

**Attachment 1 - PLN17/1016.01 221 Swan Street Richmond - Site Map**

**SUBJECT LAND: 221 Swan Street, Richmond**



↑ North

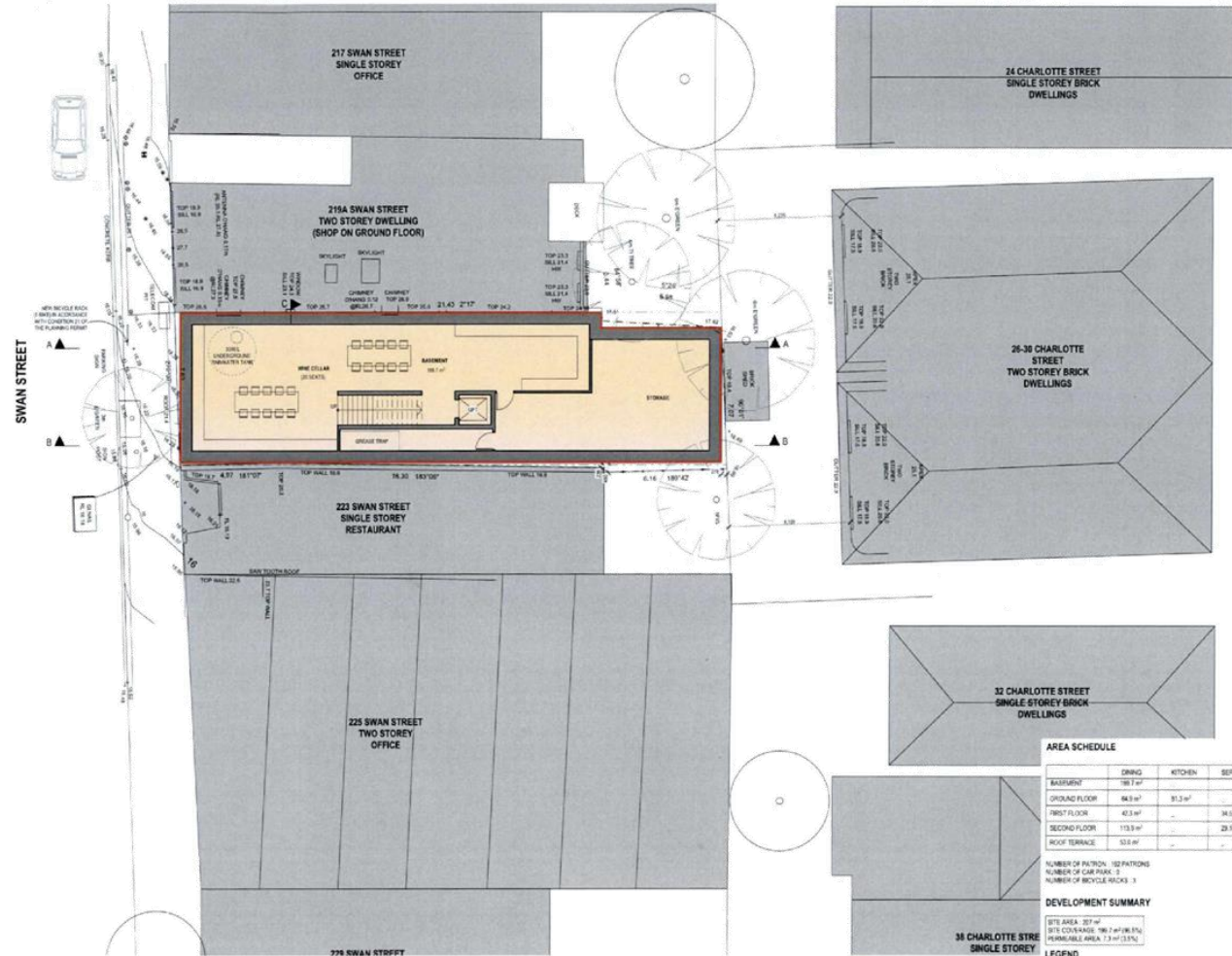
★ Subject Site

Attachment 2 - PLN17/1016.01 221 Swan Street Richmond - Decision Plans

**NOTE 1**  
THE CANOPY AND WALLS / NOISE BARRIER SHOULD BE CONSTRUCTED TO ACHIEVE A MINIMUM SOUND TRANSMISSION LOSS RATING OF R<sub>w</sub> 30. ACOUSTICALLY ACCEPTABLE MATERIAL FOR CONSTRUCTION INCLUDE 1.6mm THICK STEEL, 9mm THICK FIBRE CEMENT SHEET, MINIMUM 10mm THICK POLYCARBONATE, MINIMUM 6mm THICK GLASS OR OTHER MATERIAL WITH A MINIMUM MASS OF 12KG/M<sup>2</sup>.

**NOTE 2**  
THE DUCT SHOULD BE OF RIGID CONSTRUCTION (E.G. GALVANISED STEEL DUCTING).  
THE DUCT SHOULD BE INTERNALLY LINED WITH MINIMUM 50mm THICK 32KG/M<sup>2</sup> ACOUSTIC INSULATION TO MINIMISE POTENTIAL TRAFFIC NOISE INGRESS.  
THE NATURAL VENTILATION DUCT SHOULD BE NO LESS THAN 3 METRES IN LENGTH AND SHOULD ONLY BE MOUNTED TO THE BUILDING STRUCTURE VIA RESILIENT HANGERS OR OTHER FLEXIBLE CONNECTION TYPE.

**NOTE 3**  
- BLUE LINE DENOTES TITLE BOUNDARY AS PER ORIGINAL CERTIFICATE OF TITLE  
- ORANGE LINE DENOTES TITLE BOUNDARY AS PER LAND SURVEYOR DRAWINGS



**AREA SCHEDULE**

	DRINK	KITCHEN	SERVICES
BASEMENT	189.72M <sup>2</sup>		
GROUND FLOOR	84.9M <sup>2</sup>	93.5M <sup>2</sup>	
FIRST FLOOR	42.3M <sup>2</sup>		38.0M <sup>2</sup>
SECOND FLOOR	112.9M <sup>2</sup>		22.1M <sup>2</sup>
ROOF TERRACE	52.8M <sup>2</sup>		

NUMBER OF PATRONS: 122 PATRONS  
NUMBER OF CAR SPACES: 3  
NUMBER OF BICYCLE RACKS: 3

**DEVELOPMENT SUMMARY**

SITE AREA: 287 M<sup>2</sup>  
SITE COVERAGE: 196.7 M<sup>2</sup> (68.5%)  
DUMPSABLE AREA: 7.3 M<sup>2</sup> (2.5%)

**LEGEND**

— LIGHT POLLUTION AREA

PROPOSED BASEMENT PLAN

<p><b>YBL REMMUS</b> 148-16/21/181 A: 29374-291 Upper Street (Strawfield East) 3007 T: 015 008 2000 F: 015 008 2001 E: remmus.architects@yblgroup.com.au</p>	<p>PROJECT: PROPOSED COMMERCIAL BUILDING 221 SWAN STREET RICHMOND VIC 3121</p>		<p>3. 02/19 ACQUISITION ENGINEER'S RECOMMENDATION 'C' 4. 02/19 IDENTIFICATION OF STATE TITLE BOUNDARY ADDED 'C' 5. 08/19 ENVIRONMENTAL ASSESSMENT 'C' 6. 08/19 ENVIRONMENTAL ASSESSMENT 'C' 7. 08/19 ENVIRONMENTAL ASSESSMENT 'C' 8. 08/19 ENVIRONMENTAL ASSESSMENT 'C' 9. 08/19 ENVIRONMENTAL ASSESSMENT 'C' 10. 08/19 ENVIRONMENTAL ASSESSMENT 'C' 11. 08/19 ENVIRONMENTAL ASSESSMENT 'C' 12. 08/19 ENVIRONMENTAL ASSESSMENT 'C' 13. 08/19 ENVIRONMENTAL ASSESSMENT 'C' 14. 08/19 ENVIRONMENTAL ASSESSMENT 'C' 15. 08/19 ENVIRONMENTAL ASSESSMENT 'C' 16. 08/19 ENVIRONMENTAL ASSESSMENT 'C' 17. 08/19 ENVIRONMENTAL ASSESSMENT 'C' 18. 08/19 ENVIRONMENTAL ASSESSMENT 'C' 19. 08/19 ENVIRONMENTAL ASSESSMENT 'C' 20. 08/19 ENVIRONMENTAL ASSESSMENT 'C'</p>	<p>DRAWING: PROPOSED BASEMENT</p>	<p>SCALE: 1:100 (A1) 1:200 (A2)</p>	<p>DATE: APRIL 2019</p>
	<p>CLIENT:</p>		<p>REV. NO. DATE REVISIONS/ISSUE DRAWN</p>	<p>PROJECT STATUS: TOWN PLANNING</p>	<p>JOB NO.: 17062</p>	<p>REV. NO.:</p>

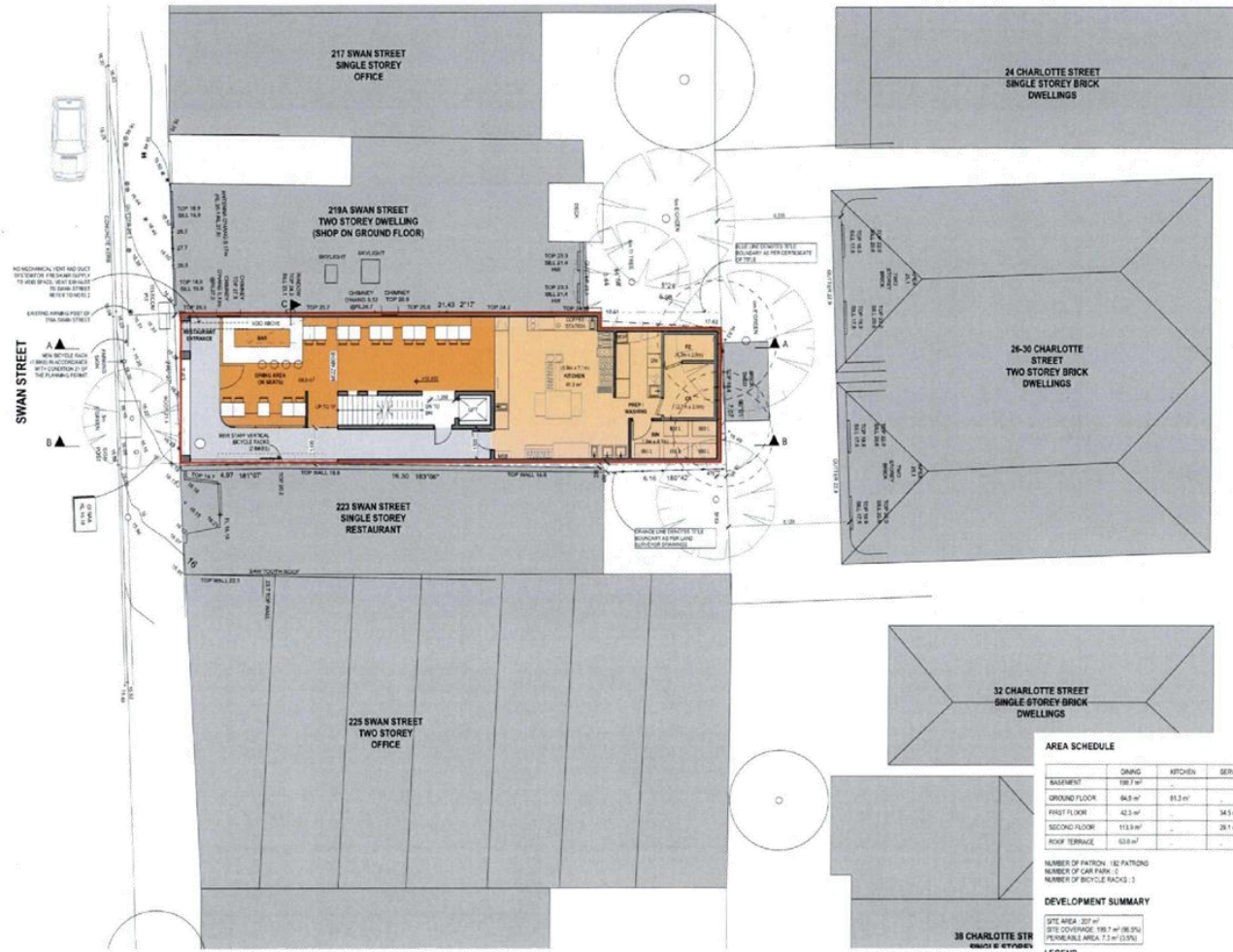


Attachment 2 - PLN17/1016.01 221 Swan Street Richmond - Decision Plans

**NOTE 1**  
THE CANOPY AND WALLS / NOISE BARRIER SHOULD BE CONSTRUCTED TO ACHIEVE A MINIMUM SOUND TRANSMISSION LOSS RATING OF R<sub>w</sub> 30. ACOUSTICALLY ACCEPTABLE MATERIAL FOR CONSTRUCTION INCLUDE 1.6mm THICK STEEL, 9mm THICK FIBRE CEMENT SHEET, MINIMUM 10mm THICK POLYCARBONATE, MINIMUM 6mm THICK GLASS, OR OTHER MATERIAL WITH A MINIMUM MASS OF 12KG/M<sup>2</sup>.

**NOTE 2**  
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THE DUCT SHOULD BE INTERNALLY LINED WITH MINIMUM 50mm THICK 32KG/M<sup>2</sup> ACOUSTIC INSULATION TO MINIMISE POTENTIAL TRAFFIC NOISE INGRESS.  
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**NOTE 3**  
- BLUE LINE DENOTES TITLE BOUNDARY AS PER ORIGINAL CERTIFICATE OF TITLE  
- ORANGE LINE DENOTES TITLE BOUNDARY AS PER LAND SURVEYOR DRAWINGS



**AREA SCHEDULE**

	DWING	KITCHEN	SERVICES
BASEMENT	108.1 m <sup>2</sup>	-	-
GROUND FLOOR	86.0 m <sup>2</sup>	81.3 m <sup>2</sup>	-
FIRST FLOOR	42.3 m <sup>2</sup>	-	34.5 m <sup>2</sup>
SECOND FLOOR	113.9 m <sup>2</sup>	-	28.1 m <sup>2</sup>
ROOF TERRACE	63.8 m <sup>2</sup>	-	-

NUMBER OF PATRONS: 162 PATRONS  
NUMBER OF CAR PARK: 2  
NUMBER OF BICYCLE RACKS: 3

**DEVELOPMENT SUMMARY**

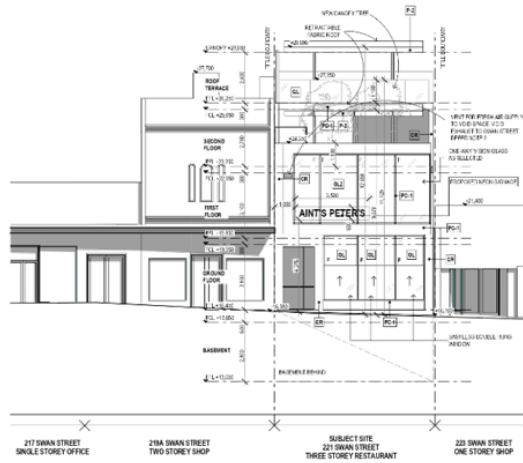
SITE AREA: 337 m<sup>2</sup>  
SITE COVERAGE: 198.7 m<sup>2</sup> (59.2%)  
PERMEABLE AREA: 7.3 m<sup>2</sup> (2.2%)

**LEGEND**  
- - - - - LIQUOR LICENCE AREA

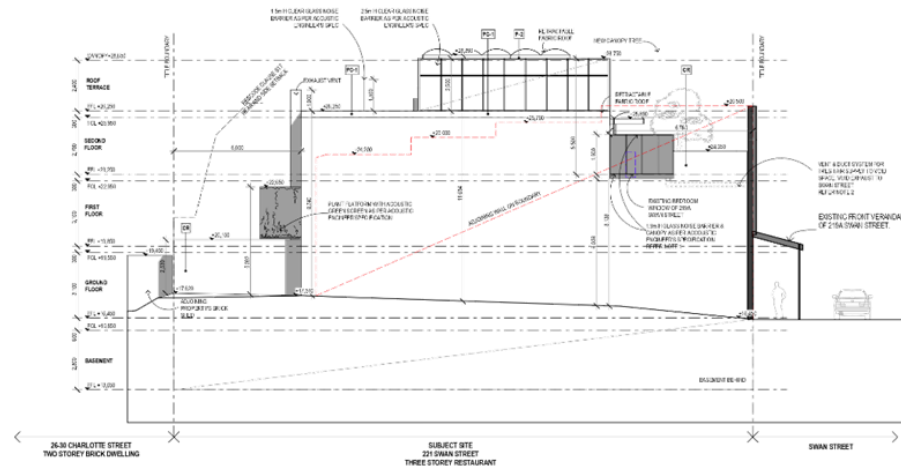
PROPOSED GROUND FLOOR PLAN

<p><b>YBL REMMUS</b> ARCHITECTS A 20/21-21/1 Upper Street Brunswick East 3057 T + 613 9558 2897 F + 613 9558 2800 E yblremmus@yblremmus.com.au</p> <p><small>Do not scale from these drawings. Part of all drawings are also before commencing construction of any building. This drawing is copyright. No part may be reproduced or otherwise used without the permission of the architect.</small></p>	<p>PROPOSED COMMERCIAL BUILDING 221 SWAN STREET RICHMOND VIC 3121</p> <p>CLIENT</p>		<p>1. SITE - ACQUISITION/PROPOSAL/CONCEPT 2. SITE - DETERMINE SITE BOUNDARY/ADJACENT 3. SITE - PRELIMINARY DESIGN 4. SITE - PRELIMINARY DESIGN 5. SITE - PRELIMINARY DESIGN 6. SITE - PRELIMINARY DESIGN 7. SITE - PRELIMINARY DESIGN 8. SITE - PRELIMINARY DESIGN 9. SITE - PRELIMINARY DESIGN 10. SITE - PRELIMINARY DESIGN 11. SITE - PRELIMINARY DESIGN 12. SITE - PRELIMINARY DESIGN 13. SITE - PRELIMINARY DESIGN 14. SITE - PRELIMINARY DESIGN 15. SITE - PRELIMINARY DESIGN 16. SITE - PRELIMINARY DESIGN 17. SITE - PRELIMINARY DESIGN 18. SITE - PRELIMINARY DESIGN 19. SITE - PRELIMINARY DESIGN 20. SITE - PRELIMINARY DESIGN 21. SITE - PRELIMINARY DESIGN 22. SITE - PRELIMINARY DESIGN 23. SITE - PRELIMINARY DESIGN 24. SITE - PRELIMINARY DESIGN 25. SITE - PRELIMINARY DESIGN 26. SITE - PRELIMINARY DESIGN 27. SITE - PRELIMINARY DESIGN 28. SITE - PRELIMINARY DESIGN 29. SITE - PRELIMINARY DESIGN 30. SITE - PRELIMINARY DESIGN 31. SITE - PRELIMINARY DESIGN 32. SITE - PRELIMINARY DESIGN 33. SITE - PRELIMINARY DESIGN 34. SITE - PRELIMINARY DESIGN 35. SITE - PRELIMINARY DESIGN 36. SITE - PRELIMINARY DESIGN 37. SITE - PRELIMINARY DESIGN 38. SITE - PRELIMINARY DESIGN 39. SITE - PRELIMINARY DESIGN 40. SITE - PRELIMINARY DESIGN 41. SITE - PRELIMINARY DESIGN 42. SITE - PRELIMINARY DESIGN 43. SITE - PRELIMINARY DESIGN 44. SITE - PRELIMINARY DESIGN 45. SITE - PRELIMINARY DESIGN 46. SITE - PRELIMINARY DESIGN 47. SITE - PRELIMINARY DESIGN 48. SITE - PRELIMINARY DESIGN 49. SITE - PRELIMINARY DESIGN 50. SITE - PRELIMINARY DESIGN 51. SITE - PRELIMINARY DESIGN 52. SITE - PRELIMINARY DESIGN 53. SITE - PRELIMINARY DESIGN 54. SITE - PRELIMINARY DESIGN 55. SITE - PRELIMINARY DESIGN 56. SITE - PRELIMINARY DESIGN 57. SITE - PRELIMINARY DESIGN 58. SITE - PRELIMINARY DESIGN 59. SITE - PRELIMINARY DESIGN 60. SITE - PRELIMINARY DESIGN 61. SITE - PRELIMINARY DESIGN 62. SITE - PRELIMINARY DESIGN 63. SITE - PRELIMINARY DESIGN 64. SITE - PRELIMINARY DESIGN 65. SITE - PRELIMINARY DESIGN 66. SITE - PRELIMINARY DESIGN 67. SITE - PRELIMINARY DESIGN 68. SITE - PRELIMINARY DESIGN 69. SITE - PRELIMINARY DESIGN 70. SITE - PRELIMINARY DESIGN 71. SITE - PRELIMINARY DESIGN 72. SITE - PRELIMINARY DESIGN 73. SITE - PRELIMINARY DESIGN 74. SITE - PRELIMINARY DESIGN 75. SITE - PRELIMINARY DESIGN 76. SITE - PRELIMINARY DESIGN 77. SITE - PRELIMINARY DESIGN 78. SITE - PRELIMINARY DESIGN 79. SITE - PRELIMINARY DESIGN 80. SITE - PRELIMINARY DESIGN 81. SITE - PRELIMINARY DESIGN 82. SITE - PRELIMINARY DESIGN 83. SITE - PRELIMINARY DESIGN 84. SITE - PRELIMINARY DESIGN 85. SITE - PRELIMINARY DESIGN 86. SITE - PRELIMINARY DESIGN 87. SITE - PRELIMINARY DESIGN 88. SITE - PRELIMINARY DESIGN 89. SITE - PRELIMINARY DESIGN 90. SITE - PRELIMINARY DESIGN 91. SITE - PRELIMINARY DESIGN 92. SITE - PRELIMINARY DESIGN 93. SITE - PRELIMINARY DESIGN 94. SITE - PRELIMINARY DESIGN 95. SITE - PRELIMINARY DESIGN 96. SITE - PRELIMINARY DESIGN 97. SITE - PRELIMINARY DESIGN 98. SITE - PRELIMINARY DESIGN 99. SITE - PRELIMINARY DESIGN 100. SITE - PRELIMINARY DESIGN</p>	<p>PROJECT NAME: PROPOSED GROUND FLOOR PLAN</p> <p>DATE: 17/09/2019</p> <p>SCALE: 1:1000</p> <p>DATE: APRIL 2019</p> <p>PROJECT STATUS: PA</p> <p>TOWN PLANNING: TP-06</p>
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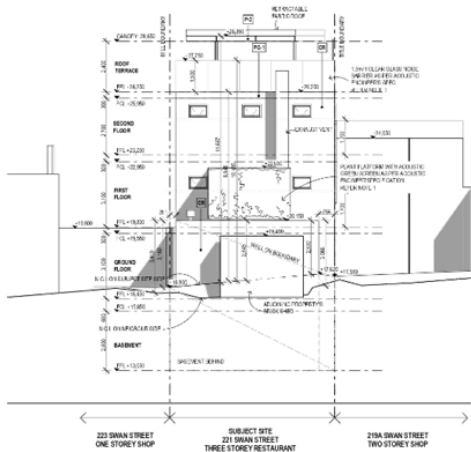
Attachment 2 - PLN17/1016.01 221 Swan Street Richmond - Decision Plans



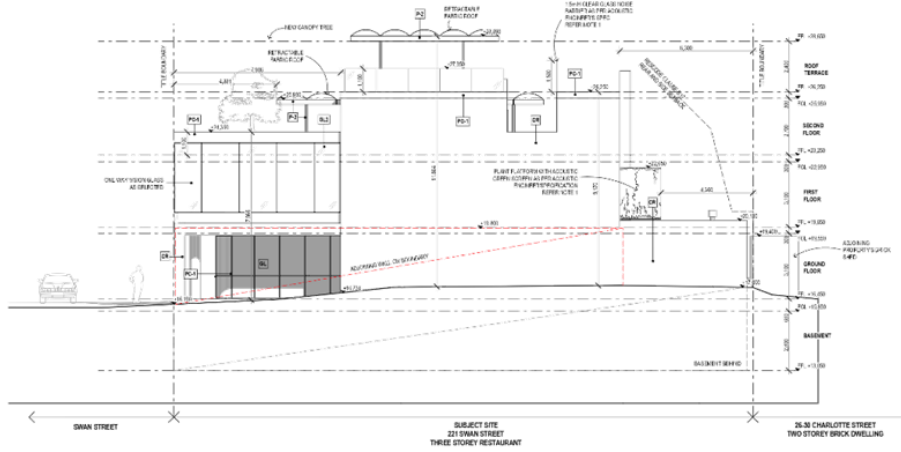
PROPOSED SOUTH ELEVATION



PROPOSED WEST ELEVATION



PROPOSED NORTH ELEVATION



PROPOSED EAST ELEVATION

FINISHES LEGEND	
[Symbol]	BUILDINGS RETRAITE & FINISH
[Symbol]	CLOUR (WHERE APPLICABLE)
[Symbol]	NATURAL CONCRETE FINISH
[Symbol]	CLEAR GLASS
[Symbol]	ONE-WAY VISION GLASS
[Symbol]	POWDER COATED PAINT FINISH
[Symbol]	PAINT FINISH
[Symbol]	1. COLOUR 1 - MONUMENT
[Symbol]	2. COLOUR 2 - WHITE

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**YBL REMMUS**  
480 WILSON STREET  
RICHMOND VIC 3121  
T: 03 9581 2000 F: 03 9581 2000  
E: remmus@yblremmus.com.au

It will be taken from these drawings. Where it is necessary to refer to drawings in other drawings, the drawings in question shall be referred to by their drawing number. This drawing is copyright. No part may be reproduced or otherwise dealt with without the permission of the architect.

PROJECT	PROPOSED COMMERCIAL BUILDING 221 SWAN STREET RICHMOND VIC 3121
CLIENT	

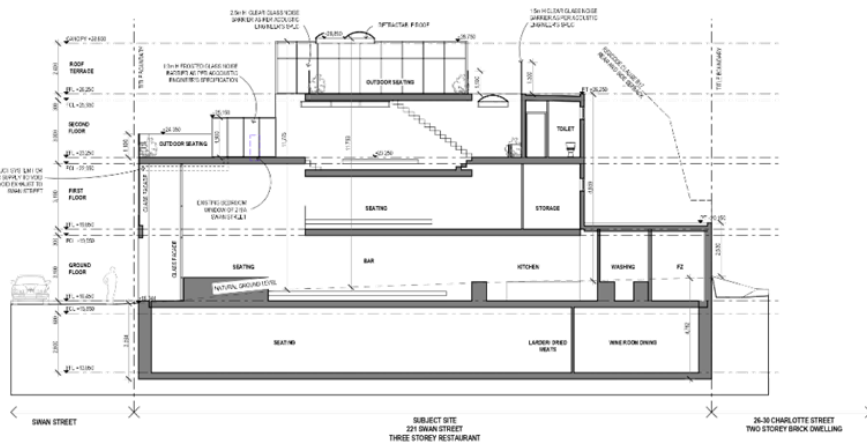
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G.	040116	DRYING POLYURETHANE INSULATION	VT
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J.	070116	DRYING POLYURETHANE INSULATION	VT
K.	080116	DRYING POLYURETHANE INSULATION	VT
L.	090116	DRYING POLYURETHANE INSULATION	VT
M.	100116	DRYING POLYURETHANE INSULATION	VT
N.	110116	DRYING POLYURETHANE INSULATION	VT
O.	120116	DRYING POLYURETHANE INSULATION	VT
P.	130116	DRYING POLYURETHANE INSULATION	VT
Q.	140116	DRYING POLYURETHANE INSULATION	VT
R.	150116	DRYING POLYURETHANE INSULATION	VT
S.	160116	DRYING POLYURETHANE INSULATION	VT
T.	170116	DRYING POLYURETHANE INSULATION	VT
U.	180116	DRYING POLYURETHANE INSULATION	VT
V.	190116	DRYING POLYURETHANE INSULATION	VT
W.	200116	DRYING POLYURETHANE INSULATION	VT
X.	210116	DRYING POLYURETHANE INSULATION	VT
Y.	220116	DRYING POLYURETHANE INSULATION	VT
Z.	230116	DRYING POLYURETHANE INSULATION	VT
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AB.	250116	DRYING POLYURETHANE INSULATION	VT
AC.	260116	DRYING POLYURETHANE INSULATION	VT
AD.	270116	DRYING POLYURETHANE INSULATION	VT
AE.	280116	DRYING POLYURETHANE INSULATION	VT
AF.	290116	DRYING POLYURETHANE INSULATION	VT
AG.	300116	DRYING POLYURETHANE INSULATION	VT
AH.	310116	DRYING POLYURETHANE INSULATION	VT
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AJ.	330116	DRYING POLYURETHANE INSULATION	VT
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AL.	350116	DRYING POLYURETHANE INSULATION	VT
AM.	360116	DRYING POLYURETHANE INSULATION	VT
AN.	370116	DRYING POLYURETHANE INSULATION	VT
AO.	380116	DRYING POLYURETHANE INSULATION	VT
AP.	390116	DRYING POLYURETHANE INSULATION	VT
AQ.	400116	DRYING POLYURETHANE INSULATION	VT
AR.	410116	DRYING POLYURETHANE INSULATION	VT
AS.	420116	DRYING POLYURETHANE INSULATION	VT
AT.	430116	DRYING POLYURETHANE INSULATION	VT
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BB.	510116	DRYING POLYURETHANE INSULATION	VT
BC.	520116	DRYING POLYURETHANE INSULATION	VT
BD.	530116	DRYING POLYURETHANE INSULATION	VT
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BK.	600116	DRYING POLYURETHANE INSULATION	VT
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BR.	670116	DRYING POLYURETHANE INSULATION	VT
BS.	680116	DRYING POLYURETHANE INSULATION	VT
BT.	690116	DRYING POLYURETHANE INSULATION	VT
BU.	700116	DRYING POLYURETHANE INSULATION	VT
BV.	710116	DRYING POLYURETHANE INSULATION	VT
BW.	720116	DRYING POLYURETHANE INSULATION	VT
BX.	730116	DRYING POLYURETHANE INSULATION	VT
BY.	740116	DRYING POLYURETHANE INSULATION	VT
BZ.	750116	DRYING POLYURETHANE INSULATION	VT
CA.	760116	DRYING POLYURETHANE INSULATION	VT
CB.	770116	DRYING POLYURETHANE INSULATION	VT
CC.	780116	DRYING POLYURETHANE INSULATION	VT
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CE.	800116	DRYING POLYURETHANE INSULATION	VT
CF.	810116	DRYING POLYURETHANE INSULATION	VT
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CJ.	850116	DRYING POLYURETHANE INSULATION	VT
CK.	860116	DRYING POLYURETHANE INSULATION	VT
CL.	870116	DRYING POLYURETHANE INSULATION	VT
CM.	880116	DRYING POLYURETHANE INSULATION	VT
CN.	890116	DRYING POLYURETHANE INSULATION	VT
CO.	900116	DRYING POLYURETHANE INSULATION	VT
CP.	910116	DRYING POLYURETHANE INSULATION	VT
CQ.	920116	DRYING POLYURETHANE INSULATION	VT
CR.	930116	DRYING POLYURETHANE INSULATION	VT
CS.	940116	DRYING POLYURETHANE INSULATION	VT
CT.	950116	DRYING POLYURETHANE INSULATION	VT
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CV.	970116	DRYING POLYURETHANE INSULATION	VT
CU.	980116	DRYING POLYURETHANE INSULATION	VT
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CB.	1000116	DRYING POLYURETHANE INSULATION	VT

REVISION	ELEVATIONS
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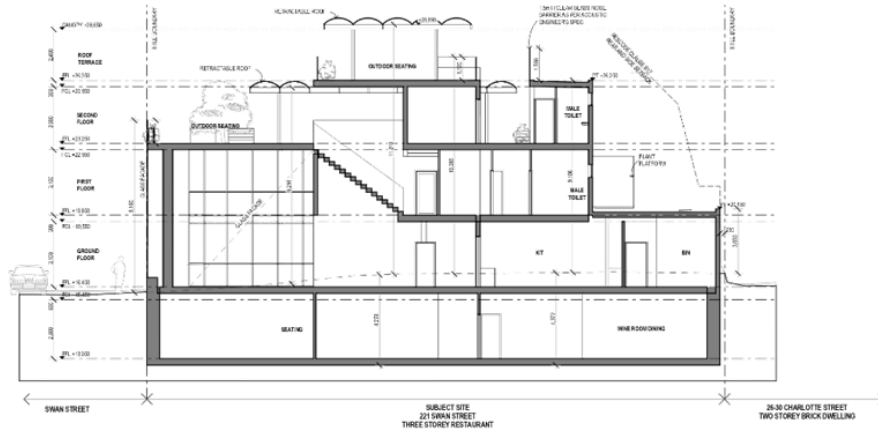
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DATE	APRIL 2019
DRAWN	YBL
CHECKED	YBL
VT	PA
PROJECT CODE	17062
CONTRACT NO.	
REV. NO.	
<b>TOWN PLANNING</b>	
<b>TP-11</b>	



# Attachment 2 - PLN17/1016.01 221 Swan Street Richmond - Decision Plans



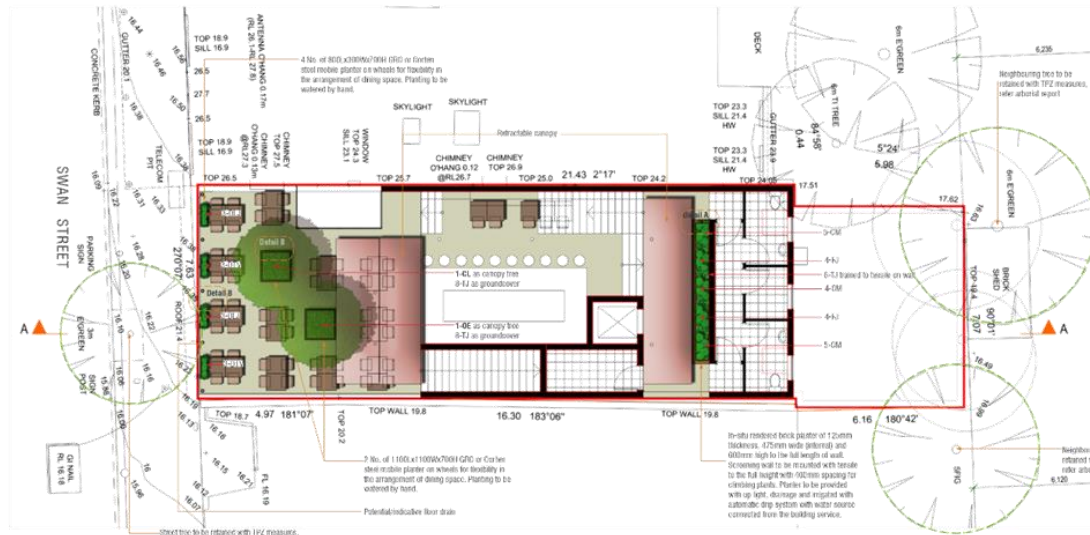
SECTION A-A



SECTION B-B

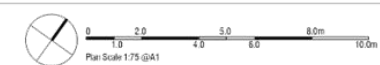
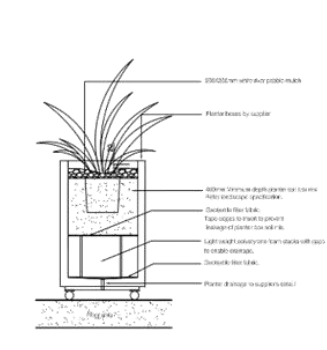
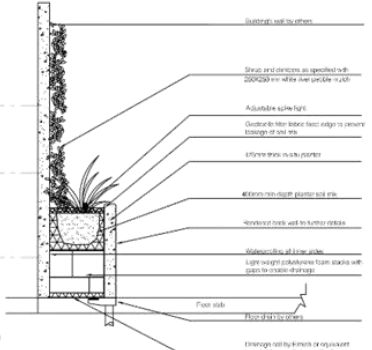
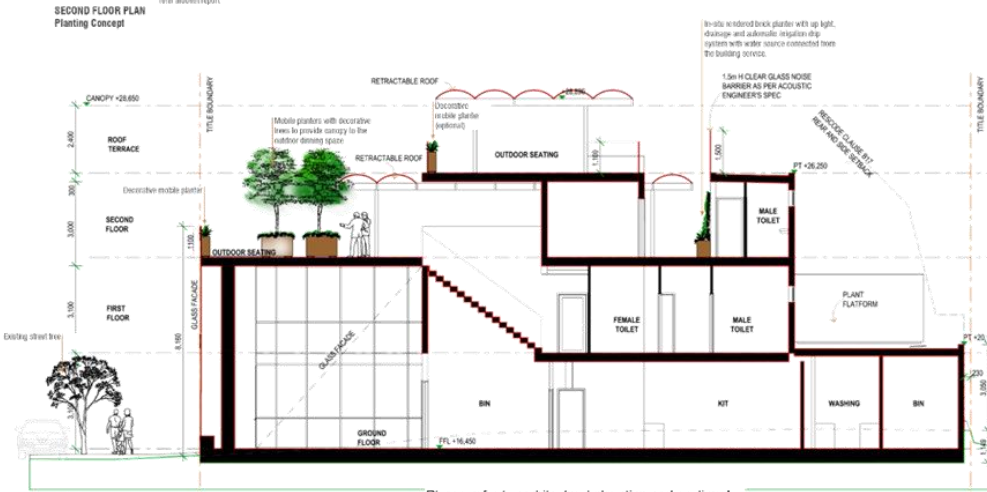
 <b>YBL REMMUS</b> 14/61 WILSON ST RICHMOND VIC 3121 T: 03 9459 2000 F: 03 9459 2001 E: ybl@remmus.com.au	PROJECT PROPOSED COMMERCIAL BUILDING 221 SWAN STREET RICHMOND VIC 3121	CLIENT	0. 101011 ADULTS AND YOUTH PARTICIPATION VT 1. 201011 CHILD CARE OF 2 YEARS OR MORE PROVIDED VT 2. 301011 HOUSING AND RENTAL VT 3. 401011 ENVIRONMENTAL AND ENERGY VT 4. 501011 PLANNING AND LAND USE VT 5. 601011 PUBLIC WORKS AND INFRASTRUCTURE VT 6. 701011 TRANSPORT VT 7. 801011 CULTURE, HERITAGE AND INDIGENOUS AFFAIRS VT 8. 901011 COMMUNITY DEVELOPMENT AND SOCIAL SERVICES VT 9. 101011 EDUCATION VT 10. 1101011 FINANCE AND INVESTMENT VT 11. 1201011 HEALTH AND WELLNESS VT 12. 1301011 INDUSTRY, TRAINING AND EMPLOYMENT VT 13. 1401011 INFRASTRUCTURE AND TRANSPORT VT 14. 1501011 LAND AND ENVIRONMENTAL MANAGEMENT VT 15. 1601011 LAW AND GOVERNANCE VT 16. 1701011 LOCAL GOVERNMENT VT 17. 1801011 REGIONAL DEVELOPMENT AND INFRASTRUCTURE VT 18. 1901011 SKILLS, EDUCATION AND TRAINING VT 19. 2001011 SPECIAL SERVICES VT 20. 2101011 TOWN PLANNING VT 21. 2201011 WATER AND ENVIRONMENTAL SERVICES VT 22. 2301011 WORKS AND INFRASTRUCTURE VT 23. 2401011 YOUTH SERVICES VT	SHEET SECTIONS	JOB # 1100@A1_1288@A0	DATE APRIL 2019
	PROJECT STATUS TOWN PLANNING	PROJECT NO. TP-12	SHEET NO. 1			

Attachment 2 - PLN17/1016.01 221 Swan Street Richmond - Decision Plans



PROPOSED PLANTING SCHEDULE

Symbol	Botanic name	Common name	Installation size	Mature size (HxW)	Quantity
<b>Upright Trees (max 2.0m in height at installation planted in planter boxes)</b>					
CL	Citrus Zestor 'Eucalypt'	Lemon Eucalypt tree	400mm pot	4.0 x 3.0 m	1
OE	Chlorophytum 'Tropaeum 188'	Spider plant	400mm pot	7.0 x 4.0 m	1
<b>Shrubs and Climber</b>					
CM	Cissampelos	Black Lily	140 mm pot	0.8 x 0.8 m	14
DL	Dianella revoluta 'Little Red'	Flax Lily	140 mm pot	0.75 x 0.75 m	6
DTL	Dianella formicosa variegata	Variegated Flax Lily	140 mm pot	0.75 x 0.75 m	6
FJ	Ficus japonica	Japanese Aralia	140mm pot	1.0 x 0.75 m	8
TJ	Tradescantia virginiana	Star Jasmine	140mm pot	Spreading and climbing	22



PROPOSED COMMERCIAL USED DEVELOPMENT  
221 SWAN STREET RICHMOND 3121  
LA01 - LANDSCAPE PLAN

Date	Revision	Issue
26.03.2019	Client Design - N001	For review and approval
01.11.2018	Update section	for TP application

**THAI TONGUE**

Thai Tongue Registered Landscape Architect AILA #406  
 Thai Tongue - TT DESIGN ASB: 49 155 155 770  
 Address: 1204/250 Elizabeth Street, Melbourne 3000  
 Tel: 0439 199 815  
 Website: http://thaitongue.wix.com/12016  
 Email: design@thaitongue.com.au

## Attachment 2 - PLN17/1016.01 221 Swan Street Richmond - Decision Plans

# Metropol

Advisory — Advocacy — Approval

metropolplanning.com.au

**Metropol Ref. 0789**

17 May 2019

Jessica Sutherland  
Senior Statutory Planner  
Yarra City Council  
333 Bridge Road  
Richmond VIC 3124

**By courier**

Dear Jessica,

**Planning Permit PLN17/1016.01 - Construction of a building in the Commercial 1 Zone, demolish and construct a building within the Heritage Overlay, the erection and display of an internally illuminated business identification sign, the sale and consumption of liquor and reduction of the car parking and bicycle requirements associated with a restaurant – 221 Swan Street, Richmond**

We write in response to your email correspondence dated 16 May 2019 regarding the abovementioned application (to amend a planning permit).

Amended elevation and sectional architectural drawings (TP-11 & TP-12) have been prepared by the project architects, YBL Remmus Architecture, to depict the basement level including a notation of the overall depth of the basement below natural ground level.

An amended landscape plan prepared by Thai Tongue has also been prepared to include a notation to the basement level.

We also write to provide a brief statement in regards to the car parking requirements. The subject site is within the Principal Public Transport Network Area, and thus Column B rates apply under Clause 52.06-5. The nominated Column B rate for a Restaurant use is 3.5 spaces to each 100m<sup>2</sup> of leasable floor area.

With the addition of the basement adding 199.7m<sup>2</sup> of leasable floor area to the Restaurant, this increases the car parking requirements from 14 spaces to 21 spaces (given that the total leasable floor area increases from 419m<sup>2</sup> to 618.7m<sup>2</sup>), which constitutes a car parking reduction of an additional seven spaces from what was approved under the planning permit.

A Parking Assessment prepared by BVY Traffic Survey was submitted to Council on 24 July 2018, to support the application for the planning permit. The Parking Assessment concluded that there was sufficient car parking in the area to accommodate the proposed use. We submit that the addition of the basement to the proposed development will not impact car parking and traffic in the local area given that there is no change to the patron cap or intensity of the activity of the approved use arising from the introduction of the basement. The existing permit (Condition 4) places a patron cap of 192 patrons, and we do not seek to increase this limit.

Please find enclosed 3xA1 sets (1:00 scale) and 1xA3 set of architectural and landscape plans prepared by YBL Remmus Architecture and Thai Tongue respectively.

---

	COLLINGWOOD	CAMBERWELL	
Metropol Planning Solutions Pty Ltd	8 Gold Street, Collingwood	Second floor,	T 03 9882 3900
info@metropolplanning.com.au	PO Box 6081 Collingwood North VIC 3066	555 Riversdale Road, Camberwell	ABN 26 546 482 534



**Attachment 2 - PLN17/1016.01 221 Swan Street Richmond - Decision Plans**

# Metropol

Should you have any queries regarding this matter please do not hesitate to contact us on 9882 3900 or via email: [info@metropolplanning.com.au](mailto:info@metropolplanning.com.au).

Yours sincerely,



Michael Dunn

Director

**Enc:** Amended architectural plans prepared by YBL Remmus Architecture (Rev I)

- TP-11 - Elevations
- TP-12 - Sections

Landscape plan prepared by Thai Tongue

**cc:** File

**Attachment 3 - PLN17/1016.01 221 Swan Street Richmond - Applicant Traffic Assessment**

# Metropol

Advisory — Advocacy — Approval

metropolplanning.com.au

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17 May 2019

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333 Bridge Road  
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With the addition of the basement adding 199.7m<sup>2</sup> of leasable floor area to the Restaurant, this increases the car parking requirements from 14 spaces to 21 spaces (given that the total leasable floor area increases from 419m<sup>2</sup> to 618.7m<sup>2</sup>), which constitutes a car parking reduction of an additional seven spaces from what was approved under the planning permit.

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**Attachment 3 - PLN17/1016.01 221 Swan Street Richmond - Applicant Traffic Assessment**

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Michael Dunn

Director

**Enc:** Amended architectural plans prepared by YBL Remmus Architecture (Rev I)

- TP-11 - Elevations
- TP-12 - Sections

Landscape plan prepared by Thai Tongue

**cc:** File



## Attachment 4 - PLN17/1016.01 221 Swan Street Richmond - Permit

Helping you understand your planning needs



## PLANNING PERMIT

**Permit No:** PLN17/1016

**Planning Scheme:** Yarra

**Responsible Authority:** City Of Yarra

**ADDRESS OF THE LAND:**

221 Swan St Richmond VIC 3121

**THE PERMIT ALLOWS:**

**Full demolition of the existing building and construction of a multi-storey building with roof terraces, display of an internally-illuminated sign, use of the land for sale and consumption of liquor (Restaurant and Café Licence) and reduction in car parking and bicycle parking requirements associated with a restaurant (as-of-right use)**

**THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:**

**Amended Plans**

1. Before the use and development commences, amended plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plans will be endorsed and will then form part of this permit. The plans must be drawn to scale with dimensions, and three copies must be provided. The plans must be generally in accordance with the decision plans (prepared by YBL Remmus, Job No. 17062, Drawing Nos. TP-05 to TP-12 and TP-21, Rev. No. C, received by Council on 10 July 2018) but modified to show the following:
  - (a) Details depicted on the sketch plans prepared by YBL Remmus received by Council on 12 October 2018, as follows:
    - (i) A vent and duct system running from the void (located adjacent to the boundary window of the western adjoining property) to the Swan Street façade;
    - (ii) Two canopy trees and planters on the second floor, lower level and upper level roof terraces.
  - (b) Clear transparent glazing to the ground floor front façade.
  - (c) The solar PV array on the roof plan in accordance with the commitments in the Sustainable Management Plan (referenced at condition 15 of this planning permit).
  - (d) The notation "*bins to be placed here for Council pick up*" deleted from the ground floor plan.
  - (e) The height of the acoustic barriers to the mechanical plant.

Sarah Griffiths  
Signature for the Responsible Authority

**Date:** 11 January 2019

*Planning and Environment Regulations 2015 No. 33/2015 Form 4 Sections 63, 64 64A and 86*

Page 1 of 7

For more information call 9205 5555 or visit [www.yarracity.vic.gov.au](http://www.yarracity.vic.gov.au)

**Attachment 4 - PLN17/1016.01 221 Swan Street Richmond - Permit**

- (f) The installation of one bicycle hoop on the footpath in accordance with condition 21 and deletion of all plan notations referencing 6 bicycle hoops.
  - (g) All buildings, works and licensed area within the title boundaries of the subject site; and
  - (h) The provision of at least 2 on-site bicycle spaces for staff.
2. The development and sale and consumption of liquor as shown on the endorsed plans must not be altered (unless the Yarra Planning Scheme specifies that a permit is not required) without the prior written consent of the Responsible Authority.

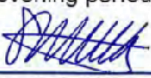
**Restaurant and Café Liquor Licence**

3. The sale and consumption of liquor on the premises must only occur between the hours of 11:00am and 11:00pm, seven days a week.
4. No more than 192 restaurant patrons are permitted on the land at any time liquor is being sold or consumed, and further restricted as follows:
- (a) From 10pm to 11pm, patron numbers within the lower level roof terrace reduced from 48 to 22.
5. No patrons are permitted within the upper level roof terrace beyond 10:00pm on any night, as per the commitment reference in the correspondence from Metropol Planning Solutions dated 4 July 2018.
6. The predominant activity in the restaurant, at all times, must be the preparation and serving of meals for consumption by patrons on the premises, during the times that liquor is allowed to be sold and consumed under this permit.
7. Before the commencement of the sale and consumption of liquor, the applicant must, to the satisfaction of the Responsible Authority, display a sign at the exit of the licensed premises advising patrons / customers to respect the amenity of adjacent residential areas and to leave in a quiet and orderly manner.
8. Deliveries associated with liquor may only occur between 8:00am and 4:00pm, unless with the prior written consent of the Responsible Authority.

**Acoustic Report**

9. Before the use and development commences, an amended Acoustic Report to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the amended Acoustic Report will be endorsed and will form part of this permit. The amended Acoustic Report must be generally in accordance with the Acoustic Report prepared by Cogent Acoustics and dated 02 July 2018, but modified to include (or show, or address) the following:
- (a) The evening period SEPP N-1 noise limits (used for the mechanical services noise assessment and patron noise assessment) revert to the zoning levels (based on neutral background levels), making the evening targets 2dBA lower than currently shown in the report.
  - (b) The operator to undertake a full acoustical review of the mechanical plant (by an acoustic consultant) to ensure the final selected equipment and acoustic treatments will be sufficient to ensure SEPP N-1 compliance.
  - (c) The lowest 15 minute background level collected for the day/evening period be used for setting the day/evening period SEPP N-2 noise limits.

**Date: 11 January 2019**

  
\_\_\_\_\_  
Sarah Griffiths  
Signature for the Responsible Authority



**Attachment 4 - PLN17/1016.01 221 Swan Street Richmond - Permit**

- (d) The provision of electronic noise limiters/compressors on the amplifiers/speakers within the indoor and outdoor dining areas of the venue with setup guided by an acoustic consultant prior to operations commencing.
  - (e) The music levels to have minimal bass content during the SEPP N-2 Night period.
  - (f) The ventilation duct system running along the void (located adjacent to the boundary window of the western adjoining property) to the Swan Street frontage in accordance with the architectural drawings.
  - (g) The setbacks of the mechanical plant acoustic barriers from the boundaries in accordance with the architectural drawings.
10. The provisions, recommendations and requirements of the endorsed Acoustic Report must be implemented and complied with to the satisfaction of the Responsible Authority.
11. The provision of music and entertainment on the land must be at a background noise level.
12. The sound system on the premises must not consist of bass speakers.

**Waste Management Plan**

13. Before the use and development commences, an amended Waste Management Plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the amended Waste Management Plan will be endorsed and will form part of this permit. The amended Waste Management Plan must be generally in accordance with the Waste Management Plan prepared by Leigh Design and dated 10 January 2018, but modified to include the following:
- (a) The collection times for the bins rather than saying outside of peak hours.
  - (b) How the private collection contractor will avoid double parking in Swan Street during collection.
  - (c) How the private collection contractor will avoid causing delays to trams operating along Swan Street during collection.
  - (d) An organic waste collection or a composting system.
14. The provisions, recommendations and requirements of the endorsed Waste Management Plan must be implemented and complied with to the satisfaction of the Responsible Authority.

**Sustainable Management Plan**

15. The provisions, recommendations and requirements of the endorsed Sustainable Management Plan (prepared by Sustainable Development Consultants, dated December 2017) must be implemented and complied with at all times to the satisfaction of the Responsible Authority.
16. Before the building is occupied, a completed JV3 energy modelling report must be prepared by a suitably qualified person and submitted to the Responsible Authority demonstrating that the 10% energy efficiency target committed to in endorsed Sustainable Management Plan will be reached.

**Date: 11 January 2019**

  
\_\_\_\_\_  
Sarah Griffiths  
Signature for the Responsible Authority



**Attachment 4 - PLN17/1016.01 221 Swan Street Richmond - Permit**

**Landscaping Plan Required**

17. Before the development commences, a Landscape Plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the Landscape Plan will be endorsed and will form part of this permit. The Landscape Plan must:
- (a) be in accordance with the draft landscape plan prepared by TT Design, dated 01/10/2018 showing two trees and planters on the second floor and lower level and upper level roof terraces, including details of species, size, irrigation method and plant spacing.
18. Before the building is occupied, or by such later date as approved in writing by the Responsible Authority, the landscaping works shown on the endorsed Landscape Plan must be carried out and completed to the satisfaction of the Responsible Authority. The landscaping shown on the endorsed Landscape Plan must be maintained by:
- (a) implementing and complying with the provisions, recommendations and requirements of the endorsed Landscape Plan;
  - (b) not using the areas set aside on the endorsed Landscape Plan for landscaping for any other purpose; and
  - (c) replacing any dead, diseased, dying or damaged plants,
- to the satisfaction of the Responsible Authority.

**Arborist Report**

19. Before the development commences, an amended Arborist Report prepared by a suitably qualified Arborist must be submitted to and approved by the Responsible Authority. When approved the Arborist Report will be endorsed and will form part of this permit. The Arborist Report must:
- (a) be in accordance with the draft arborist report prepared by Bluegum, dated 13 February 2018 & 11 October 2018, identifying Trees 6 and 7 consistently throughout the report and showing additional tree protection measures for Tree 7.

**Street Trees**

20. Before the development starts, the permit holder must provide an Asset Protection Bond of \$2,193.45 (or an amount as agreed with Council's Streetscapes and Natural Values Unit) for the street tree to the Responsible Authority. The bond:
- (a) must be provided in a manner, and on terms, to the satisfaction of the Responsible Authority;
  - (b) may be held by the Responsible Authority until the works are completed to the satisfaction of the Responsible Authority; and
  - (c) in accordance with the requirements of this permit; or
  - (d) otherwise, to the satisfaction of the Responsible Authority.

**Date: 11 January 2019**

  
\_\_\_\_\_  
Sarah Griffiths  
Signature for the Responsible Authority

**Attachment 4 - PLN17/1016.01 221 Swan Street Richmond - Permit**

**Bicycle hoop provision**

- 21. Before the building is occupied, or by such later date as approved in writing by the Responsible Authority, one (1) bicycle hoop must be installed:
  - (a) on the footpath, aligned with the awning post of the western adjoining property, between the awning post and the existing parking sign pole;
  - (b) at the permit holder's cost and all costs borne by the permit holder; and
  - (c) in a location and manner, all to the satisfaction of the Responsible Authority.


**Sign**

- 22. The location and details of the sign as shown on the endorsed plans must not be altered (unless the Yarra Planning Scheme specifies that a permit is not required) without the prior written consent of the Responsible Authority.
- 23. The sign must be constructed, displayed and maintained to the satisfaction of the Responsible Authority.
- 24. The sign must not include any flashing or intermittent light.

**Construction Management Required**

- 25. Before the development commences, a Construction Management Plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plan will be endorsed and will form part of this permit. The plan must provide for:
  - (a) a pre-conditions survey (dilapidation report) of the land and all adjacent Council roads frontages and nearby road infrastructure;
  - (b) works necessary to protect road and other infrastructure;
  - (c) remediation of any damage to road and other infrastructure;
  - (d) containment of dust, dirt and mud within the land and method and frequency of clean up procedures to prevent the accumulation of dust, dirt and mud outside the land;
  - (e) facilities for vehicle washing, which must be located on the land;
  - (f) the location of loading zones, site sheds, materials, cranes and crane/hoisting zones, gantries and any other construction related items or equipment to be located in any street;
  - (g) site security;
  - (h) management of any environmental hazards including, but not limited to,;
    - (i) contaminated soil;
    - (ii) materials and waste;
    - (iii) dust;
    - (iv) stormwater contamination from run-off and wash-waters;
    - (v) sediment from the land on roads;
    - (vi) washing of concrete trucks and other vehicles and machinery; and
    - (vii) spillage from refuelling cranes and other vehicles and machinery;
  - (i) the construction program;
  - (j) preferred arrangements for trucks delivering to the land, including delivery and unloading points and expected duration and frequency;
  - (k) parking facilities for construction workers;
  - (l) measures to ensure that all work on the land will be carried out in accordance with the Construction Management Plan;

**Date: 11 January 2019**

  
 \_\_\_\_\_  
 Sarah Griffiths  
 Signature for the Responsible Authority



**Attachment 4 - PLN17/1016.01 221 Swan Street Richmond - Permit**

- (m) an outline of requests to occupy public footpaths or roads, or anticipated disruptions to local services;
- (n) an emergency contact that is available for 24 hours per day for residents and the Responsible Authority in the event of relevant queries or problems experienced;
- (o) the provision of a traffic management plan to comply with provisions of AS 1742.3-2002 Manual of uniform traffic control devices - Part 3: Traffic control devices for works on roads;

If required, the Construction Management Plan may be approved in stages. Construction of each stage must not commence until a Construction Management Plan has been endorsed for that stage, to the satisfaction of the Responsible Authority.

- 26. The provisions, recommendations and requirements of the endorsed Construction Management Plan must be implemented and complied with to the satisfaction of the Responsible Authority.

**General**

- 27. The sale and consumption of liquor must comply at all times with the State Environment Protection Policy – Control of Noise from Commerce, Industry and Trade (SEPP N-1).
- 28. The use must comply at all times with the State Environment Protection Policy – Control of Music Noise from Public Premises (SEPP N-2).
- 29. Emptying of bottles and cans (associated with liquor) into bins may only occur between 7:00am and 10:00pm on any day.
- 30. Before the building is occupied, or by such later date as approved in writing by the Responsible Authority, all new on-boundary walls must be cleaned and finished to the satisfaction of the Responsible Authority.
- 31. The sale of liquor for consumption on the premises must be managed so that the amenity of the area is not detrimentally affected including through:
  - (a) The transport of materials, goods or commodities to or from land;
  - (b) The appearance of any buildings, works or materials; and
  - (c) The emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit or oil, or the presence of vermin.
- 32. Within two months of the completion of development, or by such later date as approved in writing by the Responsible Authority, any damage to Council infrastructure resulting from the development must be reinstated:
  - (a) at the permit holder's cost; and
  - (b) to the satisfaction of the Responsible Authority.
- 33. Except with the prior written consent of the Responsible Authority, demolition or construction works must not be carried out:
  - (a) Monday-Friday (excluding public holidays) before 7 am or after 6 pm;
  - (b) Saturdays and public holidays (other than ANZAC Day, Christmas Day and Good Friday) before 9 am or after 3 pm; or
  - (c) Sundays, ANZAC Day, Christmas Day and Good Friday at any time.

**Date: 11 January 2019**

  
 Sarah Griffiths  
 Signature for the Responsible Authority



**Attachment 4 - PLN17/1016.01 221 Swan Street Richmond - Permit**

**Permit Expiry**

34. This permit will expire if:

- (a) the development is not commenced within two years of the date of this permit;
- (b) the development is not completed within four years of the date of this permit; or
- (c) the sale and consumption of liquor is not commenced within five years of the date of this permit.

The Responsible Authority may extend the period referred to if a request is made in writing before the permit expires or within six months afterwards for commencement.

35. The signage approved under this permit expires 15 years from the date of the permit.

**NOTES:**

A building permit may be required before development is commenced. Please contact Council's Building Department on 9205 5428 to confirm.

The site is subject to a Heritage Overlay. A planning permit may be required for any external works or advertising signage.

Provision must be made for drainage of the site to a legal point of discharge. Please contact Council's Building Services on 9205 5428 for further information.

A local law permit (e.g. Asset Protection Permit, Road Occupation Permit) may be required before development is commenced. Please contact Council's Construction Management Branch on Ph. 9205 5585 to confirm.

All future business owners and employees within the development approved under this permit will not be permitted to obtain employee or visitor parking permits.

**Date: 11 January 2019**



Sarah Griffiths  
Signature for the Responsible Authority

**Attachment 4 - PLN17/1016.01 221 Swan Street Richmond - Permit**

**PLANNING PERMIT**

**IMPORTANT INFORMATION ABOUT THIS PERMIT**

**WHAT HAS BEEN DECIDED?**

The Responsible Authority has issued a permit.

(Note: This is not a permit granted under Division 5 or 6 of Part 4 of the **Planning and Environment Act 1987**.)

**WHEN DOES A PERMIT BEGIN?**

A permit operates:

- from the date specified in the permit; or
- if no date is specified, from—
  - (i) the date of the decision of the Victorian Civil and Administrative Tribunal, if the permit was issued at the direction of the Tribunal; or
  - (ii) the date on which it was issued, in any other case.

**WHEN DOES A PERMIT EXPIRE?**

1. A permit for the development of land expires if—
  - the development or any stage of it does not start within the time specified in the permit; or
  - the development requires the certification of a plan of subdivision or consolidation under the **Subdivision Act 1988** and the plan is not certified within two years of the issue of the permit, unless the permit contains a different provision; or
  - the development or any stage is not completed within the time specified in the permit, or, if no time is specified, within two years after the issue of the permit or in the case of a subdivision or consolidation within 5 years of the certification of the plan of subdivision or consolidation under the **Subdivision Act 1988**.
2. A permit for the use of land expires if—
  - the use does not start within the time specified in the permit, or if no time is specified, within two years after the issue of the permit; or
  - the use is discontinued for a period of two years.
3. A permit for the development and use of land expires if—
  - the development or any stage of it does not start within the time specified in the permit; or
  - the development or any stage of it is not completed within the time specified in the permit, or, if no time is specified, within two years after the issue of the permit; or
  - the use does not start within the time specified in the permit, or, if no time is specified, within two years after the completion of the development; or
  - the use is discontinued for a period of two years.
4. If a permit for the use of land or the development and use of land or relating to any of the circumstances mentioned in section 6A(2) of the **Planning and Environment Act 1987**, or to any combination of use, development or any of those circumstances requires the certification of a plan under the **Subdivision Act 1988**, unless the permit contains a different provision—
  - the use or development of any stage is to be taken to have started when the plan is certified; and
  - the permit expires if the plan is not certified within two years of the issue of the permit.
5. The expiry of a permit does not affect the validity of anything done under that permit before the expiry.

**WHAT ABOUT REVIEWS?**

- The person who applied for the permit may apply for a review of any condition in the permit unless it was granted at the direction of the Victorian Civil and Administrative Tribunal, in which case no right of review exists.
- An application for review must be lodged within 60 days after the permit was issued, unless a notice of decision to grant a permit has been issued previously, in which case the application for review must be lodged within 60 days after the giving of that notice.
- An application for review is lodged with the Victorian Civil and Administrative Tribunal.
- An application for review must be made on relevant form which can be obtained from the Victorian Civil and Administrative Tribunal, and be accompanied by the applicable fee.
- An application for review must state the grounds upon which it is based.
- A copy of an application for review must be served on the responsible authority.
- Details about applications for review and the fees payable can be obtained from the Victorian Civil and Administrative Tribunal.

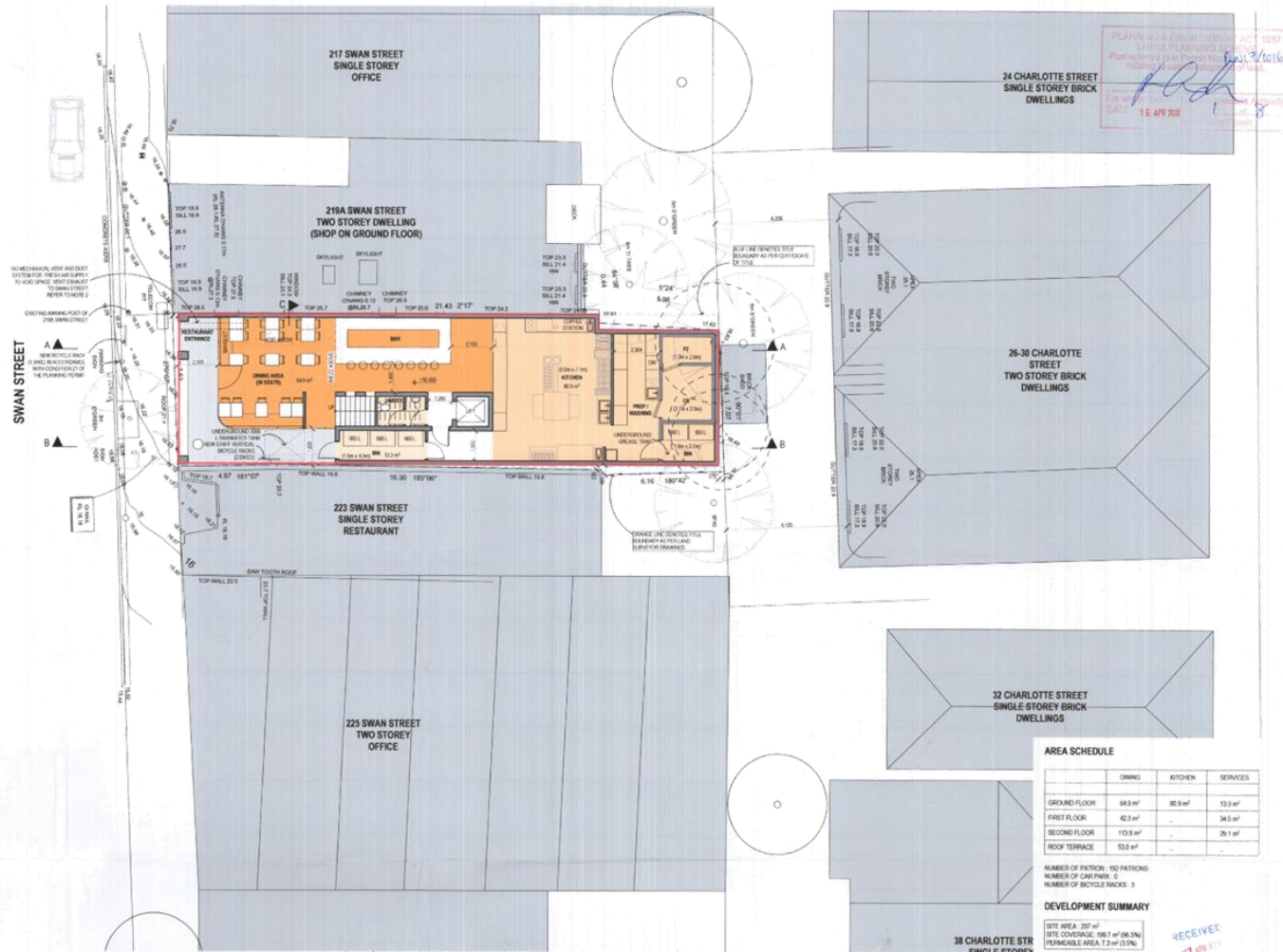
*Planning and Environment Regulations 2015 No. 33/2015 Form 4 Sections 63, 64, 64A and 86*

Attachment 5 - PLN17/1016.01 221 Swan Street Richmond - Endorsed Plans

**NOTE 1**  
 THE CANOPY AND WALLS / NOISE BARRIER SHOULD BE CONSTRUCTED TO ACHIEVE A MINIMUM SOUND TRANSMISSION LOSS RATING OF  $R_w$  30. ACOUSTICALLY ACCEPTABLE MATERIAL FOR CONSTRUCTION INCLUDE 1.6mm THICK STEEL, 9mm THICK FIBRE CEMENT SHEET, MINIMUM 15mm THICK POLYCARBONATE, MINIMUM 6mm THICK GLASS, OR OTHER MATERIAL WITH A MINIMUM MASS OF 12KG/M<sup>2</sup>.

**NOTE 2**  
 THE DUCT SHOULD BE OF RIGID CONSTRUCTION (E.G. GALVANISED STEEL DUCTING).  
 THE DUCT SHOULD BE INTERNALLY LINED WITH MINIMUM 50mm THICK, 32KG/M<sup>2</sup> ACOUSTIC INSULATION TO MINIMISE POTENTIAL TRAFFIC NOISE INGRESS.  
 THE NATURAL VENTILATION DUCT SHOULD BE NO LESS THAN 3 METRES IN LENGTH AND SHOULD ONLY BE MOUNTED TO THE BUILDING STRUCTURE VIA RESILIENT HANGERS OR OTHER FLEXIBLE CONNECTION TYPE.

**NOTE 3**  
 - BLUE LINE DENOTES TITLE BOUNDARY AS PER ORIGINAL CERTIFICATE OF TITLE  
 - ORANGE LINE DENOTES TITLE BOUNDARY AS PER LAND SURVEYOR DRAWINGS



**AREA SCHEDULE**

	DRINK	KITCHEN	SERVICES
GROUND FLOOR	54.9 m <sup>2</sup>	80.8 m <sup>2</sup>	13.3 m <sup>2</sup>
FIRST FLOOR	42.3 m <sup>2</sup>	-	34.5 m <sup>2</sup>
SECOND FLOOR	113.9 m <sup>2</sup>	-	26.1 m <sup>2</sup>
ROOF TERRACE	53.9 m <sup>2</sup>	-	-

NUMBER OF PAVINGS: 160 PAVINGS  
 NUMBER OF CAR PARKS: 0  
 NUMBER OF BICYCLE PARKS: 3

**DEVELOPMENT SUMMARY**

SITE AREA: 307 m<sup>2</sup>  
 SITE COVERAGE: 190.7 m<sup>2</sup> (62.1%)  
 PERMISSIBLE AREA: 7.3 m<sup>2</sup> (2.3%)

**LEGEND**

LIQUOR LICENCE AREA

PROPOSED GROUND FLOOR PLAN



**PROJECT**  
 PROPOSED COMMERCIAL BUILDING  
 221 SWAN STREET  
 RICHMOND VIC 3121

**CLIENT**



REV	NO.	DATE	MEMORANDUM / ISSUE	ORIGIN
D.	100004		ARCHITECT'S RECOMMENDATION	VT
E.	201178		CERTIFICATE OF TITLE'S TITLE BOUNDARY ASSESS	VT
F.	100010		STRUCTURAL ENGINE	VT
G.	200019		PRELIMINARY ARCHITECTURAL DESIGN	VT
H.	200019		ORANGE REVISED TO MATCH TITLE BOUNDARY	VT

**DRAWING:** PROPOSED GROUND FLOOR PLAN

**SCALE:** 1:100 @ A1, 1:200 @ A3

**DATE:** APRIL 2019

**DRWNS:** VT  
**CHECKED:** PA  
**APRNO:** 17062

**PROJECT STATUS:** TOWN PLANNING  
**DRAWING NO.:** TP-06  
**REV. NO.:** H

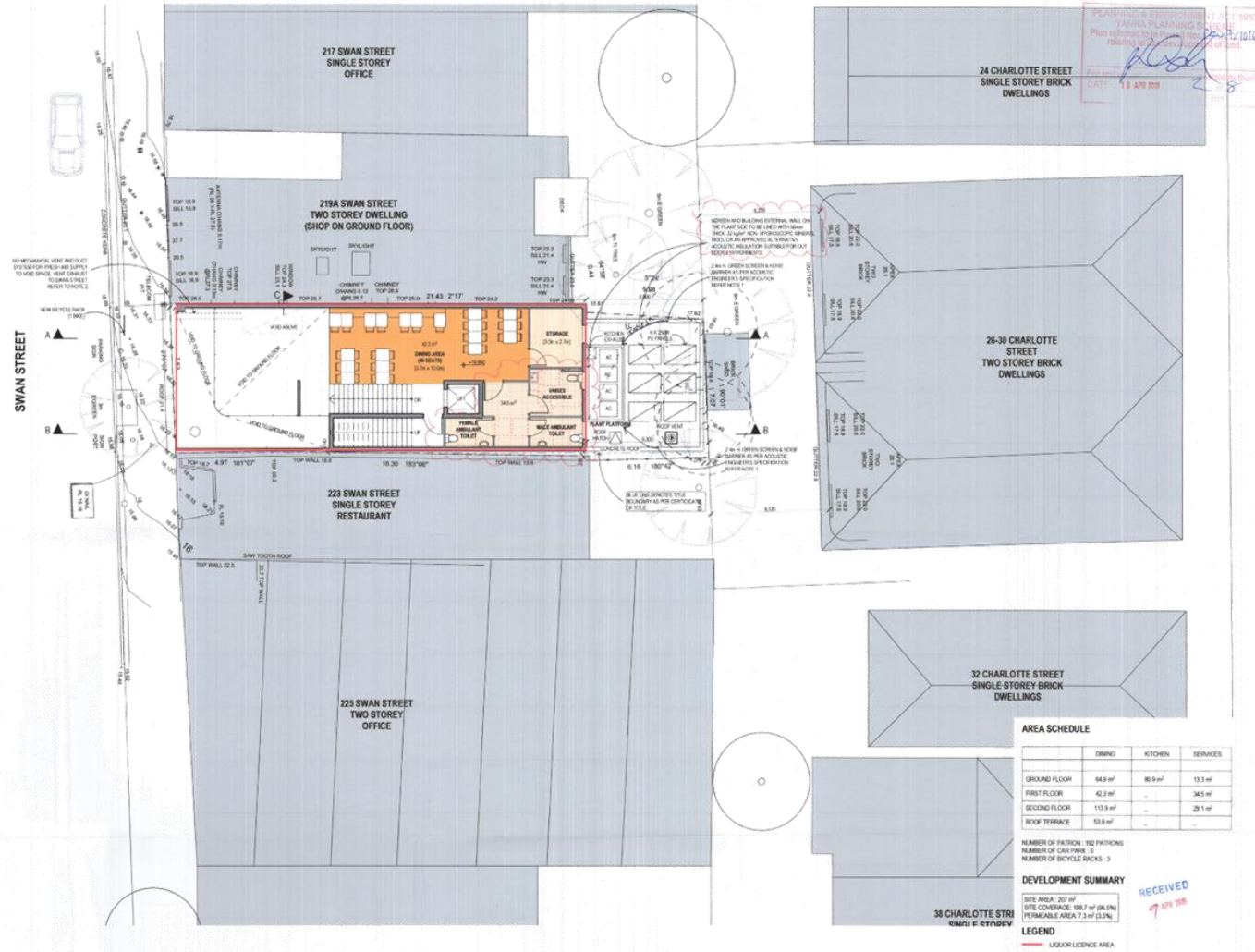


Attachment 5 - PLN17/1016.01 221 Swan Street Richmond - Endorsed Plans

**NOTE 1**  
THE CANOPY AND WALLS / NOISE BARRIER SHOULD BE CONSTRUCTED TO ACHIEVE A MINIMUM SOUND TRANSMISSION LOSS RATING OF  $R_{wT}$  30. ACOUSTICALLY ACCEPTABLE MATERIAL FOR CONSTRUCTION INCLUDE 16mm THICK STEEL, 9mm THICK FIBRE CEMENT SHEET, MINIMUM 10mm THICK POLYCARBONATE, MINIMUM 6mm THICK GLASS, OR OTHER MATERIAL WITH A MINIMUM MASS OF 12KG/M<sup>2</sup>.

**NOTE 2**  
THE DUCT SHOULD BE OF RIGID CONSTRUCTION (E.G. GALVANISED STEEL DUCTING).  
THE DUCT SHOULD BE INTERNALLY LINED WITH MINIMUM 50mm THICK, 32KG/M<sup>2</sup> ACOUSTIC INSULATION TO MINIMISE POTENTIAL TRAFFIC NOISE INGRESS.  
THE NATURAL VENTILATION DUCT SHOULD BE NO LESS THAN 3 METRES IN LENGTH AND SHOULD ONLY BE MOUNTED TO THE BUILDING STRUCTURE VIA RESILIENT HANGERS OR OTHER FLEXIBLE CONNECTION TYPE.

**NOTE 3**  
- BLUE LINE DENOTES TITLE BOUNDARY AS PER ORIGINAL CERTIFICATE OF TITLE  
- ORANGE LINE DENOTES TITLE BOUNDARY AS PER LAND SURVEYOR DRAWINGS



**AREA SCHEDULE**

	DINING	KITCHEN	SERVICES
GROUND FLOOR	54.9 m <sup>2</sup>	30.9 m <sup>2</sup>	13.3 m <sup>2</sup>
FIRST FLOOR	42.3 m <sup>2</sup>	-	34.5 m <sup>2</sup>
SECOND FLOOR	113.9 m <sup>2</sup>	-	29.1 m <sup>2</sup>
ROOF TERRACE	53.0 m <sup>2</sup>	-	-

NUMBER OF PATRONS: 100 PATRONS  
NUMBER OF CAR PARKS: 5  
NUMBER OF BICYCLE RACKS: 3

**DEVELOPMENT SUMMARY**

SITE AREA: 207 m<sup>2</sup>  
SITE COVERAGE: 198.7 m<sup>2</sup> (96.0%)  
FOOTPRINT AREA: 7.3 m<sup>2</sup> (3.5%)

**LEGEND**

LIQUOR LICENCE AREA

PROPOSED MEZZANINE PLAN

<p><b>YBL REMMUS</b> 100-101/102 A: 262/24-316 Lygon Street Brunswick East 3057 T: +61 3 9338 2889 F: +61 3 9338 2900 E: info@yblremmus.com.au</p>	<p>PROJECT PROPOSED COMMERCIAL BUILDING 221 SWAN STREET RICHMOND VIC 3121</p> <p>CLIENT</p>		<p>D. 02/09/18 ACOUSTIC ENGINEERS RECOMMENDATION VT</p> <p>E. 22/10/18 CERTIFICATE OF TITLE'S TITLE BOUNDARY ASSESS VT</p> <p>F. 19/05/18 ENDORSEMENT ISSUE VT</p> <p>G. 28/05/18 BAKING AMENITIES ISSUE VT</p> <p>H. 08/09/18 DRAWING REVISED TO MATCH TITLE BOUNDARY VT</p>	<p>DRAWN: PROPOSED FIRST FLOOR PLAN</p>	<p>SCALE: 1:100 @ A1, 1:200 @ A3</p>	<p>DATE: APRIL 2019</p>
			<p>REV NO. DATE REVISIONS/ISSUE DRAWN</p>	<p>DRAWN: VT PA</p>	<p>DATE: 17/06/2</p>	<p>PROJECT STATUS: TOWN PLANNING</p>

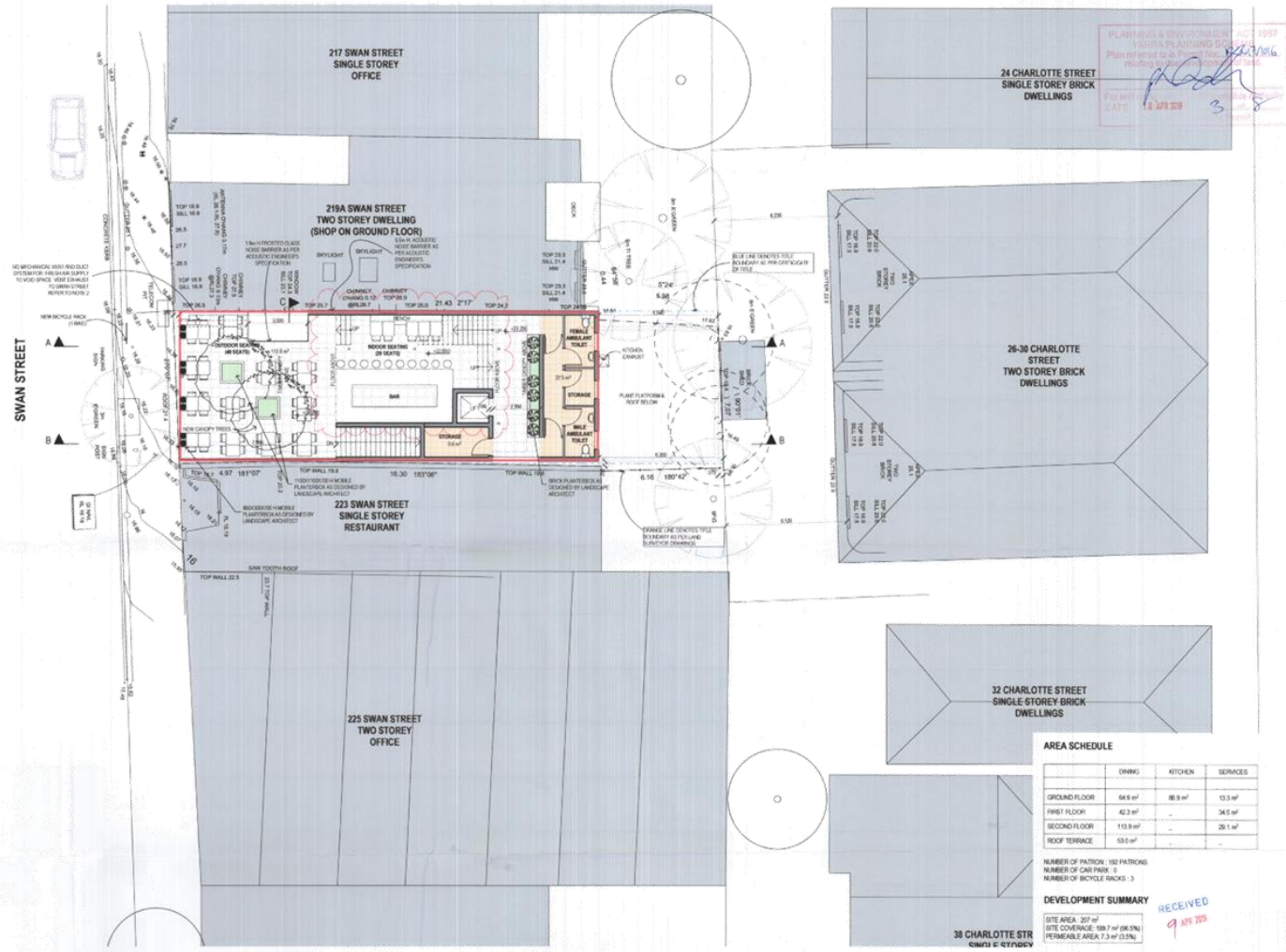


Attachment 5 - PLN17/1016.01 221 Swan Street Richmond - Endorsed Plans

**NOTE 1**  
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**NOTE 2**  
THE DUCT SHOULD BE OF RIGID CONSTRUCTION (E.G. GALVANISED STEEL DUCTING).  
THE DUCT SHOULD BE INTERNALLY LINED WITH MINIMUM 50mm THICK 20KG/M<sup>2</sup> ACOUSTIC INSULATION TO MINIMISE POTENTIAL TRAFFIC NOISE INGRESS.  
THE NATURAL VENTILATION DUCT SHOULD BE NO LESS THAN 3 METRES IN LENGTH AND SHOULD ONLY BE MOUNTED TO THE BUILDING STRUCTURE VIA RESILIENT HANGERS OR OTHER FLEXIBLE CONNECTION TYPE.

**NOTE 3**  
- BLUE LINE DENOTES TITLE BOUNDARY AS PER ORIGINAL CERTIFICATE OF TITLE  
- ORANGE LINE DENOTES TITLE BOUNDARY AS PER LAND SURVEYOR DRAWINGS



PLANNING & DEVELOPMENT ACT 1957  
17/1016.01  
Plan referred to & Permitted  
RECEIVED  
14 APR 2019

**AREA SCHEDULE**

	DINING	KITCHEN	SERVICES
GROUND FLOOR	66.8 m <sup>2</sup>	88.9 m <sup>2</sup>	13.3 m <sup>2</sup>
FIRST FLOOR	42.3 m <sup>2</sup>	-	34.5 m <sup>2</sup>
SECOND FLOOR	113.9 m <sup>2</sup>	-	28.1 m <sup>2</sup>
ROOF TERRACE	53.0 m <sup>2</sup>	-	-

**DEVELOPMENT SUMMARY**

NUMBER OF PATRONS: 100 PATRONS  
NUMBER OF CAR PARK: 0  
NUMBER OF BICYCLE PARKS: 3

RECEIVED  
14 APR 2019

PROPOSED ROOF TERRACE PLAN

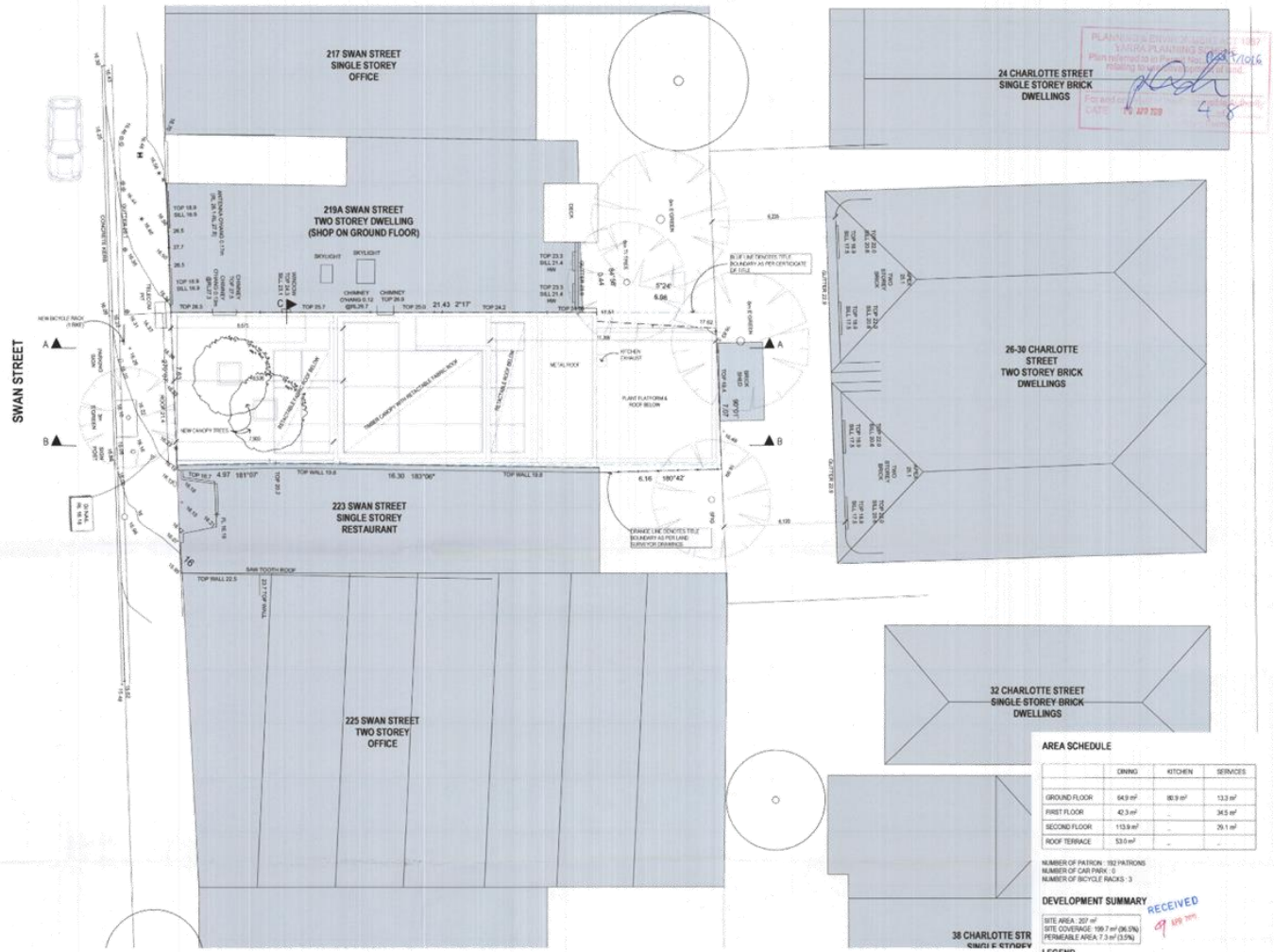
<p><b>YBL REMMUS</b> Architects Pty Ltd A 2007A 276 Lygon Street Brunswick East 3087 T +61 3 8558 2958 F +61 3 8558 3000 E remmus.architects@yblgroup.com.au</p>	<p>PROJECT PROPOSED COMMERCIAL BUILDING 221 SWAN STREET RICHMOND VIC 3121</p>		<p>DATE: 08/04/19 DRAWN: JRM CHECKED: JRM ISSUED: JRM REVISED: JRM</p>	<p>DATE: 08/04/19 DRAWN: JRM CHECKED: JRM ISSUED: JRM REVISED: JRM</p>	<p>DATE: 08/04/19 DRAWN: JRM CHECKED: JRM ISSUED: JRM REVISED: JRM</p>	<p>DATE: 08/04/19 DRAWN: JRM CHECKED: JRM ISSUED: JRM REVISED: JRM</p>	<p>DATE: 08/04/19 DRAWN: JRM CHECKED: JRM ISSUED: JRM REVISED: JRM</p>
	<p>CLIENT</p>		<p>DATE: 08/04/19 DRAWN: JRM CHECKED: JRM ISSUED: JRM REVISED: JRM</p>	<p>DATE: 08/04/19 DRAWN: JRM CHECKED: JRM ISSUED: JRM REVISED: JRM</p>	<p>DATE: 08/04/19 DRAWN: JRM CHECKED: JRM ISSUED: JRM REVISED: JRM</p>	<p>DATE: 08/04/19 DRAWN: JRM CHECKED: JRM ISSUED: JRM REVISED: JRM</p>	<p>DATE: 08/04/19 DRAWN: JRM CHECKED: JRM ISSUED: JRM REVISED: JRM</p>

Attachment 5 - PLN17/1016.01 221 Swan Street Richmond - Endorsed Plans

**NOTE 1**  
 THE CANOPY AND WALLS / NOISE BARRIER SHOULD BE CONSTRUCTED TO ACHIEVE A MINIMUM SOUND TRANSMISSION LOSS RATING OF  $R_w$  30, ACOUSTICALLY ACCEPTABLE MATERIAL FOR CONSTRUCTION INCLUDE 16mm THICK STEEL, 9mm THICK FIBRE CEMENT SHEET, MINIMUM 12mm THICK POLYCARBONATE, MINIMUM 6mm THICK GLASS, OR OTHER MATERIAL WITH A MINIMUM MASS OF 12KG/M<sup>2</sup>.

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 - ORANGE LINE DENOTES TITLE BOUNDARY AS PER LAND SURVEYOR DRAWINGS



**AREA SCHEDULE**

	DRIVING	KITCHEN	SERVICES
GROUND FLOOR	64.9 m <sup>2</sup>	88.9 m <sup>2</sup>	13.3 m <sup>2</sup>
FIRST FLOOR	42.3 m <sup>2</sup>	-	34.5 m <sup>2</sup>
SECOND FLOOR	113.9 m <sup>2</sup>	-	29.1 m <sup>2</sup>
ROOF TERRACE	53.0 m <sup>2</sup>	-	-

NUMBER OF PARCHES: 102 PARCHES  
 NUMBER OF CAR PARK: 0  
 NUMBER OF BICYCLE PARKS: 3

**DEVELOPMENT SUMMARY**

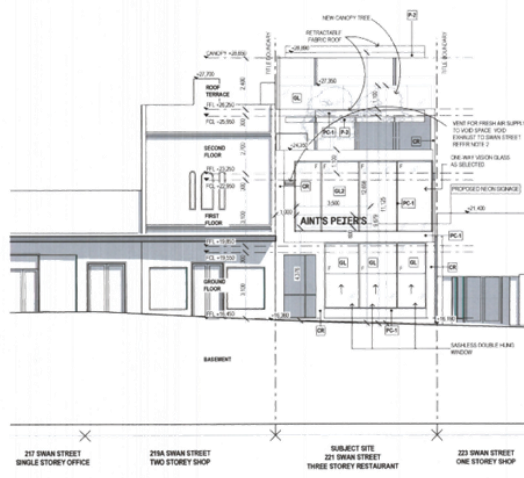
SITE AREA: 207 m<sup>2</sup>  
 SITE COVERAGE: 199.7 m<sup>2</sup> (96.5%)  
 PERMISSIBLE AREA: 7.3 m<sup>2</sup> (3.5%)

**LEGEND**

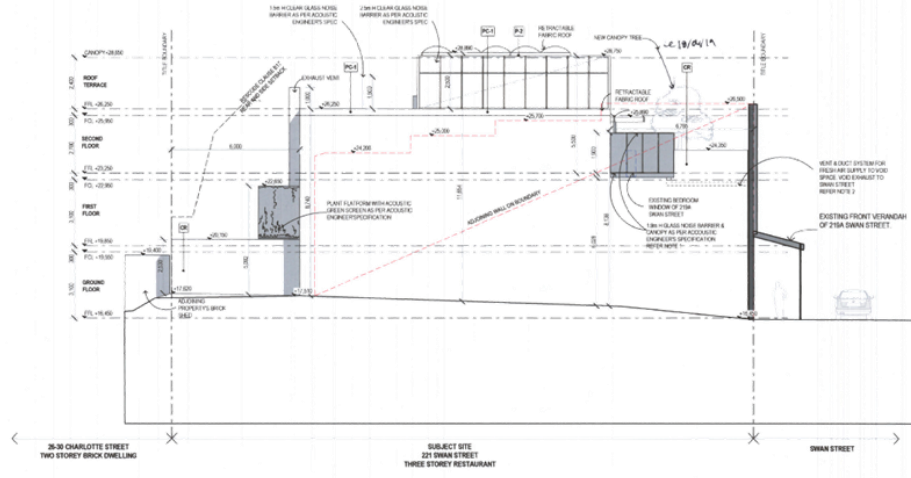
LIQUOR LICENCE AREA

<p><b>YBL REMMUS</b>                  14/4-14/12/190                  A: 24/274-278 Ligon Street Brunswick East 3087                  T: +61 3 9328 2018 F: +61 3 9328 2000                  E: hannah.architectural@yblgroup.com.au</p>	PROJECT PROPOSED COMMERCIAL BUILDING 221 SWAN STREET RICHMOND VIC 3121	CLIENT [REDACTED]	DATE 17/09/2019	DRAWN BY [REDACTED]	CHECKED BY [REDACTED]	APPROVED BY [REDACTED]	DATE APRIL 2019
	PROJECT NO. [REDACTED]	DRAWING NO. [REDACTED]	PROJECT STATUS TOWN PLANNING	DRAWING NO. TP-10	REV. NO. H	DATE 17/06/2019	REV. NO. H

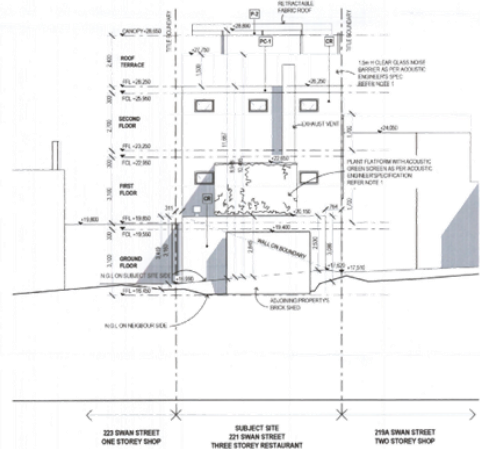
Attachment 5 - PLN17/1016.01 221 Swan Street Richmond - Endorsed Plans



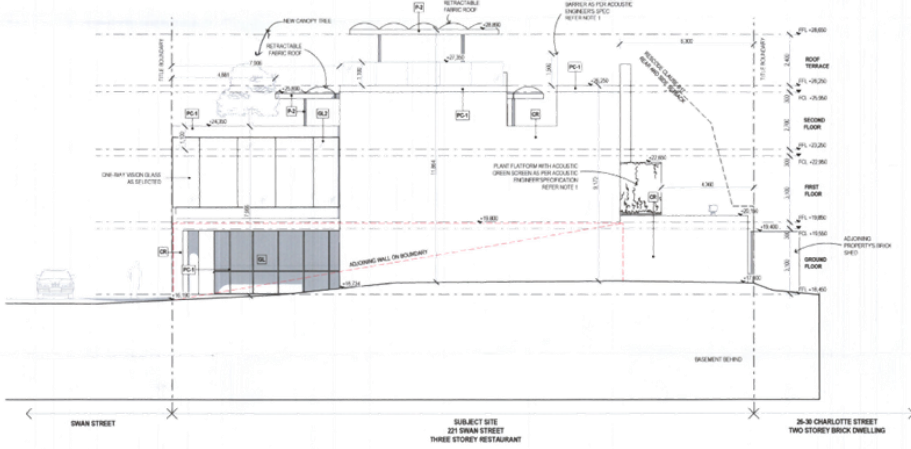
PROPOSED SOUTH ELEVATION



PROPOSED WEST ELEVATION



PROPOSED NORTH ELEVATION



PROPOSED EAST ELEVATION

**FINISHES LEGEND**

1	PAINT FINISH
2	COLOUR 1 - MONUMENT
3	COLOUR 2 - WHITE
4	RETRACTABLE FABRIC ROOF
5	150x150mm GLASS NOSE BARRIER AS PER ACOUSTIC ENGINEER'S SPEC
6	150x150mm GLASS NOSE BARRIER AS PER ACOUSTIC ENGINEER'S SPEC
7	150x150mm GLASS NOSE BARRIER AS PER ACOUSTIC ENGINEER'S SPEC
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**YBL REMMUS**  
 100/102/104  
 221 Swan Street Richmond, Vic 3121  
 T: +613 8538 2999 F: +613 8538 2900  
 E: remmus.architects@yblgroup.com.au

PROJECT  
**PROPOSED COMMERCIAL BUILDING**  
 221 SWAN STREET  
 RICHMOND VIC 3121

CLIENT

REV. NO.	DATE	MODIFICATIONS/ISSUE	DRAWN
D.	10/09/19	ACOUSTIC ENGINEERS RECOMMENDATION	VT
E.	20/11/19	REVISIONS OF TITLE BLOCK BOUNDARY ADDED	VT
F.	28/01/20	ENCUMBRANCE GAZE	VT
G.	20/02/20	ENCUMBRANCE AMENDMENT GAZE	VT
H.	02/03/20	DRAWING REVISIONS TO MATCH TITLE BLOCK GAZE	VT

DRAWING  
**ELEVATIONS**

SCALE	DATE
1:100 @ A1 1200x900	APRIL 2019
DRAWN	CHECKED
VT	PA
PROJECT STATUS	DRAWING NO.
TOWN PLANNING	TP-11
	H

RECEIVED  
 9 APR 2019

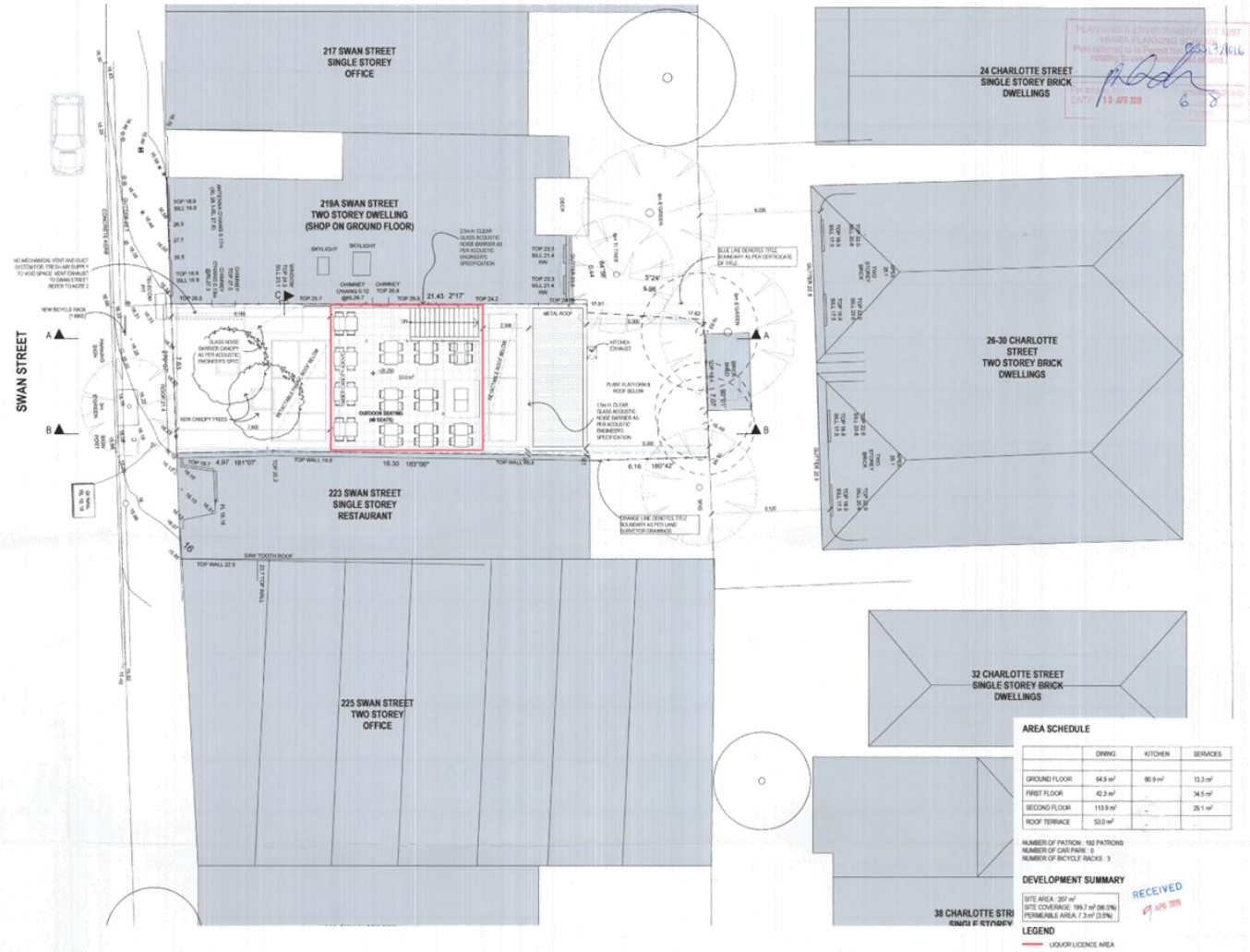


Attachment 5 - PLN17/1016.01 221 Swan Street Richmond - Endorsed Plans

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- ORANGE LINE DENOTES TITLE BOUNDARY AS PER LAND SURVEYOR DRAWINGS



**AREA SCHEDULE**

	DWING	KITCHEN	SERVICES
GROUND FLOOR:	64.9 m <sup>2</sup>	86.9 m <sup>2</sup>	13.3 m <sup>2</sup>
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ROOF TERRACE:	53.0 m <sup>2</sup>	-	-

NUMBER OF PATRONS: 102 PATRONS  
NUMBER OF CAR PARK: 0  
NUMBER OF BICYCLE RACKS: 3

**DEVELOPMENT SUMMARY**  
SITE AREA: 207 m<sup>2</sup>  
SITE COVERAGE: 199.7 m<sup>2</sup> (96.5%)  
PERMISSIBLE AREA: 7.3 m<sup>2</sup> (3.5%)

**LEGEND**  
- LIQUOR LICENCE AREA

PROPOSED ROOF PLAN



This seal can be used to verify all dimensions on site before commencing construction or site works.  
This drawing is copyright. No part may be reproduced or otherwise used without the permission of the licensor.

PROJECT  
PROPOSED COMMERCIAL BUILDING  
221 SWAN STREET  
RICHMOND VIC 3121

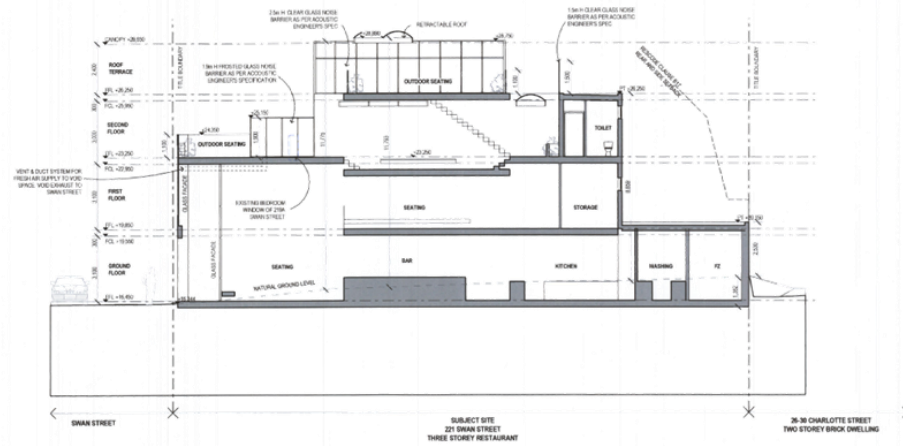


REV NO.	DATE	REVISIONS/ISSUE	DRAWN
0	02/09/19	ACOUSTIC ENGINEERS RECOMMENDATION	VT
1	02/09/19	CERTIFICATE OF TITLE'S TITLE BOUNDARY ADDED	VT
2	02/09/19	REVISIONARY ISSUE	VT
3	02/09/19	BASEMENT IMPROVEMENT ISSUE	VT
4	02/09/19	DRAWINGS REVISED TO MATCH TITLE BOUNDARY	VT

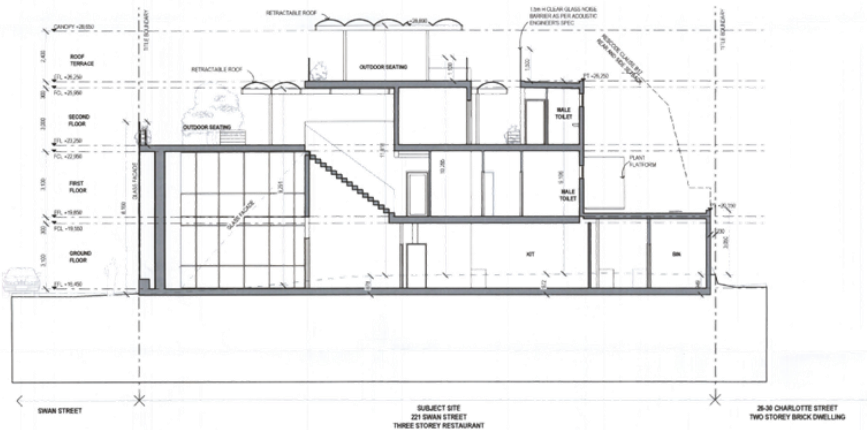
DRAWING  
PROPOSED ROOF TERRACE PLAN

SCALE	DATE
1:1000 (A1) - 1:2000 (A0)	APRIL 2019
DRAWN	DESIGNED
VT	PA
PROJECT STATUS	DRAWING NO.
TOWN PLANNING	TP-09
REV NO.	H

Attachment 5 - PLN17/1016.01 221 Swan Street Richmond - Endorsed Plans



SECTION A-A



SECTION B-B

PLANNING & ENVIRONMENT ACT 1987  
 YARRA PLANNING BOARD  
 Plan referred to in Permit No. PLN17/1016  
 (Address of subject property)  
 Date of issue: 13 APR 2019  
 7/8

**YBL REMMUS**  
 ARCHITECTS  
 A: 20/274-2751 Lynn Street Brunswick East 3087  
 T: +61 3 9336 2888 F: +61 3 9336 2900  
 E: remmus.architects@yblgroup.com.au

Do not scale from these drawings. Verify all dimensions on site before commencing construction or site change. This drawing is copyright. No part may be reproduced or otherwise dealt with without the permission of the Architect.

PROJECT:  
 PROPOSED COMMERCIAL BUILDING  
 221 SWAN STREET  
 RICHMOND VIC 3121  
 CLIENT:

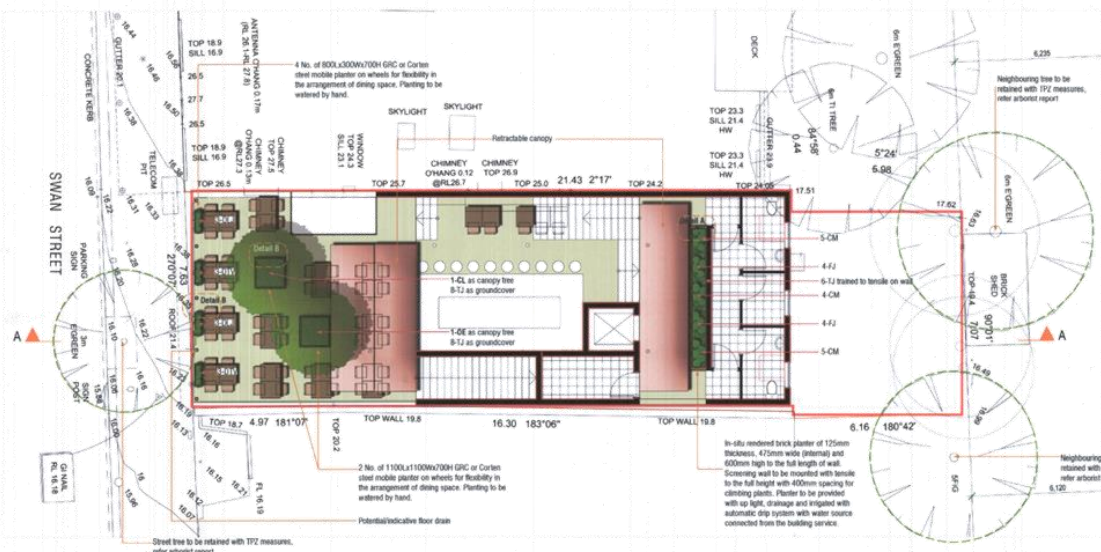
D.	12/01/18	ACOUSTIC ENGINEER'S RECOMMENDATION	VT
E.	20/11/18	CERTIFICATE OF TITLE'S TITLE BOUNDARY ADDED	VT
F.	15/01/19	INCORPORATE BAR	VT
G.	25/01/19	INCORPORATE AMENDMENT ISSUE	VT
H.	25/01/19	DRAWING REVISED TO MATCH TITLE BOUNDARY	VT
REV NO	DATE	AMENDMENT/ISSUE	DRAWN

DRAWN: SECTIONS

SCALE: 1:100 @ A1, 1:200 @ A3	DATE: APRIL 2019
DRAWN: VT	CHECKED: PA
PROJECT STATUS: TOWN PLANNING	PERMITS NO: TP-12
DRAWING NO:	REV. NO: H

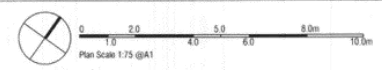
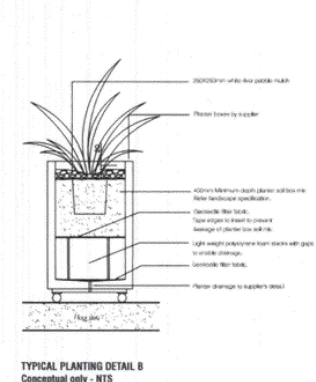
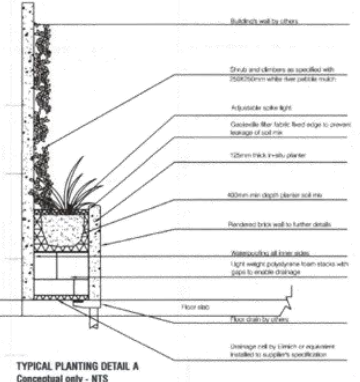
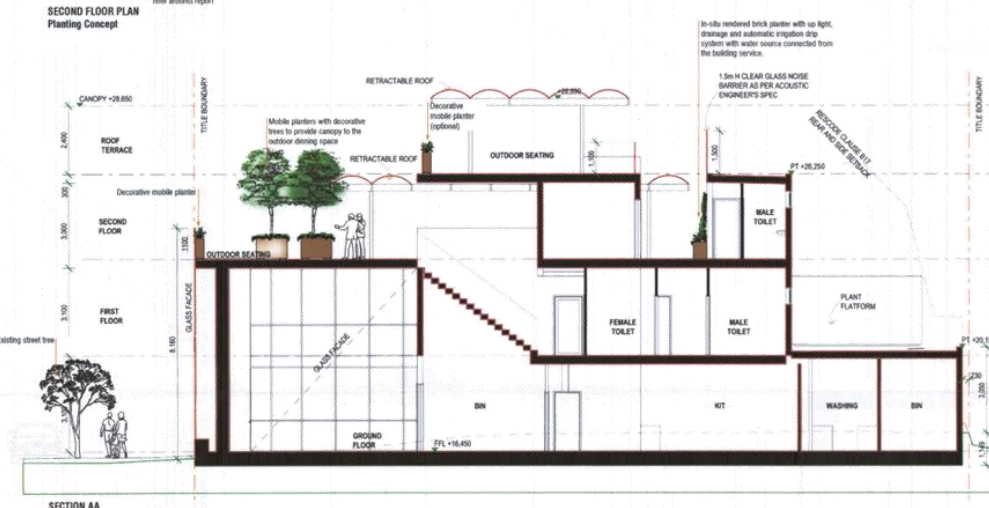
RECEIVED  
 19 APR 2019

Attachment 5 - PLN17/1016.01 221 Swan Street Richmond - Endorsed Plans



**PROPOSED PLANTING SCHEDULE**

Symbol	Botanic name	Common name	Installation size	Mature size (m)	Quantity
UL	Ulmus laevis 'Lacomb'	Lacomb Elm Tree	450mm pot	4.0 x 3.0 m	1
OL	Olus europaeus 'Swan Hill'	Swan Hill Olive	450mm pot	7.6 x 4.0 m	1
<b>Shrubs and Climbers</b>					
CM	Chamaecrista	Bush Lily	140mm pot	0.6 x 0.6 m	14
DLJ	Dianella revoluta 'Little River'	Flax Lily	140mm pot	0.75 x 0.75 m	6
DTV	Dianella tasmanica variegata	Variegated Flax Lily	140mm pot	0.75 x 0.75 m	6
FJ	Fuchsia japonica	Japanese Fuchsia	140mm pot	1.0 x 0.75 m	8
TJ	Taxodiopappus plumosus	Star Jasmine	140mm pot	Spreading and climbing	22



PROPOSED COMMERCIAL USED DEVELOPMENT  
221 SWAN STREET RICHMOND 3121  
LA01 - LANDSCAPE PLAN

Date	Revision	Issue
26/09/2018	Sketch design - DRAW1	For review and comment
01/10/2018	Updated section	For TP application

**TT THE TRAYGULL**

**Thad Patraodon** Registered Landscape Architect AILA #406  
**Thai Trangon - TT DESIGN** ABRN: 49 135 155 770  
 Address: 120/4250 Elizabeth Street, Melbourne 3000  
 Tel: 0408 199 815  
 Website: http://patraodon.wix.com/12016  
 Email: design@thaitrangon.com.au

RECEIVED 19 SEP 2018



Attachment 6 - PLN17/1016.01 221 Swan Street Richmond - Referral Comments



26 June 2019

Yarra City Council  
PO Box 168  
RICHMOND VIC 3121  
Attention: Jessica Sutherland

Dear Jessica Sutherland,

**PLANNING APPLICATION No.:** PLN17/1016.01  
**VicROADS REFERENCE NO:** 24911/18  
**PROPERTY ADDRESS:** 221 SWAN STREET, RICHMOND

**Section 52 - No objection**

Thank you for forwarding planning permit application PLN17/1016.01 pursuant to Section 52 of the Planning and Environment Act 1987.

In consultation with CityLink, VicRoads has considered the application and has no objection to the proposal.

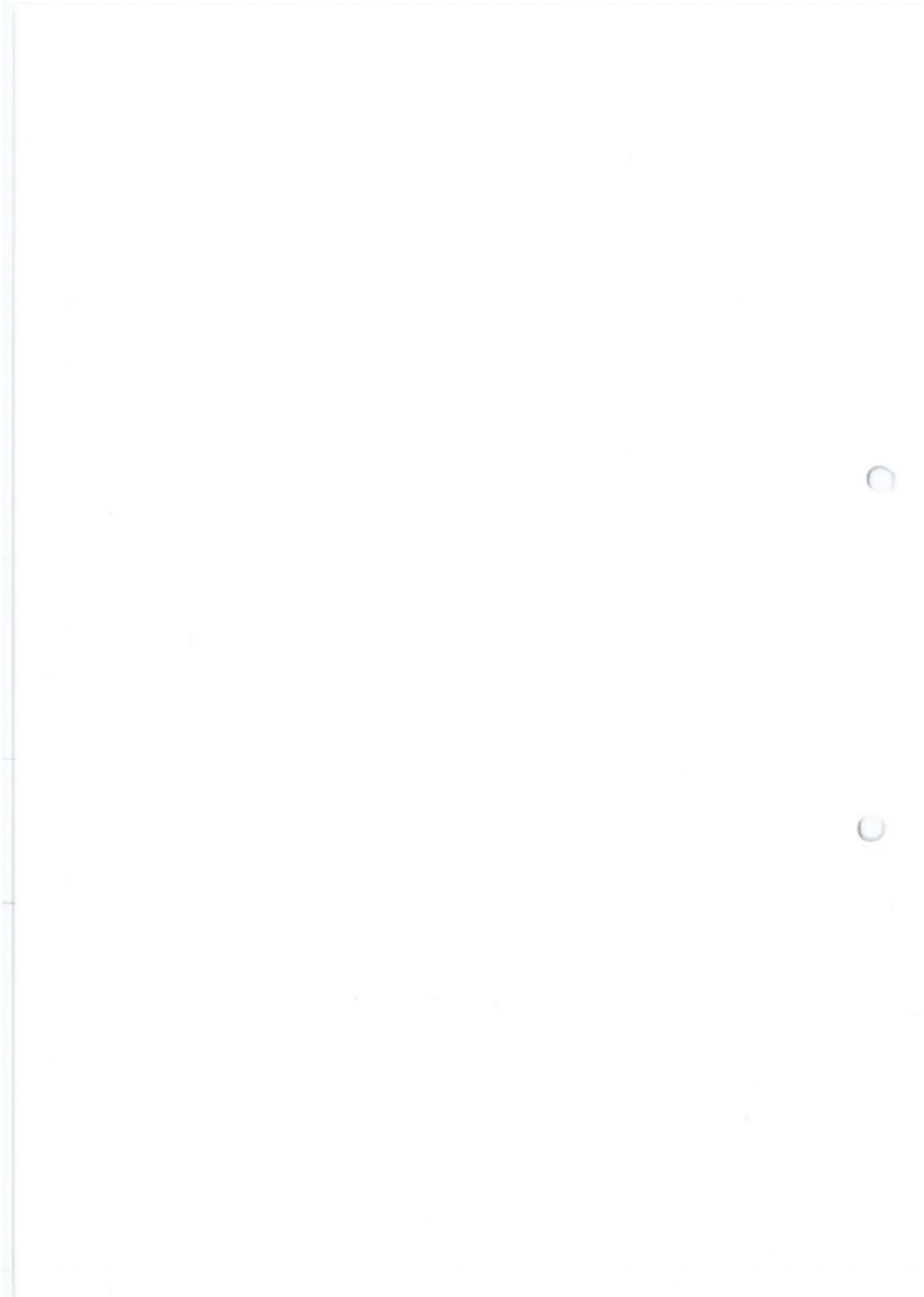
Should you have any enquiries regarding this matter, please contact our Planning Department on (03) 9313 1187 or [MNWPlanning@roads.vic.gov.au](mailto:MNWPlanning@roads.vic.gov.au)

Yours sincerely

A handwritten signature in black ink that reads 'Ewa Fiebelkorn'.

**EWA FIEBELKORN**  
STATUTORY PLANNING SUPPORT OFFICER

**Attachment 6 - PLN17/1016.01 221 Swan Street Richmond - Referral Comments**



**Attachment 6 - PLN17/1016.01 221 Swan Street Richmond - Referral Comments**

**Sutherland, Jessica**

---

**From:** Alexander, Steve  
**Sent:** Friday, 7 June 2019 3:47 PM  
**To:** Sutherland, Jessica  
**Subject:** RE: Amendment to a Liquor License PLN17/1016.01

Dear Jessica, thank you for your referral. I've had a chance to look at the application and given there is no change to patron numbers, 'use' or hours the Compliance branch does not have any concern with the basement being licenced.

Feel free to contact me on 9205-5166 if you have questions.

**Steve Alexander**  
Coordinator Compliance & Prosecutions



**Phone:** (03) 9205 5166 **Fax:** (03) 8417 6666  
**Website:** [www.yarracity.vic.gov.au](http://www.yarracity.vic.gov.au)

---

**From:** Sutherland, Jessica  
**Sent:** Friday, 7 June 2019 11:54 AM  
**To:** Alexander, Steve <Steve.Alexander@yarracity.vic.gov.au>  
**Subject:** Amendment to a Liquor License PLN17/1016.01

Hi Steve,

Hope you are well!

I'm seeking comments for an application to amend a liquor license (associated with a restaurant). Please see all relevant documentation attached.

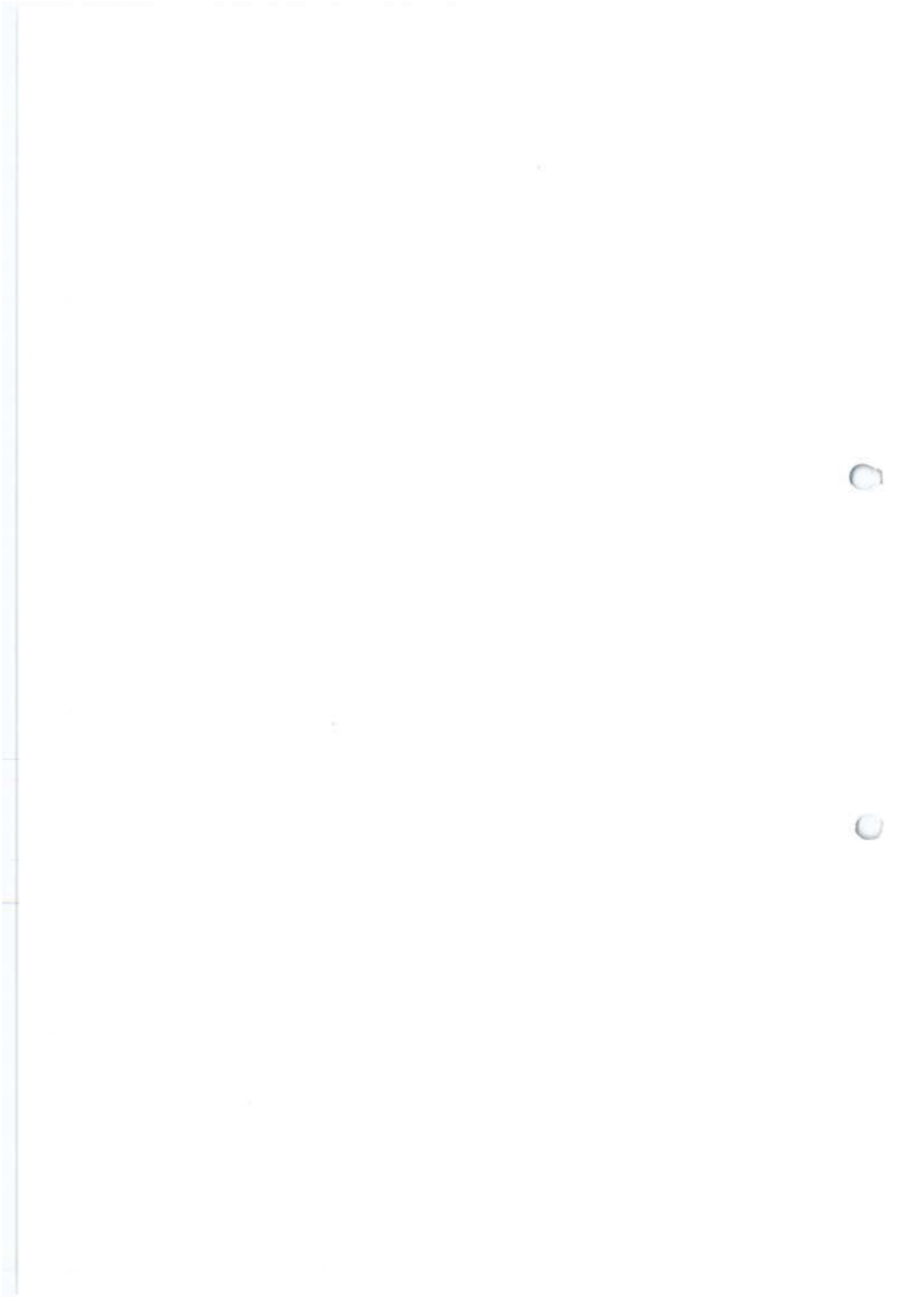
The site already has a permit for sale and consumption of liquor but are amending the application to include a basement level (including an extension to the red line to cover this level). They have not applied for an increase to the patron numbers from currently approved.

Thank you so much for your assistance,

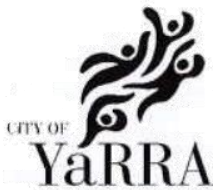
Jess



**Attachment 6 - PLN17/1016.01 221 Swan Street Richmond - Referral Comments**



## Attachment 6 - PLN17/1016.01 221 Swan Street Richmond - Referral Comments



## MEMO

**To:** Jessica Sutherland  
**From:** Artemis Bacani  
**Date:** 31 July 2019  
**Subject:** Application No: PLN17/1016  
 Description: Additional Floor Area - Restaurant  
 Site Address: 221 Swan Street, Richmond

I refer to the above Planning Application received on 18 July 2019 in relation to the proposed development at 221 Swan Street, Richmond. Council's Engineering Services unit provides the following information:

**CAR PARKING PROVISION****Proposed Development**

Under the provisions of Clause 52.06-5 of the Yarra Planning Scheme, the development's parking requirements are as follows:

Proposed Use	Size	Statutory Parking Rate	No. of Spaces Required	No. of Spaces Allocated
Restaurant (Additional Floor Area)	199.7 m <sup>2</sup>	3.5 spaces to each 100 m <sup>2</sup> of leasable floor area	6	0

\* Since the site is located within the Principal Public Transport Network Area, the parking rates in Column B of Clause 52.06-5 now apply.

To reduce the number of car parking spaces required under Clause 52.06-5 (including to reduce to zero spaces), the application for the car parking reduction must be accompanied by a Car Parking Demand Assessment.

- *Parking Demand for Restaurant Use.*

The original BVY Pt Ltd report had indicated that peak parking rates for the restaurant would be in the order of 0.15 to 0.30 spaces per patron. The number of patrons for the revised proposal would be the same as the original proposal of 192 patrons. Adopting the more conservative rate of 0.30 spaces per patron would equate to 57 spaces (on the assumption that the venue was operating at full capacity). Patrons would be drawn from local businesses and residences (walk-up trade).

*Availability of Public Transport in the Locality of the Land.*

The site is within walking distance of tram services operating along Swan Street and Church Street. The East Richmond and Richmond railway stations and bus services operating along Punt Road are also within walking distance of the site.

- *Multi-Purpose Trips within the Area.*

Patrons to the site who choose to drive might combine their visit by engaging in other business or activities whilst in the area.

**Attachment 6 - PLN17/1016.01 221 Swan Street Richmond - Referral Comments**

- *Convenience of Pedestrian and Cyclist Access.*  
The site is within walking distance of shops, businesses, essential facilities and public transport services. The site also has very good connectivity to the Principal Bicycle Network.

**Appropriateness of Providing Fewer Spaces than the Likely Parking Demand**

Clause 52.06 lists a number of considerations for deciding whether the required number of spaces should be reduced. For the subject site, the following considerations are as follows:

- *Availability of Car Parking.*  
BVY Pty Ltd had conducted on-street parking occupancy surveys in the surrounding area on Wednesday 1 November 2017 and Saturday 4 November 2017 between 10:00am and 8:00pm. The survey area encompassed sections of Swan Street, Church Street, Charles Street, Mary Street, Harvey Street, and Brighton Street. The times and extent of the survey is considered appropriate for this development. A parking inventory ranging between 137 and 199 spaces was identified. The survey results indicate that the peak occupancy was observed at 5.00pm on Wednesday with 104 spaces occupied or 33 spaces vacant. The data suggests that the parking demand in the surrounding area is moderate to high. Patrons would be fully aware of the lack of parking near the site and consider catching public transport which are conveniently located near the site.
- *Access to or Provision of Alternative Transport Modes.*  
The site has very good access to public transport and the on-road bicycle network. Car share pods are located within walking distance of the site and provide an alternative option of transport for staff and patrons. A Flexicar car share pod is located in Church Street, approximately 160 metres west of the site.
- *Relevant Local Policy or Incorporated Document.*  
The proposed development is considered to be in line with the objectives contained in Council's *Strategic Transport Statement*. The site is ideally located with regard to sustainable transport alternatives and the reduced provision of on-site car parking would potentially discourage private motor vehicle ownership and use.
- *The Future Growth and Development of an Activity Centre.*  
Practice Note 22 – *Using the Car Parking Provisions* indicates that car parking should be considered on a centre-basis rather than on a site/individual basis. This is applicable to activity centres, such as Swan Street, where spare on-street car parking capacity would be shared amongst sites within the activity centre.

**Adequacy of Car Parking**

From a traffic engineering perspective, the waiver of parking for the additional floor area of the restaurant is considered appropriate in the context of the development and the surrounding area. The limited opportunity to park on-street would encourage patrons and employees to use more sustainable forms of transport.

The Civil Engineering unit has no objection to the reduction in the car parking requirement for this site.