, balcony etc.</li> <li>The window, balcony etc may:             <ul style="list-style-type: none"> <li>Be offset at least 1.5m from the edge of one window to the edge of the other; or</li> <li>Have sill heights, obscure glazing or permanent screens of at least 1.7m above floor level.</li> </ul> </li> <li>Obscure glazing may be openable provided it does not allow direct views.</li> <li><b>Note:</b> This standard does not apply to a new habitable room window, balcony, terrace etc which faces a property boundary where there is a visual barrier at least 1.8m height and the floor level of the habitable room, balcony, terrace etc is less than 0.8m above ground level at the boundary.</li> </ul> <p><b>Decision Guidelines</b> Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> <li>The design response.</li> <li>The impact on the amenity of the secluded private open space or habitable room window.</li> <li>The existing extent of overlooking into the secluded private open space and habitable room windows of existing dwellings.</li> <li>The internal daylight to and amenity of the proposed dwelling.</li> </ul>	<p><b>Complies</b></p> <p><b>Comments</b></p> <p><b>There is no overlooking from this proposal.</b></p> <p><b>This is achieved with a 1.7m high timber screen with maximum of 25% opening fixed to the perimeter and upper landing area of proposed spiral staircase.</b></p> <p><b>The proposed 1st floor studio west facing window shall be obscured 1.7m above FFL. These measures shall prevent overlooking.</b></p> <p><b>(Refer to drawing 4446 sheets TP1,TP4 -8 for details)</b></p>
<p><b>CLAUSE 54.05 ON-SITE AMENITY AND FACILITIES</b></p>	
<p><b>CLAUSE 54.05-1 DAYLIGHT TO NEW WINDOWS</b></p> <p><b>Objective</b> To allow adequate daylight into new habitable room windows.</p> <p><b>Standard A16</b></p> <ul style="list-style-type: none"> <li>A window in a habitable room <u>should</u> be located to face:             <ul style="list-style-type: none"> <li>an outdoor space clear to the sky or a light court with a minimum area of 3m<sup>2</sup> and minimum dimension of 1m, not including land on an abutting lot, or</li> <li>a verandah provided it is open for at least 1/3<sup>rd</sup> of its perimeter, or</li> <li>a carport provided it has two or more open sides and is open for at least 1/3<sup>rd</sup> of its perimeter.</li> </ul> </li> </ul> <p><b>Decision Guidelines</b> Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> <li>The design response.</li> <li>Whether there are other windows in the habitable room which have access to daylight.</li> </ul>	<p><b>Complies</b></p> <p><b>Comments</b></p> <p><b>All new habitable windows are located to face an outdoor clear space compliant with this standard.</b></p> <p><b>(Refer to drawing 4446 sheets TP1,TP4 -8 for details)</b></p>

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<p><b>CLAUSE 54.05-2 PRIVATE OPEN SPACE</b></p> <p><b>Objective</b></p> <p>To provide adequate private open space for the reasonable recreation and service needs of residents.</p> <p><b>Standard A17</b></p> <ul style="list-style-type: none"> <li>• A dwelling <u>should</u> have private open space of:             <ul style="list-style-type: none"> <li>- 80m<sup>2</sup> or 20% of the lot area, whichever is the lesser, but not less than 40m<sup>2</sup>.</li> <li>- At least one part of the private open space <u>should</u> consist of secluded private open space with a minimum area of 25m<sup>2</sup> and a minimum dimension of 3m at the side or rear of the dwelling, with convenient access from a living room.</li> </ul> </li> </ul> <p><b>Decision Guidelines</b></p> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> <li>• The design response.</li> <li>• The useability of the private open space, including its size and accessibility.</li> <li>• The availability of and access to public open space.</li> <li>• The orientation of the lot to the street and the sun.</li> </ul>	<p><b>Complies</b></p> <p><b>Comments</b></p> <p><b>Private Open Space area of 42.73 m2, equates to 24.14 % of the lot area shall remain unchanged and compliant to standard A6.</b></p> <p><b>(Refer to drawing 4446 sheets TP1, TP4 -8 for details)</b></p>
<p><b>CLAUSE 54.06 DETAILED DESIGN</b></p> <p><b>CLAUSE 54.06-1 DESIGN DETAIL</b></p> <p><b>Objective</b></p> <p>To encourage design detail that respects the existing or preferred neighbourhood character.</p> <p><b>Standard A19</b></p> <ul style="list-style-type: none"> <li>• The design of buildings <u>should</u> respect the existing or preferred neighbourhood character, including:             <ul style="list-style-type: none"> <li>- facade articulation and detailing;</li> <li>- window and door proportions;</li> <li>- roof form; and</li> <li>- verandahs, eaves and parapets.</li> </ul> </li> <li>• Garages and carports should be visually compatible with the development and the existing or preferred neighbourhood character.</li> </ul> <p><b>Decision Guidelines</b></p> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> <li>• Any relevant neighbourhood character objective, policy or statement set out in this scheme.</li> <li>• The design response.</li> <li>• The effect on the visual bulk of the building and whether this is acceptable in the neighbourhood setting.</li> <li>• Whether the design is innovative and of a high architectural standard.</li> </ul>	<p><b>Complies</b></p> <p><b>Comments</b></p> <p><b>The proposed 1st floor studio addition has been modified to address all recommendations outlined within the Yarra Heritage Advice prepared by Diahn McIntosh - dated 25th November 2020.</b></p> <p><b>The proposal includes a traditional pitch with hip roof form, which will provide an enhanced oblique view to the adjoining heritage building on the east side and is further visually recessive within the streetscape.</b></p> <p><b>Combination of heritage Grade Z600 corrugated galvanised steel roof sheeting to hip roof and weatherboard cladding to first floor level external walls painted white to match existing finish, ties in with the dwelling addition and fits within the existing streetscape.</b></p>

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	<p>Timber framed awning windows to be of a 2:1 (height/width) proportion, which are similar to garage windows located on the internal west elevation.</p> <p>Head height of the studio has been modified to provide a 2.3 m high spring height at wall junction internally and creation of cathedral ceiling within the hip framing to provide a practical and usable floor space.</p> <p>Overall building height has been modified in proportion with the existing dwelling and similar to the adjoining heritage building to the east. The proposal will not dominate or diminish the existing streetscape as it setback to match the adjoining abutting dwelling to the east within Yarra St.</p> <p>All materials and colours selected shall match approved existing surfaces and finishes present on site. This will ensure our proposal is respectful of the surrounding heritage and will not dominate the street.</p> <p>Access to the 1st floor studio is via a new powdercoated steel framed spiral staircase located within the rear yard. It comprises open steel treads and 1.7m high to be timber screen with maximum 25% openings fixed to the perimeter and upper landing area to prevent overlooking.</p> <p>(Refer to drawings 4446 –sheets TP1, TP5-8 for details).</p>
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<p><b>CLAUSE 54.06-2 FRONT FENCES</b></p> <p><b>Objective</b></p> <p>To encourage front fence design that respects the existing or preferred neighbourhood character.</p> <p><b>Standard A20</b></p> <ul style="list-style-type: none"> <li>• The design of front fences <u>should</u> complement the design of the dwelling and any front fences on adjoining properties.</li> <li>• A front fence within 3m of a street should not exceed:             <ul style="list-style-type: none"> <li>- 2m height for streets in a Road Zone, Category 1; or</li> <li>- 1.5m height for any other street.</li> </ul> </li> </ul> <p><b>Decision Guidelines</b></p> <p><i>Before deciding on an application, the responsible authority must consider:</i></p> <ul style="list-style-type: none"> <li>• Any relevant neighbourhood character objective, policy or statement set out in this scheme.</li> <li>• The design response.</li> <li>• The setback, height and appearance of front fences on adjacent properties.</li> <li>• The extent to which slope and retaining walls reduce the effective height of the front fence.</li> <li>• Whether the fence is needed to minimise noise intrusion.</li> </ul>	<p><b>Not Applicable</b></p> <p><b>Comments</b></p> <p><b>The existing front fence shall remain unchanged.</b></p>

**Attachment 5 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - S57B Advertising - Section 57A Heritage Assessment**



Our reference: 4446  
Amended March 2021

**SECTION 57A AMENDMENT- RESPONSE TO DEVELOPMENT GUIDELINES FOR SITES SUBJECT TO THE HERITAGE OVERLAY (CLAUSE 22.02) ASSESSMENT IN ACCORDANCE WITH YARRA PLANNING SCHEME FOR PROPOSED PART DEMOLITION, PROPOSED GROUND / 1ST FLOOR ADDITIONS & ALTERATIONS TO THE REAR OF EXISTING SINGLE STOREY WEATHERBOARD DWELLING & PROPOSED 1ST FLOOR STUDIO ADDITION TO EXISTING REAR GARAGE AT: 196 NICHOLSON STREET, ABBOTSFORD.**



**INTRODUCTION:**

- The subject site (No 196) is rectangular in shape and located on the corner of Nicholson and Yarra Street Abbotsford. The property comprises a detached period style single storey weatherboard dwelling (*constructed 1890-1900*) with a hipped roof and bull nose verandah's to both street frontages.
- The property is zoned Neighbourhood Residential Zone [NRZ1] and located within a Heritage Overlay (HO313). Although no specific heritage controls apply to this site, the property is located within the Charles Street Precinct in accordance with the Victorian Heritage Database.
- The site area is approximately 177.00 sq m. The property has a 6.44 metre wide frontage to Nicholson Street and a depth of 28.46 metres along Yarra Street.
- This site contains fully landscaped gardens, front and side entry verandah's, and secluded private open space to the rear. Both the open space and existing single storey garage located to the rear of the property are fully accessible via Yarra Street.
- The neighbourhood character of adjacent and adjoining properties along Nicholson & Yarra Streets from the subject site comprise of a variety of single & two- storey solid brick and weatherboard dwellings, with a mix of Period, Edwardian and Victorian era style residences.

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**Attachment 5 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - S57B Advertising - Section 57A Heritage Assessment**

**CLAUSE 22.02-5.1 DEMOLITION**

**FULL DEMOLITION OR REMOVAL OF A BUILDING**

- Not applicable – This proposal shall retain the existing single storey garage building , with partial removal of existing roof sheeting required to suit construction of 1st floor studio addition.
- The subject building is not being fully demolished or removed from the site. (Refer to drawings 4446 –sheets TP 1, TP4 -8 for details)

**REMOVAL OF PART OF A HERITAGE PLACE OR CONTRIBUTORY ELEMENTS**

- Not applicable – *The existing dwelling is Non-Contributory (In accordance with Appendix 8, City of Yarra Review of Heritage Overlay Areas 2007- updated Sep 2015)*
- There are no identified heritage elements to the existing buildings on site.

**CLAUSE 22.02-5.2 ORIGINAL LOCATION**

- Not applicable – The location of the existing dwelling and garage will be unchanged.

**CLAUSE 22.02-5.3 RECONSTRUCTION AND RESTORATION**

- Not applicable. No re-construction or restoration works required as part of this application.

**CLAUSE 22.02-5.4 PAINTING AND SURFACE TREATMENTS**

- All materials and colours selected shall match approved existing surfaces and finishes present on site. This will ensure our proposal is respectful of the surrounding heritage and will not dominate the street.

**CLAUSE 22.02-5.5 CULTURALLY SIGNIFICANT TREES**

- Not applicable. No trees will be removed.

**CLAUSE 22.02-5.6 SUBDIVISION**

- Not applicable. Proposal is not required a sub-division.

**CLAUSE 22.02-5.7 NEW DEVELOPMENT, ALTERATIONS OR ADDITIONS**

**CLAUSE 22.02-5.7.1 GENERAL**

- The proposed development comprises a new 1st floor studio addition above the existing garage located to the rear of the existing property. This includes partial removal of existing roof sheeting to allow first floor construction above.
- The built-form of the proposed 1st floor studio addition shall be similar and tie in to the original building fabric. The proposed weatherboard clad walls and corrugated sheet hipped roof above will create a visual transition within the streetscape between the modern and traditional roof type forms present.
- The proposal will not dominate or diminish the existing streetscape and is setback 1.240 m within Yarra St to match the front wall of the adjoining abutting heritage dwelling (96 Yarra St) to the east.

## **Attachment 5 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - S57B Advertising - Section 57A Heritage Assessment**

- Overall building height is modified in proportion with the existing dwelling and similar to the adjoining heritage building to the east. This will ensure the proposal is sighted below the required building envelope with Clause 22.02 of the Yarra Planning Scheme'.
- The proposal will comprise the following materials and finishes;
  1. Heritage Grade Z600 corrugated galvanised steel roof sheeting over hip roof
  2. Weatherboard cladding to first floor level external walls painted white to match existing finish.
  3. Timber framed awning windows to be of a 2:1 (height/width) proportion, similar to garage windows located on the internal west elevation.
  4. All materials and colours selected shall match approved existing surfaces and finishes present on site. This will ensure our proposal is respectful of the surrounding heritage and will not dominate the street.
  5. Access to the 1st floor studio is via a new powder coated steel framed spiral staircase located within the rear yard. It comprises open steel treads and 1.7m high timber screen with 25% maximum openings fixed to the perimeter and upper landing area to prevent overlooking.
  6. Refer to drawings 4446 –sheets TP1, 4- 8, for details.

### **CLAUSE 22.02-5.7.2 SPECIFIC REQUIREMENTS**

#### **CORNER SITES AND SITES WITH DUAL FRONTAGES**

- The built-form of the proposed 1<sup>st</sup> floor studio addition shall be similar and tie in to the original building fabric. The proposed hip roof will provide an enhanced oblique view to the adjoining heritage building on the east side and is further visually recessive within the streetscape. Weatherboard cladding to first floor level ties to the rear dwelling addition and existing streetscape.
- The integration with the street will remain unaffected, as the proposed first floor addition will be located to the rear of the site and will be significantly setback and partially visible from the existing Nicholson St streetscape.
- There are similar two storey developments which abuts the subject site, 196 Nicholson St located to the north and 96 Yarra St located to the rear, which are both consistent with this proposal.
- The proposal will not dominate or diminish the existing streetscape and will be setback 1.240m within Yarra St to match the existing front wall of the adjoining abutting dwelling (96 Yarra St) to the east.
- The proposed garage development is consistent to existing brick garage development located on the opposite corner site (No 194 Nicholson St) within Yarra St.
- Refer to drawings 4446 –sheets TP1, TP4-9, and for details.

#### **RESIDENTIAL UPPER STOREY ADDITIONS**

- Not applicable. No trees will be removed.

#### **CARPORTS, CAR SPACES, GARAGES, AND OUTBUILDINGS**

- The existing single storey garage building accommodates one vehicle and is located to the rear of the property. This is fully accessible via an existing crossover within Yarra Street and shall remain unchanged.

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- The proposed 1st floor studio addition above the garage building will be located to the rear of the site and adequately setback from all rear and side boundaries. Access to the 1st floor studio will be via a new powder coated steel framed spiral staircase located within the rear yard.

**FRONT FENCES AND GATES**

- Not applicable. -The existing front fence and gates to remain unchanged.

**ANCILLARIES AND SERVICES**

- All new ancillaries or services proposed shall be concealed and contained within the site and will not be visible from the existing streetscape.

**CLAUSE 22.02-6      ARCHAEOLOGICAL SITES**

- Not applicable. Not an Archaeological site.

**Attachment 6 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - S57B Advertising - Section 57A Cover Letter**



**Our reference: 4446**

4th March, 2021

Statutory Planning Department  
City of Yarra  
P.O. Box 168  
Richmond 3121

Email: [Emily.Zeng@yarracity.vic.gov.au](mailto:Emily.Zeng@yarracity.vic.gov.au)

Attention: Ms Emily Zeng (Statutory Planner)

Dear Emily,

**Re: SECTION 57A AMENDMENT TO PLANNING PERMIT PLN 17 / 0744.01  
PROPOSED PARTIAL DEMOLITION, ADDITIONS & ALTERATIONS TO REAR OF EXISTING SINGLE  
STOREY WEATHERBOARD DWELLING WITHIN A HERITAGE OVERLAY AT  
196 NICHOLSON ST, ABBOTSFORD.**

Further to your email correspondence (dated 1st March 2021) to confirm Heritage Advisor support of amended 1st floor studio design, our client seeks to amend the above application in accordance with Section 57A.

The proposed amendments shall comprise the following:

- Alter mansard roof to traditional pitch with hip roof form. This will provide an enhanced oblique view to the adjoining heritage building on the east side and is further visually recessive within the streetscape than our initial proposal
- Heritage Grade Z600 corrugated galvanised steel roof sheeting over hip roof which fits within the existing streetscape
- Weatherboard cladding to first floor level external walls painted white to match existing finish and ties in with the dwelling addition and existing streetscape.
- Timber framed awning windows to be of a 2:1 (height/width) proportion, which is similar to existing garage windows located on the west elevation.
- Head height of studio has been modified to provide a 2.3 m high spring height at wall junction internally and creation of cathedral ceiling within the hip framing to provide a practical and usable floor space.
- Overall building height modified in proportion with the existing dwelling and similar to the adjoining heritage building to the east.

We consider our latest design is a considerable compromise that provides a suitable and practical solution, which also addresses all recommendations outlined within the Yarra Heritage Advice prepared by Diahnn McIntosh - dated 25th November 2020.

Page 1

**POSTAL ADDRESS** PO BOX 5045 BURNLEY 3121

275 SWAN STREET RICHMOND 3121  
ENTER BELL STREET

**TELEPHONE** 9428 7707  
**FACSIMILE** 9428 5069

**INFO** @ AITKENANDASSOCIATES.COM.AU  
**WWW.AITKENANDASSOCIATES.COM.AU**

CONSULTING ENGINEERS

BUILDING DESIGN CONSULTANTS

BUILDING SURVEYORS

**Attachment 6 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - S57B Advertising - Section 57A Cover Letter**

Please refer to the following amended documentation for your consideration:

- Amended Written assessment against Rescode (Clause 54).
- Amended Written assessment against Yarra's Development Guidelines for Heritage Places policy (Clause 22.02).
- PDF copy of Amended planning drawings (A3 size)

Please forward your invoice for required permit fees as advised - [40% of the original application fee ]

If you have any queries or require additional information, please do not hesitate to contact me.

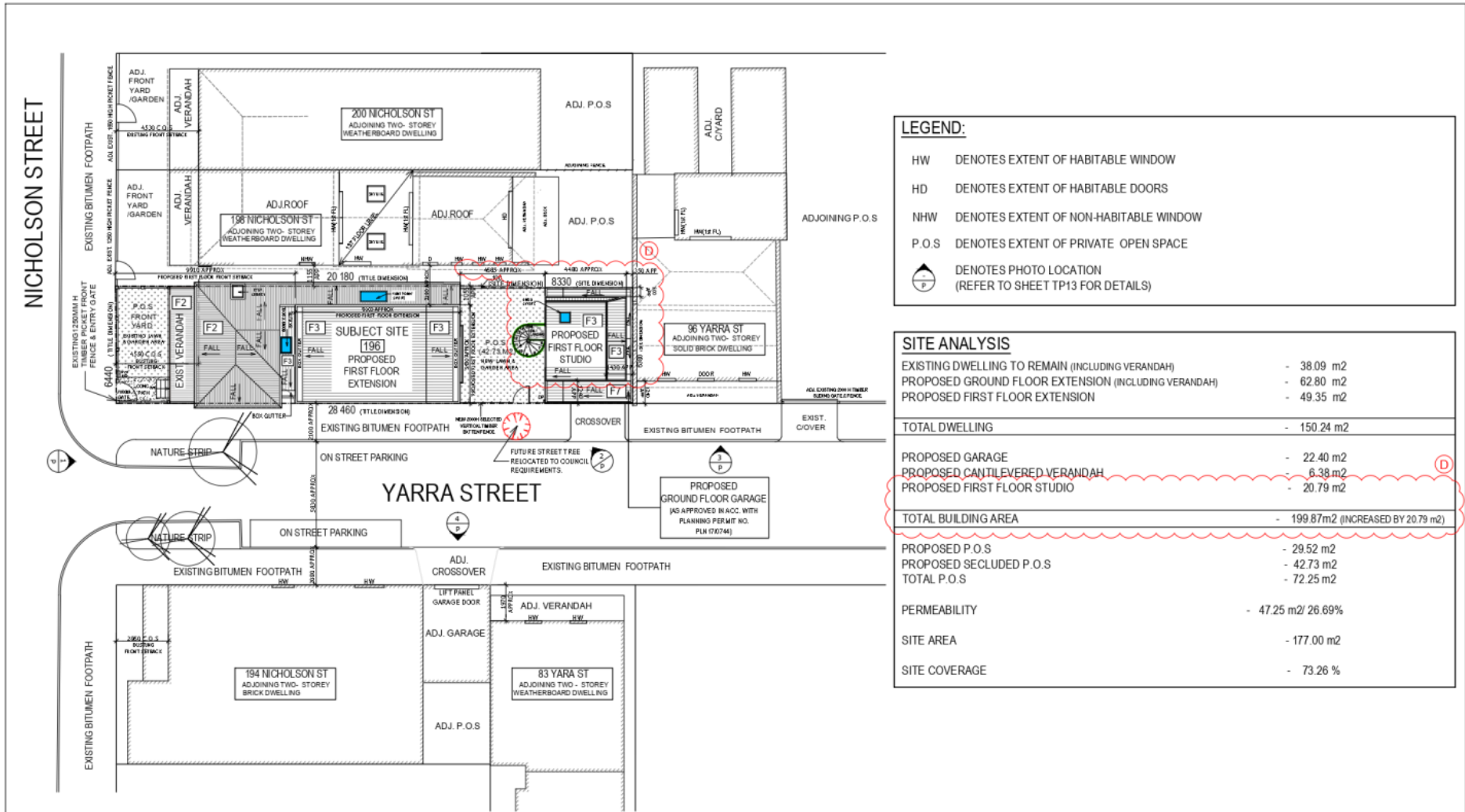
Yours sincerely,

A handwritten signature in black ink, appearing to read 'Salvatore Mazzarino' with a stylized flourish at the end.

Salvatore Mazzarino DP-AD 41659  
(Senior Designer)

cc Mr. Martin Ryan

Attachment 7 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - Advertising S52 - Plans (Previously Advertised Plans Oct/Novr 2020)



**LEGEND:**

- HW DENOTES EXTENT OF HABITABLE WINDOW
- HD DENOTES EXTENT OF HABITABLE DOORS
- NHW DENOTES EXTENT OF NON-HABITABLE WINDOW
- P.O.S DENOTES EXTENT OF PRIVATE OPEN SPACE
- DENOTES PHOTO LOCATION (REFER TO SHEET TP13 FOR DETAILS)

**SITE ANALYSIS**

EXISTING DWELLING TO REMAIN (INCLUDING VERANDAH)	- 38.09 m2
PROPOSED GROUND FLOOR EXTENSION (INCLUDING VERANDAH)	- 62.80 m2
PROPOSED FIRST FLOOR EXTENSION	- 49.35 m2
<b>TOTAL DWELLING</b>	<b>- 150.24 m2</b>
PROPOSED GARAGE	- 22.40 m2
PROPOSED CANTILEVERED VERANDAH	- 8.38 m2
PROPOSED FIRST FLOOR STUDIO	- 20.79 m2
<b>TOTAL BUILDING AREA</b>	<b>- 199.87m2 (INCREASED BY 20.79 m2)</b>
PROPOSED P.O.S	- 29.52 m2
PROPOSED SECLUDED P.O.S	- 42.73 m2
<b>TOTAL P.O.S</b>	<b>- 72.25 m2</b>
PERMEABILITY	- 47.25 m2/ 26.69%
SITE AREA	- 177.00 m2
SITE COVERAGE	- 73.26 %

**PROPOSED SITE PLAN (INCLUDES SITE ANALYSIS)**  
SCALE 1:200

**ADWHAITKEN**  
ASSOCIATES PTY LTD

POSTAL ADDRESS  
PO BOX 5045 BURNLEY VIC 3121

275 SWAN STREET RICHMOND 3121 ENTER BCLL STREET

TELEPHONE 9426 7797 FACSIMILE 9426 5069

**PLANNING PERMIT AMENDMENT**

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DATE	DESCRIPTION
D SEPT '20	PLANNING PERMIT AMENDMENT
C AUG '20	PLANNING PERMIT AMENDMENT
B JUNE '19	PLANNING PERMIT AMENDMENT
A MAR '19	PLANNING PERMIT APPLICATION
ISSUE DATE	PERMIT AMENDMENT

PROJECT  
**PROPOSED EXTENSION & ALTERATIONS TO EXISTING DWELLING AT 196 NICHOLSON STREET, ABBOTSFORD**

CLIENT  
**MR MARTIN RYAN**

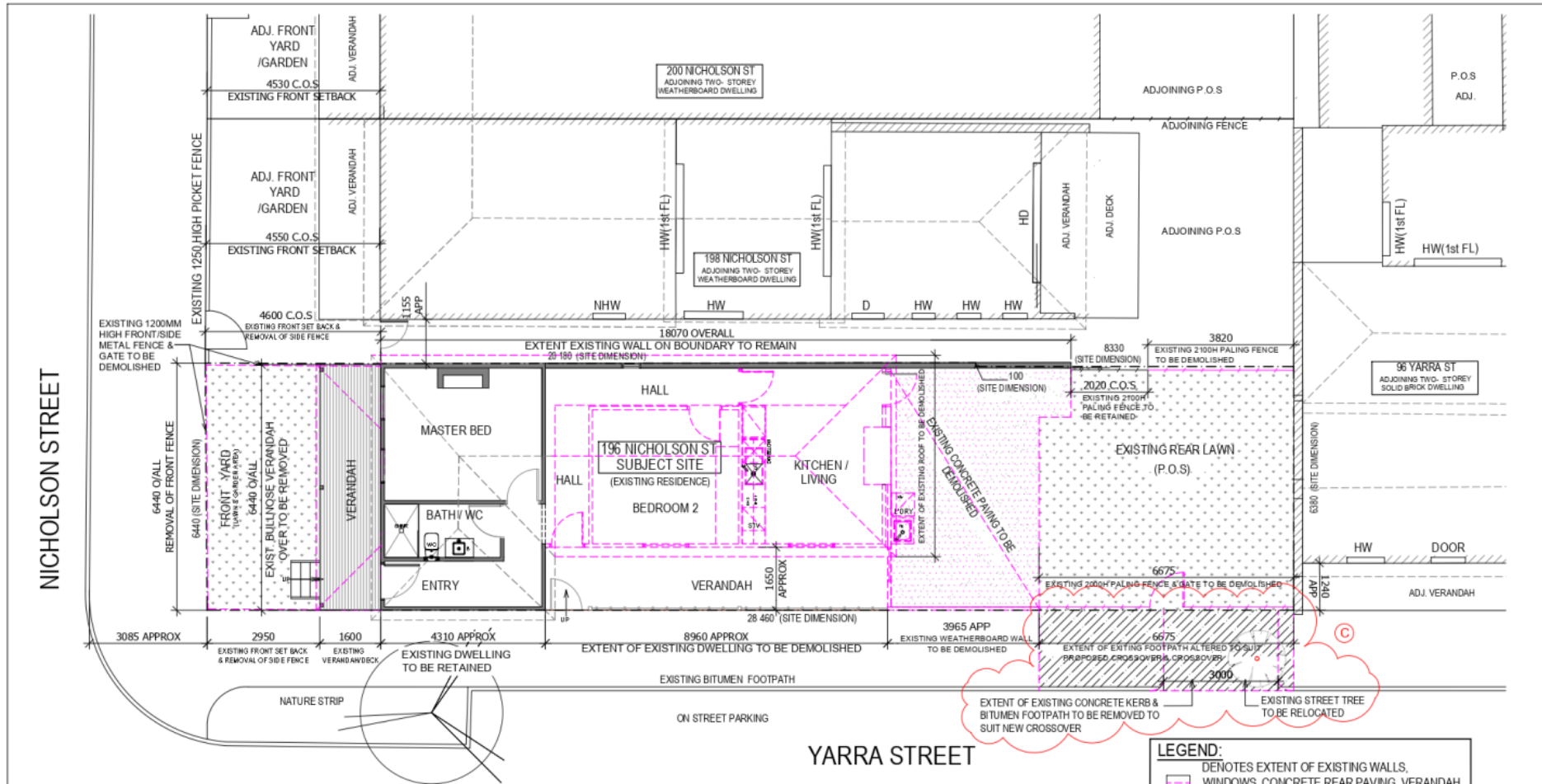
TITLE  
**PROPOSED SITE PLAN (INCLUDES SITE ANALYSIS)**

DATE	MAR 2019
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DRAWN	AL
DESIGN	-
CHECKED	SM
DRG. SIZE	A3
DRAWING NO.	4446
ISSUE	D
SHEET NO.	TP1-14

NORTH



Attachment 7 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - Advertising S52 - Plans (Previously Advertised Plans Oct/Novr 2020)



**EXISTING SITE & FLOOR PLAN (INCLUDING DEMOLITION)**  
SCALE 1:100

**LEGEND:**

- DENOTES EXTENT OF EXISTING WALLS, WINDOWS, CONCRETE REAR PAVING, VERANDAHS, ROOF, HIPPED ROOF, GUTTERING, FENCES & GATES TO BE DEMOLISHED.
- HW DENOTES EXTENT OF HABITABLE WINDOW
- HD DENOTES EXTENT OF HABITABLE DOOR
- NHW DENOTES EXTENT OF NON-HABITABLE WINDOW
- P.O.S DENOTES EXTENT OF PRIVATE OPEN SPACE

**ADWHAITKEN**  
ASSOCIATES PTY LTD

POSTAL ADDRESS  
PO BOX 5045 BURNLEY VIC 3121  
375 SWAN STREET RICHMOND VIC 3121  
TELEPHONE 9426 7707 FACSIMILE 9426 5069

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C	SEPT '20	PLANNING PERMIT AMENDMENT
B	JUNE '19	PLANNING PERMIT AMENDMENT
A	MAR '19	PLANNING PERMIT APPLICATION
ISSUE	DATE	AMENDMENT

PROJECT  
PROPOSED EXTENSION & ALTERATIONS TO EXISTING DWELLING AT 196 NICHOLSON STREET, ABBOTSFORD

CLIENT  
MR MARTIN RYAN

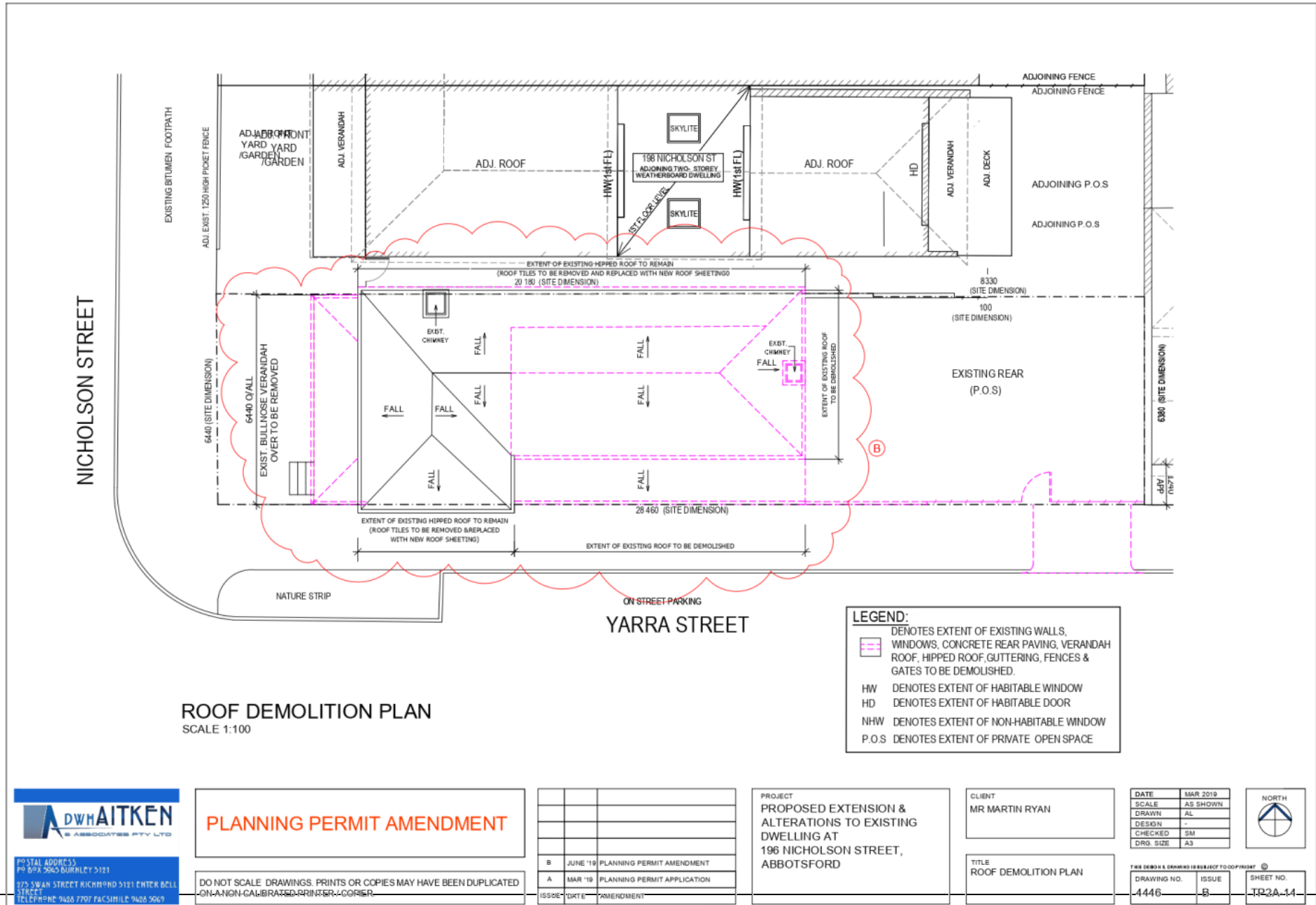
TITLE  
EXISTING FLOOR ROOF PLANS (INCLUDES DEMOLITION)

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SCALE	AS SHOWN
DRAWN	AL
DESIGN	
CHECKED	SM
DRG. SIZE	A3

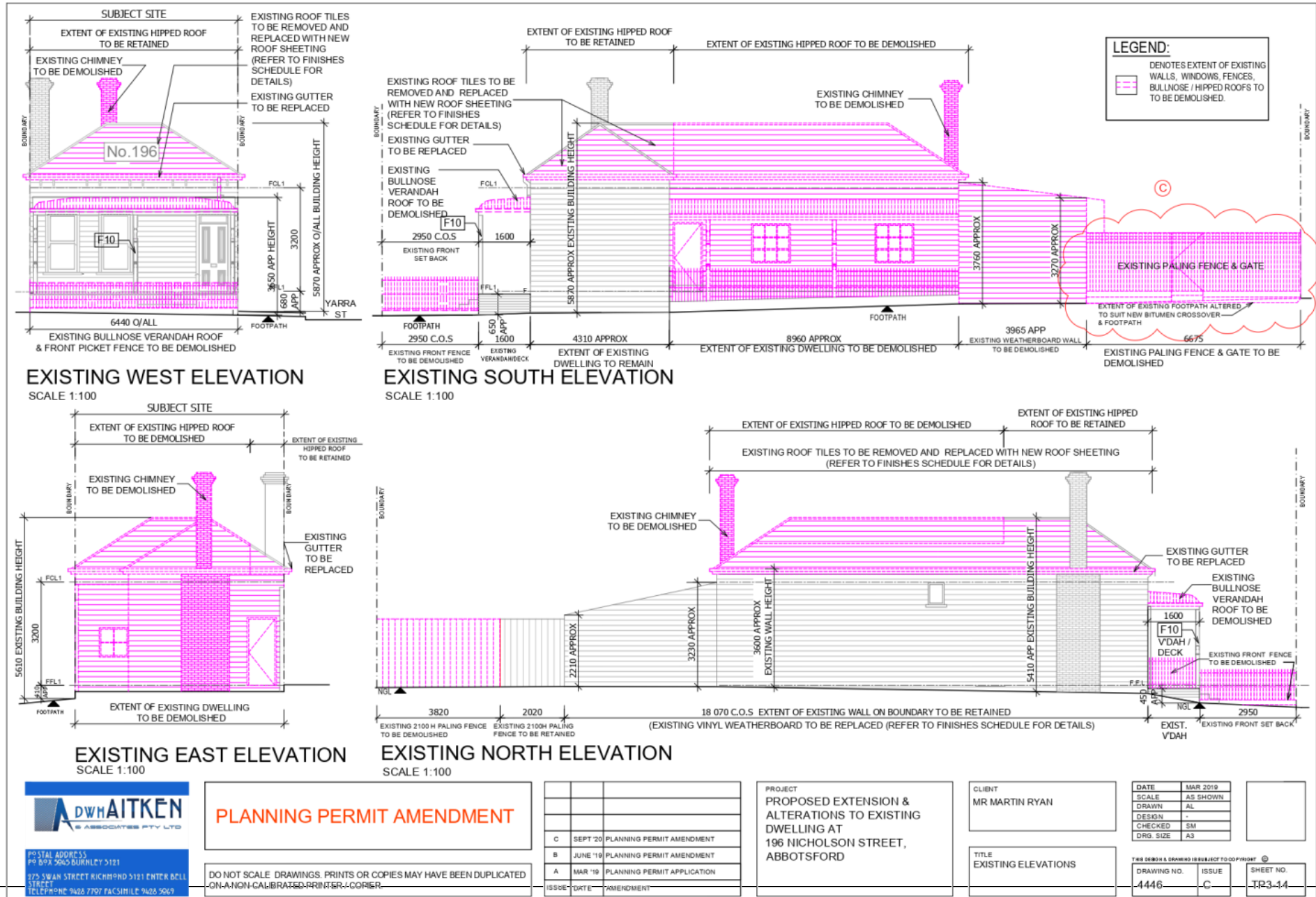
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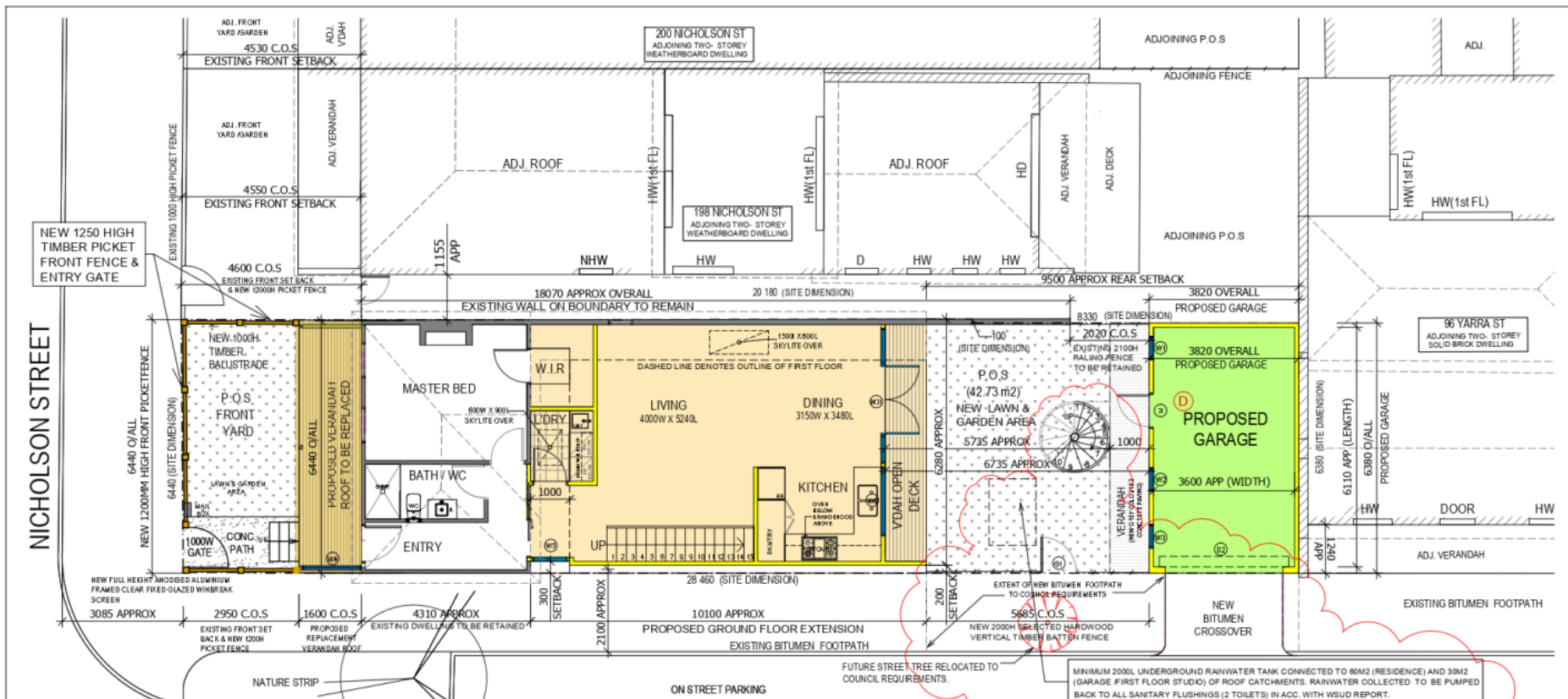
Attachment 7 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - Advertising S52 - Plans (Previously Advertised Plans Oct/Novr 2020)



Attachment 7 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - Advertising S52 - Plans (Previously Advertised Plans Oct/Novr 2020)



Attachment 7 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - Advertising S52 - Plans (Previously Advertised Plans Oct/Novr 2020)



**PROPOSED SITE & GROUND FLOOR PLAN**  
SCALE 1:100

**LEGEND**

- DENOTES EXTENT OF REPLACEMENT BULLNOSE ROOF OVER FRONT VERANDAH
- DENOTES EXTENT OF PROPOSED GROUND FLOOR GARAGE
- DENOTES EXTENT OF PROPOSED FRONT PICKET FENCE
- DENOTES EXTENT OF PROPOSED REAR GROUND ADDITION / ALTERATION
- HW DENOTES EXTENT OF HABITABLE WINDOW
- HD DENOTES EXTENT OF HABITABLE DOOR
- NHW DENOTES EXTENT OF NON-HABITABLE WINDOW
- P.O.S DENOTES EXTENT OF PRIVATE OPEN SPACE

**ADWHAITKEN ASSOCIATES PTY LTD**  
 375 SWAN STREET RICHMOND 3121 ENTER BCLL STREET  
 TELEPHONE 9426 7707 FACSIMILE 9426 5069

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C	AUG'20	PLANNING PERMIT AMENDMENT
B	JUNE'19	PLANNING PERMIT AMENDMENT
A	MAR'19	PLANNING PERMIT APPLICATION

PROJECT  
**PROPOSED EXTENSION & ALTERATIONS TO EXISTING DWELLING AT 196 NICHOLSON STREET, ABBOTSFORD**

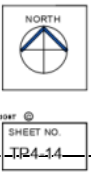
CLIENT  
**MR MARTIN RYAN**

TITLE  
**PROPOSED GROUND FLOOR PLAN**

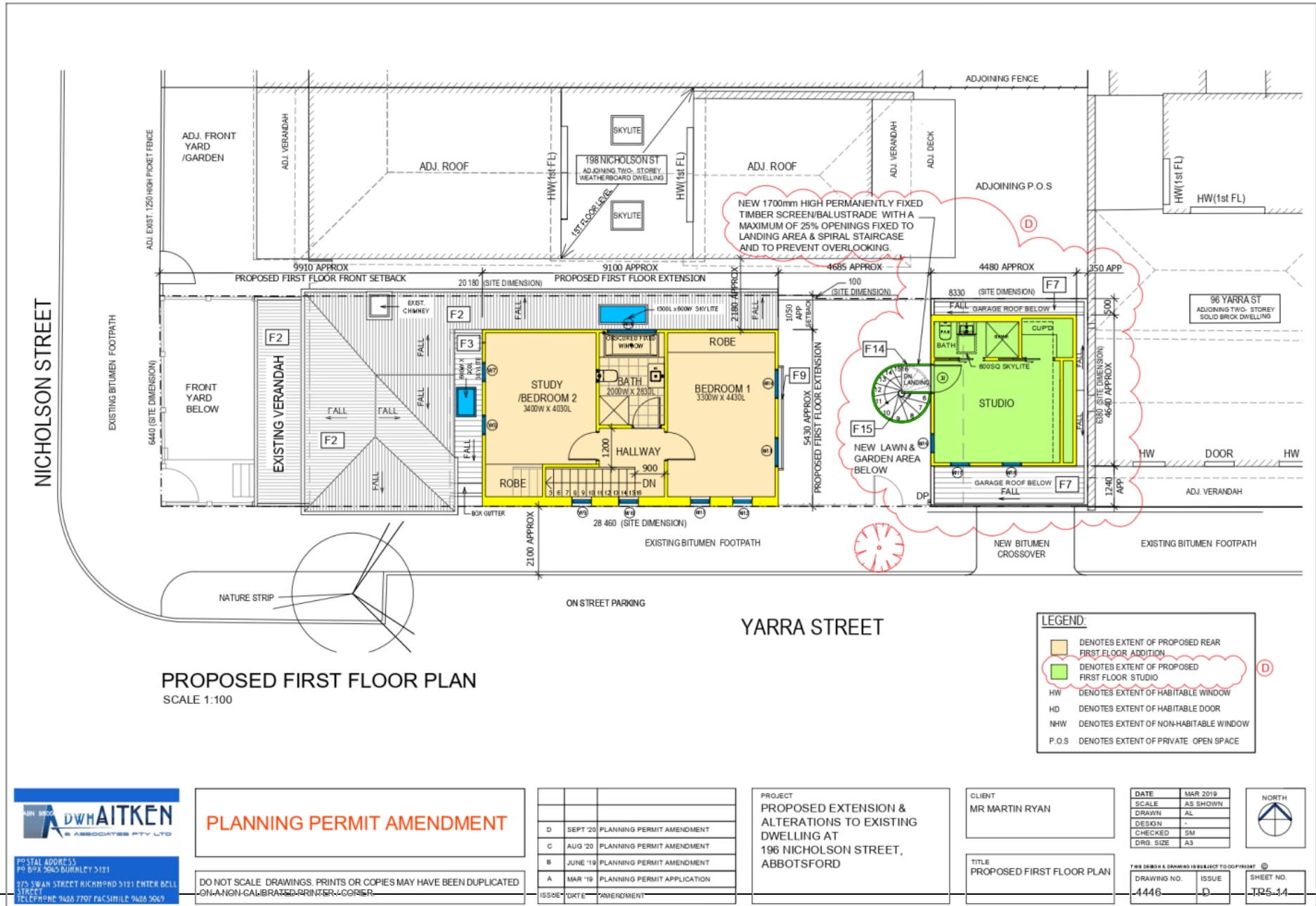
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MAR 2019	AS SHOWN	AL	SM	A3

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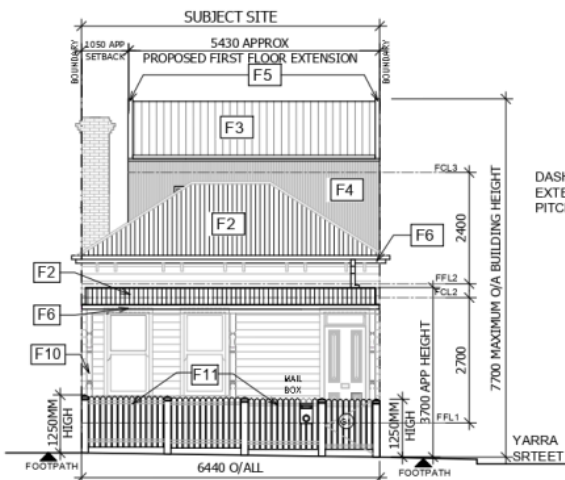


Attachment 7 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - Advertising S52 - Plans (Previously Advertised Plans Oct/Novr 2020)

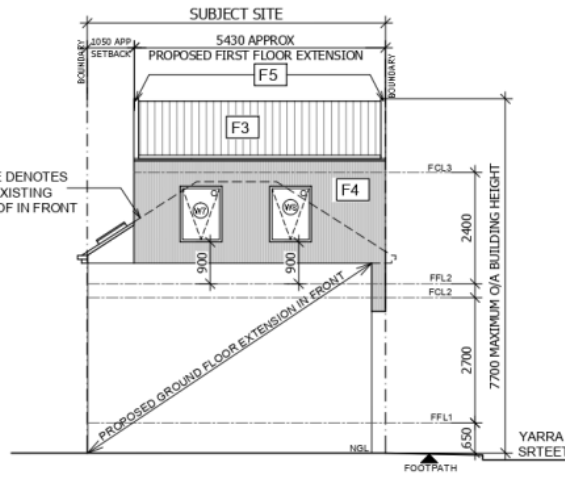


Attachment 7 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - Advertising S52 - Plans (Previously Advertised Plans Oct/Novr 2020)

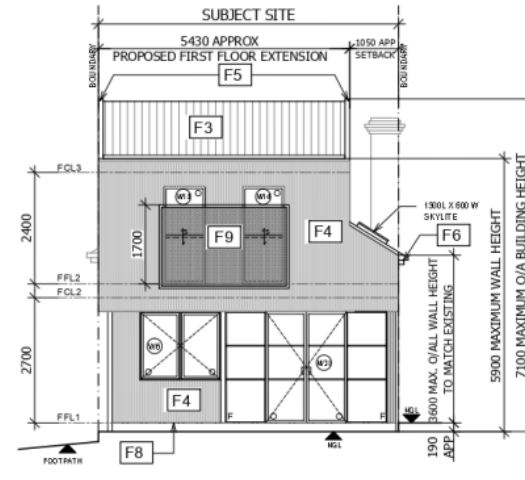
EXTERNAL FINISHES SCHEDULE					
NO.	DESCRIPTION	SAMPLE	NO.	DESCRIPTION	SAMPLE
F1	NEW TIMBER WEATHERBOARD CLADDING TO MATCH EXISTING PROFILE AND PAINTED WHITE FINISH (GARAGE & GROUND FLOOR EXTENSION )		F10	TREATED PINE OPEN TIMBER DECK WITH CLEAR TUNG OIL FINISH.	
F2	REPLACEMENT UNPAINTED HERITAGE GALVANIZED GRADE Z600 ROOF SHEETING (EXISTING GROUND FLOOR HIPPED ROOF TO BE RETAINED)		F11	NEW 1250MM HIGH TIMBER PICKET FRONT & SIDE B'DRY FENCES WITH WHITE PAINTED FINISH	
F3	MATT MONUMENT METAL COLORBOND WALL CLADDING AND ROOF SHEETING		F12	PROPOSED CEMENT SHEET CLADDING INFILL PAINTED TO MATCH EXISTING FINISH	
F4	SELECTED HARDWOOD VERTICAL TIMBER BATTEN WALL CLADDING TO GARAGE /1ST FLOOR ADDITION FACADE & SIDE BOUNDARY FENCE ALONG YARRA STREET (REFER TO PHOTO EXAMPLE ON SHEET T8)		F13	PROPOSED 1000MM HIGH TIMBER FRAMED BALUSTRADE PAINTED IN WHITE FINISH TO MATCH EXISTING VERANDAH WITH TURNED POSTS TO REMAIN.	
F5	MATT MONUMENT COLORBOND DOWNPIPES, GUTTERING, CAPPING /FLASHINGS.		F14	NEW 1700MM HIGH PERMANENTLY FIXED TIMBER SCREEN/BALUSTRADE WITH A MAXIMUM OF 25% OPENINGS FIXED TO LANDING AREA & SPIRAL STAIRCASE AND TO PREVENT OVERLOOKING	
F6	NEW SURFMIST COLORBOND DOWNPIPES, GUTTERING / FLASHINGS WITH WHITE PAINTED FINISH TO EAVES FASCIA TO MATCH EXISTING.		F15	NEW 1000mm HIGH TIMBER SCREEN/ BALUSTRADE	
F7	NEW WOODLAND GREY COLORBOND FINISH SPEED DECK ROOF SHEETING AT 1° MIN PITCH OVER GARAGE		F16	PROPOSED EXTENDED PALING FENCE TO MATCH EXISTING	
F8	NEW WOODLAND GREY COLORBOND DOWNPIPES, GUTTERING / FLASHINGS WITH WHITE PAINTED FINISH TO EAVES FASCIA TO GARAGE.			PROPOSED NEW WINDOWS AND DOORS FRAMINGS BLACK POWDERCOATED METAL FRAMES	
F9	NEW 1700mm HIGH BLACK POWDERCOATED ALUMINIUM PERFORATED METAL SCREEN WITH MAXIMUM OF 25% OPENING TO PREVENT OVERLOOKING.				



PROPOSED WEST ELEVATION  
SCALE 1:100



PROPOSED INTERNAL WEST ELEVATION  
SCALE 1:100



PROPOSED EAST ELEVATION  
SCALE 1:100

**DWHAITKEN**  
ASSOCIATES PTY LTD

POSTAL ADDRESS  
PO BOX 5045 BURNLEY VIC 3121  
275 SWAN STREET RICHMOND VIC 3121  
TELEPHONE 9426 7707 FACSIMILE 9426 5049

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C	AUG '20	PLANNING PERMIT AMENDMENT
B	JUNE '19	PLANNING PERMIT AMENDMENT
A	MAR '19	PLANNING PERMIT APPLICATION

PROJECT  
PROPOSED EXTENSION & ALTERATIONS TO EXISTING DWELLING AT 196 NICHOLSON STREET, ABBOTSFORD

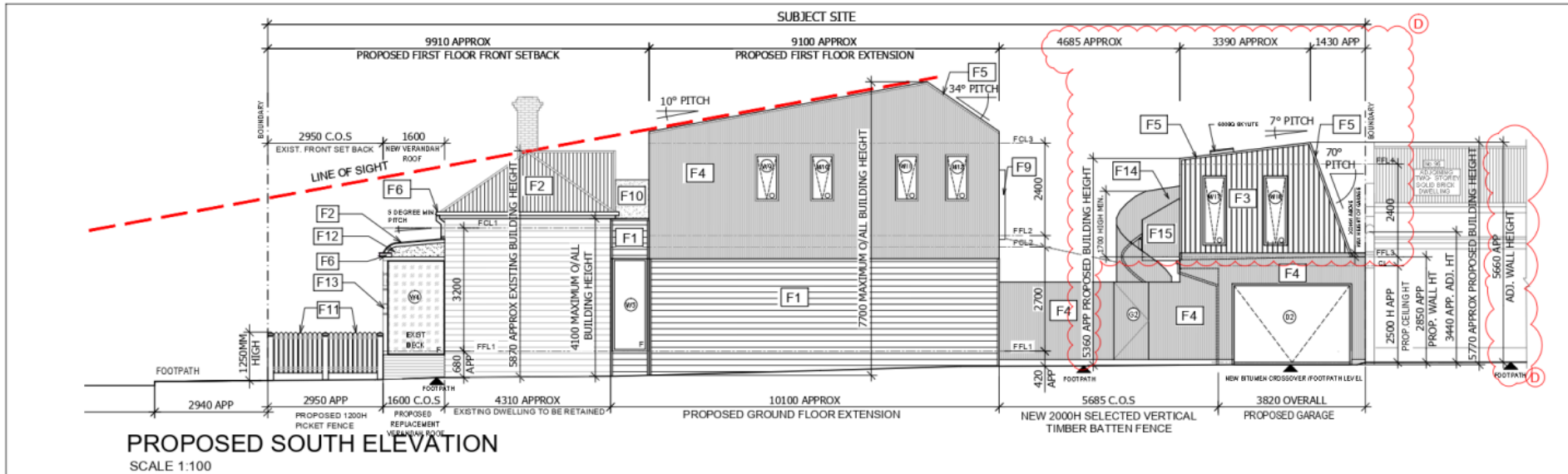
CLIENT  
MR MARTIN RYAN

TITLE  
PROPOSED ELEVATIONS EXTERNAL FINISHES SCHEDULE

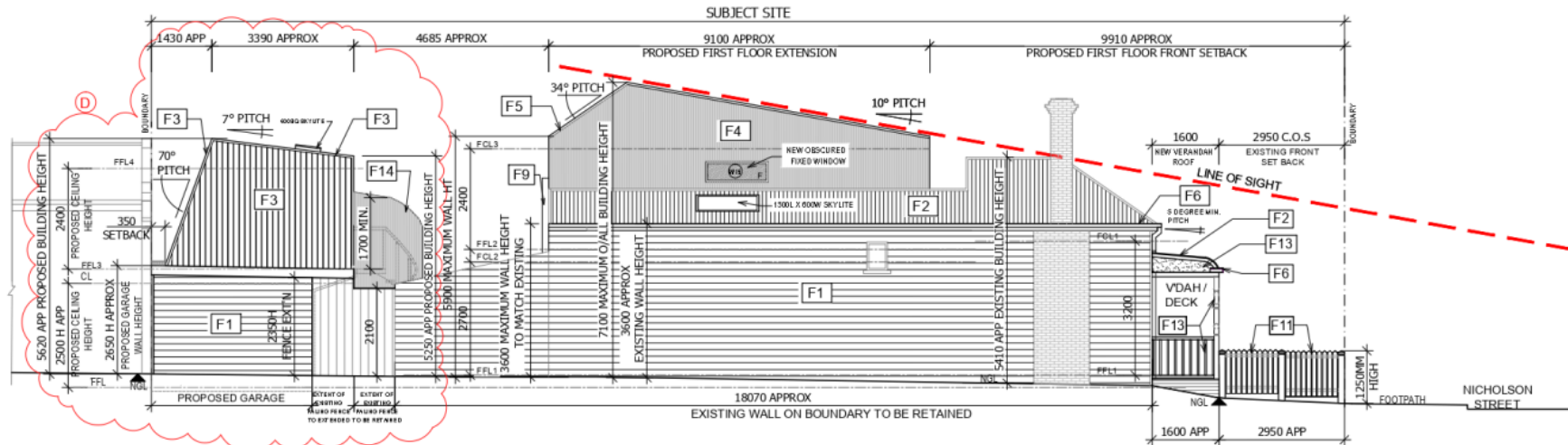
DATE	MAR 2019
SCALE	AS SHOWN
DRAWN	AL
DESIGN	AL
CHECKED	SM
DRG. SIZE	A3

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Attachment 7 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - Advertising S52 - Plans (Previously Advertised Plans Oct/Novr 2020)



PROPOSED SOUTH ELEVATION  
SCALE 1:100



PROPOSED NORTH ELEVATION  
SCALE 1:100



POSTAL ADDRESS  
PO BOX 5905 BURNLEY VIC 3121  
175 SWAN STREET RICHMOND VIC 3121  
TELEPHONE 9628 7797 FACSIMILE 9628 5069

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C	AUG '20	PLANNING PERMIT AMENDMENT
B	JUNE '19	PLANNING PERMIT AMENDMENT
A	MAR '19	PLANNING PERMIT APPLICATION
ISSUE DATE	PERMIT AMENDMENT	

PROJECT  
PROPOSED EXTENSION & ALTERATIONS TO EXISTING DWELLING AT 196 NICHOLSON STREET, ABBOTSFORD

CLIENT  
MR MARTIN RYAN

TITLE  
PROPOSED ELEVATIONS

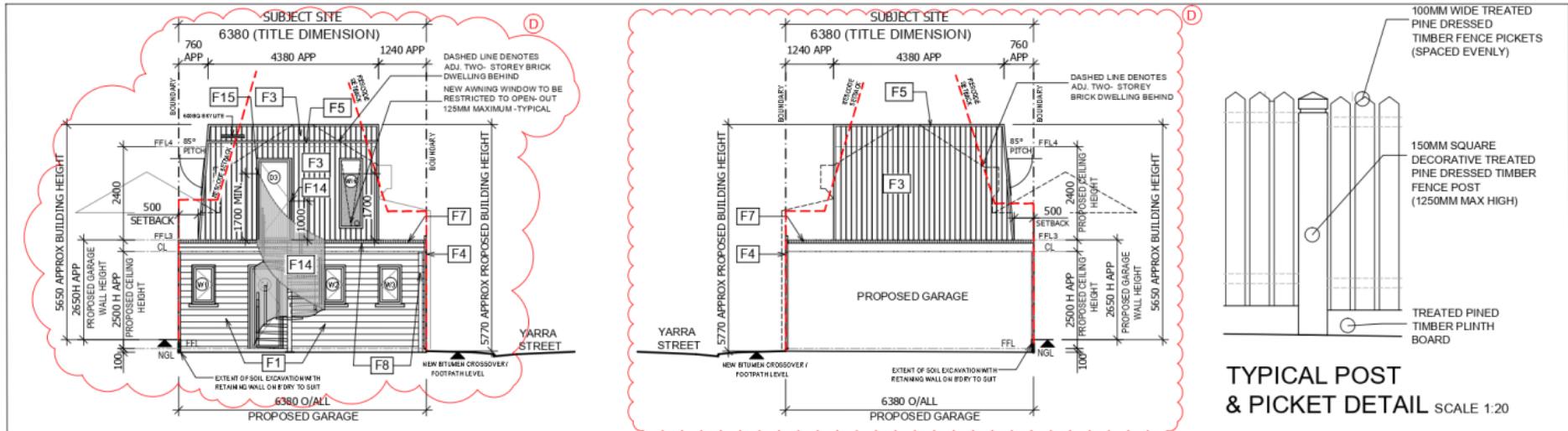
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DESIGN	+
CHECKED	SM
DRG. SIZE	A3



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PROPOSED WEST GARAGE/STUDIO ELEVATION

PROPOSED EAST GARAGE/STUDIO ELEVATION SCALE 1:100

NO.	DOOR & WINDOW SCHEDULE DESCRIPTION
D1	NEW 2100H X 920W TIMBER FRAMED SOLID CORE TIMBER DOOR AS SELECTED
D2	NEW 2100H X 3600W COLORBOND METAL TILT DOOR AS SELECTED - WOODLAND GREY - NOT ENCROACH OUTSIDE OF TITLE BOUNDARY
D3	NEW 2100H X 820W TIMBER ALUMINIUM FRAMED BLACK POWDERCOATE FRAMED SOLID CORE TIMBER DOOR AS SELECTED
W1	NEW 900H X 600W TIMBER FRAMED DOUBLE GLAZED DOUBLE CASEMENT WINDOW AS SELECTED
W2	NEW 900H X 600W TIMBER FRAMED DOUBLE GLAZED DOUBLE CASEMENT WINDOW AS SELECTED
W3	NEW 900H X 600W TIMBER FRAMED DOUBLE GLAZED DOUBLE CASEMENT WINDOW AS SELECTED
W4	NEW 2450H X 1450W ANODISED ALUMINIUM FIXED CLEAR GLAZED WINDOW /SCREEN
W5	NEW 2400H X 900W ALUMINIUM FRAMED BLACK POWDERCOATED OBSCURE FIXED GLAZED WINDOW
W6	NEW 1400H X 1800W STEEL FRAMED BLACK POWDERCOATED CASEMENT CLEAR GLAZED WINDOW
W7-W8	NEW 1200H X 900W ALUMINIUM FRAMED BLACK POWDERCOATED AWNING CLEAR GLAZED WINDOW
W9-W12	NEW 1200H X 600W ALUMINIUM FRAMED BLACK POWDERCOATED AWNING CLEAR GLAZED WINDOW
W13-W14	NEW 2100H X 900W ALUMINIUM FRAMED BLACK POWDERCOATED SHUGG CLEAR GLAZED WINDOW
W15	NEW 500H X 1500W ALUMINIUM FRAMED BLACK POWDERCOATED OBSCURE FIXED GLAZED WINDOW
W16	NEW 1800H X 600W ALUMINIUM FRAMED BLACK POWDERCOATED OEPNABLE WINDOW. PROVIDE OBSCURE GLAZING TO 1.7m FROM FLOOR FINISH LEVEL. AWNING TO OPEN OUT 125MM MAXIMUM. NO PART OF THE WINDOW BELOW 1.7m WILL NOT HAVE DIRECT VIEWS IN ACC. WITH RESCODE STANDARD A15.
W17-W18	NEW 1800H X 600W ALUMINIUM FRAMED BLACK POWDERCOATED AWNING CLEAR GLAZED WINDOW
WD1	NEW 2400H X 3500W STEEL FRAMED BLACK POWDERCOATED GLAZED DOORS & FIXED GLAZED WINDOW UNIT
G1	NEW 1200H X 1000W TIMBER PICKET ENTRY GATE
G2	NEW 2000H X 900W TIMBER SALT ENTRY GATE TO MATCH PROPOSED TIMBER SCREEN



PHOTO EXAMPLE OF HARDWOOD VERTICAL TIMBER BATTEN WALL NOT IN SCALE

**ADWHAITKEN**  
ASSOCIATES PTY LTD

POSTAL ADDRESS  
PO BOX 5045 BURNLEY VIC 3121  
375 SWAN STREET RICHMOND VIC 3121 ENTER BCLL STREET  
TELEPHONE 9426 7707 FACSIMILE 9426 5049

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D	SEPT '20	PLANNING PERMIT AMENDMENT
C	AUG '19	PLANNING PERMIT AMENDMENT
B	JUNE '19	PLANNING PERMIT AMENDMENT
A	MAR '19	PLANNING PERMIT APPLICATION

PROJECT  
PROPOSED EXTENSION & ALTERATIONS TO EXISTING DWELLING AT 196 NICHOLSON STREET, ABBOTSFORD

CLIENT  
MR MARTIN RYAN

TITLE  
PROPOSED ELEVATIONS DOOR & WINDOW SCHEDULE SCHEDULE

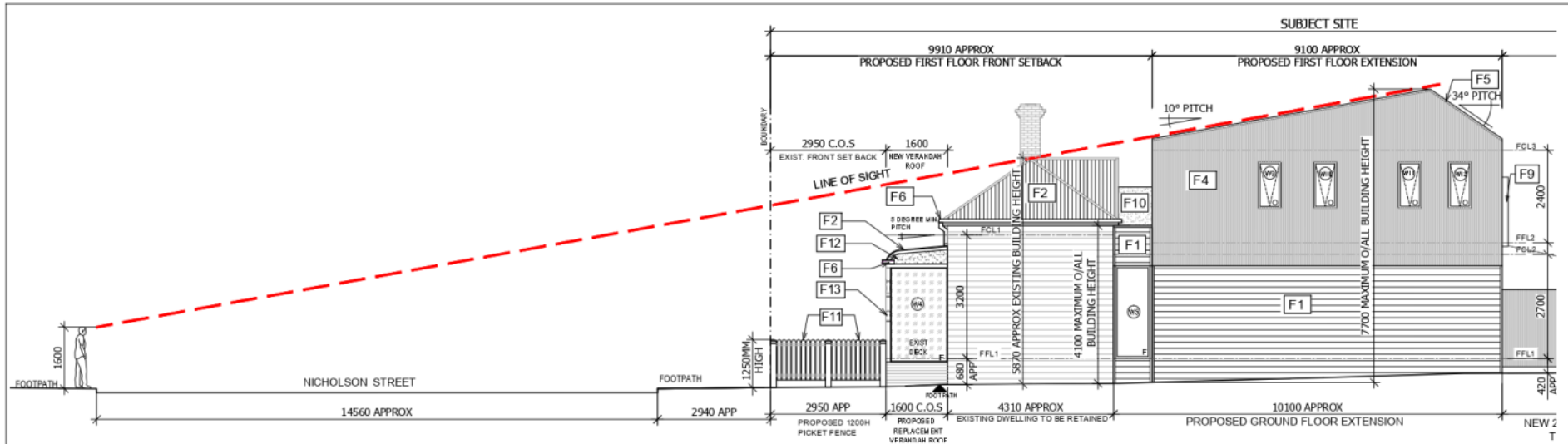
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CHECKED	SM
DRG. SIZE	A3

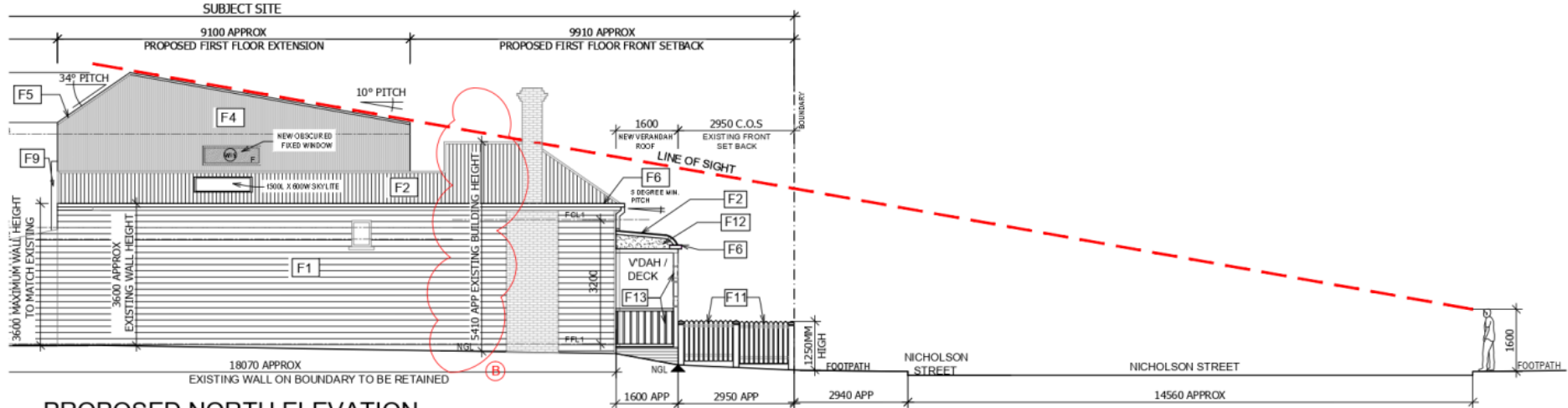
DRAWING NO.	ISSUE	SHEET NO.
4304	D	TP8-14



Attachment 7 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - Advertising S52 - Plans (Previously Advertised Plans Oct/Novr 2020)



**PROPOSED SOUTH ELEVATION**  
SCALE 1:100



**PROPOSED NORTH ELEVATION** SCALE 1:100



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175 SWAN STREET RICHMOND VIC 3121  
TELEPHONE 9428 7797 FACSIMILE 9428 5049

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B	JUNE '18	PLANNING PERMIT AMENDMENT
A	MAR '18	PLANNING PERMIT APPLICATION
ISSUE DATE	AMENDMENT	

PROJECT  
PROPOSED EXTENSION & ALTERATIONS TO EXISTING DWELLING AT 196 NICHOLSON STREET, ABBOTSFORD

CLIENT  
MR MARTIN RYAN

TITLE  
PROPOSED ELEVATIONS (LINE OF SIGHT)

DATE	MAR 2019
SCALE	AS SHOWN
DRAWN	AL
DESIGN	+
CHECKED	SM
DRG. SIZE	A3



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4446	B	TP9-14

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PERSPECTIVE 1



PERSPECTIVE 2

  
 0800 000 000  
 POSTAL ADDRESS  
 P O BOX 5045 DURNLEY 5121  
 275 SWAN STREET RICHMOND 5131 ENTER BELL STREET  
 TELEPHONE 9426 7707 FACSIMILE 9426 5049

**PLANNING PERMIT AMENDMENT**

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ISSUE	DATE	AMENDMENT
C	AUG '20	PLANNING PERMIT AMENDMENT
B	JUNE '19	PLANNING PERMIT AMENDMENT
A	MAR '19	PLANNING PERMIT APPLICATION

PROJECT  
 PROPOSED EXTENSION &  
 ALTERATIONS TO EXISTING  
 DWELLING AT  
 196 NICHOLSON STREET,  
 ABBOTSFORD

CLIENT  
 MR MARTIN RYAN

TITLE  
 PERSPECTIVES

DATE	MAR 2019
SCALE	AS SHOWN
DRAWN	AL
DESIGN	+
CHECKED	SM
DRG. SIZE	A3

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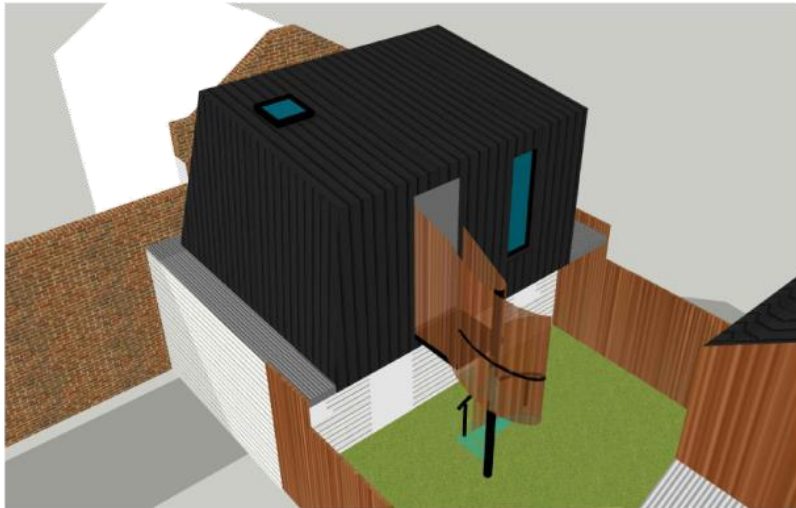
Attachment 7 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - Advertising S52 - Plans (Previously Advertised Plans Oct/Novr 2020)



PERSPECTIVE 3



PERSPECTIVE 4



PERSPECTIVE 5



PERSPECTIVE 6

**DWHAITKEN**  
ASSOCIATES PTY LTD

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275 SWAN STREET RICHMOND 5121 ENTER BELL  
STREET  
TELEPHONE 9426 7707 FACSIMILE 9426 5049

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A	MAR '19	PLANNING PERMIT APPLICATION
ISSUE	DATE	AMENDMENT

PROJECT  
PROPOSED EXTENSION &  
ALTERATIONS TO EXISTING  
DWELLING AT  
196 NICHOLSON STREET,  
ABBOTSFORD

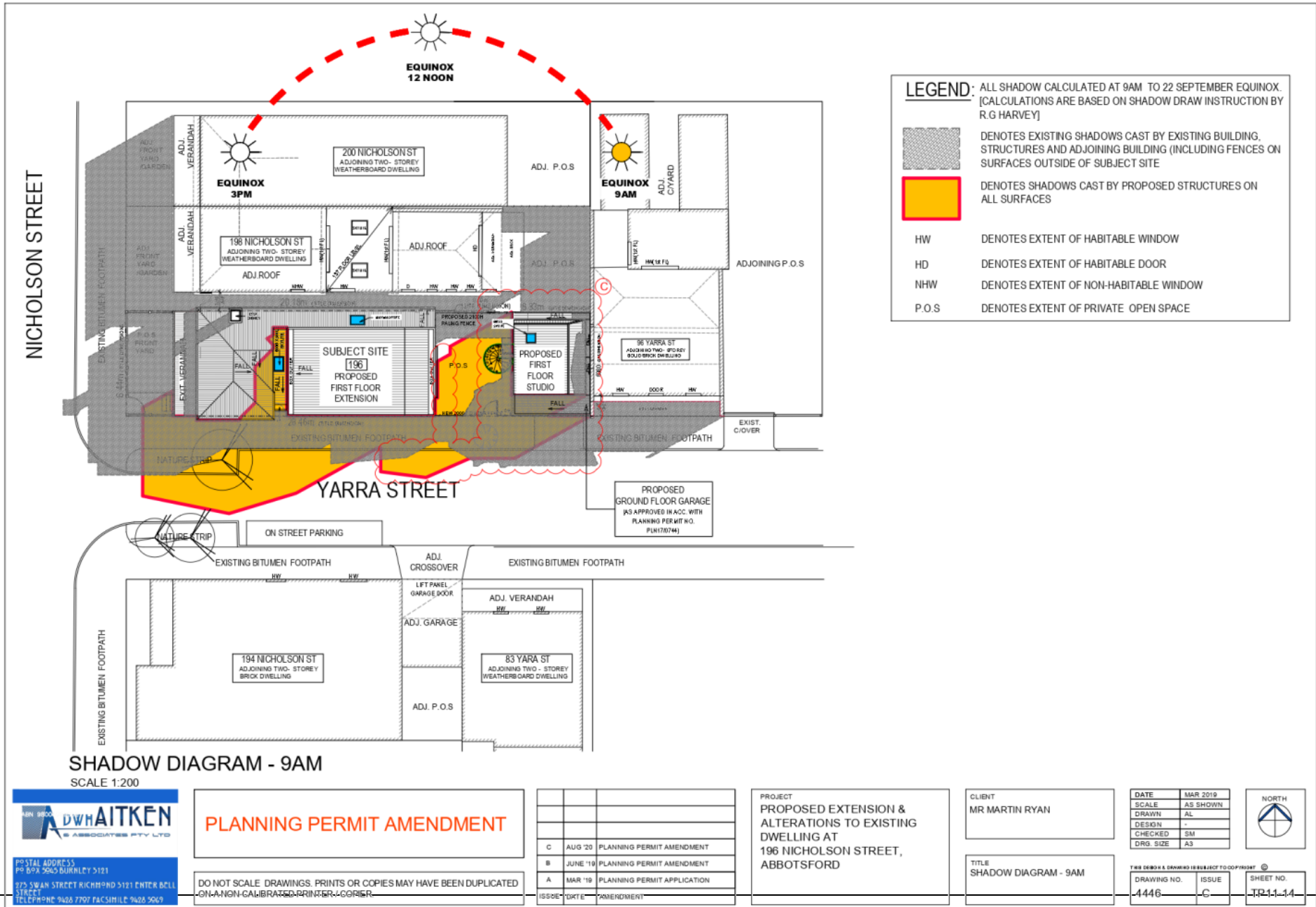
CLIENT  
MR MARTIN RYAN

TITLE  
PERSPECTIVES

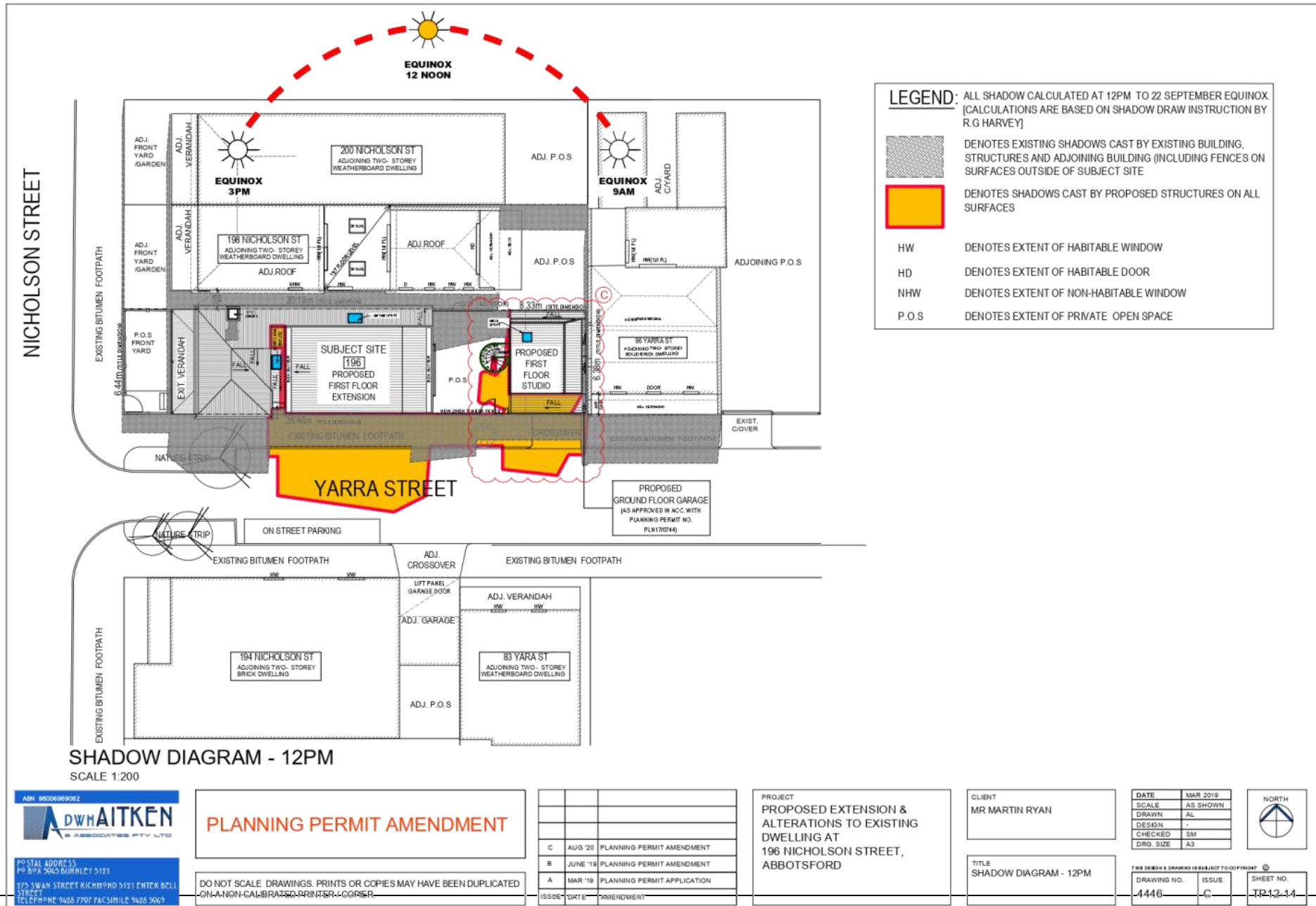
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DRG. SIZE	A3

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DRAWING NO.	ISSUE	SHEET NO.
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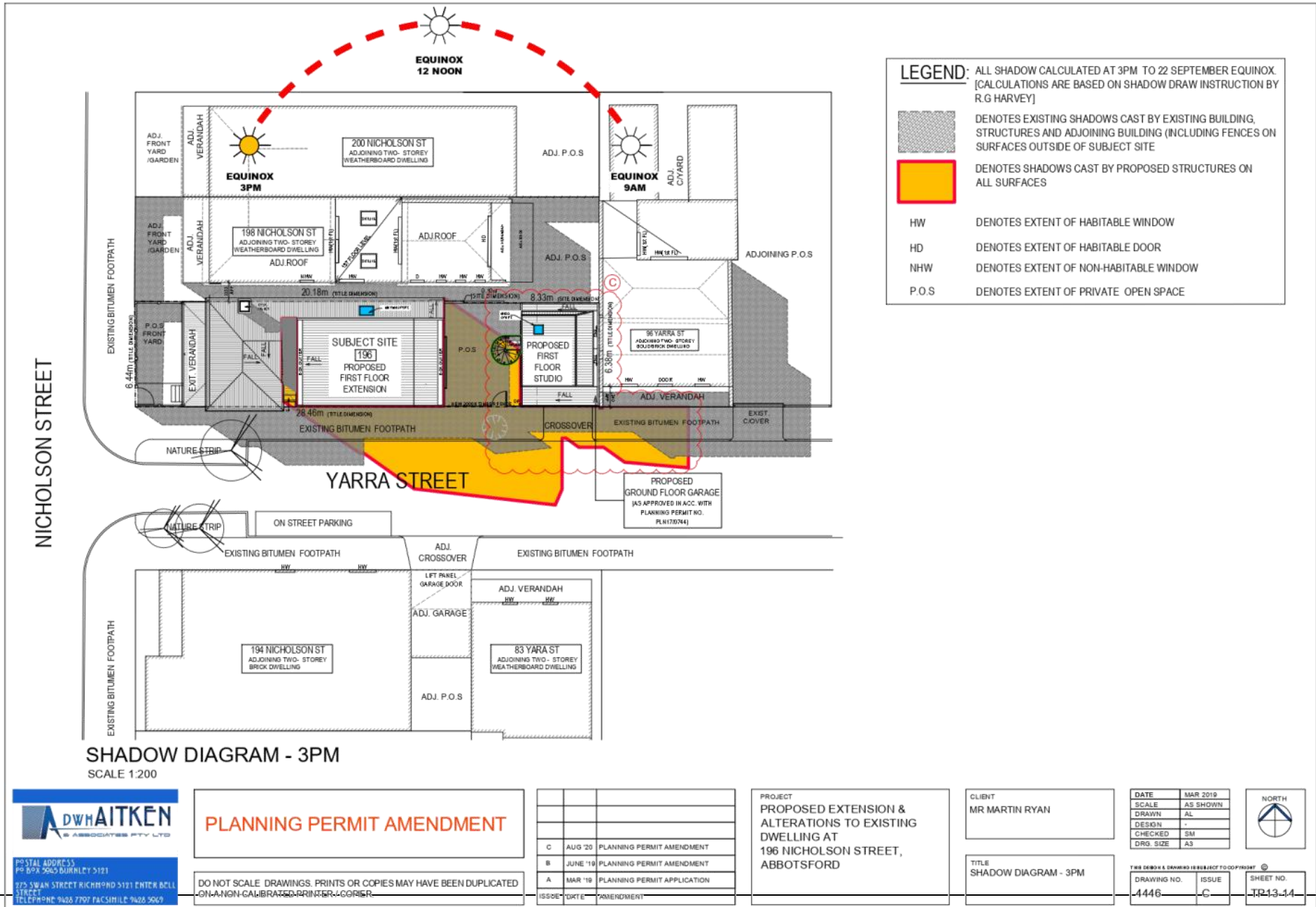
Attachment 7 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - Advertising S52 - Plans (Previously Advertised Plans Oct/Novr 2020)



Attachment 7 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - Advertising S52 - Plans (Previously Advertised Plans Oct/Novr 2020)



Attachment 7 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - Advertising S52 - Plans (Previously Advertised Plans Oct/Novr 2020)



**Attachment 7 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - Advertising S52 - Plans (Previously Advertised Plans Oct/Novr 2020)**

ADJOINING PROPERTY  
200 NICHOLSON ST

ADJOINING PROPERTY  
198 NICHOLSON ST

SUBJECT SITE  
196 NICHOLSON STREET

YARRA STREET

ADJACENT PROPERTY  
194 NICHOLSON STREET



**P1: EXISTING WEST ELEVATION (NICHOLSON STREET STREETScape)**  
NOT TO SCALE

REAR OF SUBJECT SITE  
196 NICHOLSON STREET



ADJOINING PROPERTY  
96 YARRA STREET



REAR OF ADJACENT PROPERTY WITHIN  
YARRA STREET  
194 NICHOLSON STREET



**P2: EXISTING SOUTH ELEVATION (YARRA STREET STREETScape)**  
NOT TO SCALE

**P3: ADJOINING PROPERTY (96 YARRA STREET)**  
NOT TO SCALE

**P3: ADJACENT GARAGE OPPOSITE SUBJECT SITE (194 NICHOLSON STREET)**  
NOT TO SCALE



POSTAL ADDRESS  
PO BOX 5045 DURNLEY 5121  
275 SWAN STREET RICHMOND 5101 ENTER BELL STREET  
TELEPHONE 9426 7707 FACSIMILE 9426 5049

**PLANNING PERMIT AMENDMENT**

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B	JUNE '19	PLANNING PERMIT AMENDMENT
A	MAR '19	PLANNING PERMIT APPLICATION
ISSUE DATE	AMENDMENT	

PROJECT  
PROPOSED EXTENSION & ALTERATIONS TO EXISTING DWELLING AT 196 NICHOLSON STREET, ABBOTSFORD

CLIENT  
MR MARTIN RYAN

DATE	MAR 2019
SCALE	AS SHOWN
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CHECKED	SM
DRG. SIZE	A3

TITLE  
EXISTING PHOTOS

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## Attachment 8 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - Heritage Referral Comments (Previously Advertised Plans Oct/Nov 2020)

### City of Yarra Heritage Advice on Section 72 Amendment

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<b>Application No.:</b>	PLN17/0744.02
<b>Address of Property:</b>	<b>196 Nicholson Street, Abbotsford</b>
<b>Planner:</b>	Emily Zeng
<b>Yarra Planning Scheme References:</b>	<ul style="list-style-type: none"><li>• Clause 15.03 Heritage</li><li>• Clause 21.05-1 Built Form (Heritage)</li><li>• Clause 22.02 Development Guidelines for sites subject to the Heritage Overlay</li><li>• Clause 43.01 Heritage Overlay</li><li>• Clause 59.07 Applications Under A Heritage Overlay</li></ul>
<b>Heritage Overlay No. &amp; Precinct:</b>	HO313 Charles Street Precinct
<b>Level of significance:</b>	Not contributory, constructed 1890-1900 (City of Yarra Review of Heritage Areas 2007 Appendix 8 (as updated from time to time))
<b>General description:</b>	Construction of a first-floor studio above the previously approved garage
<b>Drawing Nos.:</b>	Set of sixteen drawings, entitled "Proposed Extension & Alterations to Existing Dwelling At 196 Nicholson Street, Abbotsford ", prepared by DWH Aitken, received by Council and dated Sep 2020

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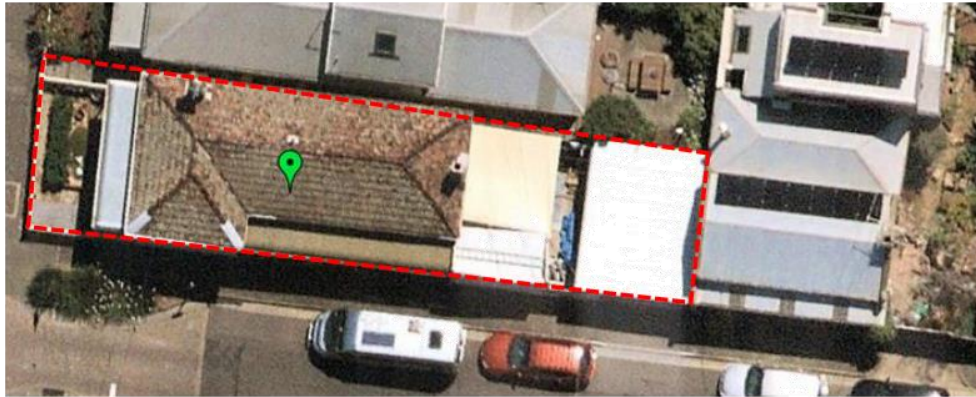
#### CONTEXT IMAGES:



Above: Approved garage as constructed 2020



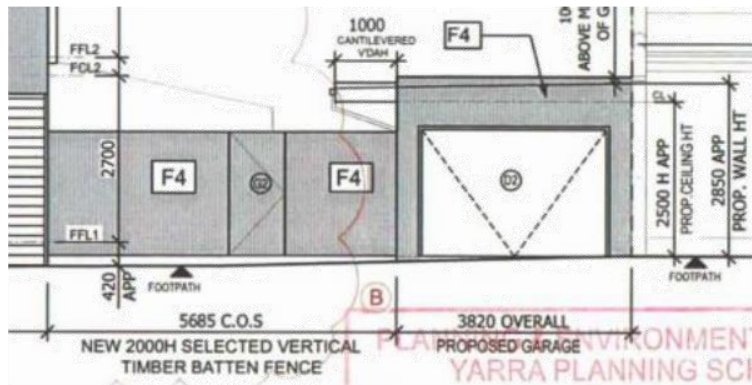
**Attachment 8 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - Heritage Referral Comments (Previously Advertised Plans Oct/Nov 2020)**



Above: Aerial of the subject site, taken Nov 2020, shows completed garage

**COMMENTS ON COMPLETED WORKS:**

The Yarra Street elevation of the approved works were as shown in the extract below.



The approved external fence and wall cladding was as shown below. Based on the recently submitted photo of the garage, it is not clear if the wall finish matches the appearance of the material approved.


F4	SELECTED HARDWOOD VERTICAL TIMBER BATTEN WALL CLADDING TO GARAGE /1ST FLOOR ADDITION FACADE & SIDE BOUNDARY FENCE ALONG YARRA STREET (REFER TO PHOTO EXAMPLE ON SHEET TP8)	
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PHOTO EXAMPLE OF HARDWOOD VERTICAL TIMBER BATTEN WALL NOT IN SCALE

The approved door for the garage is shown below. It is clear that from the recently submitted photo of the garage, that the existing door does not match the appearance of the door approved.

D2	NEW 2100H X 3600W COLORBOND METAL TILT DOOR AS SELECTED- WOODLAND GREY - NOT ENCROACH OUTSIDE OF TITLE BOUNDARY
----	---

**Attachment 8 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - Heritage Referral Comments (Previously Advertised Plans Oct/Nov 2020)**

**ASSESSMENT OF PROPOSED AMENDED WORKS:**

The proposed addition will be constructed as an upper floor level to the previously approved and constructed garage.

The primary heritage concern of the proposed addition is its appearance in the streetscape.

*Setback:*

The proposed upper floor addition will be setback to match the alignment of the front wall of no. 96 Yarra Street. This is considered an acceptable front setback; however, it is noted that it does not satisfy the Rescode requirements. A change of roof form discussed below will address this issue.

*Scale:*

The maximum height of the finished addition will generally match the ridge height of the adjoining property at no.96 Yarra Street, which is acceptable.

*Building and Roof form:*

The proposed roof form will be in keeping with the roof form of the approved two-storey addition of the house however, given that the garage adjoins the heritage building to the east, it is consider that a roof form that is reflective of a traditional gable would create a visual transition between the modern form of the house addition and the traditional gable form of the adjoining property.

A suggested approach to creating a transitional traditional building and roof form is shown below. There may be several other ways of achieving a suitable outcome.



*Appearance:*

Clause 22.02-5.7.1 of the Yarra Planning Scheme encourages the design of new development to:

- Respect the pattern, rhythm, orientation to the street, spatial characteristics, fenestration, roof form, materials and heritage character of the surrounding historic streetscape.
- Be articulated and massed to correspond with the prevailing building form of the heritage place or contributory elements to the heritage place.
- Be visually recessive and not dominate the heritage place.

A contemporary design approach has been adopted for the proposed garage addition. This approach is not unacceptable provided that adequate respect is given to the heritage character of the surrounding area through details such as external materials, proportions and fenestration.

A suggestion for a modified roof form has been discussed above. The colouring of the external walls/roof should be either galvanised steel or Colorbond Woodland Grey to match the approved garage door colour.

**Attachment 8 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - Heritage Referral Comments (Previously Advertised Plans Oct/Nov 2020)**

The proportions of the proposed window openings must be modified to reinforce the heritage surroundings. The proportions of the window openings should be based on the proportions of 2:1 height/width.

*Spiral staircase:*

The appearance of the spiral staircase is of no heritage concern as it is anticipated that it will have very little visibility from the street.

**RECOMMENDATIONS:**

1. The colouring and finishes of the recently constructed garage do not appear to match those shown on the approved drawings. An inspection of the site must be carried out to verify if these works are legal
2. On heritage grounds, the works shown in this application as proposed are not supported and should be refused on the grounds that:
  - The building and roof form are not respectful of the surrounding heritage streetscape;
  - The materials and colours are not respectful of the surrounding heritage streetscape and will dominate the street.
3. On heritage grounds the works proposed in this application should be amended prior to any further consideration. The suggested changes are:

	<b>Suggested change</b>	<b>Explanation</b>
1.	That the roof form of the proposed addition must be modified to create a visual transition between the modern form of the house addition and the traditional gable form of the adjoining property.	<i>The visual juxtaposition of the proposed garage addition's form and the traditional gable roof of the adjoining property must be minimised to avoid a dramatic change of forms.</i>
2.	That the colouring of the external walls/roof of the proposed addition must be modified to be either galvanised steel or Colorbond Woodland Grey to match the approved garage door colour.	<i>The external colouring of the proposed garage addition must blend in with the existing approved colours for the garage or the traditional colours of materials that characterise the surround heritage properties.</i>
3.	That the window openings of the proposed addition must be modified to reinforce the proportions of the window openings that are generally based on the proportions of 2:1 height/width.	<i>The heritage policy states that the fenestration of new buildings and additions must respect that of the surrounding heritage buildings.</i>

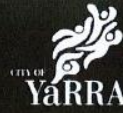
**SIGNED:**



Diahnn McIntosh

**DATED: 25 November 2020**

Helping you understand your planning needs



## PLANNING PERMIT (Amended)

Permit No: PLN17/0744

Planning Scheme: Yarra

Responsible Authority: City Of Yarra

**COPY**

### ADDRESS OF THE LAND:

196 and 198 Nicholson St Abbotsford VIC 3067

### THE PERMIT ALLOWS:

Development of the land for part demolition, alterations and the construction of a ground and first floor addition to the existing dwelling.

### THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

1. Before the development commences, amended plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plans will be endorsed and will then form part of this permit. The plans must be drawn to scale with dimensions, and three copies must be provided. The plans must be generally in accordance with the decision plans but modified to show:
  - (a) the proposed hipped verandah roof replaced with a 'bullnose' or 'hipped convex' verandah roof.
  - (b) the deletion of any references to 'Zincalume' within the material schedule.
  - (c) the proposed faux gable parapet to be replaced with a flat parapet not exceeding 100m above the maximum height of the garage, i.e. 2.85m.
  - (d) the garage roller door as a tilt door that does not encroach outside the title boundaries.
2. The development as shown on the endorsed plans must not be altered (unless the Yarra Planning Scheme specifies that a permit is not required) without the prior written consent of the Responsible Authority.
3. Before the building is occupied, or by such later date as approved in writing by the Responsible Authority, all new on-boundary walls must be cleaned and finished to the satisfaction of the Responsible Authority.
4. Before the development is occupied, or by such later date as approved in writing by the Responsible Authority, all screening and other measures to prevent overlooking as shown on the endorsed plans must be installed to the satisfaction of the Responsible Authority. Once installed the screening and other measures must be maintained to the satisfaction of the Responsible Authority.

Date: 31 August 2018

\_\_\_\_\_  
Ally Huynh  
Signature for the Responsible Authority

**Attachment 9 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - Current Planning Permit**

5. Before the development commences, the permit holder must make a one-off contribution to the Responsible Authority to be used for:
  - (a) the removal of the existing street tree;
  - (b) the replacement and planting of the new street tree;
  - (c) all costs associated with the replanting, plus two year establishment costs at the expense of the property owner; and to the satisfaction of the Responsible Authority.
6. Before the building is occupied, or by such later date as approved in writing by the Responsible Authority, any damage to Council infrastructure resulting from the development must be reinstated:
  - (a) at the permit holder's cost; and
  - (b) to the satisfaction of the Responsible Authority.
7. Except with the prior written consent of the Responsible Authority, demolition or construction works must not be carried out:
  - (a) Monday-Friday (excluding public holidays) before 7 am or after 6 pm;
  - (b) Saturdays and public holidays (other than ANZAC Day, Christmas Day and Good Friday) before 9 am or after 3 pm; or
  - (c) Sundays, ANZAC Day, Christmas Day and Good Friday at any time.
8. This permit will expire if:
  - (a) the development is not commenced within two years of the date of this permit; or
  - (b) the development is not completed within four years of the date of this permit.

The Responsible Authority may extend the periods referred to if a request is made in writing before the permit expires or within six months afterwards for commencement or within twelve months afterwards for completion.

Notes:

This site is subject to a Heritage Overlay. A planning permit may be required for any external works.


A building permit may be required before development is commenced. Please contact Council's Building Services on 9205 5428 to confirm.

Provision must be made for drainage of the site to a legal point of discharge. Please contact Council's Building Services on 9205 5428 for further information.

A vehicle crossing permit is required for the construction of the vehicle crossing(s). Please contact Council's Construction Management Branch on 9205 5585 for further information.

A local law permit (e.g. Asset Protection Permit, Road Occupation Permit) may be required before development is commenced. Please contact Council's Construction Management Branch on 9205 5585 to confirm.

**Date: 31 August 2018**

  
\_\_\_\_\_  
Ally Huynh  
Signature for the Responsible Authority

**Attachment 9 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - Current Planning Permit**

**THIS PERMIT WAS ISSUED AT THE DIRECTION OF VCAT AS FOLLOWS:**

**Date of Order**

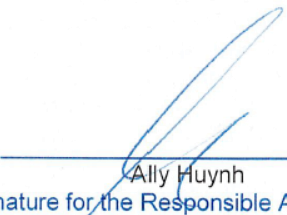
31 August 2018

Planning Permit PLN17/0744 was issued in accordance with the order of the Victorian Civil and Administrative Tribunal, reference: P372/2018

**THIS PERMIT HAS BEEN AMENDED AS FOLLOWS:**

Date of amendment	Brief description of amendment
19 September 2019	Pursuant to Section 74 of the <i>Planning and Environmental Act 1987</i> the permit and endorsed plans are amended to include further demolition and the construction of a ground and first floor addition to the rear of the existing dwelling, including the replacement of roof gutters, part of which are located within No. 198 Nicholson Street, Abbotsford.

**Date: 31 August 2018**



Ally Huynh  
Signature for the Responsible Authority

**Attachment 9 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - Current Planning Permit****PLANNING PERMIT****IMPORTANT INFORMATION ABOUT THIS PERMIT****WHAT HAS BEEN DECIDED?**

The Responsible Authority has issued a permit.

(Note: This is not a permit granted under Division 5 or 6 of Part 4 of the **Planning and Environment Act 1987**.)

**WHEN DOES A PERMIT BEGIN?**

A permit operates:

- from the date specified in the permit; or
- if no date is specified, from—
  - (i) the date of the decision of the Victorian Civil and Administrative Tribunal, if the permit was issued at the direction of the Tribunal; or
  - (ii) the date on which it was issued, in any other case.

**WHEN DOES A PERMIT EXPIRE?**

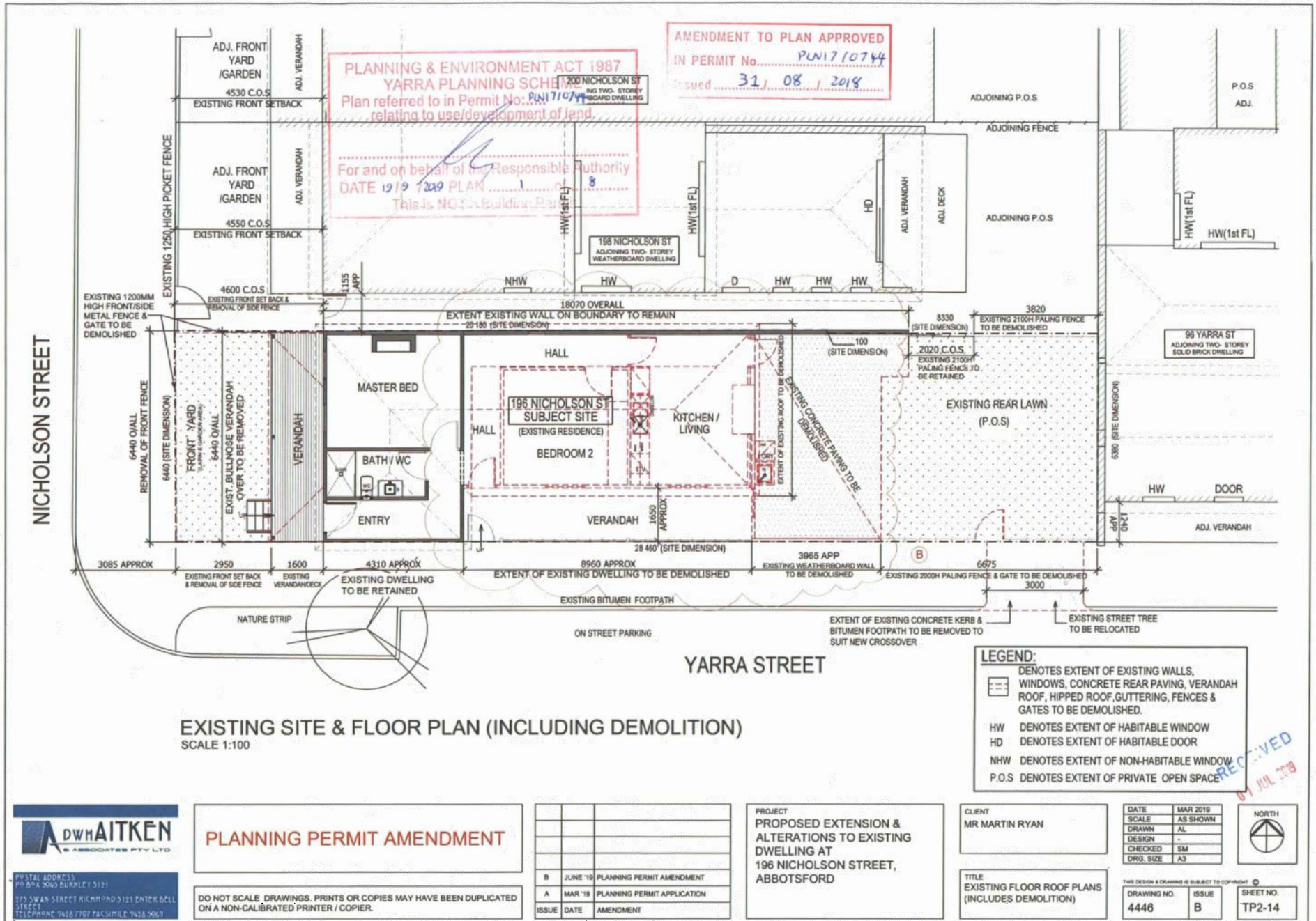
1. A permit for the development of land expires if—
  - the development or any stage of it does not start within the time specified in the permit; or
  - the development requires the certification of a plan of subdivision or consolidation under the Subdivision Act 1988 and the plan is not certified within two years of the issue of the permit, unless the permit contains a different provision; or
  - the development or any stage is not completed within the time specified in the permit, or, if no time is specified, within two years after the issue of the permit or in the case of a subdivision or consolidation within 5 years of the certification of the plan of subdivision or consolidation under the **Subdivision Act 1988**.
2. A permit for the use of land expires if—
  - the use does not start within the time specified in the permit, or if no time is specified, within two years after the issue of the permit; or
  - the use is discontinued for a period of two years.
3. A permit for the development and use of land expires if—
  - the development or any stage of it does not start within the time specified in the permit; or
  - the development or any stage of it is not completed within the time specified in the permit, or, if no time is specified, within two years after the issue of the permit; or
  - the use does not start within the time specified in the permit, or, if no time is specified, within two years after the completion of the development; or
  - the use is discontinued for a period of two years.
4. If a permit for the use of land or the development and use of land or relating to any of the circumstances mentioned in section 6A(2) of the **Planning and Environment Act 1987**, or to any combination of use, development or any of those circumstances requires the certification of a plan under the **Subdivision Act 1988**, unless the permit contains a different provision—
  - the use or development of any stage is to be taken to have started when the plan is certified; and
  - the permit expires if the plan is not certified within two years of the issue of the permit.
5. The expiry of a permit does not affect the validity of anything done under that permit before the expiry.

**WHAT ABOUT REVIEWS?**

- The person who applied for the permit may apply for a review of any condition in the permit unless it was granted at the direction of the Victorian Civil and Administrative Tribunal, in which case no right of review exists.
- An application for review must be lodged within 60 days after the permit was issued, unless a notice of decision to grant a permit has been issued previously, in which case the application for review must be lodged within 60 days after the giving of that notice.
- An application for review is lodged with the Victorian Civil and Administrative Tribunal.
- An application for review must be made on relevant form which can be obtained from the Victorian Civil and Administrative Tribunal, and be accompanied by the applicable fee.
- An application for review must state the grounds upon which it is based.
- A copy of an application for review must be served on the responsible authority.
- Details about applications for review and the fees payable can be obtained from the Victorian Civil and Administrative Tribunal.

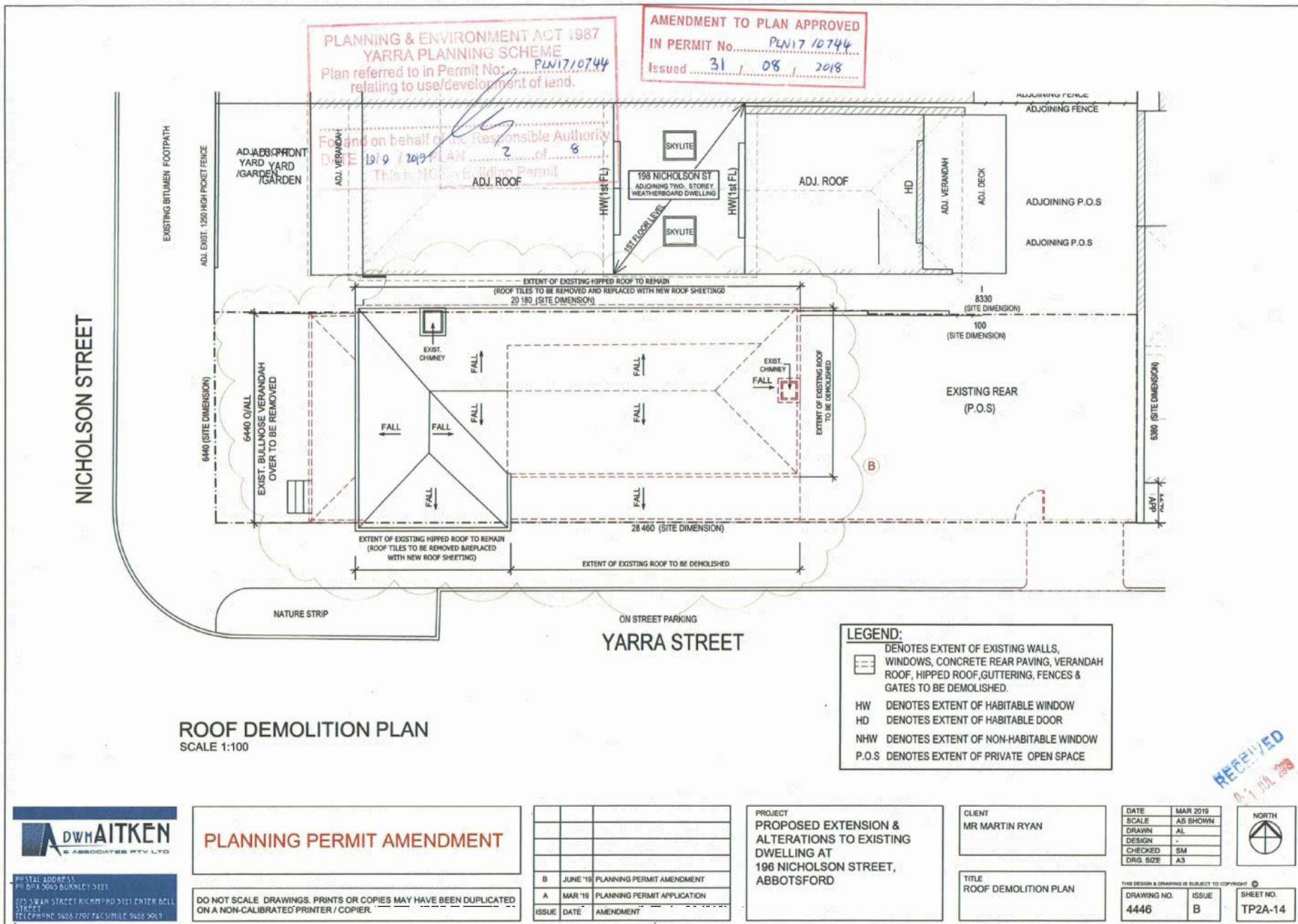
*Planning and Environment Regulations 2015 No. 33/2015 Form 4 Sections 63, 64, 64A and 86*

Attachment 10 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - Current Endorsed Plans

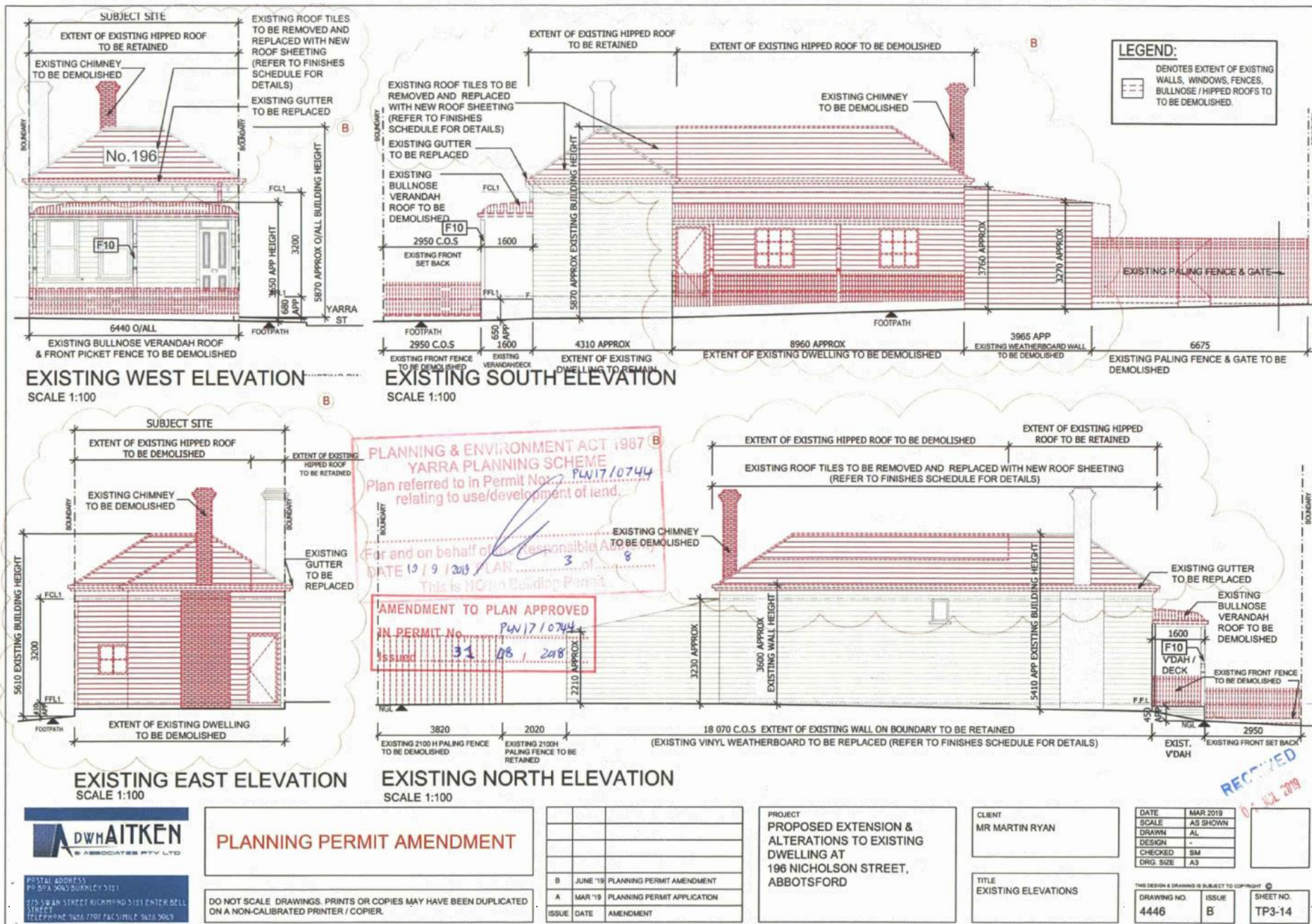




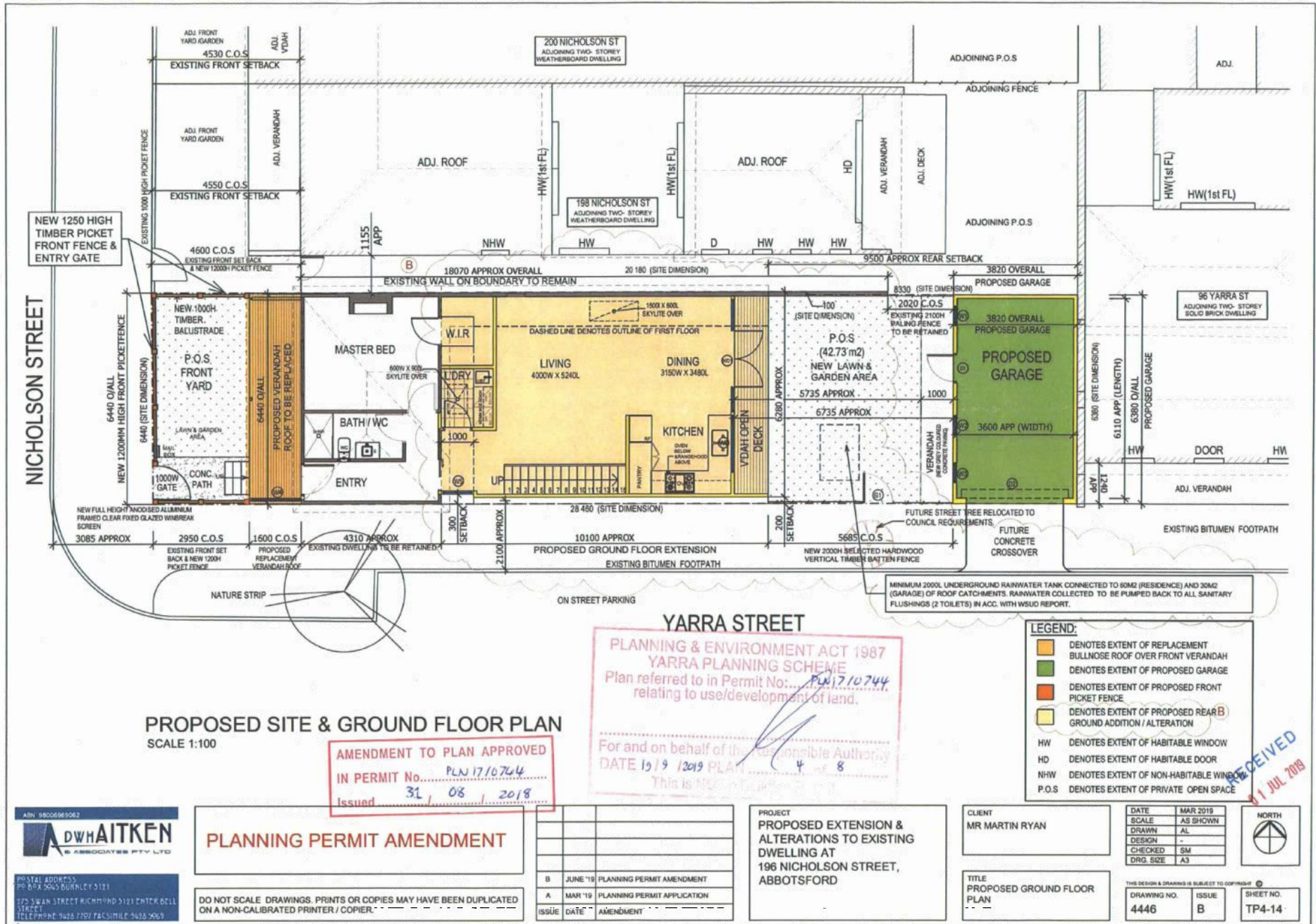
Attachment 10 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - Current Endorsed Plans



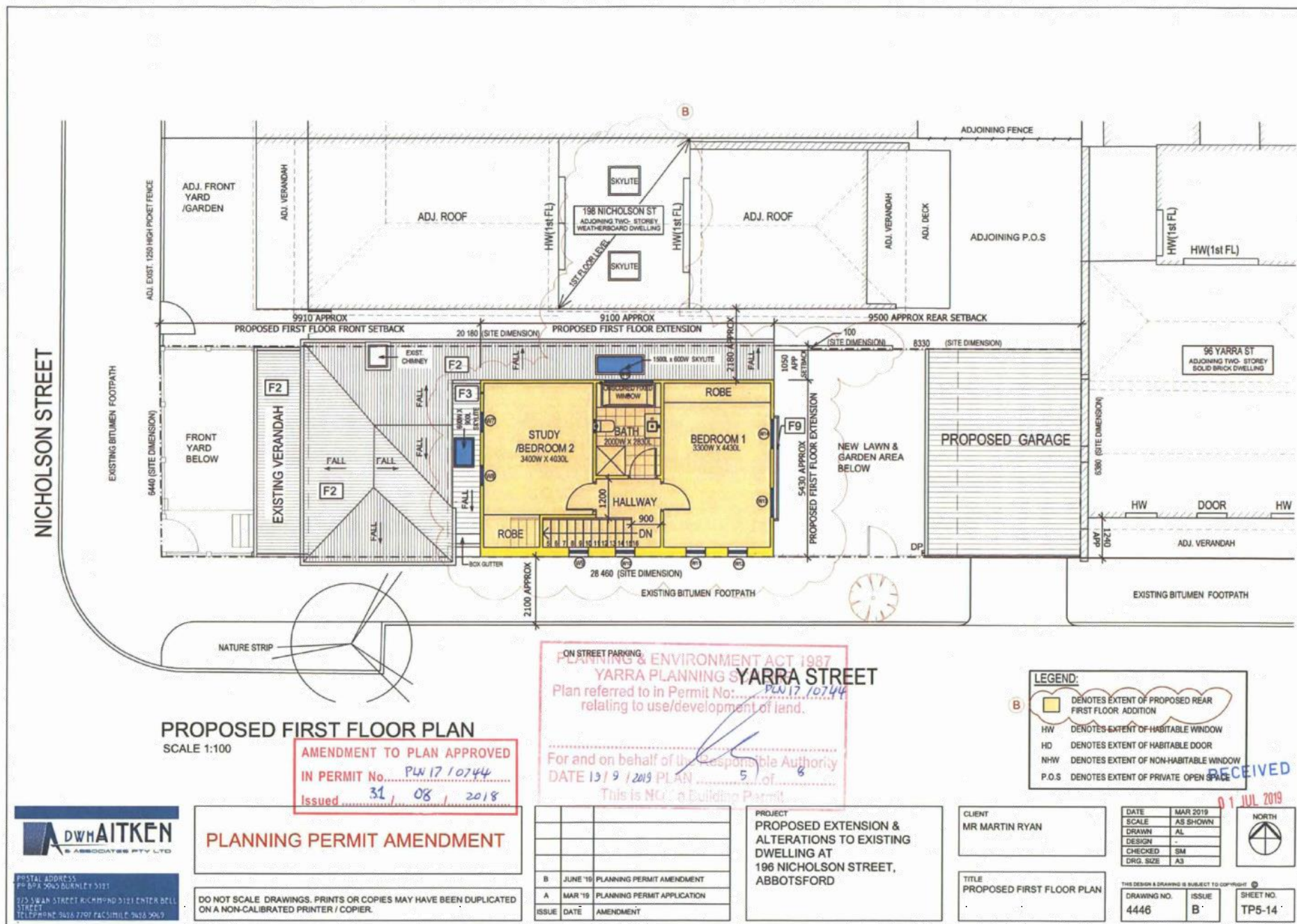
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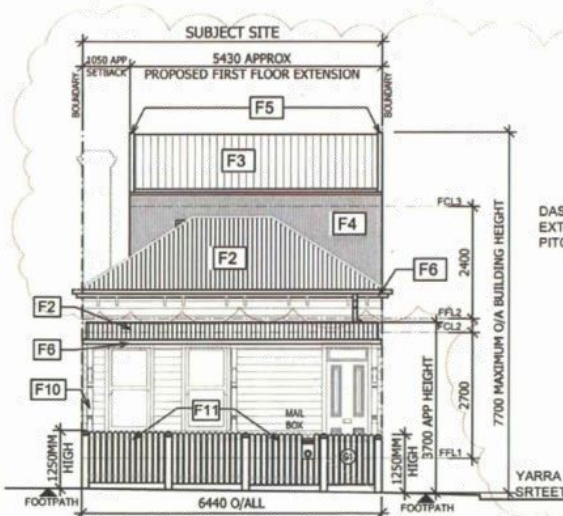
Attachment 10 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - Current Endorsed Plans

EXTERNAL FINISHES SCHEDULE					
NO.	DESCRIPTION	SAMPLE	NO.	DESCRIPTION	SAMPLE
F1	NEW TIMBER WEATHERBOARD CLADDING TO MATCH EXISTING PROFILE AND PAINTED WHITE FINISH (GARAGE & GROUND FLOOR EXTENSION)		F8	NEW WOODLAND GREY COLORBOND DOWNPIPES, GUTTERING / FLASHINGS WITH WHITE PAINTED FINISH TO EAVES FASCIA TO GARAGE.	
F2	REPLACEMENT UNPAINTED HERITAGE GALVANIZED GRADE Z600 ROOF SHEETING (EXISTING GROUND FLOOR HIPPED ROOF TO BE RETAINED)		F9	NEW 1700MM HIGH BLACK POWDERCOATED ALUMINIUM PERFORATED METAL SCREEN WITH MAXIMUM OF 25% OPENING TO PREVENT OVERLOOKING.	
F3	MATT MONUMENT METAL COLORBOND ROOF SHEETING (FIRST FLOOR EXTENSION)		F10	TREATED PINE OPEN TIMBER DECK WITH CLEAR TUNG OIL FINISH.	
F4	SELECTED HARDWOOD VERTICAL TIMBER BATTEN WALL CLADDING TO GARAGE /1ST FLOOR ADDITION FACADE & SIDE BOUNDARY FENCE ALONG YARRA STREET (REFER TO PHOTO EXAMPLE ON SHEET TP8)		F11	NEW 1250MM HIGH TIMBER PICKET FRONT & SIDE B'DRY FENCES WITH WHITE PAINTED FINISH	
F5	MATT MONUMENT COLORBOND DOWNPIPES, GUTTERING, CAPPING /FLASHINGS.		F12	PROPOSED CEMENT SHEET CLADDING INFILL PAINTED TO MATCH EXISTING FINISH	
F6	NEW SURFMIST COLORBOND DOWNPIPES, GUTTERING / FLASHINGS WITH WHITE PAINTED FINISH TO EAVES FASCIA TO MATCH EXISTING.		F13	PROPOSED 1000MM HIGH TIMBER FRAMED BALUSTRADE PAINTED IN WHITE FINISH TO MATCH EXISTING VERANDAH WITH TURNED POSTS TO REMAIN.	
F7	NEW WOODLAND GREY COLORBOND FINISH SPEED DECK ROOF SHEETING AT 1° MIN PITCH OVER GARAGE			PROPOSED NEW WINDOWS AND DOORS FRAMINGS BLACK POWDERCOATED METAL FRAMES	

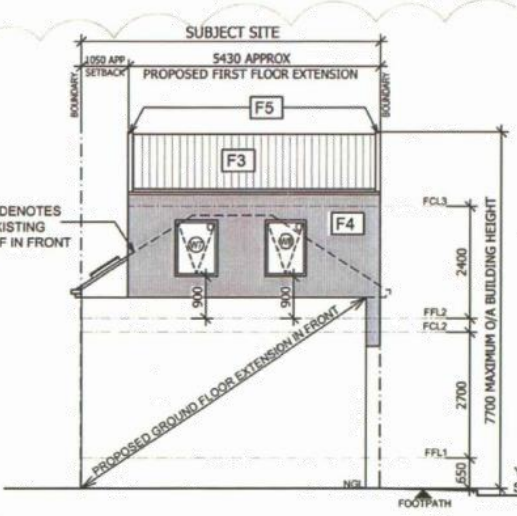
AMENDMENT TO PLAN APPROVED  
 IN PERMIT No. PLN17/0744  
 Issued 31 / 08 / 2018

PLANNING & ENVIRONMENT ACT 1987  
 YARRA PLANNING SCHEME  
 Plan referred to in Permit No. PLN17/0744  
 relating to use/development of land.

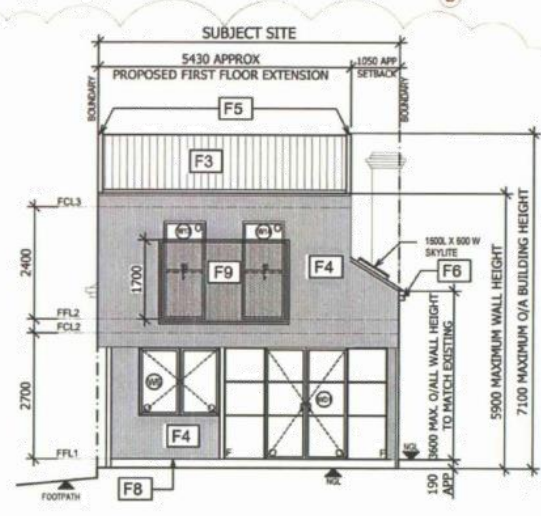
For and on behalf of the Responsible Authority  
 DATE 19/9/2019 PLAN 6 of 8  
 This is NOT a Building Permit



PROPOSED WEST ELEVATION  
 SCALE 1:100



PROPOSED INTERNAL WEST ELEVATION  
 SCALE 1:100



PROPOSED EAST ELEVATION  
 SCALE 1:100

RECEIVED  
 31 JUL 2019

**DWHAITKEN**  
 & ASSOCIATES PTY LTD  
 175 SWAN STREET RICHMOND VIC 3121  
 PHONE 03 9450 5000  
 FAX 03 9450 5001  
 WEBSITE www.dwhaitken.com.au

**PLANNING PERMIT AMENDMENT**

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ISSUE	DATE	AMENDMENT
B	JUNE '19	PLANNING PERMIT AMENDMENT
A	MAR '19	PLANNING PERMIT APPLICATION

PROJECT  
 PROPOSED EXTENSION & ALTERATIONS TO EXISTING DWELLING AT 196 NICHOLSON STREET, ABBOTSFORD

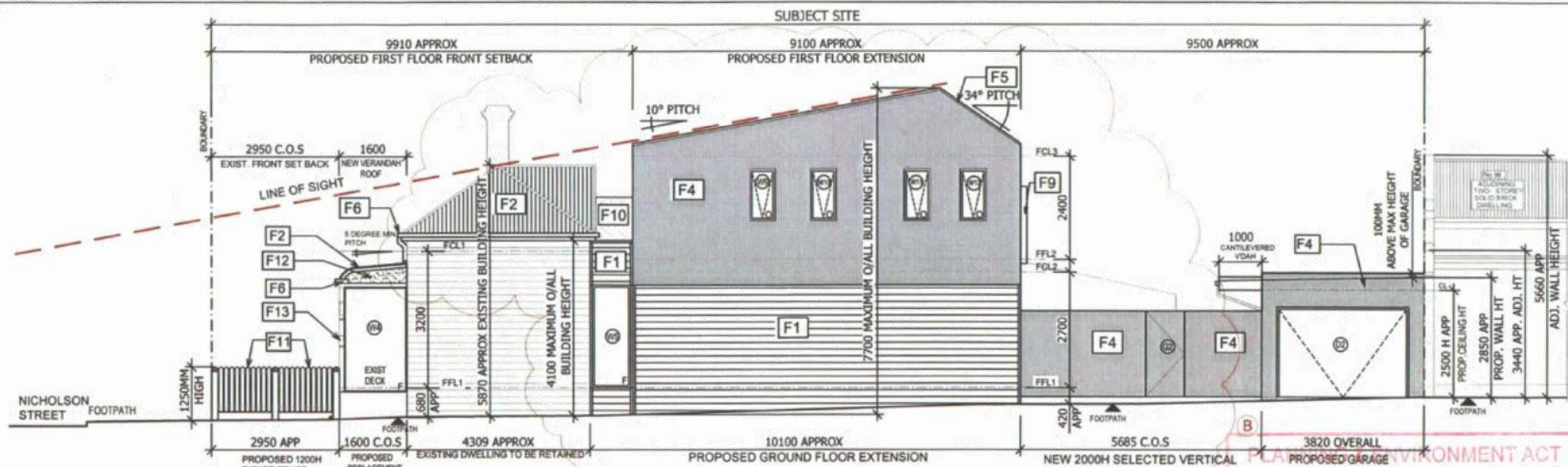
CLIENT  
 MR MARTIN RYAN

TITLE  
 PROPOSED ELEVATIONS EXTERNAL FINISHES SCHEDULE

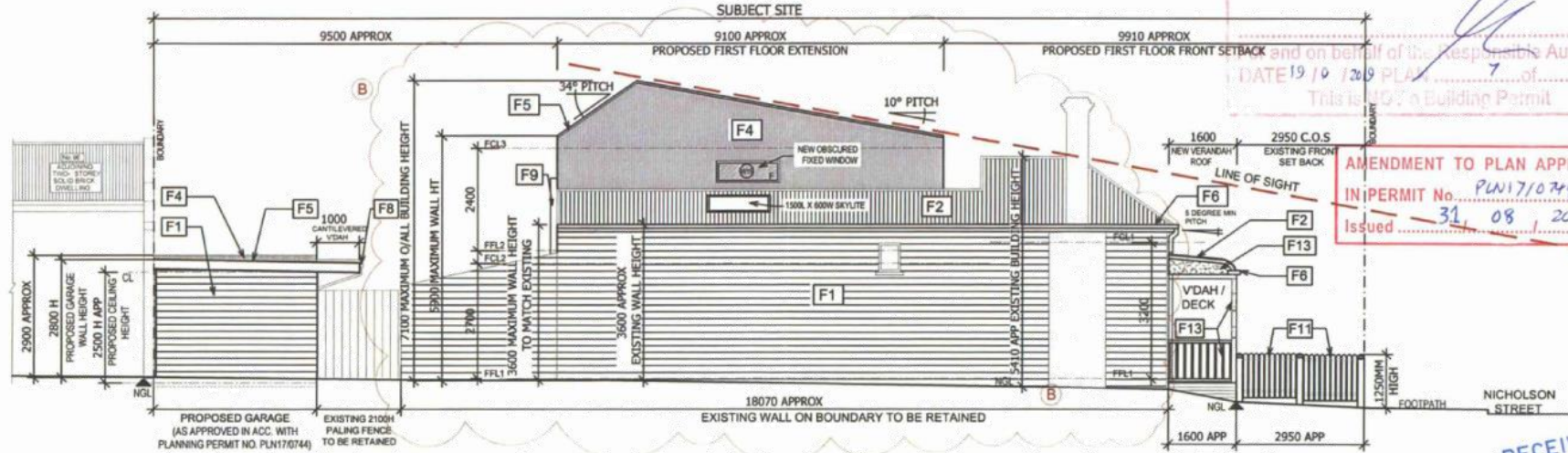
DATE	MAR 2019
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DRG. SIZE	A3

DRAWING NO.	4446
ISSUE	B
SHEET NO.	TP6-14

Attachment 10 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - Current Endorsed Plans



**PROPOSED SOUTH ELEVATION**  
SCALE 1:100



**PROPOSED NORTH ELEVATION**  
SCALE 1:100

PLANNING ENVIRONMENT ACT 1987  
YARRA PLANNING SCHEME  
Plan referred to in Permit No: PLN17/0744  
relating to use/development of land.  
and on behalf of the responsible Authority  
DATE 19/10/2019 PLAN No. 7 of 8  
This is NOT a Building Permit

AMENDMENT TO PLAN APPROVED  
IN PERMIT No. PLN17/0744  
Issued 31/08/2018

RECEIVED  
01 JUL 2019

**DWHAITKEN**  
ASSOCIATES PTY LTD  
POSTAL ADDRESS:  
FP 87X 5045 BURNLEY 3181  
115-218 AN STREET RICHMOND 3121 ENTER BELL STREET  
TELEPHONE: 9626 7207 FACSIMILE: 9626 5069

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ISSUE	DATE	AMENDMENT
B	JUNE '19	PLANNING PERMIT AMENDMENT
A	MAR '19	PLANNING PERMIT APPLICATION

PROJECT  
PROPOSED EXTENSION & ALTERATIONS TO EXISTING DWELLING AT 196 NICHOLSON STREET, ABBOTSFORD

CLIENT  
MR MARTIN RYAN

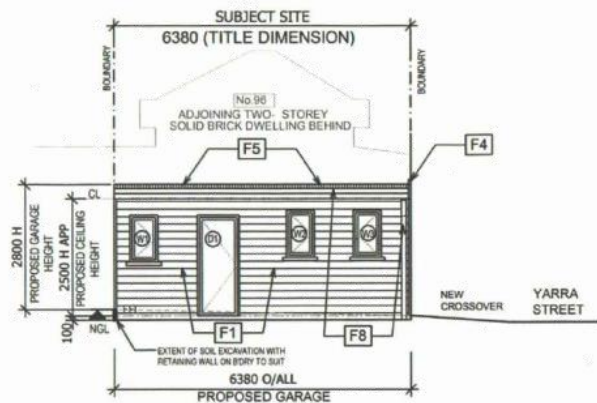
TITLE  
PROPOSED ELEVATIONS

DATE	MAR 2019
SCALE	AS SHOWN
DRAWN	AL
DESIGN	-
CHECKED	SM
DRG. SIZE	A3

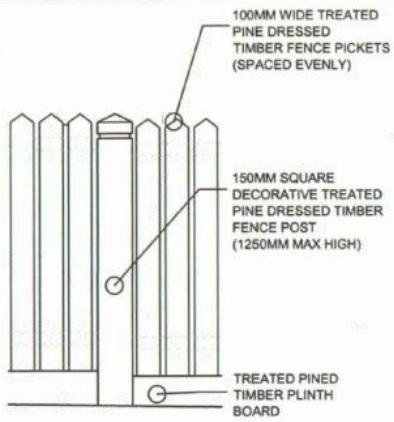
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DRAWING NO.	ISSUE	SHEET NO.
4446	B	TP7-14

Attachment 10 - PLN17/0744.02 - 196 Nicholson Street Abbotsford - Current Endorsed Plans



PROPOSED WEST GARAGE ELEVATION  
SCALE 1:100



TYPICAL POST & PICKET DETAIL SCALE 1:20

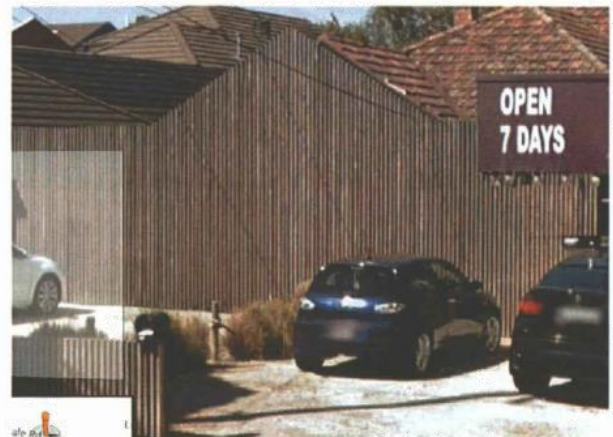


PHOTO EXAMPLE OF HARDWOOD VERTICAL TIMBER BATTEN WALL NOT IN SCALE

DOOR & WINDOW SCHEDULE	
NO.	DESCRIPTION
D1	NEW 2100H X 920W TIMBER FRAMED SOLID CORE TIMBER DOOR AS SELECTED
D2	NEW 2100H X 3800W COLORBOND METAL TILT DOOR AS SELECTED- WOODLAND GREY - NOT ENCROACH OUTSIDE OF TITLE BOUNDARY
W1	NEW 900H X 600W TIMBER FRAMED DOUBLE GLAZED DOUBLE CASEMENT WINDOW AS SELECTED
W2	NEW 900H X 600W TIMBER FRAMED DOUBLE GLAZED DOUBLE CASEMENT WINDOW AS SELECTED
W3	NEW 900H X 600W TIMBER FRAMED DOUBLE GLAZED DOUBLE CASEMENT WINDOW AS SELECTED
W4	NEW 2450H X 1450W ANODISED ALUMINIUM FIXED CLEAR GLAZED WINDOW /SCREEN
W5	NEW 2400H X 900W ALUMINIUM FRAMED BLACK POWDERCOATED OBSCURE FIXED GLAZED WINDOW
W6	NEW 1400H X 1800W STEEL FRAMED BLACK POWDERCOATED CASEMENT CLEAR GLAZED WINDOW
W7-W8	NEW 1200H X 900W ALUMINIUM FRAMED BLACK POWDERCOATED AWNING CLEAR GLAZED WINDOW
W9-W12	NEW 1200H X 600W ALUMINIUM FRAMED BLACK POWDERCOATED AWNING CLEAR GLAZED WINDOW
W13-W14	NEW 2100H X 900W ALUMINIUM FRAMED BLACK POWDERCOATED SHUGG CLEAR GLAZED WINDOW
W15	NEW 500H X 1500W ALUMINIUM FRAMED BLACK POWDERCOATED OBSCURE FIXED GLAZED WINDOW
WD1	NEW 2400H X 3500W STEEL FRAMED BLACK POWDERCOATED GLAZED DOORS & FIXED GLAZED WINDOW UNIT
G1	NEW 1200H X 1900W TIMBER PICKET ENTRY GATE
G2	NEW 2000H X 900W TIMBER SALT ENTRY GATE TO MATCH PROPOSED TIMBER SCREEN

PLANNING & ENVIRONMENT ACT 1987  
YARRA PLANNING SCHEME  
Plan referred to in Permit No. PLN17/0744  
relating to use/development of land.

For and on behalf of the Responsible Authority  
DATE 13 / 9 / 2019 PLAN 8 of 8  
This is not a Building Permit

AMENDMENT TO PLAN APPROVED  
IN PERMIT No. PLN17/0744  
Issued 31 / 08 / 2018

RECEIVED  
01 JUL 2019

**ADWHAITKEN**  
ASSOCIATES PTY LTD

POSTAL ADDRESS  
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**PLANNING PERMIT APPLICATION**

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ISSUE	DATE	AMENDMENT
B	JUNE '19	PLANNING PERMIT AMENDMENT
A	MAR '19	PLANNING PERMIT APPLICATION

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CLIENT  
MR MARTIN RYAN

TITLE  
PROPOSED ELEVATIONS DOOR & WINDOW SCHEDULE

DATE	AUG 2017
SCALE	AS SHOWN
DRAWN	SM
DESIGN	-
CHECKED	SM
DRG. SIZE	A3

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4304	B	TP-8-8