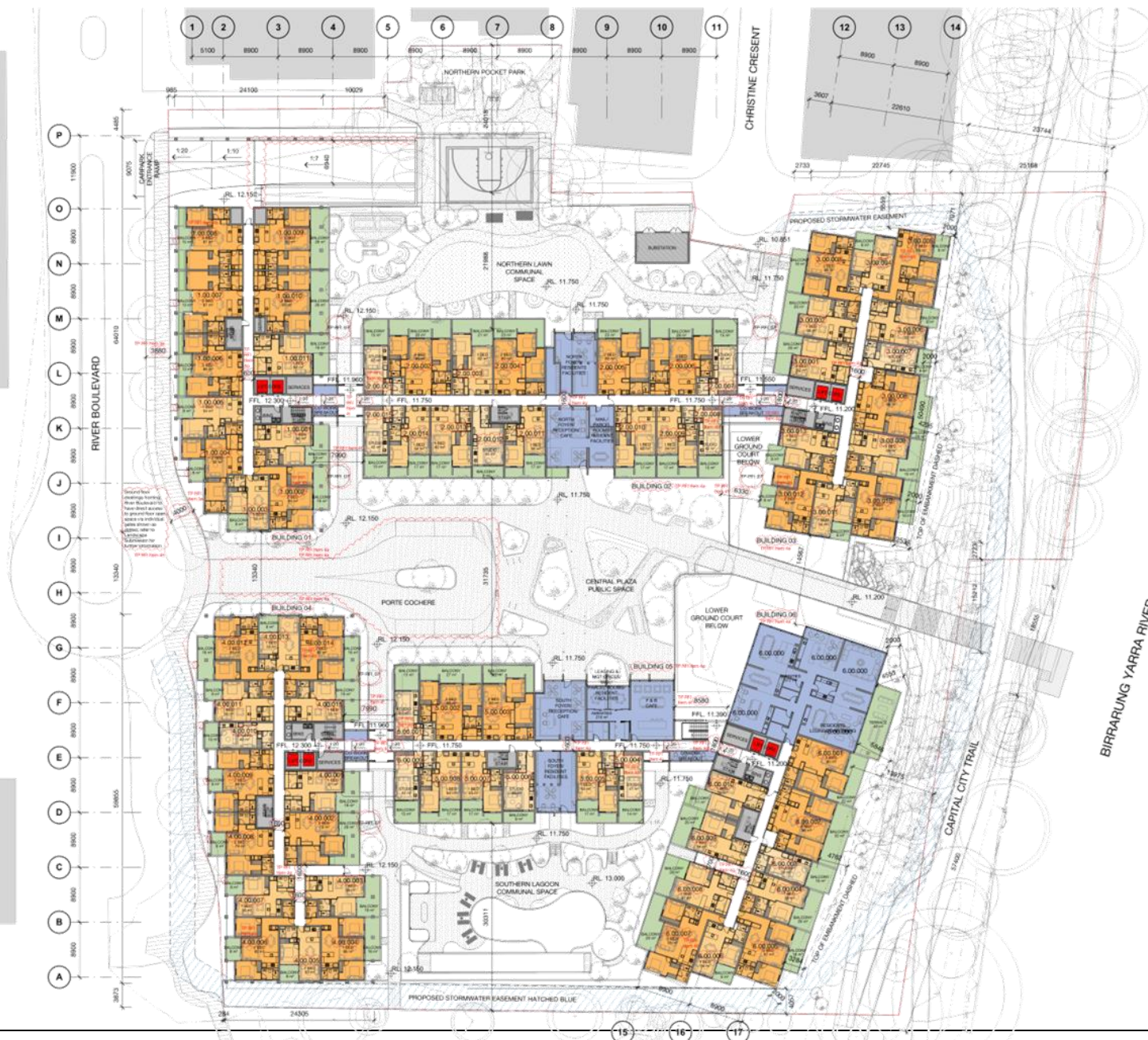
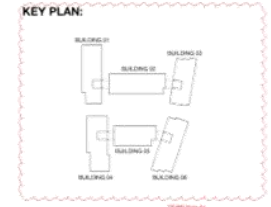


Attachment 1 - PLN21/0836 & PLN22/0142 - Original Architectural Plans



Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment, and the appointment of any tradespeople or the fabrication of any components.
Do not scale drawings, refer to figured dimensions only. Any discrepancies shall ultimately be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from BMS (P)0300



- LEGEND - KEY PLAN**
- Studio Apartment
 - 1 Bedroom Apartment
 - 2 Bedroom Apartment
 - Resident Amenities
 - Resident Balcones & Terrace
 - Building Services / Plant
 - Title Boundary
- Apartment Naming logic: as per below (P)0300-01-01
 XYZZ
 X = Building Number
 Y = Level
 ZZ = Apartment Number

1: 14.02.21 TOWN PLANNING	41	85
2: 16.11.21 TOWN PLANNING	41	85
Rev	Date	Description

RSR
Riverside Boulevard

Key Plan
Ground Floor

Status	TOWN PLANNING
Scale	1 : 300 @ A1 1 : 600 @ A3
Client	PG Checklist AA
Project No.	M12360
Plot Date	16/03/2023 12:38:28 PM
BM	
Drawing No.	Revision
TP03.00	B

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 9586 8200 F 03 9586 4300
email mel@bates-smart.com.au
http://www.bates-smart.com.au

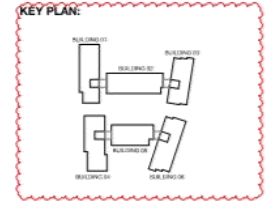
Sydney 43 Bradburn Street
Sydney NSW 2010 Australia
T 02 9554 5100 F 02 9554 5199
email syd@bates-smart.com.au
http://www.bates-smart.com.au

Bates Smart Pty Ltd ABN 70 004 989 400

Attachment 1 - PLN21/0836 & PLN22/0142 - Original Architectural Plans



Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment, and the commencement of site drainage and/or the installation of any components. Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification. All drawings may not be reproduced or distributed without prior permission from the architect.



LEGEND - KEY PLAN

- Studio Apartment
- 1 Bedroom Apartment
- 2 Bedroom Apartment
- Resident Amenities
- Resident Balconies & Terraces
- Building Services / Plant
- Title Boundary

Apartment Naming Logic as per below:

XY.ZZZ
 XY = Building Number
 YY = Level
 ZZZ = Apartment Number

1: N 32 21' CORN PLANNING	A1	RS
2: 28 11 31' TOWN PLANNING	A2	RS
3: 28 11 31' TOWN PLANNING	A3	RS
4: 28 11 31' TOWN PLANNING	A4	RS

**RSR
Riverside Boulevard**

Key Plan
Level 01



Drawn	TOWN PLANNING	
Scale	1:300 @ A1	1:500 @ A3
Drawn	PG	Checked: AA
Project No.	M12380	
Plot Date	18/03/2013 11:14 AM	
DSM		
Drawing No.	Revision	
TP03.01	B	

Melbourne: 1 Nicholson Street
 Melbourne VIC 3000 Australia
 T 03 9556 0200 F 03 9556 0200
 email mel@batesmart.com.au
 http://www.batesmart.com.au

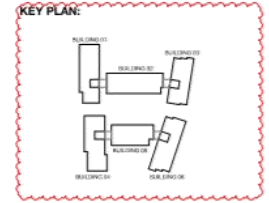
Sydney: 43 Brisbane Street
 Surry Hills NSW 2010 Australia
 T 02 9254 5100 F 02 9254 5100
 email syd@batesmart.com.au
 http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 004 999 495

Attachment 1 - PLN21/0836 & PLN22/0142 - Original Architectural Plans



Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment, and the commencement of site drainage and/or the installation of any components. Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification. All drawings may not be reproduced or distributed without prior permission from the architect.



LEGEND - KEY PLAN

- Studio Apartment
- 1 Bedroom Apartment
- 2 Bedroom Apartment
- Resident Amenities
- Resident Balconies & Terraces
- Building Services / Plant
- Title Boundary

Apartment Naming Logic as per below:

XY.ZZZ
 XY = Building Number
 YY = Level
 ZZZ = Apartment Number

1	14/02/21	CONCEPT PLANNING	AI	RS
2	08/11/21	TOWN PLANNING	AI	RS
Rev	Desc	Drawn	Check	Checked

RSR
Riverside Boulevard

Key Plan
Level 02



Disc:	TOWN PLANNING		
Scale:	1:300 @ A1	1:500 @ A3	
Disc:	PG	Checked:	AA
Project No:	M12380		
Plot Date:	18/03/22 11:20 AM		
DDM:			
Drawing No:	Revision		
TP03.02	B		

Melbourne: 1 Nicholson Street
 Melbourne VIC 3000 Australia
 T 03 9556 0200 F 03 9556 0200
 email mel@batesmart.com.au
 http://www.batesmart.com.au

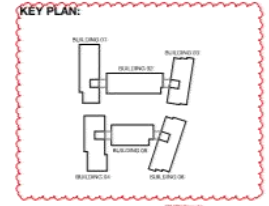
Sydney: 43 Brisbane Street
 Surry Hills NSW 2010 Australia
 T 02 9254 5100 F 02 9254 5100
 email syd@batesmart.com.au
 http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 004 999 495

Attachment 1 - PLN21/0836 & PLN22/0142 - Original Architectural Plans



Check all dimensions and site conditions prior to commencement of any work, the purchase or making of any materials, fittings, plant, services or equipment, and the commencement of site clearing and/or the installation of any components. Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification. All drawings may not be reproduced or distributed without prior permission from the architect.



- LEGEND - KEY PLAN**
- Studio Apartment
 - 1 Bedroom Apartment
 - 2 Bedroom Apartment
 - Resident Amenities
 - Resident Balconies & Terraces
 - Building Services / Plant
 - Title Boundary

Apartment Naming Logic as per below:

XY.YY.ZZZ
 XY = Building Number
 YY = Level
 ZZZ = Apartment Number

14 30 21	TOWN PLANNING	A1	RS
28 11 21	TOWN PLANNING	A1	RS
100	1000	1000	1000

RSR
Riverside Boulevard

Key Plan
Level 03



Disc:	TOWN PLANNING		
Scale:	1:300 @ A1	1:500 @ A3	
Disc:	PG	Checked:	AA
Project No:	M12380		
Plot Date:	18/03/2012 11:12:14 PM		
Disc:			
Drawing No:	Revision		
TP03.03	B		

Melbourne: 1 Nicholson Street
 Melbourne VIC 3000 Australia
 T 03 9556 0200 F 03 9556 0200
 email mel@batesmart.com.au
 http://www.batesmart.com.au

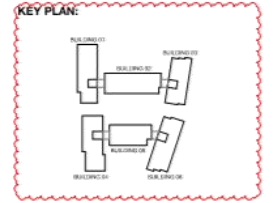
Sydney: 43 Brisbane Street
 Surry Hills NSW 2010 Australia
 T 02 9554 5100 F 02 9554 5100
 email syd@batesmart.com.au
 http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 004 999 495

Attachment 1 - PLN21/0836 & PLN22/0142 - Original Architectural Plans



Check all dimensions and site conditions prior to commencement of any work, the purchase or making of any materials, fittings, plant, services or equipment, and the commencement of site drainage and/or the installation of any components. Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification. All drawings may not be reproduced or distributed without prior permission from the architect.



LEGEND - KEY PLAN

- Studio Apartment
- 1 Bedroom Apartment
- 2 Bedroom Apartment
- Resident Amenities
- Resident Balconies & Terraces
- Building Services / Plant
- Title Boundary

Apartment Naming logic as per below:

XY.YY.ZZZ
 XY = Building Number
 YY = Level
 ZZZ = Apartment Number

14/02/21	CONC. PLANNING	AI	RS
08/11/21	TOWN PLANNING	AI	RS
Rev	Desc	Created	Checked

RSR
Riverside Boulevard

Key Plan
Level 04



Disc:	TOWN PLANNING		
Scale:	1:300 @ A1	1:500 @ A3	
Disc:	PG	Checked:	AA
Project No.:	M12380		
Plot Date:	18/03/20 11:22:09 PM		
DDM:			
Drawing No.:	Revision		
TP03.04	B		

Melbourne: 1 Nicholson Street
 Melbourne VIC 3000 Australia
 T 03 9556 0200 F 03 9556 0200
 email mel@batesmart.com.au
 http://www.batesmart.com.au

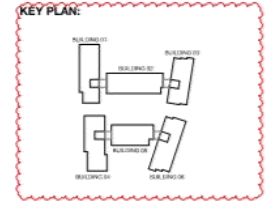
Sydney: 43 Brisbane Street
 Surry Hills NSW 2010 Australia
 T 02 9254 5100 F 02 9254 5100
 email syd@batesmart.com.au
 http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 004 999 400

Attachment 1 - PLN21/0836 & PLN22/0142 - Original Architectural Plans



Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment, and the commencement of site drainage and/or the installation of any components.
Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from the architect.



LEGEND - KEY PLAN

- Studio Apartment
- 1 Bedroom Apartment
- 2 Bedroom Apartment
- Resident Amenities
- Resident Balconies & Terraces
- Building Services / Plant
- Title Boundary

Apartment Naming Logic as per below

XY.YYZZ
 X = Building Number
 YY = Level
 ZZ = Apartment Number

1	N 30 21	TOWN PLANNING	A1	RS
2	28 11	TOWN PLANNING	A1	RS
Rev	Desc	Revision	Date	Checked

RSR
Riverside Boulevard

Key Plan
Level 05



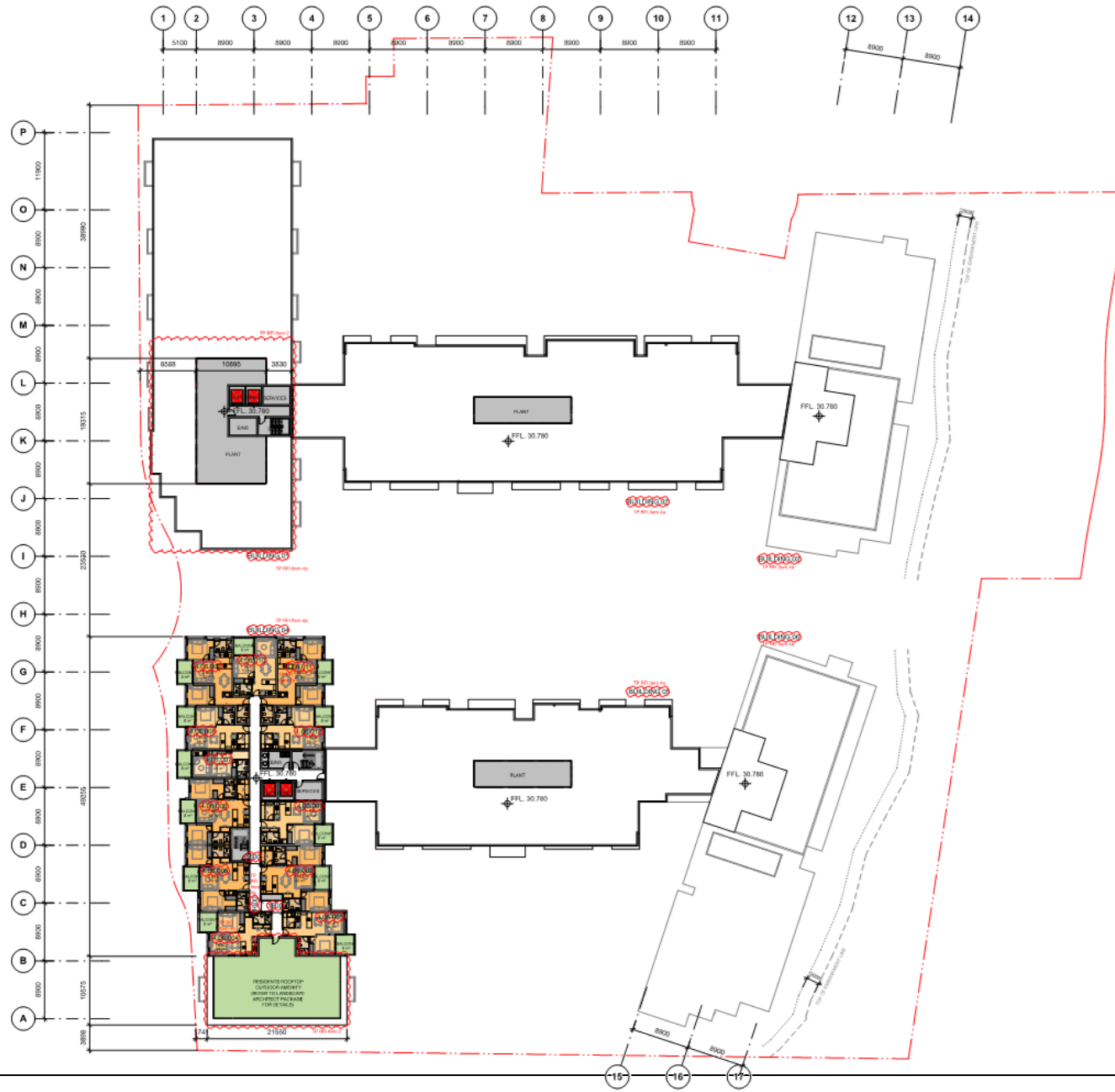
Discipline	TOWN PLANNING
Scale	1:300 @ A1 1:500 @ A3
Discipline	PG Checked: AA
Project No.	M12380
Plot Date	18/03/2013 11:14 AM
Discipline	
Drawing No.	Revision
TP03.05	B

Melbourne: 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 9556 0200 F 03 9556 0200
email mel@batesmart.com.au
http://www.batesmart.com.au

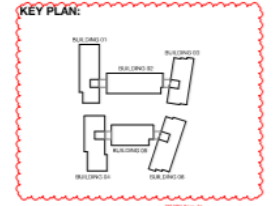
Sydney: 43 Brisbane Street
Surry Hills NSW 2010 Australia
T 02 9254 5100 F 02 9254 5100
email syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 004 999 490

Attachment 1 - PLN21/0836 & PLN22/0142 - Original Architectural Plans



Check all dimensions and site conditions prior to commencement of any work. The purchaser or lessee of any materials, fittings, plant, services or equipment and the responsibility of shop drawings and/or the fabrication of any components. Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification. All drawings may not be reproduced or distributed without prior permission from the architect.



- LEGEND - KEY PLAN**
- Studio Apartment
 - 1 Bedroom Apartment
 - 2 Bedroom Apartment
 - Resident Amenities
 - Resident Balconies & Terraces
 - Building Services / Plant
 - Title Boundary

Apartment Naming logic as per below

XY.YYY
 X = Building Number
 YY = Level
 YYY = Apartment Number

1	14.02.21	FORM PLANNING	A1	05
2	08.11.21	TOWN PLANNING	A1	06
Rev	Date	Description	By	Checked

RSR
Riverside Boulevard

Key Plan
 Level 06

Drawn: TOWN PLANNING
 Scale: 1:300 @ A1 | 1:500 @ A3
 Drawn: PG | Checked: AA
 Project No: M12360
 Plot Date: 14/02/21 1:04:26 PM

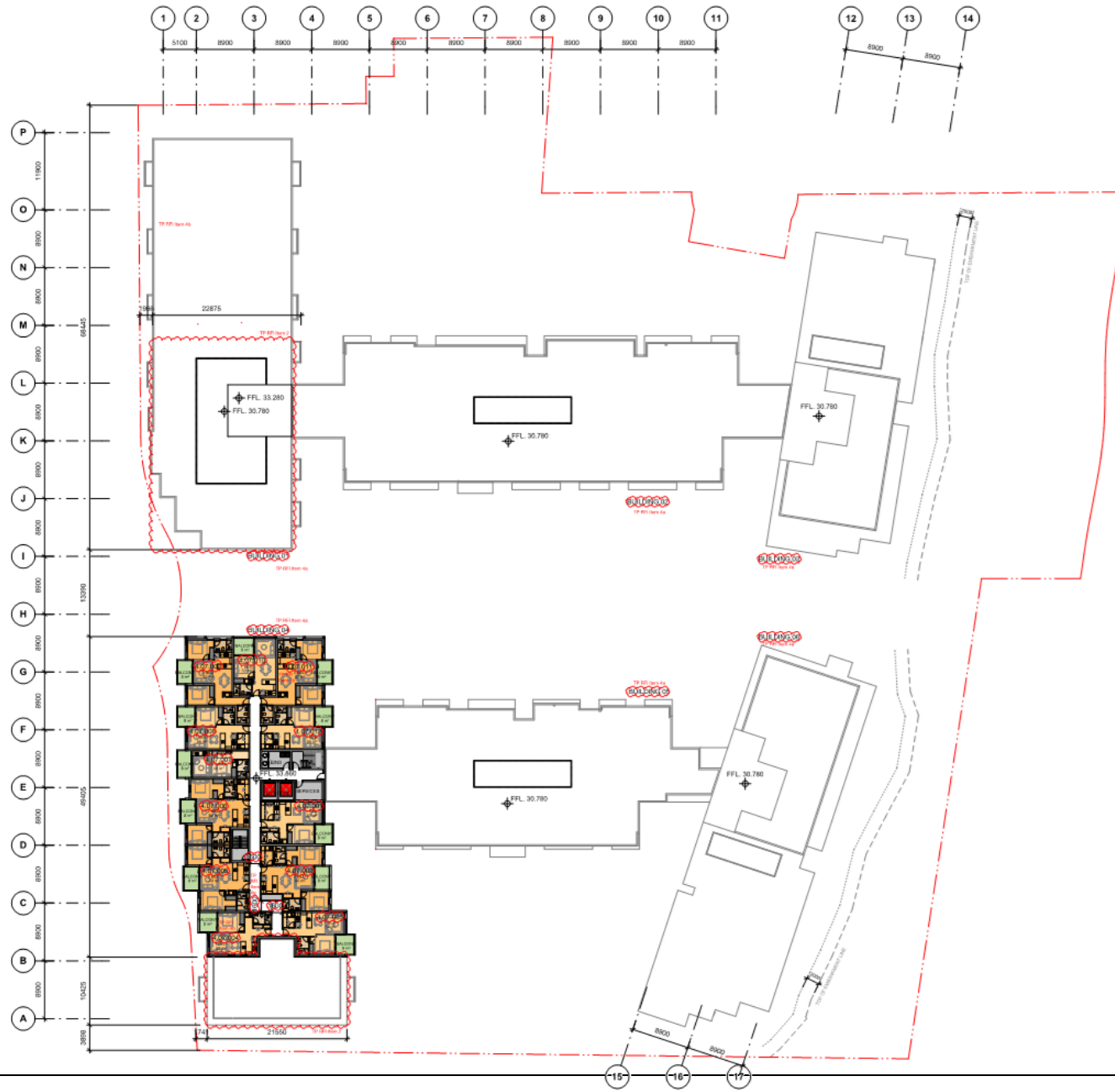
Drawn by: TP03.06
 Revision: B

Melbourne: 1 Nicholson Street
 Melbourne VIC 3000 Australia
 T 03 9556 0200 F 03 9556 0300
 email mel@batesmart.com.au
 http://www.batesmart.com.au

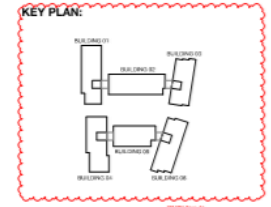
Sydney: 43 Brisbane Street
 Surry Hills NSW 2010 Australia
 T 02 9354 5100 F 02 9354 5100
 email syd@batesmart.com.au
 http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 054 989 405

Attachment 1 - PLN21/0836 & PLN22/0142 - Original Architectural Plans



Check all dimensions and site conditions prior to commencement of any work. The purchaser or employer of any materials, fittings, plant, services or equipment and the responsibility of shop drawings and/or the fabrication of any components. Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification. All drawings may not be reproduced or distributed without prior permission from the architect.



- LEGEND - KEY PLAN**
- Studio Apartment
 - 1 Bedroom Apartment
 - 2 Bedroom Apartment
 - Resident Amenities
 - Resident Balconies & Terraces
 - Building Services / Plant
 - Title Boundary

Apartment Naming logic as per below:

XY.YYY
 XY = Building Number
 YY = Level
 YYY = Apartment Number

14.02.21	TOWN PLANNING	A1	05
08.11.21	TOWN PLANNING	A1	05
Rev	Date	Description	By

RSR
Riverside Boulevard

Level 07

Drawn	TOWN PLANNING		
Scale	As indicated/A1		
Drawn	Author	Checked	Checked
Project No.	M12360		
Plot Date	14/02/21 15:41:16 PM		
Rev			
Drawing No.	Revision		
TP03.07	B		

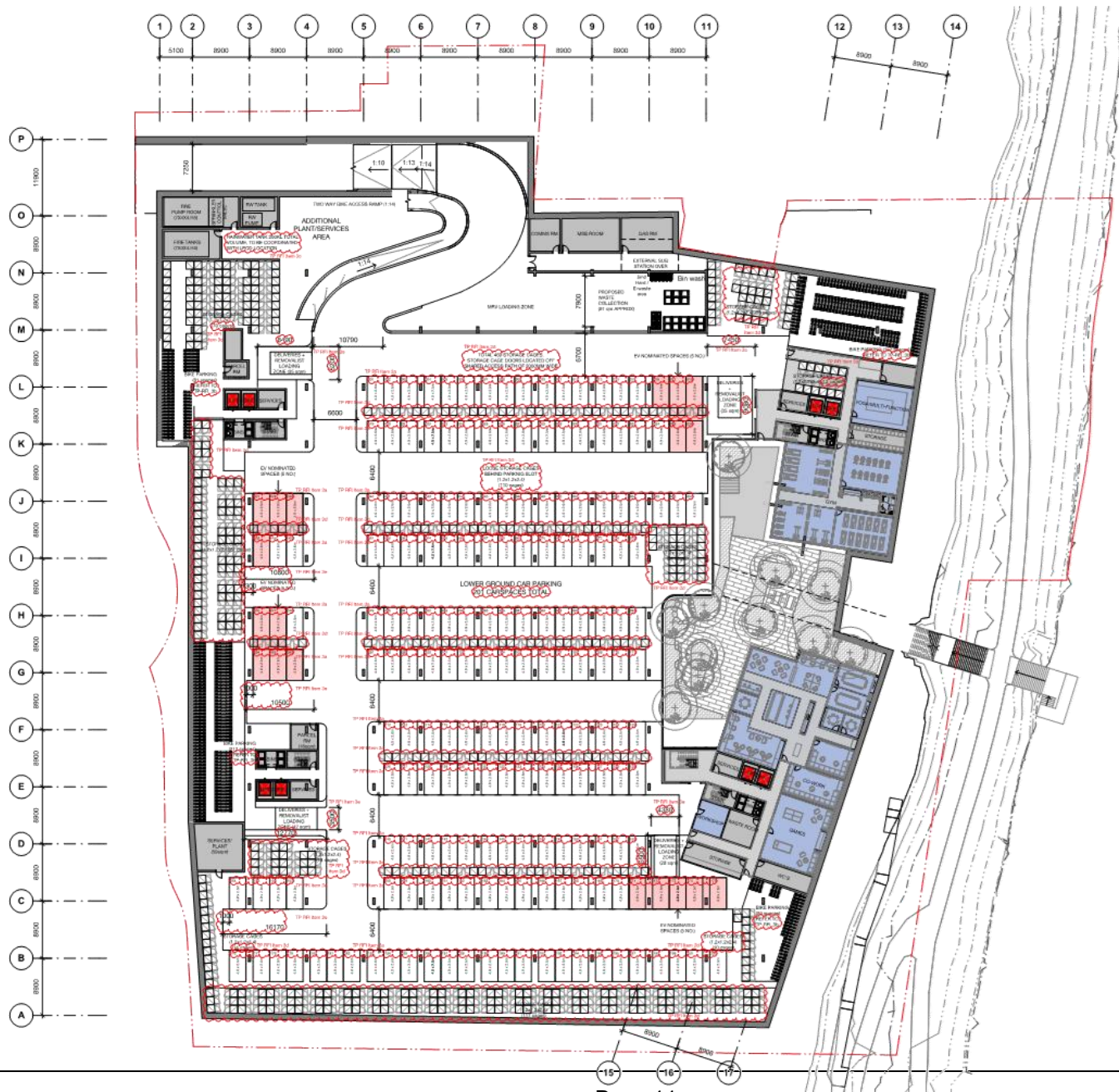
Melbourne: 1 Nicholson Street
 Melbourne VIC 3000 Australia
 T 03 9556 0200 F 03 9556 0300
 email mel@batesmart.com.au
 http://www.batesmart.com.au

Sydney: 43 Brisbane Street
 Surry Hills NSW 2010 Australia
 T 02 9556 5100 F 02 9556 5100
 email syd@batesmart.com.au
 http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 054 999 405



Attachment 1 - PLN21/0836 & PLN22/0142 - Original Architectural Plans



Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, (Design, plant, services or equipment) and the preparation of shop drawings and/or the fabrication of any components.
Do not scale drawings - refer to figured dimensions only. Any discrepancy shall immediately be referred to architect for clarification.
All drawings may not be reproduced or distributed without prior permission from the architect.

LEGEND - KEY PLAN

- Studio Apartment
- 1 Bedroom Apartment
- 2 Bedroom Apartment
- Resident Amenities
- Resident Balconies & Terraces
- Building Services / Plant
- Title Boundary

14 30 21	TOWN PLANNING	A1	RS
28 31 31	TOWN PLANNING	A1	RS
Rev	Rev	Rev	Rev

**RSR
Riverside Boulevard**

Key Plan
Basement 01



Scale	TOWN PLANNING		
Scale	1:300	@ A1	1:500 @ A3
Drawn	PG	Checked	AA
Project No.	M12380		
Proj Date	14/03/2021 15:12 PM		

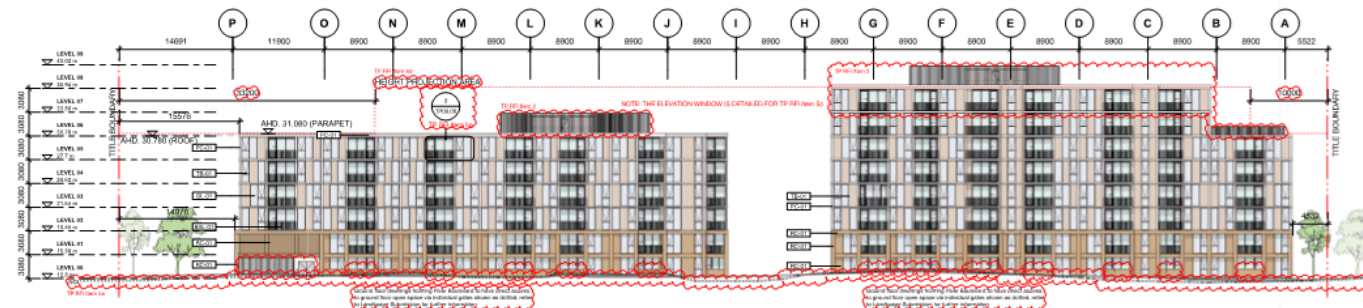
Drawing No.	Revision
TP03.B01	B

Melbourne: 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 9556 6200 F 03 9556 6202
email mel@batesSMART.com.au
http://www.batesSMART.com.au

Sydney: 43 Brisbane Street
Surry Hills NSW 2010 Australia
T 02 9554 5100 F 02 9554 5100
email syd@batesSMART.com.au
http://www.batesSMART.com.au

Bates Smart Pty Ltd ABN 70 004 989 400

Attachment 1 - PLN21/0836 & PLN22/0142 - Original Architectural Plans



W Elevation - West
1:300

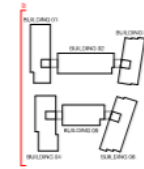


E Elevation - East
1:300



Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment, and the preparation of shop drawings and the fabrication of any components.
Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from the architect.

KEY PLAN:



FAÇADE LEGEND:

- PF-01 Paint Finish (Porters Concrete Wash "Tusk")
- PC-01 Precast Concrete Pier (Light Finish)
- RC-01 Masonry Render (Warm Colour)
- RC-02 Masonry Render (Light Colour)
- RC-03 Masonry Render (Ribbed Light Colour)
- GL-01 Clear Glazing
- LW-01 Plant Screen Dark Metal Louvre
- TS-01 Timber Louver Cladding
- TC-01 Ceramic Cladding (Warm Tan Colour)
- TPC-01 Textured Masonry Cladding
- DM-01 Dark Metal Balustrade
- BAL-02 Textured Masonry (To Match TPC-01)
- BAL-03 Clear Glass with Dark Metal Frame
- BAL-04 Concrete Side / Clear Glass Front

#	14.02.21	TOWN PLANNING	A1	05
#	28.11.21	TOWN PLANNING	A1	05
Rev		Description	Issue	Checked

RSR
Riverside Boulevard

External Elevations
Elevations East - West

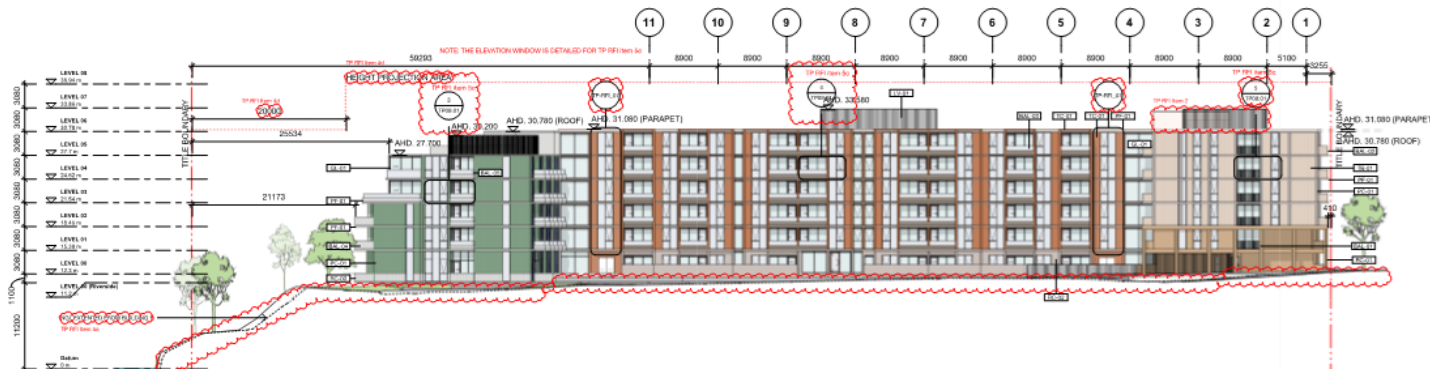
Drawn	TOWN PLANNING
Scale	1:250 @ A1 1:500 @ A3
Drawn	PG Checked AA
Project No.	M12380
Plot Date	14/02/2022 @ 2:14 PM
Rev	
Drawing no.	Revision
TP09.00	B

Melbourne: 1 Nicholson Street
Melbourne VIC 3000 Australia
T: 03 9556 0200 F: 03 9556 0200
email: mel@batesSMART.com.au
http://www.batesSMART.com.au

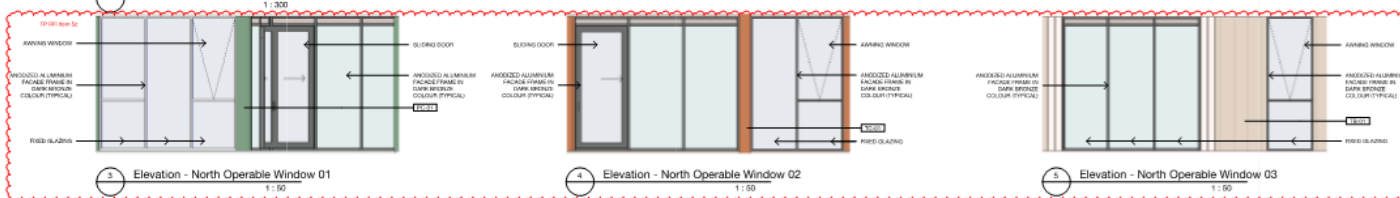
Sydney: 43 Brisbane Street
Surry Hills NSW 2010 Australia
T: 02 9556 0200 F: 02 9556 0200
email: syd@batesSMART.com.au
http://www.batesSMART.com.au

Bates Smart Pty Ltd ABN 70 054 999 405

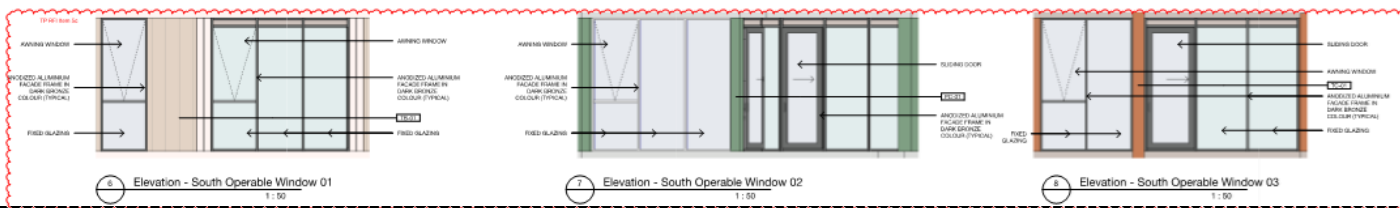
Attachment 1 - PLN21/0836 & PLN22/0142 - Original Architectural Plans



N Elevation - North 1:300



S Elevation - South 1:300



Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment, and the preparation of shop drawings and the fabrication of any components.
Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from the architect.

KEY PLAN:



FAÇADE LEGEND:

- PF-01 Paint Finish (Porters Concrete Wash "Tusk")
- PC-01 Precast Concrete Pier (Light Finish)
- RC-01 Masonry Render (Warm Colour)
- RC-02 Masonry Render (Light Colour)
- RC-03 Masonry Render (Ribbed Light Colour)
- GL-01 Clear Glazing
- LV-01 Plant Screen Dark Metal Louvre
- TS-01 Timber Louver Cladding
- TC-01 Ceramic Cladding (Warm Tan Colour)
- TPC-01 Textured Masonry Cladding
- DM-01 Dark Metal Balustrade
- BAL-02 Textured Masonry (To Match TPC-01)
- BAL-03 Clear Glass with Dark Metal Frame
- BAL-04 Concrete Side / Clear Glass Front

14/02/21	FORM PLANNING	AI	05
08/11/21	TOWN PLANNING	AI	06
Rev	Rev	Description	Issue

RSR
Riverside Boulevard

External Elevations
Elevations North - South

Drawn	TOWN PLANNING		
Scale	1:250 @ A1	1:500 @ A3	
Drawn	PG	Checked	AA
Project No.	M12380		
Plot Date	14/02/2021 9:14:16 PM		

Drawing no
TP09.01 B

Melbourne: 1 Nicholson Street
Melbourne VIC 3000 Australia
T: 03 9584 0200 F: 03 9584 0300
email: mel@batesmart.com.au
http://www.batesmart.com.au

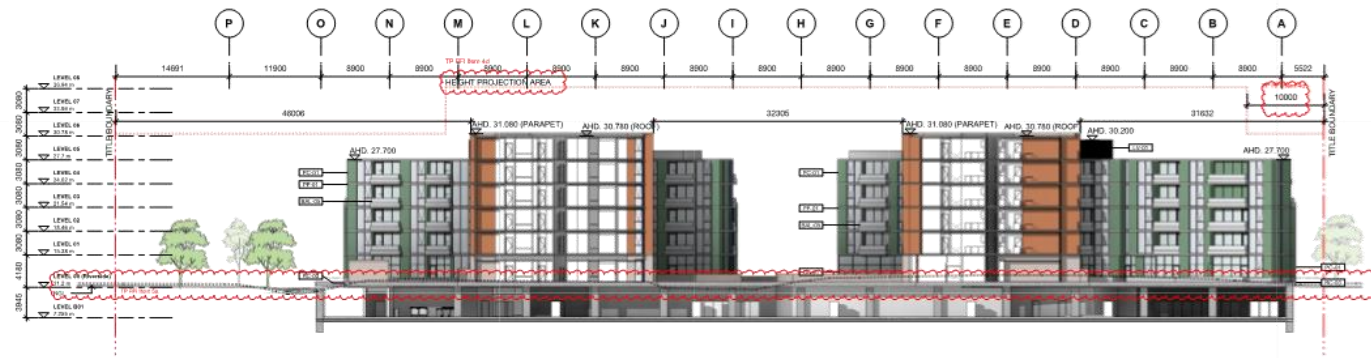
Sydney: 43 Brisbane Street
Sydney NSW 2010 Australia
T: 02 9554 5100 F: 02 9554 5100
email: syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 054 999 405

Attachment 1 - PLN21/0836 & PLN22/0142 - Original Architectural Plans



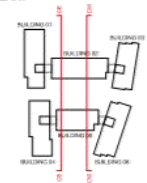
CE Elevation - Centre East
1:300



CW Elevation - Centre West
1:300

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment, and the commencement of site clearing and/or the installation of any components.
Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from the architect.

KEY PLAN:



FACADE LEGEND:

- PF-01 Paint Finish (Porters Concrete Wash "Tusk")
- PC-01 Precast Concrete Pier (Light Finish)
- MR-01 Masonry Render (Warm Colour)
- MR-02 Masonry Render (Light Colour)
- MR-03 Masonry Render (Ribbed Light Colour)
- GL-01 Clear Glazing
- LV-01 Paint Screen Dark Metal Louvre
- TS-01 Timber Look Cladding
- TC-01 Ceramic Cladding (Warm Tan Colour)
- TPC-01 Textured Masonry Cladding
- DM-01 Dark Metal Balustrade
- BAL-01 Textured Masonry (To Match TPC-01)
- BAL-02 Clear Glass with Dark Metal Frame
- BAL-04 Concrete Side / Clear Glass Front

14/02/21	TOWN PLANNING	A1	RS
08/11/21	TOWN PLANNING	A1	RS
Rev	Description	Date	Checked

RSR
Riverside Boulevard

External Elevations
Elevations Central East - West

Discs	TOWN PLANNING
Scale	1:250 @ A1 1:500 @ A3
Discs	PG Checked AA
Project No.	M12380
Proj Date	14/02/2021 @ 14/14 PM
Disc	
Drawing No.	Revision
TP09.02	B

Melbourne: 1 Nicholson Street
Melbourne VIC 3000 Australia
T: 03 9554 0200 F: 03 9554 0300
email: mel@bates-smart.com.au
http://www.bates-smart.com.au

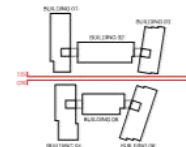
Sydney: 43 Brisbane Street
Surry Hills NSW 2010 Australia
T: 02 9554 3100 F: 02 9554 9100
email: syd@bates-smart.com.au
http://www.bates-smart.com.au

Bates Smart Pty Ltd ABN 70 004 999 400

Attachment 1 - PLN21/0836 & PLN22/0142 - Original Architectural Plans

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment, and the commencement of site drainage and/or the installation of any components.
Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from the architect.

KEY PLAN:



FACADE LEGEND:

- PF-01 Paint Finish (Porters Concrete Wash "Tusk")
- PC-01 Precast Concrete Pier (Light Finish)
- RC-01 Masonry Render (Warm Colour)
- RC-02 Masonry Render (Light Colour)
- RC-03 Masonry Render (Ribbed Light Colour)
- GL-01 Clear Glazing
- LV-01 Paint Screen Dark Metal Louvre
- TS-01 Timber Larch Cladding
- TC-01 Ceramic Cladding (Warm Tan Colour)
- TPC-01 Textured Masonry Cladding
- DM-01 Dark Metal Balustrade
- BAL-01 Textured Masonry (To Match TPC-01)
- BAL-02 Clear Glass with Dark Metal Frame
- BAL-04 Concrete Sill / Clear Glass Front

14/02/21	TOWN PLANNING	A1	05
08/11/21	TOWN PLANNING	A1	05
Rev	Description	Issue	Checked

RSR
Riverside Boulevard

Elevations
Elevations Central North - South

Sheet	TOWN PLANNING	A1	05
Scale	1:250 @ A1	1:500 @ A3	
Discipline	PG	Checked	AA
Project No.	M12380		
Print Date	14/02/2023 @ 10:00 PM		
Drawn by	TP09.03	Revision	B

Melbourne: 1 Nicholson Street
Melbourne VIC 3000 Australia
T: 03 9554 0200 F: 03 9554 0200
email: mel@batesmart.com.au
http://www.batesmart.com.au

Sydney: 43 Brisbane Street
Sydney Hills NSW 2010 Australia
T: 02 9554 5100 F: 02 9554 5100
email: syd@batesmart.com.au
http://www.batesmart.com.au

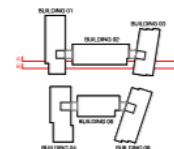
Bates Smart Pty Ltd ABN 70 004 999 400



Attachment 1 - PLN21/0836 & PLN22/0142 - Original Architectural Plans

Check all dimensions and site conditions prior to commencement of any work. The purchaser or holder of any materials, fittings, plant, services or equipment, and the manufacturer of shop drawings and/or the fabricator of any components, shall immediately be referred to the architect for clarification.
 All drawings may not be reproduced or distributed without prior permission from the architect.

KEY PLAN:

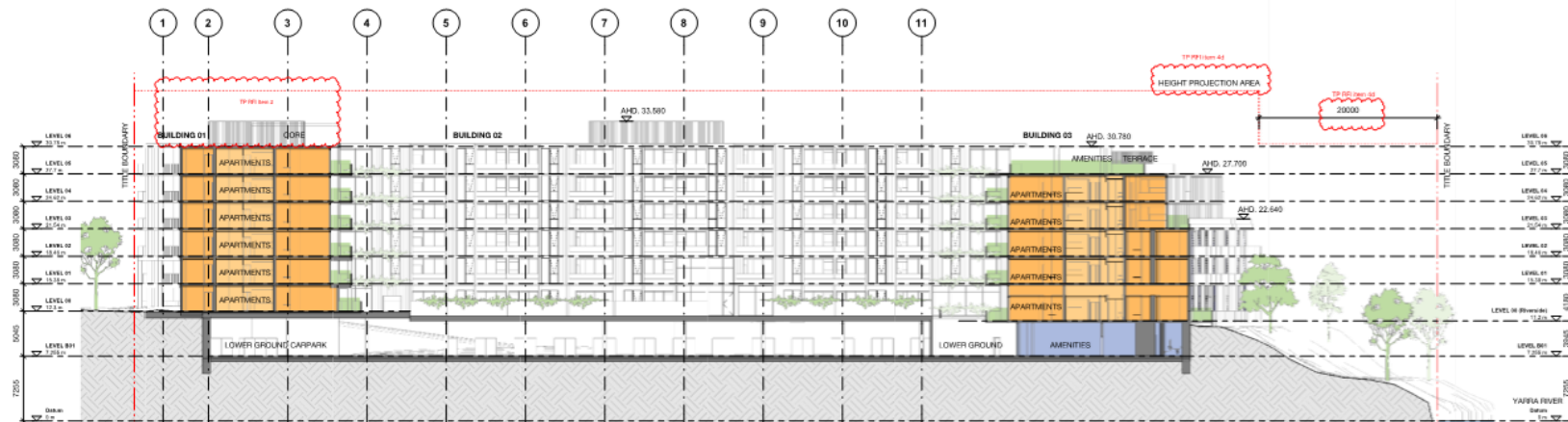


LEGEND - KEY PLAN

- Studio Apartment
- 1 Bedroom Apartment
- 2 Bedroom Apartment
- Resident Amenities
- Resident Balconies & Terraces
- Building Services / Plant
- Title Boundary



A Section BLD1-3
1:250



B Section BLD1-3 (Lightwell)
1:250

14.02.21	TOWN PLANNING	A1	05
08.11.21	TOWN PLANNING	A1	05
08.11.21	TOWN PLANNING	A1	05

RSR
Riverside Boulevard
Building Sections
Sections East - West 1/2/3

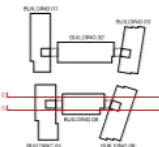
Drawn	TOWN PLANNING	Check	AA
Scale	1:250 @ A1	1:500 @ A3	
Drawn	PG	Checked	AA
Project No.	M12360		
Plot Date	14.02.21 @ 08:16 PM		

Drawing No.	Revision
TP10.00	B
Melbourne: 1 Nicholson Street Melbourne VIC 3000 Australia T 03 9556 6200 F 03 9556 6300 email mel@batesmart.com.au HQ: Newbold Street, Sydney Sydney NSW 2010 Australia T 02 9354 5100 F 02 9354 5100 email syd@batesmart.com.au HQ: Newbold Street, Sydney Sydney NSW 2010 Australia T 02 9354 5100 F 02 9354 5100 email syd@batesmart.com.au HQ: Newbold Street, Sydney Sydney NSW 2010 Australia T 02 9354 5100 F 02 9354 5100 email syd@batesmart.com.au	

Attachment 1 - PLN21/0836 & PLN22/0142 - Original Architectural Plans

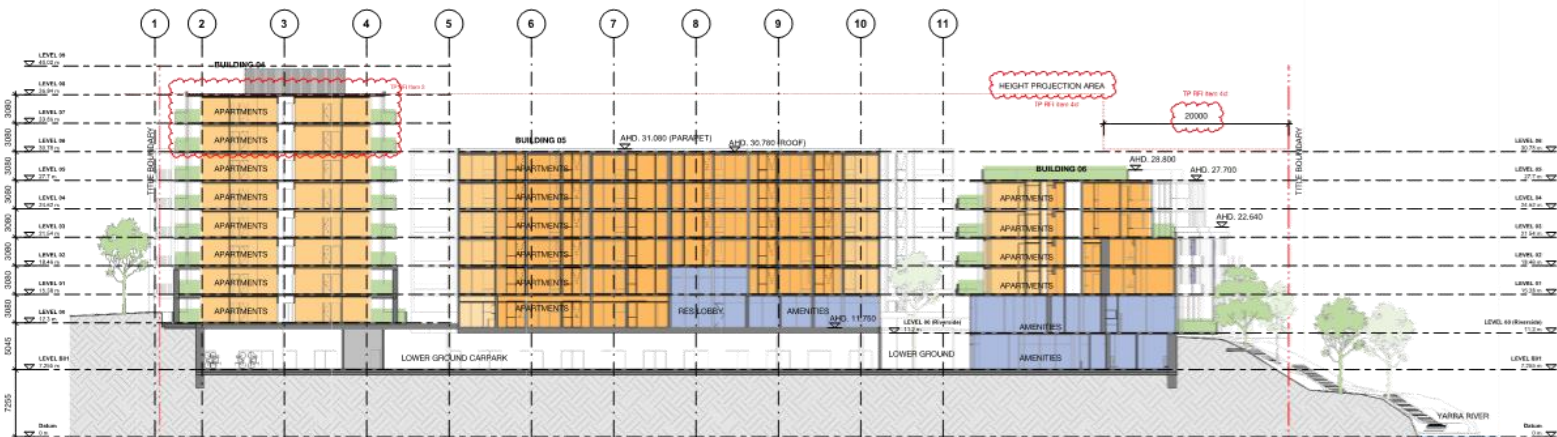
Check all dimensions and site conditions prior to commencement of any work. The purchaser or lessee of any materials, fittings, plant, services or equipment, and the responsibility of shop drawings and/or fabrication of any components. Do not scale drawings - refer to figured dimensions only. Any discrepancy shall immediately be referred to the architect for clarification. All drawings may not be reproduced or distributed without prior permission from the architect.

KEY PLAN:



LEGEND - KEY PLAN

- Studio Apartment
- 1 Bedroom Apartment
- 2 Bedroom Apartment
- Resident Amenities
- Resident Balconies & Terrace
- Building Services / Plant
- Title Boundary



C Section BLD4-6 (Lightwell) 1:250



D Section BLD4-6 1:250

1	14/02/21	TOWN PLANNING	AI	RS
2	08/11/21	TOWN PLANNING	AI	RS
Rev	Date	Description	By	Checked

RSR Riverside Boulevard

Building Sections Sections East - West 4/5/6

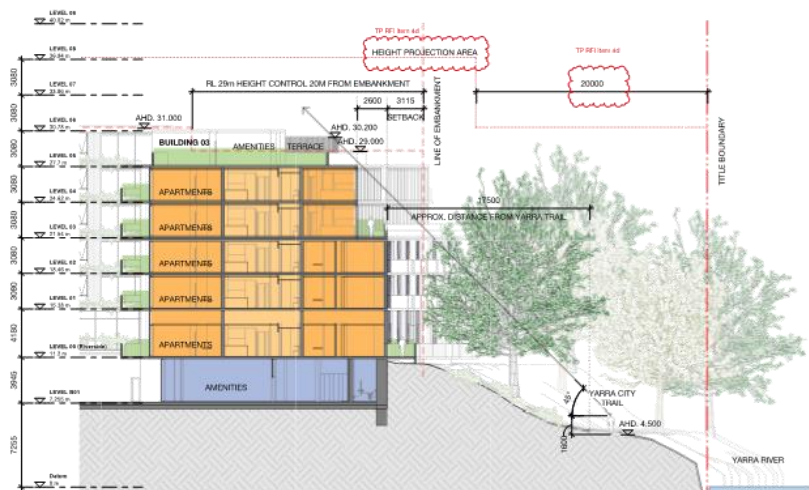
Drawn	TOWN PLANNING
Scale	1:250 @ A1 1:500 @ A3
Discipline	PG Checkmate AA
Project No.	M12360
Plot Date	14/02/22 @ 09:16 PM
BSI	
Drawing No.	Revision
TP10.01	B

Melbourne: 1 Nicholson Street Melbourne VIC 3000 Australia
 T 03 9556 0200 F 03 9556 0202 email mel@batesmart.com.au
 Sydney: 43 Brisbane Street Surry Hills NSW 2010 Australia
 T 02 9254 5100 F 02 9254 5100 email syd@batesmart.com.au
 Hobart: 100 St Johns Street Hobart TAS 7000 Australia
 T 03 6232 4000 F 03 6232 4000 email hob@batesmart.com.au
 Bates Smart Pty Ltd ABN 70 004 999 400

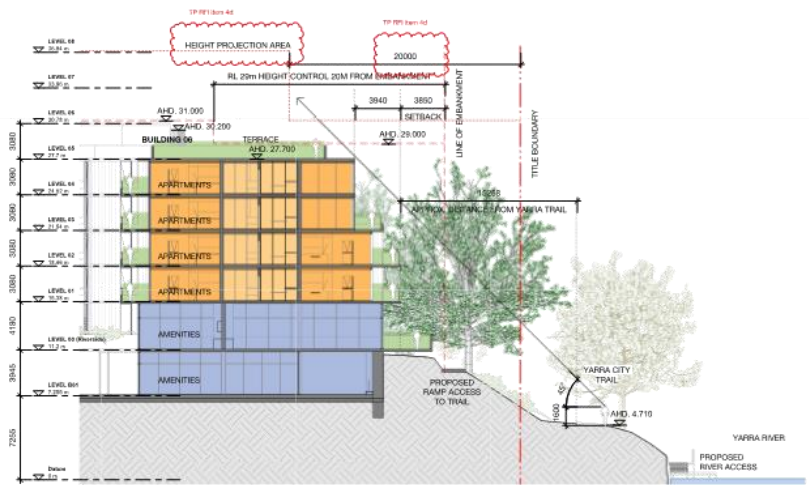
Attachment 1 - PLN21/0836 & PLN22/0142 - Original Architectural Plans



Attachment 1 - PLN21/0836 & PLN22/0142 - Original Architectural Plans



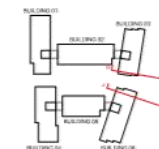
Section Yarra Trail (Bld 3)
1:200



Section Yarra Trail (Bld 6)
1:200

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment, and the commencement of shop drawings and/or the fabrication of any components.
Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from the architect.

KEY PLAN:



LEGEND - KEY PLAN

- Studio Apartment
- 1 Bedroom Apartment
- 2 Bedroom Apartment
- Resident Amenities
- Resident Balconies & Terrace
- Building Services / Plant
- Title Boundary

1	N 43 21' CORN PLANNING	A1	05
2	08 31 31 YARRA PLANNING	A2	06
Rev	Desc	Issued	Checked

RSR
Riverside Boulevard

Building Sections
Capital City Trail Sections

Disc	TOWN PLANNING		
Scale	1:200 @ A1	1:400 @ A3	
Disc	PS	Checked	AA
Project No.	M12380		
Proj Date	14/03/22 @ 10:02 PM		
Rev			
Drawing no.	Revision		
TP10.10	B		

Melbourne: 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 9554 0200 F 03 9554 0200
email mel@batesmart.com.au
http://www.batesmart.com.au

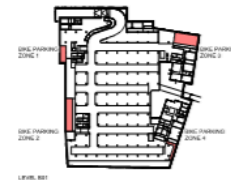
Sydney: 43 Brisbane Street
Surry Hills NSW 2010 Australia
T 02 9554 5100 F 02 9554 5100
email syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 054 999 405

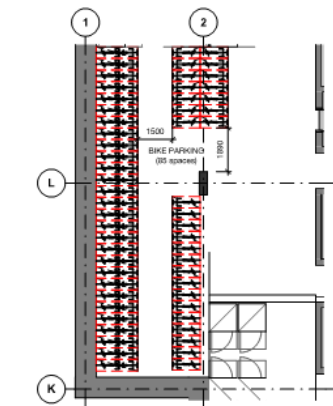


Attachment 1 - PLN21/0836 & PLN22/0142 - Original Architectural Plans

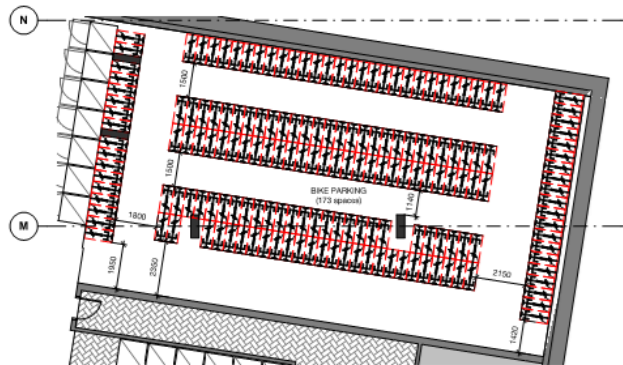
Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and/or the fabrication of any components.
Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from the architect.



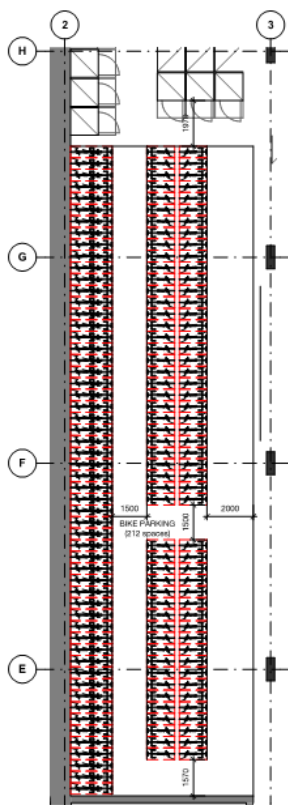
LF161_001



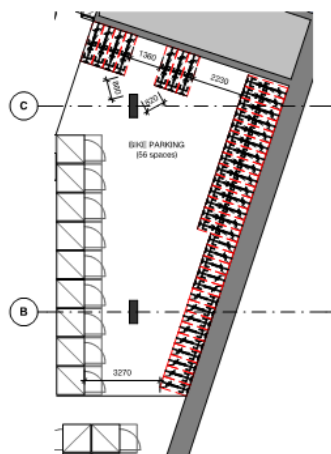
1 Bike Parking Zone 1
1:100



3 Bike Parking Zone 3
1:100

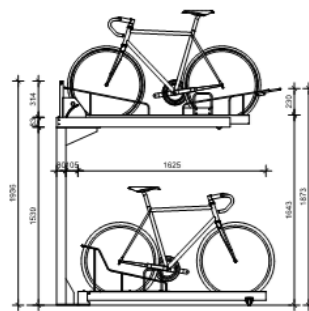


2 Bike Parking Zone 2
1:100

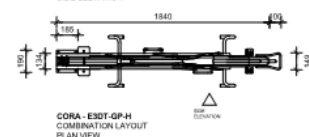


4 Bike Parking Zone 4
1:100

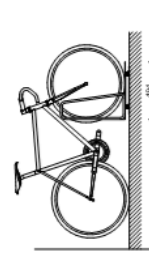
Bike Parking Zone 1:	85 spaces
Bike Parking Zone 2:	212 spaces
Bike Parking Zone 3:	173 spaces
Bike Parking Zone 4:	56 spaces
Total Bike Parking:	526 spaces



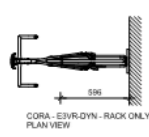
CORA - E3DT-GPH COMBINATION LAYOUT SIDE ELEVATION



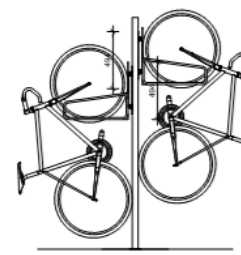
CORA - E3DT-GPH COMBINATION LAYOUT PLAN VIEW



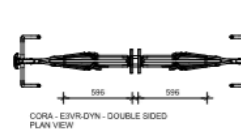
CORA - E3VR-DYN - RACK ONLY SIDE ELEVATION



CORA - E3VR-DYN - RACK ONLY PLAN VIEW



CORA - E3VR-DYN - DOUBLE SIDED SIDE ELEVATION



CORA - E3VR-DYN - DOUBLE SIDED PLAN VIEW

A	14 02 21	TOWNS PLANNING	61	66
Rev	DATE	DESCRIPTION	BY	CHECKED

RSR
Riverside Boulevard

Bike Parking

Drawn: TOWN PLANNING
Scale: As indicated/A1
Drawn: Author
Project No: M12380
Plot Date: 14/02/2023 2:08:14 PM

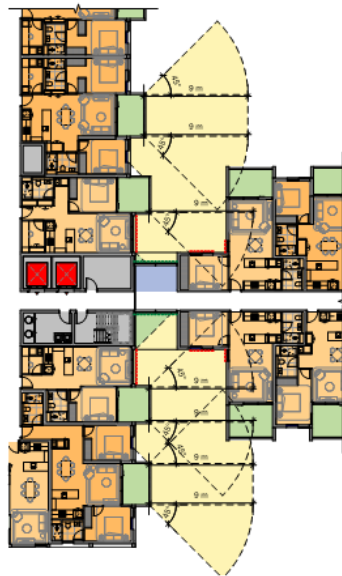
TP-RFI_3b A

Melbourne: 1 Nicholson Street
Melbourne VIC 3000 Australia
T: 03 9556 5200 F: 03 9556 4300
email: mel@batesmart.com.au
http://www.batesmart.com.au

Sydney: 43 Brisbane Street
Surry Hills NSW 2010 Australia
T: 02 9554 5100 F: 02 9554 5100
email: syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 004 999 400

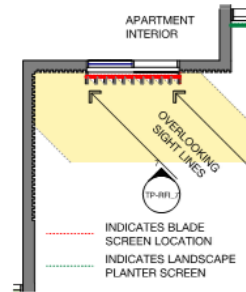
Attachment 1 - PLN21/0836 & PLN22/0142 - Original Architectural Plans



1 Buildings 01-02 Overlooking Plan
Plan 1:200



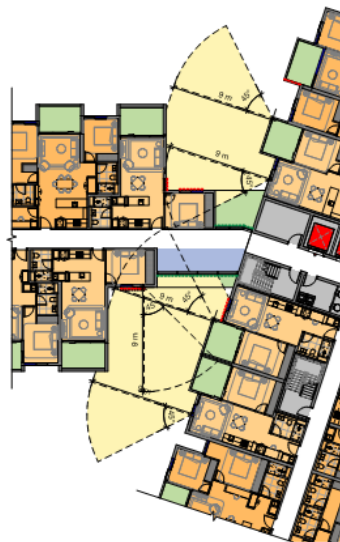
2 Buildings 02-03 Overlooking Plan
Plan 1:200



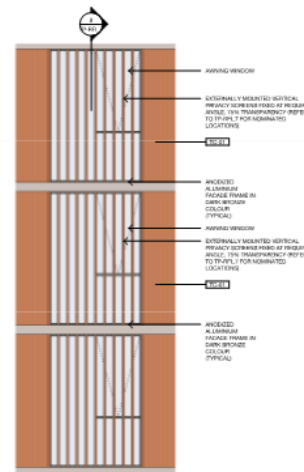
5 TYPICAL OVERLOOKING PLAN
1:50



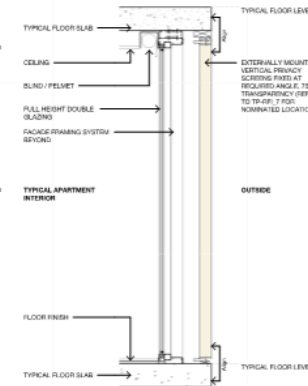
3 Buildings 04-05 Overlooking Plan
Plan 1:200



4 Buildings 05-06 Overlooking Plan
Plan 1:200



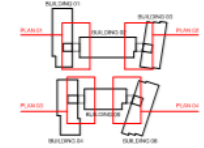
7 Elevation - Overlooking
1:50



8 TYPICAL PRIVACY SCREEN SECTION
1:20

Check all dimensions and site conditions prior to commencement of any work. The purchaser or employer of any materials, fittings, plant, services or equipment and the manufacturer of shop drawings and/or the fabricator of any components. Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification. All drawings may not be reproduced or distributed without prior permission from the architect.

KEY PLAN:



A 14.80 BY TOWER BLVD (RIVER) 61 66
Riv 66th Occasion Riv Occasion

RSR
Riverside Boulevard

Diagrams
Overlooking Analysis



State	TOWN PLANNING
Scale	1:200 @ A1 1:400 @ A3
Drawn	PG Checked AA
Project No.	M12380
Plot Date	14/03/2018 10:16 PM
Rev	
Drawing no.	Revision
TP-RFI 7	A

Melbourne: 1 Nicholson Street Melbourne VIC 3000 Australia
T 03 9556 5200 F 03 9556 6300
email mel@batesmart.com.au
http://www.batesmart.com.au

Sydney: 43 Brisbane Street Surry Hills NSW 2010 Australia
T 02 9254 5100 F 02 9254 5100
email syd@batesmart.com.au
http://www.batesmart.com.au

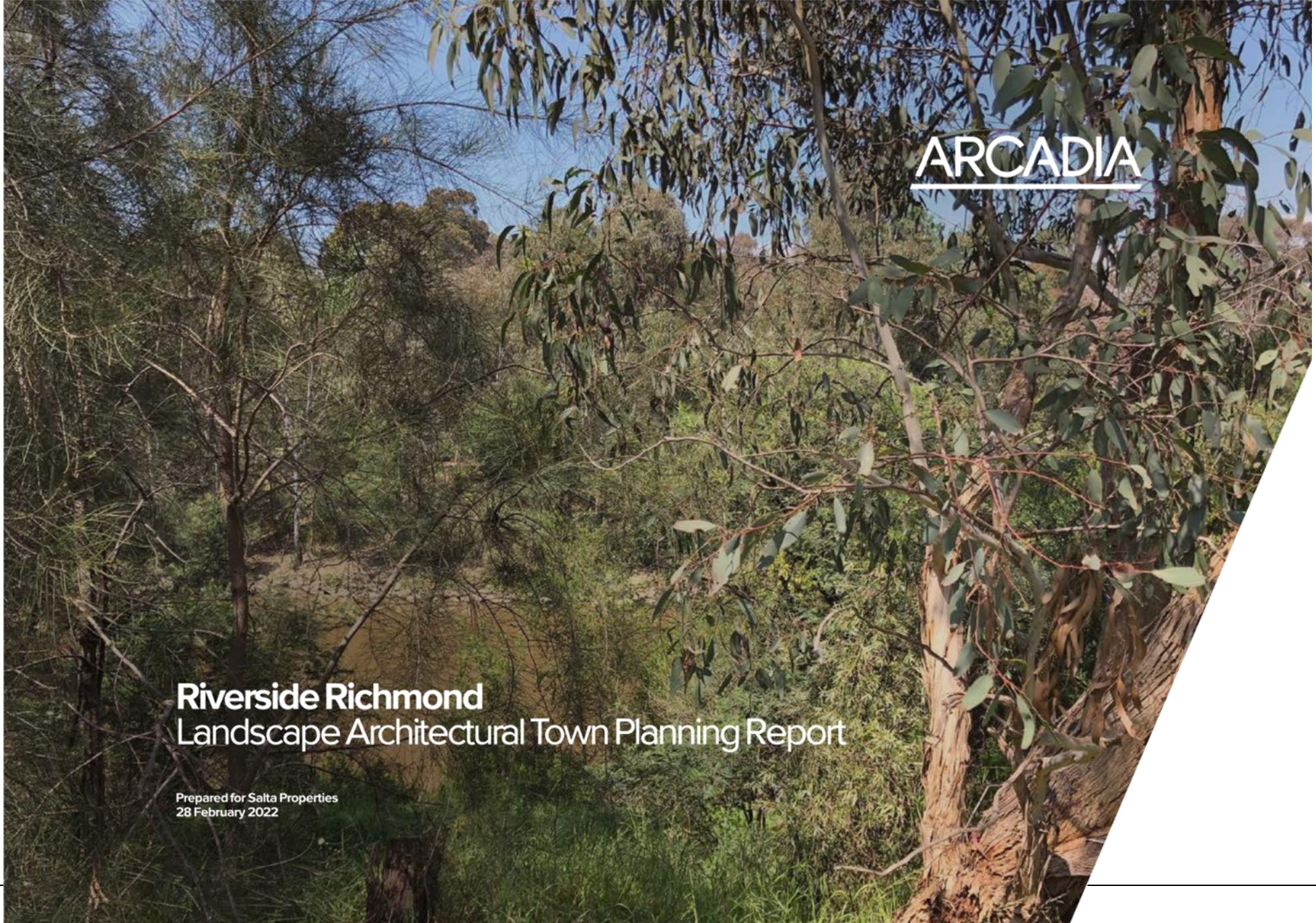
Bates Smart Pty Ltd ABN 70 004 999 400

Attachment 2 - PLN21/0836 - Original Landscape Plans

ARCADIA

**Riverside Richmond
Landscape Architectural Town Planning Report**

Prepared for Salta Properties
28 February 2022



Attachment 2 - PLN21/0836 - Original Landscape Plans

ARCADIA

Issue B
Date 28/02/2022
Prepared By
Nelson Gomes, Principal

Arcadia Melbourne
Level 3, 107 Elizabeth Street
Melbourne VIC 3000
P 03 9491 7300
E melbourne@arcadiala.com.au
arcadiala.com.au
@arcadialandarch
Arcadia Landscape Architecture Pty Ltd
ABN 83 148 994 870

We respectfully acknowledge the Traditional Custodians of the lands where we live and work. We acknowledge their unique ability to care for Country and deep spiritual connection to it. We honour Elders past, present and emerging whose knowledge and wisdom has and will ensure the continuation of cultures and traditional practices.

Attachment 2 - PLN21/0836 - Original Landscape Plans

Table of Contents

01	02	03	04	05
	Site Context and Appreciation	Vision	Landscape Concept	Landscape Diagrams
	Local Context 06	Project Vision 15	Ground Level 20	Tree Retention and Removal Plan 42
	Broader Context 07	Design Pillars 16	Lower Ground Level 31	Tree Retention and Removal Schedule 44
	Strategic Ambitions 08	Landscape Narrative 17	Level 5 & 6 Rooftops 35	Proposed Tree Diagram 46
	Connection to Wurundjeri Woi Wurrung Country 10			Proposed Planting Plan 48
	Wurundjeri Culture & Heritage 11			Proposed Plant Schedule 50
	Historical Timeline 12			Proposed Plant Palette 52
	Site Analysis 13			Canopy Coverage 55
	Key Views 14			Private, Public and Communal Spaces 56
				Universal Access / Path Network 58
				Fencing 59
				Wayfinding 60
				Materials Palette 61
				Water Feature 62
				Landscape Maintenance 63
				Typical Landscape Details 64

Note: Clouded content has been revised for RFI Revision issue B 14/02/2022.

Attachment 2 - PLN21/0836 - Original Landscape Plans

Introduction

Arcadia Landscape Architecture has been engaged by Salta Properties to prepare this Landscape Architectural Concept Report to support the Town Planning Application of the proposed residential development located along River Boulevard, Richmond.

This Town Planning Report presents the landscape architectural vision and design strategy for the development, comprising of communal and public spaces across multiple levels, and interface with the adjacent Yarra River corridor.



Attachment 2 - PLN21/0836 - Original Landscape Plans



Attachment 2 - PLN21/0836 - Original Landscape Plans

Site Context and Appreciation

Local Context

The development site is located along River Boulevard, in the north east corner of Richmond and is bounded between undeveloped vacant lots of the Victoria Gardens Precinct to the west, existing residential apartment blocks to the north, Annette's Place Playground and open park to the south and the Yarra River Corridor to the east.

The Yarra River is a significant natural, cultural and recreational corridor within Melbourne and the Yarra River Trail cycle and pedestrian path provides the site connectivity to the north and south. The corridor is densely vegetated with a strong native bushland character.

Annette's Place provides an open park for local residents, containing a playground and picnic amenities.

The broader area is undergoing significant redevelopment, transitioning in built form character from industrial warehouses to residential developments.

The site is located in close proximity to the retail and dining precincts of Victoria Street and Bridge Road, both of which are services by tram lines.

Legend

- 01 Project Site
- 02 Victoria Gardens Shopping Centre
- 03 Yarra River Corridor
- 04 Annette's Place Playground
- 05 Surrounding Medium Density Residential



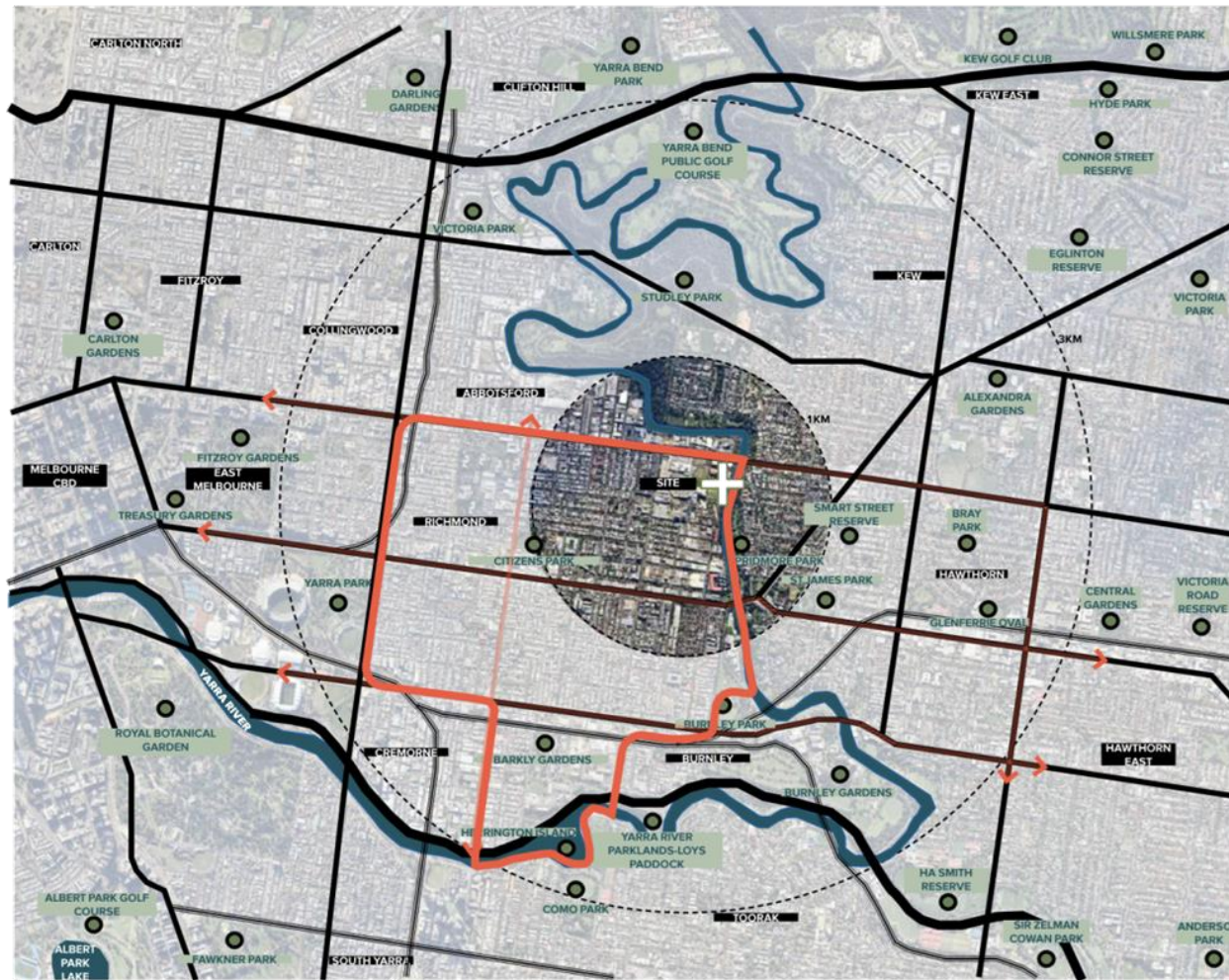
Site Context Map

Attachment 2 - PLN21/0836 - Original Landscape Plans

Site Context and Appreciation
Broader Context

Legend

- Richmond Suburb Extents
- Rail Lines
- Water Body
- ↔ Tram Lines Within 3km of Site
- Freeway
- Primary Roads
- Public Parks / Garden Reserves



Broader Context Map

Attachment 2 - PLN21/0836 - Original Landscape Plans

Site Context and Appreciation Strategic Ambitions

The following strategic documents provide directions and guidance for the design considerations of Riverside Residential:

Plan Melbourne 2030

The Plan recognises the need to continue to protect Melbourne's open space waterway corridors from inappropriate development to ensure that these significant values provided to Melbourne and its residents are maintained and enhanced over time. (Initiatives 4.2.4, 5.2.2 and 5.6.2).

City of Yarra Nature Strategy 2020 - 2024

Yarra's Nature Strategy 2020 to 2024 was developed to protect our unique biodiversity. The Nature strategy action plan has four strategic goals, each with its own key actions.

- Goal 1: Increase the diversity, connectivity and resilience of Yarra's natural environment
- Goal 2: Encourage people to appreciate and actively enhance Yarra's natural landscape
- Goal 3: Embed nature at the core of Yarra's business practices
- Goal 4: Make innovation, communication and collaboration the cornerstones of Yarra's nature-focused programs

City of Yarra Urban Forest Strategy 2017

The aim of the Urban Forest Strategy is to provide establish the vision, objectives and action plan for Yarra City Council's urban forest. Relative to this project, Yarra has established a target to increase canopy coverage by 25% from 2014 levels by 2040.

Lower Yarra River Corridor Study Recommendations Report November 2016

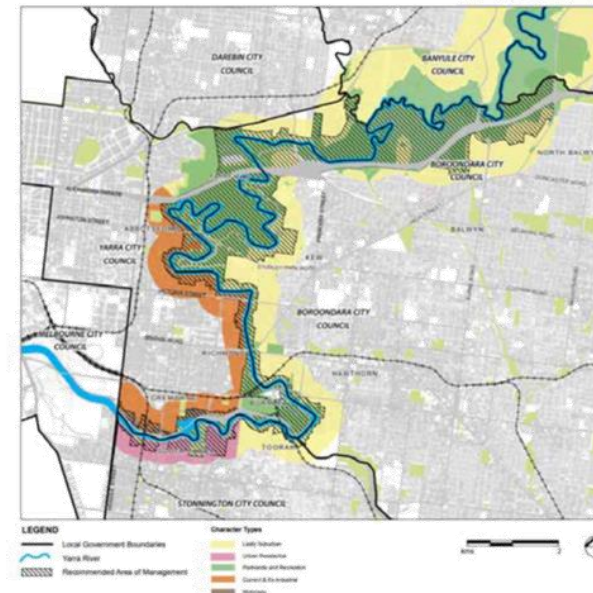
This report outlines the significance of the Yarra River through the following statement:

"The Yarra River and the landscape through which it passes have metropolitan significance as an environmental, aesthetic, cultural, recreation and tourism asset. The river corridor links parklands and reserves into a near-continuous vegetated landscape experience that provides a highly valued, secluded, natural environment, enjoyed by local and metropolitan communities."

Landscape character and amenity is categorised along the river into 5 main river interface character types. The Riverside Residential site falls within the 'Current and Ex-Industrial' River Interface Character Area. Key features of the Current and Ex-Industrial river interface character type include:

- Established industrial, commercial and residential buildings, mostly located on the crestline of the Yarra River corridor.
- Mature trees and understorey planting along the river banks in many locations which contribute to a vegetated character and compliment Yarra Bend Park on the opposite banks.
- Mix of building styles, scales and heights, including many higher scale buildings constructed close to the river's edge.
- Land rising steeply from the river's edge to flat topography beyond.

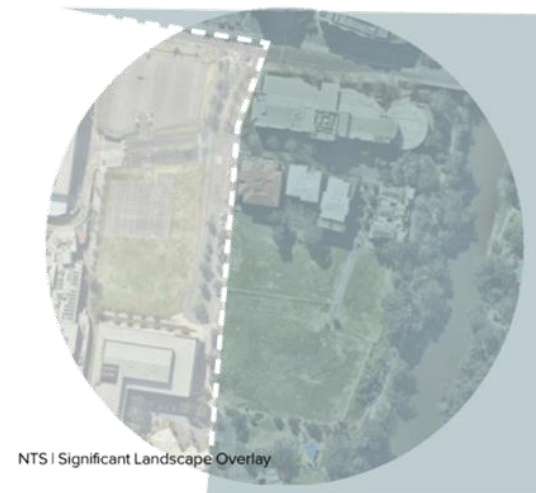
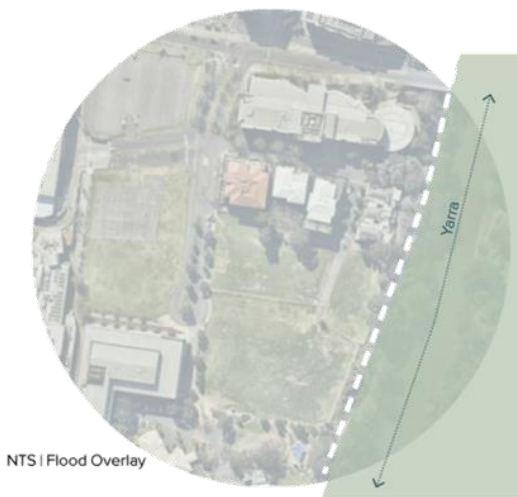
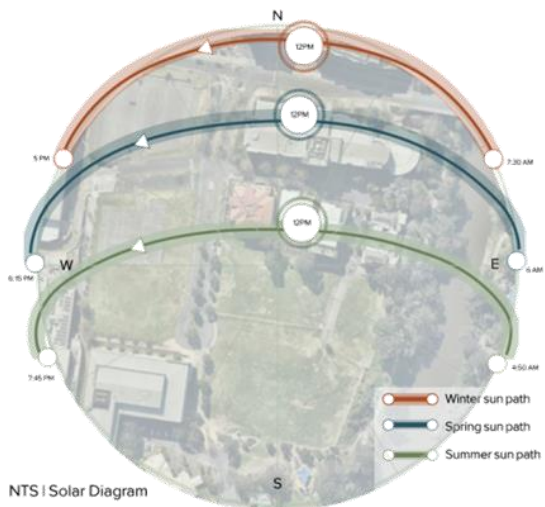
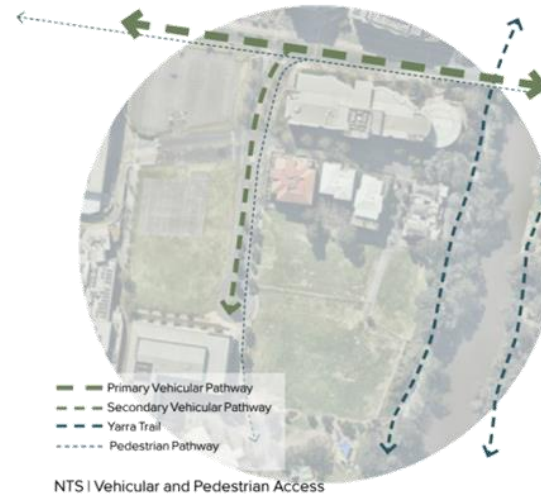
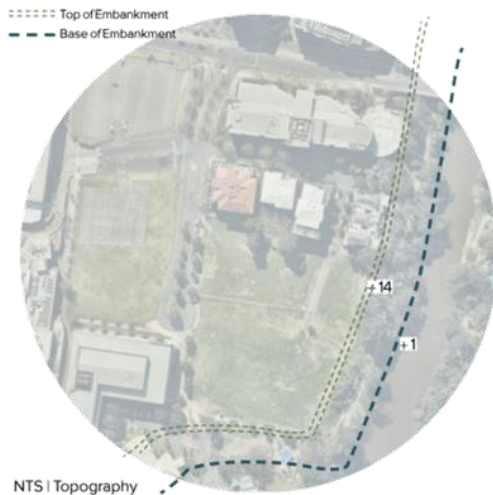
- Capital City Trail providing access along the river's edge, with a mix of public and private access to the river.
- Examples of significant human alterations to the river bank environment where large retaining walls have been constructed. In several locations there is a notable absence of vegetation at the river frontage.



Attachment 2 - PLN21/0836 - Original Landscape Plans

Site Context and Appreciation Environment

Site analysis has been undertaken and considered in the design development of Riverside Richmond landscape proposal.



Attachment 2 - PLN21/0836 - Original Landscape Plans

Site Context and Appreciation Connection to Wurundjeri Woi Wurrung Country

Wominjeka yearmann koondee biik Wurundjeri balluk

Welcome to the land of the Wurundjeri people (Woi-Wurrung language).

*Woiwurrungbaluk ba Birrarung wanganyinu biikpil Yarrayrapil, manyi biik ba Birrarung, ganbu marram-nganyinu
Manyi Birrarung murrondjak, durrung ba murrup warrongguny, ngargunin twarnpil
Birrarungwa nhanbu wilamnganyinu
Nhanbu ngarn ganhanganyinu manyi Birrarung
Bunjil munggangy biik, wurru-wurru, warriny ba yaluk, ba ngargunin twarn
Biiku kuliny munggangy Bunjil
Waa marrnakith-nganyin
Balliyang, barnumbinyu Bundjilal, banyu bagurk munggangy
Ngarn gunganyinu nhanbu nyilam biik, nyilam kuliny – balit biik, balit kuliny:
balitmanhanganyin manyi biik ba Birrarung.
Balitmanhanganyin durrungu ba murrupu, ba nhanbu murrondjak!*

We, the Woi-wurrung, the First People, and the Birrarung, belong to this Country. This Country, and the Birrarung are part of us. The Birrarung is alive, has a heart, a spirit and is part of our Dreaming. We have lived with and known the Birrarung since the beginning. We will always know the Birrarung. Bunjil, the great Eagle, the creator spirit, made the land, the sky, the sea, the rivers, flora and fauna, the lore. He made Kulin from the earth. Bunjil gave Waa, the crow, the responsibility of Protector. Bunjil's brother, Palliyang, the Bat, created Bagarook, women, from the water. Since our beginning, it has been known that we have an obligation to keep the Birrarung alive and healthy—for all generations to come

- Statement by the Wurundjeri Council,
Woi wurrung preamble to the Wilip gin Birrarung Murron Act, 2017

Significance of the Birrarung

The **Traditional Owners** of the lands that we now know as the City of Yarra are the **Wurundjeri Woi Wurrung People** of the **Kulin Nation**.

Indivisible from the **Birrarung** - or the **River of Mists**, what we now call the Yarra River - the Wurundjeri People have cared for these lands using complex eco-cultural systems since time immemorial.

Far from gone, the Wurundjeri People continue to practice traditional lore and assert their connections to these lands. Additionally, Yarra City and indeed greater Melbourne, is home to a **rich and diverse Indigenous community** who practice **culture and connection** in contemporary settings.

Wurundjeri Today

Despite British colonisation and various assimilation policies, the Wurundjeri's connections to Country and kin remain strong - with the Wurundjeri an active community today, continuing to practice traditional culture, ceremony and knowledge-keeping.

Key to guiding and maintaining these practices is the Wurundjeri Tribe Land and Compensation Cultural Heritage Council, an organisation established in 1985, which continues to advocate for Wurundjeri people and Country today.

Engaging Wurundjeri Council in a collaborative process of design will help to continue to perpetuate Wurundjeri knowledge keeping and cultural practice, as well as work to strengthen relationships between development agencies, community and Council.

Though all Wurundjeri land is **sacred**, there are many sites of **cultural significance** throughout Yarra City, with some being within close proximity to our site - including the **Wurundjeri Tribe and Heritage Council Building**, the **Aboriginal Protectorate at Merri Creek**, the **burial site of Billibellary**, and the contemporary artwork '**Strata of Memory**' at **Victoria Park**.

Attachment 2 - PLN21/0836 - Original Landscape Plans

Site Context and Appreciation Wurundjeri Culture & Heritage

Life on the Birrarung

The Wurundjeri People's connection to the land extends back to time immemorial when the **creator spirit Bunjil** formed all Country and everything within it. For thousands of years, the Wurundjeri cared for Country using **traditional ecological knowledge** based in intricate understandings of ecological systems and biodiversity.

The Wurundjeri knew their land in great detail, including the seasonal times to visit and associated availability of food. During **cooler months**, the Wurundjeri People moved to **higher areas** as the colder months brought **flooding** of the Birrarung. During **warmer seasons**, the Wurundjeri travelled frequently to **harvest yam crops** and take advantage of seasonal **hunting** and **fishing** spots. During the season we now know as autumn and late summer, the Wurundjeri would **camp** by the Birrarung visiting **eeling sites**.

Clan boundaries are defined by features of Country, with the different clans of the Kulin nation regularly interacting for political diplomacy, trade, ceremony, dispute resolution and punishment, harvest and marriages. During seasonal events, clan groups would gather for **corroboree**, with **storytelling** and **performance** being a large focus of gatherings. (*Aboriginal History of Yarra 2020*)

As captured in the above statement by the Wurundjeri Council, the Wurundjeri People's identity and culture is indivisible from Country and all that features within - including the rivers, landforms, vegetation and animals. In this sense, **Country is kin**, a living breathing entity with agency, a past, present and future.

The colonisation of Australia and therefore Wurundjeri Country deeply impacts the ability for many First Nations people including the Wurundjeri People to maintain practice of traditional lore.

Indigenous Design Strategy

An evocative, bountiful land with a rich history, developing a design strategy that incorporates First Nations knowledge, culture and practice will work to facilitate a healthy and vibrant community that is connected to the beautiful Country that supports them.

Building upon existing ties with local First Nations organisations, Arcadia's approach is to develop an Indigenous design strategy that works to inform our approach to placemaking, art and interpretation, planting, spatial programming and material selection.

Through a reconciliatory process of collaborative design, it is our position that an Indigenous design strategy offers the following:

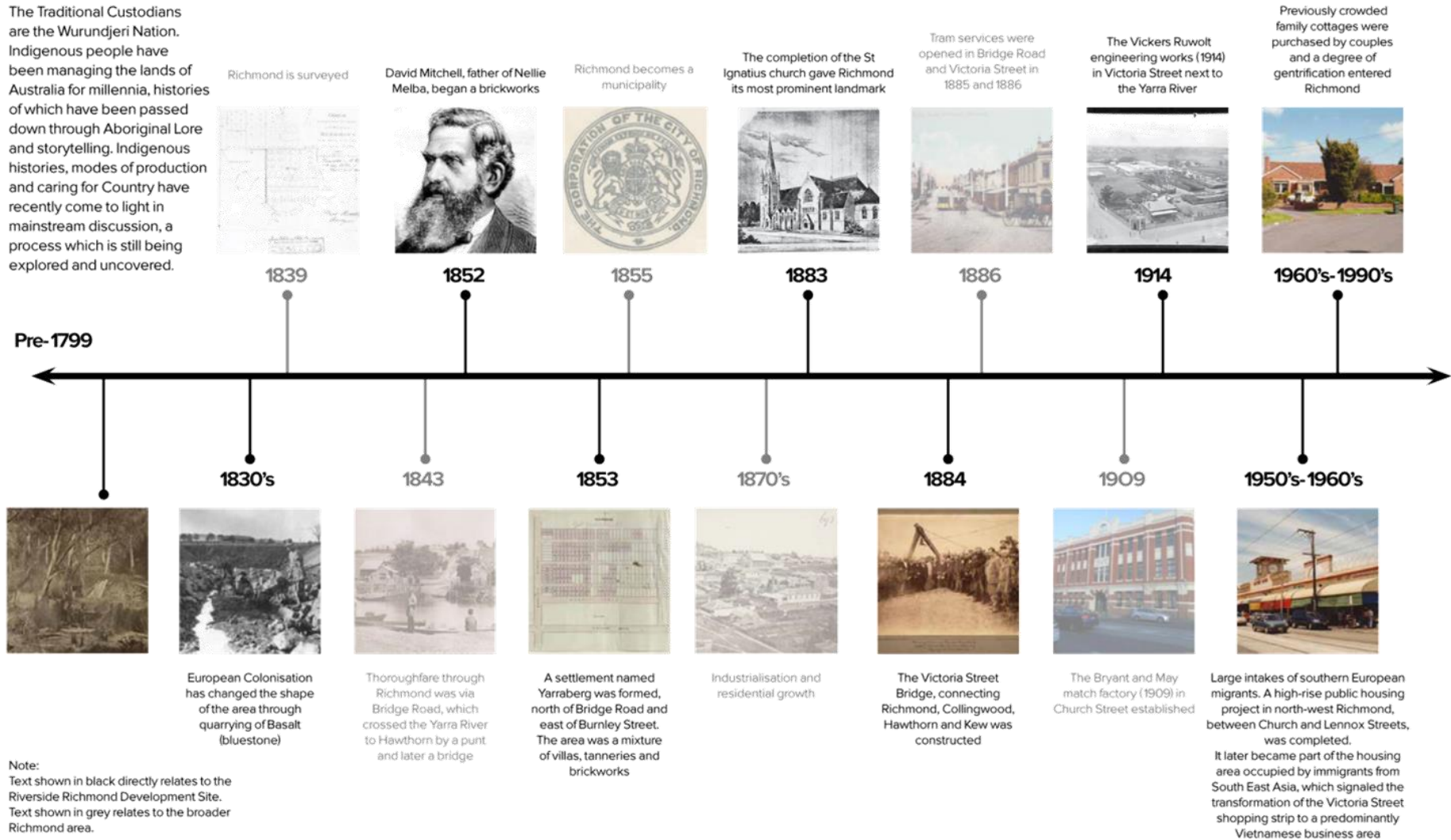
- Authentic **placemaking**
- Insight into **ecological systems**
- Place-appropriate planting design
- Facilitates **cultural exchange and education**
- Supports **community health** and **biophilic connections**
- Reveals opportunities for land management partnerships
- Cares for Country
- Respects first peoples through reconciliatory processes
- Creates unique neighbourhoods and facilitates civic stewardship



Attachment 2 - PLN21/0836 - Original Landscape Plans

Site Context and Appreciation
Historical Timeline

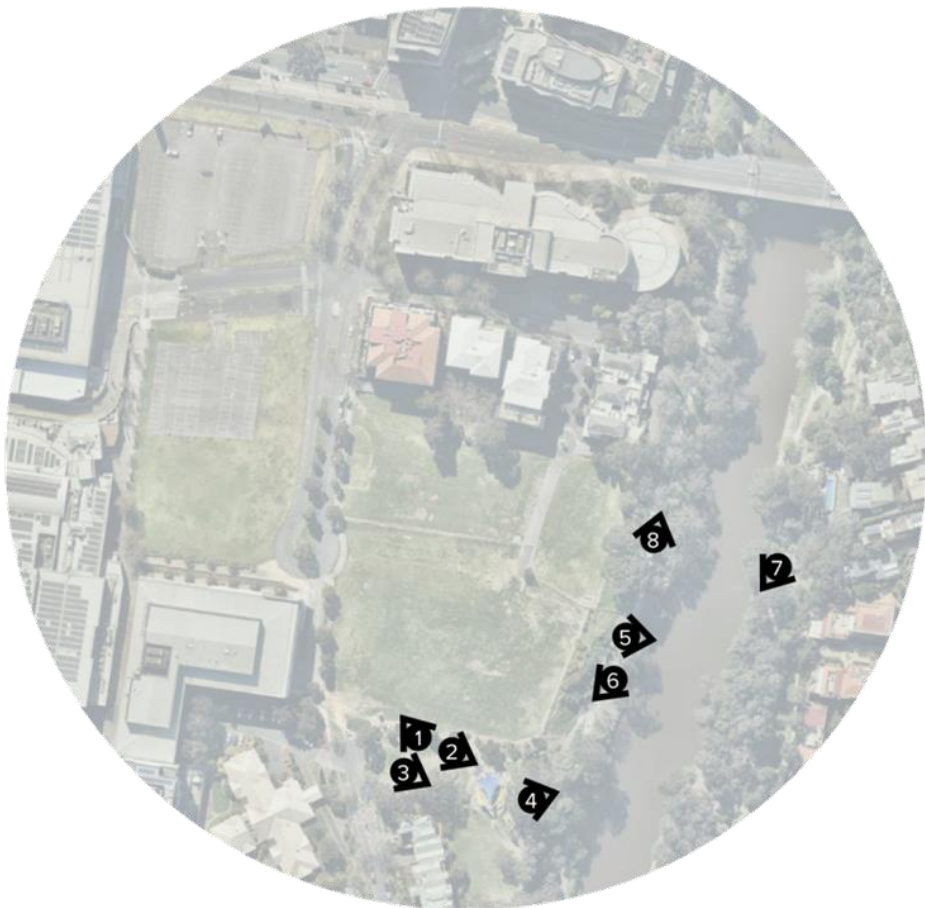
The Traditional Custodians are the Wurundjeri Nation. Indigenous people have been managing the lands of Australia for millennia, histories of which have been passed down through Aboriginal Lore and storytelling. Indigenous histories, modes of production and caring for Country have recently come to light in mainstream discussion, a process which is still being explored and uncovered.



Note:
Text shown in black directly relates to the Riverside Richmond Development Site.
Text shown in grey relates to the broader Richmond area.

Attachment 2 - PLN21/0836 - Original Landscape Plans

Site Analysis Key Views



Attachment 2 - PLN21/0836 - Original Landscape Plans



Attachment 2 - PLN21/0836 - Original Landscape Plans

Vision
Project Vision

The Riverside development will create a unique build to rent offering for Victoria Gardens, supported by outdoor spaces that create social engagement and a true sense of community for its residents. These spaces will create an attractive lifestyle opportunity, hosting diverse amenities, events and experiences, all within the naturalistic setting of the Yarra River corridor.

Attachment 2 - PLN21/0836 - Original Landscape Plans

Vision Design Pillars



Embracing to River Landscape

Celebrate the landscape of the Birrarung river corridor by extending it throughout the development to provide a unique natural character



Water Connection

Reference the cultural and natural value of the Birrarung through the use of a water line feature that references the river journey from natural to urban settings.



Connectivity

Establish a generous thoroughfare through the heart of the precinct that connects the public between the Birrarung corridor and Victoria Gardens precinct.



A Sense of Belonging

Promote a sense of belonging within the residential community by providing a variety of outdoor spaces for socialising and passive and recreational pursuits.






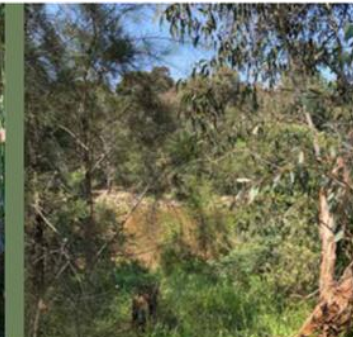


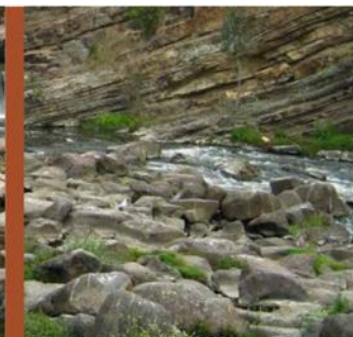


Providing a Serene Retreat

Create calm and peaceful spaces of retreat embraced by the vegetated character and outlook of the river corridor.

Attachment 2 - PLN21/0836 - Original Landscape Plans

Vision Landscape Narrative

<p>Water The River Line</p>				<p>Express the site's relationship with the river through the creation of the River Line, a meandering water feature that connects people to the corridor and references the river's transition from naturalistic watercourse to urban one</p>
<p>Vegetation Vegetation of the River</p>				<p>Extension of the existing vegetative character of the river corridor to embrace and integrate the development within its setting</p>
<p>Geology Geology of the River</p>				<p>Reference the river's geology and strata layering through pavement expression of the River Line</p>

Attachment 2 - PLN21/0836 - Original Landscape Plans



4. Landscape Concept

Attachment 2 - PLN21/0836 - Original Landscape Plans



Attachment 2 - PLN21/0836 - Original Landscape Plans

**Ground Level
Overall Plan**

The Ground Level landscape concept seeks to provide a variety of amenity spaces for residents and the broader public, all within a strongly vegetated landscape setting that embraces the Yarra River corridor.

Communal spaces for residents include the Northern Lawn and Southern Lagoon, while the Central Plaza is a publicly accessible open space for the community. The plaza is located along the pedestrian connection between River Boulevard and the Main Yarra Trail that runs through the heart of the development.

Legend

- 1 Northern Pocket Park
- 2 Northern Lawn Communal Space
- 3 Porte Cochere Shared Space
- 4 Central Plaza Public Space
- 5 River Embankment
- 6 Embankment Steps
- 7 Embankment Ramp
- 8 Southern Lagoon Communal Space



Attachment 2 - PLN21/0836 - Original Landscape Plans

Ground Level
Northern Lawn Plan



Design Intent

The Northern Lawn provides an open communal space for residents with a variety of amenities within a vegetated park setting. Vegetation including groundcovers and canopy trees frame the space, providing a sense of enclosure, and continuing the bushland character of the river corridor.

The central lawn is the predominant element within the space, and provides an open flexible space to be used informally, or be used to host larger gatherings and events by the residential community.

Alfresco dining is provided for the to the west, containing a variety of outdoor dining spaces for groups of all sizes, locates around centrally located barbeques.

To promote physical activity, a half court basketball court that can be used for a variety of informal sports and games, along with table tennis tables are provided.

The eastern area comprises of a series of intimate garden rooms, enclosed spaces with extensive vegetation planting to provide a serene retreat away from the general activity of the lawn. These rooms include smaller socialisation spaces and outdoor working stations.

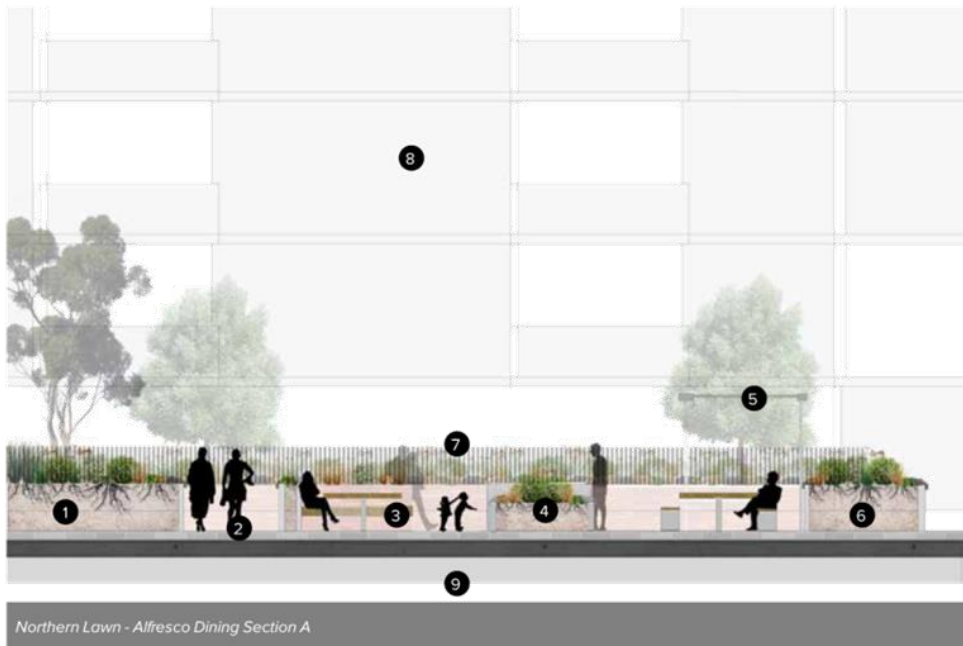
Further to the north of the space is the Northern Pocket Park, a private outdoor space that services the adjacent three residential buildings. The space has been reconfigured to suit the development proposal, and the existing barbeque and picnic amenities along with tree planting are replaced. The park will be accessible by both the existing residents of these buildings and new residents of the development.

Legend

- 1 Northern Pocket Park for existing adjacent residents
- 2 Shelter and picnic tables
- 3 Barbeque for outdoor dining
- 4 Basement car park entrance
- 5 Half court / multi sports court with surrounding fencing
- 6 Table tennis tables for active recreation
- 7 Alfresco area with shelters, table settings and barbeques
- 8 Central lawn
- 9 Outdoor seating pods
- 10 Intimate garden rooms with seating pods
- 11 Raised bar seating overlooking lawn
- 12 Outdoor work stations
- 13 Substation with access driveway
- 14 Ramp and stair connection to Christine Crescent
- 15 Private terraces with raised planters and informal path connections

Attachment 2 - PLN21/0836 - Original Landscape Plans

Ground Level
Northern Lawn Section and Precedents



Legend

- 1 Raised planter to private terrace interface with canopy tree and groundcover planting
- 2 Pedestrian path
- 3 Outdoor dining setting
- 4 Barbeques set into a raised planter
- 5 Shelter above outdoor dining setting
- 6 Raised planter with canopy trees and groundcover planting
- 7 Raised planters and screening fencing to private terraces behind
- 8 Building elevation behind
- 9 Basement car park below



Outdoor working spaces



Outdoor alfresco spaces within a vegetated setting



Half court basketball to promote active recreation

Attachment 2 - PLN21/0836 - Original Landscape Plans

Ground Level Central Plaza Plan

Design Intent

The Central Plaza is the heart of the development proposal, providing a publicly accessible open space that acts as an arrival point for residents and facilitates the connection between the Victoria Gardens Precinct and river corridor.

This connection is provided by a wide pedestrian thoroughfare from River Boulevard along the northern building interface, through the Central Plaza and then transitioning across a bridge over the Lower Ground Level to a series of steps down the river embankment to the Main Yarra Trail.

The planting character of this space is an extension of the river corridor, providing a transition between the urbanity of the Victoria Gardens precinct to the naturalness of the Yarra.

The vegetation is supported by raised planters on structure, of which typically 500mm is provided above pavement level and additional 600-700mm set downs to provide sufficient soil depths to support canopy tree planting, and ornamental displays of native and indigenous vegetation.

The River Line commences within the Central Plaza, as a narrative element referencing the alignment and urban and natural transition of the river as it moves through Melbourne.

The Line commences as a water feature, then as a water rill through the Central Plaza and leading to the bridge and river embankment stairs. Within the heart of the plaza, the line contains a fountain promoting informal play and interaction.

The river line traverse along feature pavement that expresses the alluvial geology of the river corridor and strata composition of expressed rock faces at Dights Falls.

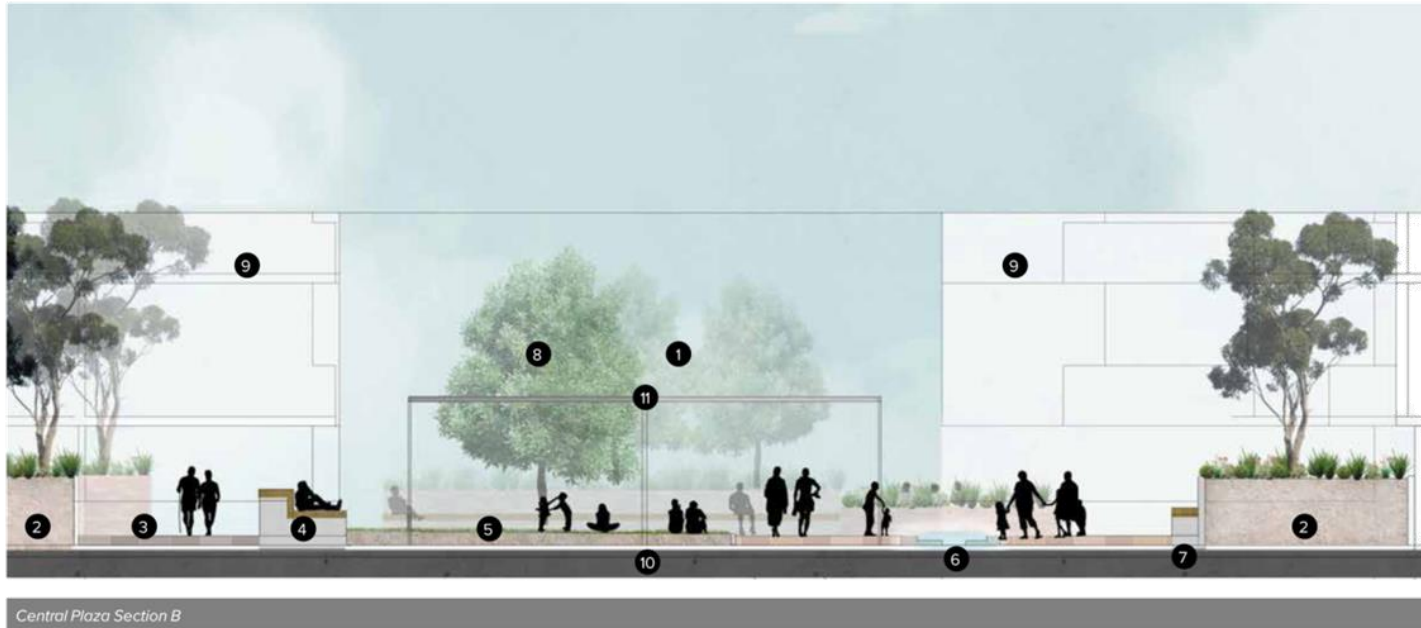
The Central Plaza is framed around the water feature and provides an informal lawn, raised planters and seating edges for socialising and outdoor dining, supported by adjacent cafe. The use of feature eucalypt trees with striking floral colour are used to highlight the space.

The porte cochere provides a flush paved space for vehicles and pedestrians, with tonal variation in the pavement material and line marking used to demarcate its extents, and contains a number of drop off points for vehicles.



Attachment 2 - PLN21/0836 - Original Landscape Plans

Ground Level
Central Plaza Section and Precedents



Legend

- 1 Central Plaza
- 2 Raised planters with trees and groundcover plating
- 3 Pedestrian connection between River Boulevard and the Yarra River
- 4 Timber sun lounge overlooking lawn
- 5 Informal lawn
- 6 River Line water feature with inground jets
- 7 Timber seating
- 8 Feature tree planting
- 9 Building behind
- 10 Basement car park below
- 11 Architectural canopy

Central Plaza Section B



River corridor planting character



Porte cochere shared space for pedestrians and vehicles



River Line water feature with jets



Central Plaza with raised planters and a variety of seating options

Attachment 2 - PLN21/0836 - Original Landscape Plans

Ground Level Southern Lagoon Plan

Design Intent

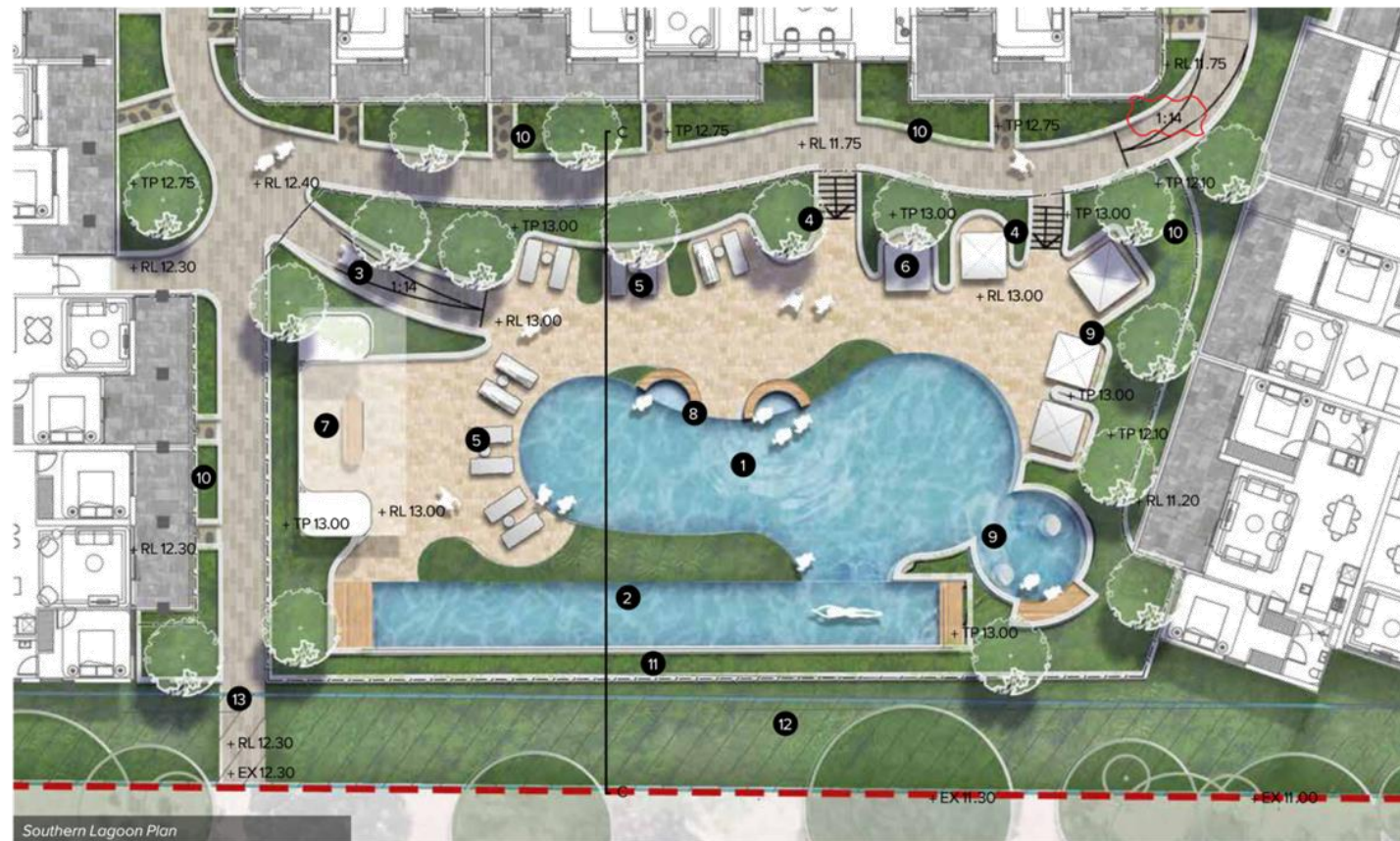
Taking reference from the naturalistic alignment of the Yarra River, the Southern Lagoon space is centered around a curvaceous pool within a heavily vegetated bushland setting.

The heated pool will provide use and enjoyment across not only the summer months, but also the cooler ones by providing spaces for socialising and communal events by the edge of the pool.

The pool itself provides a variety of spaces to interact with the water, including seating lounges set down into the water and a low depth intimate pool zone with swinging lounge pods, creating a relaxing retreat. Adjacent to the south is a 25m two lane lap pool to cater for fitness swimming.

A pavilion building provide amenity spaces for swimming and a multi purpose room that can be used to host events that can then spill onto the adjacent pool concourse.

A path connection is proposed to the western side of the pool area to provide residents direct access to the adjacent Annette's Place dog off leash area and playspace.



Legend

- 1 Lagoon pool
- 2 2 lane lap pool
- 3 DDA compliant access ramp
- 4 Access stairs
- 5 Day beds
- 6 Cabana shelters
- 7 Amenities building
- 8 Seating lounges within pool
- 9 Low depth intimate pool zone with swinging lounge pods
- 10 Raised planters with trees and groundcover planting
- 11 Retaining wall along easement
- 12 Stormwater easement
- 13 Path connection to Annette's Place Park and Playground

Attachment 2 - PLN21/0836 - Original Landscape Plans

Ground Level
Southern Lagoon Section and Precedents



Legend

- 1 Pedestrian path
- 2 Raised planter with canopy tree and groundcover planting
- 3 Glass balustrade
- 4 Sun lounges
- 5 Pool concourse
- 6 Lagoon pool
- 7 Lap pool
- 8 Building behind
- 9 Basement car park below
- 10 Stormwater easement with groundcover planting
- 11 1.8m high palisade fencing
- 12 Existing trees
- 13 Annette's Place Park and Playground

Southern Lagoon Section C



Lagoon shaped pool referencing the Yarra River alignment



River corridor vegetation character



Swinging lounge pods to shallow pool

Attachment 2 - PLN21/0836 - Original Landscape Plans

Ground Level River Boulevard Interface

Design Intent

The landscape response along River Boulevard seeks to continue the strong planted character of the overall development, with visually permeable fencing to provide a positive streetscape presentation.

Legend

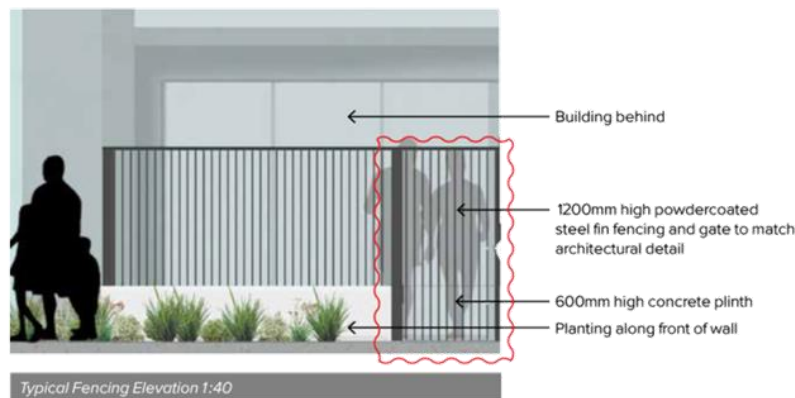
- 1 Private Terraces
- 2 1.8m fencing (0.6m concrete plinth with 1.2m high steel fin fencing)
- 3 Informal paths from private terrace to footpath
- 4 Existing street trees
- 5 Ornamental native garden beds typically 1m high
- 6 Existing footpath



Typical River Boulevard Interface Section D 1:100



Typical Streetscape Plan 1:250



Typical Fencing Elevation 1:40

Attachment 2 - PLN21/0836 - Original Landscape Plans

Ground Level River Embankment Plan



- Legend**
- 1 River connection bridge over Lower Ground Floor
 - 2 River Line water course
 - 3 River Line naturalistic water feature with rocks, concrete blade walls and cascading pools
 - 4 Concrete access stairs between Central Plaza and Yarra River
 - 5 1.8m wide, 1:14 max grade DDA compliant timber boardwalk connecting to the Main Yarra Trail to the south
 - 6 Lookout deck along the timber boardwalk
 - 7 Proposed steps and timber jetty to Yarra River
 - 8 Revegetation of river embankment with indigenous groundcover, shrub and canopy tree species
 - 9 Proposed stormwater easement

Design Intent

The concept for the River Embankment seeks to revegetate the river corridor, strengthening the landscape character and providing pedestrian and cycle connectivity through the development.

This connectivity is provided by a wide staircase that traverses the embankment from Main Yarra Trail and leads to the Central Plaza above. To provide cyclist and DDA accessibility a lightweight timber boardwalk ramp navigates the level transition and integrates with the embankment and extensive proposed planting.

The River Line transitions from the urban, formal arrangement to a more natural one, cascading down the embankment framed into a number of naturalistic pools framed with concrete blade walls and rockwork.

The water used for this feature is potable and will be filtered and reticulated through the entire water feature. Terminating at the base of the stairs along the Main Yarra Trail will highlight the connection through the development to the Victoria Gardens precinct.

The embankment will be revegetated with indigenous and native groundcovers, shrubs and canopy trees contributing to the overall character and environmental values of the river corridor and assisting in integrating the built form into this context.

Attachment 2 - PLN21/0836 - Original Landscape Plans

Ground Level
River Embankment Section and Precedents



River Embankment Section E1

Legend

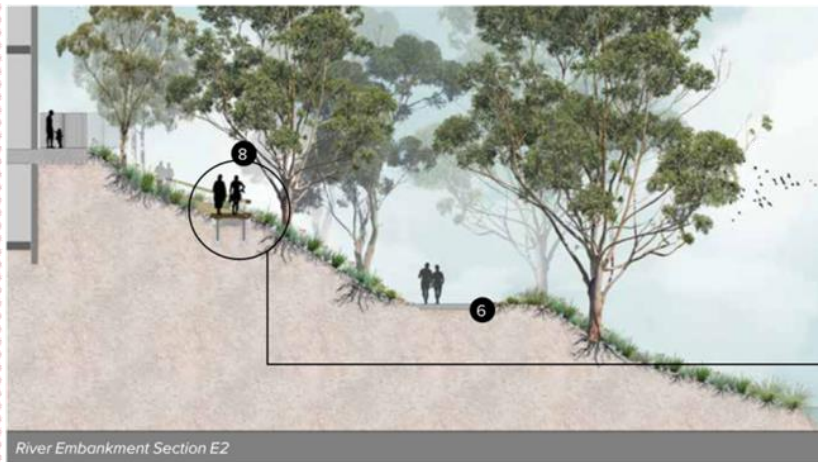
- 1 River connection bridge over Lower Ground Floor
- 2 Lower Ground Courtyard
- 4 Access stairs between Central Plaza and Yarra River
- 5 Existing, proposed trees and revegetated river embankment
- 6 Main Yarra Trail
- 7 Steps and timber jetty to Yarra River
- 8 DDA Compliant Timber Decked Ramp



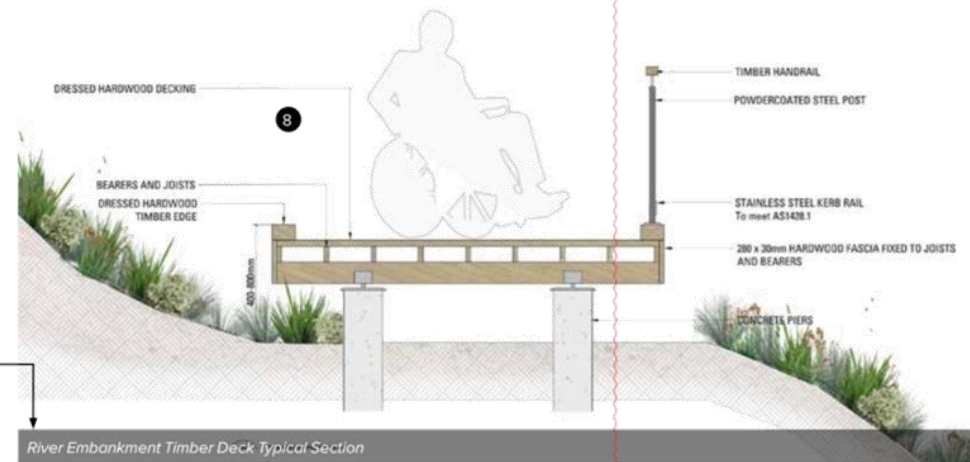
Stair connection up the river embankment



Timber boardwalk through existing vegetation



River Embankment Section E2



River Embankment Timber Deck Typical Section

Attachment 2 - PLN21/0836 - Original Landscape Plans



Attachment 2 - PLN21/0836 - Original Landscape Plans

Lower Ground Level Overall Plan

Lower Ground Level provides a unique, intimate open air space that acts as an outdoor extension of the adjacent communal rooms.

Legend

- 1 Lower Ground Courtyard Fitness Zone
- 2 Lower Ground Courtyard Outdoor Working Zone
- 3 Central Plaza
- 4 River Embankment
- 5 Bridge Over



Lower Level Overall Plan

Attachment 2 - PLN21/0836 - Original Landscape Plans

Lower Ground Level
Courtyard Plan



Design Intent

The Lower Ground Courtyard is a unique space within the development, providing an enclosed retreat for residents.

The northern section is an outdoor fitness zone, extending the health and well being focus of the adjacent building rooms. Soft surfacing will allow for outdoor fitness activities and training, which is supported by fixed outdoor equipment and rock climbing to the adjacent wall face.

The southern areas is an outdoor working space, complementing the adjacent indoor working arrangement. A variety of individual working stations and communal desks are provided, all within a heavily vegetated and serene setting.

This amenity is supported by the River Line element, which will cascade down the adjacent wall from the Central Plaza level above, falling to a small pond and surrounding meditation garden.

The adjacent wall interfacing the basement car park will be vegetated with climbing plants supported on cables and canopy trees into natural soil and structural soils, supporting adjacent pavement will provide sufficient soil volume for tree establishment. This vegetated interface will provide an attractive outlook of the courtyard spaces from the adjacent internal building rooms.

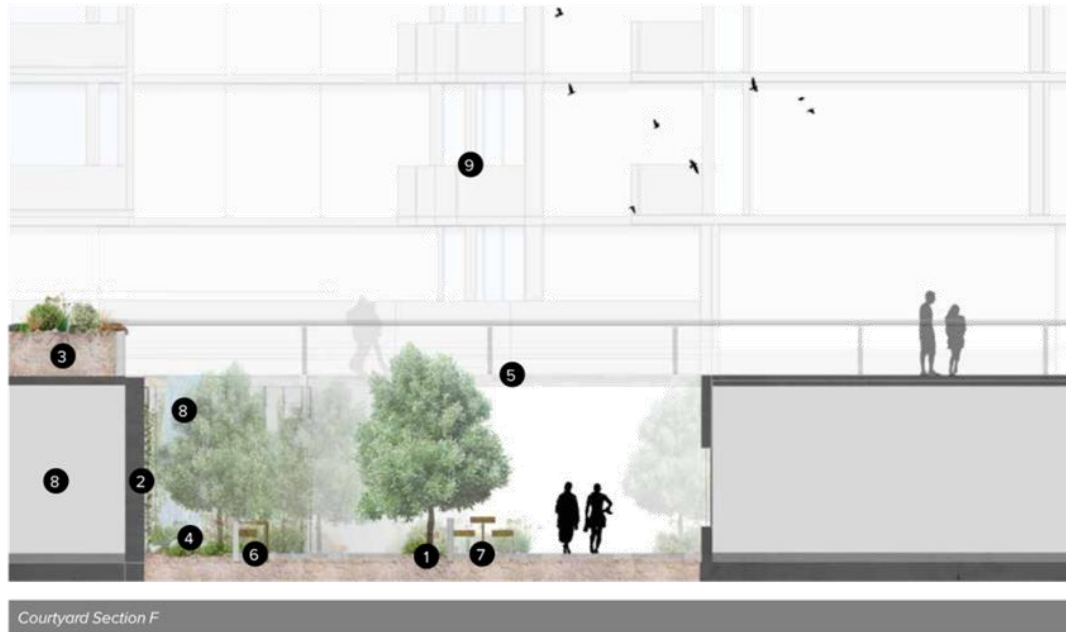
An overhead pedestrian bridge, linking the Central Plaza with the River Embankment traverses the space, and is framed with large canopy trees that provide a vegetated connection between the river corridor and central plaza. Below the bridge an outdoor working pod is proposed, providing a space with AV equipment and enclosed with surrounding vegetation.

Legend

- 1 Canopy trees in deep soil with structural soil below surrounding pavement
- 2 Outdoor fitness area with surfacing and fixed equipment
- 3 Rock climbing wall
- 4 Feature garden beds along wall with climbing plants
- 5 Pedestrian bridge over
- 6 Outdoor working pod with AV equipment
- 7 River Line water fall and pond feature elements
- 8 Meditation garden
- 9 Outdoor working stations
- 10 Outdoor working tables

Attachment 2 - PLN21/0836 - Original Landscape Plans

Lower Ground Level
Courtyard Section and Precedents



Legend

- 1 Canopy trees in deep soil with structural soil below surrounding pavement
- 2 Climbing plants on steel cables along wall
- 3 Raised planter at Central Plaza level
- 4 Feature garden bed along wall
- 5 Pedestrian bridge over behind
- 6 Outdoor working stations
- 7 Outdoor working tables
- 8 Basement car park
- 9 Building behind



Outdoor working stations



Intimate vegetated setting



Outdoor fitness provision

Attachment 2 - PLN21/0836 - Original Landscape Plans



Attachment 2 - PLN21/0836 - Original Landscape Plans

Level 5 Rooftops Overall Plan

Level 5 contains two outdoor communal rooftop spaces providing a variety of amenities for residents, overlooking the river corridor.

Legend

- 1 Level 5 Northern Rooftop
- 2 Level 5 Southern Rooftop



Attachment 2 - PLN21/0836 - Original Landscape Plans

Level 5 Rooftops
North Rooftop Plan



Design Intent

The Northern Rooftop provides an intimate rooftop setting comprised of a number of outdoor rooms for a variety of activities all within a vegetated setting responding to the river corridor character.

Along the eastern interface, working pods, hammocks and sun lounges, framed with vegetation provide serene spaces to work, relax and overlook the river corridor.

This is complemented with outdoor alfresco dining rooms, containing table settings for large groups, barbeques and either nestled within surrounding planting or open to views across the Central Plaza to the west.



Legend

- 1 Outdoor working room
- 2 Swing hammocks
- 3 Sunken private dining room with BBQ
- 4 Sun lounges
- 5 Sun deck
- 6 Private dining room with BBQ
- 7 Private lounge area
- 8 Water feature
- 9 Kitchenette
- 10 Toilets

North Rooftop Plan

Attachment 2 - PLN21/0836 - Original Landscape Plans

Level 5 Rooftops
South Rooftop Plan



Design Intent

The Southern Rooftop looks to complement the intimacy of the Northern Rooftop by providing an open space centered around a lawn and open deck. These spaces promote larger gatherings for the residents, such as communal dining events, outdoor cinema and the like.

The eastern side of the rooftop maximises its River outlook with smaller intimate spaces including outdoor dining rooms, lounges and sun beds.

The western side of the space provides a garden walk within a heavily vegetated setting, with private lounges and sun lounges with an outlook to the Central Plaza.

Legend

- 1 Private dining room with BBQ
- 2 Private lounge area
- 3 BBQ and pizza oven
- 4 Central lawn
- 5 Open deck with sun lounges and tables
- 6 Sun lounge
- 7 Sunken lounges
- 8 Intimate lounge
- 9 Garden walk
- 10 Toilets
- 11 Kitchenette



Attachment 2 - PLN21/0836 - Original Landscape Plans

Level 5 Rooftops
Rooftop Sections



Level 05 Rooftop North Section G

- Legend
- 1 Outdoor seating
 - 2 Water feature
 - 3 Raised planters with tree and groundcover planting
 - 4 Sun lounges
 - 5 Balustrade



Level 05 Rooftop South Section H

- Legend
- 1 Outdoor cooking station with barbeque and pizza oven
 - 2 Water feature
 - 3 Communal lawn
 - 4 Timber deck with seating edge
 - 5 Raised planters with tree and groundcover planting
 - 6 Balustrade

Attachment 2 - PLN21/0836 - Original Landscape Plans

Level 6 Overall Plan

Level 6 provides an outdoor rooftop space along the southern interface, with an outlook across both the Southern Lagoon below and adjacent Anette's Park and Playspace.

Legend

- 1 Level 6 Rooftop



Attachment 2 - PLN21/0836 - Original Landscape Plans

Level 6 Rooftop Rooftop Plan



Design Intent

The Level 6 Rooftop provides an intimate rooftop spaces providing both outdoor dining and lounges, and an open flexible space to provide for small to medium sized gatherings.



Private dining spaces

Legend

- 1 BBQ cooking station
- 2 Lounges
- 3 Private dining room
- 4 Sun lounges



Communal dining



Intimate lounges



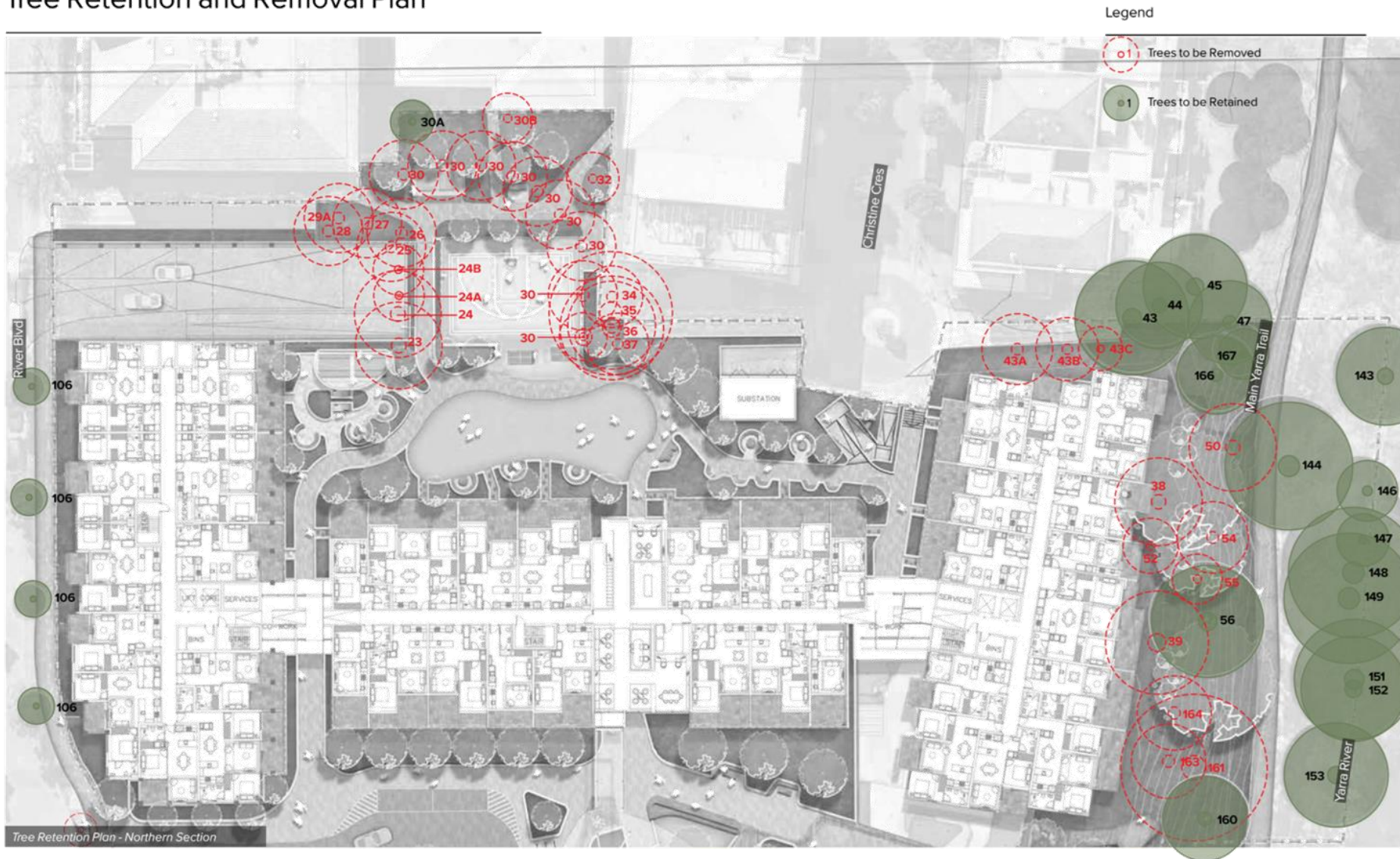
Scenic views

Attachment 2 - PLN21/0836 - Original Landscape Plans



Attachment 2 - PLN21/0836 - Original Landscape Plans

Landscape Diagrams
Tree Retention and Removal Plan



- Legend
- 1 Trees to be Removed
 - 1 Trees to be Retained

Attachment 2 - PLN21/0836 - Original Landscape Plans

Landscape Diagrams Tree Retention and Removal Plan

Legend

- 1 Trees to be Removed
- 1 Trees to be Retained



Tree Retention Plan - Southern Section

Attachment 2 - PLN21/0836 - Original Landscape Plans

Landscape Diagrams
Tree Retention and Removal Schedule

Tree No.	Botanical Name	Common Name	Origin	Height x Spread	Worthy of Retention (WCR)	Within Site (Yes / No)	Action
87	Eucalyptus leucocylon subsp. connata	Melbourne Yellow Gum	Indigenous	9 x 8m		No	Retain
88	Corymba maculata	Spotted Gum	Victorian Native	8 x 4m		No	Retain
89	Acacia implexa	Lightwood	Indigenous	4 x 2.5m		Yes	Retain
90	Acacia implexa	Lightwood	Indigenous	5 x 4m		Yes	Retain
91	Acacia melanoxylon	Blackwood	Indigenous	4 x 4m		Yes	Retain
92	Acacia implexa	Lightwood	Indigenous	2.5 x 3m		No	Retain
93	Eucalyptus melliodora	Yellow Box	Indigenous	8 x 6m		No	Retain
94	Acacia implexa	Lightwood	Indigenous	8 x 6m		No	Retain
95	Acacia implexa	Lightwood	Indigenous	5 x 2m	2	Yes	Retain
96	No tree						
97	Eucalyptus leucocylon subsp. connata	Melbourne Yellow Gum	Indigenous	10 x 8m		No	Retain
98	Eucalyptus leucocylon subsp. connata	Melbourne Yellow Gum	Indigenous	9 x 7m		No	Retain
99	Eucalyptus melliodora	Yellow Box	Indigenous	6 x 3m		No	Retain
100	Acacia pycnantha	Garden Wattle	Indigenous	5 x 6m		No	Retain
101	Eucalyptus camaldulensis	River Red Gum	Indigenous	16 x 10m		No	Retain
102	No tree						
103	No tree						
104	Angophora costata	Smooth-barked Apple	Australian Native	10m height		No	Remove
104	Angophora costata	Smooth-barked Apple	Australian Native	10m height		No	Remove
104	Angophora costata	Smooth-barked Apple	Australian Native	10m height		No	Remove
104	Angophora costata	Smooth-barked Apple	Australian Native	10m height		No	Remove
104	Angophora costata	Smooth-barked Apple	Australian Native	10m height		No	Remove
104	Angophora costata	Smooth-barked Apple	Australian Native	10m height		No	Remove
106	Angophora costata	Smooth-barked Apple	Australian Native	4 x 3m		No	Retain
106	Angophora costata	Smooth-barked Apple	Australian Native	10m height		No	Retain
106	Angophora costata	Smooth-barked Apple	Australian Native	10m height		No	Retain
106	Angophora costata	Smooth-barked Apple	Australian Native	10m height		No	Retain
106	Angophora costata	Smooth-barked Apple	Australian Native	10m height		No	Retain
106	Angophora costata	Smooth-barked Apple	Australian Native	10m height		No	Retain
107	Eucalyptus leucocylon subsp. leucocylon	Yellow Gum	Victorian Native	11 x 14m	5	No	Retain
108	No tree						
109	Eucalyptus robustus	Swamp Mahogany	Australian Native	9 x 10m	4	No	Retain
110	No tree						
111	Eucalyptus melliodora	Yellow Box	Indigenous	13 x 6m	4	No	Retain
112	Eucalyptus melliodora	Yellow Box	Indigenous	13 x 10m	4	No	Retain
113	Eucalyptus camaldulensis	River Red Gum	Indigenous	13 x 6m	3	No	Retain
114	Eucalyptus camaldulensis	River Red Gum	Indigenous	13 x 6m	4	No	Retain
115, 116	No tree						
117	Eucalyptus camaldulensis	River Red Gum	Indigenous	13 x 6m	2	No	Retain
118	Melaleuca quinquenervia	Broad-leaved Paperbark	Australian Native	5	5	No	Retain
119	No tree						
120	Eucalyptus melliodora	Yellow Box	Indigenous	4 x 2m	2	No	Retain
121	Eucalyptus robustus	Swamp Mahogany	Australian Native	11 x 12m	5	No	Retain
122	Eucalyptus melliodora	Yellow Box	Indigenous	12 x 3m	4	No	Retain
123	Eucalyptus melliodora	Yellow Box	Indigenous	15 x 10m	5	No	Retain
124	No tree						
125	No tree						
126	Mixed indigenous planting (refer to Arborist Report)		Indigenous	10m height	5	No	Retain
126A	No tree						
126B	No tree						
127	Eucalyptus camaldulensis	River Red Gum	Indigenous	20 x 13m	5	No	Retain
128	Eucalyptus camaldulensis	River Red Gum	Indigenous	18 x 15m	5	No	Retain
129	No tree						
130	Eucalyptus camaldulensis	River Red Gum	Indigenous	18 x 11m	5	No	Retain
130A	No tree						
131	Eucalyptus camaldulensis	River Red Gum	Indigenous	18 x 11m	5	No	Retain
132	Eucalyptus camaldulensis	River Red Gum	Indigenous	9 x 10m	5	No	Retain
133	Eucalyptus camaldulensis	River Red Gum	Indigenous	20 x 15m	6	No	Retain
134	Eucalyptus camaldulensis	River Red Gum	Indigenous	9 x 10m	4	No	Retain
135	Eucalyptus camaldulensis	River Red Gum	Indigenous	20 x 15m	6	No	Retain
136	Eucalyptus camaldulensis	River Red Gum	Indigenous	15m height	3 to 5	No	Retain
136	Eucalyptus camaldulensis	River Red Gum	Indigenous	15m height	3 to 5	No	Retain
136	Eucalyptus camaldulensis	River Red Gum	Indigenous	15m height	3 to 5	No	Retain
136	Eucalyptus camaldulensis	River Red Gum	Indigenous	15m height	3 to 5	No	Retain
136	Eucalyptus camaldulensis	River Red Gum	Indigenous	15m height	3 to 5	No	Retain
136	Eucalyptus camaldulensis	River Red Gum	Indigenous	15m height	3 to 5	No	Retain
136	Eucalyptus camaldulensis	River Red Gum	Indigenous	15m height	3 to 5	No	Retain
136	Eucalyptus camaldulensis	River Red Gum	Indigenous	15m height	3 to 5	No	Retain
136	Eucalyptus camaldulensis	River Red Gum	Indigenous	15m height	3 to 5	No	Retain
137	Mixed indigenous planting (refer to Arborist Report)		Indigenous	5	5	No	Retain
138 to 140	No tree						
141	Eucalyptus camaldulensis	River Red Gum	Indigenous	15 x 10m	5	No	Retain
142	No tree						

Tree Retention / Removal Schedule - Part 2 of 3

Tree No.	Botanical Name	Common Name	Origin	Height x Spread	Worthy of Retention (WCR)	Within Site (Yes / No)	Action
143	Eucalyptus camaldulensis	River Red Gum	Indigenous	16 x 11m	5	Yes	Retain
144	Ulmus procera	English Elm	Exotic	15 x 15m	6	Yes	Retain
145	No tree						
146	Eucalyptus camaldulensis	River Red Gum	Indigenous	12 x 8m	5	Yes	Retain
147	Eucalyptus camaldulensis	River Red Gum	Indigenous	10 x 6m	4 to 5	Yes	Retain
148	Eucalyptus camaldulensis	River Red Gum	Indigenous	24 x 18m	6	Yes	Retain
149	Eucalyptus camaldulensis	River Red Gum	Indigenous	16 x 18m	6	Yes	Retain
150	No tree						
151	Eucalyptus camaldulensis	River Red Gum	Indigenous	19 x 14m	5	Yes	Retain
152	Eucalyptus camaldulensis	River Red Gum	Indigenous	10 x 12m	5	Yes	Retain
153	Eucalyptus camaldulensis	River Red Gum	Indigenous	13m height	4 to 5	Yes	Retain
153	Eucalyptus camaldulensis	River Red Gum	Indigenous	13m height	4 to 5	Yes	Retain
153	Eucalyptus camaldulensis	River Red Gum	Indigenous	13m height	4 to 5	Yes	Retain
153	Eucalyptus camaldulensis	River Red Gum	Indigenous	13m height	4 to 5	Yes	Retain
154	No tree						
155	Eucalyptus camaldulensis	River Red Gum	Indigenous	19m height	5	No	Retain
155	Eucalyptus camaldulensis	River Red Gum	Indigenous	19m height	5	No	Retain
155	Eucalyptus camaldulensis	River Red Gum	Indigenous	19m height	5	No	Retain
156	No tree						
157	Eucalyptus camaldulensis	River Red Gum	Indigenous	16 x 14m		No	Retain
158	Casuarina glauca	Swamp She-oak	Australian Native	22 x 15m	2	Yes	Retain
159	Syzygium paniculatum	Magenta Lilly-pilly	Australian Native	8 x 7m		Yes	Remove
160	Corymbia maculata	Spotted Gum	Victorian Native	20 x 10m	5	Yes	Retain
161	Corymbia maculata	Spotted Gum	Victorian Native	24 x 17m	4	Yes	Remove
162	No tree						
163	Casuarina cunninghamiana	River She-oak	Australian Native	7 x 8m	4.2	Yes	Remove
164	Casuarina cunninghamiana	River She-oak	Australian Native	8 x 8m	3	Yes	Remove
165	No tree						
166	Eucalyptus camaldulensis	River Red Gum	Indigenous	11 x 9m	4 to 5	Yes	Retain
167	Eucalyptus camaldulensis	River Red Gum	Indigenous	9 x 6m	3	Yes	Retained

Tree Retention / Removal Schedule - Part 3 of 3

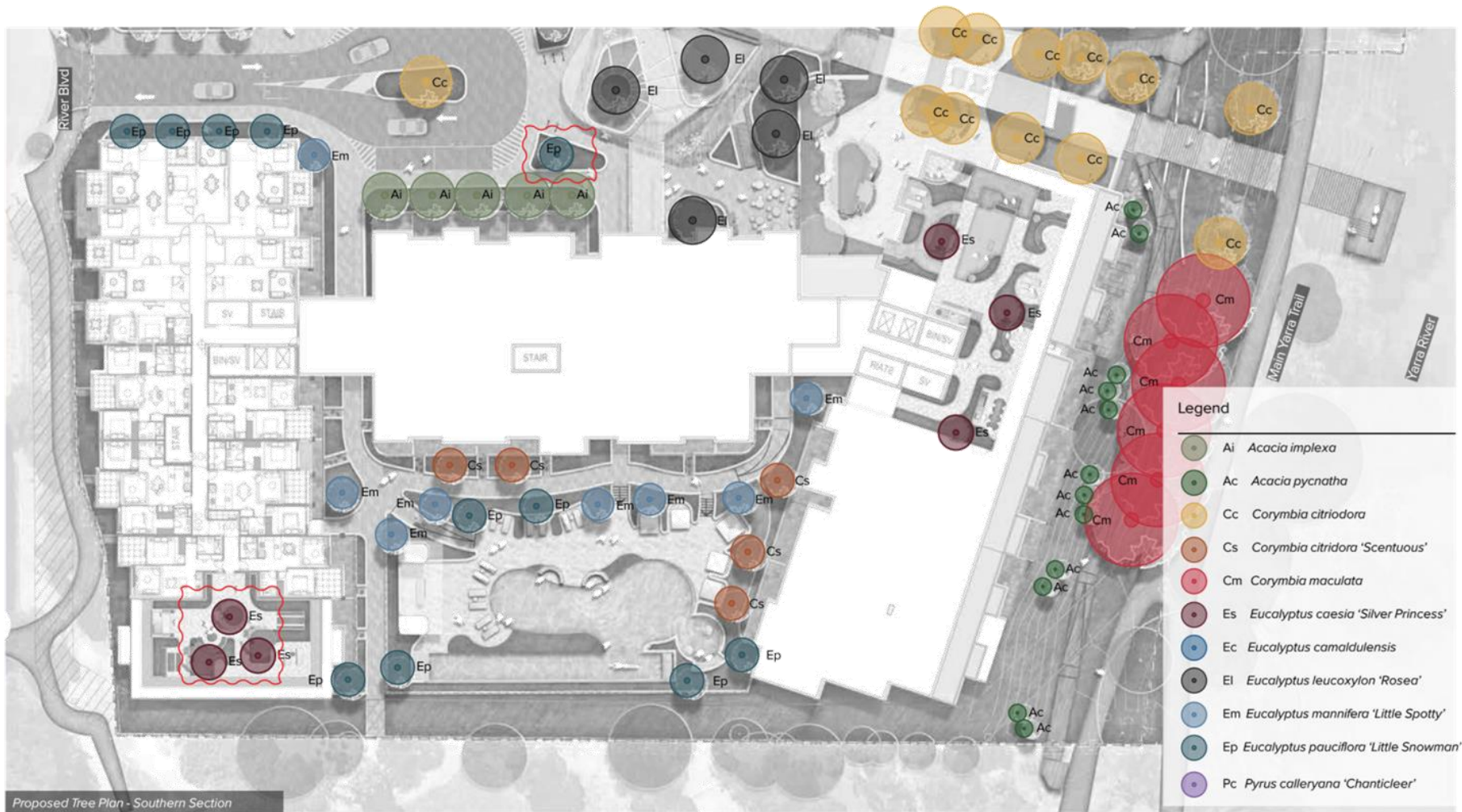
Attachment 2 - PLN21/0836 - Original Landscape Plans

Landscape Diagrams
Proposed Tree Diagram



Attachment 2 - PLN21/0836 - Original Landscape Plans

Landscape Diagrams
Proposed Tree Diagram



Attachment 2 - PLN21/0836 - Original Landscape Plans

Landscape Diagrams Proposed Planting Plan

Legend

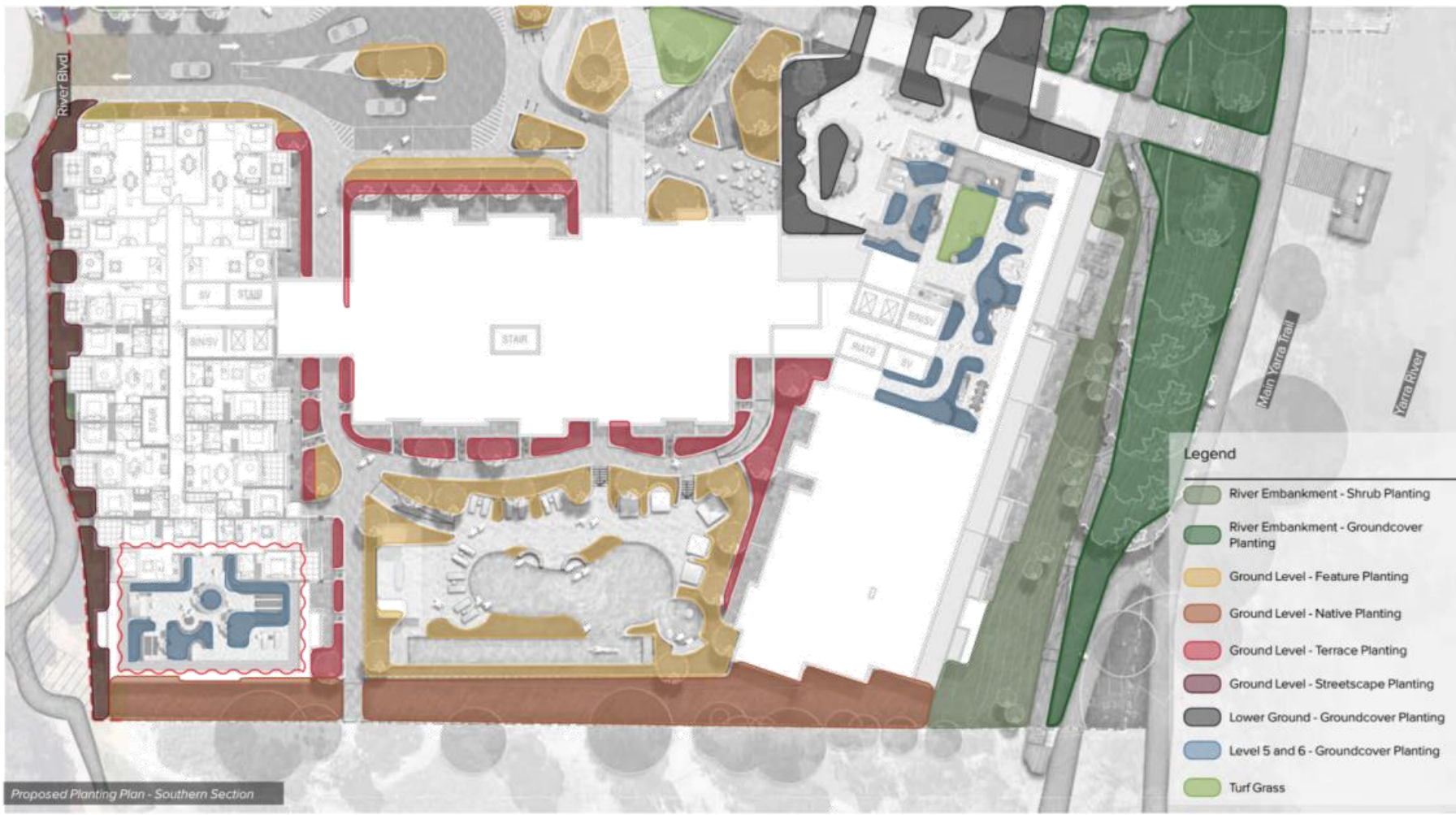
- River Embankment - Shrub Planting
- River Embankment - Groundcover Planting
- Ground Level - Feature Planting
- Ground Level - Native Planting
- Ground Level - Terrace Planting
- Ground Level - Streetscape Planting
- Lower Ground - Groundcover Planting
- Level 5 and 6 - Groundcover Planting
- Turf Grass



Proposed Planting Plan - Northern Section

Attachment 2 - PLN21/0836 - Original Landscape Plans

Landscape Diagrams Proposed Planting Plan



Proposed Planting Plan - Southern Section

Attachment 2 - PLN21/0836 - Original Landscape Plans

Landscape Diagrams
Proposed Plant Schedule

Code	Botanic Name	Common Name	Mature Size (h x w) (m)	Installation Size	Density	Quantity
Trees						
Al	<i>Acacia implexa</i>	Hickory Wattle/ Lightwood	9.0x7.0m	100L, 50mm dia calliper, 3.5m height	As shown	12
Ap	<i>Acacia pycnantha</i>	Golden Wattle	5.0x 3.0m	45lt, 30mm dia calliper, 2.5m height	As shown	24
Cc	<i>Corymbia citriodora</i>	Lemon-scented Gum	20.0x 8.0m	100L, 50mm dia calliper, 3.5m height	As shown	18
Cs	<i>Corymbia citriodora</i> 'Scentuosus'	Dwarf Lemon-scented Gum	7.0 x 5.0m	100L, 50mm dia calliper, 3.5m height	As shown	10
Cm	<i>Corymbia maculata</i>	Spotted Gum	25.0 x 15.0m	100L, 50mm dia calliper, 3.5m height	As shown	8
Es	<i>Eucalyptus caesia</i> 'Silver Princess'	Silver Princess	6.0 x 4.0m	100L, 50mm dia calliper, 3.5m height	As shown	10
Ec	<i>Eucalyptus camaldulensis</i>	River Red Gum	25.0x 20.0m	100L, 50mm dia calliper, 3.5m height	As shown	3
Ef	<i>Eucalyptus leucocylon</i> 'Rosae'	Red Flowering Yellow Gum	12.0 x 7.0m	100L, 50mm dia calliper, 3.5m height	As shown	5
Em	<i>Eucalyptus mannifera</i> 'Little Spotty'	Dwarf Brittle Gum	8.0 x 5.0m	100L, 50mm dia calliper, 3.5m height	As shown	18
Ep	<i>Eucalyptus pauciflora</i> 'Little Snowman'	Dwarf Snow Gum	7.0 x 5.0m	100L, 50mm dia calliper, 3.5m height	As shown	23
Pc	<i>Pyrus calleryana</i> 'Chanticleer'	Flowering Ornamental Pear	11.0 x 6.0m	100L, 50mm dia calliper, 3.5m height	As shown	8

Trees

Code	Botanic Name	Common Name	Mature Size (h x w) (m)	Installation Size	Density	Quantity
River Embankment - Shrub Planting						
ACA aci	<i>Acacia acinacea</i>	Gold Dust Wattle	3.0 x 2.0m	150mm pot	1 per m2	665
BAN mar	<i>Banksia marginata</i>	Silver Banksia	4.0 x 3.0m	150mm pot		
BLR spi	<i>Bursaria spinosa</i> subsp. <i>spinosa</i>	Sweet Bursaria	3.0 x 2.0m	150mm pot		
CAL sie	<i>Callistemon sieberiana</i>	River Bottlebrush	3.0 x 2.0m	150mm pot		
DOD vis	<i>Dodonaea viscosa</i>	Sticky Hop Bush	2.0 x 2.0m	150mm pot		
CAL sie	<i>Callistemon sieberiana</i>	River Bottlebrush	3.0 x 2.0m	150mm pot		

River Embankment - Shrub Planting

Code	Botanic Name	Common Name	Mature Size (h x w) (m)	Installation Size	Density	Quantity	
River Embankment - Groundcover Planting							
						6 per m2	5,310
COR gla	<i>Correa glabra</i>	Rock Correa	1.0m x 1.0m	Tubestock			
DIA rev	<i>Dianella revoluta</i>	Black Anther Flax Lily	0.6m x 0.3m	Tubestock			
DIC rep	<i>Dichandra repens</i>	Kidney Plant	0.6m x 1.0m	Tubestock			
GOO ova	<i>Goodenia ovata</i>	Hop Goodenia	1.0m x 2.0m	Tubestock			
HAR vio	<i>Hardenbergia violacea</i>	Creeping Sarsparilla	0.3m x 1.0m	Tubestock			
LOM lon	<i>Lomandra longifolia</i>	Spiny Headed Mat-Rush	1.2m x 1.5m	Tubestock			
MIC sti	<i>Microlaena stipoides</i> var. <i>stipoides</i>	Weeping Grass	1.0m x 0.2m	Tubestock			
POA lab	<i>Poa labillardieri</i>	Common Tussock Grass	1.0m x 1.0m	Tubestock			
THE tri	<i>Themeda triandra</i>	Kangaroo Grass	1.0m x 1.0m	Tubestock			
WAH com	<i>Wahlenbergia communis</i>	Native Bluebell	1.0m x 1.0m	Tubestock			

River Embankment - Groundcover Planting

Code	Botanic Name	Common Name	Mature Size (h x w) (m)	Installation Size	Density	Quantity	
						6 per m2	6,192
Ground Level - Feature Planting							
ACA cog	<i>Acacia cognata</i> 'Mini Cog'	Dwarf Bower Wattle	1.0m x 1.0m	150mm Pot			
ANI fla	<i>Anigozanthos flavidus</i>	Kangaroo Paw	1.0m x 1.0m	150mm Pot			
CAL red	<i>Callistemon 'Red Rover'</i>	Red Rover	0.3m x 1.5m	150mm Pot			
CAS gla	<i>Casuarina glauca</i> 'Cousin It'	Cousin It	1.0m x 1.0m	150mm pot			
DAM lin	<i>Dampiera linearis</i>	Cobalt Mound	0.3 x 0.5m	150mm Pot			
DIA rev	<i>Dianella revoluta</i>	Black Anther Flax Lily	0.6m x 0.3m	150mm Pot			
ERE gla	<i>Eremophila glabra prostrata</i>	Emu Bush Prostrate	0.2 x 1.0m	150mm Pot			
GRE jun	<i>Grevillea juniperina</i> 'Gold Cluster'	Juniper-Leaf Grevillea	0.3 x 1.0m	150mm Pot			
HAR vio	<i>Hardenbergia violacea</i>	Creeping Sarsparilla	0.3m x 1.0m	150mm Pot			
LEU saf	<i>Leucadendron lauroleum</i> 'Safari Sunset'	Safari Sunset	1.5m x 1m	150mm Pot			
LOM lon	<i>Lomandra longifolia</i>	Spiny Headed Mat-Rush	1.2m x 1.5m	150mm Pot			
MYO par	<i>Myoporum parvifolium</i>	Boobialla	0.1 x 1.0m	150mm Pot			
SEN man	<i>Senecio mandraliscae</i>	Blue Chalk Sticks	0.3 x 1.0m	150mm Pot			
SYZ aus	<i>Syzygium australe</i> 'Cinnamon Twist'	Lily Pilly	3.0 x 1.0m	150mm Pot			

Ground Level - Feature Planting

Code	Botanic Name	Common Name	Mature Size (h x w) (m)	Installation Size	Density	Quantity	
						6 per m2	4,254
Ground Level - Native Planting							
ACA cog	<i>Acacia cognata</i> 'Mini Cog'	Dwarf Bower Wattle	1.0m x 1.0m	Tubestock			
AUS cae	<i>Austrodanthonia caespitosa</i>	Common Tussock Grass	0.6m x 0.5m	Tubestock			
CAL cit	<i>Calceophalus citreus</i>	Lemon Beauty-Heads		Tubestock			
COR alb	<i>Correa alba</i>	White Correa	1.5 x 1.5m	Tubestock			
DIA rev	<i>Dianella revoluta</i>	Black Anther Flax Lily	0.6m x 0.3m	Tubestock			
DIC rep	<i>Dichandra repens</i>	Kidney Plant	0.6m x 1.0m	Tubestock			
DRY niv	<i>Dryandra nivea</i>	Honeypot Dryandra	0.4m x 0.8m	Tubestock			
GOO ova	<i>Goodenia ovata</i>	Hop Goodenia	1.0m x 2.0m	Tubestock			
HAR vio	<i>Hardenbergia violacea</i>	Creeping Sarsparilla	0.3m x 1.0m	Tubestock			
LOM lon	<i>Lomandra longifolia</i>	Spiny Headed Mat-Rush	1.2m x 1.5m	Tubestock			
POA lab	<i>Poa labillardieri</i>	Common Tussock Grass	1.0m x 1.0m	Tubestock			

Ground Level - Native Planting

Attachment 2 - PLN21/0836 - Original Landscape Plans

Landscape Diagrams Proposed Plant Schedule

Code	Botanic Name	Common Name	Mature Size (h x w) (m)	Installation Size	Density	Quantity
Ground Level - Terrace Planting						
LIR mus	<i>Liriope muscari</i>	Lily-	1.2m x 0.6m	150mm Pot		
CAS gla	<i>Casuarina glauca</i> 'Cousin It'	Cousin It	1.0m x 1.0m	150mm pot		
CLI min	<i>Clivea miniata</i>	Bush Lily	0.6 x 0.6m	150mm Pot		
DIA rev	<i>Dianella revoluta</i>	Black Anther Flax Lily	0.6m x 0.3m	150mm Pot		
HAR vio	<i>Hardenbergia violacea</i>	Creeping Sarsparilla	0.3m x 1.0m	Tubestock		
LOM lon	<i>Lomandra longifolia</i>	Spiny Headed Mat-Rush	1.2m x 1.5m	Tubestock		
MYO par	<i>Myoporum parvifolium</i>	Boobialla	0.1 x 1.0m	150mm Pot		
SEN man	<i>Senecio mandraicoides</i>	Blue Chalk Sticks	0.3 x 1.0m	150mm Pot		

Ground Level - Terrace Planting

Code	Botanic Name	Common Name	Mature Size (h x w) (m)	Installation Size	Density	Quantity
Ground Level - Streetscape Planting						
ACA cog	<i>Acacia cognata</i> 'Mini Cog'	Dwarf Bower Wattle	1.0m x 1.0m	150mm Pot		
ANI fla	<i>Anigozanthos flavids</i>	Kangaroo Paw	1.0m x 1.0m	150mm Pot		
CAL red	<i>Calistemon 'Red Rover'</i>	Red Rover	0.3m x 1.5m	150mm Pot		
DIA rev	<i>Dianella revoluta</i>	Black Anther Flax Lily	0.6m x 0.3m	150mm Pot		
GRE jun	<i>Grevillea juniperina</i> 'Gold Cluster'	Juniper-Leaf Grevillea	0.3 x 1.0m	150mm Pot		
LOM lon	<i>Lomandra longifolia</i>	Spiny Headed Mat-Rush	1.2m x 1.5m	150mm Pot		
WES fru	<i>Westringia fruticosa</i>	Native Rosemary	0.5 x 1.5m	150mm Pot		

Ground Level - Streetscape Planting

Code	Botanic Name	Common Name	Mature Size (h x w) (m)	Installation Size	Density	Quantity
Lower Ground - Groundcover Planting						
ACA cog	<i>Acacia cognata</i> 'Mini Cog'	Dwarf Bower Wattle	1.0m x 1.0m	150mm Pot		
APH res	<i>Aphanopetalum resinosum</i>	Gum Vine	3.0m x 1.0m	150mm Pot		
CAR ros	<i>Carpatrobus rossii</i>	Pig Face	0.4 x 1.0m	150mm Pot		
CLI min	<i>Clivea miniata</i>	Bush Lily	0.6 x 0.6m	150mm Pot		
DIA rev	<i>Dianella revoluta</i>	Black Anther Flax Lily	0.6m x 0.3m	150mm Pot		
LOM lon	<i>Lomandra longifolia</i>	Spiny Headed Mat-Rush	1.2m x 1.5m	150mm Pot		
MYO par	<i>Myoporum parvifolium</i>	Creeping Boobialla	0.2m x 3.0m	150mm Pot		
PAR qui	<i>Parthenocissus quinquefolia</i>	Virginia Creeper	Climber	150mm Pot		
POA lab	<i>Poa labillardieri</i>	Common Tussock Grass	1.0m x 1.0m	150mm Pot		
TRA jes	<i>Trachelospermum jasminoides</i>	Star Jasmine	Climber	150mm Pot		

Lower Ground - Ground Cover Planting

Code	Botanic Name	Common Name	Mature Size (h x w) (m)	Installation Size	Density	Quantity
Level 5 and 6 - Groundcover Planting						
ACA cog	<i>Acacia cognata</i> 'Mini Cog'	Dwarf Bower Wattle	1.0m x 1.0m	150mm Pot		
AJU bla	<i>Ajuga 'Black Scallopa'</i>	Bule Bugle	0.1m x 0.3m	150mm Pot		
BRA rac	<i>Brachyscome multifida</i>	Rock Daisy	0.3m x 0.4m	150mm Pot		
CAS gla	<i>Casuarina glauca</i> 'Cousin It'	Cousin It	1.0m x 1.0m	150mm pot		
DIA rev	<i>Dianella revoluta</i>	Black Anther Flax Lily	0.6m x 0.3m	150mm Pot		
GRE jun	<i>Grevillea juniperina</i> 'Gold Cluster'	Juniper-Leaf Grevillea	0.3 x 1.0m	150mm Pot		
HAR vio	<i>Hardenbergia violacea</i>	Creeping Sarsparilla	0.3m x 1.0m	150mm Pot		
LEU saf	<i>Leucadendron laureolum</i> 'Safari Sunset'	Safari Sunset	1.5m x 1m	150mm Pot		
DIA rev	<i>Dianella revoluta</i>	Black Anther Flax Lily	0.6m x 0.3m	150mm Pot		
LOM lon	<i>Lomandra longifolia</i>	Spiny Headed Mat-Rush	1.2m x 1.5m	Tubestock		
MYO par	<i>Myoporum parvifolium</i>	Boobialla	0.1 x 1.0m	150mm Pot		
SCA amu	<i>Scaevola amuela</i>	Fan Flower	0.2m x 2.0m	150mm Pot		
SED mat	<i>Sedum 'Matrona'</i>	Stonecrop	0.2m x 0.2m	Tubestock		

Level 5 and 6 - Ground Cover Planting

Attachment 2 - PLN21/0836 - Original Landscape Plans

Landscape Diagrams
Proposed Plant Palette



Attachment 2 - PLN21/0836 - Original Landscape Plans

Landscape Diagrams Proposed Plant Palette



Attachment 2 - PLN21/0836 - Original Landscape Plans

Landscape Diagrams Proposed Plant Palette



Attachment 2 - PLN21/0836 - Original Landscape Plans

Landscape Diagrams Canopy Coverage



The development site is 18,470m² in total area.

Based on the canopy spread identified within the Arborist Report, a total of approx 1,094 m² of canopy coverage is provided by existing trees, which accounts to 5.92% of the total development site area.

A total of 2,552m² area of canopy is provided by proposed trees, 13.82% of the total development site area. Noting this is based on trees anticipated mature spread and includes canopy overlap to existing trees. For the landscape plans provided within this report, tree canopy spread is shown at 70% of anticipated mature spread, which is as per industry standard for presenting canopy trees.

Overall at maturity, canopy coverage across existing and proposed trees will be 3,646m², equating to 19.74% of the total development site.

Legend

-  Existing Tree Canopy Coverage
-  Proposed Tree Canopy Coverage (Shown at 70% mature spread)



Attachment 2 - PLN21/0836 - Original Landscape Plans

Landscape Diagrams Private, Public and Communal Spaces

The proposed development provides a variety of outdoor spaces for both residents and the broader community.

The Central Plaza (including the porte cochere) and River Embankment area (including steps and boardwalk ramp) are all publicly accessible for use by the community and to facilitate access between the Main Yarra Trail and River Boulevard / Victoria Gardens Precinct.

The Northern Lawn, Southern Lagoon and Lower Ground Courtyard outdoor spaces are all available for use by residents.

It is noted that the Northern Pocket Park, north of the basketball court will be able to continue to be used by the residents of the three adjacent apartment buildings, and the future residents of the Riverside development.

Private outdoor terraces are provided for the ground level apartments, and are enclosed with raised planters and visually permeable fencing to provide both a sense of privacy and passive surveillance of the streetscape and internal communal spaces.

Legend

-  Outdoor Communal Spaces
-  Publicly Accessible Open Space
-  Private Outdoor Spaces



Private, Public and Communal Spaces Plan - Ground and Lower Ground

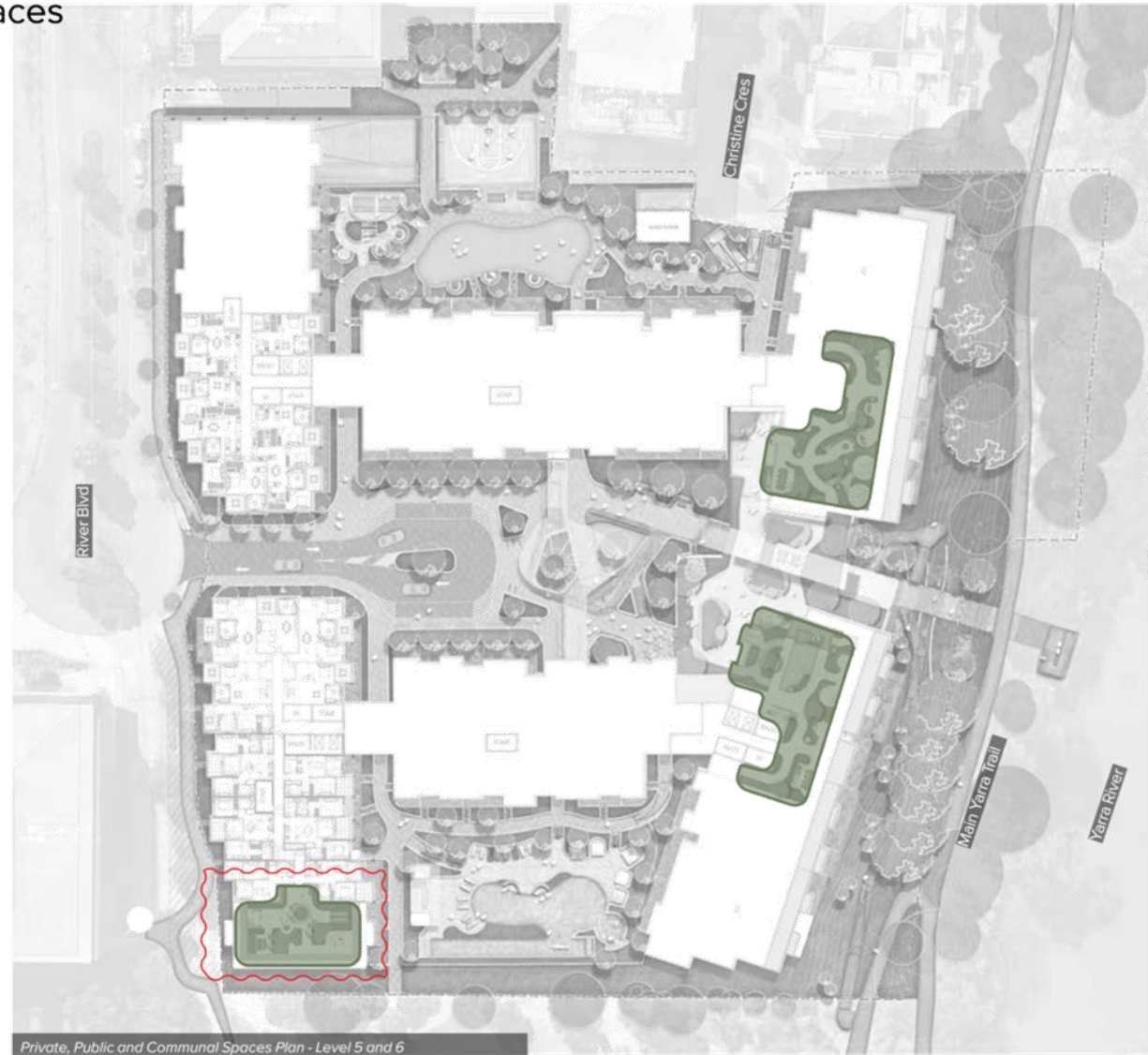
Attachment 2 - PLN21/0836 - Original Landscape Plans

Landscape Diagrams Private, Public and Communal Spaces

In addition to the communal spaces provided on the Ground and Lower Ground Levels, outdoor communal rooftop spaces are provided on Level 5, fronting onto the Yarra River corridor, and on Level 6 to the south.

Legend

-  Outdoor Rooftop Communal Spaces



Private, Public and Communal Spaces Plan - Level 5 and 6

Attachment 2 - PLN21/0836 - Original Landscape Plans

Landscape Diagrams Universal Access / Path Network

The development proposal seeks to integrate and provide new connections through the existing pedestrian and cycling network.

A new pedestrian and cycling linkage is provided through the central heart of the site, connecting Riverside Boulevard and the broader Victoria Gardens Precinct to the Main Yarra Trail and the Yarra River Corridor. This connection is facilitated by a designated path through the Porte Cochere and Central Plaza, leading to a pedestrian bridge (over Lower Ground Level) to steps navigating the level transition down the river corridor embankment. Complementing the steps is a 1.8m wide timber DDA compliant boardwalk that integrates into the embankment and provides access for all abilities and cyclists to the Main Yarra Trail further to the south.

A DDA compliant ramp and step arrangement is provided to connect to Christine Crescent and in addition, a path connection is provided to the south to provide direct resident access to Annette's Place and Playspace to the south.

Legend

-  Main Yarra Trail - Shared Use Path
-  Existing Footpaths
-  Publicly Accessible Pedestrian Path
-  Publicly Accessible Stairs
-  Publicly Accessible 1.8m wide DDA Compliant Ramp (Pedestrians and Cyclist Use)
-  Internal Pedestrian Paths
-  Shared Zone (Pedestrians and Vehicles)



Attachment 2 - PLN21/0836 - Original Landscape Plans

Landscape Diagrams Fencing







A variety of fencing treatments are proposed to provide security across the development.

Perimeter fencing is located to the northern and southern interfaces, enclosing the outdoor communal spaces and demarcating the title boundary. The proposed fencing is to be a 1.8m high powdercoat palisade fence, providing a visually permeable treatment to integrate into the overall planting scheme.

Along the prominent Riverside Boulevard interface, private terraces are to be enclosed with a fence treatment that comprises of a 0.6m high concrete plinth, with a visually permeable 1.2m high angled steel fin fencing on top, bringing the total fence height to 1.8m. The design intent of the fence is to provide clear definition to the private terraces, while providing visual connectivity between these spaces and the streetscape. The steel fin fencing will match the balustrade detailing of the building to provide a cohesive outcome.

A glass balustrade is provided to the full external extent of the Southern Lagoon Pool for safety and to visually integrate with the integrate into the proposed vegetation.

Legend

-  Perimeter fencing - 1.8m high black powdercoat palisade fencing
-  Perimeter fencing - 1.8m high palisade secure gate
-  Private Terraces to Riverside Blvd - 0.6m high concrete plinth with 1.2m high powdercoat steel fin fencing to match architects detail (1.8m overall height)
-  Private Terraces to Riverside Blvd - 1.8m high powdercoat steel fin secure gate
-  Southern Lagoon - 1.2m high glass balustrade pool fencing
-  Southern Lagoon - 1.2m high pool fencing secure gate



Attachment 2 - PLN21/0836 - Original Landscape Plans

Landscape Diagrams Wayfinding

Wayfinding signage is proposed for the Riverside Richmond Development to encourage public use of the Riverside Plaza and encourage connectivity from River Boulevard/commercial precincts through to the Yarra River.

The signage shall assist people, cyclists, drivers and public transport users to travel safely and confidently through unfamiliar areas; encourage them to explore the places they are visiting; and creates a sense of place that can foster community activity.

A consistent, reliable and integrated wayfinding system is proposed composing of Destination and Directional signage. The proposed locations are noted on the Wayfinding Landscape Diagram with consideration of paths of travel and key decision points ensuring users can navigate throughout the development and through to the Yarra River.

A Signage and Wayfinding Consultant will be engaged in future design stages to develop a Signage Strategy and Suite based on the principles above in accordance with relevant standards.

Legend

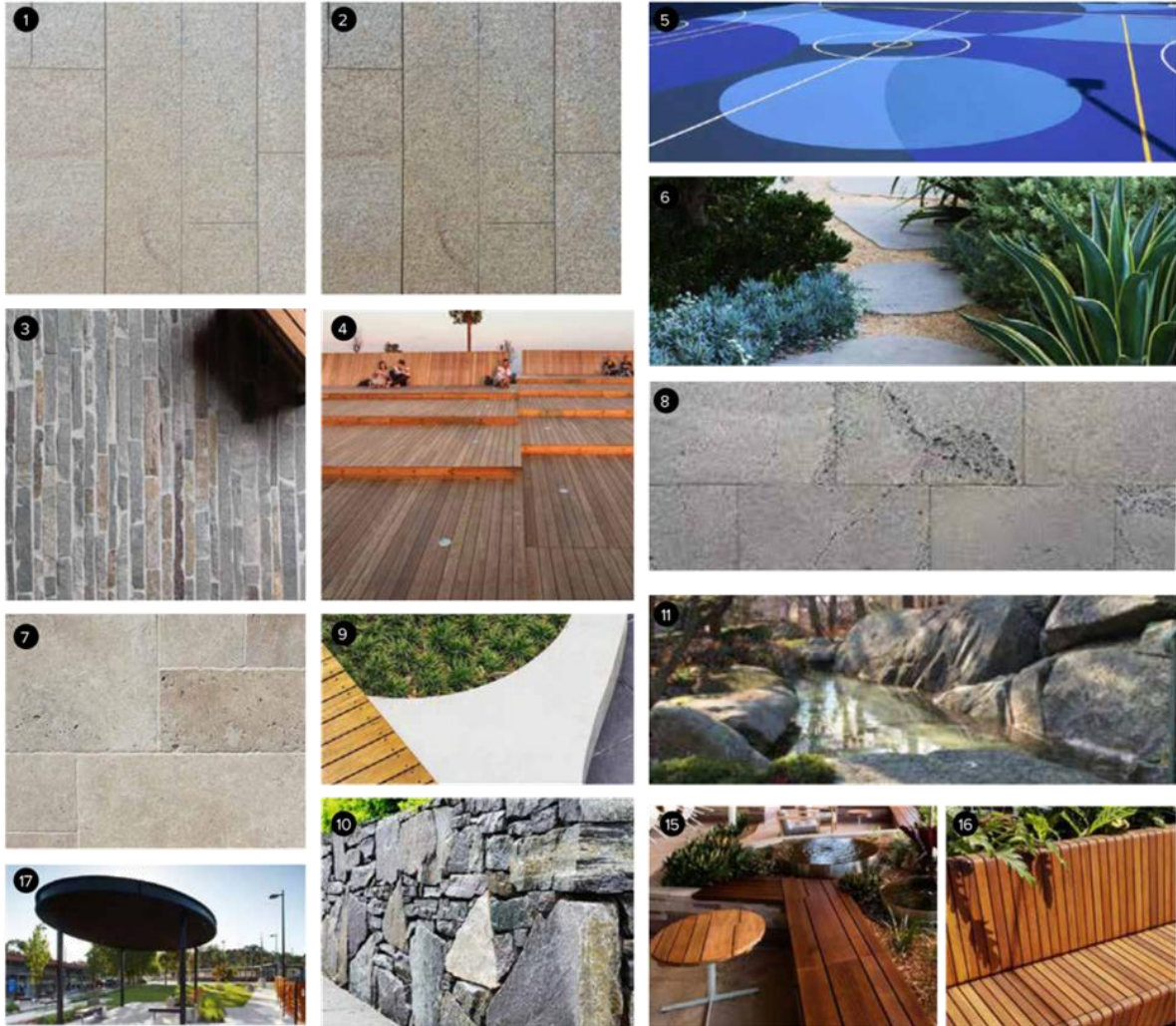
- Destination Sign: to indicate arrival and can include maps or diagrams.
- Directional Sign: to point the observer to one or more destinations



Attachment 2 - PLN21/0836 - Original Landscape Plans

Landscape Diagrams
Materials Palette

Type	Description	Location	
01	Unit Pavers - Plaza	Brown Engineered Granite, Shotblast finish	Ground, Lower Ground
02	Unit Pavers - Shared Space	Dark Brown Engineered Granite, Vehicular grade Shotblast Finish	Ground
03	Feature paving - River Line	Filetti brown natural stone	Ground Floor
04	Raised and Level Deck	Weathered Australian Timber Decking	Ground, Lower Ground
05	Coloured Sports Court Surfacing	Blue laykold surfacing	Ground
06	Loose Pavement Steppers in crushed rock	Natural Australian Bluestone raw edge cut stone set in crushed lilydale toppings	Ground
07	Large format unit paver	Engineered Travertine in P5 finish	Ground, Level 5, Level 6
08	Unit Paver	Granite unit paver exfoliated finish	All (Private terraces)
Walls and Edges			
09	Planter wall	In situ Concrete Wall with cut brick fascia	All Levels
10	Retaining wall	Concrete block Wall with stone facing	Ground (embankment)
11	Stone retainers	Locally sourced 3 - 1 tonne Basalt Stone Weathered Boulders	Ground (embankment)
Softscape			
12	Garden Bed	Organic Mulch	All Levels
13	Turf Lawn	Refer to Plant Schedule	Ground
Furniture			
14	Flexible Furniture	Varies	All Levels
15	Integrated Lounges	Timber Cladding, Base varies	All Levels
16	Bench Seating	Timber Cladding, Base varies	All Levels
Miscellaneous			
17	Shade Shelter	Coloured Powder Coat Steel Frame with Slats	Ground



Attachment 2 - PLN21/0836 - Original Landscape Plans

Landscape Diagrams Water Feature

Design

The proposed water feature at Riverside is an integral placemaking element that signifies the cultural link to water and a connection to the nearby Yarra River.

1 The focal point of the feature is located within the public plaza space encouraging playfulness, socialisation and establishing a notable site character to form an established sense of place and vibrancy for residents and visitors.

2 The feature extends toward the river, subtly integrated into the pedestrian walk, inviting people to continue their journey toward the river.

3 At the river embankment, the water feature flows away from the path down into inaccessible pools below created by natural local stone boulders. Visitors can view the falling water from timber decked paths that offshoot the main connection to the Yarra Trail. The water flows down toward the river, meeting the indigenous planting established on the banks of the river.

Safety

To protect children from the danger of drowning, the water feature has a maximum 40mm depth of water at its deepest point in accessible areas.

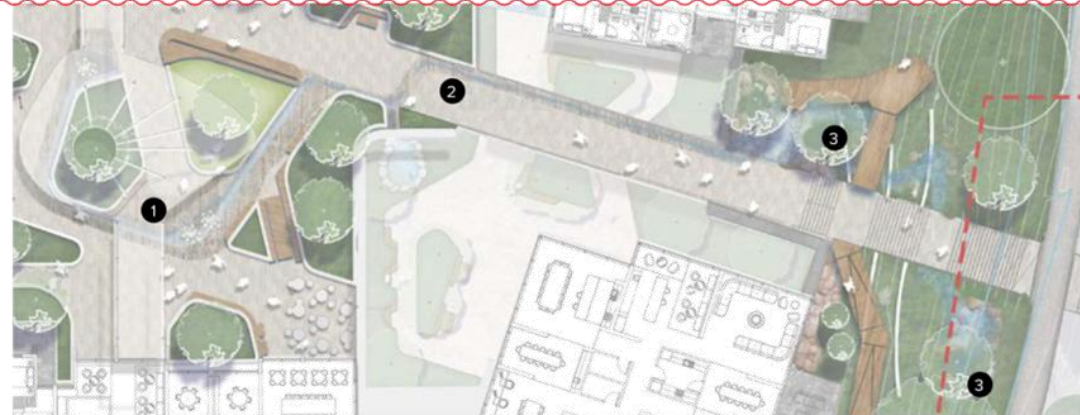
The surface paving of the water feature is textured with a minimum P5 slip resistance rating to ensure safe travel within the wet zone of the Plaza.

A continual accessible path of travel is maintained throughout the site with the water channelled below the surface at crossing points.

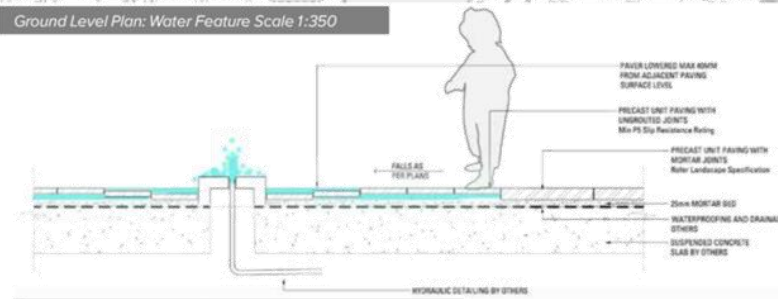
Maintenance

Detailed design for water supply, sewage connection, electrical service, and a seasonal maintenance plan will be prepared by specialists in the Detailed Design phase.

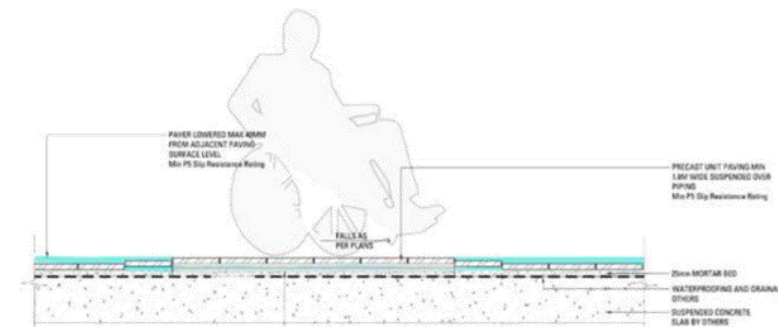
Precedence



Ground Level Plan: Water Feature Scale 1:350



1 Detail Typical Section 1:20: Water Feature focal point



2 Detail Typical Section 1:20: Water Feature diverted under paving

Attachment 2 - PLN21/0836 - Original Landscape Plans

Landscape Diagrams Landscape Maintenance

The Landscape Maintenance Plan provide below is typical and states the general expected maintenance tasks required to ensure the ongoing success of the landscape outcome.

Landscape maintenance program

Maintenance shall mean the care and maintenance of the landscape works by accepted horticultural practice as rectifying any defects that become apparent in the landscape works under normal use. this shall include, but shall not be limited to, watering, mowing, fertilising, reseeding, returfing, weeding, pest and disease control, staking and tying, replanting, cultivation, pruning, aerating, renovating, top dressing, maintaining the site in a neat and tidy condition as follows.

General

The landscape contractor shall maintain the landscape works for the term of the maintenance (or plant establishment) period to the satisfaction of the council. the landscape contractor shall attend to the site on a weekly basis. the maintenance period shall commence at practical completion and continue for a period of twenty six (26) weeks.

Watering

Grass, trees and garden areas shall be watered regularly so as to ensure continuous healthy growth.

Rubbish removal

During the term of the maintenance period the landscape contractor shall remove rubbish that may occur and reoccur throughout the maintenance period. This work shall be carried out regularly so that at weekly intervals the area may be observed in a completely clean and tidy condition.

Replacements

The landscape contractor shall replace all plants that are missing, unhealthy or dead at the landscape contractor's cost. replacements shall be of the same size, quality and species as the plant that has failed unless otherwise directed by the landscape architect. replacements shall be made on a continuing basis not exceeding two (2) weeks after the plant has died or is seen to be missing.

Stakes and ties

The landscape contractor shall replace or adjust plant stakes, and tree guards as necessary or as directed by the landscape architect. Remove stakes and ties at the end of the maintenance period if so directed.

Pruning

Trees and shrubs shall be pruned as directed by the landscape architect. Pruning will be directed at the maintenance of the dense foliage or miscellaneous pruning and beneficial to the condition of the plants. Any damaged growth shall be pruned. All pruned material shall be removed from the site.

Mulched surfaces

All mulched surfaces shall be maintained in a clean and tidy condition and be reinstated if necessary to ensure that a depth of 75mm is maintained. Ensure mulch is kept clear of plant stems at all times.

Pest and diseased control

The landscape contractor shall spray against insect and fungus infestation with all spraying to be carried out in accordance with the manufacturer's directions. Report all instances of pests and diseases (immediately that they are detected) to the landscape architect.

Grass and turf areas

The landscape contractor shall maintain all grass and turf areas by watering, weeding, dressing, rolling, mowing, trimming or other operations as necessary. Seed and turf species shall be the same as the original specified mixture. Grass and turf areas shall be sprayed with approved selective herbicide against broad leaved weeds as required by the landscape architect and in accordance with the manufacturer's directions. grass and turf areas shall be fertilised once a year in autumn with "dynamic lifter" for lawns at a rate of 20kg per 100m². fertiliser shall be watered in immediately after application. Irregularities in the grass and turf shall be watered in immediately after application. Grass and turf areas shall be kept mown to maintain a healthy and vigorous sward. mowing height: 30-50mm.

Weed eradication

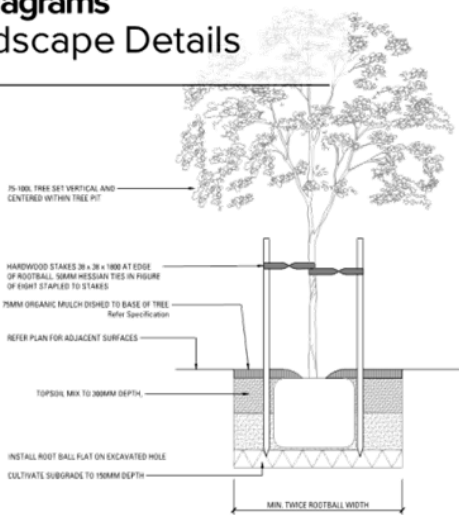
Eradicate weeds by environmentally acceptable methods using a non-residual glyphosate herbicide (eg. 'roundup') in any of its registered formulae, at the recommended maximum rate. Regularly remove by hand, weed growth that may occur or recur throughout grassed, planted and mulched areas. Remove weed growth from an area 750mm diameter around the base of trees in grassed areas. Continue eradication throughout the course of the works and during the maintenance period.

Soil subsidence

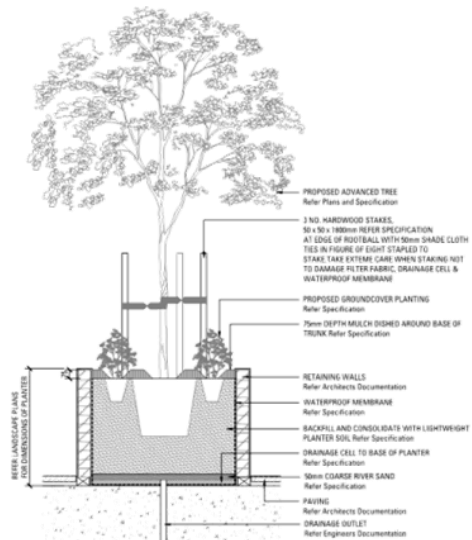
Any soil subsidence or erosion which may occur after the soil filling and preparation operations shall be made good by the landscape contractor at no cost to the client.

Attachment 2 - PLN21/0836 - Original Landscape Plans

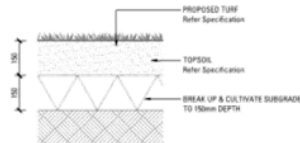
Landscape Diagrams
Typical Landscape Details



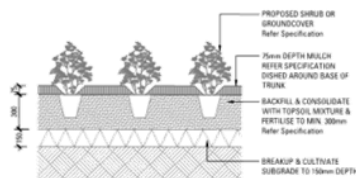
1. TREE PLANTING 75-100 SCALE 1:20



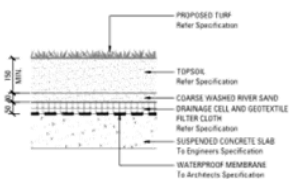
2. RAISED PLANTER WITH ADVANCED TREE ON SLAB SCALE 1:20



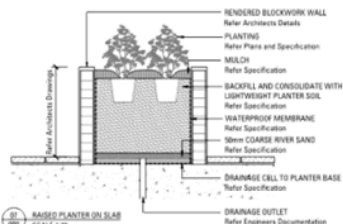
3. TURF ON GRADE SCALE 1:20



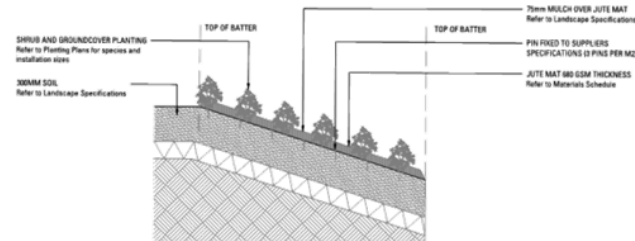
4. SHRUB OR GROUND COVER IN PLANTING BED SCALE 1:20



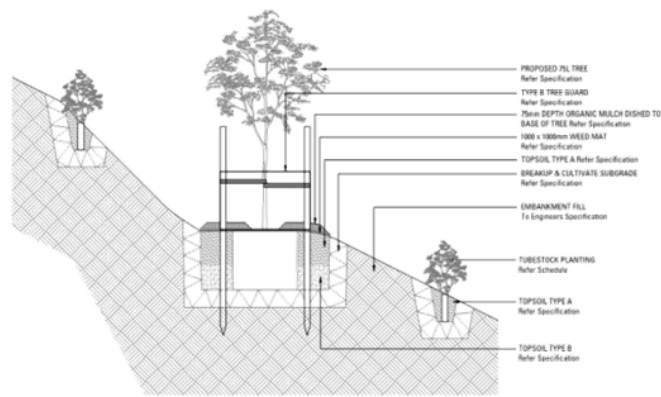
5. TURF ON SLAB SCALE 1:20



6. RAISED PLANTER ON SLAB SCALE 1:20



7. EMBANKMENT PLANTING SCALE 1:20



8. TREE ON EMBANKMENT SCALE 1:20

Attachment 2 - PLN21/0836 - Original Landscape Plans



Attachment 3 - PLN21/0836 & PLN22/0142 - Amended Architectural plans



Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment, and the appointment of any tradespeople and/or the fabrication of any components.
Do not scale drawings, refer to figured dimensions only. Any discrepancies shall ultimately be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from BMS.

KEY PLAN:



LEGEND - KEY PLAN

- Studio Apartment
- 1 Bedroom Apartment
- 2 Bedroom Apartment
- Resident Amenities
- Resident Balcones & Terrace
- Building Services / Plant
- Title Boundary
- Horizontal Bicycle Spaces
- Vertical Bicycle Spaces

Apartment Naming logic as per below:
X YY ZZZ
X - Building Number
YY - Level
ZZZ - Apartment Number

C	06/04/22	TOWNS PLANNING	HL	BB
D	14/02/22	TOWNS PLANNING	HL	BB
A	06/11/21	TOWNS PLANNING	HL	BB
Rev	Date	Description	Author	Checked

RSR Riverside Boulevard

Key Plan Ground Floor



Status	TOWNS PLANNING
Scale	1 : 300 @ A1
Drawn	PG
Checked	AA
Project No.	M12380
Plot Date	30/09/22 3:22:11 PM
Client	
Drawing No.	Revision
TP03.00	C

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 9566 8200 F 03 9566 8200
email mel@batesmart.com.au
http://www.batesmart.com.au

Sydney 43 Bradshaw Street
Sydney NSW 2010 Australia
T 02 9254 5100 F 02 9254 5100
email syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 054 959 400

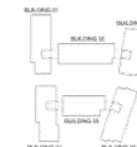


Attachment 3 - PLN21/0836 & PLN22/0142 - Amended Architectural plans



Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment, and the appointment of any tradespeople and/or the fabrication of any components.
Do not scale drawings, refer to figured dimensions only. Any discrepancies shall necessarily be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from RSR/RSR/RSR.

KEY PLAN:



LEGEND - KEY PLAN

- Studio Apartment
- 1 Bedroom Apartment
- 2 Bedroom Apartment
- Resident Amenities
- Resident Balconies & Terrace
- Building Services / Plant
- Title Boundary
- Horizontal Bicycle Spaces
- Vertical Bicycle Spaces

Apartment Naming logic as per below:
X YY ZZZ
X = Building Number
YY = Level
ZZZ = Apartment Number

1: 14.03.22 TOWN PLANNING	BY: RS
2: 08.11.21 TOWN PLANNING	BY: RS
Rev: Date: Description:	Author: Checked:

RSR
Riverside Boulevard

Key Plan
Level 01



Status:	TOWN PLANNING
Scale:	1 : 300 @ A1
Drawn:	PG
Checked:	AA
Project No.:	M12380
Plot Date:	30/09/2022 3:22:03 PM
Client:	BIM
Drawing No.:	Revision
TP03.01	B

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 9566 8200 F 03 9566 8300
email mel@batesmart.com.au
http://www.batesmart.com.au

Sydney 43 Bradshaw Street
Sydney Hills NSW 2010 Australia
T 02 8584 5100 F 02 8584 5199
email syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 054 959 400

Attachment 3 - PLN21/0836 & PLN22/0142 - Amended Architectural plans



Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment, and the appointment of any tradespeople and/or the fabrication of any components.
Do not scale drawings, refer to figured dimensions only. Any discrepancies shall ultimately be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from RSR UP/0163.

KEY PLAN:



LEGEND - KEY PLAN

- Studio Apartment
- 1 Bedroom Apartment
- 2 Bedroom Apartment
- Resident Amenities
- Resident Balcones & Terrace
- Building Services / Plant
- Title Boundary
- Horizontal Bicycle Spaces
- Vertical Bicycle Spaces

Apartment Naming logic as per below:
X YY ZZZ
X = Building Number
YY = Level
ZZZ = Apartment Number

14 03 22	TOWN PLANNING	14	03
08 11 21	TOWN PLANNING	08	03
Rev	Date	Revision	Author

RSR
Riverside Boulevard

Key Plan
Level 02



Status	TOWN PLANNING		
Scale	1 : 300	@ A1	1 : 600 @ A3
Drawn	PG	Checked	AA
Project No.	M12380		
Plot Date	30/06/2022 3:22:05 PM		
Client	BIM		
Drawing No.	TP03.02		Revision
			B

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 9566 8200 F 03 9566 8300
email mel@batesmart.com.au
http://www.batesmart.com.au

Sydney 43 Bradshaw Street
Surry Hills NSW 2010 Australia
T 02 9554 5100 F 02 9554 5199
email syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 054 959 400

Attachment 3 - PLN21/0836 & PLN22/0142 - Amended Architectural plans



Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment, and the appointment of any tradespeople and/or the fabrication of any components.
Do not scale drawings, refer to figured dimensions only. Any discrepancies shall necessarily be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from RSR.

KEY PLAN:



LEGEND - KEY PLAN

- Studio Apartment
- 1 Bedroom Apartment
- 2 Bedroom Apartment
- Resident Amenities
- Resident Balcones & Terrace
- Building Services / Plant
- Title Boundary
- Horizontal Bicycle Spaces
- Vertical Bicycle Spaces

Apartment Naming logic as per below:
X YY ZZZ
X = Building Number
YY = Level
ZZZ = Apartment Number

1:14	14/03/22	TOWN PLANNING	BY	RS
2:08	08/11/21	TOWN PLANNING	BY	RS
Rev	Date	Description	Author	Checked

RSR
Riverside Boulevard

Key Plan
Level 03



Status	TOWN PLANNING		
Scale	1:300	@ A1	1:600 @ A3
Drawn	PG	Checked	AA
Project No.	M12380		
Plot Date	30/09/2022 3:23:17 PM		
Drawn by	Revision		
TP03.03	B		

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 9566 8200 F 03 9566 8300
email mel@batesmart.com.au
http://www.batesmart.com.au

Sydney 43 Bradshaw Street
Surry Hills NSW 2010 Australia
T 02 9254 5100 F 02 9254 6199
email syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 054 959 402

Attachment 3 - PLN21/0836 & PLN22/0142 - Amended Architectural plans



Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment, and the appointment of any tradesperson and/or the fabrication of any components.
Do not scale drawings, refer to figured dimensions only. Any discrepancies shall ultimately be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from RSR UP/0103.

KEY PLAN:



LEGEND - KEY PLAN

- Studio Apartment
- 1 Bedroom Apartment
- 2 Bedroom Apartment
- Resident Amenities
- Resident Balcones & Terrace
- Building Services / Plant
- Title Boundary
- Horizontal Bicycle Spaces
- Vertical Bicycle Spaces

Apartment Naming logic as per below:
X YY ZZZ
X = Building Number
YY = Level
ZZZ = Apartment Number

1	14/03/22	TOWN PLANNING	BY	RS
2	08/11/22	TOWN PLANNING	BY	RS
Rev	Date	Description	Author	Checked

RSR
Riverside Boulevard

Key Plan
Level 05



Status	TOWN PLANNING
Scale	1 : 300 @ A1 1 : 600 @ A3
Drawn	PG Checked: AA
Project No.	M12380
Plot Date	30/06/2022 3:23:07 PM
GM	
Drawing No.	Revision
TP03.05	B

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 9566 8200 F 03 9566 8300
email mel@batesmart.com.au
http://www.batesmart.com.au

Sydney 43 Bradshaw Street
Surry Hills NSW 2010 Australia
T 02 9554 5100 F 02 9554 5199
email syd@batesmart.com.au
http://www.batesmart.com.au

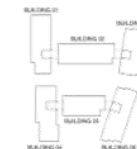
Bates Smart Pty Ltd ABN 70 054 959 400

Attachment 3 - PLN21/0836 & PLN22/0142 - Amended Architectural plans



Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment, and the appointment of any draughtsman or the fabrication of any components.
Do not scale drawings, refer to figured dimensions only. Any discrepancies shall necessarily be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from RSR.

KEY PLAN:



LEGEND - KEY PLAN

- Studio Apartment
- 1 Bedroom Apartment
- 2 Bedroom Apartment
- Resident Amenities
- Resident Balcones & Terrace
- Building Services / Plant
- Title Boundary
- Horizontal Bicycle Spaces
- Vertical Bicycle Spaces

Apartment Naming logic as per below:
X.YY.ZZZ
X = Building Number
YY = Level
ZZZ = Apartment Number

1	14	15	16	17	18
2	16	17	18	19	20
3	18	19	20	21	22

RSR
Riverside Boulevard

Key Plan
Level 06



Status	TOWN PLANNING	
Scale	1 : 300 @ A1	1 : 600 @ A3
Drawn	PG	Checked: AA
Project No.	M12380	
Plot Date	30/06/2022 3:34:16 PM	
GM		
Drawing No.	Revision	
TP03.06	B	

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 9556 8200 F 03 9556 8300
email mel@batesmart.com.au
http://www.batesmart.com.au

Sydney 43 Bradshaw Street
Surry Hills NSW 2010 Australia
T 02 9554 5100 F 02 9554 5199
email syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 054 959 400

Attachment 3 - PLN21/0836 & PLN22/0142 - Amended Architectural plans



Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment, and the appointment of any draughtsman or the fabrication of any components.
Do not scale drawings, refer to figured dimensions only. Any discrepancies shall necessarily be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from RSR PLANNING.

KEY PLAN:



LEGEND - KEY PLAN

- Studio Apartment
- 1 Bedroom Apartment
- 2 Bedroom Apartment
- Resident Amenities
- Resident Balcones & Terrace
- Building Services / Plant
- Title Boundary
- Horizontal Bicycle Spaces
- Vertical Bicycle Spaces

Apartment Naming logic as per below:
X.YY.ZZZ
X - Building Number
YY - Level
ZZZ - Apartment Number

1:14	14.03.22	TOWN PLANNING	BY	RS
2:08	08.11.21	TOWN PLANNING	BY	RS
Rev	Date	Description	Author	Checked

RSR
Riverside Boulevard

Key Plan
Level 07



Status	TOWN PLANNING			
Scale	As Indicated A1			
Drawn	Author	Checked	Checker	
Project No.	M12380			
Plot Date	30/06/2022 3:34:25 PM			
BIM				
Drawing No.	Revision			
TP03.07	B			

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 9554 8200 F 03 9554 8300
email mel@batesmart.com.au
http://www.batesmart.com.au

Sydney 43 Brisbane Street
Sydney NSW 2010 Australia
T 02 9554 5100 F 02 9554 5199
email syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 054 959 400



Attachment 3 - PLN21/0836 & PLN22/0142 - Amended Architectural plans

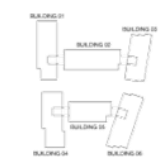


Attachment 3 - PLN21/0836 & PLN22/0142 - Amended Architectural plans



Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and the fabrication of any components.
Do not scale drawings, refer to figured dimensions only. Any discrepancies shall ultimately be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from RSL UP/0163.

KEY PLAN:



LEGEND - KEY PLAN

- Studio Apartment
- 1 Bedroom Apartment
- 2 Bedroom Apartment
- Resident Amenities
- Resident Balcones & Terrace
- Building Services / Plant
- Tile Boundary
- Horizontal Bicycle Spaces
- Vertical Bicycle Spaces

Apartment Naming logic: as per below:
X YY ZZZ
X = Building Number
YY = Level
ZZZ = Apartment Number

A	14.10.22	TOWN PLANNING	BY	08
Rev	Date	Description	By	Checked

RSR
Riverside Boulevard

Key Plan
Roof

Status	TOWN PLANNING		
Scale	As indicated A1		
Drawn	Author	Checked	Checker
Project No.	M12380		
Plot Date	30/08/2022 3:24:16 PM		
BM			
Drawing No.	Revision		
TP03.09	A		

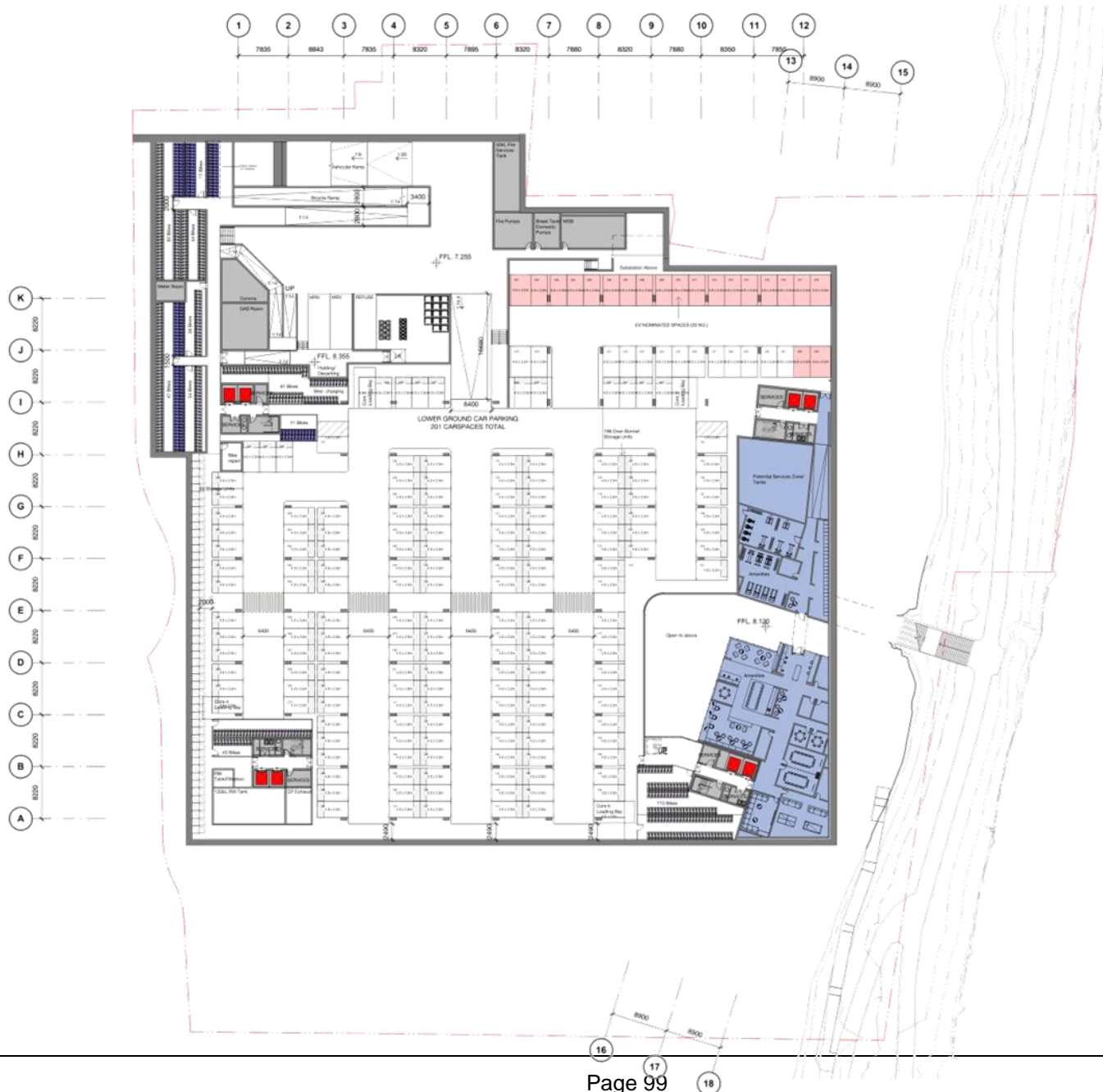
Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 9584 8200 F 03 9584 8300
email mel@bates-smart.com.au
http://www.bates-smart.com.au

Sydney 43 Brisbane Street
Sydney NSW 2010 Australia
T 02 9554 5100 F 02 9554 5199
email syd@bates-smart.com.au
http://www.bates-smart.com.au

Bates Smart Pty Ltd ABN 70 004 959 400



Attachment 3 - PLN21/0836 & PLN22/0142 - Amended Architectural plans



Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment, and the appointment of other draughtsmen or the fabrication of any components.
Do not scale drawings: refer to figured dimensions only. Any discrepancies shall necessarily be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from the architect.

LEGEND - KEY PLAN

- Studio Apartment
- 1 Bedroom Apartment
- 2 Bedroom Apartment
- Resident Amenities
- Resident Balconies & Terrace
- Building Services / Plant
- Title Boundary
- Horizontal Bicycle Spaces
- Vertical Bicycle Spaces

1:14 03/22 TOWN PLANNING
1:15 06/11/22 TOWN PLANNING
Date: Section: Author: Checked:

RSR
Riverside Boulevard

Key Plan
Basement 01



Status:	TOWN PLANNING
Scale:	1:300 @ A1
Drawn:	PG
Checked:	AA
Project No.:	M12380
Plot Date:	30/06/2022 3:29:04 PM
GM:	
Drawing No.:	Revision
TP03.B01	B

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 9556 8200 F 03 9556 8300
email mel@batesmart.com.au
http://www.batesmart.com.au

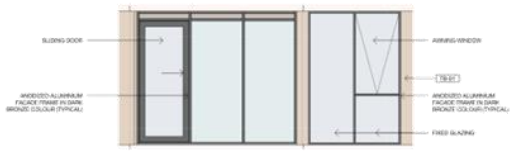
Sydney 43 Bradburn Street
Surry Hills NSW 2010 Australia
T 02 9554 5100 F 02 9554 5199
email syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 054 959 402

Attachment 3 - PLN21/0836 & PLN22/0142 - Amended Architectural plans



W Elevation - West
1:350



3 Elevation - West Operable Window 01
1:50



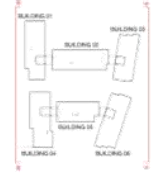
E Elevation - East
1:300



4 Elevation - East Operable Window 01
1:50

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment, and the appointment of other drawings and the fabrication of any components.
Do not scale drawings, refer to figured dimensions only. Any discrepancies shall necessarily be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from the author.

KEY PLAN:



FAÇADE LEGEND:

- PF-01 Paint Finish
- PC-01 Precast Concrete Panel (Light Finish)
- RC-01 Masonry Paint Finish (Warm Colour)
- RC-02 Masonry Paint Finish (Light Colour)
- RC-03 Masonry Paint Finish (Red/Light Colour)
- GL-01 Clear Glazing
- LW-01 Plant Screen Dark Metal Louvre
- TS-01 Pin-Clad Panel on Inner Louvre Form Liner
- TC-01 Aluminium Cladding (Warm Tan Colour)
- TTC-01 Textured Masonry Cladding
- BAL-01 Dark Metal Balustrade
- BAL-02 Textured Masonry (To Match TTC-01)
- BAL-03 Clear Glass with Dark Metal Frame
- BAL-04 Concrete Side / Clear Glass Front
- BAL-05 Textured Masonry Cladding At Bottom With Clear Glazing on Top

Rev	Date	Description	By	Chk'd

RSR
Riverside Boulevard
External Elevations
Elevations East - West

Status	TOWN PLANNING
Scale	1:250 @ A1 1:500 @ A3
Drawn	PG
Checked	AA
Project No.	M12380
Plot Date	30/09/2022 3:29:28 PM
Client	
Drawing No.	Revision
TP09.00	A

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 9584 8200 F 03 9584 8200
email mel@bates-smart.com.au
http://www.bates-smart.com.au

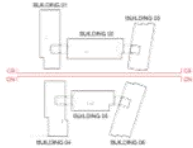
Sydney 43 Bradmore Street
Surry Hills NSW 2010 Australia
T 02 9554 5100 F 02 9554 5199
email syd@bates-smart.com.au
http://www.bates-smart.com.au

Bates Smart Pty Ltd ABN 70 004 999 400

Attachment 3 - PLN21/0836 & PLN22/0142 - Amended Architectural plans

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the appointment of other draughting and/or the fabrication of any components.
Do not scale drawings - refer to figured dimensions only. Any discrepancies shall necessarily be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from RSR.

KEY PLAN:



FAÇADE LEGEND:

- PF-01 Paint Finish
- PC-01 Precast Concrete Panel (Light Colour)
- RC-01 Masonry Paint Finish (Warm Colour)
- RC-02 Masonry Paint Finish (Light Colour)
- RC-03 Masonry Paint Finish (Redwood Light Colour)
- GL-01 Clear Glazing
- LV-01 Plant Screen Dark Metal Louvre
- TS-01 Pin-Card Panel or Inner Louvre Form liner
- TC-01 Aluminium Cladding (Warm Tan Colour)
- TPC-01 Textured Masonry Cladding
- BAL-01 Dark Metal Balustrade
- BAL-02 Textured Masonry (To Match TPC-01)
- BAL-03 Clear Glass with Dark Metal Frame
- BAL-04 Concrete Side / Clear Glass Front
- BAL-05 Textured Masonry Cladding At Bottom With Clear Glazing on Top

A 08/11/21 TOWN PLANNING
Rev Date Revision
1/1/21 1/1/21 1/1/21

RSR
Riverside Boulevard

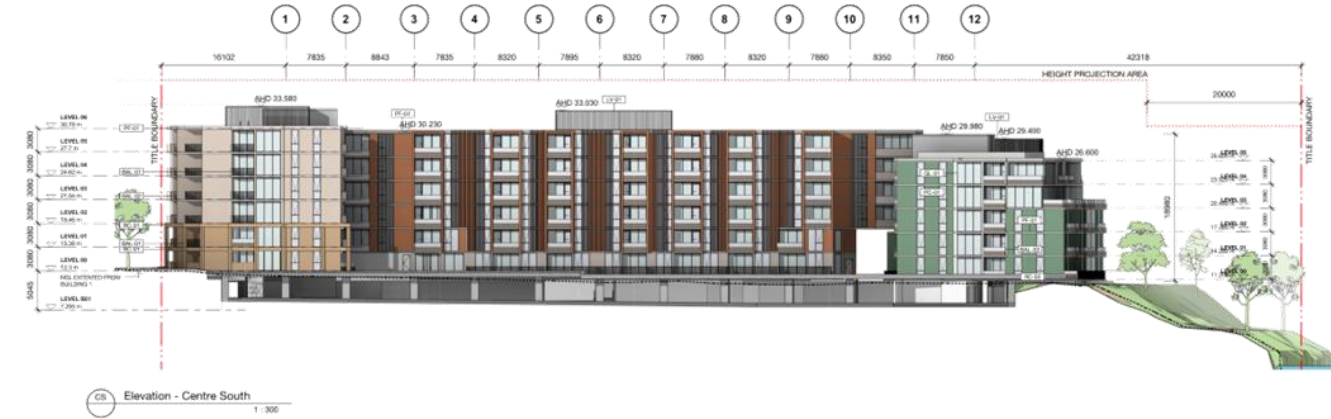
External Elevations
Elevations Central North - South

Status	TOWN PLANNING
Scale	1 : 250 @ A1 1 : 500 @ A3
Drawn	PG Checked AA
Project No.	M12380
Plot Date	30/09/2021 3:38:12 PM
DM	
Drawing No.	Revision
TP09.03	A

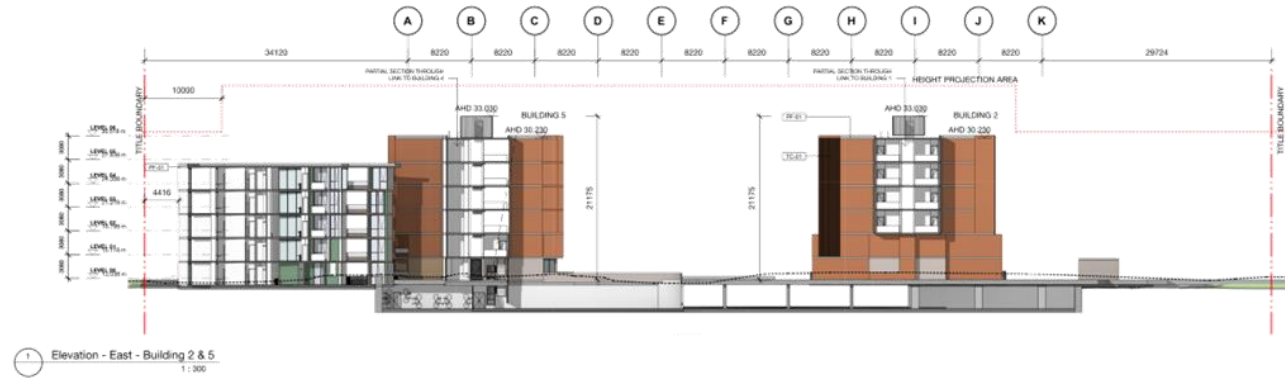
Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 9584 8200 F 03 9584 8300
email mel@bates-smart.com.au
http://www.bates-smart.com.au

Sydney 43 Bradmore Street
Sydney NSW 2010 Australia
T 151 9554 5100 F 02 9554 5199
email syd@bates-smart.com.au
http://www.bates-smart.com.au

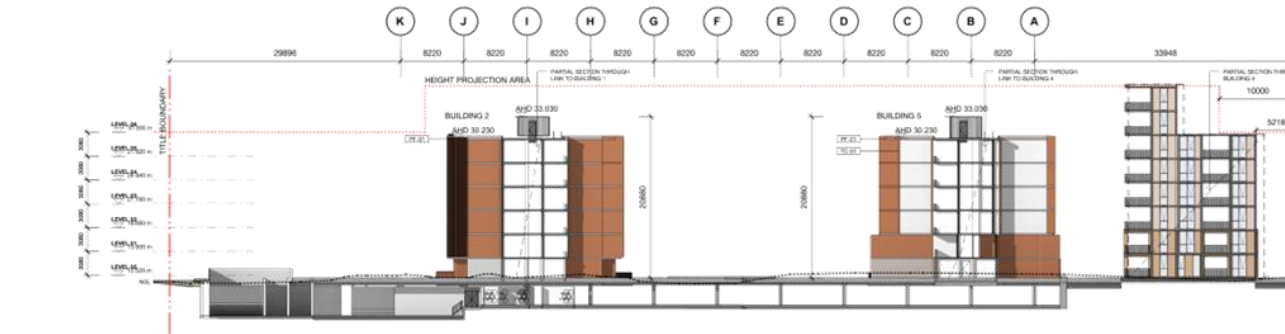
Bates Smart Pty Ltd ABN 70 054 999 400



Attachment 3 - PLN21/0836 & PLN22/0142 - Amended Architectural plans



1 Elevation - East - Building 2 & 5
1 : 300



w Elevation - West - Building 2 & 5
1 : 300

14/12/22 14:27:44 R:\ARCH\2022\PLN220142.dwg

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and/or the fabrication of any components.
Do not scale drawings - refer to figured dimensions only. Any discrepancies shall necessarily be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from RSR.

KEY PLAN:



FAÇADE LEGEND:

- PF-01 Paint Finish
- PC-01 Precast Concrete Panel (Light Colour)
- RC-01 Masonry Paint Finish (Warm Colour)
- RC-02 Masonry Paint Finish (Light Colour)
- RC-03 Masonry Paint Finish (Red/Light Colour)
- GL-01 Clear Glazing
- LV-01 Plant Screen Dark Metal Louvre
- TS-01 Pin-Card Panel or Inner Louvre Form Liner
- TC-01 Aluminium Cladding (Warm Tan Colour)
- TPC-01 Textured Masonry Cladding
- BAL-01 Dark Metal Balustrade
- BAL-02 Textured Masonry (To Match TPC-01)
- BAL-03 Clear Glass with Dark Metal Frame
- BAL-04 Concrete Side / Clear Glass Front
- BAL-05 Textured Masonry Cladding At Bottom With Clear Glazing on Top

A 14/12/22 TOWN PLANNING
Rev Date Revision
1 14/12/22 14:27:44 RSR

RSR
Riverside Boulevard

External Elevations
Elevations East - West - Building 2 & 5

Status	TOWN PLANNING
Scale	1 : 300 @ A1
Drawn	KS @ AD
Checked	AA
Project No.	M12380
Plot Date	30/09/2022 3:38:23 PM
DRM	
Drawing No.	Revision
TP09.04	A

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 9554 8200 F 03 9554 8200
email mel@bates-smart.com.au
http://www.bates-smart.com.au

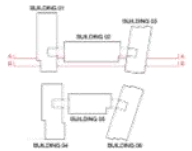
Sydney 43 Bradmore Street
Sydney NSW 2010 Australia
T 02 9554 5100 F 02 9554 5199
email syd@bates-smart.com.au
http://www.bates-smart.com.au

Bates Smart Pty Ltd ABN 70 054 959 400

Attachment 3 - PLN21/0836 & PLN22/0142 - Amended Architectural plans

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment, and the appointment of any draughtsman or the fabrication of any components.
Do not scale drawings - refer to figured dimensions only. Any discrepancies shall necessarily be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from RSR.

KEY PLAN:



LEGEND - KEY PLAN

- Studio Apartment
- 1 Bedroom Apartment
- 2 Bedroom Apartment
- Resident Amenities
- Resident Balcones & Terrace
- Building Services / Plant
- Title Boundary
- Horizontal Bicycle Spaces
- Vertical Bicycle Spaces



A Section BLD1-3
1:250



B Section BLD1-3 (Lightwell)
1:250

A	08/11/21	TOWN PLANNING	11	09
Rev	Date	Description	By	Checked

RSR
Riverside Boulevard
Building Sections
Sections East - West 1/2/3

Status	TOWN PLANNING
Scale	1:250 @ A1 1:500 @ A3
Drawn	PG
Checked	AA
Project No.	M12380
Plot Date	30/09/2021 3:38:02 PM
BM	
Drawing No.	Revision
TP10.00	A

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 9586 8200 F 03 9586 8300
email mel@batesmart.com.au
http://www.batesmart.com.au

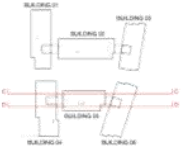
Sydney 43 Bradshaw Street
Surry Hills NSW 2010 Australia
T 02 9554 5100 F 02 9554 5199
email syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 054 999 400

Attachment 3 - PLN21/0836 & PLN22/0142 - Amended Architectural plans

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment, and the appointment of other design and or fabrication of any components.
Do not scale drawings - refer to figured dimensions only. Any discrepancies shall necessarily be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from the UP/DCP.

KEY PLAN:



LEGEND - KEY PLAN

- Studio Apartment
- 1 Bedroom Apartment
- 2 Bedroom Apartment
- Resident Amenities
- Resident Balcones & Terrace
- Building Services / Plant
- Title Boundary
- Horizontal Bicycle Spaces
- Vertical Bicycle Spaces



Section BLD4-6 (Lightwell) 1: 250



Section BLD4-6 1: 250

A	08/11/21	TOWN PLANNING	11	08
Rev	Date	Description	By	Checked

RSR
Riverside Boulevard

Building Sections
Sections East - West 4/5/6

Status	TOWN PLANNING
Scale	1 : 250 @ A1 1 : 500 @ A3
Drawn	PG
Checked	AA
Project No.	M12380
Plot Date	30/06/2021 3:38:13 PM
BM	
Drawing No.	Revision
TP10.01	A

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 9584 8200 F 03 9584 8200
email mel@bates-smart.com.au
http://www.bates-smart.com.au

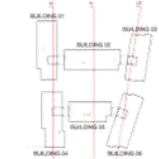
Sydney 43 Brisbane Street
Sydney NSW 2010 Australia
T 02 9554 5100 F 02 9554 5199
email syd@bates-smart.com.au
http://www.bates-smart.com.au

Bates Smart Pty Ltd ABN 70 054 959 400

Attachment 3 - PLN21/0836 & PLN22/0142 - Amended Architectural plans

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment, and the appointment of any tradespeople and/or the fabrication of any components.
Do not scale drawings, refer to figured dimensions only. Any discrepancies shall ultimately be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from RSR PROJECTS.

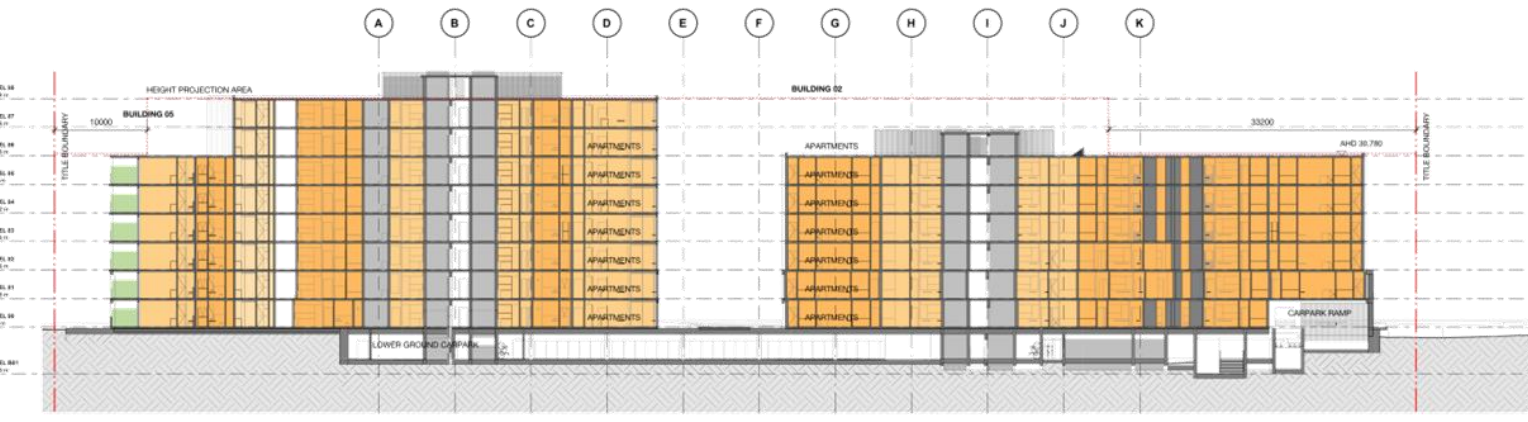
KEY PLAN:



LEGEND - KEY PLAN

- Studio Apartment
- 1 Bedroom Apartment
- 2 Bedroom Apartment
- Resident Amenities
- Resident Balconies & Terrace
- Building Services / Plant
- Title Boundary
- Horizontal Bicycle Spaces
- Vertical Bicycle Spaces

Author	DR TOUL	Town Planning	Rev	05
Date	12/01/2024	Section	Key Plan	Checked



C Section BLD 1-4 (East-West)
1:250



E Section BLD 1-4 (East-West)
1:250



F Section BLD 2-5 (North-South)
1:250

RSR
Riverside Boulevard

Building Sections
Sections North - South

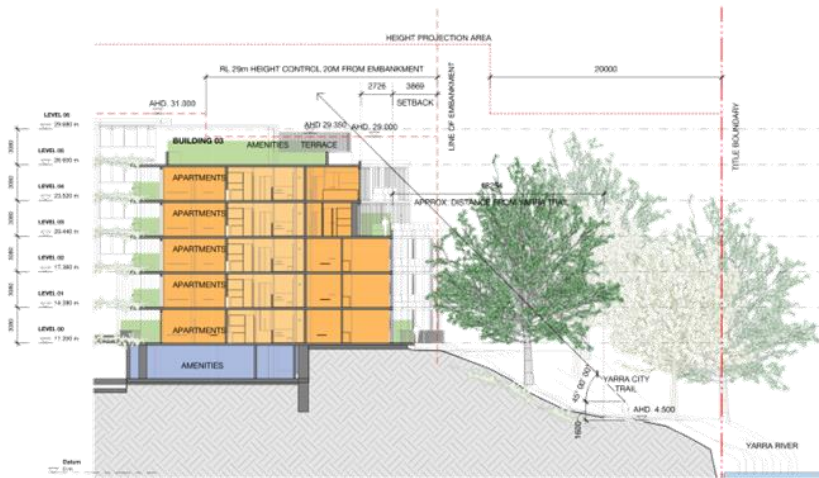
Status	TOWN PLANNING
Scale	1:250 @ A1 1:500 @ A3
Drawn	PG
Checked	AA
Project No.	M12360
Plot Date	30/06/2022 3:58:04 PM
DM	
Drawing No.	Revision
TP10.02	A

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 8566 8200 F 03 8566 8300
email mel@bates-smart.com.au
http://www.bates-smart.com.au

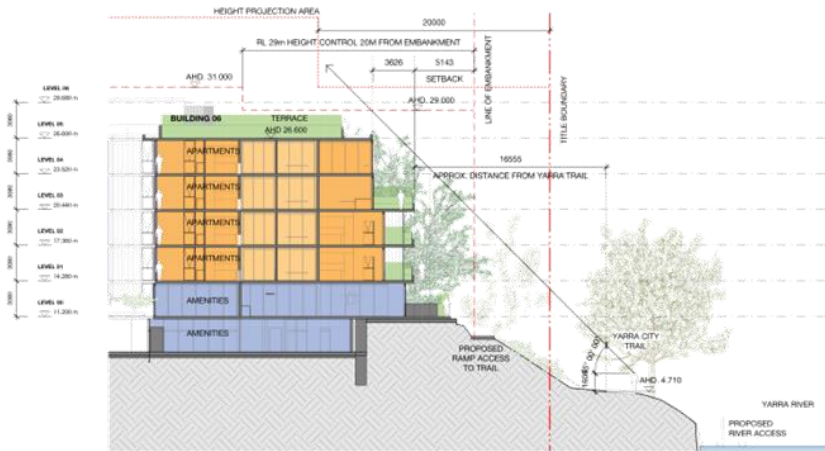
Sydney 43 Bradshaw Street
Surry Hills NSW 2010 Australia
T 02 8554 5100 F 02 8554 5199
email syd@bates-smart.com.au
http://www.bates-smart.com.au

Bates Smart Pty Ltd ABN 70 054 989 400

Attachment 3 - PLN21/0836 & PLN22/0142 - Amended Architectural plans



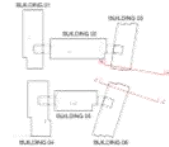
H Section Yarra Trail (Bld 3) 1:200



J Section Yarra Trail (Bld 6) 1:200

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment, and the appointment of other drawings and/or the fabrication of any components.
Do not scale drawings - refer to figured dimensions only. Any discrepancies shall necessarily be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from RSL UP/1010.

KEY PLAN:



LEGEND - KEY PLAN

- Studio Apartment
- 1 Bedroom Apartment
- 2 Bedroom Apartment
- Resident Amenities
- Resident Balconies & Terrace
- Building Services / Plant
- Title Boundary
- Horizontal Bicycle Spaces
- Vertical Bicycle Spaces

A	08/10/21	TOWN PLANNING	AL	08
Rev	Date	Revision	Drawn	Checked

RSR
Riverside Boulevard

Building Sections
Capital City Trail Sections

Status	TOWN PLANNING			
Scale	1:200	@ A1	1:400	@ A3
Drawn	PG	Checked	AA	
Project No.	M12380			
Plot Date	30/06/2021 3:40:08 PM			
DM				
Drawing No.	TP10.10		Revision	
			A	

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 9556 8200 F 03 9556 8300
email mel@batesmart.com.au
http://www.batesmart.com.au

Sydney 43 Bradshaw Street
Surry Hills NSW 2010 Australia
T 02 9554 5100 F 02 9554 5199
email syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 054 959 400

Attachment 3 - PLN21/0836 & PLN22/0142 - Amended Architectural plans

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment, and the appointment of any draughts- men or the fabrication of any components.
Do not scale drawings - refer to figured dimensions only. Any discrepancies shall necessarily be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from RSR/RSR/RSR.

KEY PLAN:



LEGEND - KEY PLAN

- Studio Apartment
- 1 Bedroom Apartment
- 2 Bedroom Apartment
- Resident Amenities
- Resident Balcones & Terrace
- Building Services / Plant
- Title Boundary
- Horizontal Bicycle Spaces
- Vertical Bicycle Spaces

A	DATE	TOWN PLANNING	BY	BY
		Section		Checked

RSR
Riverside Boulevard

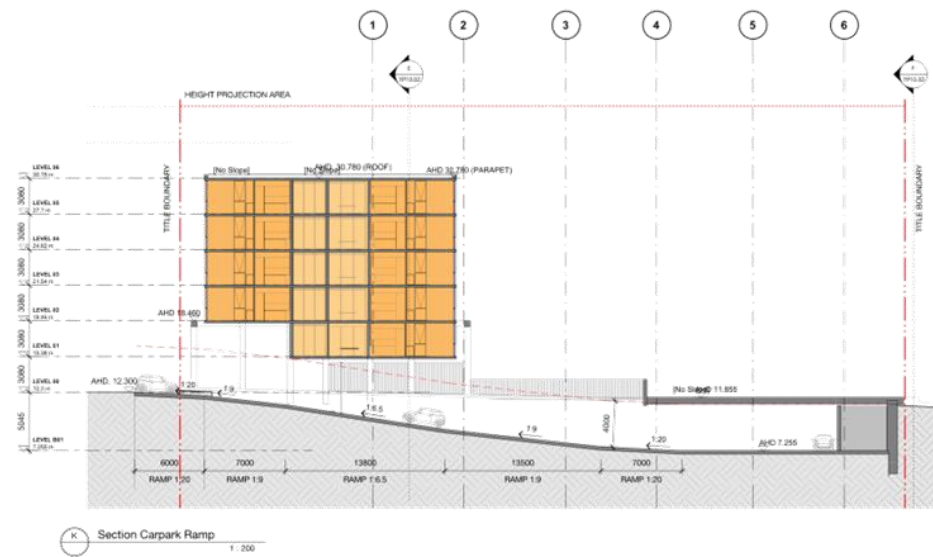
Building Sections
Carpark Ramp Section

Status	TOWN PLANNING		
Scale	1 : 200 @ A1	1 : 400 @ A3	
Drawn	PG	Checked	AA
Project No.	M12380		
Plot Date	30/06/2022 3:40:16 PM		
DM			
Drawing No.	Revision		
	TP10.11	A	

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 9554 8200 F 03 9554 8300
email mel@batesmart.com.au
http://www.batesmart.com.au

Sydney 43 Brisbane Street
Sydney NSW 2010 Australia
T 02 9554 5100 F 02 9554 5199
email syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 054 999 400



K Section Carpark Ramp
1 : 200

Attachment 3 - PLN21/0836 & PLN22/0142 - Amended Architectural plans

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the fabrication of any components.
Do not scale drawings, refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from BSA ARCHITECTS



1 SITE SHADOW PLAN - Proposal - SEPT 22_0900hrs
1 : 500

Rev. Date Description Issue Checked

RSR
Riverside Boulevard

Shadow Analysis
Shadow Analysis - Sept 9am



Status: TOWN PLANNING

Scale: 1 : 500 @ A1

Drawn: FW Checked: AA

Project No: M12380

Plot Date: 30/09/2022 3:41:12 PM

BM:

Drawing No. Revision

TP21.00

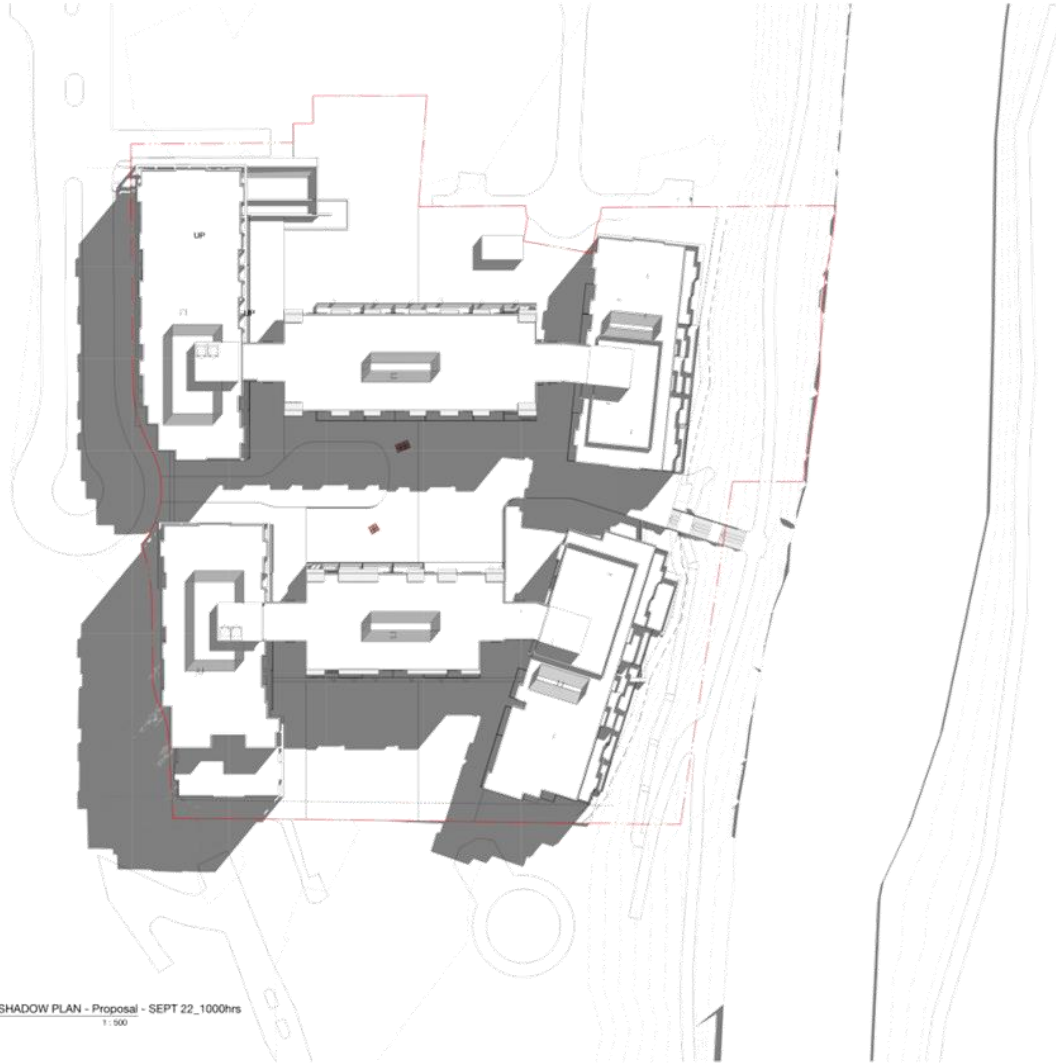
Melbourne: 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 9584 8200 F 03 9584 8300
email mel@batesSMART.com.au
http://www.batesSMART.com.au

Sydney: 43 Brisbane Street
Sydney NSW 2010 Australia
T 02 9554 5100 F 02 9554 5199
email syd@batesSMART.com.au
http://www.batesSMART.com.au

Bates Smart Pty Ltd ABN 70 054 959 400

Attachment 3 - PLN21/0836 & PLN22/0142 - Amended Architectural plans

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment, and the preparation of shop drawings and or the fabrication of any components.
 Do not scale drawings, refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.
 All drawings may not be reproduced or distributed without prior permission from BSA GROUP.



1 SITE SHADOW PLAN - Proposal - SEPT 22_1000hrs
 1:500

No.	Date	Description	Author	Checked

RSR
 Riverside Boulevard

Shadow Analysis
 Shadow Analysis - Sept 10am



Status	TOWN PLANNING		
Scale	1:500	@	A1
Drawn	FW	Checked	AA
Project No.	M12380		
Plot Date	30/09/2022 3:42:01 PM		
BM			
Drawing No.	Revision		
TP21.01			

Melbourne 1 Nicholson Street
 Melbourne VIC 3000 Australia
 T 03 9584 8200 F 03 9584 8300
 email mel@batesSMART.com.au
 http://www.batesSMART.com.au

Sydney 43 Bradshaw Street
 Surry Hills NSW 2010 Australia
 T 02 9554 5100 F 02 9554 5199
 email syd@batesSMART.com.au
 http://www.batesSMART.com.au

Bates Smart Pty Ltd ABN 70 054 959 400

Attachment 3 - PLN21/0836 & PLN22/0142 - Amended Architectural plans

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the fabrication of any components.
 Do not scale drawings, refer to figured dimensions only. Any discrepancies shall ultimately be referred to the architect for clarification.
 All drawings may not be reproduced or distributed without prior permission from the architect.



1 SITE SHADOW PLAN - Proposal - SEPT 22_1100hrs
 1:500

No.	Date	Description	Author	Checked
-----	------	-------------	--------	---------

RSR
 Riverside Boulevard

Shadow Analysis
 Shadow Analysis - Sept 11am



Status	TOWN PLANNING		
Scale	1:500	@	A1
Drawn	FW	Checked	AA
Project No.	M12380		
Plot Date	30/09/2022 3:42:44 PM		
BIM			
Drawing No.	Revision		
	TP21.02		

Melbourne 1 Nicholson Street
 Melbourne VIC 3000 Australia
 T 03 9594 8200 F 03 9594 8300
 email mel@batesmart.com.au
 http://www.batesmart.com.au

Sydney 43 Brisbane Street
 Surry Hills NSW 2010 Australia
 T 02 9554 5100 F 02 9554 5199
 email syd@batesmart.com.au
 http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 004 959 400

Attachment 3 - PLN21/0836 & PLN22/0142 - Amended Architectural plans

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment, and the preparation of shop drawings and or the fabrication of any components.
 Do not scale drawings, refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.
 All drawings may not be reproduced or distributed without prior permission from BSA GROUP.



1 SITE SHADOW PLAN - Proposal - SEPT 22_1200hrs
 1:500

No.	Date	Description	Author	Checked

RSR
 Riverside Boulevard

Shadow Analysis
 Shadow Analysis - Sept 12am



Status	TOWN PLANNING		
Scale	1:500	@	A1
Drawn	FW	Checked	AA
Project No.	M12380		
Plot Date	30/09/2022 3:43:24 PM		
BM			
Drawing No.	Revision		
TP21.03			

Melbourne 1 Nicholson Street
 Melbourne VIC 3000 Australia
 T 03 9556 8200 F 03 9556 8300
 email mel@batesmart.com.au
 http://www.batesmart.com.au

Sydney 43 Brisbane Street
 Surry Hills NSW 2010 Australia
 T 02 9554 5100 F 02 9554 5199
 email syd@batesmart.com.au
 http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 054 959 400

Attachment 3 - PLN21/0836 & PLN22/0142 - Amended Architectural plans

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment, and the preparation of shop drawings and or the fabrication of any components.
Do not scale drawings, refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from BMS/SP/MS.



1 SITE SHADOW PLAN - Proposal - SEPT 22_1300hrs
1:500

Rev. Date Description Issue Checked

RSR
Riverside Boulevard

Shadow Analysis
Shadow Analysis - Sept 1pm



Status	TOWN PLANNING		
Scale	1:500	@	A1
Drawn	FW	Checked	AA
Project No.	M12380		
Plot Date	30/09/2022 3:44:08 PM		
BM			
Drawing No.	Revision		
TP21.04			

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 9584 8200 F 03 9584 8200
email mel@batesmart.com.au
http://www.batesmart.com.au

Sydney 43 Bradmore Street
Sydney NSW 2010 Australia
T 02 9554 5100 F 02 9554 5100
email syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 054 959 402

Attachment 3 - PLN21/0836 & PLN22/0142 - Amended Architectural plans

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the fabrication of any components.
Do not scale drawings, refer to figured dimensions only. Any discrepancies shall necessarily be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from BSA GROUP.



1 SITE SHADOW PLAN - Proposal - SEPT 22_1400hrs
1:500

No. Date Revision Author Checked

RSR
Riverside Boulevard

Shadow Analysis
Shadow Analysis - Sept 2pm



Status: TOWN PLANNING

Scale: 1:500 @ A1

Drawn: FW Checked: AA

Project No: M12380

Plot Date: 30/09/2022 3:44:10 PM

BM:

Drawing No. Revision

TP21.05

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 9584 8200 F 03 9584 8300
email mel@batesmart.com.au
http://www.batesmart.com.au

Sydney 43 Bradshaw Street
Sydney NSW 2010 Australia
T 02 9554 5100 F 02 9554 5199
email syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 054 959 400

Attachment 3 - PLN21/0836 & PLN22/0142 - Amended Architectural plans

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment, and the preparation of shop drawings and or the fabrication of any components.
 Do not scale drawings, refer to figured dimensions only. Any discrepancies shall ultimately be referred to the architect for clarification.
 All drawings may not be reproduced or distributed without prior permission from BMS UP/MS/CS



1 SITE SHADOW PLAN - Proposal - SEPT 22_1500hrs
 1 : 500

Rev. Date Description Author Checked

RSR
 Riverside Boulevard

Shadow Analysis
 Shadow Analysis - Sept 3pm



Status	TOWN PLANNING		
Scale	1 : 500	@	A1
Drawn	FW	Checked	AA
Project No.	M12380		
Plot Date	30/09/2022 3:48:43 PM		
BM			
Drawing No.	Revision		
	TP21.06		

Melbourne 1 Nicholson Street
 Melbourne VIC 3000 Australia
 T 03 9584 8200 F 03 9584 8300
 email mel@batesSMART.com.au
 http://www.batesSMART.com.au

Sydney 43 Brisbane Street
 Surry Hills NSW 2010 Australia
 T 02 9554 5100 F 02 9554 5199
 email syd@batesSMART.com.au
 http://www.batesSMART.com.au

Bates Smart Pty Ltd ABN 70 054 959 402

Attachment 3 - PLN21/0836 & PLN22/0142 - Amended Architectural plans

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the appointment of shop drawings and the fabrication of any components.
Do not scale drawings, refer to figured dimensions only. Any discrepancies shall necessarily be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from BMS UP/2016.

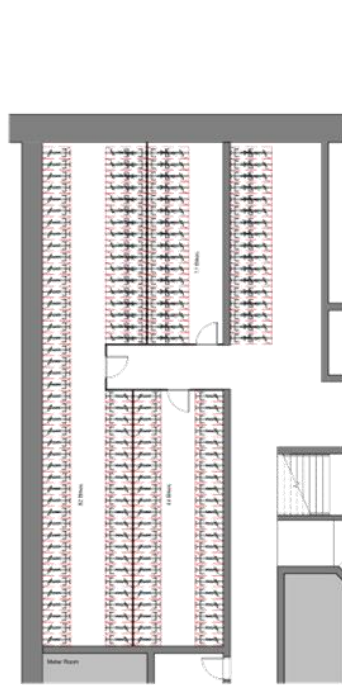


A	14.10.22	TOWN PLANNING	BY	09
Rev	Date	Description	Issue	Checked

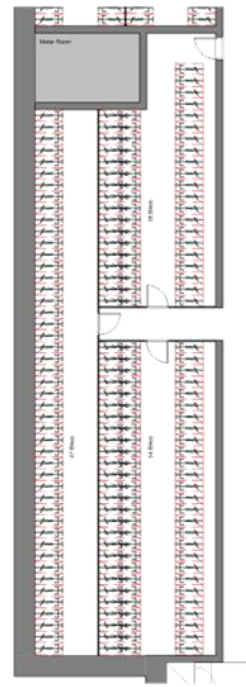
RSR
Riverside Boulevard

Bike Parking

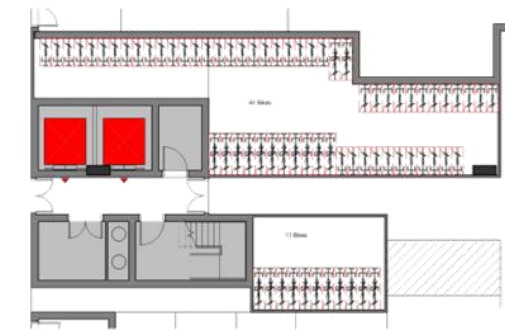
Status	TOWN PLANNING		
Scale	As Indicated A1		
Drawn	Author	Checked	Checker
Project No.	M12380		
Plot Date	30/09/2022 3:48:01 PM		
BIM			
Drawing No.	Revision		
TP-RFI_3b	A		
Melbourne	1 Nicholson Street Melbourne VIC 3000 Australia T 03 9584 8200 F 03 9584 8200 email mel@batesmart.com.au http://www.batesmart.com.au	Sydney	43 Bradshaw Street Surry Hills NSW 2010 Australia T 02 9554 5100 F 02 9554 5100 email syd@batesmart.com.au http://www.batesmart.com.au
Bates Smart Pty Ltd ABN 70 004 999 400			



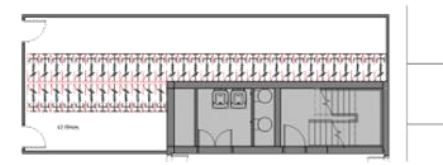
1 Bike Parking Zone 1 1:100



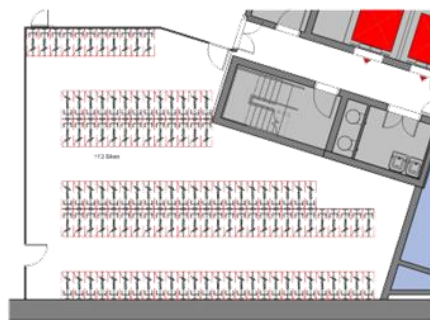
2 Bike Parking Zone 2 1:100



3 Bike Parking Zone 3 1:100

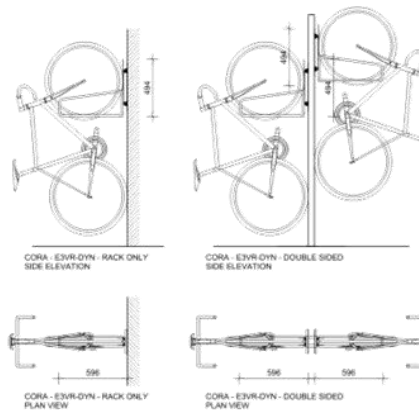


4 Bike Parking Zone 4 1:100



5 Bike Parking Zone 5 1:100

Bike Parking Zone 1:	160 spaces
Bike Parking Zone 2:	139 spaces
Bike Parking Zone 3:	72 spaces
Bike Parking Zone 4:	43 spaces
Bike Parking Zone 5:	113 spaces
Total Bike Parking:	527 spaces

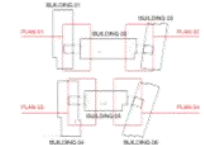


5 Bike Rack Details 1:20

Attachment 3 - PLN21/0836 & PLN22/0142 - Amended Architectural plans

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the appointment of any draughts men or the fabrication of any components.
Do not scale drawings, refer to figured dimensions only. Any discrepancies shall necessarily be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from RSR.

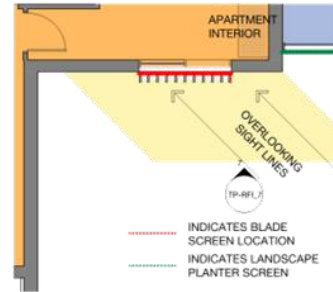
KEY PLAN:



1 Buildings 01-02 Overlooking Plan
Plan
1:300



2 Buildings 02-03 Overlooking Plan
Plan
1:300



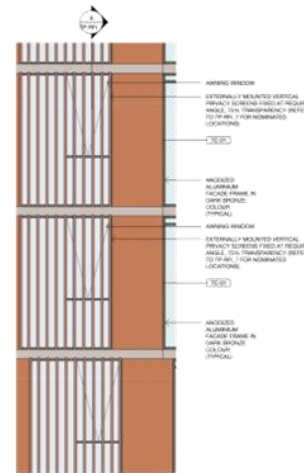
5 TYPICAL OVERLOOKING PLAN
1:30



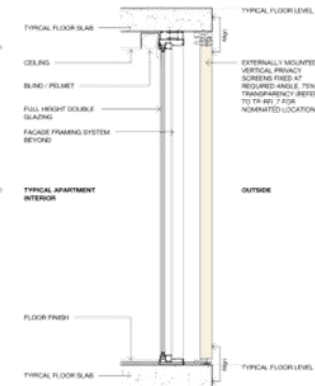
3 Buildings 04-05 Overlooking Plan
Plan
1:300



4 Buildings 05-06 Overlooking Plan
Plan
1:300



7 Elevation - Overlooking
1:50



8 TYPICAL PRIVACY SCREEN SECTION
1:20

A	14.02.22	TOWN PLANNING	14	09
Rev	Date	Section	Sheet	Checked

RSR
Riverside Boulevard

Diagrams
Overlooking Analysis

Status	TOWN PLANNING
Scale	1:200 @ A1 1:400 @ A3
Drawn	PG
Checked	AA
Project No.	M12380
Plot Date	30/06/2022 3:48:08 PM
Client	
Drawing No.	TP-RFI_7
Revision	A

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 9584 8200 F 03 9584 8300
email mel@bates-smart.com.au
http://www.bates-smart.com.au

Sydney 43 Brisbane Street
Sydney NSW 2010 Australia
T 02 9554 5100 F 02 9554 5199
email syd@bates-smart.com.au
http://www.bates-smart.com.au

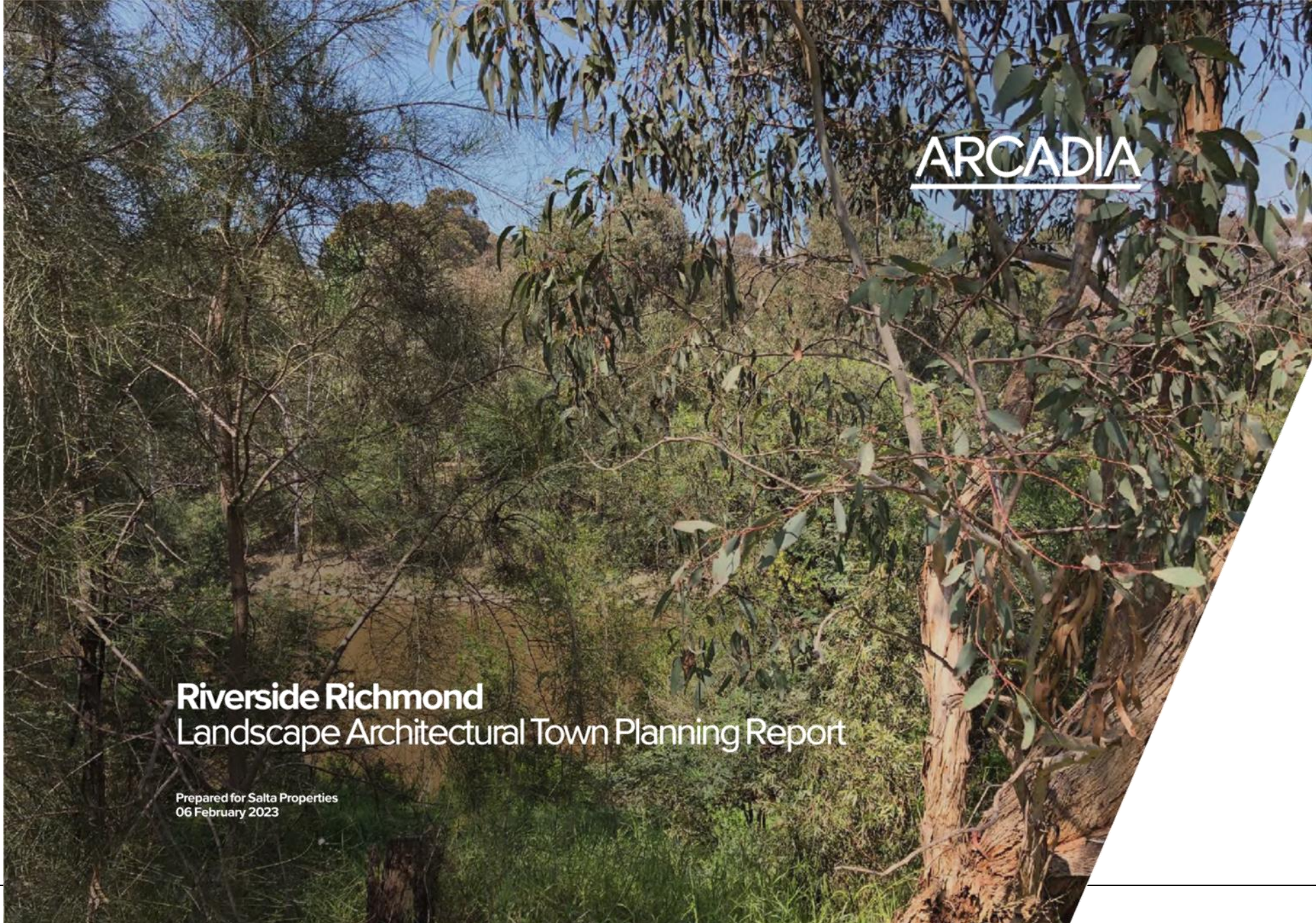
Bates Smart Pty Ltd ABN 70 024 999 402

Attachment 4 - PLN21/0836 - Amended Landscape plans

ARCADIA

Riverside Richmond
Landscape Architectural Town Planning Report

Prepared for Salta Properties
06 February 2023



Attachment 4 - PLN21/0836 - Amended Landscape plans

ARCADIA

Issue F
Date 06/02/2023
Prepared By
Nelson Gomes, Principal

Arcadia Melbourne
Level 22, 459 Collins Street
Melbourne VIC 3000
P 03 9491 7300
E melbourne@arcadia.com.au
arcadia.com.au
@arcadialandarch
Arcadia Landscape Architecture Pty Ltd
ABN 83 148 994 870

We respectfully acknowledge the Traditional Custodians of the lands where we live and work. We acknowledge their unique ability to care for Country and deep spiritual connection to it. We honour Elders past, present and emerging whose knowledge and wisdom has and will ensure the continuation of cultures and traditional practices.

Attachment 4 - PLN21/0836 - Amended Landscape plans

Table of Contents

01	02	03	04	05
	Site Context and Appreciation	Vision	Landscape Concept	Landscape Diagrams
	Local Context 06	Project Vision 15	Ground Level 20	Tree Retention and Removal Plan 45
	Broader Context 07	Design Pillars 16	Lower Ground Level 36	Tree Retention and Removal Schedule 47
	Strategic Ambitions 08	Landscape Narrative 17	Level 5 Rooftops 40	Proposed Tree Diagram 49
	Connection to Wurundjeri Woi Wurrung Country 10			Proposed Planting Plan 51
	Wurundjeri Culture & Heritage 11			Proposed Plant Schedule 53
	Historical Timeline 12			Proposed Plant Palette 55
	Site Analysis 13			Canopy Coverage 58
	Key Views 14			Private, Public and Communal Spaces 59
				Universal Access / Path Network 61
				Fencing 62
				Wayfinding 63
				Materials Palette 64
				Landscape Maintenance 65
				Typical Landscape Details 66

Note: Clouded content has been revised for RFI Revision issue F 06/02/2023.

Attachment 4 - PLN21/0836 - Amended Landscape plans

Introduction

Arcadia Landscape Architecture has been engaged by Salta Properties to prepare this Landscape Architectural Concept Report to support the Town Planning Application of the proposed residential development located along River Boulevard, Richmond.

This Town Planning Report presents the landscape architectural vision and design strategy for the development, comprising of communal and public spaces across multiple levels, and interface with the adjacent Yarra River corridor.



Attachment 4 - PLN21/0836 - Amended Landscape plans



Attachment 4 - PLN21/0836 - Amended Landscape plans

Site Context and Appreciation

Local Context

The development site is located along River Boulevard, in the north east corner of Richmond and is bounded between undeveloped vacant lots of the Victoria Gardens Precinct to the west, existing residential apartment blocks to the north, Annette's Place Playground and open park to the south and the Yarra River Corridor to the east.

The Yarra River is a significant natural, cultural and recreational corridor within Melbourne and the Yarra River Trail cycle and pedestrian path provides the site connectivity to the north and south. The corridor is densely vegetated with a strong native bushland character.

Annette's Place provides an open park for local residents, containing a playground and picnic amenities.

The broader area is undergoing significant redevelopment, transitioning in built form character from industrial warehouses to residential developments.

The site is located in close proximity to the retail and dining precincts of Victoria Street and Bridge Road, both of which are services by tram lines.

Legend

- 01 Project Site
- 02 Victoria Gardens Shopping Centre
- 03 Yarra River Corridor
- 04 Annette's Place Playground
- 05 Surrounding Medium Density Residential



Site Context Map

Attachment 4 - PLN21/0836 - Amended Landscape plans

Site Context and Appreciation Strategic Ambitions

The following strategic documents provide directions and guidance for the design considerations of Riverside Residential:

Plan Melbourne 2030

The Plan recognises the need to continue to protect Melbourne's open space waterway corridors from inappropriate development to ensure that these significant values provided to Melbourne and its residents are maintained and enhanced over time. (Initiatives 4.2.4, 5.2.2 and 5.6.2).

City of Yarra Nature Strategy 2020 - 2024

Yarra's Nature Strategy 2020 to 2024 was developed to protect our unique biodiversity. The Nature strategy action plan has four strategic goals, each with its own key actions.

- Goal 1: Increase the diversity, connectivity and resilience of Yarra's natural environment
- Goal 2: Encourage people to appreciate and actively enhance Yarra's natural landscape
- Goal 3: Embed nature at the core of Yarra's business practices
- Goal 4: Make innovation, communication and collaboration the cornerstones of Yarra's nature-focused programs

City of Yarra Urban Forest Strategy 2017

The aim of the Urban Forest Strategy is to provide establish the vision, objectives and action plan for Yarra City Council's urban forest. Relative to this project, Yarra has established a target to increase canopy coverage by 25% from 2014 levels by 2040.

Lower Yarra River Corridor Study Recommendations Report November 2016

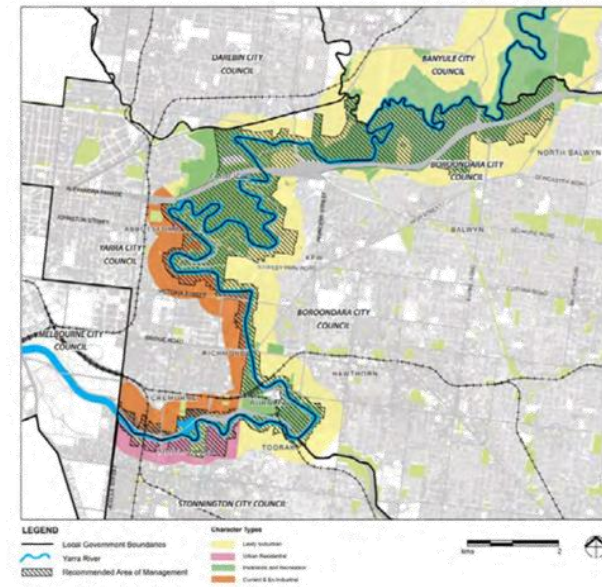
This report outlines the significance of the Yarra River through the following statement:

"The Yarra River and the landscape through which it passes have metropolitan significance as an environmental, aesthetic, cultural, recreation and tourism asset. The river corridor links parklands and reserves into a near-continuous vegetated landscape experience that provides a highly valued, secluded, natural environment, enjoyed by local and metropolitan communities."

Landscape character and amenity is categorised along the river into 5 main river interface character types. The Riverside Residential site falls within the 'Current and Ex-Industrial' River Interface Character Area. Key features of the Current and Ex-Industrial river interface character type include:

- Established industrial, commercial and residential buildings, mostly located on the crestline of the Yarra River corridor.
- Mature trees and understorey planting along the river banks in many locations which contribute to a vegetated character and compliment Yarra Bend Park on the opposite banks.
- Mix of building styles, scales and heights, including many higher scale buildings constructed close to the river's edge.
- Land rising steeply from the river's edge to flat topography beyond.

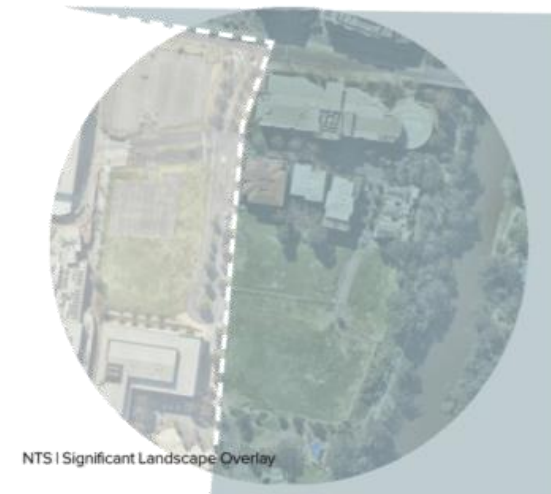
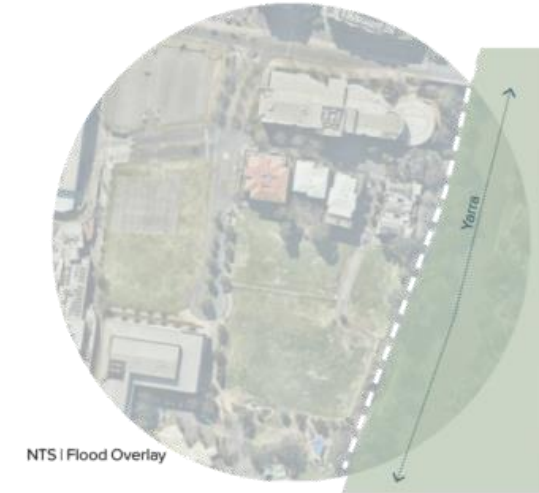
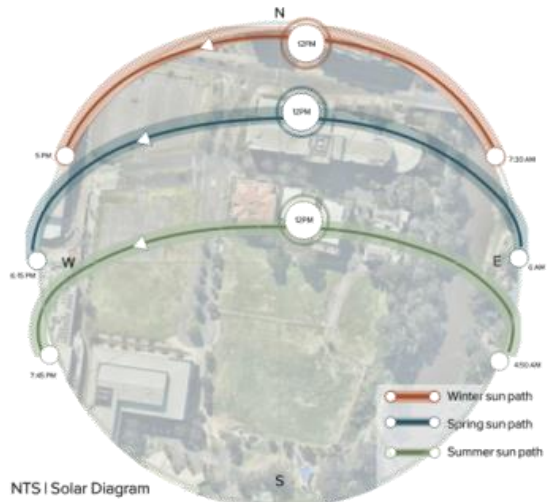
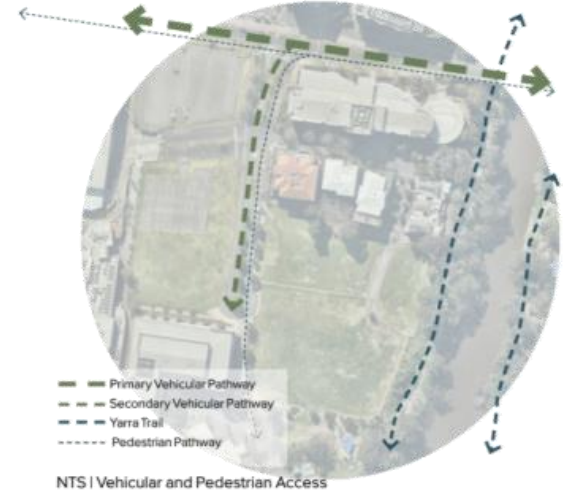
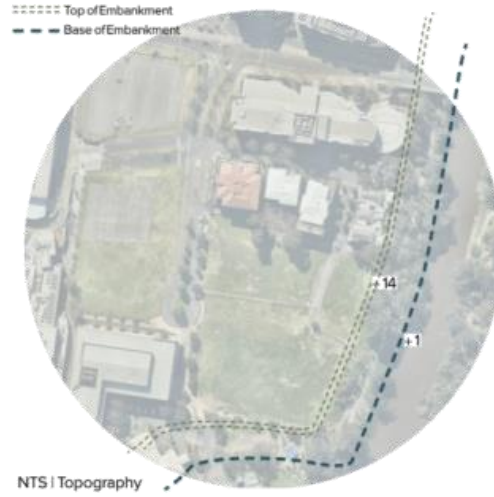
- Capital City Trail providing access along the river's edge, with a mix of public and private access to the river.
- Examples of significant human alterations to the river bank environment where large retaining walls have been constructed. In several locations there is a notable absence of vegetation at the river frontage.



Attachment 4 - PLN21/0836 - Amended Landscape plans

Site Context and Appreciation Environment

Site analysis has been undertaken and considered in the design development of Riverside Richmond landscape proposal.



Attachment 4 - PLN21/0836 - Amended Landscape plans

Site Context and Appreciation Connection to Wurundjeri Woi Wurrung Country

Wominjeka yearmann koondee biik Wurundjeri balluk

Welcome to the land of the Wurundjeri people (Woi-Wurrung language).

*Woiwurrungbaluk ba Birrarung wanganyinu biikpil Yarrayrapil, manyi biik ba Birrarung, ganbu marram-nganyinu
Manyi Birrarung murrondjak, durrung ba murrup warrongguny, ngargunin twarnpil
Birrarungwa nhanbu wilamnganyinu
Nhanbu ngarn ganhanganyinu manyi Birrarung
Bunjil munggangy biik, wurru-wurru, warriny ba yaluk, ba ngargunin twarn
Biiku kuliny munggangy Bunjil
Waa marrnakith-nganyin
Balliyang, barnumbinyu Bundjilal, banyu bagurk munggangy
Ngarn gunganyinu nhanbu nyilam biik, nyilam kuliny – balit biik, balit kuliny:
balitmanhanganyin manyi biik ba Birrarung.
Balitmanhanganyin durrungu ba murrupu, ba nhanbu murrondjak!*

We, the Woi-wurrung, the First People, and the Birrarung, belong to this Country. This Country, and the Birrarung are part of us. The Birrarung is alive, has a heart, a spirit and is part of our Dreaming. We have lived with and known the Birrarung since the beginning. We will always know the Birrarung. Bunjil, the great Eagle, the creator spirit, made the land, the sky, the sea, the rivers, flora and fauna, the lore. He made Kulin from the earth. Bunjil gave Waa, the crow, the responsibility of Protector. Bunjil's brother, Palliyang, the Bat, created Bagarook, women, from the water. Since our beginning, it has been known that we have an obligation to keep the Birrarung alive and healthy—for all generations to come

- Statement by the Wurundjeri Council,
Woi wurrung preamble to the Wilip gin Birrarung Murron Act, 2017

Significance of the Birrarung

The **Traditional Owners** of the lands that we now know as the City of Yarra are the **Wurundjeri Woi Wurrung People** of the **Kulin Nation**.

Indivisible from the **Birrarung** - or the **River of Mists**, what we now call the Yarra River - the Wurundjeri People have cared for these lands using complex eco-cultural systems since time immemorial.

Far from gone, the Wurundjeri People continue to practice traditional lore and assert their connections to these lands. Additionally, Yarra City and indeed greater Melbourne, is home to a **rich and diverse Indigenous community** who practice **culture and connection** in contemporary settings.

Wurundjeri Today

Despite British colonisation and various assimilation policies, the Wurundjeri's connections to Country and kin remain strong - with the Wurundjeri an active community today, continuing to practice traditional culture, ceremony and knowledge-keeping.

Key to guiding and maintaining these practices is the Wurundjeri Tribe Land and Compensation Cultural Heritage Council, an organisation established in 1985, which continues to advocate for Wurundjeri people and Country today.

Engaging Wurundjeri Council in a collaborative process of design will help to continue to perpetuate Wurundjeri knowledge keeping and cultural practice, as well as work to strengthen relationships between development agencies, community and Council.

Though all Wurundjeri land is **sacred**, there are many sites of **cultural significance** throughout Yarra City, with some being within close proximity to our site - including the **Wurundjeri Tribe and Heritage Council Building**, the **Aboriginal Protectorate** at Merri Creek, the **burial site** of **Billibellary**, and the contemporary artwork '**Strata of Memory**' at **Victoria Park**.

Attachment 4 - PLN21/0836 - Amended Landscape plans

Site Context and Appreciation Wurundjeri Culture & Heritage

Life on the Birrarung

The Wurundjeri People's connection to the land extends back to time immemorial when the **creator spirit Bunjil** formed all Country and everything within it. For thousands of years, the Wurundjeri cared for Country using **traditional ecological knowledge** based in intricate understandings of ecological systems and biodiversity.

The Wurundjeri knew their land in great detail, including the seasonal times to visit and associated availability of food. During **cooler months**, the Wurundjeri People moved to **higher areas** as the colder months brought **flooding** of the Birrarung. During **warmer seasons**, the Wurundjeri travelled frequently to **harvest yam crops** and take advantage of seasonal **hunting** and **fishing** spots. During the season we now know as autumn and late summer, the Wurundjeri would **camp** by the Birrarung visiting **eeling sites**.

Clan boundaries are defined by features of Country, with the different clans of the Kulin nation regularly interacting for political diplomacy, trade, ceremony, dispute resolution and punishment, harvest and marriages. During seasonal events, clan groups would gather for **corroboree**, with **storytelling** and **performance** being a large focus of gatherings. *(Aboriginal History of Yarra 2020)*

As captured in the above statement by the Wurundjeri Council, the Wurundjeri People's identity and culture is indivisible from Country and all that features within - including the rivers, landforms, vegetation and animals. In this sense, **Country is kin**, a living breathing entity with agency, a past, present and future.

The colonisation of Australia and therefore Wurundjeri Country deeply impacts the ability for many First Nations people including the Wurundjeri People to maintain practice of traditional lore.

Indigenous Design Strategy

An evocative, bountiful land with a rich history, developing a design strategy that incorporates First Nations knowledge, culture and practice will work to facilitate a healthy and vibrant community that is connected to the beautiful Country that supports them.

Building upon existing ties with local First Nations organisations, Arcadia's approach is to develop an Indigenous design strategy that works to inform our approach to placemaking, art and interpretation, planting, spatial programming and material selection.

Through a reconciliatory process of collaborative design, it is our position that an Indigenous design strategy offers the following:

- Authentic **placemaking**
- Insight into **ecological systems**
- Place-appropriate planting design
- Facilitates **cultural exchange and education**
- Supports **community health and biophilic connections**
- Reveals opportunities for land management partnerships
- Cares for Country
- Respects first peoples through reconciliatory processes
- Creates unique neighbourhoods and facilitates civic stewardship

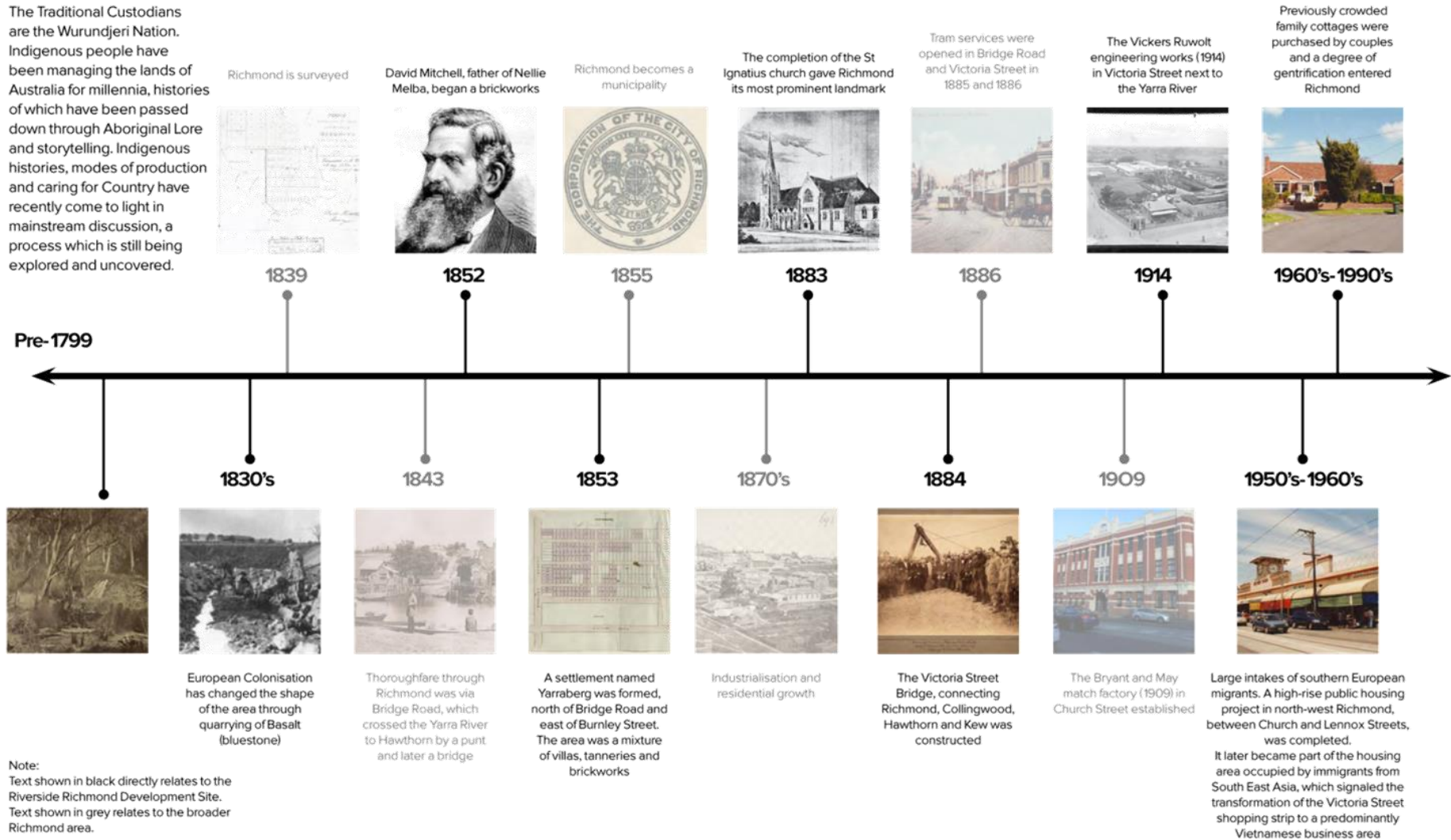
It is proposed that this Indigenous Design Strategy, along with engagement with First Nations representatives will take place following the Development Application process as the landscape architectural design is developed further.



Attachment 4 - PLN21/0836 - Amended Landscape plans

Site Context and Appreciation Historical Timeline

The Traditional Custodians are the Wurundjeri Nation. Indigenous people have been managing the lands of Australia for millennia, histories of which have been passed down through Aboriginal Lore and storytelling. Indigenous histories, modes of production and caring for Country have recently come to light in mainstream discussion, a process which is still being explored and uncovered.



Note:
Text shown in black directly relates to the Riverside Richmond Development Site.
Text shown in grey relates to the broader Richmond area.

Attachment 4 - PLN21/0836 - Amended Landscape plans

Site Analysis
Key Views



Attachment 4 - PLN21/0836 - Amended Landscape plans



Attachment 4 - PLN21/0836 - Amended Landscape plans

Vision
Project Vision

The Riverside development will create a unique build to rent offering for Victoria Gardens, supported by outdoor spaces that create social engagement and a true sense of community for its residents. These spaces will create an attractive lifestyle opportunity, hosting diverse amenities, events and experiences, all within the naturalistic setting of the Yarra River corridor.

Attachment 4 - PLN21/0836 - Amended Landscape plans

**Vision
Design Pillars**



Embracing to River Landscape

Celebrate the landscape of the Birrarung river corridor by extending it throughout the development to provide a unique natural character



Water Connection

Reference the cultural and natural value of the Birrarung through the use of a water line feature that references the river journey from natural to urban settings.



Connectivity

Establish a generous thoroughfare through the heart of the precinct that connects the public between the Birrarung corridor and Victoria Gardens precinct.



A Sense of Belonging

Promote a sense of belonging within the residential community by providing a variety of outdoor spaces for socialising and passive and recreational pursuits.












Providing a Serene Retreat

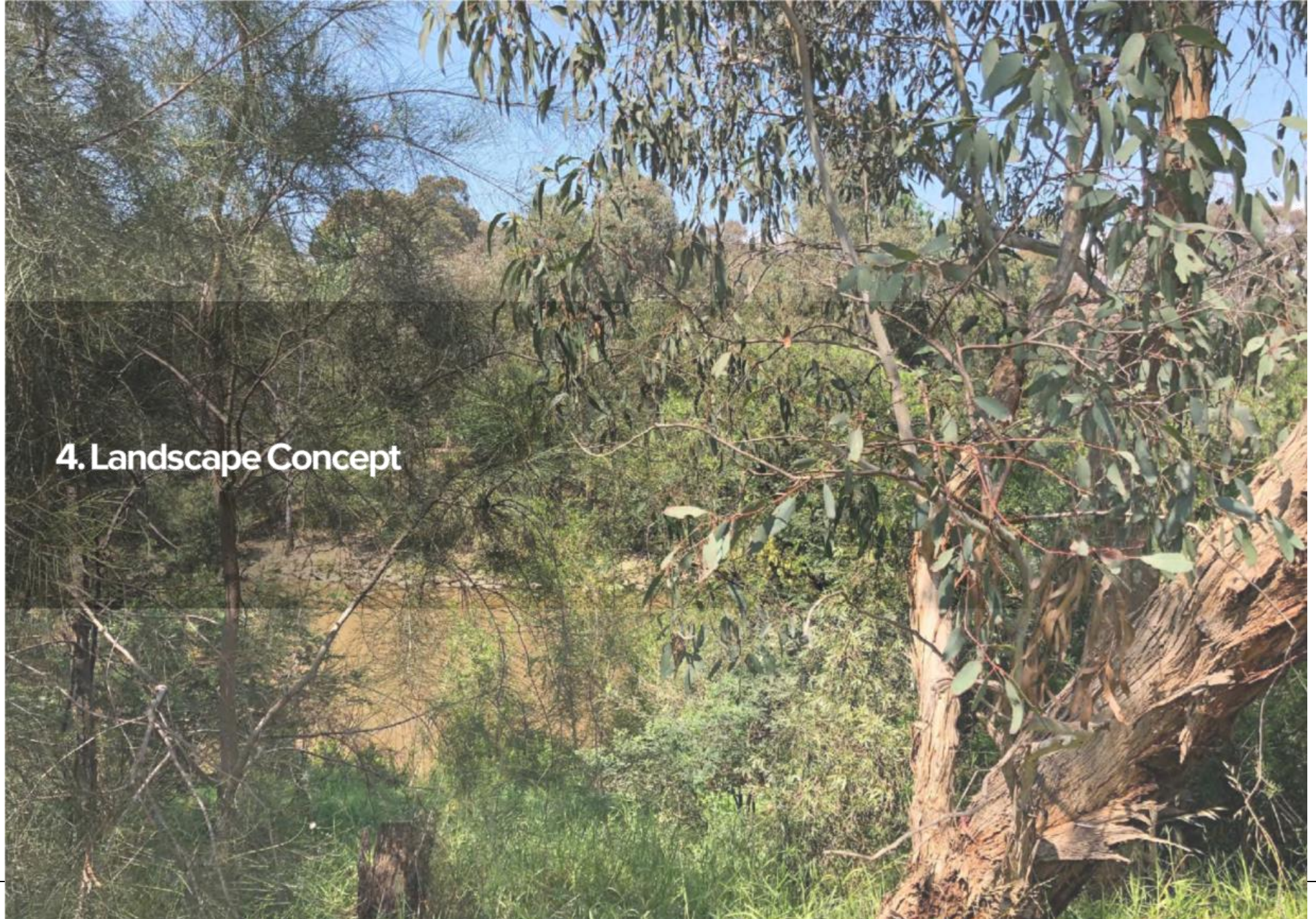
Create calm and peaceful spaces of retreat embraced by the vegetated character and outlook of the river corridor.

Attachment 4 - PLN21/0836 - Amended Landscape plans

Vision Landscape Narrative

<p>Water The River Line</p>				<p>Express the site's relationship with the river through the creation of the River Line, a meandering pavement feature that connects people to the corridor and references the river's transition from naturalistic watercourse to urban one</p>
<p>Vegetation Vegetation of the River</p>				<p>Extension of the existing vegetative character of the river corridor to embrace and integrate the development within its setting</p>
<p>Geology Geology of the River</p>				<p>Reference the river's geology and strata layering through pavement expression of the River Line</p>

Attachment 4 - PLN21/0836 - Amended Landscape plans



4. Landscape Concept

Attachment 4 - PLN21/0836 - Amended Landscape plans



Attachment 4 - PLN21/0836 - Amended Landscape plans

Ground Level Overall Plan

The Ground Level landscape concept seeks to provide a variety of amenity spaces for residents and the broader public, all within a strongly vegetated landscape setting that embraces the Yarra River corridor.

Communal spaces for residents include the Northern Lawn and Southern Pool, while the Central Plaza is a publicly accessible open space for the community. The plaza is located along the pedestrian connection between River Boulevard and the Main Yarra Trail that runs through the heart of the development.

Legend

- 1 Northern Pocket Park
- 2 Northern Lawn Communal Space
- 3 Porte Cochere Shared Space
- 4 Central Plaza Public Space
- 5 River Embankment
- 6 Embankment Steps
- 7 Embankment Ramp
- 8 Southern Lagoon Communal Space
- 9 9C & 10B River Boulevard
- 10 Indicative Pedestrian Crossing



Attachment 4 - PLN21/0836 - Amended Landscape plans

Ground Level
Northern Lawn Plan



Design Intent

The Northern Lawn provides an open communal space for residents with a variety of amenities within a vegetated park setting. Vegetation including groundcovers and canopy trees frame the space, providing a sense of enclosure, and continuing the bushland character of the river corridor.

The central lawn is the predominant element within the space, and provides an open flexible space to be used informally, or be used to host larger gatherings and events by the residential community.

Alfresco dining is provided for the to west, containing a variety of outdoor dining spaces for groups of all sizes, locates around centrally located barbecues.

The eastern area comprises of a series of intimate garden rooms, enclosed spaces with extensive vegetation planting to provide a serene retreat away from the general activity of the lawn. These rooms include smaller socialisation spaces and outdoor working stations.

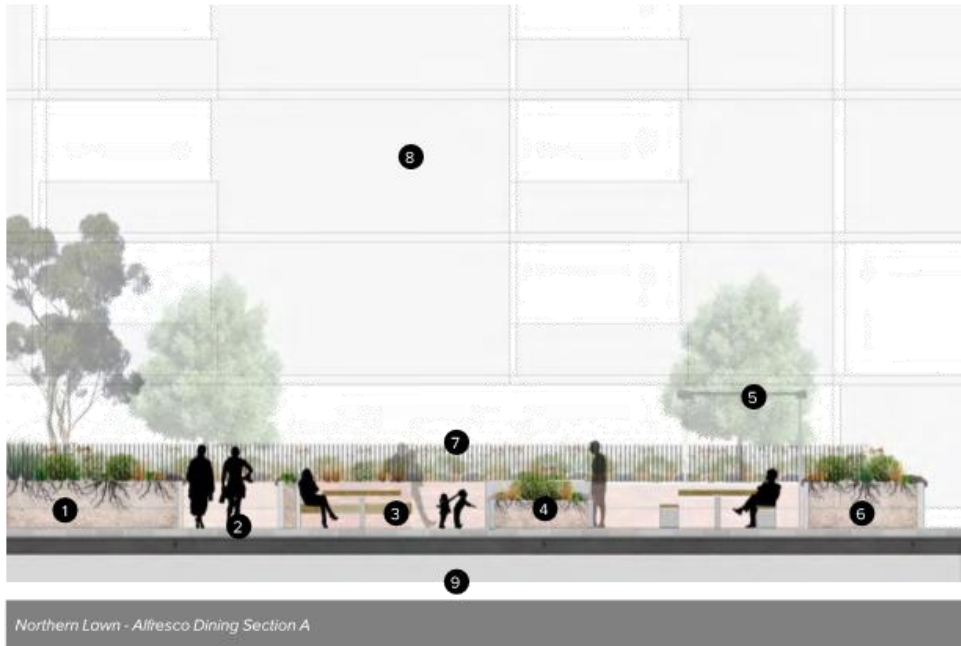
Further to the north of the space is the Northern Pocket Park, an existing publicly accessible space with picnic and barbecue facilities. The space is to be reconstructed as the southern half is to be demolished to facilitate the basement construction. Existing trees to the north are to be retained and complimented with new tree planting.

Legend

- 1 Northern Pocket Park for existing adjacent residents
- 2 Shelter and picnic tables
- 3 Barbeque for outdoor dining
- 4 Basement car park entrance
- 5 Existing lawn to be retained
- 6 Existing trees to be retained
- 7 Raised planter on podium with tree and groundcover planting
- 8 Central lawn
- 9 Outdoor seating pods
- 10 Intimate garden rooms with seating pods
- 11 Raised bar seating overlooking lawn
- 12 Outdoor work stations
- 13 Substation with access driveway
- 14 Ramp and stair connection to Christine Crescent
- 15 Private terraces with raised planters and informal path connections

Attachment 4 - PLN21/0836 - Amended Landscape plans

Ground Level
Northern Lawn Section and Precedents



Legend

- 1 Raised planter to private terrace interface with canopy tree and groundcover planting
- 2 Pedestrian path
- 3 Outdoor dining setting
- 4 Barbeques set into a raised planter
- 5 Shelter above outdoor dining setting
- 6 Raised planter with canopy trees and groundcover planting
- 7 Raised planters and screening fencing to private terraces behind
- 8 Building elevation behind
- 9 Basement car park below



Outdoor working spaces



Outdoor alfresco spaces within a vegetated setting

Attachment 4 - PLN21/0836 - Amended Landscape plans

Ground Level Central Plaza Plan

Design Intent

The Central Plaza is the heart of the development proposal, providing a publicly accessible open space that acts as an arrival point for residents and facilitates the connection between the Victoria Gardens Precinct and river corridor.

This connection is provided by a wide pedestrian thoroughfare from River Boulevard along the southern building interface, through the Central Plaza and then transitioning to a series of steps down the river embankment to the Main Yarra Trail.

The planting character of this space is an extension of the river corridor, providing a transition between the urbanity of the Victoria Gardens precinct to the naturalness of the Yarra.

The vegetation is supported by raised planters on structure, of which typically 500mm is provided above pavement level and additional 600-700mm set downs to provide sufficient soil depths to support canopy tree planting, and ornamental displays of native and indigenous vegetation.

The pavement River Line commences within the Central Plaza, as a narrative element referencing the alignment and urban and natural transition of the river as it moves through Melbourne.

The Central Plaza provides an informal lawn, raised planters and seating edges for socialising and outdoor dining, supported by adjacent cafe. The use of feature eucalypt trees with striking floral colour are used to highlight the space.

The porte cochere provides a flush paved space for vehicles and pedestrians, with tonal variation in the pavement material and line marking used to demarcate its extents, and contains drop off points for vehicles.

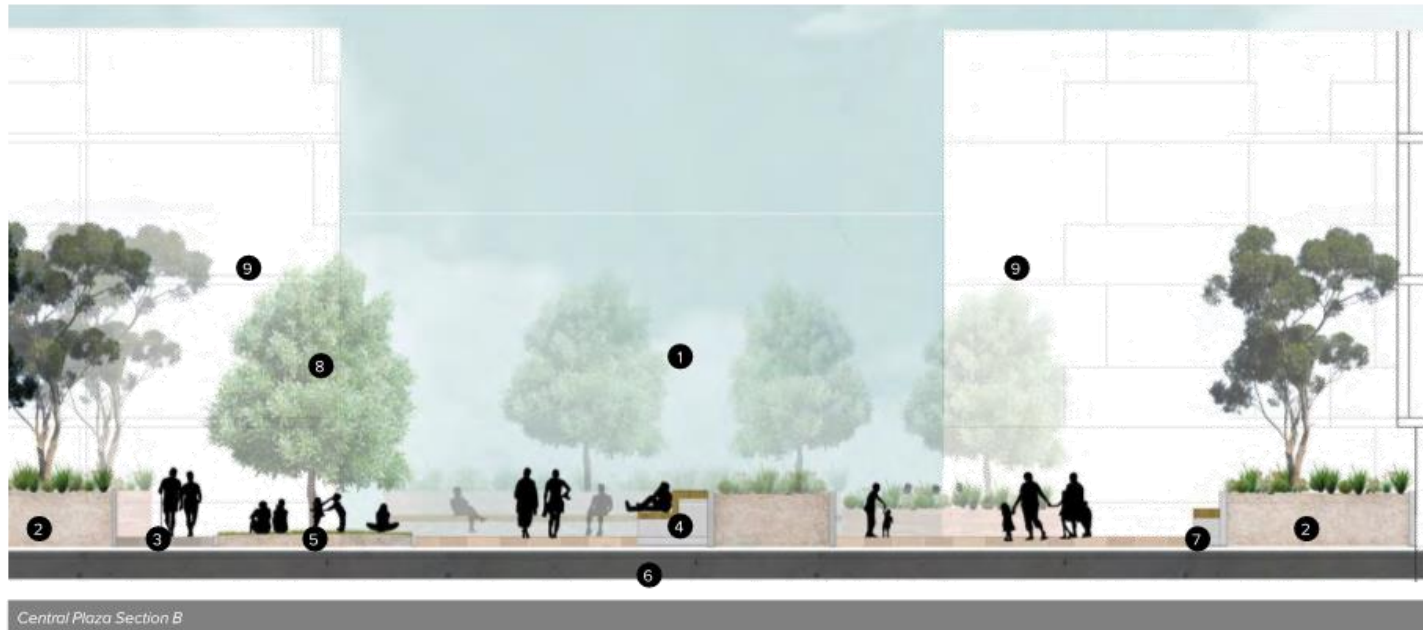
Legend

- 1 Porte cochere shared zone
- 2 Central Plaza
- 3 Lower Ground Courtyard
- 4 Raised planters with trees and groundcover planting
- 5 Central raised planter with feature *Corymbia* tree
- 6 Bicycle hoops
- 7 Two drop off bays
- 8 River Line pavement feature
- 9 Outdoor dining area
- 10 Informal lawn
- 11 Timber seating edges with accessibility options
- 12 Timber table settings
- 13 Pedestrian connection between River Boulevard and the Yarra River



Attachment 4 - PLN21/0836 - Amended Landscape plans

Ground Level
Central Plaza Section and Precedents



- Legend
- 1 Central Plaza
 - 2 Raised planters with trees and groundcover plating
 - 3 Pedestrian connection between River Boulevard and the Yarra River
 - 4 Timber sun lounge overlooking lawn
 - 5 Informal lawn
 - 6 Basement car park below
 - 7 Timber seating
 - 8 Feature tree planting
 - 9 Building behind

Central Plaza Section B



River corridor planting character



Porte cochere shared space for pedestrians and vehicles



Central Plaza with raised planters and a variety of seating options

Attachment 4 - PLN21/0836 - Amended Landscape plans

Ground Level Southern Pool Plan

Design Intent

The Southern Pool space is centered around a pool within a heavily vegetated bushland setting.

The 25m two lane lap heated pool will provide use and enjoyment across not only the summer months, but also the cooler ones by providing spaces for socialising and communal events by the edge of the pool.

A pavilion building provide amenity spaces for swimming and a multi purpose room that can be used to host events that can then spill onto the adjacent pool concourse.

A vegetated interface will be provided between the pool and stormwater easement, comprising of screening shrubs and canopy tree planting, providing screening for the pool area and a green outlook from Annette's Place in the south.

Legend

- 1 25m 2 lane lap pool
- 2 Day beds
- 3 Cabana shelters
- 4 Raised planters with trees and groundcover planting
- 5 On ground garden bed with screening shrubs and canopy tree planting
- 6 Stormwater easement
- 7 Private terraces
- 8 Multi use pavilion building
- 9 Multi use pool concourse



Attachment 4 - PLN21/0836 - Amended Landscape plans

Ground Level
Southern Lagoon Section and Precedents



Legend

- 1 Pedestrian path
- 2 Raised planter with canopy tree and groundcover planting
- 3 Glass balustrade
- 4 Sun lounges
- 5 Pool concourse
- 6 Lap pool
- 7 Building behind
- 8 Screening shrub and canopy tree planting
- 10 Stormwater easement with groundcover planting
- 11 1.8m high palisade fencing
- 12 Existing trees
- 13 Annette's Place Park and Playground

Southern Lagoon Section C



Lap pool



River corridor vegetation character



Cabanas

Attachment 4 - PLN21/0836 - Amended Landscape plans

Ground Level River Boulevard Streetscape Plan

General Note

Any requirement is subject to further approval and acceptance by Authorities, adjacent land owner, and not impact built form locations as proposed.

Legend

- 1 Private Terraces
- 2 1.8m fencing (0.6m concrete plinth with 1.2m high steel fin fencing)
- 3 Informal paths from private terrace to footpath
- 4 Existing street trees to be retained
- 5 Ornamental native garden beds typically 1m high
- 6 Existing concrete footpath
- 7 Existing street parking
- 8 Existing bike lane
- 9 Existing vehicular lane
- 10 Existing grass
- 11 Proposed street tree by Endorsed Plan*
- 12 Proposed low planting by Endorsed Plan*
- 13 Proposed asphalt footpath by Endorsed Plan to City of Yarra Standard*
- 14 9C & 10B River Boulevard Endorsed Development*
- 15 Proposed pedestrian crossing, final location and design subject to traffic engineering resolution and Authority approval.
- 16 Additional trees within median strip, final quantity and location subject to Council and Authority approval.
- 17 Rationalisation of median to be investigated by traffic engineers considering the below opportunities:
a) Deletion of part of medium opposite the basement entrance to allow vehicles to make a right and exiting turn onto and River Boulevard.
b) Combine the two medians near Vickers Drive/Elaine Court and provide trees/grass within this redesigned median.
- 18 New pedestrian footpath min. 2m wide on western side of River Boulevard with materials to match surrounding area, to be investigated, and subject to separate application approval.



*Endorsed Plan refers to design proposal for 9C & 10B River Boulevard, endorsed by City of Yarra.

Attachment 4 - PLN21/0836 - Amended Landscape plans

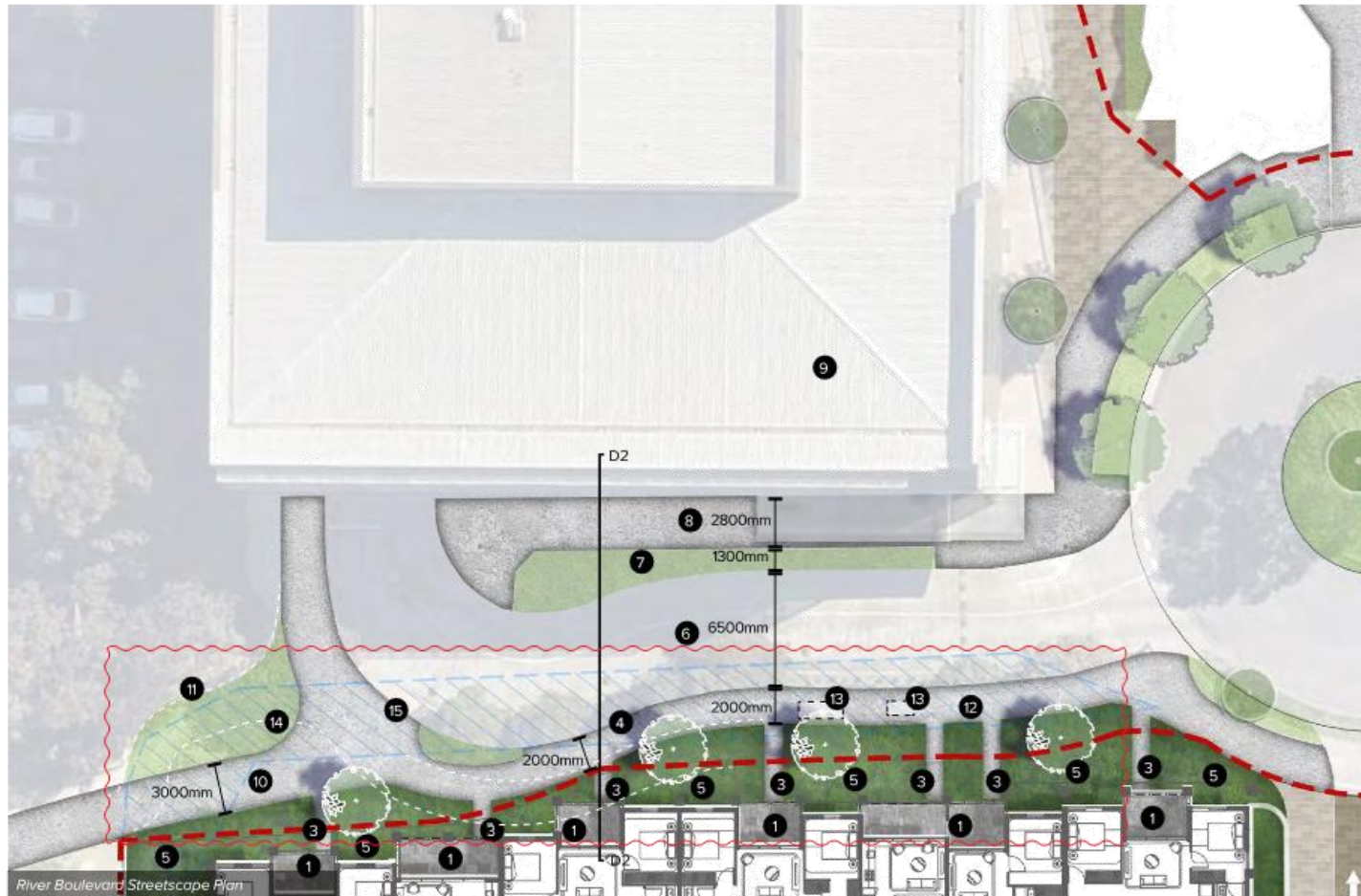
Ground Level River Boulevard Streetscape Plan

General Note

Any requirement is subject to further approval and acceptance by Authorities, adjacent land owner, and not impact built form locations as proposed.

Legend

- 1 Private Terraces
- 2 1.8m fencing (0.6m concrete plinth with 1.2m high steel fin fencing)
- 3 Informal paths from private terrace to footpath
- 4 Realigned concrete footpath extends to the back of kerb
- 5 Ornamental native garden beds typically 1m high
- 6 Existing driveway
- 7 Existing garden bed with low planting
- 8 Existing concrete footpath
- 9 Existing 40 River Blvd office building
- 10 Proposed 3m wide shared path at 1:80 grade, with garden bed planting to both sides.
- 11 Retention of existing tree on western side of existing path subject to ability to coordinate with services works.
- 12 2m wide proposed footpath from back of kerb. Cyclists utilise the vehicle driveway and then link to River Street shared path. Garden beds east of footpath alongside the title boundary are maximised and consolidated with garden beds within the title boundary, allowing opportunity for trees.
- 13 Relocation of existing underground ground services and the integration of above ground service cabinets within the development site subject to further design investigation and approval from authorities and/or landowners.
- 14 Existing footpath alignment and extent shown in white dash.
- 15 Demountable kerb for cyclist access

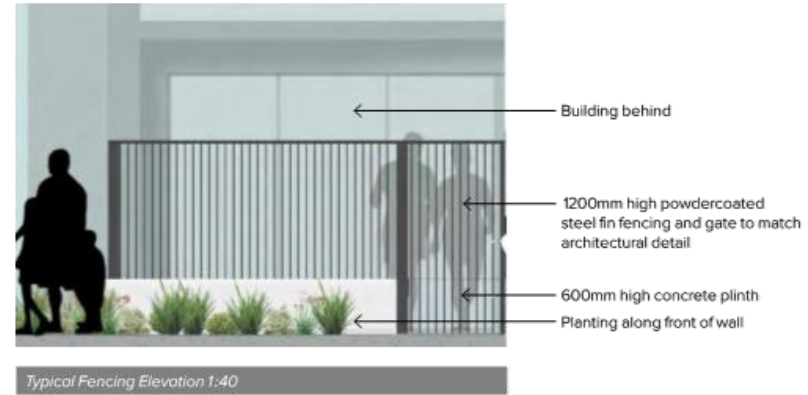


Attachment 4 - PLN21/0836 - Amended Landscape plans

Ground Level River Boulevard Interface

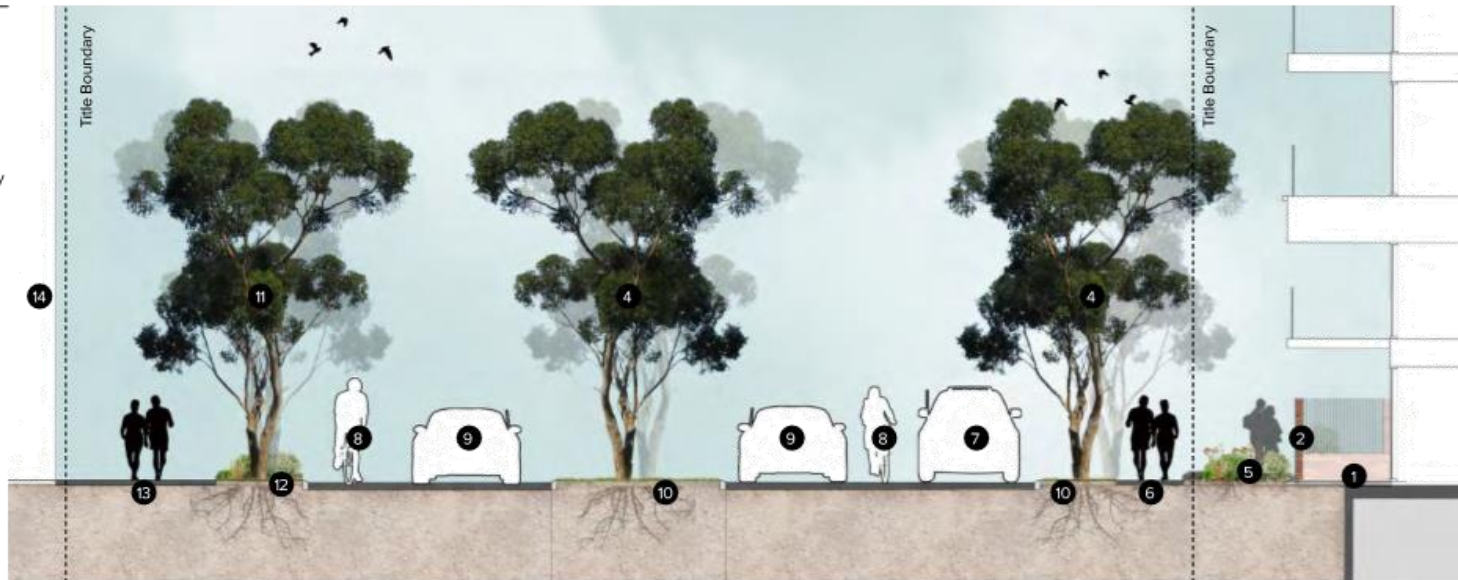
Design Intent

The landscape response along River Boulevard seeks to continue the strong planted character of the overall development, with visually permeable fencing to provide a positive streetscape presentation.



Legend

- 1 Private Terraces
- 2 1.8m fencing (0.6m concrete plinth with 1.2m high steel fin fencing)
- 3 Informal paths from private terrace to footpath
- 4 Existing street trees to be retained
- 5 Ornamental native garden beds typically 1m high
- 6 Existing concrete footpath
- 7 Existing street parking
- 8 Existing bike lane
- 9 Existing vehicular lane
- 10 Existing grass
- 11 Proposed street tree by Endorsed Plan*
- 12 Proposed low planting by Endorsed Plan*
- 13 Proposed asphalt footpath by Endorsed Plan to City of Yarra Standard*
- 14 9C & 10B River Boulevard Endorsed Development*



*Endorsed Plan refers to design proposal for 9C & 10B River Boulevard, endorsed by City of Yarra.

Attachment 4 - PLN21/0836 - Amended Landscape plans

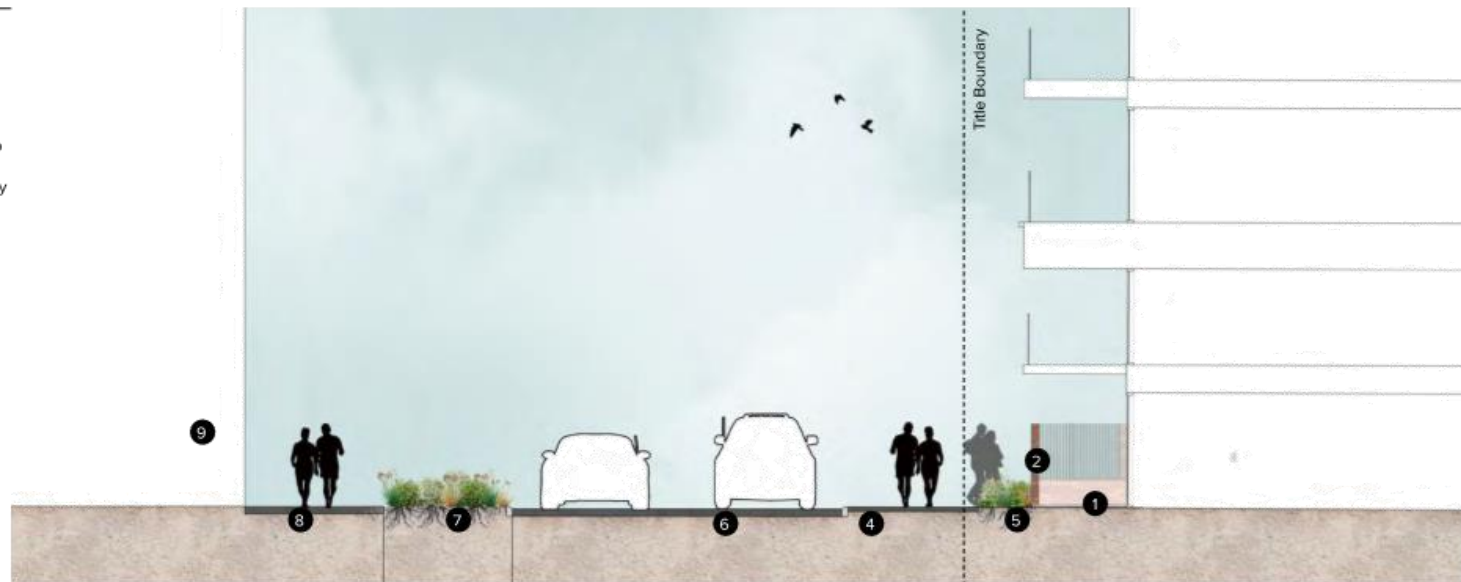
Ground Level River Boulevard Interface

Design Intent

The landscape response along River Boulevard seeks to continue the strong planted character of the overall development, with visually permeable fencing to provide a positive streetscape presentation.

Legend

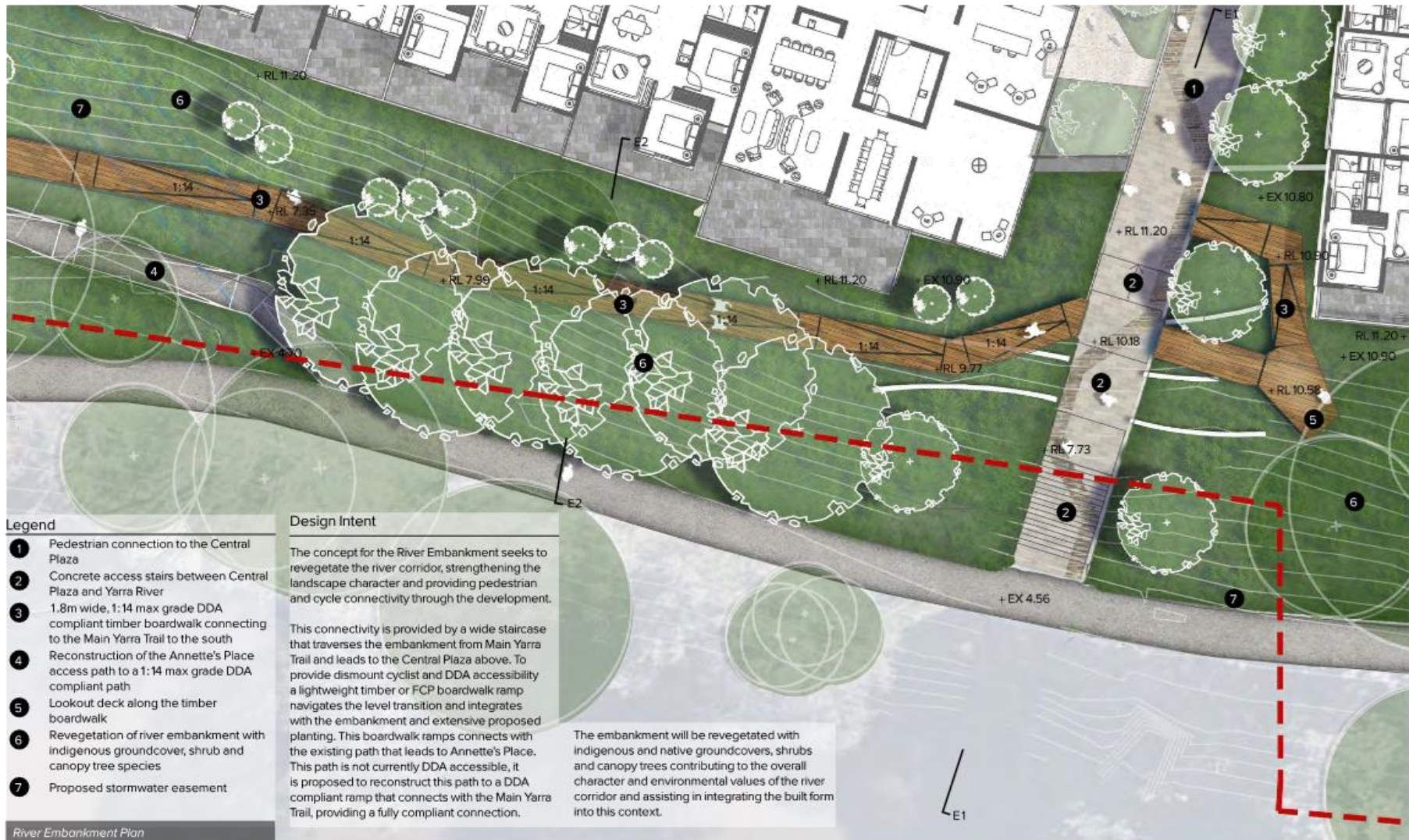
- 1 Private Terraces
- 2 1.8m fencing (0.6m concrete plinth with 1.2m high steel fin fencing)
- 3 Informal paths from private terrace to footpath
- 4 Realigned concrete footpath extends to the back of kerb
- 5 Ornamental native garden beds typically 1m high
- 6 Existing driveway
- 7 Existing garden bed with low planting
- 8 Existing concrete footpath
- 9 Existing 40 River Blvd office building



Typical River Boulevard Interface Section D2 1:100

Attachment 4 - PLN21/0836 - Amended Landscape plans

Ground Level River Embankment Plan



Attachment 4 - PLN21/0836 - Amended Landscape plans

Ground Level
River Embankment Section and Precedents



River Embankment Section E1

Legend

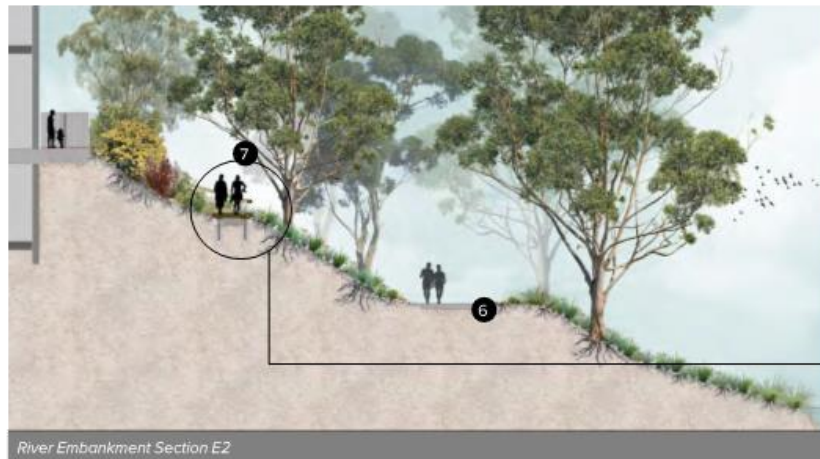
- 1 Pedestrian connection to the Central Plaza
- 2 Building
- 4 Access stairs between Central Plaza and Yarra River
- 5 Existing, proposed trees and revegetated river embankment
- 6 Main Yarra Trail
- 7 DDA compliant embankment ramp



Stair connection up the river embankment



Timber boardwalk through existing vegetation



River Embankment Section E2



River Embankment Timber Deck Typical Section

Attachment 4 - PLN21/0836 - Amended Landscape plans

**Ground Level
River Embankment Section**



Legend

- 1 Private Terrace
- 2 Building
- 3 Embankment shrub planting buffer
- 4 Reconstruction of the Annette's Place access path to a 1:14 max grade DDA compliant path
- 5 Existing, proposed trees and revegetated river embankment
- 6 Main Yarra Trail
- 7 1.8m wide, 1:14 max grade DDA compliant timber boardwalk

Attachment 4 - PLN21/0836 - Amended Landscape plans

**Ground Level
River Embankment Section**



Legend

- 1 Private Terrace
- 2 Building
- 3 Embankment shrub planting buffer
- 4 Reconstruction of the Annette's Place access path to a 1:14 max grade DDA compliant path
- 5 Existing, proposed trees and revegetated river embankment
- 6 Main Yarra Trail
- 7 1.8m wide, 1:14 max grade DDA compliant timber boardwalk

Attachment 4 - PLN21/0836 - Amended Landscape plans



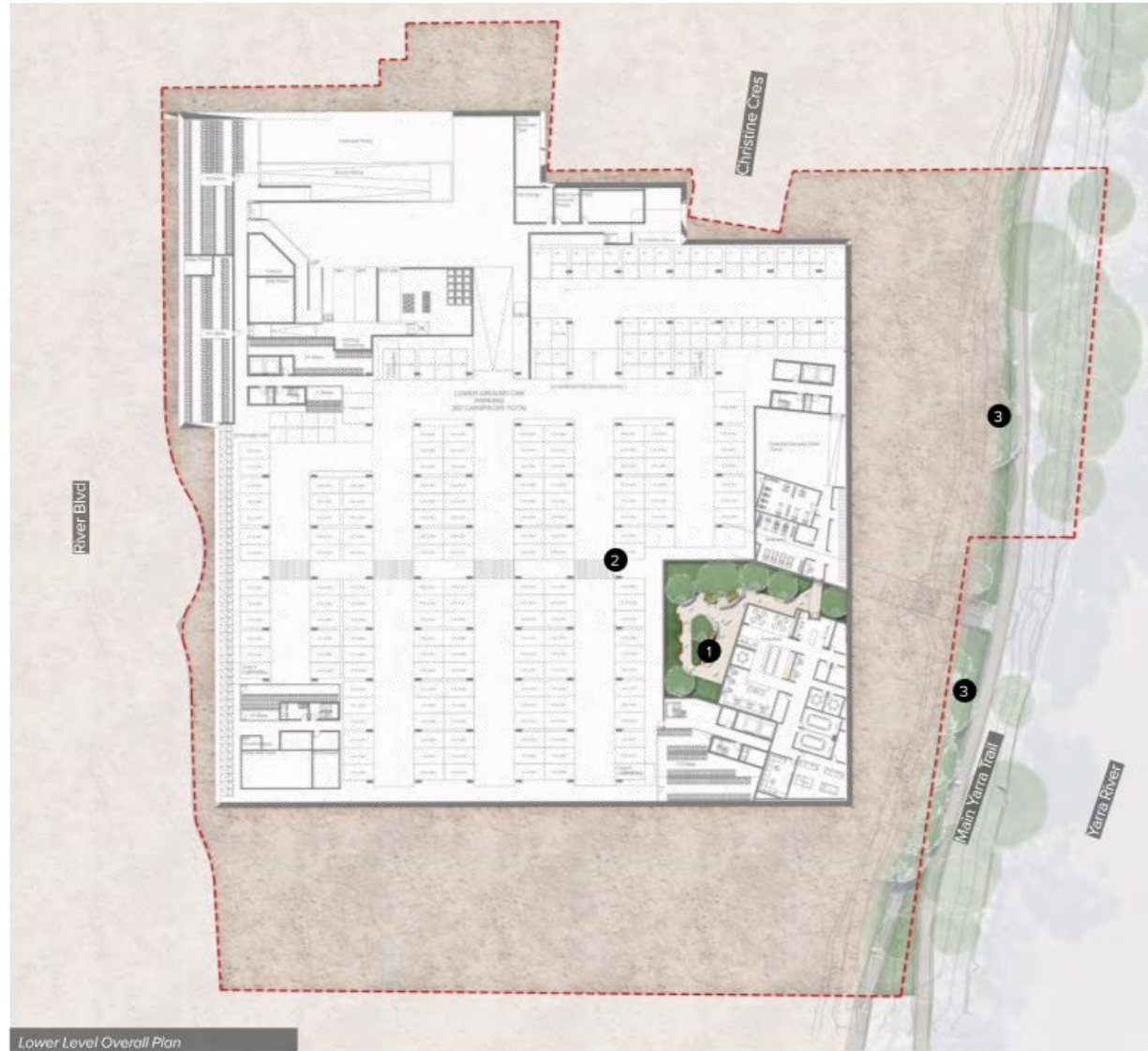
Attachment 4 - PLN21/0836 - Amended Landscape plans

Lower Ground Level Overall Plan

Lower Ground Level provides a unique, intimate open air space that acts as an outdoor extension of the adjacent communal rooms.

Legend

- 1 Lower Ground Courtyard
- 2 Basement Car Park
- 3 River Embankment



Lower Level Overall Plan

Attachment 4 - PLN21/0836 - Amended Landscape plans

Lower Ground Level
Courtyard Plan



Design Intent

The Lower Ground Courtyard is a unique space within the development, providing an enclosed retreat for residents.

The courtyard provides an outdoor working space, complementing the adjacent indoor working arrangement. A variety of individual working stations and communal desks are provided, all within a heavily vegetated and serene setting.

The adjacent wall interfacing the basement car park will be vegetated with climbing plants supported on cables and canopy trees into natural soil and structural soils, supporting adjacent pavement will provide sufficient soil volume for tree establishment. This vegetated interface will provide an attractive outlook of the courtyard spaces from the adjacent internal building rooms.

The pedestrian path, linking the Central Plaza with the River Embankment is framed with large canopy trees that provide a vegetated connection between the river corridor and central plaza.

Legend

- 1 Canopy trees in deep soil with structural soil below surrounding pavement
- 2 Feature garden beds along wall with climbing plants
- 3 Pedestrian connection between Central Plaza and Main Yarra Trail
- 4 Meditation garden
- 5 Outdoor working stations
- 6 Outdoor working tables

Courtyard Plan

Attachment 4 - PLN21/0836 - Amended Landscape plans

Lower Ground Level
Courtyard Section and Precedents



Legend

- 1 Canopy trees in deep soil with structural soil below surrounding pavement
- 2 Climbing plants on steel cables along wall
- 3 Raised planter at Central Plaza level
- 4 Feature garden bed along wall
- 5 Building behind
- 6 Outdoor working stations
- 7 Outdoor working tables
- 8 Basement car park



Outdoor working stations



Intimate vegetated setting

Attachment 4 - PLN21/0836 - Amended Landscape plans



Attachment 4 - PLN21/0836 - Amended Landscape plans

Level 5 Rooftops Overall Plan

Level 5 contains two outdoor communal rooftop spaces providing a variety of amenities for residents, overlooking the river corridor.

Legend

- 1 Level 5 Northern Rooftop
- 2 Level 5 Southern Rooftop



Attachment 4 - PLN21/0836 - Amended Landscape plans

Level 5 Rooftops
North Rooftop Plan



Design Intent

The Northern Rooftop provides an intimate rooftop setting comprised of a number of outdoor rooms for a variety of activities all within a vegetated setting responding to the river corridor character.

Along the eastern interface, working pods, hammocks and sun lounges, framed with vegetation provide serene spaces to work, relax and overlook the river corridor.

This is complemented with outdoor alfresco dining rooms, containing table settings for large groups, barbecues and either nestled within surrounding planting or open to views across the Central Plaza to the west.

Legend

- 1 Outdoor working room
- 2 Swing hammocks
- 3 Sunken private dining room with BBQ
- 4 Sun lounges
- 5 Sun deck
- 6 Private dining room with BBQ
- 7 Private lounge area
- 8 Water feature



Attachment 4 - PLN21/0836 - Amended Landscape plans

Level 5 Rooftops
South Rooftop Plan



Design Intent

The Southern Rooftop looks to complement the intimacy of the Northern Rooftop by providing an open space centered around a lawn and open deck. These spaces promote larger gatherings for the residents, such as communal dining events, outdoor cinema and the like.

The eastern side of the rooftop maximises its River outlook with smaller intimate spaces including outdoor dining rooms, lounges and sun beds.

The western side of the space provides a garden walk within a heavily vegetated setting, with private lounges and sun lounges with an outlook to the Central Plaza.



Legend

- 1 Private dining room with BBQ
- 2 Private lounge area
- 3 BBQ and pizza oven
- 4 Central lawn
- 5 Open deck with sun lounges and tables
- 6 Sun lounge
- 7 Sunken lounges
- 8 Communal dining area



Attachment 4 - PLN21/0836 - Amended Landscape plans

Level 5 Rooftops
Rooftop Sections



Attachment 4 - PLN21/0836 - Amended Landscape plans



Attachment 4 - PLN21/0836 - Amended Landscape plans

Landscape Diagrams
Tree Retention and Removal Plan



Attachment 4 - PLN21/0836 - Amended Landscape plans

Landscape Diagrams

Tree Retention and Removal Schedule

Tree No.	Botanical Name	Common Name	Origin	Height x Spread	Diameter at Breast Height (cm)	Tree Protection Zone (m)	Structural Root Zone (m)	Useful Life Expectancy (y)	Priority of Retention (R/W/R)	Within Site (Yes/No)	Action	Means of Establishment (Self/Gown or Planted)
87	<i>Eucalyptus leucostylon</i> subsp. <i>cornuta</i>	Melbourne Yellow Gum	Indigenous	9 x 8m	23	3.5	2.2	30+	3	No	Retain	Planted
88	<i>Corymba maculata</i>	Spotted Gum	Victorian Native	8 x 4m	19	2	1.6	20	0	No	Retain	Planted
89	<i>Acacia implexa</i>	Lightwood	Indigenous	4 x 2.5m	10	2	1.5	20+	0	Yes	Retain	Planted
90	<i>Acacia implexa</i>	Lightwood	Indigenous	5 x 4m	14	2	1.7	15	0	Yes	Retain	Planted
91	<i>Acacia melanocorypa</i>	Blackwood	Indigenous	4 x 4m	11	2	1.5	20+	0	Yes	Retain	Planted
92	<i>Acacia implexa</i>	Lightwood	Indigenous	2.5 x 2m	<10	2	1.5	20	0	No	Retain	Planted
93	<i>Eucalyptus melliodora</i>	Yellow Box	Indigenous	8 x 6m	31	3.5	2.2	30	0	No	Retain	Planted
94	<i>Acacia implexa</i>	Lightwood	Indigenous	8 x 6m	20	3.4	1.9	15	0	No	Retain	Planted
95	<i>Acacia implexa</i>	Lightwood	Indigenous	5 x 2m	<10	2	1.5	20	2	Yes	Retain	Planted
96	No tree											
97	<i>Eucalyptus leucostylon</i> subsp. <i>cornuta</i>	Melbourne Yellow Gum	Indigenous	10 x 9m	30	3.6	2.2	30	0	No	Retain	Planted
98	<i>Eucalyptus leucostylon</i> subsp. <i>cornuta</i>	Melbourne Yellow Gum	Indigenous	9 x 7m	26	3.1	2.1	30	0	No	Retain	Planted
99	<i>Eucalyptus melliodora</i>	Yellow Box	Indigenous	8 x 3m	11	2	1.5	30+	0	No	Retain	Planted
100	<i>Acacia pyramidalis</i>	Golden Wattle	Indigenous	5 x 5m	11.0	2	1.7	15	0	No	Retain	Planted
101	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	16 x 10m	48	5.8	2.6	30+	0	No	Retain	Planted
102	No tree											
103	No tree											
104	<i>Angophora costata</i>	Smooth-barked Apple	Australian Native	10m height	20 to 30	2.4 to 3.6	1.9 to 2.2	30+	0	No	Remove	Planted
104	<i>Angophora costata</i>	Smooth-barked Apple	Australian Native	10m height	20 to 30	2.4 to 3.6	1.9 to 2.2	30+	0	No	Remove	Planted
104	<i>Angophora costata</i>	Smooth-barked Apple	Australian Native	10m height	20 to 30	2.4 to 3.6	1.9 to 2.2	30+	0	Remove	Planted	
104	<i>Angophora costata</i>	Smooth-barked Apple	Australian Native	10m height	20 to 30	2.4 to 3.6	1.9 to 2.2	30+	0	No	Remove	Planted
104	<i>Angophora costata</i>	Smooth-barked Apple	Australian Native	10m height	20 to 30	2.4 to 3.6	1.9 to 2.2	30+	0	No	Remove	Planted
105	<i>Angophora costata</i>	Smooth-barked Apple	Australian Native	8 x 3m	10	2	1.5	10	0	No	Retain	Planted
106	<i>Angophora costata</i>	Smooth-barked Apple	Australian Native	15 to 20	2.6 to 3.6	1.7 to 2.2	30+	0	No	Retain	Planted	
106	<i>Angophora costata</i>	Smooth-barked Apple	Australian Native	15 to 20	2.6 to 3.6	1.7 to 2.2	30+	0	No	Retain	Planted	
106	<i>Angophora costata</i>	Smooth-barked Apple	Australian Native	15 to 20	2.6 to 3.6	1.7 to 2.2	30+	0	No	Retain	Planted	
106	<i>Angophora costata</i>	Smooth-barked Apple	Australian Native	15 to 20	2.6 to 3.6	1.7 to 2.2	30+	0	No	Retain	Planted	
106	<i>Angophora costata</i>	Smooth-barked Apple	Australian Native	15 to 20	2.6 to 3.6	1.7 to 2.2	30+	0	No	Remove	Planted	
107	<i>Eucalyptus leucostylon</i> subsp. <i>leucostylon</i>	Yellow Gum	Victorian Native	11 x 14m	48	5.8	2.6	20	5	No	Retain	Planted
108	No tree											
109	<i>Eucalyptus robusta</i>	Swamp Mahogany	Australian Native	9 x 10m	43	5.2	2.5	15	4	No	Retain	Planted
110	No tree											
111	<i>Eucalyptus melliodora</i>	Yellow Box	Indigenous	13 x 6m	26	3.1	2	15	4	No	Retain	Planted
112	<i>Eucalyptus melliodora</i>	Yellow Box	Indigenous	13 x 10m	27	4.4	2.3	20	4	No	Retain	Planted
113	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	8 x 4m	18	2.9	1.8	15	4	No	Retain	Planted
114	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	6 x 6m	17	2	1.8	20+	4	No	Retain	Planted
115, 116	No tree											
117	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	8 x 3m	24	3.9	0	10	2	No	Retain	Planted
118	<i>Macleodra guineensis</i>	Broad-leaved Paperbark	Australian Native	12 x 8m	51	6.1	2.7	20	5	No	Retain	Planted
119	No tree											
120	<i>Eucalyptus melliodora</i>	Yellow Box	Indigenous	4 x 2m	24	4	2.3	15	7	No	Retain	Planted
121	<i>Eucalyptus robusta</i>	Swamp Mahogany	Australian Native	11 x 12m	20	6	2.6	20	4	No	Retain	Planted
122	<i>Eucalyptus melliodora</i>	Yellow Box	Indigenous	12 x 9m	37	4.4	2.3	20	4	No	Retain	Planted
123	<i>Eucalyptus melliodora</i>	Yellow Box	Indigenous	15 x 10m	37	4.4	2.3	20+	5	No	Retain	Planted
124	No tree											
125	No tree											
126	Mixed indigenous planting refer to Arborist Report		Indigenous	10m height	10 to 30	2 to 3.6	1.5 to 2.2	30+, 15 to 30	5	No	Retain	Planted
126A	No tree											
126B	No tree											
127	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	20 x 15m	47, 47, 30	8.8	3.1	30+	5	No	Retain	Planted
128	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	18 x 15m	63	7.6	2.9	30+	0	No	Retain	Planted
129	No tree											
130	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	18 x 11m	44, 20	5.8	2.6	30+	5	No	Retain	Planted
130A	No tree											
131	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	18 x 11m	<40 at 1.3m		2.3	0	1	No	Retain	Planted
132	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	8 x 10m	42	5	2.5	30+	5	No	Retain	Planted
133	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	20 x 15m	60	7.2	2.8	30+	0	No	Retain	Planted
134	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	8 x 5m	20	6	2.6	10	4	No	Retain	Planted
135	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	20 x 15m	63	7.6	2.9	30+	0	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2	30+	3 to 5	No	Retain	Planted
136	<i>Eucalyptus corniculata</i>	River Red Gum	Indigenous	15m height	10 to 30	2 to 3.6	1.5 to 2.2					

Attachment 4 - PLN21/0836 - Amended Landscape plans

Landscape Diagrams Proposed Tree Diagram

The proposed tree design has been prepared to comply with the minimum soil volume requirements for canopy trees in both deep soil and in planters (on podium) as stated within Table D3: Soil Requirements for Trees, of the *Apartment Design Guidelines for Victoria, 2021*, prepared by the Department of Land, Water and Planning, 2021.

Legend

- Ai *Acacia implexa*
- Ac *Acacia pycnatha*
- Cc *Corymbia citriodora*
- Cs *Corymbia citriodora* 'Scentuous'
- Cm *Corymbia maculata*
- Es *Eucalyptus caesia* 'Silver Princess'
- Ec *Eucalyptus camaldulensis*
- El *Eucalyptus leucoxydon* 'Rosea'
- Em *Eucalyptus mannifera* 'Little Spotty'
- Ep *Eucalyptus pauciflora* 'Little Snowman'
- Pc *Pyrus calleryana* 'Chanticleer'



Proposed Tree Plan - Northern Section

Attachment 4 - PLN21/0836 - Amended Landscape plans

Landscape Diagrams
Proposed Tree Diagram

The proposed tree design has been prepared to comply with the minimum soil volume requirements for canopy trees in both deep soil and in planters (on podium) as stated within Table D3: Soil Requirements for Trees, of the *Apartment Design Guidelines for Victoria, 2021*, prepared by the Department of Land, Water and Planning, 2021.



Proposed Tree Plan - Southern Section

Attachment 4 - PLN21/0836 - Amended Landscape plans

Landscape Diagrams Proposed Planting Plan



Attachment 4 - PLN21/0836 - Amended Landscape plans

Landscape Diagrams Proposed Planting Plan



Attachment 4 - PLN21/0836 - Amended Landscape plans

Landscape Diagrams
Proposed Plant Schedule

Code	Botanic Name	Common Name	Mature Size (h x w) (m)	Installation Size	Density	Quantity
Trees						
AI	<i>Acacia implexa</i>	Hickory Wattle/ Lightwood	9.0x7.0m	100L, 50mm dia calliper, 3.5m height	As shown	20
Ap	<i>Acacia pycnantha</i>	Golden Wattle	5.0x 3.0m	45L, 30mm dia calliper, 2.5m height	As shown	24
Cc	<i>Corymbia citriodora</i>	Lemon-scented Gum	20.0x 8.0m	100L, 50mm dia calliper, 3.5m height	As shown	24
Cs	<i>Corymbia citriodora</i> 'Scentuous'	Dwarf Lemon-scented Gum	7.0 x 5.0m	100L, 50mm dia calliper, 3.5m height	As shown	10
Cm	<i>Corymbia maculata</i>	Spotted Gum	25.0 x 15.0m	100L, 50mm dia calliper, 3.5m height	As shown	14
Es	<i>Eucalyptus caesia</i> 'Silver Princess'	Silver Princess	6.0 x 4.0m	100L, 50mm dia calliper, 3.5m height	As shown	10
Ec	<i>Eucalyptus camaldulensis</i>	River Red Gum	25.0x 20.0m	100L, 50mm dia calliper, 3.5m height	As shown	1
EI	<i>Eucalyptus leucocylon</i> 'Rosea'	Red Flowering Yellow Gum	12.0 x 7.0m	100L, 50mm dia calliper, 3.5m height	As shown	7
Em	<i>Eucalyptus mannifera</i> 'Little Spotty'	Dwarf Brittle Gum	8.0 x 5.0m	100L, 50mm dia calliper, 3.5m height	As shown	30
Ep	<i>Eucalyptus pauciflora</i> 'Little Snowman'	Dwarf Snow Gum	7.0 x 5.0m	100L, 50mm dia calliper, 3.5m height	As shown	15
Pc	<i>Pyrus calleryana</i> 'Chanticleer'	Flowering Ornamental Pear	11.0 x 6.0m	100L, 50mm dia calliper, 3.5m height	As shown	4

Trees

Code	Botanic Name	Common Name	Mature Size (h x w) (m)	Installation Size	Density	Quantity
River Embankment - Shrub Planting						
ACA aci	<i>Acacia ornata</i>	Gold Dust Wattle	3.0 x 2.0m	150mm pot	1 per m2	665
BAN mae	<i>Banksia marginata</i>	Silver Banksia	4.0 x 3.0m	150mm pot		
BUR spi	<i>Bursaria spinosa</i> subsp. <i>spinosa</i>	Sweet Bursaria	3.0 x 2.0m	150mm pot		
CAL sie	<i>Callistemon sieberi</i>	River Bottlebrush	3.0 x 2.0m	150mm pot		
DOD vis	<i>Dodonaea viscosa</i>	Sticky Hop Bush	2.0 x 2.0m	150mm pot		
CAL sie	<i>Callistemon sieberi</i>	River Bottlebrush	3.0 x 2.0m	150mm pot		

River Embankment - Shrub Planting

Code	Botanic Name	Common Name	Mature Size (h x w) (m)	Installation Size	Density	Quantity
River Embankment - Groundcover Planting						
COR gla	<i>Correa glabra</i>	Rock Correa	1.0m x 1.0m	Tube stock	6 per m2	5,310
DIA rev	<i>Dianella revoluta</i>	Black Anther Flax Lily	0.6m x 0.3m	Tube stock		
DIC rep	<i>Dichondra repens</i>	Kidney Plant	0.6m x 1.0m	Tube stock		
GOO ova	<i>Goodenia ovata</i>	Hop Goodenia	1.0m x 2.0m	Tube stock		
HAR vio	<i>Hardenbergia violacea</i>	Creeping Sarsparilla	0.3m x 1.0m	Tube stock		
LOM lan	<i>Lomandra longifolia</i>	Spiny Headed Mat-Rush	1.2m x 1.5m	Tube stock		
MIC sli	<i>Microlaena stipoides</i> var. <i>stipoides</i>	Weeping Grass	1.0m x 0.2m	Tube stock		
POA lab	<i>Poa labillardieri</i>	Common Tussock Grass	1.0m x 1.0m	Tube stock		
THE tri	<i>Themeda triandra</i>	Kangaroo Grass	1.0m x 1.0m	Tube stock		
WAH com	<i>Wahlenbergia communis</i>	Native Bluebell	1.0m x 1.0m	Tube stock		

River Embankment - Groundcover Planting

Code	Botanic Name	Common Name	Mature Size (h x w) (m)	Installation Size	Density	Quantity
Ground Level - Feature Planting						
ACA cog	<i>Acacia cognata</i> 'Mini Cog'	Dwarf Bower Wattle	1.0m x 1.0m	150mm Pot	6 per m2	6,192
ANI fla	<i>Antigonon flavus</i>	Kangaroo Paw	1.0m x 1.0m	150mm Pot		
CAL red	<i>Callistemon 'Red Rover'</i>	Red Rover	0.3m x 1.5m	150mm Pot		
CAS gla	<i>Casuarina glauca</i> 'Cousin It'	Cousin It	1.0m x 1.0m	150mm pot		
DAM lin	<i>Dampiera linearis</i>	Cobalt Mound	0.3 x 0.5m	150mm Pot		
DIA rev	<i>Dianella revoluta</i>	Black Anther Flax Lily	0.6m x 0.3m	150mm Pot		
ERE gla	<i>Eremophila glabra</i> prostrate	Emu Bush Prostrate	0.2 x 1.0m	150mm Pot		
GRE jun	<i>Grevillea juniperina</i> 'Gold Cluster'	Juniper-Leaf Grevillea	0.3 x 1.0m	150mm Pot		
HAR vio	<i>Hardenbergia violacea</i>	Creeping Sarsparilla	0.3m x 1.0m	150mm Pot		
LEU saf	<i>Leucodanthonia laevis</i> 'Safari Sunset'	Safari Sunset	1.5m x 1m	150mm Pot		
LOM lan	<i>Lomandra longifolia</i>	Spiny Headed Mat-Rush	1.2m x 1.5m	150mm Pot		
MYO par	<i>Myoporum parvifolium</i>	Boobialla	0.1 x 1.0m	150mm Pot		
SEN man	<i>Senecio mannatoliscze</i>	Blue Chalk Sticks	0.3 x 1.0m	150mm Pot		
SYZ aus	<i>Syzygium australe</i> 'Cinnamon Twist'	Lily Pilly	3.0 x 1.0m	150mm Pot		

Ground Level - Feature Planting

Code	Botanic Name	Common Name	Mature Size (h x w) (m)	Installation Size	Density	Quantity
Ground Level - Native Planting						
ACA cog	<i>Acacia cognata</i> 'Mini Cog'	Dwarf Bower Wattle	1.0m x 1.0m	Tube stock	6 per m2	4,254
AUS cae	<i>Austroanthoxia caespitosa</i>	Common Tussock Grass	0.6m x 0.5m	Tube stock		
CAL cit	<i>Calceophalus citreus</i>	Lemon Beauty-Heads		Tube stock		
COR alb	<i>Correa alba</i>	White Correa	1.5 x 1.5m	Tube stock		
DIA rev	<i>Dianella revoluta</i>	Black Anther Flax Lily	0.6m x 0.3m	Tube stock		
DIC rep	<i>Dichondra repens</i>	Kidney Plant	0.6m x 1.0m	Tube stock		
DRY niv	<i>Dryandra nivea</i>	Honeypot Dryandra	0.4m x 0.8m	Tube stock		
GOO ova	<i>Goodenia ovata</i>	Hop Goodenia	1.0m x 2.0m	Tube stock		
HAR vio	<i>Hardenbergia violacea</i>	Creeping Sarsparilla	0.3m x 1.0m	Tube stock		
LOM lan	<i>Lomandra longifolia</i>	Spiny Headed Mat-Rush	1.2m x 1.5m	Tube stock		
POA lab	<i>Poa labillardieri</i>	Common Tussock Grass	1.0m x 1.0m	Tube stock		

Ground Level - Native Planting

Attachment 4 - PLN21/0836 - Amended Landscape plans

Landscape Diagrams Proposed Plant Schedule

Code	Botanic Name	Common Name	Mature Size (h x w) (m)	Installation Size	Density	Quantity
Ground Level - Terrace Planting						
LIR mus	<i>Liriope muscari</i>	Lily-	1.2m x 0.6m	150mm Pot	6 per m2	3,192
CAS gla	<i>Casuarina glauca</i> 'Cousin It'	Cousin It	1.0m x 1.0m	150mm pot		
CLI min	<i>Clivia miniata</i>	Bush Lily	0.6 x 0.6m	150mm Pot		
DIA rev	<i>Dianella revoluta</i>	Black Anther Flax Lily	0.6m x 0.3m	150mm Pot		
HAR vio	<i>Hardenbergia violacea</i>	Creeping Sarsparilla	0.3m x 1.0m	Tubestock		
LOM lon	<i>Lomandra longifolia</i>	Spiny Headed Mat-Rush	1.2m x 1.5m	Tubestock		
MYO par	<i>Myoporum parvifolium</i>	Boobialla	0.1 x 1.0m	150mm Pot		
SEN man	<i>Senecio mandraliscae</i>	Blue Chalk Sticks	0.3 x 1.0m	150mm Pot		

Ground Level - Terrace Planting

Code	Botanic Name	Common Name	Mature Size (h x w) (m)	Installation Size	Density	Quantity
Ground Level - Streetscape Planting						
ACA cog	<i>Acacia cognata</i> 'Mini Cog'	Dwarf/Bower Wattle	1.0m x 1.0m	150mm Pot	6 per m2	1,236
ANI fla	<i>Anigozanthos flavus</i>	Kangaroo Paw	1.0m x 1.0m	150mm Pot		
CAL red	<i>Calistemon 'Red Rover'</i>	Red Rover	0.2m x 1.5m	150mm Pot		
DIA rev	<i>Dianella revoluta</i>	Black Anther Flax Lily	0.6m x 0.3m	150mm Pot		
GRE jun	<i>Grevillea juniperina</i> 'Gold Cluster'	Juniper-Leaf Grevillea	0.3 x 1.0m	150mm Pot		
LOM lon	<i>Lomandra longifolia</i>	Spiny Headed Mat-Rush	1.2m x 1.5m	150mm Pot		
WES fru	<i>Westringia fruticosa</i>	Native Rosemary	0.5 x 1.5m	150mm Pot		

Ground Level - Streetscape Planting

Code	Botanic Name	Common Name	Mature Size (h x w) (m)	Installation Size	Density	Quantity
Lower Ground - Groundcover Planting						
ACA cog	<i>Acacia cognata</i> 'Mini Cog'	Dwarf/Bower Wattle	1.0m x 1.0m	150mm Pot	6 per m2	870
APH res	<i>Aphanopetalum resinosum</i>	Gum Vine	3.0m x 1.0m	150mm Pot		
CAR ros	<i>Carpatolus rossii</i>	Pig Face	0.4 x 1.0m	150mm Pot		
CLI min	<i>Clivia miniata</i>	Bush Lily	0.6 x 0.6m	150mm Pot		
DIA rev	<i>Dianella revoluta</i>	Black Anther Flax Lily	0.6m x 0.3m	150mm Pot		
LOM lon	<i>Lomandra longifolia</i>	Spiny Headed Mat-Rush	1.2m x 1.5m	150mm Pot		
MYO par	<i>Myoporum parvifolium</i>	Creeping Boobialla	0.2m x 3.0m	150mm Pot		
PAR qui	<i>Parthenocissus quinquefolia</i>	Virginia Creeper	Climber	150mm Pot		
POA lab	<i>Poa labillardieri</i>	Common Tussock Grass	1.0m x 1.0m	150mm Pot		
TRA jas	<i>Trachelospermum jasminoides</i>	Star Jasmine	Climber	150mm Pot		

Lower Ground - Ground Cover Planting

Code	Botanic Name	Common Name	Mature Size (h x w) (m)	Installation Size	Density	Quantity
Level 5 and 6 - Groundcover Planting						
ACA cog	<i>Acacia cognata</i> 'Mini Cog'	Dwarf/Bower Wattle	1.0m x 1.0m	150mm Pot	6 per m2	1,644
AJU bla	<i>Ajuga 'Black Sculpin'</i>	Blue Bugle	0.1m x 0.3m	150mm Pot		
BRA rac	<i>Brachycome multflora</i>	Rock Daisy	0.3m x 0.4m	150mm Pot		
CAS gla	<i>Casuarina glauca</i> 'Cousin It'	Cousin It	1.0m x 1.0m	150mm pot		
DIA rev	<i>Dianella revoluta</i>	Black Anther Flax Lily	0.6m x 0.3m	150mm Pot		
GRE jun	<i>Grevillea juniperina</i> 'Gold Cluster'	Juniper-Leaf Grevillea	0.3 x 1.0m	150mm Pot		
HAR vio	<i>Hardenbergia violacea</i>	Creeping Sarsparilla	0.3m x 1.0m	150mm Pot		
LEU saf	<i>Leucadendron laurcelum</i> 'Safari Sunset'	Safari Sunset	1.5m x 1m	150mm Pot		
DIA rev	<i>Dianella revoluta</i>	Black Anther Flax Lily	0.6m x 0.3m	150mm Pot		
LOM lon	<i>Lomandra longifolia</i>	Spiny Headed Mat-Rush	1.2m x 1.5m	Tubestock		
MYO par	<i>Myoporum parvifolium</i>	Boobialla	0.1 x 1.0m	150mm Pot		
SCA amu	<i>Scaevola amula</i>	Fan Flower	0.2m x 2.0m	150mm Pot		
SED mat	<i>Secum 'Matrona'</i>	Stoncrop	0.2m x 0.2m	Tubestock		

Level 5 and 6 - Ground Cover Planting

Attachment 4 - PLN21/0836 - Amended Landscape plans

Landscape Diagrams
Proposed Plant Palette



Attachment 4 - PLN21/0836 - Amended Landscape plans

Landscape Diagrams
Proposed Plant Palette



Attachment 4 - PLN21/0836 - Amended Landscape plans

Landscape Diagrams Proposed Plant Palette



Attachment 4 - PLN21/0836 - Amended Landscape plans

Landscape Diagrams Canopy Coverage



The development site is 18,470m² in total area.

Based on the canopy spread identified within the Arborist Report, a total of approx 1,440 m² of canopy coverage is provided by existing trees, which accounts to 7.8% of the total development site area.

A total of 4,473m² area of canopy is provided by proposed trees, 24.22% of the total development site area. Noting this is based on trees anticipated mature spread and excludes canopy overlap to existing trees. For the landscape plans provided within this report, tree canopy spread is shown at 70% of anticipated mature spread, which is as per industry standard for presenting canopy trees.

Overall at maturity, canopy coverage across existing and proposed trees will be 5,913m², equating to 32.01% of the total development site.

Legend

-  Existing Tree Canopy Coverage
-  Proposed Tree Canopy Coverage (Shown at 70% mature spread)



Attachment 4 - PLN21/0836 - Amended Landscape plans

Landscape Diagrams Private, Public and Communal Spaces

The proposed development provides a variety of outdoor spaces for both residents and the broader community.

The Central Plaza (including the porte cochere) and River Embankment area (including steps and boardwalk ramp) and Christine Street connection are all publicly accessible for use by the community and to facilitate access between the Main Yarra Trail and River Boulevard / Victoria Gardens Precinct.

The Northern Lawn, Southern Lagoon and Lower Ground Courtyard outdoor spaces are all available for use by residents.

It is noted that the Northern Pocket Park will continue to be publicly accessible.

Private outdoor terraces are provided for the ground level apartments, and are enclosed with raised planters and visually permeable fencing to provide both a sense of privacy and passive surveillance of the streetscape and internal communal spaces.

Legend

-  Outdoor Communal Spaces
-  Publicly Accessible Open Space
-  Private Outdoor Spaces



Private, Public and Communal Spaces Plan - Ground and Lower Ground

Attachment 4 - PLN21/0836 - Amended Landscape plans

Landscape Diagrams Private, Public and Communal Spaces

In addition to the communal spaces provided on the Ground and Lower Ground Levels, outdoor communal rooftop spaces are provided on Level 5, fronting onto the Yarra River corridor.

Legend

- Outdoor Rooftop Communal Spaces



Private, Public and Communal Spaces Plan - Level 5

Attachment 4 - PLN21/0836 - Amended Landscape plans

Landscape Diagrams Universal Access / Path Network

The development proposal seeks to integrate and provide new connections through the existing pedestrian and cycling network.

A new pedestrian and cycling linkage is provided through the central heart of the site, connecting Riverside Boulevard and the broader Victoria Gardens Precinct to the Main Yarra Trail and the Yarra River Corridor. This connection is facilitated by a designated path through the Porte Cochere and Central Plaza, to steps navigating the level transition down the river corridor embankment. Complementing the steps is a 1.8m wide timber DDA compliant timber or FRP (to future detail) boardwalk that integrates into the embankment and provides access for all abilities and dismounted cyclists to the Main Yarra Trail further to the south.

A public DDA compliant ramp and step connection is provided from Christine Crescent to the Central Plaza.

Legend

-  Main Yarra Trail - Shared Use Path
-  Existing Footpaths
-  Publicly Accessible Pedestrian Paths
-  Publicly Accessible Stairs
-  Publicly Accessible 1.8m wide DDA Compliant Ramp (Pedestrians and Dismounted Cyclist Use)
-  Internal Private Pedestrian Paths
-  Shared Zone (Pedestrians and Vehicles)



Attachment 4 - PLN21/0836 - Amended Landscape plans

Landscape Diagrams Fencing







A variety of fencing treatments are proposed to provide security across the development.

Perimeter fencing is located to the northern and southern interfaces, enclosing the outdoor communal spaces and demarcating the title boundary. The proposed fencing is to be a 1.8m high powdercoat palisade fence, providing a visually permeable treatment to integrate into the overall planting scheme.

Along the prominent Riverside Boulevard interface, private terraces are to be enclosed with a fence treatment that comprises of a 0.6m high concrete plinth, with a visually permeable 1.2m high angled steel fin fencing on top, bringing the total fence height to 1.8m. The design intent of the fence is to provide clear definition to the private terraces, while providing visual connectivity between these spaces and the streetscape. The steel fin fencing will match the balustrade detailing of the building to provide a cohesive outcome.

A glass balustrade is provided to the full external extent of the Southern Lagoon Pool for safety and to visually integrate with the balustrade detailing of the proposed vegetation.

Legend

-  Perimeter fencing - 1.8m high black powdercoat palisade fencing
-  Perimeter fencing - 1.8m high palisade secure gate
-  Private Terraces to Riverside Blvd - 0.6m high concrete plinth with 1.2m high powdercoat steel fin fencing to match architects detail (1.8m overall height)
-  Private Terraces to Riverside Blvd - 1.8m high powdercoat steel fin secure gate
-  Southern Lagoon - 1.2m high glass balustrade pool fencing
-  Southern Lagoon - 1.2m high pool fencing secure gate



Attachment 4 - PLN21/0836 - Amended Landscape plans

Landscape Diagrams Wayfinding

Wayfinding signage is proposed for the Riverside Richmond Development to encourage public use of the Riverside Plaza and encourage connectivity from River Boulevard/commercial precincts through to the Yarra River.

The signage shall assist people, cyclists, drivers and public transport users to travel safely and confidently through unfamiliar areas; encourage them to explore the places they are visiting; and creates a sense of place that can foster community activity.

A consistent, reliable and integrated wayfinding system is proposed composing of Destination and Directional signage. The proposed locations are noted on the Wayfinding Landscape Diagram with consideration of paths of travel and key decision points ensuring users can navigate throughout the development and through to the Yarra River.

A Signage and Wayfinding Consultant will be engaged in future design stages to develop a Signage Strategy and Suite based on the principles above in accordance with relevant standards.

Legend

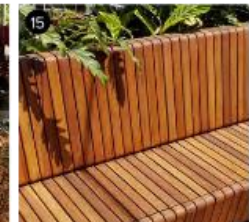
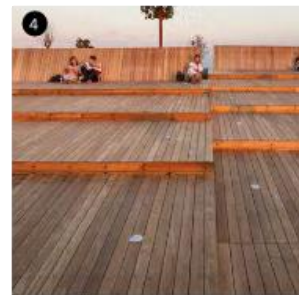
- Destination Sign: to indicate arrival and can include maps or diagrams.
- Directional Sign: to point the observer to one or more destinations



Attachment 4 - PLN21/0836 - Amended Landscape plans

Landscape Diagrams Materials Palette

Type	Description	Location	
01	Unit Pavers - Plaza	Brown Engineered Granite, Shotblast finish	Ground, Lower Ground
02	Unit Pavers - Shared Space	Dark Brown Engineered Granite, Vehicular grade Shotblast Finish	Ground
03	Feature paving - River Line	Filetti brown natural stone	Ground Floor
04	Raised and Level Deck	Weathered Australian Timber Decking	Ground, Lower Ground
05	Loose Pavement Steppers in crushed rock	Natural Australian Bluestone raw edge cut stone set in crushed Lillydale toppings	Ground
06	Large-format unit paver	Engineered Travertine in P5 finish	Ground, Level 5, Level 6
07	Unit Paver	Granite unit paver exfoliated finish	All (Private terraces)
Walls and Edges			
08	Planter wall	In situ Concrete Wall with cut brick facia	All Levels
09	Retaining wall	Concrete block Wall with stone facing	Ground (embankment)
10	Palisade Fencing	Steel blade fence powdercoated black	Ground to southern boundary
Softscape			
11	Garden Bed	Organic Mulch	All Levels
12	Turf/Lawn	Refer to Plant Schedule	Ground
Furniture			
13	Flexible Furniture	Varies	All Levels
14	Integrated Lounges	Timber Cladding, Base varies	All Levels
15	Bench Seating	Timber Cladding, Base varies	All Levels
Miscellaneous			
16	Shade Shelter	Coloured Powder Coat Steel Frame with Slats	Ground



Attachment 4 - PLN21/0836 - Amended Landscape plans

Landscape Diagrams Landscape Maintenance

The Landscape Maintenance Plan provide below is typical and states the general expected maintenance tasks required to ensure the ongoing success of the landscape outcome.

Landscape maintenance program

Maintenance shall mean the care and maintenance of the landscape works by accepted horticultural practice as rectifying any defects that become apparent in the landscape works under normal use. this shall include, but shall not be limited to, watering, mowing, fertilising, reseeding, returfing, weeding, pest and disease control, staking and tying, replanting, cultivation, pruning, aerating, renovating, top dressing, maintaining the site in a neat and tidy condition as follows.

General

The landscape contractor shall maintain the landscape works for the term of the maintenance (or plant establishment) period to the satisfaction of the council, the landscape contractor shall attend to the site on a weekly basis, the maintenance period shall commence at practical completion and continue for a period of twenty six (26) weeks.

Watering

Grass, trees and garden areas shall be watered regularly so as to ensure continuous healthy growth.

Rubbish removal

During the term of the maintenance period the landscape contractor shall remove rubbish that may occur and reoccur throughout the maintenance period. This work shall be carried out regularly so that at weekly intervals the area may be observed in a completely clean and tidy condition.

Replacements

The landscape contractor shall replace all plants that are missing, unhealthy or dead at the landscape contractor's cost. replacements shall be of the same size, quality and species as the plant that has failed unless otherwise directed by the landscape architect. replacements shall be made on a continuing basis not exceeding two (2) weeks after the plant has died or is seen to be missing.

Stakes and ties

The landscape contractor shall replace or adjust plant stakes, and tree guards as necessary or as directed by the landscape architect. Remove stakes and ties at the end of the maintenance period if so directed.

Pruning

Trees and shrubs shall be pruned as directed by the landscape architect. Pruning will be directed at the maintenance of the dense foliage or miscellaneous pruning and beneficial to the condition of the plants. Any damaged growth shall be pruned. All pruned material shall be removed from the site.

Mulched surfaces

All mulched surfaces shall be maintained in a clean and tidy condition and be reinstated if necessary to ensure that a depth of 75mm is maintained. Ensure mulch is kept clear of plant stems at all times.

Pest and diseased control

The landscape contractor shall spray against insect and fungus infestation with all spraying to be carried out in accordance with the manufacturer's directions. Report all instances of pests and diseases (immediately that they are detected) to the landscape architect.

Grass and turf areas

The landscape contractor shall maintain all grass and turf areas by watering, weeding, dressing, rolling, mowing, trimming or other operations as necessary. Seed and turf species shall be the same as the original specified mixture. Grass and turf areas shall be sprayed with approved selective herbicide against broad leaved weeds as required by the landscape architect and in accordance with the manufacturer's directions. grass and turf areas shall be fertilised once a year in autumn with "dynamic lifter" for lawns at a rate of 20kg per 100m². fertiliser shall be watered in immediately after application. Irregularities in the grass and turf shall be watered in immediately after application. Grass and turf areas shall be kept mown to maintain a healthy and vigorous sward. mowing height: 30-50mm.

Weed eradication

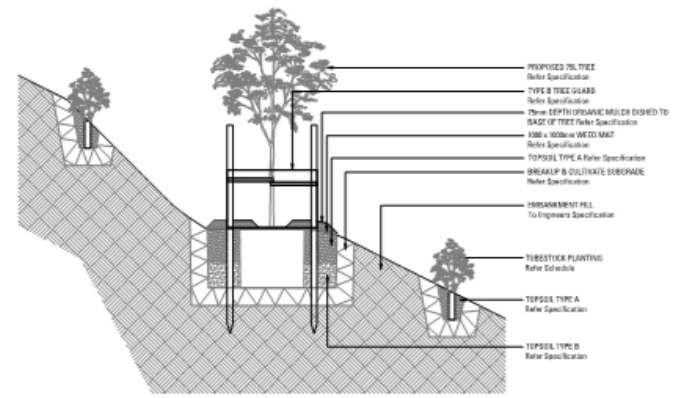
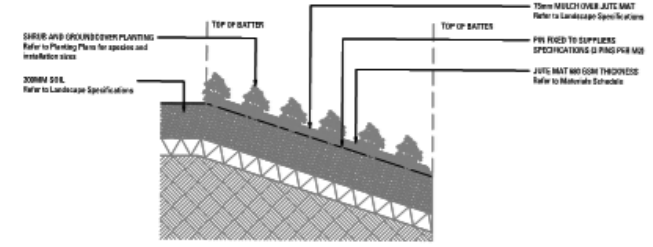
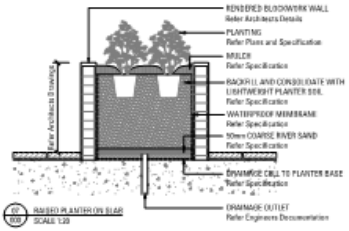
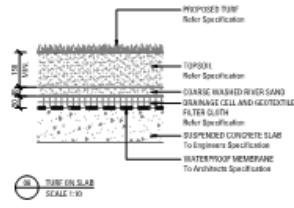
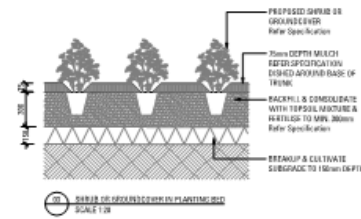
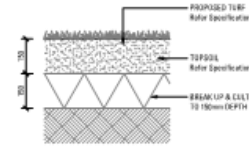
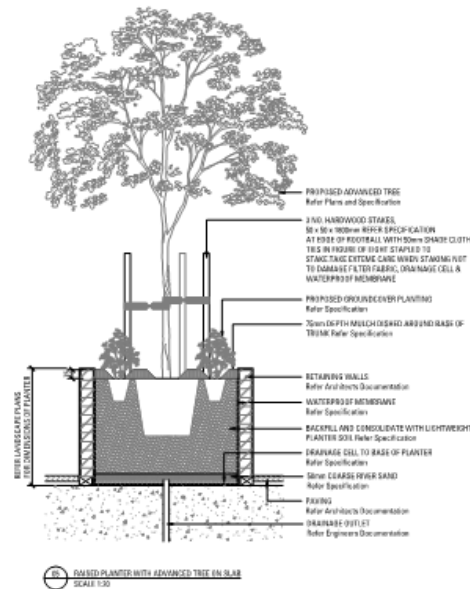
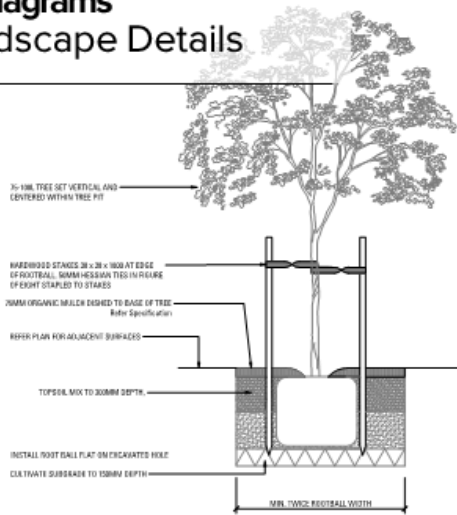
Eradicate weeds by environmentally acceptable methods using a non-residual glyphosate herbicide (eg. 'roundup') in any of its registered formulae, at the recommended maximum rate. Regularly remove by hand, weed growth that may occur or recur throughout grassed, planted and mulched areas. Remove weed growth from an area 750mm diameter around the base of trees in grassed areas. Continue eradication throughout the course of the works and during the maintenance period.

Soil subsidence

Any soil subsidence or erosion which may occur after the soil filling and preparation operations shall be made good by the landscape contractor at no cost to the client.

Attachment 4 - PLN21/0836 - Amended Landscape plans

Landscape Diagrams
Typical Landscape Details



Attachment 4 - PLN21/0836 - Amended Landscape plans

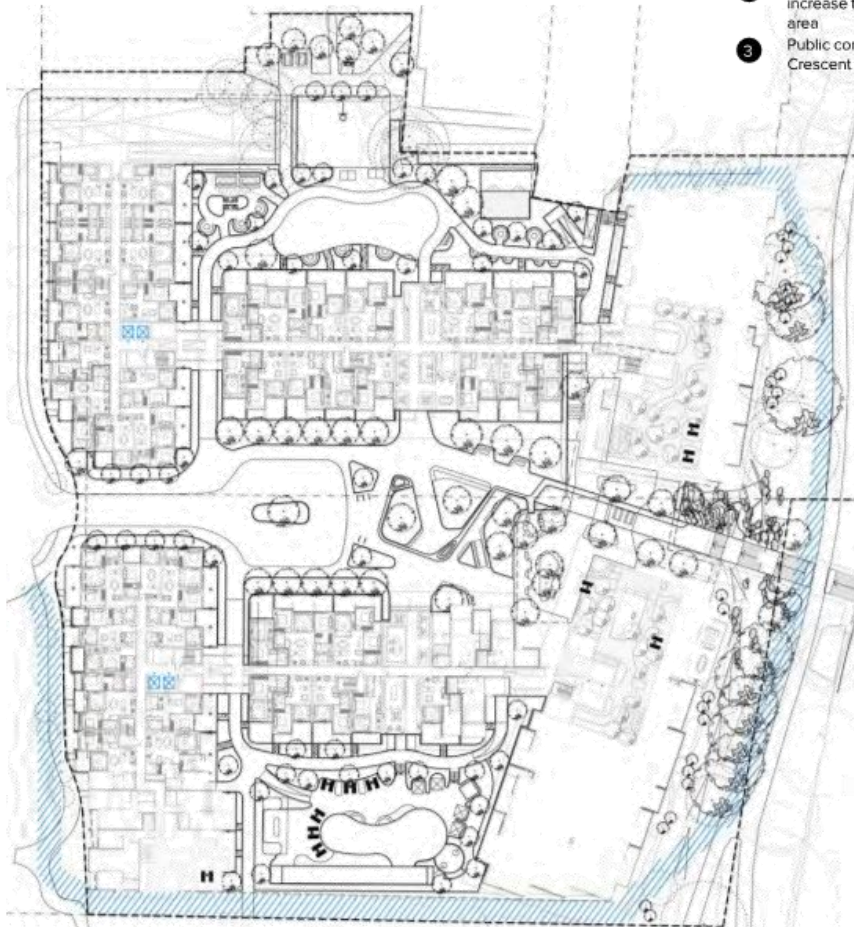
Landscape Diagrams

Landscape Concept Comparison

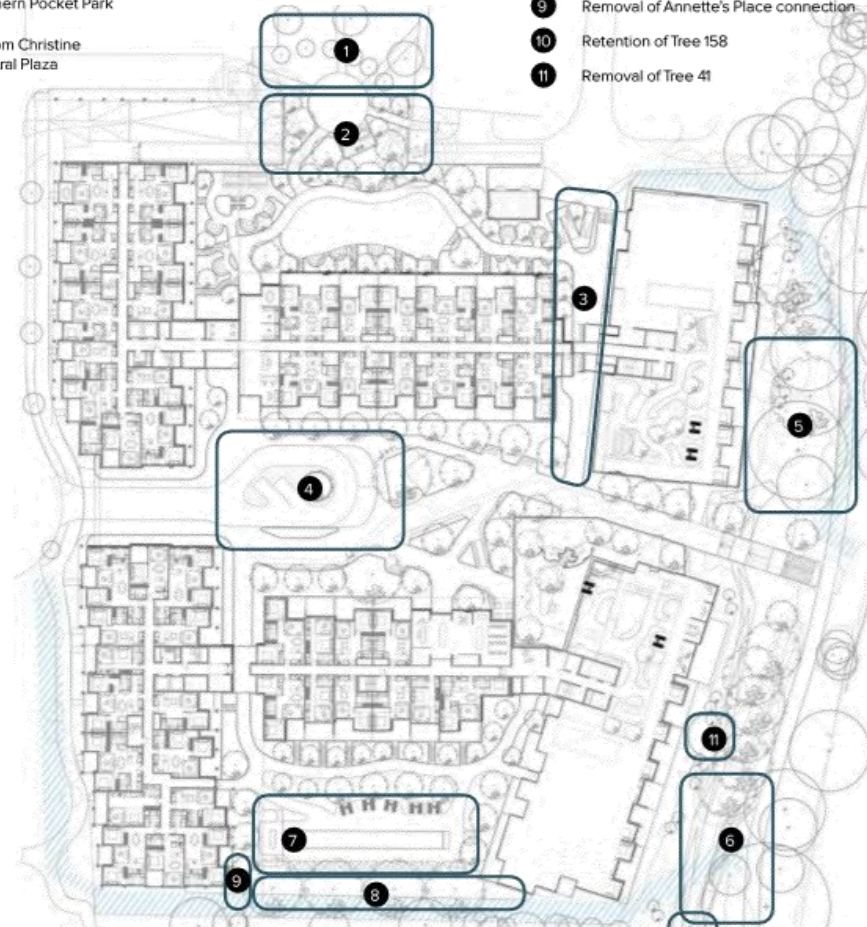
The landscape architectural concept has undergone a number of amendments following the Council RFI process and architectural changes. The previous landscape concept, Revision B dated 22 February 2022 is provided for comparison to the current concept.

Legend

- 1 Retention of existing hardscape within Northern Pocket Park. Removal of 9no. trees (30A, 30B, 6no. 30 and 32) and replacement with new tree species.
- 2 Removal of basketball court and increase to the Northern Pocket Park area
- 3 Public connection from Christine Crescent to the Central Plaza
- 4 Reduced area of the porte cochere
- 5 Retention of Tree 161, 163 and 164.
- 6 DDA path connection between Annette's Place and Yarra River Trail
- 7 Mixed use pavilion and concourse area
- 8 Basement car park set back providing deep soil for canopy tree planting and screening shrubs
- 9 Removal of Annette's Place connection
- 10 Retention of Tree 158
- 11 Removal of Tree 41



Revision B Landscape Concept, February, 2022



Revision D Landscape Concept, November, 2022

Attachment 4 - PLN21/0836 - Amended Landscape plans

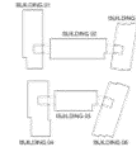


Attachment 5 - PLN21/0836 - Sketch plans (Level 02 plan and southern elevation)



Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and the fabrication of any components.
Do not scale drawings, refer to figured dimensions only. Any discrepancies shall ultimately be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from RSR.

KEY PLAN:



LEGEND - KEY PLAN

- Studio Apartment
- 1 Bedroom Apartment
- 2 Bedroom Apartment
- Resident Amenities
- Resident Balconies & Terrace
- Building Services / Plant
- Title Boundary
- Horizontal Bicycle Spaces
- Vertical Bicycle Spaces

Apartment Naming logic as per below:
X YY ZZZ
X = Building Number
YY = Level
ZZZ = Apartment Number

- 1 Living / Dining layout reconfigured
- 2 Privacy screen added
- 3 Note added for maintenance-access-only door
- 4 Juliette balconies added on southern facade
- 5 Bedroom / Bathroom layout reconfigured

16	16.03.22	TOWN PLANNING	41	RS
17	16.11.22	TOWN PLANNING	41	RS
18	16.11.22	TOWN PLANNING	41	RS
19	16.11.22	TOWN PLANNING	41	RS

RSR
Riverside Boulevard

Key Plan
Level 02



Status	TOWN PLANNING		
Scale	1 : 300	@ A1	1 : 600 @ A3
Client	PG	Checked	AA
Project No.	M12360		
Plot Date	16/11/2022 1:10:08 PM		
DRM			
Drawing No.	Revision		
TP03.02	B		

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 9564 8200 F 03 9564 8300
email mel@batesmart.com.au
http://www.batesmart.com.au

Sydney 43 Bradmore Street
Sydney NSW 2010 Australia
T 02 9554 5100 F 02 9554 5199
email syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 004 989 400

Attachment 5 - PLN21/0836 - Sketch plans (Level 02 plan and southern elevation)



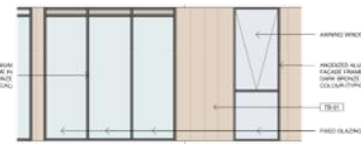
Elevation - North
1:300



Elevation - North Operable Window 01
1:50



Elevation - North Operable Window 02
1:50



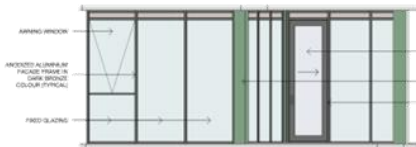
Elevation - North Operable Window 03
1:50



Elevation - South
1:300



Elevation - South Operable Window 01
1:50



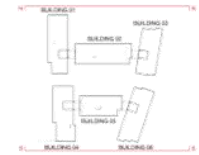
Elevation - South Operable Window 02
1:50



Elevation - South Operable Window 03
1:50

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and the fabrication of any components.
Do not scale drawings, refer to figured dimensions only. Any discrepancies shall ultimately be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from the architect.

KEY PLAN:



FACADE LEGEND:

- PF-01 Paint Finish
- PC-01 Precast Concrete Panel (Light Finish)
- RC-01 Masonry Paint Finish (Warm Colour)
- RC-02 Masonry Paint Finish (Light Colour)
- RC-03 Masonry Paint Finish (Red/Light Colour)
- GL-01 Clear Glazing
- LV-01 Plant Screen Dark Metal Louvre
- TS-01 Pre-Cast Panel in Stone Look Form Liner
- TC-01 Aluminium Cladding (Warm Tan Colour)
- TPC-01 Textured Masonry Cladding
- BAL-01 Dark Metal Balustrade
- BAL-02 Textured Masonry (To Match TPC-01)
- BAL-03 Clear Glass with Dark Metal Frame
- BAL-04 Concrete Side / Clear Glass Front
- BAL-05 Textured Masonry Cladding At Bottom With Clear Glazing on Top

- Living / Dining layout reconfigured
- Privacy screen added
- Note added for maintenance-access-only door
- Juliette balconies added on southern facade

A 10/11/2021 TOWN PLANNING
Rev Date Revision
Rev Date

RSR
Riverside Boulevard

External Elevations
Elevations North - South

Status	TOWN PLANNING
Scale	1:250 @ A1 1:500 @ A3
Client	PG Checklist AA
Project No.	M12360
Plot Date	15/11/2021 6:28:41 PM
GM	
Drawing no.	Revision
TP09.01	A

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 9564 8200 F 03 9564 8300
email mel@batesmart.com.au
http://www.batesmart.com.au

Sydney 43 Brisbane Street
Sydney NSW 2010 Australia
T 130 9554 5100 F 02 9554 5199
email syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 004 999 400