

Attachment 1 - PLN18/0779 - 175 Keele Street Collingwood - Subject Land

Subject Land: 175 Keele Street, Collingwood



↑ North
★ Subject site

Attachment 2 - PLN18/0779 - 175 Keele Street Collingwood - Melbourne Water Response (23 September 2019)



23 September 2019

Daniel Goode
Yarra City Council
P.O. Box 168
Richmond VIC 3121

Dear Daniel,

Proposal: Alterations and Additions to existing dwelling
Site location: 175 KEELE STREET COLLINGWOOD 3066

Melbourne Water reference: MWA-1137407
Council reference: PLN18/0779
Date referred: 23 September 2019

Our Decision

Melbourne Water, pursuant to Section 56(1) of the Planning and Environment Act 1987, does not object to the proposal, subject to the following conditions:

Conditions

1. Finished floor levels of the extended floor with the exception to the 'porch' area must be constructed no lower than 20.21 metres to Australian Height Datum (AHD).
2. Finished floor levels of the 'porch' must be constructed no lower than 19.70 metres to AHD.
3. The layout of the site and size, design and location of the 5.05 metre square flood storage area as shown on the Ground Floor plan (Project No. KSH Drawing A103 Revision T4 dated 6 August 2019) must not be altered without prior written consent from Melbourne Water. The layout must remain open for the life of the structure to allow for flood storage.
4. Any fencing to the rear southern boundary must be a minimum of 75% 'open style' to allow for the conveyance of overland flow. No timber paling fence is permitted to this boundary.
5. Imported fill must be kept to a minimum on the property and must only be used for the sub floor areas of the extended floor area.
6. Any new internal fencing, with the exception of the southern boundary, must be open style (50%) of construction or timber paling to allow for the conveyance of overland flow.
7. Prior to the issue of an Occupancy Permit, a certified survey plan, showing finished



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floor levels (as constructed) reduced to the Australian Height Datum, must be submitted to Melbourne Water to demonstrate that the floor levels have been constructed in accordance with Melbourne Water's requirements.

Advice

The applicable flood level is 19.91 metres to Australian Height Datum (AHD).

To access more information regarding other services or online applications that Melbourne Water offers please visit our [website](#).

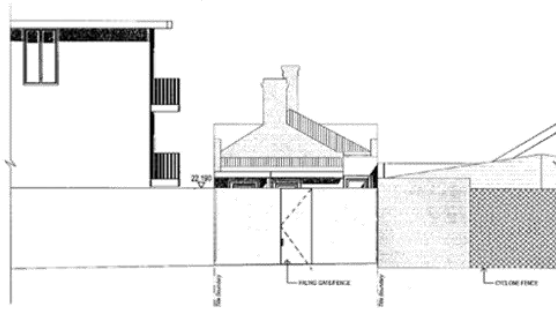
For general development enquiries contact our Customer Service Centre on 131722.

Regards,

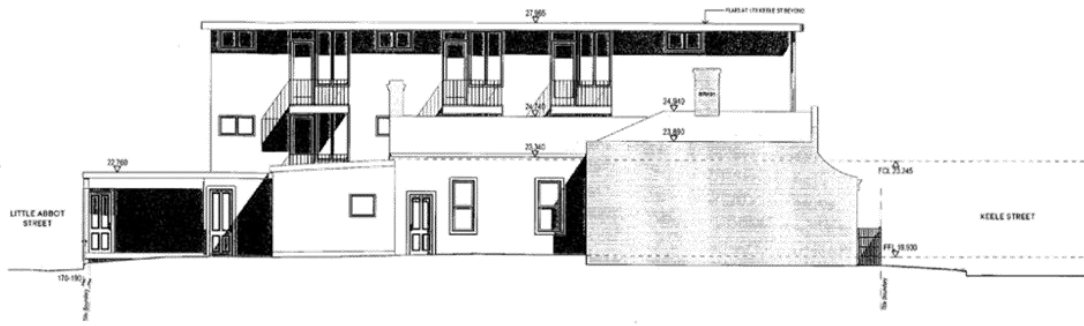


Louise Ripper
Development Planning Services

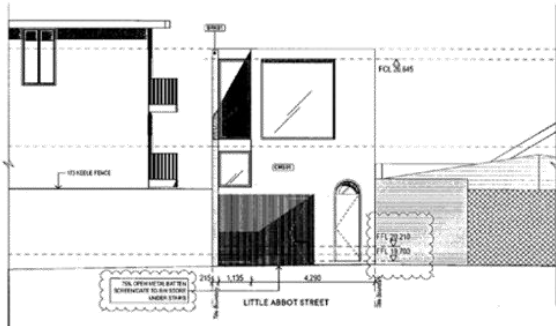
Attachment 3 - PLN18/0779 - 175 Keele Street Collingwood - Section 57A Plans



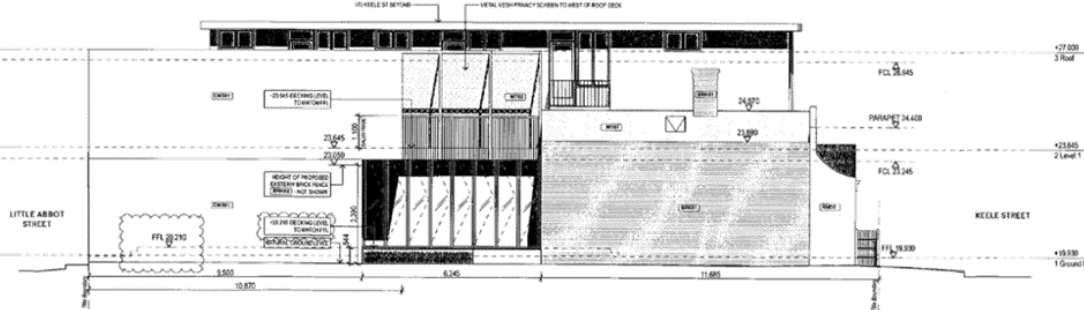
1 Existing South Elevation
SCALE: 1:100



2 Existing East Elevation
SCALE: 1:100



3 Proposed South Elevation
SCALE: 1:100



4 Proposed East Elevation
SCALE: 1:100

MATERIALS AND FINISHES LEGEND

- ADAPT TO WALLS AND INTERIORS EXPOSED
- (CMDF) Concrete Slab (existing) - Natural Finish
- (CMDF) Concrete Slab (existing) - Natural Finish
- (MDF) Medium Density Fibreboard (MDF) - Painted
- (MDF) Plywood (interior) - Painted (20% matt)
- (MDF) Brickwork
- (MDF) Insulation and wall studs
- (MDF) Floating Timber - Ply/Floor
- (MDF) Concrete Slab - Existing Floor
- (MDF) Timber joists (existing) - Paint Finish

REVISION HISTORY

NO.	DATE	DESCRIPTION
14	06.08.19	REVISED FFILLAR PORCH, BAY STORE & CLOSURE/FENCING TO COMPLY WITH MELBOURNE WATTLE CONDITIONS

DREW GARDAM ARCHITECTS
E DREWSGARDAM@GSPOND.COM M 0414 464 952



NOTE
Builder/Contractors shall verify all dimensions before any job commences. Figured dimensions shall take precedence over scaled work. Work shall also conform to the specifications, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the return of repeated shop drawings signed by the Architect/Consultant.

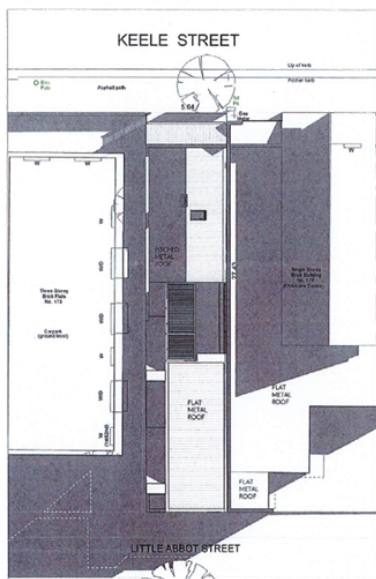
CONSTRUCTION NOTES:
ALL WORK TO BE IN ACCORDANCE WITH ALL APPLICABLE AND ALL DEF. WITH AREAS TO BE IMPROVED TO WATER TIGHT BARRIERS BEING ANY BRICK, CONCRETE OR WALL TO A HEIGHT OF 300MM ABOVE THE FINISH WATERFALLING TO THE FLOOR TO COMPLY WITH AS 3558 BACKS OF DETECTOR AND ALARM SYSTEMS TO COMPLY WITH AS/NZS 1853 ELECTRICAL INSTALLATION TO COMPLY WITH AS 1853.001 AS APPLICABLE TO THE PROPOSED WORK. ALL WATERS DRIVERS IS TO BE IN ACCORDANCE WITH ALL APPLICABLE AND ALL DEF. WITH AREAS TO BE IMPROVED TO COMPLY WITH AS 1853.001 ROOFING TO COMPLY WITH AS 1853.001 AND AS 3558. FINISH CEILING AND WAREHOUSE WALL CLADDING TO COMPLY WITH AS 2312.2.2 OF THE BUILDING CODE OF PRACTICE AND AS 3558.001. ALL WORK TO COMPLY WITH CLAUSE 3.3.4 OF THE BCA VOLUME 2. OTHERWISE TO BE CLASSED IN ACCORDANCE WITH CLAUSE 3.3.3.4 OF THE BCA VOLUME 2.

PROJECT
KEELE ST HOUSE
CLIENT
JOSHUA SHARKEY AND HOLLY ROBBINS
TITLE
EX. / PROP. EAST & SOUTH ELEVATIONS
DWG NO.
A 202

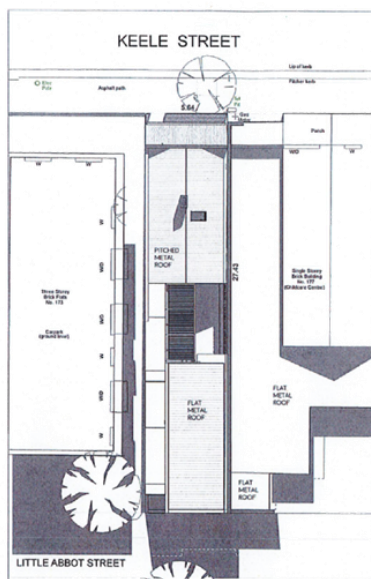
Project Number KSH
Drawn By DG
Checked EC
Date Tuesday, 6 August 2019
Scale: 1:100 (A2)
SITE ADDRESS: 175 KEELE ST, COLLINGWOOD, VIC.
REV: T4 **ISSUE:** TOWN PLANNING

Attachment 3 - PLN18/0779 - 175 Keele Street Collingwood - Section 57A Plans

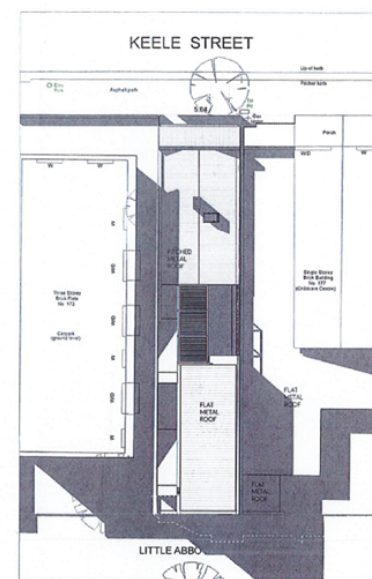
ADVERTISED PLANS



22ND SEPTEMBER - 9AM



22ND SEPTEMBER - 12PM



22ND SEPTEMBER - 3PM

NOTE: DASHED WHITE LINE INDICATES EXTENT OF EXISTING SHADOWS

DREW GARDAM ARCHITECTS
E: DREW@GARDAMBBIS.COM | M: 0414 404 912



NOTE: Client/Contractor shall verify job dimensions before any job commences. Figured dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacture shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant

CONSTRUCTION NOTES:
CLADDING TO BE IN ACCORDANCE WITH AS 1550.0600 and AS 2900.1. WET AREAS TO BE SURFACED TO WATER. WALL SURFACES BEHIND ANY BASIN, SPAK, ETC OF A WALL TO A HEIGHT OF 200MM ABOVE THE FINISH. INTERFACING TO BE TO COMPLY WITH AS 2900.0600 (OUTSIDE) AND AS 2900.0610 (INTERIOR). TO COVER WITH AN APPROPRIATE ELECTRICAL INSTALLATION TO COMPLY WITH AS 2900.0600. ALL MANHOLES TO BE IN ACCORDANCE WITH AS 2900.1. FLOOR FINISHES TO BE IN ACCORDANCE WITH AS 2900.0600. METAL ROOFING AND METAL CLADDING TO COMPLY WITH AS 1550.0600 AND AS 2900.0610. FIRM AS SET AND HANGING SHALL CLADDING TO COMPLY WITH CLAUSE 3.3.3 OF THE BCA VOLUME 2. FILING CEMENT WETTING SHALL FOLLOW SHEET WALL CLADDING TO COMPLY WITH CLAUSE 3.3.4 OF THE BCA VOLUME 2. OPENINGS IN CLADDING TO BE FINISHED IN ACCORDANCE WITH CLAUSE 3.3.5 OF THE BCA VOLUME 2.

PROJECT
KEELE ST HOUSE
CLIENT
JOSHUA SHARKEY AND HOLLY ROBBINS
TITLE
SHADOW STUDIES
DWG No.
A 300

Project Number	KSH
Drawn By	DG
Checked	EC
Date	Monday, 1 April 2019
Scale:	1:200 (A2)
SITE ADDRESS:	175 KEELE ST, COLLINGWOOD, VIC.
REV:	T3
ISSUE:	TOWN PLANNING









Attachment 3 - PLN18/0779 - 175 Keele Street Collingwood - Section 57A Plans

DREW GARDAM ARCHITECTS



Materials and Finishes

175 Keele Street, Collingwood. REVISION: T1 DATE: 11/01/2019

Code	Locations	Description	Supplier	Colour/ Type	IMAGE
CMS01	ADDITIONS: FACADE	CEMENT SHEET CLADDING	ATKAR Cembrit Patina	MID GREY	
MT01	ALL ROOF SHEETING	COLORBOND STEEL IN LYSAGHT CUSTOM ORB PROFILE	COLORBOND	BASALT	
MT02	WEST PRIVACY SCREEN, METAL SHADE STRUCTURE, NEW WINDOW FRAMES, NEW DOORS	PERFORATED METAL SHEET 25% OPEN/ METAL FRAMING, METAL DOOR LEAF (REAR)	LOCKER GROUP R03325 AND CAPRAL WINDOW FRAMES OR SIMILAR	DULUX POWDER- COAT: OLIVE PASTE S18A5	
BRK01	BRICK FACADE	DUAL COLOURED ORIGINAL BRICKWORK	N/A	PRESSED BROWNS AND CREAMS.	
BRK02	NEW BRICK/ NEW BRICK VENEER	WEST WALL, FENCE	PADDIES BRICKS OR SIMILAR	RECYCLED PRESSED BROWNS	
RND1	PARAPET	EXISTING RENDER	DULUX PAINT WEATHERSHI ELD FLAT	BLACK CAVIAR	

Attachment 3 - PLN18/0779 - 175 Keele Street Collingwood - Section 57A Plans

ADVERTISED PLANS

RND2	PORCH WINGS	FAIRING COAT RENDER	ARDEX	NATURAL	
TIM1	NORTH L1 BEDROOM WALL, PICKET FENCE, PARAPET.	TIMBER BATTEN	DULUX PAINT WEATHERSHI ELD FLAT	BLACK CAVIAR	
PNT01	EX. NORTH WINDOW FRAME AND DOOR FRAME	EXISTING TIMBER	DULUX PAINT WEATHERSHI ELD FLAT	NATURAL WHITE	 <small>Dulux Natural White™</small>
PNT02	EX. FRONT DOOR LEAF	EXISTING TIMBER	DULUX PAINT ENAMEL GLOSS	BLACK CAVIAR	

Attachment 4 - PLN18 0779 - 175 Keele Street Collingwood - Heritage Advice

City of Yarra

Heritage Advice

Application No.:	<i>PLN18/0779</i>
Address of Property:	175 Keele Street, Collingwood
Planner:	<i>Daniel Goode</i>
Yarra Planning Scheme References:	<ul style="list-style-type: none"> • <i>Clause 15.03 Heritage</i> • <i>Clause 21.05-1 Built Form (Heritage)</i> • <i>Clause 22.02 Development Guidelines for sites subject to the Heritage Overlay</i> • <i>Clause 43.01 Heritage Overlay</i> • <i>Clause 59.07 Applications Under A Heritage Overlay</i>
Heritage Overlay No. & Precinct:	<i>HO321 Gold Street Precinct</i>
Level of significance:	<i>Contributory, constructed 1870-189 (City of Yarra Review of Heritage Areas 2007 Appendix 8 (as updated from time to time))</i>
General description:	<i>Part demolition, construction of a two-storey addition and alterations</i>
Drawing Nos.:	<i>Set of ten drawings entitled Keele St House prepared by Drew Gardam, received by Council and date stamped 04 Apr 2019</i>

DESCRIPTION OF THE HO321 GOLD STREET PRECINCT COLLINGWOOD AREA

The following sections from the citation for the HO area are pertinent to this application

The Gold Street Heritage Overlay Area is significant:

- For its good representation of modest substantially intact timber and masonry workers' housing, interspersed with occasional industrial and commercial buildings dating predominantly from the late 19th and early 20th century. This residential and industrial mix contributes to an understanding of this area's heritage as a working class industrial suburb;
- As the largest group of early residential buildings remaining in Collingwood with the ability to demonstrate what was once more typical nature of the broader suburb;
- For the well-preserved late 19th century and early to mid-20th century industrial and commercial buildings;
- For the buildings that are of individual significance; and
- For the early street, lane and allotment layouts, together with some original bluestone infrastructure such as kerbs and guttering, providing an appropriate setting for this collection of buildings.

CONTEXT DESCRIPTION:

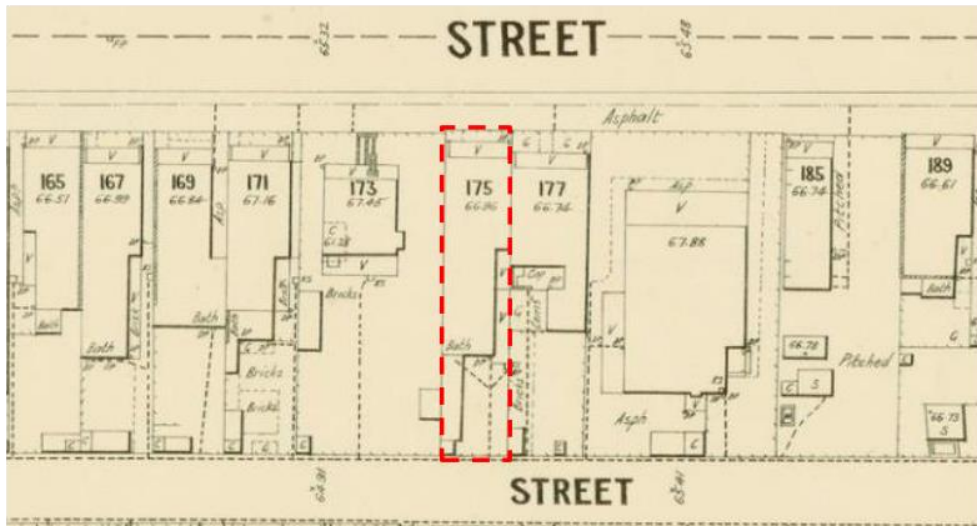
The subject site is a rectangular allotment with a principal frontage to Keele Street and rear frontage to little Abbot Street.

The building on site appears to have roughly the same footprint as the structure shown on the MMBW map for the area.

Attachment 4 - PLN18 0779 - 175 Keele Street Collingwood - Heritage Advice



Above: Current aerial of the subject site



Above: Extract from MMBW Plan 1236, c.1901. Subject site outlined in red.

The subject site contains a Victorian-era cottage constructed of polychromatic brickwork. The house has what appears to be an original front window and front door with fanlight above.

The hipped roof form is hidden from the street by a parapet. There is an attached front verandah with iron lacework and decorative columns.

Immediately to the west of the subject site are two non-contributory, three-storey apartment blocks constructed c.1970s.

To the east of the subject is the Gold Street Children's Centre, a large single-storey complex constructed c.1990s and which is non-contributory.

Attachment 4 - PLN18 0779 - 175 Keele Street Collingwood - Heritage Advice



Above: 175 Keele Street



Above: 175 Keele Street as seen from across the street. Subject site denoted by red dashed lines.



Above: View westwards along Keele Street towards subject site. Subject site denoted by red dashed line.

Attachment 4 - PLN18 0779 - 175 Keele Street Collingwood - Heritage Advice



Above: View eastwards along Keele Street towards the subject site. Subject site denoted by red dashed line.

Keele Street is a relatively intact streetscape of small, predominately single storey, masonry Victorian-era workers cottages interspersed with Edwardian and non-contributory post-war dwellings. The majority of contributory properties are attached on either side and are located under the same hipped roof – or – are separated and exhibit decorative parapets or steel roofs (some properties retain slate roofing). As a result there are long expanses of contributory properties before a non-contributory property interjects, providing long and cohesive vistas with a strong visual character of small scale Victorian-era buildings.



Above: Extract from Yarra GIS showing heritage grading of immediate area. Note long expanses of contributory properties and relatively small rows of non-contributory properties.

ASSESSMENT OF PROPOSED WORKS:

Comments regarding proposed demolition:

The extent of demolition proposed by this application includes the demolition of the rear portion of the existing building beyond the depth of the two original rooms.

The key consideration for assessing this aspect of the works is whether the proposed demolition will adversely affect the significance of the heritage building or the broader heritage precinct.

Clause 22.02-5.1 of the Yarra Planning Scheme generally encourages the removal of inappropriate alterations, additions and works that detract from the cultural significance of the place.

Attachment 4 - PLN18 0779 - 175 Keele Street Collingwood - Heritage Advice

The extent of demolition proposed in this application is generally supported on the grounds that:

- that part is not visible from the street frontage
- the removal of the part would not adversely affect the contribution of the building to the heritage place.
- the remaining portion of the building will not result in facadism.

It is however noted that the extent of roof structure proposed for demolition will not maintain the original hipped roof form above the front two rooms. As a consequence of the rear demolition it is recognised that part of the original roof form will need to be modified. The proposal is to reconstruct the rear portion of the roof as a gable rather than a hip. As both roof forms are appropriate to the architectural style of the building, and the roof form beyond the chimney is not actually visible from the street, it is considered that the extent of demolition associated with the reconstruction of the rear portion of the remaining roof is acceptable.

Comments regarding new development, alterations and additions:

The extent of new works proposed by this application includes development of a two-storey rear addition with a roof deck.

The key consideration for assessing this aspect of the works is whether the proposed new development will adversely affect the significance, character or appearance of the heritage building or the broader heritage precinct.

Setbacks and scale:

Clause 22.02-5.7.1 of the Yarra Planning Scheme encourages:

setbacks from the principal street frontage to be similar to those of adjoining contributory buildings; where there are differing adjoining setbacks, the greater setback will apply.

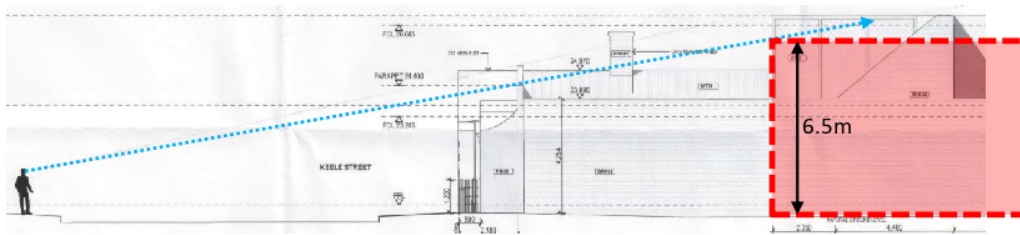
There are no comparable front setbacks for the upper floor level. The subject site is essentially isolated from adjacent heritage buildings by large scale non-contributory properties on both sides. The proposed front setback of the upper floor level from the rear of the remaining part of the original house will be 5.4 metres, which equates to about 17.0 metres from the front site boundary. This is considered a reasonable setback.

The existing building has zero side setbacks. The proposed addition will appear to have zero side setbacks at g

In regard to scale, Clause 22.02-5.7.1 of the Yarra Planning Scheme encourages:

similar façade heights to the adjoining contributory elements in the street. Where there are differing façade heights, the design should adopt the lesser height

The proposed finished height for the rear addition will be 7.3 metres. Within heritage areas two-storey additions are typically between 6 and 6.5 metres (slightly higher if there is a pitched roof).



Looking at the proposed ceiling heights, there appears to be ample opportunity to reduce the floor-to-ceiling heights by at least 400mm at ground floor level to 2.9m and 400mm at the upper floor level to 2.6m. The finished height of the proposed addition should be reduced to no greater than 6.5 metres. At that height the proposed development will be fully concealed so the appearance of the addition will be of no concern to the appearance of the original building.

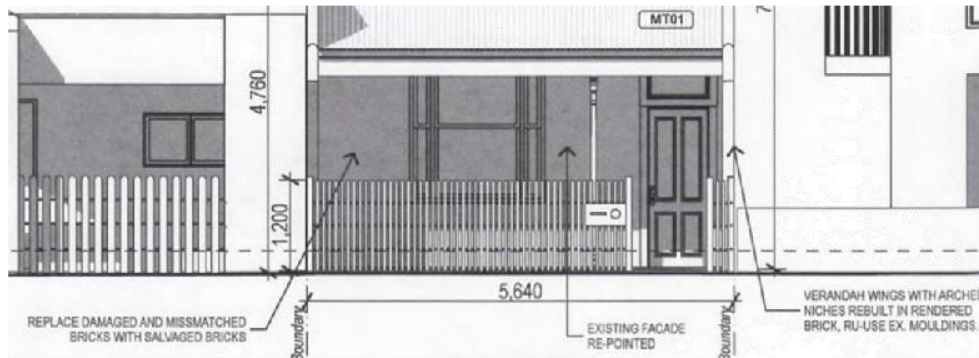
Attachment 4 - PLN18 0779 - 175 Keele Street Collingwood - Heritage Advice

Roofing:

The existing roof cladding is partial visible from the street. It appears to be galvanised corrugated metal sheeting.

The proposed replacement material for both the roof and front verandah is shown as Colorbond 'Basalt'. This is not an appropriate finish for a heritage building. The only roofing material that is supported in galvanised corrugated steel.

Works to the façade of the original building:



The submitted documents refer to various repairs. The full extent of works is not clear.

Brick replacement:

The full extent of brick replacement in the façade must be documented and a procedure for works must be provided prior to the commencement of works.

Repointing:

Repointing the existing brickwork should be carried out in accordance with the technical guidelines prepared by Heritage Victoria available at [https://www.heritage.vic.gov.au/_data/assets/pdf_file/0016/61522/Repointing Mortar Joints.pdf](https://www.heritage.vic.gov.au/_data/assets/pdf_file/0016/61522/Repointing_Mortar_Joints.pdf)

It should be noted that repointing is not the same as 'tuck pointing' which changes the appearance of the building. Tuck pointing is only appropriate where there is surviving evidence of original tuck pointing.

Wing walls:

The existing wing walls must be fully documented both photographically and in measured drawings prior to the commencement of works. Reconstruction of the wing walls must match the appearance of the existing unless justification for a change in appearance is provided.

RECOMMENDATIONS:

On heritage grounds the works proposed in this application may be approved subject to the following conditions:

1. That the finished height of the rear addition must be reduced to no greater than 6.5 metres;
2. That the proposed roof cladding for the original house including the front verandah must be modified from Colorbond products to galvanised corrugated steel sheeting;
3. That the full extent of brick replacement in the façade must be documented and a procedure for works provided prior to the commencement of works;
4. That repointing the existing brickwork must be carried out in accordance with the technical guidelines prepared by Heritage Victoria;

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5. That the existing wing walls must be fully documented both photographically and in measured drawings prior to the commencement of works. Reconstruction of the wing walls must match the appearance of the existing unless justification for a change in appearance is provided

SIGNED:



Diahnn McIntosh

DATED: 25 June 2019