

Attachment 1 - PLN21/0316 - PDC Attachment - Sketch Plans received 07 February 2023



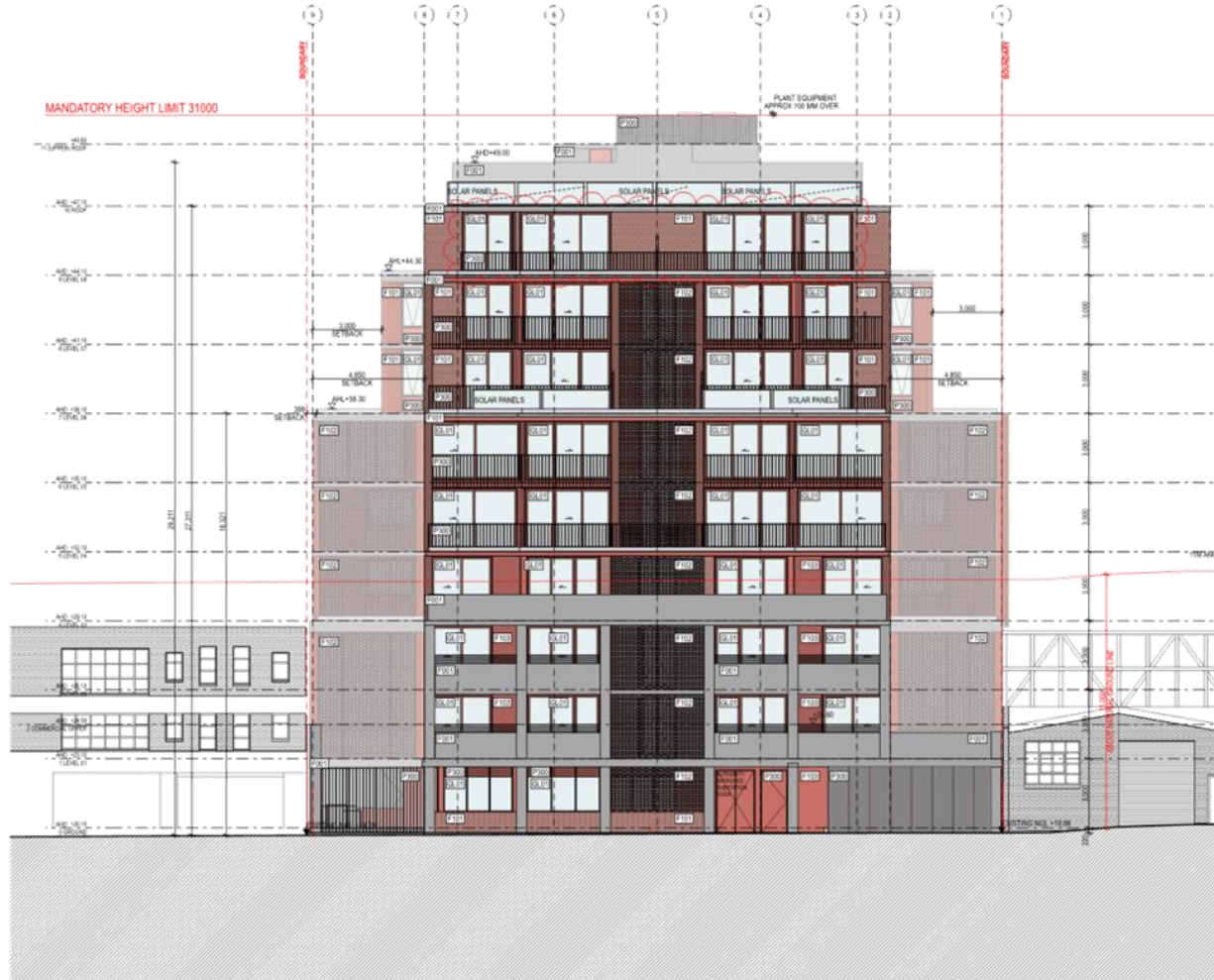






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KEY - EXTERIOR FINISHES



LT TURNER STREET ELEVATION (NORTH)  
 NOTE: DUE TO MAKING BOUNDARY LINE, BOUNDARY OFFSETS ARE SHOWN TO GRID AND THEN TO BOUNDARY.  
 REFER TO PLANS FOR BOUNDARY OFFSETS.  
 1:100

NOTE: DUE TO MAKING BOUNDARY LINE, BOUNDARY OFFSETS SHOWN TO GRID AND THEN TO BOUNDARY.  
 ELEVATION OFFSETS SHOWN TO GRID AND SETBACK.

SITE KEY



Number	Revision	Date
1	CONCEPT SUBMISSION	19/01
2	REVISED TOWN PLANNING	14/02
3	REVISED TOWN PLANNING	07/02
4	INDEPENDENT ENGINEER	09/02
5	RESPONSE TO CONSULTING	29/02
6	RESPONSE TO CONSULTING	15/03
7	FINAL SUBMISSION	24/02
8	FINAL	19/02
9	FINAL - LITTLE TURNER TOWN PLANNING & DEVELOPMENT	09/03

General Notes

BUILDERS / CONTRACTORS SHALL VERIFY ALL DIMENSIONS BEFORE ANY COMMENCEMENT OF WORK. DIMENSIONS SHOWN ARE NOMINAL. DIMENSIONS SHOWN SHALL TAKE PRECEDENCE OVER COLOURED DIMENSIONS. ANY DIMENSIONS ARE TO BE MADE REFERENCE TO THE ARCHITECT'S / DESIGNER OFFICE DRAWING. DIMENSIONS ARE TO BE MADE TO ANY WORK COMMENCED ON SITE. ALL WORK COMMENCED SHALL BE COMPLETED FROM THE DATE OF COMMENCEMENT OF WORK. DIMENSIONS ARE TO BE MADE TO THE FACE OF UNFINISHED WORK UNLESS OTHERWISE SPECIFIED.

Client

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Designs developed and prepared by  
 MA Architects Pty Ltd  
 unless otherwise stated.

We acknowledge the Traditional Owners of country throughout Australia and recognise their continuing connection to land, waters and culture. We pay our respects to their Elders past and present.

Stage: TOWN PLANNING  
 Project: PROPOSED MIXED USE DEVELOPMENT  
 Address: 308 & 400 Johnston Street Abbotsford Neppan

Title: ELEVATIONS

Checked: KA Green P0188

Printed: 7/2/2023 Scale: As shown  
 Date:

19005TP210\_1





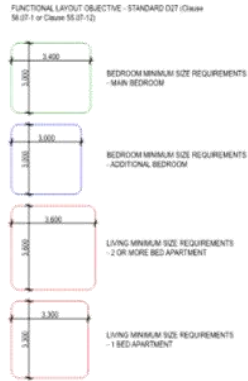






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LEGEND - DWELLING AMENITY



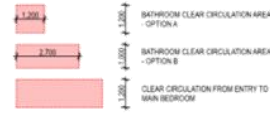
PRIVATE OPEN SPACE OBJECTIVE - STANDARD D19 (Class 58.05-3)



ALL OTHER APARTMENT ORIENTATIONS



ACCESSIBILITY - STANDARD D17 OR B41 (Class 58.05-1 or 58.05-6) - AT LEAST 50% DWELLING COMPLIANCE



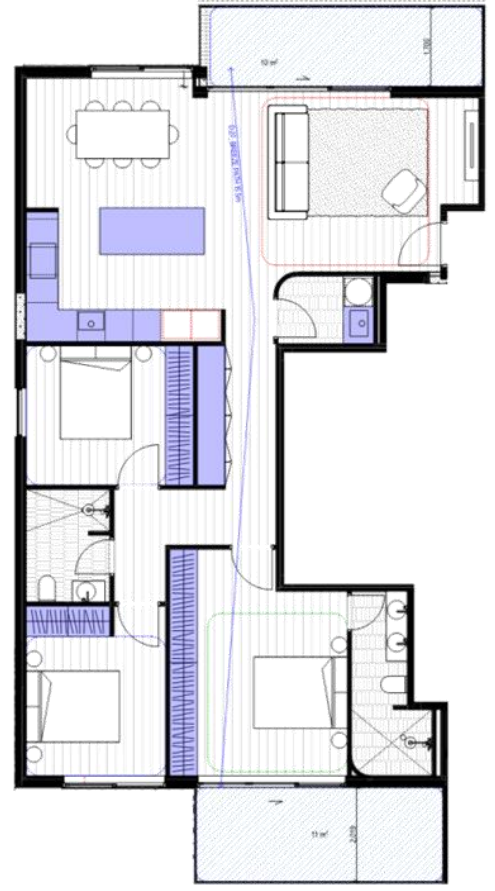
STORAGE REQUIREMENTS - STANDARD D23 OR B44 (Class 58.05-4 or 58.05-16)

STORAGE

STUDIO	9 CUBIC METRES
1 BED DWELLING	10 CUBIC METRES
2 BED DWELLING	14 CUBIC METRES
3 BED DWELLING	18 CUBIC METRES

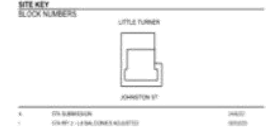
DIRECTION OF BREEZE PATH - D17

NOTE:  
- ALL AIRCON UNITS ARE LOCATED ON ROOF LEVEL  
- ALL SHOWERS ARE KIDOLESS  
- ALL DOORS HAVE A MINIMUM 850MM CLEAR OPENING



UNIT PLAN - TYPE K  
1:50

APARTMENT AREA	122m <sup>2</sup>
NO. OF APARTMENTS	2
STORAGE BREAKDOWN	
LAUNDRY	0.45m <sup>2</sup>
KITCHEN	6.15m <sup>2</sup>
STORE	3.79m <sup>2</sup>
BEDROOM	12.74m <sup>2</sup>
TOTAL STORAGE	22.13m <sup>2</sup>



Number	Revision	Date
General Notes		
<p>BUILDERS / CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND FINISHES. DIMENSIONS SHOWN ARE NOMINAL. FINISHES TO BE USED SHALL BE AS SHOWN ON THE DRAWING. ANY DIMENSIONS NOT SHOWN SHALL BE AS SHOWN ON THE DRAWING. DIMENSIONS SHALL BE AS SHOWN ON THE DRAWING. DIMENSIONS SHALL BE AS SHOWN ON THE DRAWING. DIMENSIONS SHALL BE AS SHOWN ON THE DRAWING.</p>		
Client		
<p><b>DCF</b></p> <p>MA Architects Pty Ltd ma@maarchitects.com.au 404 ARCADE DRIVE 7 - 600 940 8871 E ma@maarchitects.com.au L5/88 Margaret St Richmond New South Wales 2011 Australia</p>		
<p>Stage <b>TOWN PLANNING</b></p> <p>Project <b>PROPOSED MIXED USE DEVELOPMENT</b></p> <p>Address <b>308 &amp; 400 Johnston Street Adelaide North</b></p> <p>Title <b>UNIT PLANS</b></p> <p>Checked KA Drawn PDI/BR</p> <p>Printed Date 7/2/2023 Scale As shown</p>		

Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans



AERIAL PHOTO  
NTS

■ SUBJECT SITE

398 & 400 Johnston Street  
Abbotsford

DRAWING LIST

- TP001 COVER SHEET
- TP002 AREA SCHEDULE
- TP003 PERSPECTIVES / RENDERS
- TP006 PERSPECTIVES / RENDERS
- TP007 PERSPECTIVES / RENDERS
- TP008 PERSPECTIVES / RENDERS
- TP009 PERSPECTIVES / RENDERS
- TP010 PERSPECTIVES / RENDERS
- TP050 DEMO PLANS
- TP055 DEMO ELEVATIONS
- TP056 DEMO ELEVATIONS
- TP060 FINISHES
- TP100 SITE PLAN
- TP111 80% PLAN
- TP112 10% PLAN
- TP113 10% PLAN
- TP116 COMMERCIAL UPPER PLAN
- TP118 10% PLAN
- TP119 10% PLAN
- TP120 10% PLAN
- TP121 10% PLAN
- TP122 10% PLAN
- TP124 UPPER ROOF PLAN
- TP200 STREET ELEVATIONS
- TP210 ELEVATIONS
- TP211 ELEVATIONS
- TP212 ELEVATIONS
- TP213 ELEVATIONS
- TP300 SECTION SHEET 01
- TP301 SECTION SHEET 02
- TP302 SECTION SHEET 03
- TP303 SECTION SHEET 04
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Marie Carleton-Hale  
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- STRUCTURAL ENGINEER**  
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- WASTE**  
One Mile Ltd  
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- LAND SURVEYOR**  
Vale  
Matthew King  
P. 03 9656 1400

SITE INFORMATION

Site No: 1023 3162

ZONE  
Commercial 10(C)

OVERLAYS  
C/C  
D/C  
E/C

COMMON OPEN SPACE  
46 Units @ 230m<sup>2</sup> @ 150m<sup>2</sup>  
Proposed Area = 170m<sup>2</sup>

Number	Revision	Date
A	TOWN PLANNING SUBMISSION	1/2/21
B	REVISED TOWN PLANNING	1/2/21
C	REVISED TOWN PLANNING	2/2/21
D	AMENDMENT SUBMIT	16/1/21
E	REVISED TO COUNCIL AMENDMENT	28/1/21
F	RESPONSE TO COUNCIL AMENDMENT	10/2/21
G	RESPONSE TO COUNCIL AMENDMENT	10/2/21

General Notes

REGULATIONS - CONTRACTORS SHALL VERIFY ALL DIMENSIONS BEFORE ANY WORK COMMENCES. DIMENSIONS SHOWN ARE NOMINAL. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES UNLESS OTHERWISE SPECIFIED. ANY DIMENSIONS ARE TO BE MADE ACCORDING TO THE ARCHITECT'S / ENGINEER'S OFFICE DRAWINGS. CONTRACTORS ARE TO BE MADE AWARE OF ANY WORK COMMENCING ON SITE. ALL DIMENSIONS SHALL BE SUBMITTED FOR REVIEW AND MANUFACTURE SHALL NOT COMMENCE PRIOR TO THE RECEIPT OF DIMENSIONS FROM ARCHITECT/ENGINEER.

**DCFP**

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Reception Victoria 3901 Australia

Site No: 1023 3162  
Project No: 1023 3162  
Drawing No: 19005TP001\_G

Stage: TOWN PLANNING

Project: PROPOSED MIXED USE DEVELOPMENT

Address: 398 & 400 Johnston Street Abbotsford Vic 3888

Title: COVER SHEET

Checked: KA Drawn: RPHW

Printed: 30/1/22 Scale: As shown

Date: 30/1/22

Drawing No: 19005TP001\_G





Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans



A	TOWN PLANNING SUBMISSION	19/01
B	REVISED TOWN PLANNING	14/01
C	REVISED TOWN PLANNING	29/01
D	RESPONSE TO COUNCIL	16/02
E	REVISED TOWN PLANNING	29/02
F	REVISED TOWN PLANNING	19/03
G	REVISED TOWN PLANNING	19/03
H	REVISED TOWN PLANNING	19/03
I	REVISED TOWN PLANNING	19/03
J	REVISED TOWN PLANNING	19/03
K	REVISED TOWN PLANNING	19/03
L	REVISED TOWN PLANNING	19/03
M	REVISED TOWN PLANNING	19/03
N	REVISED TOWN PLANNING	19/03
O	REVISED TOWN PLANNING	19/03
P	REVISED TOWN PLANNING	19/03
Q	REVISED TOWN PLANNING	19/03
R	REVISED TOWN PLANNING	19/03
S	REVISED TOWN PLANNING	19/03
T	REVISED TOWN PLANNING	19/03
U	REVISED TOWN PLANNING	19/03
V	REVISED TOWN PLANNING	19/03
W	REVISED TOWN PLANNING	19/03
X	REVISED TOWN PLANNING	19/03
Y	REVISED TOWN PLANNING	19/03
Z	REVISED TOWN PLANNING	19/03

Number	Revision	Date
General Notes		

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ALL DIMENSIONS TO BE CONTINUED UNLESS OTHERWISE NOTED. ALL DIMENSIONS TO BE CONTINUED UNLESS OTHERWISE NOTED. ALL DIMENSIONS TO BE CONTINUED UNLESS OTHERWISE NOTED. ALL DIMENSIONS TO BE CONTINUED UNLESS OTHERWISE NOTED.

**Client**

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 Lvl 10, 100 St Georges Rd Richmond  
 North Victoria 3121 Australia

We acknowledge the Traditional Owners of our nation (Indigenous Australians) and recognise their continuing connection to the land and waters. We pay our respects to their Elders past and present.

Stage: **TOWN PLANNING**

Project: **PROPOSED MIXED USE DEVELOPMENT**

Address: **385 & 402 Johnston Street Abbotsford Vic 3067**

Title: **PERSPECTIVES / RENDERS**

Checked: KA Drawn: JDM/HR

Printed: 30/02 Scale: As shown

Date:

Drawing#: 19005TP005\_G

Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans



A	TOWN PLANNING SUBMISSION	1/2021
B	REVISED TOWN PLANNING	14/2/21
C	REVISED TOWN PLANNING	2/2/21
D	REVISIONS TO TOWN PLANNING	16/2/21
E	REVISIONS TO TOWN PLANNING	20/2/21
F	REVISIONS TO TOWN PLANNING	16/3/21
G	FINAL SUBMISSION	24/3/21

Number	Revision	Date
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**Client**

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 SA 5000

We acknowledge the Traditional Custodians of our land throughout Australia and recognise their continuing connection to the land and waters. We pay our respects to their Elders past and present.

Stage: **TOWN PLANNING**

Project: **PROPOSED MIXED USE DEVELOPMENT**

Address: **385 & 402 Johnston Street Adelaide**

Title: **PERSPECTIVES / RENDERS**

Checked: KA Drawn: JDM/HR

Printed: 30/02/21 Scale: As shown

Date:

Drawing#: 19005TP006\_G

Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans



A	TOWN PLANNING SUBMISSION	19/01
B	REVISED TOWN PLANNING	14/01
C	REVISED TOWN PLANNING	29/01
D	REVISIONS TO TOWN PLANNING	16/02
E	RESPONSE TO CONSULTATION	29/02
F	REVISED TOWN PLANNING	19/02
G	FINAL SUBMISSION	24/02

Number	Revision	Date
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ALL DIMENSIONS TO BE CONFIRMED TO MA. ALL DIMENSIONS TO BE CONFIRMED TO MA. DO NOT SCALE DRAWINGS.

CONTRACTORS ARE TO BE RESPONSIBLE FOR ALL DIMENSIONS. DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURE.

**Client**

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Stage: TOWN PLANNING  
 Project: PROPOSED MIXED USE DEVELOPMENT  
 Address: 385 & 402 Johnston Street Abbotsford Nsw  
 Title: PERSPECTIVES / RENDERS  
 Checked: KA Drawn: JDM/HR  
 Printed: 30/02 Scale: As shown  
 Date: 30/02  
 Drawing#: 19005TP007\_G



Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans



A	TOWN PLANNING SUBMISSION	13/21
B	REVISED TOWN PLANNING	14/21
C	REVISED TOWN PLANNING	20/21
D	REVISIONS TO TOWN PLANNING	16/22
E	RESPONSE TO COUNCIL AMENDMENTS	20/22
F	RESPONSE TO COUNCIL AMENDMENTS	19/22
G	FINAL SUBMISSION	24/22

Number	Revision	Date
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ALL DIMENSIONS TO BE CONFIRMED TO THE SITE PRIOR TO COMMENCEMENT OF WORK. ANY DIMENSIONS TO BE OBTAINED TO MATCH TO NOT SCALE DRAWINGS.

ASSUMES JOB TO BE MADE IN ACCORDANCE WITH ALL RELEVANT STANDARDS, SPECIFICATIONS AND THE REGULATIONS.

**Client**

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 Lvl 10/1000 Springvale Rd Richmond  
 Vic 3121 Australia

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Stage: TOWN PLANNING  
 Project: PROPOSED MIXED USE DEVELOPMENT  
 Address: 385 & 432 Johnston Street Abbotsford Vic  
 Title: PERSPECTIVES / RENDERS

Checked: KA Drawn: JPD/HR  
 Printed: 30/02/22 Scale: As shown  
 Date: 30/02/22

Drawing# 19005TP008\_G



Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans



A	TOWN PLANNING SUBMISSION	19/01
B	REVISED TOWN PLANNING	14/01
C	REVISED TOWN PLANNING	29/01
D	REVISIONS TO TOWN PLANNING	16/02
E	RESPONSE TO COUNCIL AND REVISED TOWN PLANNING	29/02
F	RESPONSE TO CONSULTANT	19/02
G	FINAL SUBMISSION	24/02

Number	Revision	Date
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ALL DIMENSIONS TO BE CONFIRMED ON SITE AND APPROVED BY THE ARCHITECT'S / ENGINEER'S OFFICE. ANY DISCREPANCIES TO BE MADE KNOWN TO THE ARCHITECT'S / ENGINEER'S OFFICE IMMEDIATELY.

INSTALLERS ARE TO BE READILY AVAILABLE TO THE ARCHITECT'S / ENGINEER'S OFFICE IMMEDIATELY.

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 VIC 3121

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Stage: TOWN PLANNING  
 Project: PROPOSED MIXED USE DEVELOPMENT  
 Address: 385 & 432 Johnston Street Abbotsford Vic 3067  
 Title: PERSPECTIVES / RENDERS

Checked: KA Drawn: JPD/HR  
 Printed: 30/02 Scale: As shown  
 Date: 30/02  
 Drawing#: 19005TP009\_G

Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans



A	TOWN PLANNING SUBMISSION	13/21
B	REVISED TOWN PLANNING	14/21
C	REVISED TOWN PLANNING	20/21
D	REVISED TOWN PLANNING	16/22
E	RESPONSE TO COUNCIL AM	29/22
F	REVISED DESIGN	13/22
G	RESPONSE TO COUNCIL AM	13/22
H	ON SUBMISSION	24/22

Number	Revision	Date
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**General Notes**

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ALL DIMENSIONS TO BE CONFIRMED TO THE SITE PRIOR TO COMMENCEMENT OF WORK. ANY DIMENSIONS IN CONFLICT WITH THIS DRAWING SHALL NOT BE USED.

ISSUANCE OF THIS DRAWING DOES NOT IMPLY ANY LIABILITY FOR THE ACCURACY OF THE INFORMATION SHOWN ON THIS DRAWING.

**Client**

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**MAA**

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 Northern Victoria 3911 Australia

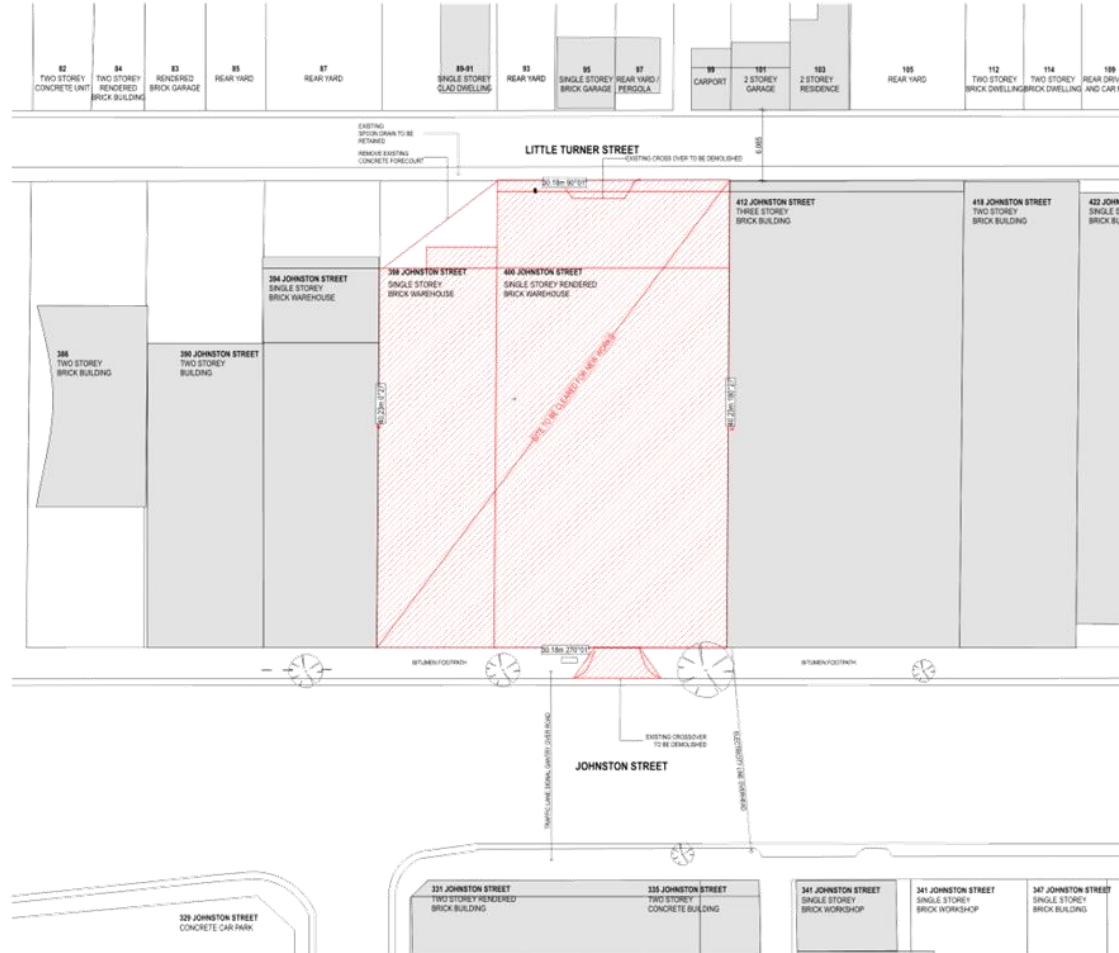
We acknowledge the Traditional Owners of our nation throughout Australia and recognise their continuing connection to the land and waters. We pay our respects to their Elders past and present.

Stage: TOWN PLANNING  
 Project: PROPOSED MIXED USE DEVELOPMENT  
 Address: 385 & 402 Johnston Street Adelaide North  
 Title: PERSPECTIVES / RENDERS

Checked: KA Drawn: JDM/HR  
 Printed: 30/22 Scale: As shown  
 Date:

Drawing# 19005TP010\_G

Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans



398-400 JOHNSTON ST DEMO PLAN  
1:200

**GENERAL DEMOLITION NOTES**  
 CONTRACTOR TO ALLOW AND CO-ORDINATE REMOVAL OF HAZARDOUS MATERIAL PRIOR TO BUILDING DEMOLITION REFER TO ASBESTOS MATERIAL DIVISION & RISK ASSESSMENT REPORT  
 GENERALLY DEMOLISH AND REMOVE ALL WALL, WINDOW, JOINERY FIXTURES & FITTINGS, FLOOR FINISHES, LANDSCAPE ELEMENT ETC SHOWN DASHED. CLEAN AND PREPARE SITE READY FOR NEW WORKS.  
 REMOVE, REDIRECT SERVICES AS REQUIRED TO FACILITATE ALL WORKS IF SERVICES REQUIRE RE-DIRECTION, BUILDER TO APPLY FOR AUTHORITY APPROVAL.  
 RELOCATE/CONCEAL ANY EXISTING SERVICES THAT ARE EXPOSED.  
 ALLOW FOR THE REMOVAL OF OLD FOOTINGS, APPROXIM ETC LOCATED BELOW GROUND AS REQUIRED, TO FACILITATE THE NEW WORKS.  
 PROVIDE TEMPORARY PROPPING AS REQUIRED. REFER TO THE STRUCTURAL ENGINEERING DRAWINGS FOR DETAILS.  
 CONTRACTOR TO PROVIDE PROTECTION THROUGHOUT CONSTRUCTION TO CONTROL DUST AND WATER INGRESS AND PROTECT BUILDING FABRICS THAT ARE TO BE RETAINED.  
 BUILDER TO MAKE ALLOWANCE FOR REMOVAL OF OLD PAINTWORK TO EXISTING BRICKWORK THAT IS INTENDED TO BE FACE BRICK.  
 BUILDER TO MAKE ALLOWANCE FOR REVEYING EXISTING BRICKWORK TO REINSTATE CORNERS AND FLUSH WALL FINISH.

NOTE: DUE TO RAKING BOUNDARY LINE BOUNDARY OFFSET SHOWN TO GRID AND THEN TO BOUNDARY.  
 ELEVATION OFFSETS SHOWN TO GRID (MIN SETBACK)

Number	Revision	Date
A	TOWN PLANNING SUBMISSION	15/02/21
B	REVISED TOWN PLANNING	14/02/21
C	REVISED TOWN PLANNING	23/02/21
D	RESPONSE TO COUNCIL	16/03/21
E	RESPONSE TO COUNCIL	29/03/21
F	NO CHANGE	
G	RESPONSE TO COUNCIL	15/03/21
H	ON SUBMISSION	24/03/21

Number Revision Date

General Notes

BUILDERS / CONTRACTORS SHALL VERIFY ALL DIMENSIONS SETBACKS AND BOUNDARY DIMENSIONS SHOWN ARE CORRECT. PRIOR TO COMMENCEMENT OF WORKS, DIMENSIONS SHALL BE CHECKED AND RECORDED. ANY DIMENSIONS ARE TO BE MADE KNOWN TO THE ARCHITECTS / REGISTERED OFFICE. DIMENSIONS ARE TO BE MADE KNOWN TO THE ARCHITECTS / REGISTERED OFFICE. DIMENSIONS ARE TO BE MADE KNOWN TO THE ARCHITECTS / REGISTERED OFFICE.

Client

**DCF**

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 North Sydney NSW 1585 Australia

No acceptance by the Council of any conditions, approvals and require their continuing consent to the work and other. Please refer to the relevant planning instruments.

Stage: TOWN PLANNING  
 Project: PROPOSED MIXED USE DEVELOPMENT  
 Address: 398 & 400 Johnston Street Abbotsford North

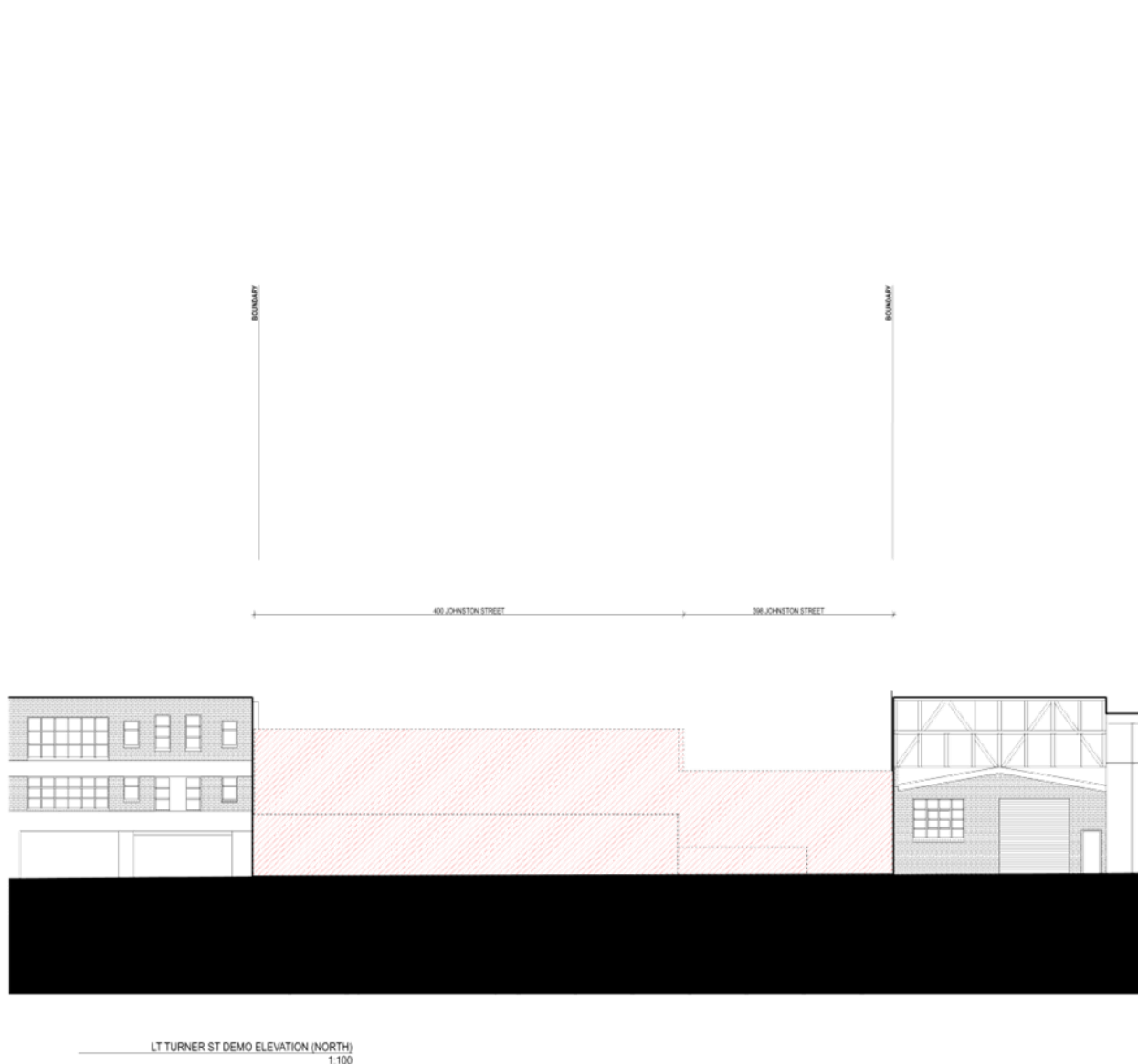
File: DEMO PLANS

Checked: KA Drawn: RQH/89

Printed: 30/02/22 Scale: As shown  
 Date:

Drawing No: 19005TP050\_G

Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans



**GENERAL DEMOLITION NOTES**  
 CONTRACTOR TO ALLOW AND CO-ORDINATE REMOVAL OF HAZARDOUS MATERIAL PRIOR TO BUILDING DEMOLITION REFER TO ASBESTOS MATERIAL DIVISION & RISK ASSESSMENT REPORT  
 GENERALLY DEMOLISH AND REMOVE ALL WALL, WINDOW JOINERY, FIXTURES & FITTINGS, FLOOR FINISHES, LANDSCAPE ELEMENT ETC. SHOWN DASHED. CLEAN AND PREPARE SITE READY FOR NEW WORKS.  
 REMOVE, REDIRECT SERVICES AS REQUIRED TO FACILITATE ALL WORKS IF SERVICES REQUIRE RE-DIRECTION, BUILDER TO APPLY FOR AUTHORITY APPROVAL.  
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 ALLOW FOR THE REMOVAL OF OLD FOOTINGS, APPROXIM. ETC. LOCATED BELOW GROUND AS REQUIRED, TO FACILITATE THE NEW WORKS.  
 PROVIDE TEMPORARY PROPPING AS REQUIRED. REFER TO THE STRUCTURAL ENGINEERING DRAWINGS FOR DETAILS.  
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 BUILDER TO MAKE ALLOWANCE FOR REMOVAL OF OLD PLYWOOD TO EXISTING BRICKWORK THAT IS INTENDED TO BE FACE BRICK.  
 BUILDER TO MAKE ALLOWANCE FOR REVEALING EXISTING BRICKWORK TO RESTATE CORNERS AND FLUSH WALL FINISH.

NOTE: DUE TO RAKING BOUNDARY LINE, BOUNDARY OFFSET SHOWN TO GRID AND THEN TO BOUNDARY.

ELEVATION OFFSETS SHOWN TO GRID (MIN SETBACK)

A	TOWN PLANNING SUBMISSION	13/21
B	REVISED TOWN PLANNING	14/21
C	REVISED TOWN PLANNING	20/21
D	RESPONSE TO COUNCIL	18/22
E	RESPONSE TO COUNCIL (MAY 2022)	29/22
F	RESPONSE TO COUNCIL (MAY 2022)	13/23
G	ON SUBMISSION	24/23

Number Revision Date

General Notes

BUILDERS / CONTRACTORS SHALL VERIFY ALL DIMENSIONAL SETBACKS AND BUILDING DIMENSIONS SHOWN ARE ACCURATE. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DISCREPANCIES ARE TO BE MADE KNOWN TO THE ARCHITECTS / DESIGNER OFFICE PRIOR TO ANY WORK COMMENCING ON SITE. ALL DIMENSIONS ARE TO BE READ IN CONJUNCTION WITH ALL RELATED AND MANUFACTURE SHALL NOT COMMENCE PRIOR TO THE RECEIPT OF APPROVED SHOP DRAWINGS.

Client

**DCF**

**MAA**

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 1/101 Kingsway St Richmond  
 Vic 3121 Australia

By submitting this elevation and drawings to you, the client, I warrant that I am a registered architect in the state of Victoria.

Stage: TOWN PLANNING

Project: PROPOSED MIXED USE DEVELOPMENT

Address: 398 & 400 Johnston Street Abbotsford Vic 3067

Title: DEMO ELEVATIONS

Checked: KA Drawn: RDM

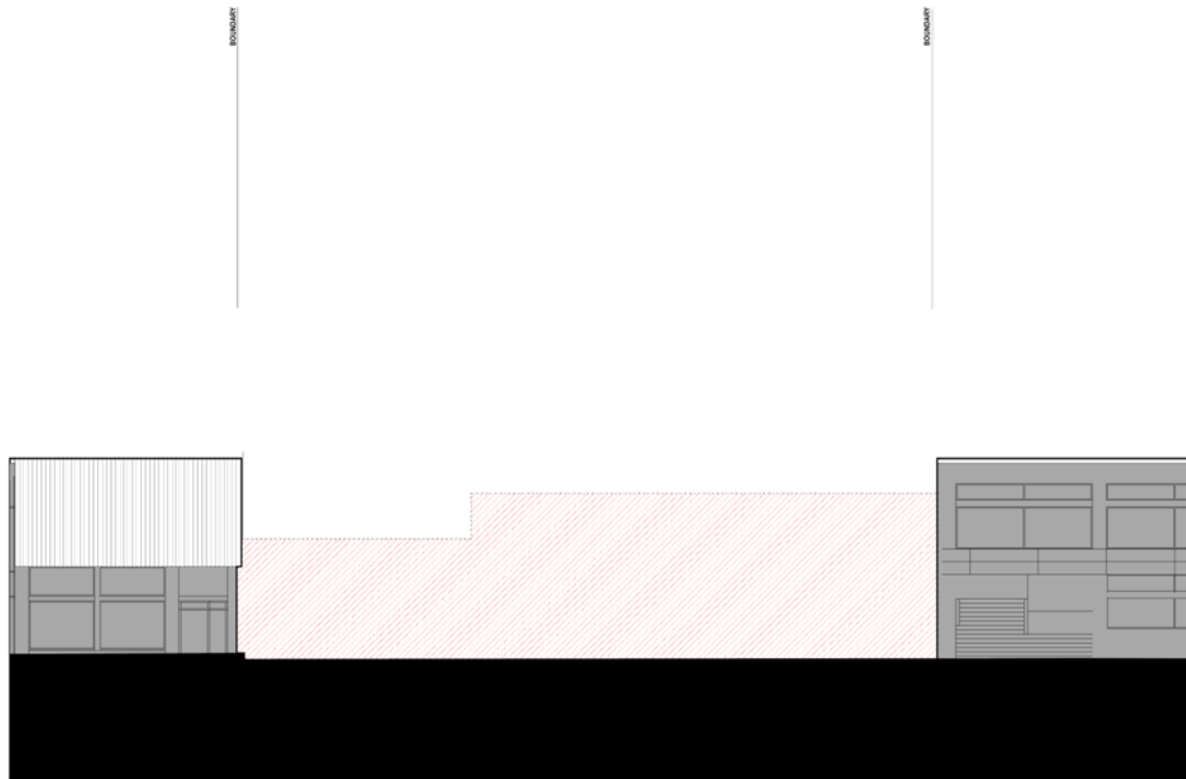
Printed: 30/22 Scale: As shown

Date:

Drawing No: 19005TP055\_G



Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans



JOHNSTON ST DEMO ELEVATION (SOUTH)  
1:100

**GENERAL DEMOLITION NOTES**  
 CONTRACTOR TO ALLOW AND CO-ORDINATE REMOVAL OF HAZARDOUS MATERIAL PRIOR TO BUILDING DEMOLITION REFER TO ASBESTOS MATERIAL DIVISION & RISK ASSESSMENT REPORT  
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 BUILDER TO MAKE ALLOWANCE FOR REKEYING EXISTING BRICKWORK TO REINSTATE CORNERS AND FLUSH WALL FINISH.

NOTE: DUE TO RAKING BOUNDARY LINE, BOUNDARY OFFSET SHOWN TO GRID AND THEN TO BOUNDARY.  
 ELEVATION OFFSETS SHOWN TO GRID (MIN SETBACK)

Number	Revision	Date
A	TOWN PLANNING SUBMISSION	13/01
B	REVISED TOWN PLANNING	14/01
C	REVISED TOWN PLANNING	20/01
D	RESPONSE TO SHD	16/02
E	RESPONSE TO COUNCIL WP	28/02
F	RESPONSE TO COUNCIL WP	13/03
G	ON SUBMISSION	24/03

General Notes

BUILDERS - CONTRACTORS SHALL VERIFY ALL DIMENSIONAL SETBACKS AND BUILDING DIMENSIONS SHOWN ARE ACCURATE. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DISCREPANCIES ARE TO BE MADE KNOWN TO THE ARCHITECTS - DESIGNER OFFICE PRIOR TO ANY WORK COMMENCING ON SITE. ALL DIMENSIONS ARE TO BE MADE IN ACCORDANCE WITH ALL RELEVANT STANDARDS. CONTRACTOR SHALL NOT COMMENCE WORK UNTIL THE NECESSARY PERMITS AND APPROVALS ARE OBTAINED.

**Client**

**DCF**  
**MAA**  
**A**

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 Vic 3121 Australia

Drawings are prepared and issued on the authority of MAA. Drawings are not to be reproduced without written approval of MAA.

We acknowledge the Traditional Owners of country throughout Australia and recognise their continuing connection to land, waters and culture. We pay our respects to the Elders past and present.

Stage	TOWN PLANNING
Project	PROPOSED MIXED USE DEVELOPMENT
Address	308 & 420 Johnston Street Richmond Vic 3121
Title	DEMO ELEVATIONS
Checked	KA Drawn: JDM/MS
Printed	30/02/22 Scale: As shown
Date	

Drawing No: 19005TP056\_G

# Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans

## STANDARD ACCESS NOTES

ACCESSIBLE CAR SPACE AND SHARED SPACE TO COMPLY WITH AS2890.8:2009, INCLUDING SIZE OF SPACE (AND/OR ISLAND), LOCATED 750-900mm IN FROM THE SHARED SPACE ENTRANCE

VERTICAL CLEARANCE TO BE 2000mm BETWEEN ENTRANCE/EXIT OF CARRIAGE AND ACCESSIBLE CAR SPACES. 2000mm TO BE PROVIDED WITHIN ACCESSIBLE CAR SPACES AND SHARED SPACE, IN COMPLIANCE WITH AS2890.8:2009

CROSSFALL WITHIN ACCESSIBLE CAR SPACES AND SHARED SPACE TO NOT EXCEED 1:33 (FOR ASPHALT) OR 1:41 (FOR CONCRETE) IN BOTH DIRECTIONS

SIGNAGE AND LINESMARKING OF ACCESSIBLE CAR SPACES AND SHARED SPACES TO BE IN ACCORDANCE WITH AS2890.8:2009, INCLUDING WHITE OR BLUE INTERNATIONAL SYMBOLS OF ACCESS AND YELLOW LINESMARKING

GRADIENT OF PATHS TO BE MAXIMUM 1:20 WITH LEVEL LANDINGS AS REQUIRED BY AS1428.1:2009 OR A RAMP MUST BE PROVIDED

ALL PATHS OF TRAVEL TO BE MINIMUM 1000mm WIDE. CROSSFALLS ON PATHS OF TRAVEL, RAMPS AND WALKWAYS TO BE MAXIMUM 1:43 AS REQUIRED BY AS1428.1:2009

PATHS AND FLOOR SURFACES SHALL BE SLIP RESISTANT. ABUTMENTS OF SURFACES ON A PATH OF TRAVEL SHALL HAVE NO LIP OR STEP GREATER THAN 5mm AND BE ROUNDED OR BEVELLED. JOINTS BETWEEN FINISHES TO BE NO WIDER THAN 12mm AND IN COMPLIANCE WITH AS1428.1:2009

DRAINAGE GRATES, LOCATED ON A PATH OF TRAVEL TO HAVE OPENINGS OR SLOTS NO LARGER THAN 120x100mm. THE LONGER DIMENSION OF THE OPENING IS TO BE TRANSVERSE TO THE DIRECTION OF TRAVEL, AS REQUIRED BY AS1428.1:2009

TACTILE GROUND SURFACE INDICATORS TO BE PROVIDED WHERE A PEDESTRIAN PATH INTERSECTS WITH A ROADWAY AT THE SAME GRADE. INDICATORS ARE TO BE SETBACK 300mm FROM THE ROADWAY FOR A DEPTH OF 600-800mm. IN A COLOR WHICH PROVIDES A LUMINANCE CONTRAST WITH THE BACKGROUND SURFACE, AS REQUIRED BY AS1428.4:1:2009

OBSTRUCTIONS SUCH AS BINS, SEATS, BIKE RACKS, LIGHT POLES, TREES AND PLANTERS ARE TO BE PROVIDED AWAY FROM THE BUILDING LINE AND OUTSIDE THE PATH OF TRAVEL

LEVEL LANDINGS AT DOORS TO HAVE A MAXIMUM CROSSFALL OF 1:40. LANDING DIMENSIONS ARE TO BE PROVIDED IN ACCORDANCE WITH AS1428.1:2009. LEVEL TRANSITION TO BE PROVIDED AT DOOR THRESHOLDS OR THRESHOLD MARKS IN ACCORDANCE WITH AS1428.1:2009 WITH MAXIMUM RISE OF 30mm. GRADIENT OF 1:8 AN LENGTH OF 280mm

DOOR, DOOR FRAME OR ADJACENT WALL TO PROVIDE A MINIMUM 30% LUMINANCE CONTRAST BETWEEN TWO OF THESE SURFACES

DOORS TO PROVIDE A MINIMUM 850mm CLEAR OPENING WIDTH AND DOOR CIRCULATION SPACE IN ACCORDANCE WITH AS1428.1:2009

DOOR FURNITURE TO BE LOCATED BETWEEN 900-1100mm AFFL. LEVEL AND PULL HANDLE TO BE 9° PROFILE AS REQUIRED BY AS1428.1:2009. PUSH BUTTONS, INTERCOM AND ALL DOOR CONTROLS TO BE LOCATED 900-1000mm AFL, NOT WITHIN 50mm OF AN INTERNAL CORNER AND AS REQUIRED BY AS1428.1:2009

WHERE DOOR CLOSERS ARE INSTALLED, THE MAXIMUM FORCE TO OPEN IS NOT TO EXCEED 20N

VISUAL INDICATORS IN ACCORDANCE WITH AS1428.1:2009 TO BE PROVIDED TO ALL GLAZED DOORS, SIDELIGHTS AND WINDOWS CAPABLE OF BEING MISTAKEN FOR AN OPENING

RAMP GRADIENTS, LEVEL LANDINGS, HANDRAILS AND KERBSALLS TO BE PROVIDED IN ACCORDANCE WITH AS1428.1:2009

TACTILE GROUND SURFACE INDICATORS TO BE PROVIDED AT TOP AND BOTTOM OF RAMPS AND STAIRS (INCLUDING FIRE STAIRS) IN COMPLIANCE WITH AS1428.4:1:2009

STAIRS TO BE PROVIDED IN ACCORDANCE WITH AS1428.1:2009, INCLUDING CONTRAST NOSING TO TREADS AND HANDRAILS WITH COMPLIANT PROFILE AND EXTENSIONS ON BOTH SIDES OF THE STAIR

FIRE ISOLATED STAIRS TO BE PROVIDED WITH CONTRAST NOSINGS TO TREADS AND AT LEAST ONE HANDRAIL WITH COMPLIANT PROFILE IN ACCORDANCE WITH NCCBCA D3.3 (600) AND AS1428.1:2009

LIFT CAR TO HAVE MINIMUM CAR SIZE OF 1400mm DEEP x 1100mm WIDE. OR 1400 x 1800 PALETS WHICH TRAVEL GREATER THAN 12m WITH FITOUT IN ACCORDANCE WITH NCCBCA E3.8. LIFT LANDING BUTTONS TO BE 800-1200mm AFL, NOT WITHIN 50mm OF AN INTERNAL CORNER AND AS REQUIRED BY AS1201.1:1999

TACTILE GROUND SURFACE INDICATORS TO BE PROVIDED ON ESCALATORS IN COMPLIANCE WITH AS1428.4:1:2009

SIZE, FITOUT AND CIRCULATION SPACES OF LENSES ACCESSIBLE WC SHALL BE PROVIDED IN COMPLIANCE WITH AS1428.1:2009

SIZE, FITOUT AND CIRCULATION SPACES OF INC. CUBICLES FOR PEOPLE WITH AMBULANT DISABILITIES TO COMPLY WITH AS1428.1:2009

RAISED TACTILE AND BRaille SIGNAGE TO ALL SANITARY FACILITIES TO BE PROVIDED IN ACCORDANCE WITH NCCBCA D3.3 AND SPECIFICATION D3.6. SIGNS TO BE POSITIONED AT A HEIGHT OF 1200-1800mm AFL ON THE WALL TO THE LATCH SIDE OF THE DOOR AND AS REQUIRED BY AS1428.1:2009

RAISED TACTILE AND BRaille SIGNAGE TO BE PROVIDED AT EXIT DOORS TO PATHS OF EGRESS, AS REQUIRED BY ICA E4.5. SIGNAGE SHALL COMPLY WITH D3.6(600) IDENTIFYING THE EXIT AND THE LEVEL OF THE BUILDING

ALL LIGHT SWITCHES & GROS TO BE LOCATED IN ACCORDANCE WITH AS1428.1:2009

ALL LIGHT SWITCHES TO BE BETWEEN 900-1100mm AFFL. GROS IN UNISEX ACCESSIBLE WCs TO BE LOCATED BETWEEN 900-1100mm AFFL AND NO CLOSER THAN 100mm TO INTERNAL CORNERS. SWITCHES TO BE 30mm ROCKER SWITCHES IN UNISEX ACCESSIBLE WCs

LIGHTING LEVELS TO COMPLY WITH AS1428.1 CLAUSE 17.1, I.E. UNIFORM AND IN ACCORDANCE WITH AS1860 TO PROVIDE FOR SAFE MOVEMENT WITHIN BUILDINGS

CARPET PILE HEIGHT IS TO BE 11mm MAXIMUM IN COMPLIANCE WITH NCCBCA D3.3

ALL INTERNAL FITOUTS TO BE BY TRAVEL AND SHALL NOT COMPROMISE THE MINIMUM REQUIREMENTS FOR DISABILITY ACCESS

EMERGENCY WARNING INFORMATION SYSTEMS TO BE PROVIDED IN ACCORDANCE WITH NCCBCA

## FINISHES LEGEND

F001 CONCRETE FINISH - NATURAL  
 F101 BRICK SHAPE - RED  
 F102 BRICK SCREEN - RED  
 GL01 DOUBLE GLAZING - CLEAR  
 GL02 OBSCURE GLAZING  
 P000 POWDERCOAT - RED



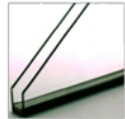
F001



F101



F102



GL01



GL02



P000

A	TOWN PLANNING SUBMISSION	15/01
B	REVISED TOWN PLANNING	14/01
C	REVISED TOWN PLANNING	27/01
D	RESPONSE TO COUNCIL	16/02
E	RESPONSE TO COUNCIL W/	28/02
F	NO OBJECTION	
G	RESPONSE TO COUNCIL W/	10/03
H	ON SUBMISSION	24/03

Number	Revision	Date
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**General Notes**

BUILDERS / CONTRACTORS SHALL VERIFY ALL DIMENSIONS BEFORE ANY WORK COMMENCES. DIMENSIONS SHOWN ARE NOMINAL. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DIMENSIONS ARE TO BE MADE KNOWN TO THE ARCHITECTS / DESIGNER BEFORE PRICE TO ANY WORK COMMENCES ON SITE. ALL DIMENSIONS SHALL BE SUBMITTED FOR REVIEW AND MANUFACTURE SHALL NOT COMMENCE PRIOR TO THE RECEIPT OF APPROVED SHOP DRAWINGS.

**Client**

**DCF**

**MAA**

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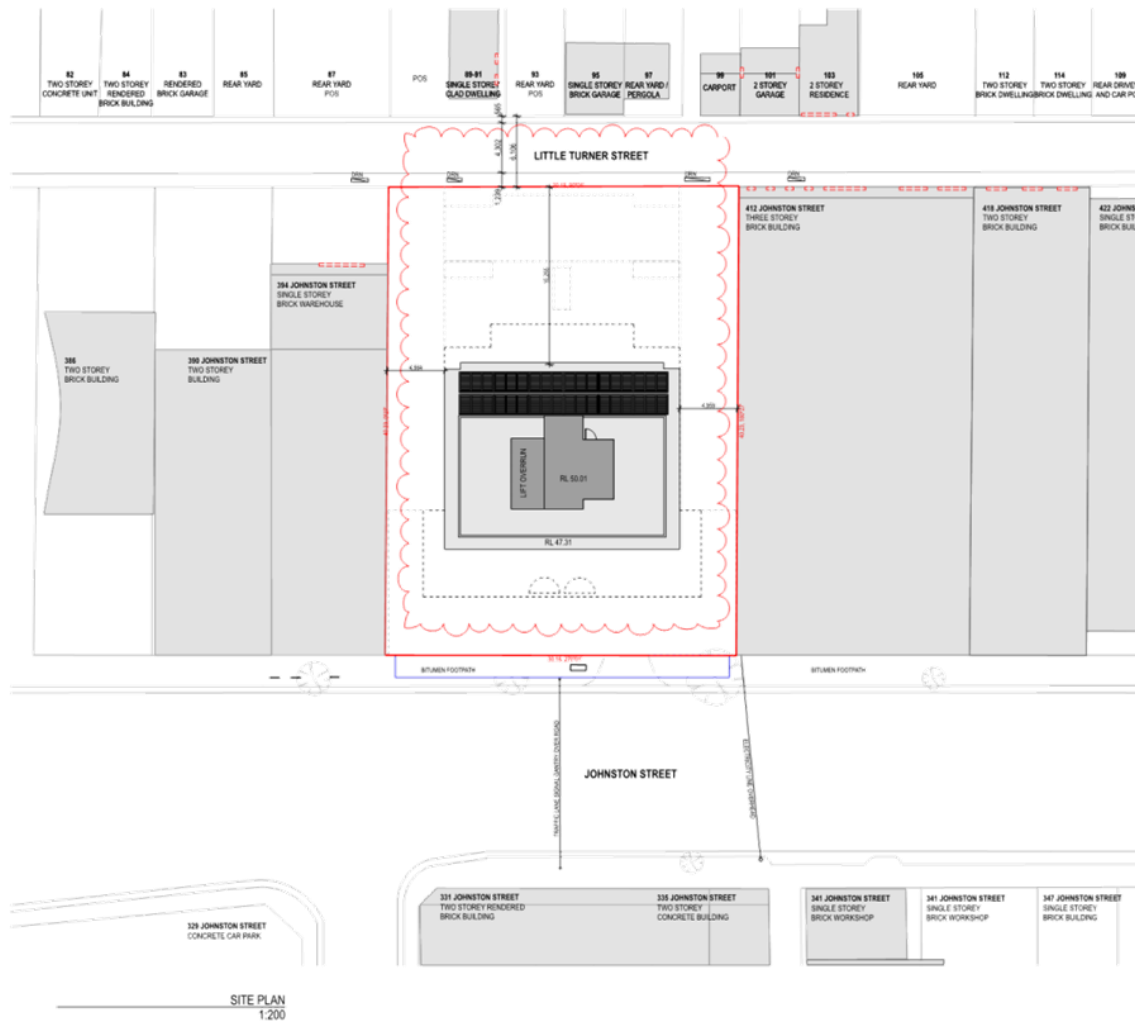
Our drawings are prepared and issued on the authority of MAA. The drawings are not to be used for any other purpose without the express consent of MAA.

We acknowledge the Traditional Owners of country throughout Australia and recognise their continuing connection to land, waters and culture. We pay our respects to the Elders past, present and emerging.

Stage	TOWN PLANNING
Project	PROPOSED MIXED USE DEVELOPMENT
Address	308 & 420 Johnson Street Abbotsford Vic 3068
Title	FINISHES
Checked	KA Drawn PDH/8
Printed	30/6/22 Scale As shown
Date	

Drawing No: 19005TP090\_G

Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans



SITE PLAN  
1:200

NOTE: DUE TO MAKING BOUNDARY LINE, BOUNDARY OFFSET SHOWN TO GRID AND THEN TO BOUNDARY.

ELEVATION OFFSETS SHOWN TO GRID (MM SETBACK)

A	TOWN PLANNING SUBMISSION	19/02
B	REVISED TOWN PLANNING	14/03
C	REVISED TOWN PLANNING	03/04
D	REVISED SETBACK	19/02
E	REVISED SETBACK	26/02
F	RESPONSE TO COUNCIL 01	19/02
G	RESPONSE TO COUNCIL 01 ON SUBMISSION	24/02

Number	Revision	Date
General Notes		
<p>BUILDERS / CONTRACTORS SHALL VERIFY ALL DIMENSIONS BEFORE ANY WORK COMMENCES. DIMENSIONS SHOWN ARE NOMINAL. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS. ANY DISCREPANCIES ARE TO BE MADE KNOWN TO THE ARCHITECT'S / DESIGNER OFFICE PRIOR TO ANY WORK COMMENCING ON SITE. ALL SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE ARCHITECT'S / DESIGNER OFFICE PRIOR TO THE BEGINS OF CONSTRUCTION OF ANY WORK.</p>		

Client

**DCF**

**MAA**

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T + 613 8421 6671  
E maarchitects@maarchitects.com.au  
1/148 Margaret St Brisbane  
Nathan Victoria 3918 Australia

Drawings to be used only with the approval of the architect and in accordance with the terms of the contract.

Stage	TOWN PLANNING
Project	PROPOSED MIXED USE DEVELOPMENT
Address	338 & 402 Johnston Street Adelaide North
Title	SITE PLAN
Checked	KA Owen PD/18
Printed	19/02 Scale As shown
Date	

Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans



NOTE: DUE TO RAKING BOUNDARY LINE, BOUNDARY OFFSETS ARE SHOWN TO GRID AND THEN TO BOUNDARY.

ALL ELEVATION OFFSETS SHOWN TO GRID (MIN SETBACK)

A	TOWN PLANNING SUBMISSION	15/01
B	REVISED TOWN PLANNING	14/01
C	REVISED TOWN PLANNING	27/01
D	AMENDMENT ISSUE	16/02
E	ET WORKING	28/02
F	RESPONSE TO CONSULTATION	NO CHANGES
G	FOR CONSULTANT COORDINATION	16/02
H	DTA SUBMISSION	24/02
I	DTA SUBMISSION	26/02
J	TRAFFIC COORDINATION	26/02

Number	Revision	Date
General Notes		
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<p>ALL DIMENSIONS TO BE CONFIRMED ON SITE PRIOR TO COMMENCING WORK. DIMENSIONS TO WALL, DO NOT INCLUDE FINISHES.</p> <p>DIMENSIONS ARE TO BE READ IN CONJUNCTION WITH ALL PROJECT DOCUMENTS, DRAWINGS AND THE SPECIFICATION.</p>		
<p>Client: <b>DCF</b></p> <p><b>MAA</b></p> <p>MA Architects Pty Ltd                  maarchitects.com.au                  404 442747818                  T +61 8 9421 6671                  E info@maarchitects.com.au                  15/161 Margaretts Road                  Neerim Victoria 3611 Australia</p>		
<p>As a signatory to the Traditional Code of Practice, MA Architects and its employees accept the obligations of the Traditional Code of Practice.</p>		
<p>Stage: <b>TOWN PLANNING</b></p> <p>Project: <b>PROPOSED MIXED USE DEVELOPMENT</b></p> <p>Address: <b>306 &amp; 400 Johnston Street Abbotsford Neerim</b></p> <p>Title: <b>B01 PLAN</b></p>		
<p>Checked: KA Drawn: PDHW</p> <p>Printed: 30/02/22 Scale: As shown</p> <p>Date: _____</p> <p>Drawing No: <b>19005 TP111_H</b></p>		

BASEMENT 01 PLAN  
1:100



Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans



NOTE: DUE TO SAKING BOUNDARY LINE, BOUNDARY OFFSETS ARE SHOWN TO GRID AND THEN TO BOUNDARY.

ALL ELEVATION OFFSETS SHOWN TO GRID (MIN SETBACK)

Number	Revision	Date
A	TOWN PLANNING SUBMISSION	19/07
B	REVISED TOWN PLANNING	14/10
C	REVISED TOWN PLANNING	29/02
D	RESPONSE TO COUNCIL	18/02
E	RESPONSE TO COUNCIL	28/02
F	RESPONSE TO COUNCIL	08/03
G	5th SUBMISSION	04/02

**General Notes**

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2. UNLESS USE IS TO BE MADE IN CONNECTION WITH AN EXISTING CONSTRUCTION, STRUCTURE AND THE EXISTING OFFICE.

Client: **DCF**

**MAA**

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 Abbotsford VIC 3067  
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 E info@maarchitects.com.au  
 LEVEL 11/111 Johnston Street  
 Abbotsford VIC 3067 Australia

As a signatory to the Traditional Clause of contracts throughout Australia we warrant that our drawings comply with the relevant codes and standards. We warrant that our drawings are correct and complete.

Stage: **TOWN PLANNING**

Project: **PROPOSED MIXED USE DEVELOPMENT**

Address: **396 & 402 Johnston Street Abbotsford Vic 3067**

Title: **LOD PLAN**

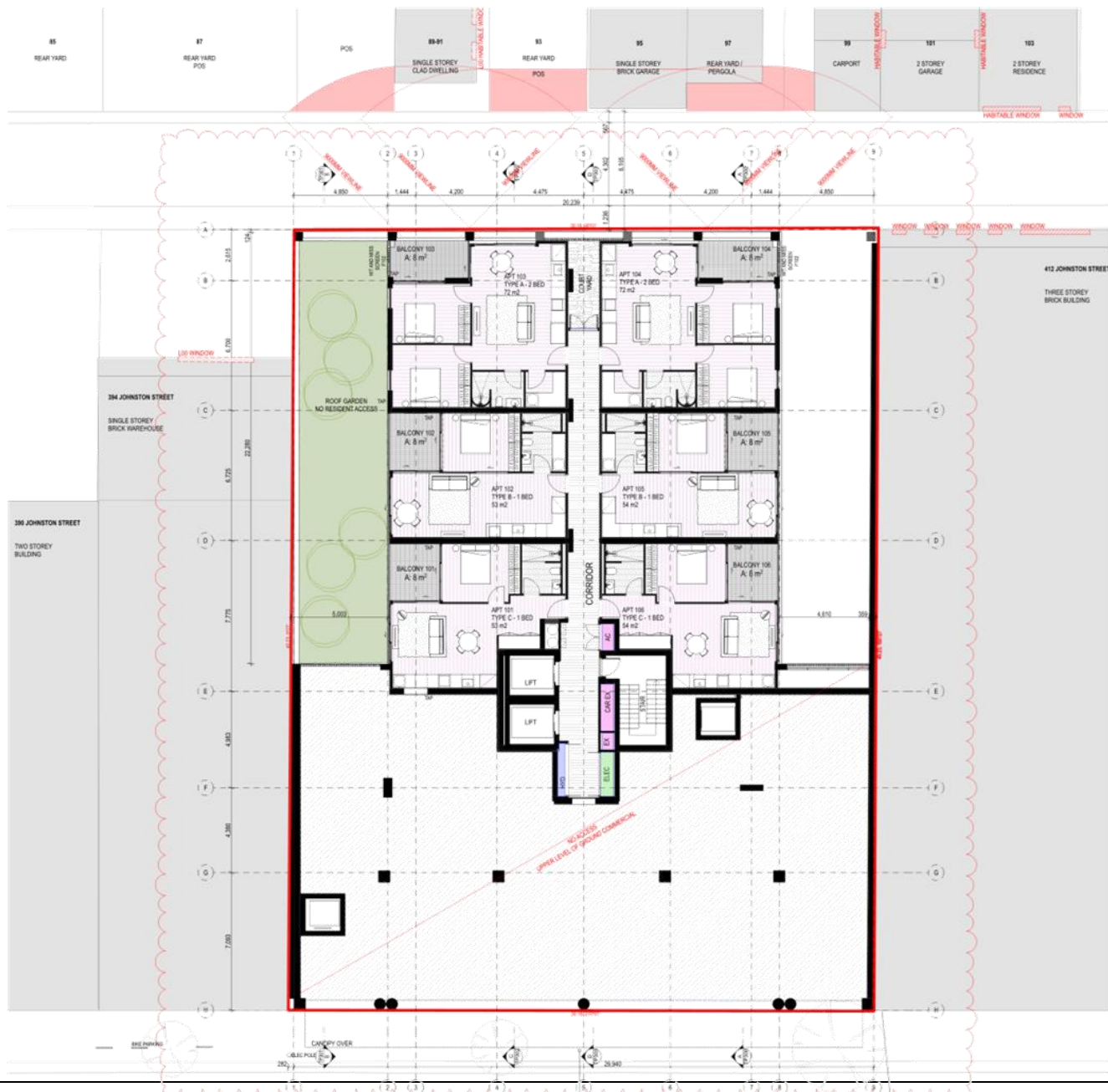
Checked: **KA** Drawn: **PDH**

Printed: **20/02** Scale: **As shown**

Date: **20/02/22**

Drawing No: **19005 TP112\_G**

Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans



NOTE: DUE TO SAKING BOUNDARY LINE, BOUNDARY OFFSETS ARE SHOWN TO GRID AND THEN TO BOUNDARY.  
ALL ELEVATION OFFSETS SHOWN TO GRID (MIN SETBACK)

Number	Revision	Date
A	TOWN-PLANNING SUBMISSION	19/07
B	REVISED TOWN-PLANNING	14/10
C	REVISED TOWN-PLANNING	29/07
D	REVISIONS TO DATE	16/02
E	RESPONSE TO COUNCIL INF.	04/02
F	RESPONSE TO COUNCIL INF.	03/02
G	RESPONSE TO COUNCIL INF. SUBMISSION	04/02

Number Revision Date

General Notes

BUILDERS / CONTRACTORS SHALL VERIFY ALL DIMENSIONS BEFORE ANY WORK COMMENCES. DIMENSIONS SHOWN ARE NOMINAL. FIXTURES DIMENSIONS SHALL TAKE PRECEDENCE OVER DIMENSIONS SHOWN. ANY DIMENSIONS ARE TO BE MADE KNOWN TO THE ARCHITECTS / DESIGNER OFFICE PRIOR TO ANY WORK COMMENCING ON SITE. ALL SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW AND MANUFACTURE SHALL NOT COMMENCE PRIOR TO THE RETURN OF DIMENSIONED SHOP DRAWINGS.

ALL DIMENSIONS ARE TO BE MADE IN CONFORMANCE WITH THE PROJECT CONDITIONS, SPECIFICATIONS AND THE SHOP DRAWINGS.

Client

**DCF**

MA Architects Pty Ltd  
 maarchitects.com.au  
 404 442/07078

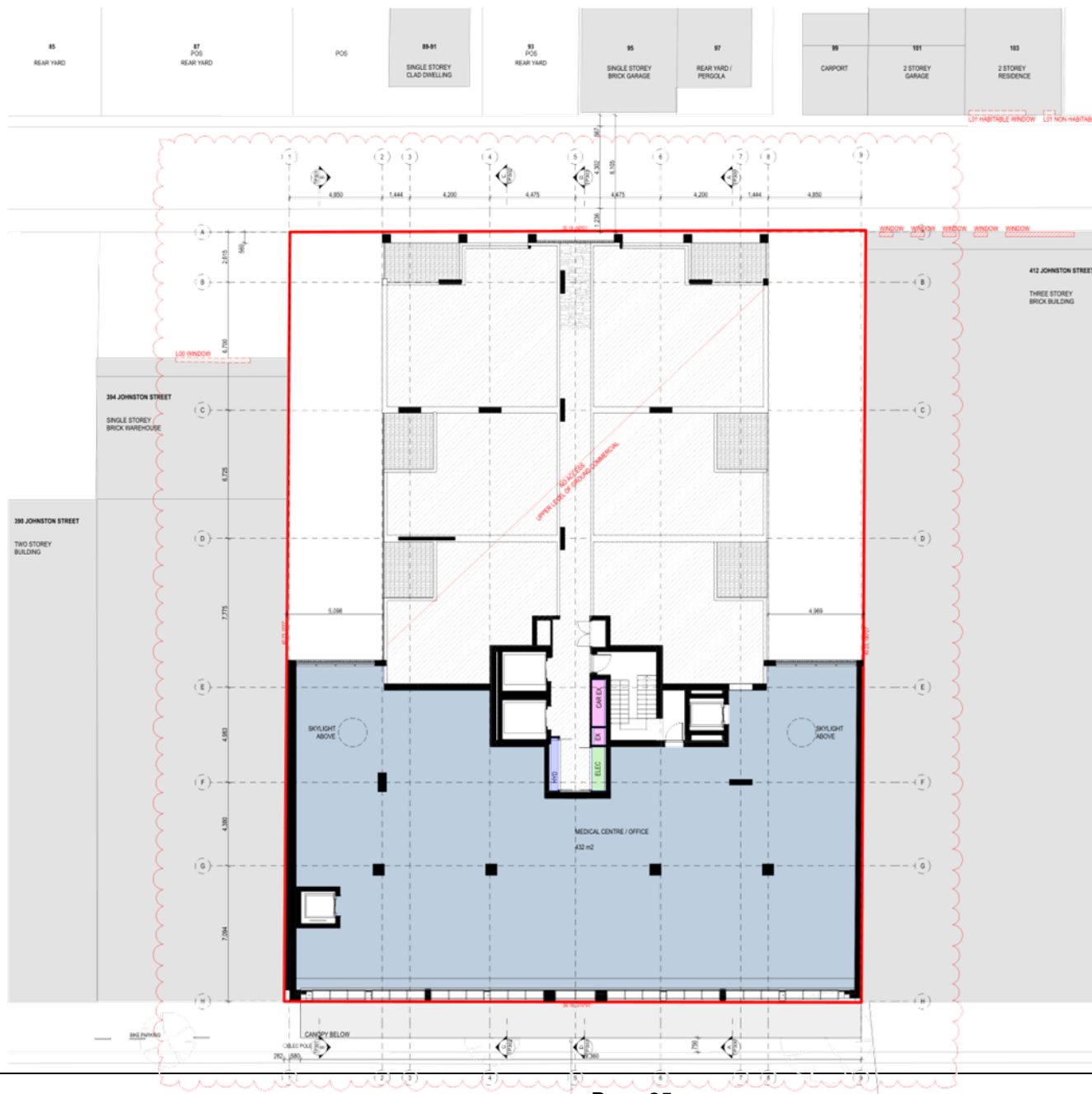
T + 613 9487 6671  
 E info@maarchitects.com.au  
 5/150 St Georges Rd Richmond  
 Vic 3121 Australia

MAA

We acknowledge the Traditional Owners of country throughout Australia and recognise their continuing connection to land, waters and culture. We pay our respects to their Elders, past and present.

Stage	TOWN PLANNING
Project	PROPOSED MIXED USE DEVELOPMENT
Address	306 & 402 Johnston Street Abbotsford Neam
Title	L01 PLAN
Checked	KA
Drawn	PDH
Printed	30/02
Date	Scale As shown
Drawing No.	19005 TP113_G

Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans



NOTE: DUE TO RAKING BOUNDARY LINE, BOUNDARY OFFSETS ARE SHOWN TO GRID AND THEN TO BOUNDARY.

ALL ELEVATION OFFSETS SHOWN TO GRID (MIN SETBACK)

A	TOWN PLANNING SUBMISSION	1/2017
B	REVISED TOWN PLANNING	1/4/17
C	REVISED TOWN PLANNING	2/28/17
D	INTERIM DECISION	10/1/17
E	RESPONSE TO COUNCIL (1)	18/1/17
F	RESPONSE TO COUNCIL (1)	18/3/17
G	1/18 SUBMISSION	24/1/18

Number	Revision	Date
General Notes		

BUILDERS / CONTRACTORS SHALL VERIFY ALL DIMENSIONS BEFORE ANY WORK COMMENCES. DIMENSIONS SHOWN ARE NOMINAL. FINISHED DIMENSIONS SHALL TAKE RELEVANT CODES INTO ACCOUNT. ANY DISCREPANCIES ARE TO BE MADE KNOWN TO THE ARCHITECTS / DESIGNER PRIOR TO ANY WORK COMMENCING ON SITE. ALL SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW AND MANUFACTURE SHALL NOT COMMENCE PRIOR TO THE RETURN OF MANUFACTURED SHOP DRAWINGS.

DESIGNERS USE TO BE READ IN CONJUNCTION WITH ALL PROJECT DOCUMENTS, SPECIFICATIONS AND THE PROFESSIONAL.

Client

**DCF**

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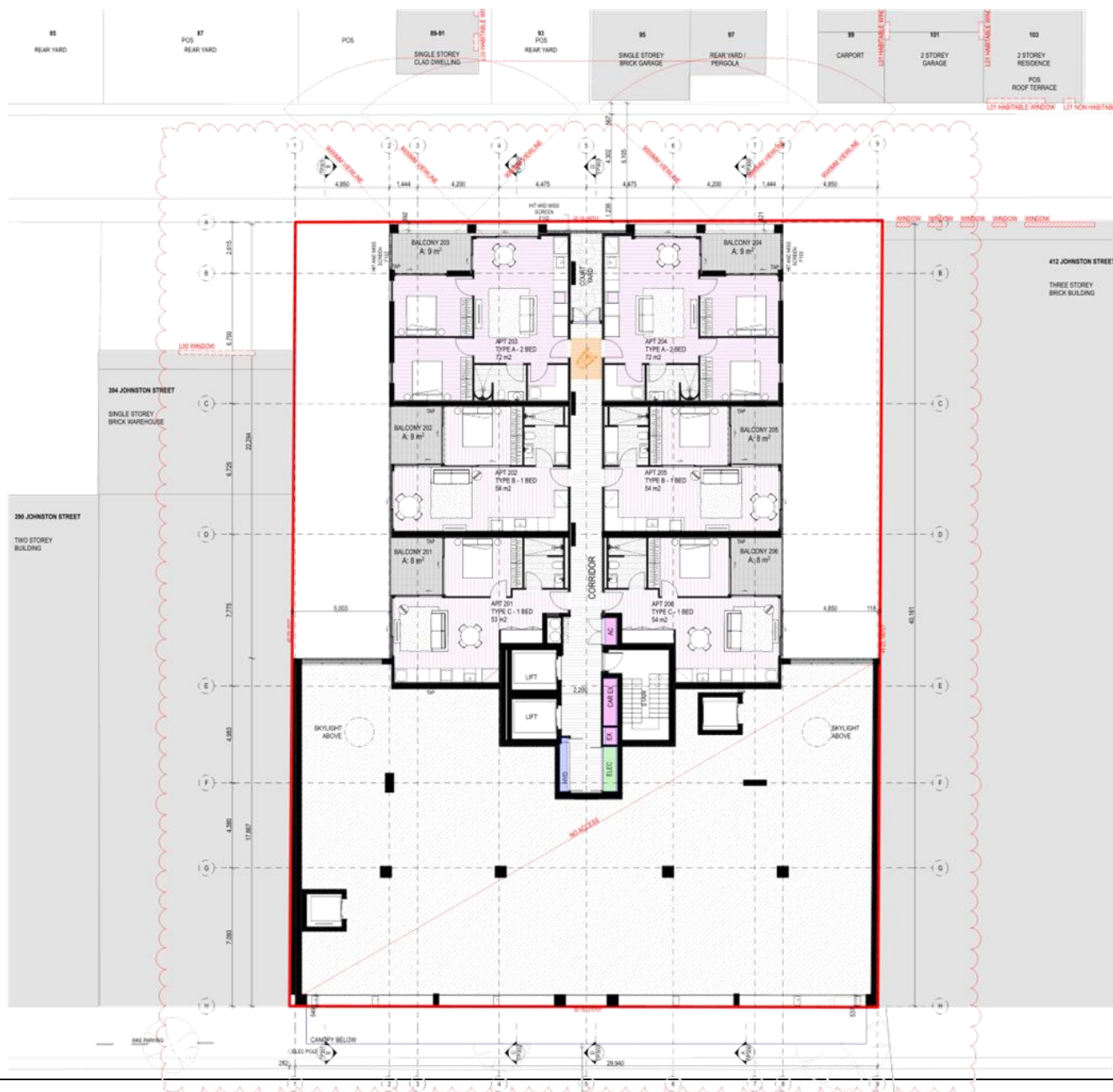
As a signatory to the Traditional Contract of Practice, MAA Architects Pty Ltd and its employees accept that the drawing is subject to the terms and conditions of the Traditional Contract of Practice.

Stage	TOWN PLANNING
Project	PROPOSED MIXED USE DEVELOPMENT
Address	396 & 400 Johnston Street Abbotsford Vic 3067
Title	COMMERCIAL UPPER PLAN
Checked	KA
Drawn	PDHW
Printed	30/02/22
Date	Scale As shown
Drawing No.	19005 TP115_G

LEVEL 02 COMMS PLAN  
1:100



Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans



NOTE: DUE TO SAKING BOUNDARY LINE, BOUNDARY OFFSETS ARE SHOWN TO GRID AND THEN TO BOUNDARY.

ALL ELEVATION OFFSETS SHOWN TO GRID (MIN SETBACK)

Number	Revision	Date
A	TOWN PLANNING SUBMISSION	19/07
B	REVISED TOWN PLANNING	14/07
C	REVISED TOWN PLANNING	27/07
D	INTERIM DESIGN	06/02
E	RESPONSE TO COUNCIL 01	08/02
F	RESPONSE TO COUNCIL 02	18/02
G	VIA SUBMISSION	24/02

General Notes

BUILDERS / CONTRACTORS SHALL VERIFY ALL DIMENSIONS BEFORE ANY WORK COMMENCES. DIMENSIONS SHOWN ARE NOMINAL. FIXTURES DIMENSIONS SHALL TAKE PRECEDENCE OVER WALL DIMENSIONS. ANY DIMENSIONS ARE TO BE MADE ACCORD TO THE ARCHITECT'S / DESIGNER'S OFFICE. THIS DOCUMENT IS TO BE USED IN CONNECTION WITH THE PROJECT AND MANUFACTURE SHALL NOT COMMENCE FROM THIS DRAWING UNLESS THE ARCHITECT'S / DESIGNER'S OFFICE HAS BEEN ADVISED AND APPROVED.

Client: **DCF**

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 LEVEL 11/111 Johnston Street  
 Melbourne VIC 3000 Australia

We acknowledge the Traditional Owners of country throughout Australia and recognise their continuing connection to land, waters and culture. We pay our respects to their Elders, past and present.

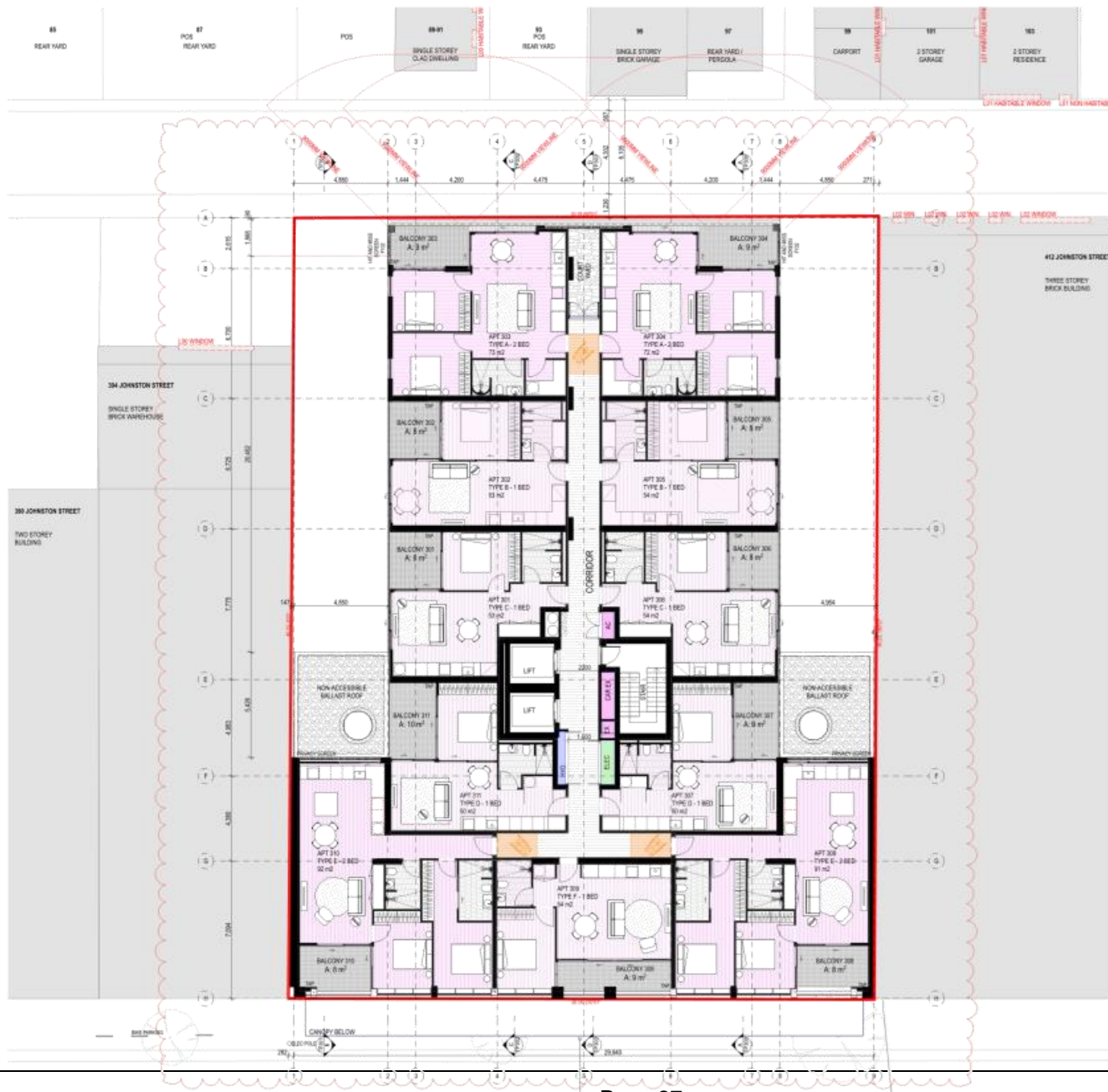
Stage: **TOWN PLANNING**  
 Project: **PROPOSED MIXED USE DEVELOPMENT**  
 Address: **396 & 402 Johnston Street Abbotsford Vic 3067**  
 Title: **L02 PLAN**

Checked: KA Drawn: PDMH  
 Printed: 20/02/22 Scale: As shown

19005 TP116\_G



Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans



NOTE: DUE TO TAKING BOUNDARY LINE, BOUNDARY OFFSETS ARE SHOWN TO GRID AND THEN TO BOUNDARY.

ALL ELEVATION OFFSETS SHOWN TO GRID (MM SETBACK)

A	TOWN PLANNING/COMMISSION	19/01
B	REVISED TOWN PLANNING	14/01
C	REVISED TOWN PLANNING	05/01
D	MEMORANDUM DRAFT	16/12
E	RESPONSE TO CONSULT BY	28/12
F	RESPONSE TO CONSULT BY	10/02
G	FINAL SUBMISSION	28/02

Number	Revision	Date
General Notes		

BUILDERS / CONTRACTORS SHALL VERIFY ALL DIMENSIONS BEFORE ANY WORK COMMENCES. DIMENSIONS SHOWN ARE NOMINAL. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE. CONTRACTORS ARE TO BE MADE AWARE OF THE ARCHITECT'S / ENGINEER'S OFFICE. ALL WORK SHOWN SHALL BE LIMITED FOR HOUSE AND MANUFACTURE SHALL NOT COMMENCE FROM TO THE BOUNDARY UNLESS SHOWN OTHERWISE. CONTRACTORS ARE TO BE MADE AWARE OF THE ARCHITECT'S / ENGINEER'S OFFICE.

Client

**DCF**  
**MAA**  
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 MELBOURNE VIC 3000  
 AUSTRALIA

We acknowledge the Traditional Owners of country throughout Australia and recognise their continuing connection to land, waters and culture. We pay our respects to their Elders past and present.

Stage: **TOWN PLANNING**

Project: **PROPOSED MIXED USE DEVELOPMENT**  
 Address: **306 & 402 Johnston Street, Abbotsford, Melbourne**

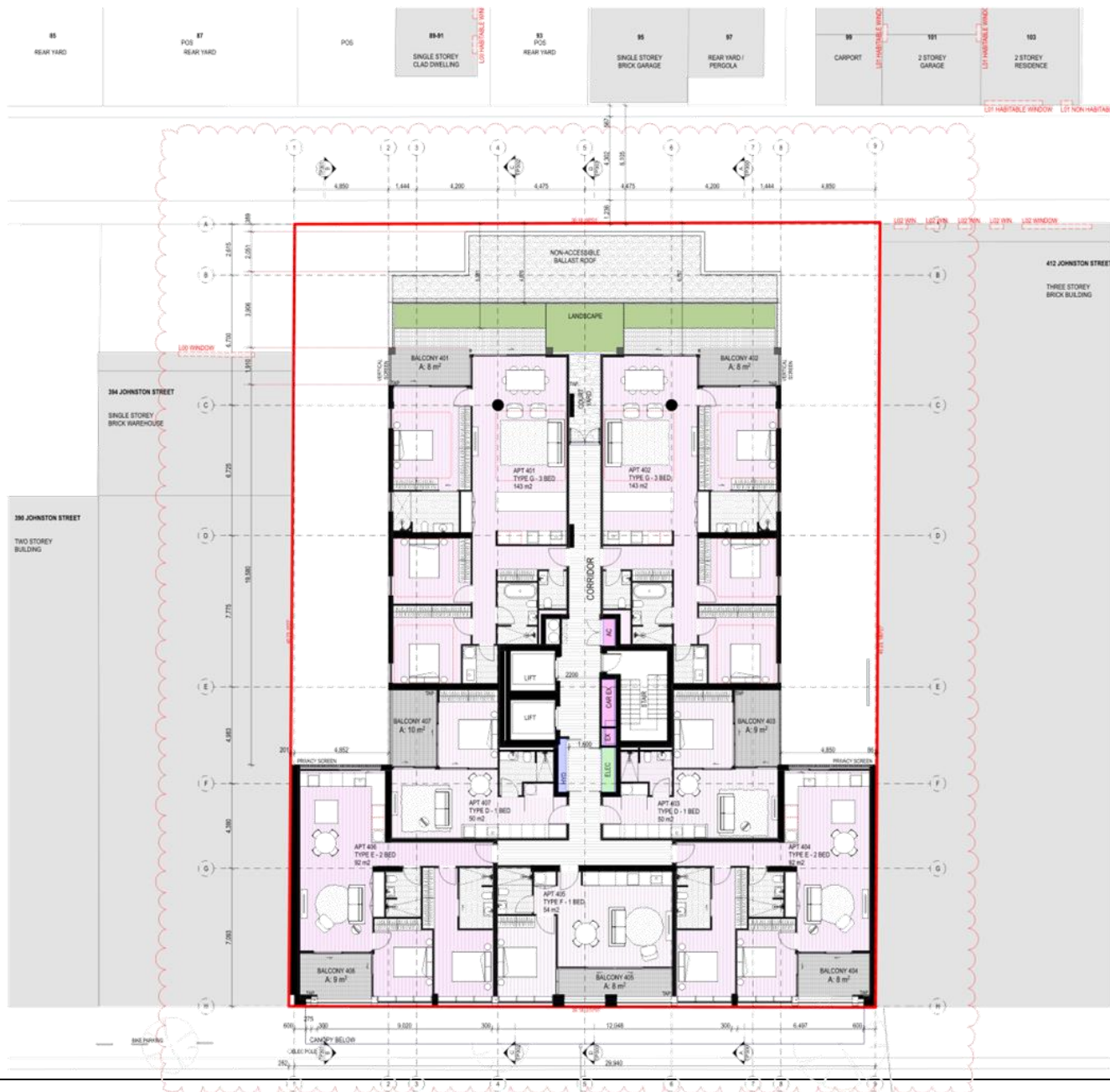
Title: **LOS PLAN**

Checked: **KA** Drawn: **PDH**

Printed: **30/02** Scale: **As shown**

Drawing No: **19005 TP117\_G**

Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans



NOTE: DUE TO SAKING BOUNDARY LINE, BOUNDARY OFFSETS ARE SHOWN TO GRID AND THEN TO BOUNDARY.  
 ALL ELEVATION OFFSETS SHOWN TO GRID (MIN SETBACK)

Number	Revision	Date
A	TOWN PLANNING SUBMISSION	19/07
B	REVISED TOWN PLANNING	14/07
C	REVISED TOWN PLANNING	29/07
D	INTERIMY DESIGN	05/02
E	RESPONSE TO COUNCIL 01	08/02
F	RESPONSE TO COUNCIL 01	19/02
G	FOR COORDINATION	26/02
H	FOR SUBMISSION	04/03

Number	Revision	Date
A	TOWN PLANNING SUBMISSION	19/07
B	REVISED TOWN PLANNING	14/07
C	REVISED TOWN PLANNING	29/07
D	INTERIMY DESIGN	05/02
E	RESPONSE TO COUNCIL 01	08/02
F	RESPONSE TO COUNCIL 01	19/02
G	FOR COORDINATION	26/02
H	FOR SUBMISSION	04/03

General Notes

1. BUILDERS / CONTRACTORS SHALL VERIFY ALL DIMENSIONS BEFORE ANY WORK COMMENCES. DIMENSIONS SHOWN ARE NOMINAL. PROJECT DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE DIMENSIONS. ANY DISCREPANCIES ARE TO BE MADE KNOWN TO THE ARCHITECTS / DESIGNER PRIOR TO ANY WORK COMMENCING ON SITE. ALL SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW AND MANUFACTURE SHALL NOT COMMENCE PRIOR TO THE RETURN OF UNAMENDED SHOP DRAWINGS.

2. CONTRACTORS ARE TO BE MADE IN CONNECTION WITH ALL PROJECT DIMENSIONS, MATERIALS AND THE SPECIFICATIONS.

Client

**DCF**

**MAA**

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 15/151 St Georges Rd Richmond  
 Vic 3121 Australia

As a signatory to the Traditional Clause of contracts throughout Australia and subject to any contrary conditions to these terms and conditions, the signatory hereby agrees to the following terms and conditions:

Stage: **TOWN PLANNING**

Project: **PROPOSED MIXED USE DEVELOPMENT**

Address: **336 & 402 Johnston Street Abbotsford Vic 3067**

Title: **L04 PLAN**

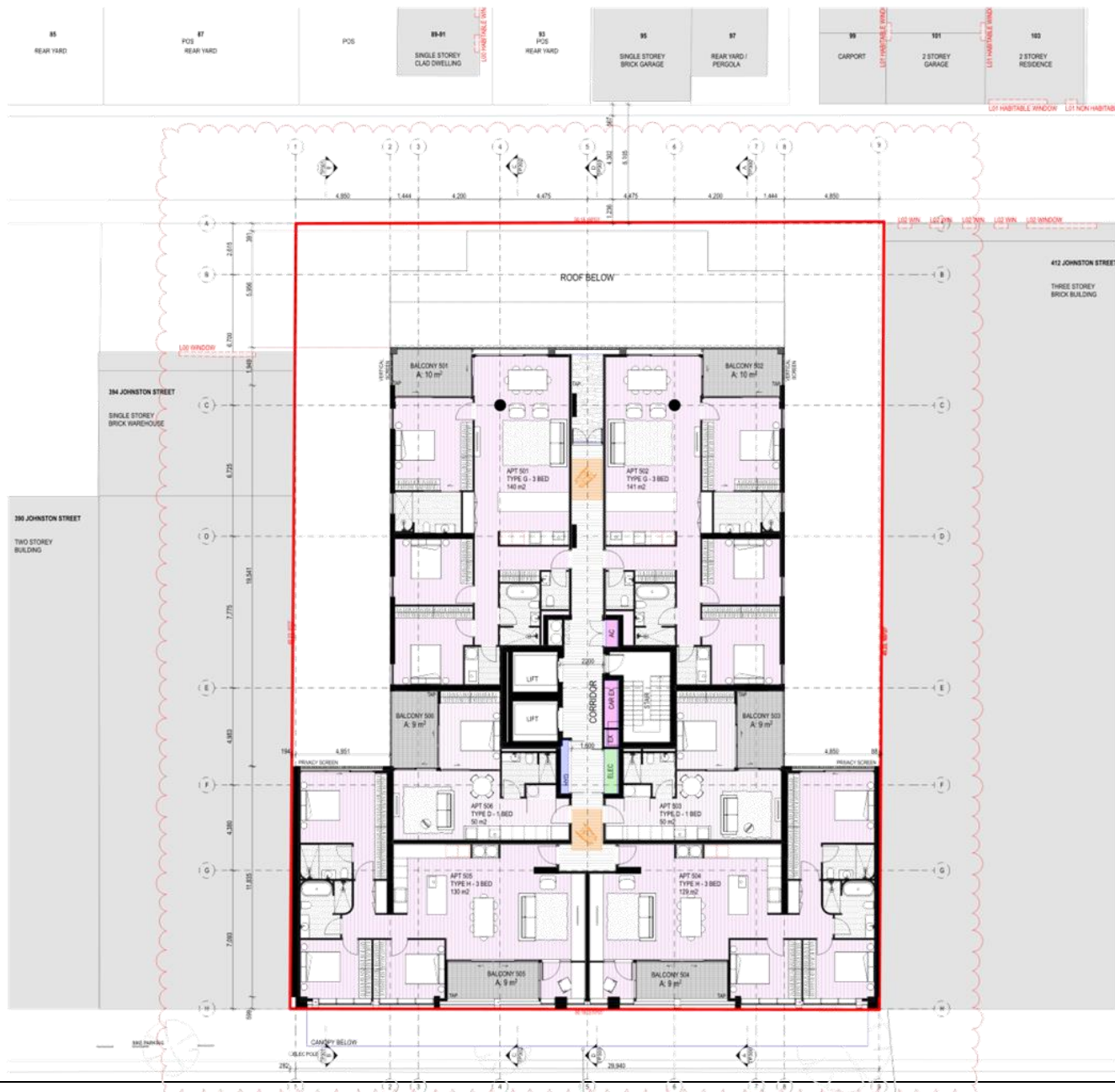
Checked: **KA** Drawn: **PDH**

Printed: **20/02** Scale: **As shown**

Date: **20/02/2021**

Drawing No: **19005 TP118\_H**

Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans



NOTE: DUE TO SAKING BOUNDARY LINE, BOUNDARY OFFSETS ARE SHOWN TO GRID AND THEN TO BOUNDARY.

ALL ELEVATION OFFSETS SHOWN TO GRID (MIN SETBACK)

Number	Revision	Date
A	TOWN PLANNING SUBMISSION	19/07
B	REVISED TOWN PLANNING	14/07
C	REVISED TOWN PLANNING	27/07
D	INTERIM DESIGN	30/02
E	RESPONSE TO CHUCK UP	08/10
F	RESPONSE TO CHUCK UP	18/02
G	FOR COORDINATION	28/02
H	FOR SUBMISSION	04/03

Client: **DCF**

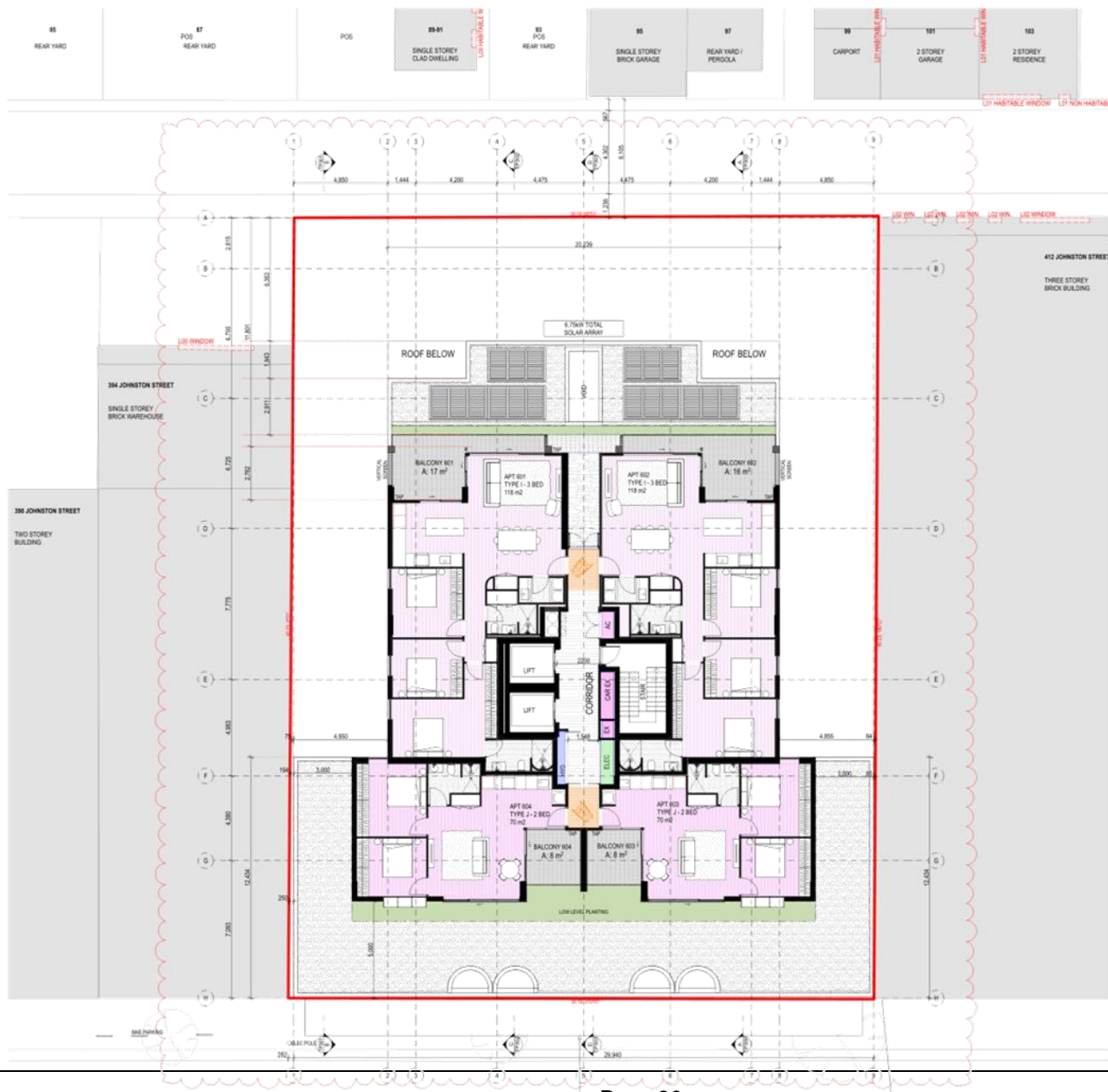
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 E info@maarchitects.com.au  
 110/112 Johnston Street  
 Melbourne, Victoria 3000  
 T +61 3 9487 6677  
 E info@maarchitects.com.au

As a signatory to the Traditional Clause of contracts throughout Australia and subject to any conditions, conditions, terms and conditions, the signatory hereby certifies that the information contained in this document is true and correct to the best of their knowledge and belief.

Stage	TOWN PLANNING
Project	PROPOSED MIXED USE DEVELOPMENT
Address	306 & 402 Johnston Street, Abbotsford, Vic 3067
Title	L05 PLAN
Checked	KA
Drawn	PDH
Printed	30/02/22
Date	Scale: As shown
Drawing No.	19005 TP119_H



Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans



NOTE: DUE TO SAKING BOUNDARY LINE, BOUNDARY OFFSETS ARE SHOWN TO GRID AND THEN TO BOUNDARY.  
 ALL ELEVATION OFFSETS SHOWN TO GRID (MIN SETBACK)

Number	Revision	Date
A	TOWN PLANNING SUBMISSION	19/07
B	REVISED TOWN PLANNING	14/07
C	REVISED TOWN PLANNING	27/07
D	ASSESSMENT ISSUE	05/02
E	RESPONSE TO COUNCIL (V)	08/10
F	RESPONSE TO COUNCIL (V)	18/02
G	FOR COORDINATION	28/02
H	FOR SUBMISSION	04/03

Client: **DCF**

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 E info@maarchitects.com.au  
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 Naurun - Victoria 3201 Australia

As authorised by the Traditional Owners of country throughout Australia we recognise that sovereignty never ceased to exist on this land. We pay our respects to the Traditional Owners and acknowledge their continuing connection to their lands, waters and culture. We seek to improve that relationship, respect and energy.

Stage: **TOWN PLANNING**

Project: **PROPOSED MIXED USE DEVELOPMENT**

Address: **306 & 402 Johnston Street Abbotsford Naurun**

Title: **L06 PLAN**

Checked: **KA** Drawn: **PDH**

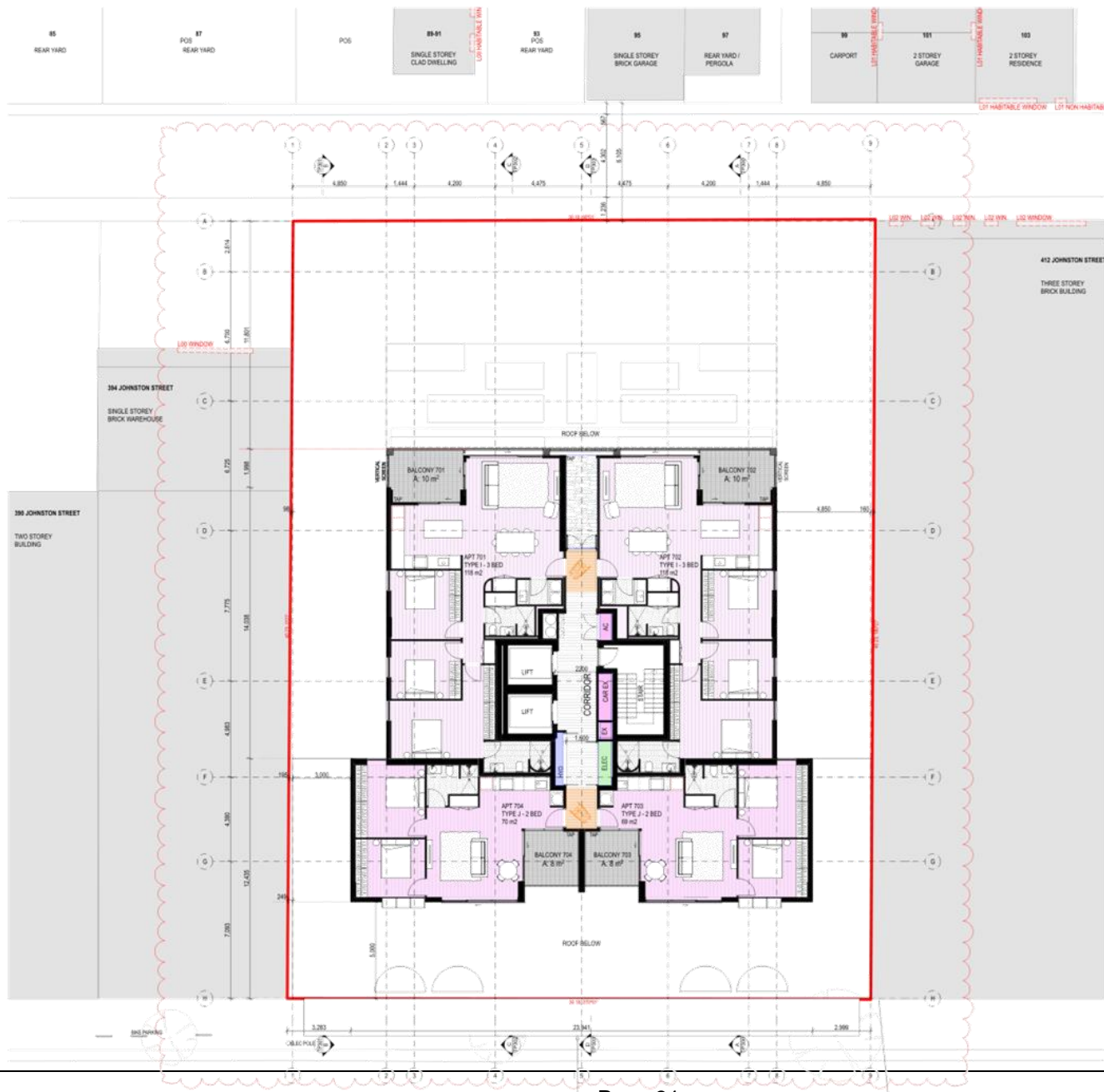
Printed: **20/02/22** Scale: **As shown**

Date: **20/02/22**

19005 TP120\_H



Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans



NOTE: DUE TO SAVING BOUNDARY LINE, BOUNDARY OFFSETS ARE SHOWN TO GRID AND THEN TO BOUNDARY.  
 ALL ELEVATION OFFSETS SHOWN TO GRID (MIN SETBACK)

Number	Revision	Date
A	TOWN/URBAN SUBMISSION	19/07
B	REVISED TOWN PLANNING	14/07
C	REVISED TOWN PLANNING	27/07
D	INTERIM DESIGN	05/02
E	RESPONSE TO CLAUD (M)	08/10
F	RESPONSE TO CLAUD (M)	10/02
G	FOR COORDINATION	20/02
H	FOR SUBMISSION	04/02

Client: **DCF**

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 E info@maarchitects.com.au  
 LEVEL 11/111 Johnston Street  
 Melbourne VIC 3000 Australia

Stage: **TOWN PLANNING**

Project: **PROPOSED MIXED USE DEVELOPMENT**

Address: **396 & 402 Johnston Street Abbotsford Neam**

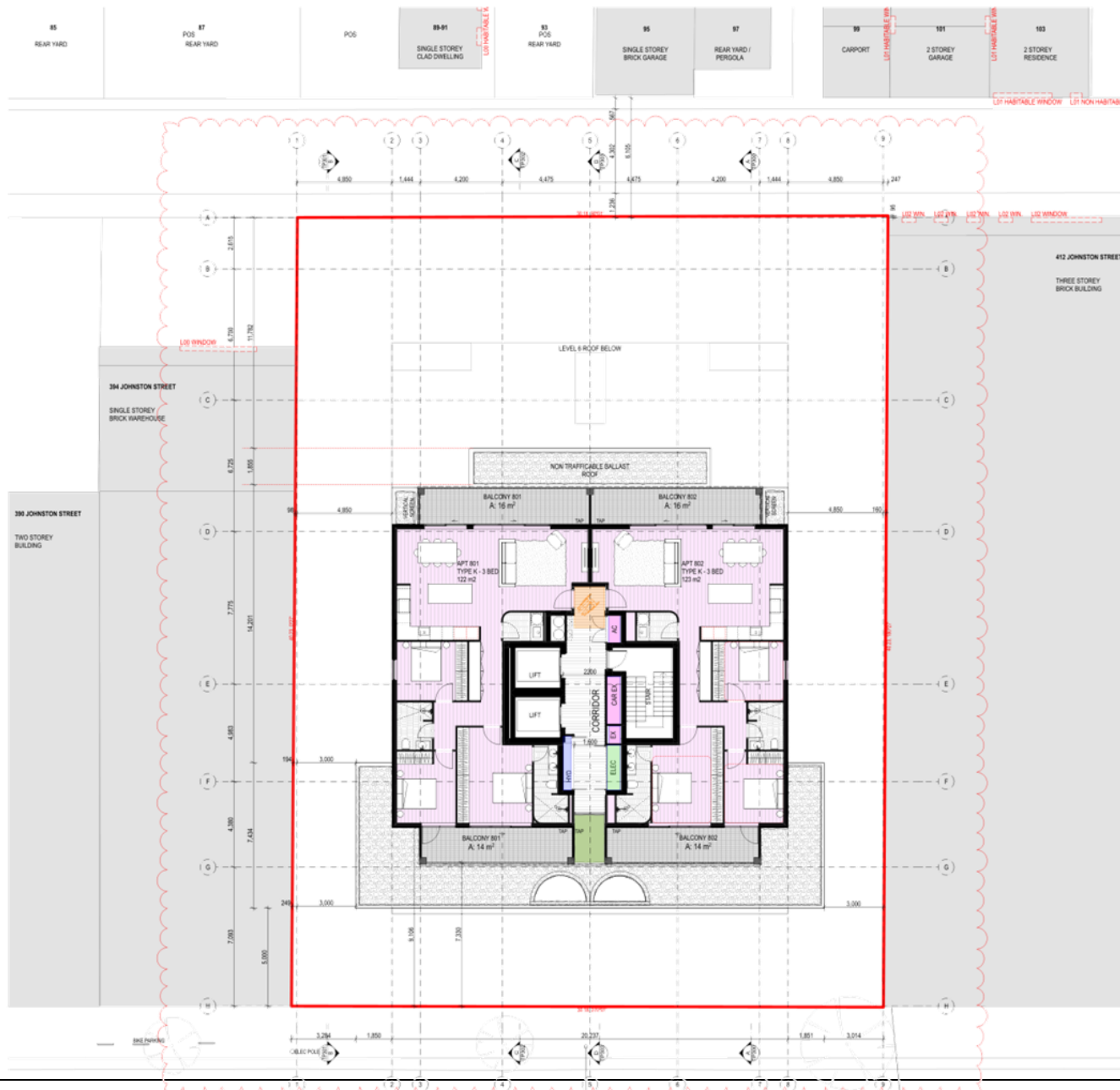
Title: **L07 PLAN**

Checked: **KA** Drawn: **PDH**

Printed: **20/02** Scale: **As shown**

Drawing No: **19005 TP121\_H**

Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans



NOTE: DUE TO RAKING BOUNDARY LINE, BOUNDARY OFFSETS ARE SHOWN TO GRID AND THEN TO BOUNDARY.

ALL ELEVATION OFFSETS SHOWN TO GRID (MIN SETBACK)

A	TOWN PLANNING SUBMISSION	19/07
B	REVISED TOWN PLANNING	14/07
C	REVISED TOWN PLANNING	27/07
D	INTERIM ISSUE	05/02
E	RESPONSE TO COUNCIL (1)	08/10
F	RESPONSE TO COUNCIL (2)	16/02
G	FOR COORDINATION	26/02
H	FOR SUBMISSION	04/02

Number	Revision	Date
General Notes		

BUILDERS / CONTRACTORS SHALL VERIFY ALL DIMENSIONS BEFORE ANY WORK COMMENCES. DIMENSIONS SHOWN ARE NOMINAL. FIXTURES DIMENSIONS SHALL TAKE RELEVANT CODES INTO CONSIDERATION. ANY DISCREPANCIES ARE TO BE MADE KNOWN TO THE ARCHITECTS / DESIGNER PRIOR TO ANY WORK COMMENCING ON SITE. ALL SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW AND MANUFACTURE SHALL NOT COMMENCE PRIOR TO THE RETURN OF DIMENSIONS SHOP DRAWINGS.

ALL DIMENSIONS TO BE CONFIRMED ON SITE PRIOR TO COMMENCING WORK. ALL DIMENSIONS TO BE CONFIRMED AS SHOWN UNLESS OTHERWISE NOTED OTHERWISE. DIMENSIONS AND THE PROFESSIONAL.

Client

**DCF**

**MAA**

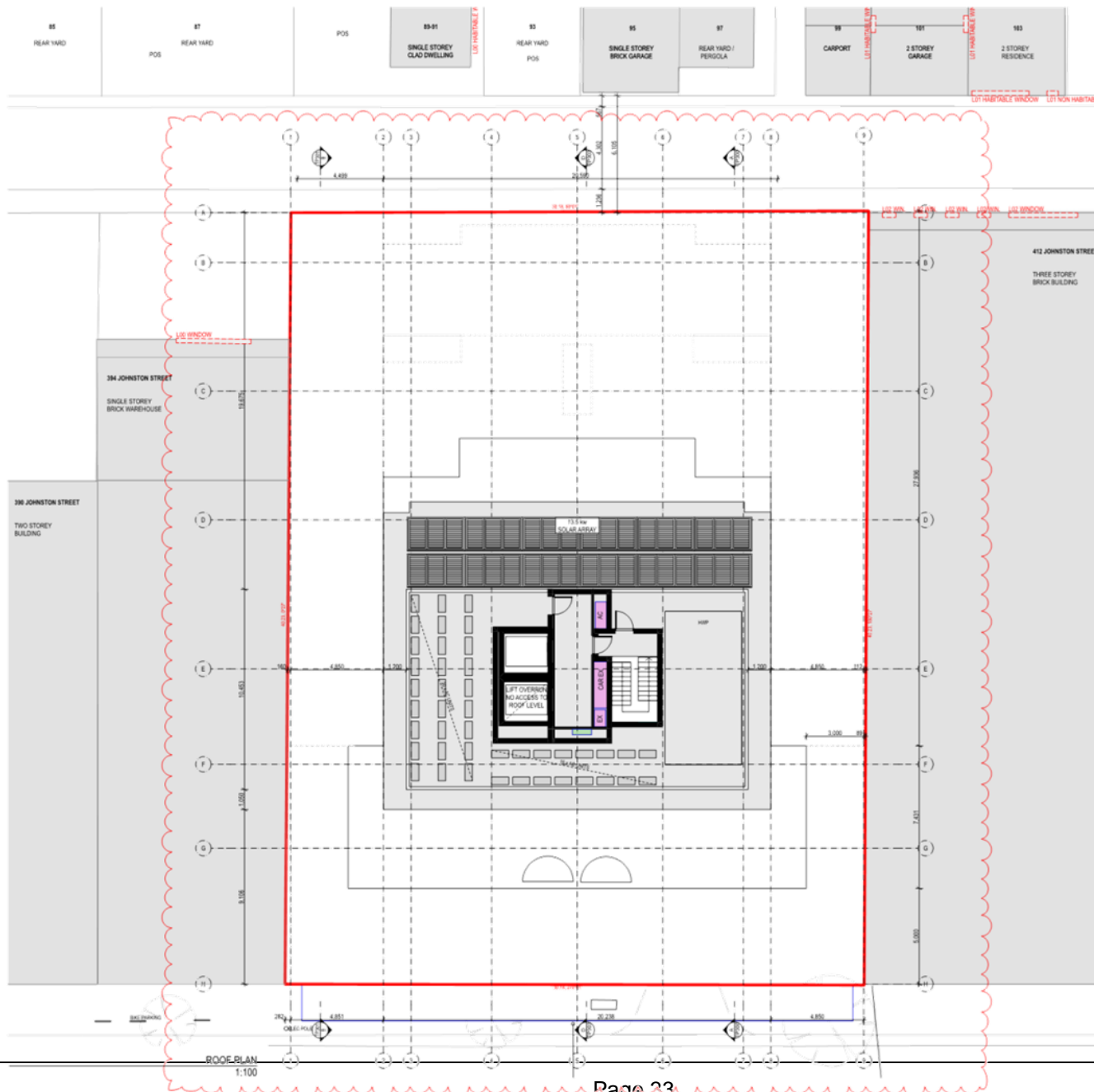
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 Victoria 3121 Australia

We acknowledge the Traditional Owners of country throughout Australia and recognise their continuing connection to land, waters and culture. We pay our respects to their Elders, past and present.

Stage	TOWN PLANNING
Project	PROPOSED MIXED USE DEVELOPMENT
Address	306 & 402 Johnston Street Abbotsford Neam
Title	LO8 PLAN
Checked	KA
Drawn	PDHW
Printed	30/02
Date	Scale As shown

Drawing No. 19005 TP122\_H

Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans



NOTE DUE TO MAKING BOUNDARY LINE BOUNDARY OFFSETS ARE SHOWN TO GRID AND THEN TO BOUNDARY

ALL ELEVATION OFFSETS SHOWN TO GRID-MIN SETBACK

Number	Revision	Date
A	TOWN PLANNING SUBMISSION	15/02
B	REVISED TOWN PLANNING	16/01
C	REVISED TOWN PLANNING	23/01
D	INTERDEPARTMENTAL ISSUE	05/02
E	RESPONSE TO COUNCIL MET	28/02
F	RESPONSE TO COUNCIL MET	14/03
G	SEA SUBMISSION	28/03
H	DRAWN	16/03

**DCF**

**MAA**

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 Vic 3121 Australia

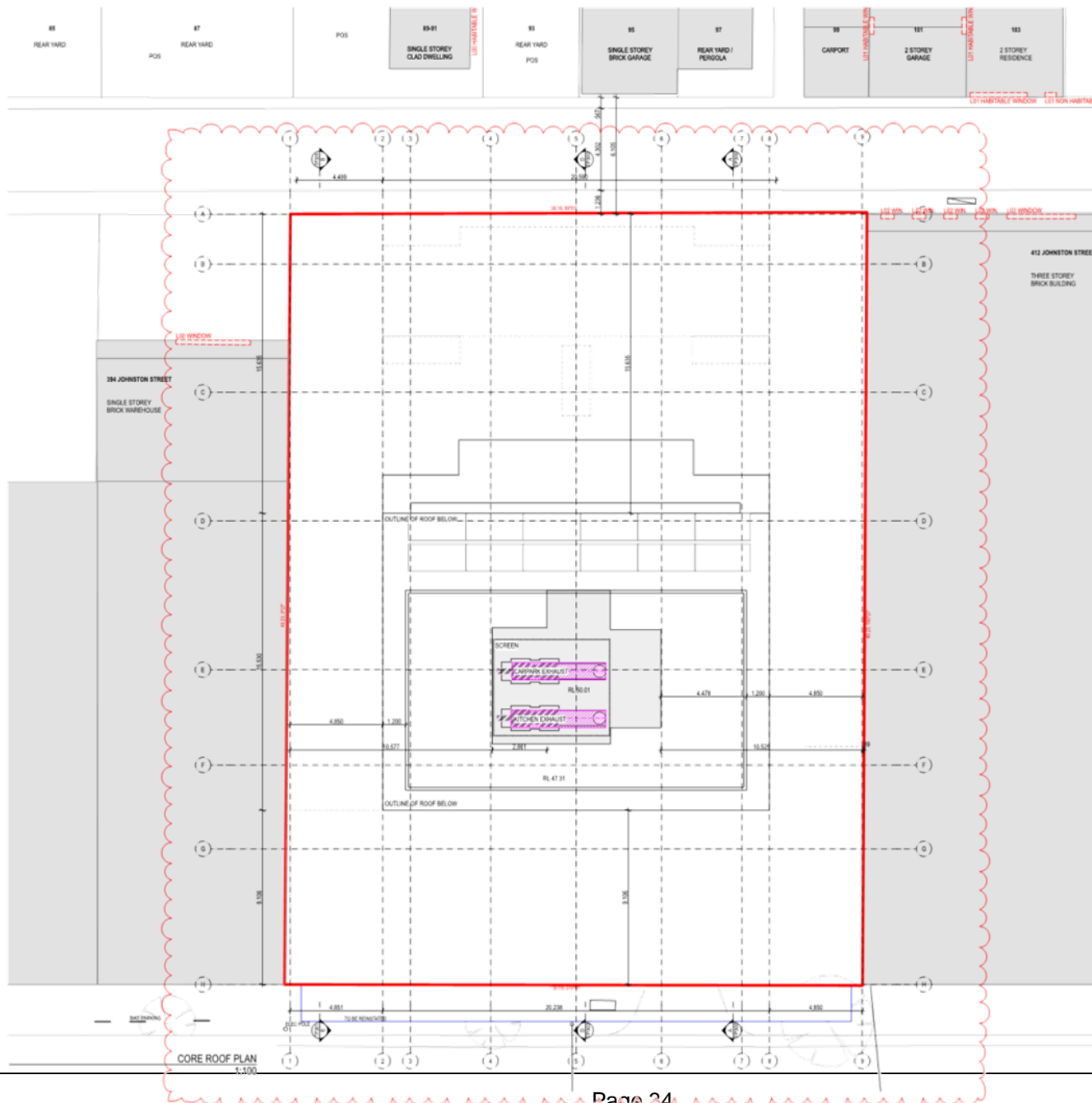
Client: **DCF**

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Stage	TOWN PLANNING
Project	PROPOSED MIXED USE DEVELOPMENT
Address	398 & 402 Johnston Street Altonford Neerim
Title	ROOF PLAN
Checked	KA
Drawn	PDHBY
Printed	16/02
Date	Scale: As sheet
User	190051P123_H



Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans



NOTE DUE TO RAVING BOUNDARY LINE BOUNDARY OFFSETS ARE SHOWN TO GRID AND THEN TO BOUNDARY  
 ALL ELEVATION OFFSETS SHOWN TO GRID-MIN SETBACK

TOWN PLANNING SUBMISSION	10/01
REVISED TOWN PLANNING	14/01
REVISED TOWN PLANNING	20/01
INTERDEPARTMENTAL ISSUE	05/02
RESPONSE TO COUNCIL MET	09/02
RESPONSE TO COUNCIL MET	14/02
SEA SUBMISSION	08/03
DRAWN	08/03

Number	Revision	Date
General Notes		

BUILDERS - CONTRACTORS SHALL VERIFY ALL DIMENSIONS BEFORE ANY WORK COMMENCES. DIMENSIONS SHOWN ARE NOMINAL. FINISHED DIMENSIONS SHALL TAKE PRECEDENCE OVER UNFINISHED DIMENSIONS. ANY DISCREPANCIES ARE TO BE MADE KNOWN TO THE ARCHITECTS - BENDERS OFFICE PRIOR TO ANY WORK COMMENCING ON SITE. ALL SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW AND MANUFACTURE SHALL NOT COMMENCE PRIOR TO THE RETURN OF UNAMBIGUOUS SHOP DRAWINGS.

Client

**DCF**

**MAA**

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Stage	TOWN PLANNING
Project	PROPOSED MIXED USE DEVELOPMENT
Address	398 & 400 Johnston Street Alford Road Neerim
Title	TOP OF LIFT OVERRUN
Checked	KA
Drawn	PDHBY
Printed	16/02
Date	Scale: As sheet
Client Ref	19005TP124_H







Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans

KEY - EXTERIOR FINISHES



NOTE: DUE TO BAKING BOUNDARY LINE, BOUNDARY OFFSETS ARE SHOWN TO GRID AND THEN TO BOUNDARY.  
REFER TO PLANS FOR BOUNDARY OFFSETS.  
1:100

NOTE: DUE TO BAKING BOUNDARY LINE, BOUNDARY OFFSET SHOWN TO GRID AND THEN TO BOUNDARY.  
ELEVATION OFFSETS SHOWN TO GRID (MIN SETBACK)

TITLE KEY

Block Numbers	Title Number
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2	1002
3	1003
4	1004
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Number	Revision	Date

General Notes

BUILDERS / CONTRACTORS SHALL VERIFY ALL DIMENSIONS BEFORE ANY WORK COMMENCES. DIMENSIONS INDICATED ARE NOMINAL. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCING WORK. ANY DISCREPANCIES ARE TO BE MADE KNOWN TO THE ARCHITECT'S / ENGINEER OFFICE PRIOR TO ANY WORK COMMENCING ON SITE. ALL WORK CHANGING SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE ARCHITECT'S / ENGINEER OFFICE PRIOR TO COMMENCING WORK. ALL WORK TO BE DONE IN ACCORDANCE WITH THE RELEVANT STANDARDS AND THE RELEVANT REGULATIONS.

Client

**DCF**

**MAA**

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 T + 61 3 9421 6671  
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 VIC 3000 Australia

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Stage: TOWN PLANNING

Project: PROPOSED MIXED USE DEVELOPMENT

Address: 308 & 400 Adelaide Street Adelaide, South Australia

Title: ELEVATION

Checked: KA, Green, PDR/BR

Printed: 16/02 Scale: As shown

Date:

19005TP212\_H



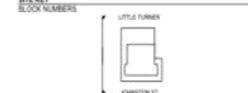
Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans

KEY - EXTERIOR FINISHES



NOTE: DUE TO MAKING BOUNDARY LINE, BOUNDARY OFFSET SHOWN TO GRID AND THEN TO BOUNDARY.  
ELEVATION OFFSETS SHOWN TO GRID AND SETBACK.

SITE KEY



A	COMPLAINT SUBMISSION	19/01
B	REVISED TOWN PLANNING	14/02
C	REVISED TOWN PLANNING	27/02
D	IMPROVEMENT FEEDBACK	09/03
E	RESPONSE TO CONSULTATION	29/03
F	RESPONSE TO CONSULTATION	19/04
G	ON SUBMISSION	24/02
H	REVISED	19/02

Number	Revision	Date
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**General Notes**

BUILDERS / CONTRACTORS SHALL VERIFY ALL DIMENSIONS BEFORE ANY WORK COMMENCES. DIMENSIONS INDICATED ARE NOMINAL. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS. ANY DIMENSIONS NOT TO BE MADE ACCORDING TO THE ARCHITECT'S DIMENSIONS SHALL BE MADE TO THE ARCHITECT'S DIMENSIONS UNLESS OTHERWISE SPECIFIED.

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE RELEVANT STANDARDS AND REGULATIONS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE RELEVANT STANDARDS AND REGULATIONS.

Client

**DCF**

**MAA**

MA Architects Pty Ltd  
 www.maa.com.au  
 404 ADELAIDE STREET  
 MELBOURNE VIC 3000  
 T + 61 3 9421 6501  
 E info@maarchitects.com.au  
 12/100 St Georges Rd Richmond  
 VIC 3121 Australia

Drawings prepared and issued by:  
 MA Architects Pty Ltd  
 12/100 St Georges Rd Richmond  
 VIC 3121 Australia

Stage: TOWN PLANNING

Project: PROPOSED MIXED USE DEVELOPMENT

Address: 308 & 400 Johnson Street Adelaide North

Title: ELEVATION

Checked: KA, Green, PDR

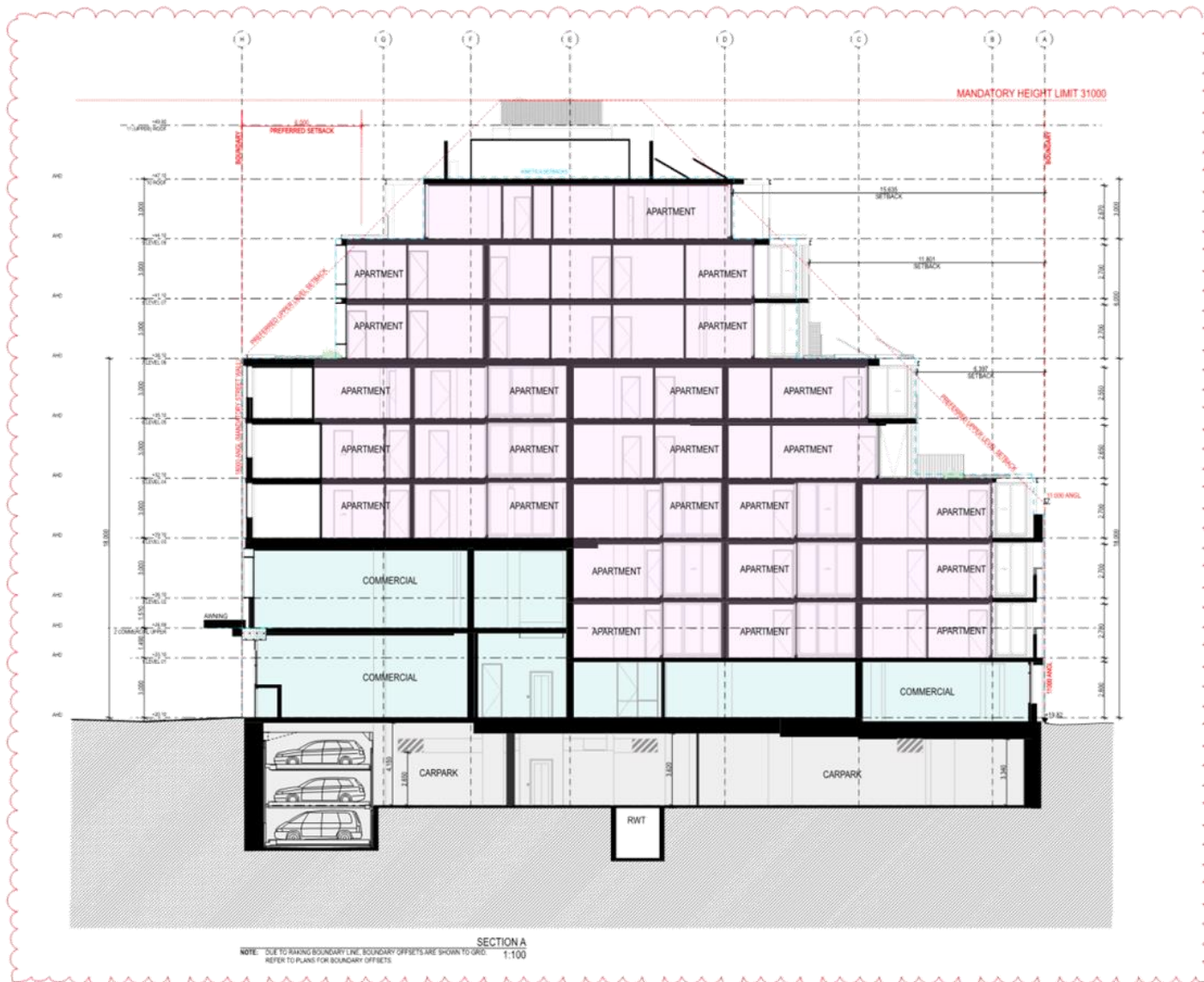
Printed: 16/02, Scale: As shown

Date: 16/02

19005TP213\_H

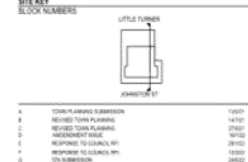
Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans

KEY - EXTERIOR FINISHES



NOTE: DUE TO RAKING BOUNDARY LINE, BOUNDARY OFFSETS SHOWN TO GRID AND THEN TO BOUNDARY.  
ELEVATION OFFSETS SHOWN TO GRID (MIN SETBACK)

SITE KEY



Number	Revision	Date
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General Notes

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Client

**DCF**  
**MAA**

MA Architects Pty Ltd  
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E info@maarchitects.com.au  
12/100 Fitzgerald St Richmond  
North Victoria 3101 Australia

Drawings prepared with assistance from:  
GRAPHICARTISTS, drawing and print  
REPRODUCTION AND PRINTING  
BY: MAA

Stage: TOWN PLANNING  
Project: PROPOSED MIXED USE DEVELOPMENT  
Address: 308 & 402 Adelaide Street Adelaide SA 5000  
Title: SECTION SHEET 01

Checked: KA Drawn: PDI/RB  
Printed: 16/02/22 Scale: As shown  
Date:

19/005TP300\_G



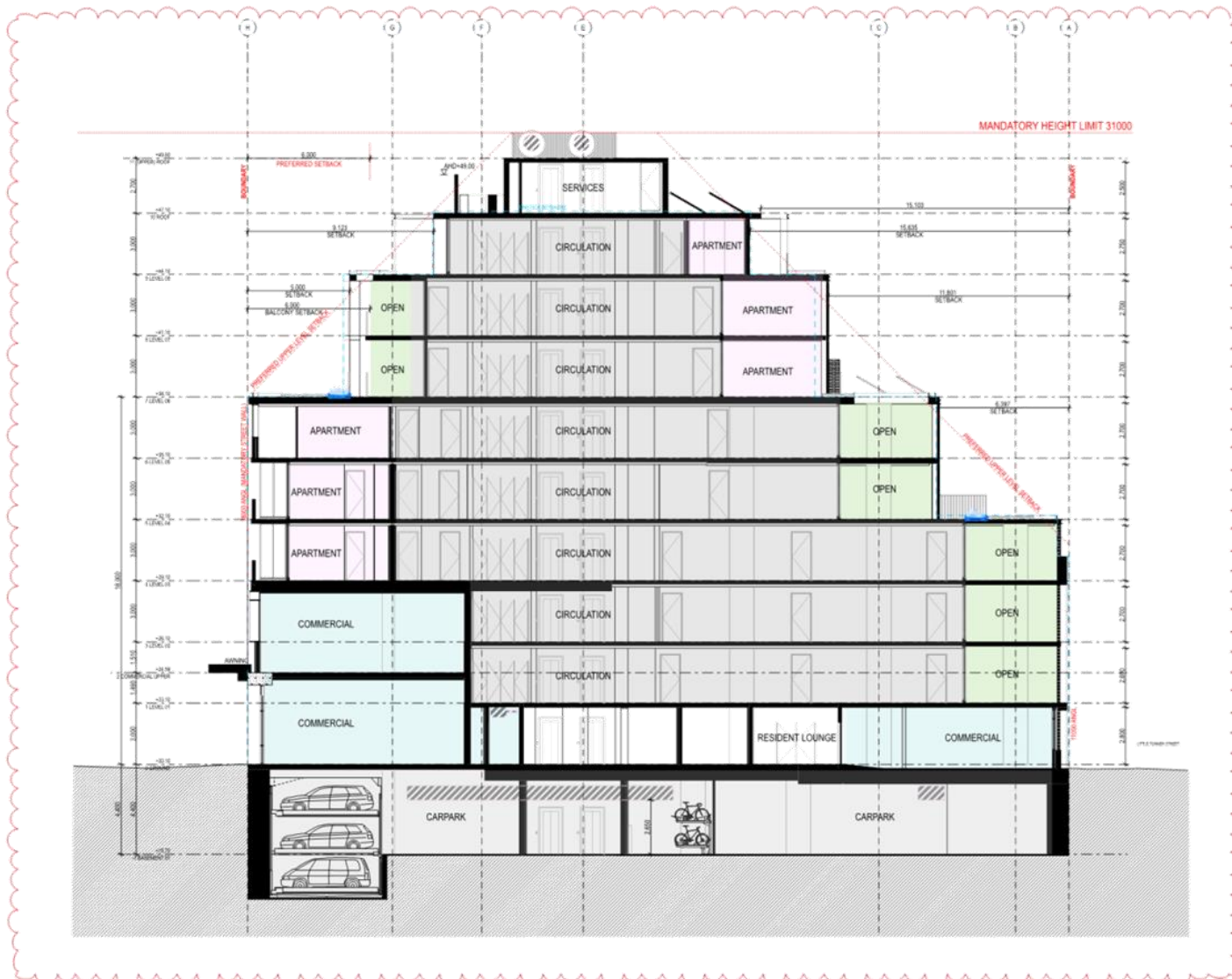






Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans

KEY - EXTERIOR FINISHES



SECTION D  
 NOTE: DUE TO RAKING BOUNDARY LINE, BOUNDARY OFFSETS ARE SHOWN TO GRID.  
 REFER TO PLAN(S) OF BOUNDARY OFFSETS.

NOTE: DUE TO RAKING BOUNDARY LINE, BOUNDARY OFFSET SHOWN TO GRID AND THEN TO BOUNDARY.  
 ELEVATION OFFSETS SHOWN TO GRID (MIN SETBACK)

DATE KEY

Block Number	Title Number
1	10000001
2	10000002
3	10000003
4	10000004
5	10000005
6	10000006

Number	Revision	Date
1	ISSUED FOR PERMIT	14/10/21
2	REVISED TOWN PLANNING	27/01/22
3	REVISED TOWN PLANNING	09/02/22
4	RESPONSE TO COMMENTS	29/02/22
5	RESPONSE TO COMMENTS	19/03/22
6	ON SUBMISSION	24/03/22

**General Notes**

BUILDERS / CONTRACTORS SHALL VERIFY ALL DIMENSIONS BEFORE ANY WORK COMMENCES. DIMENSIONS SHOWN ARE NOMINAL. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS. ANY DIMENSIONS NOT TO BE SHOWN SHALL BE TO THE ARCHITECT'S DIMENSIONED DRAWING. PLEASE TO ANY WORK COMMENCING ON SITE, ALL WORK CHANGING SHALL BE IDENTIFIED FROM ARCHITECT'S DIMENSIONED DRAWING PRIOR TO THE RETURN OF DIMENSIONS FROM DIMENSIONING.

Client

**DCF**  
**MAA**

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 404 ADELAIDE STREET  
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 E info@maarchitects.com.au  
 12/100 St Georges Rd Richmond  
 North Victoria 3101 Australia

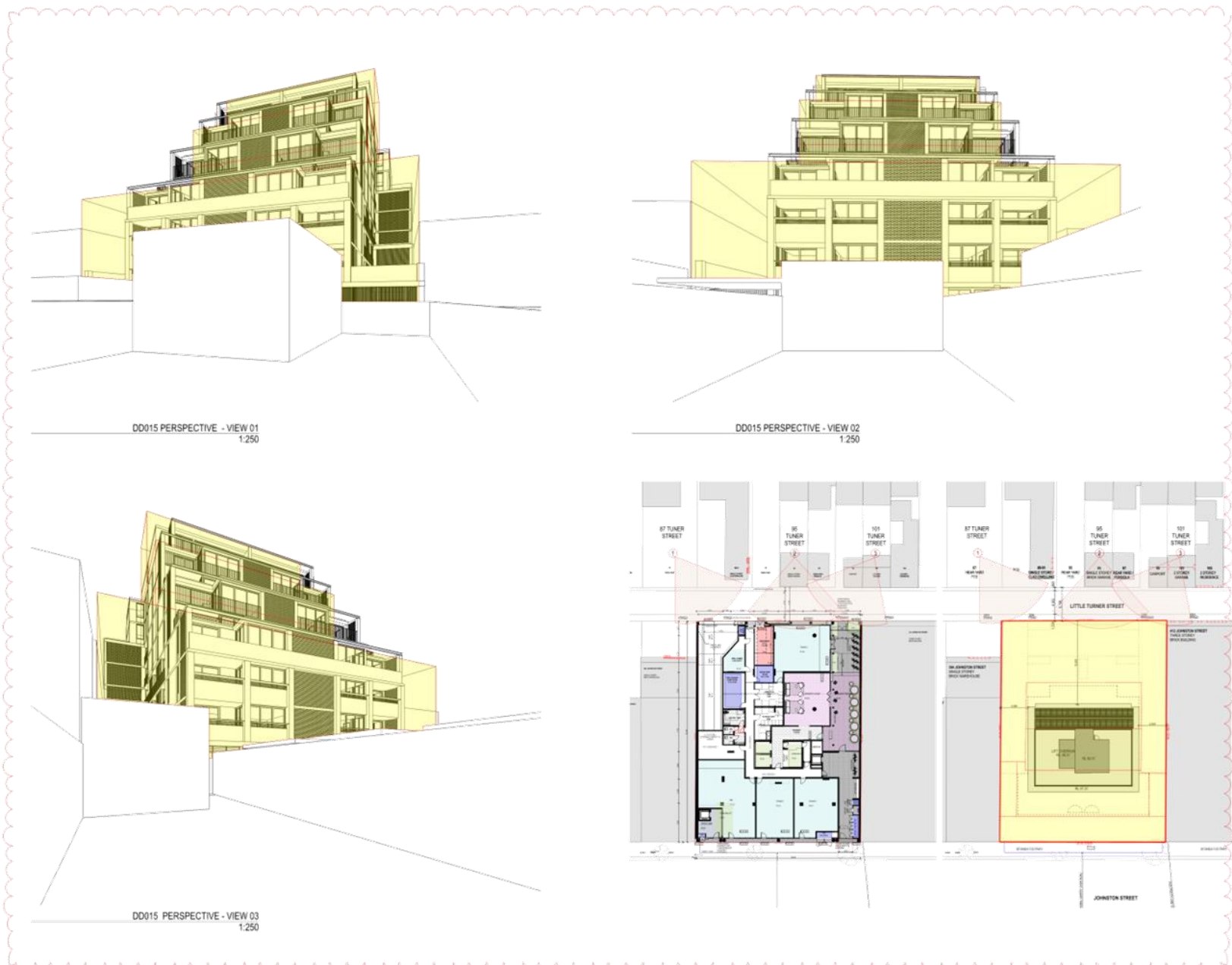
We acknowledge the Traditional Owners of country throughout Australia and recognise that continuing connections and respect for their land and waters are important.

Stage **TOWN PLANNING**  
 Project **PROPOSED MIXED USE DEVELOPMENT**  
 Address **308 & 400 Johnston Street Adelaide SA 5000**  
 Title **SECTION SHEET 04**

Checked KA Drawn PDI/RS  
 Printed Date 16/02/22 Scale As shown

19/005TP303\_G

Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans



DD015 PERSPECTIVE - VIEW 01  
1:250

DD015 PERSPECTIVE - VIEW 02  
1:250

DD015 PERSPECTIVE - VIEW 03  
1:250

A	REVISED TOWNPLANNING	14/11/21
B	RESPONSE TO COUNCIL 01: 22/03/2022	15/11/21
C	RESPONSE TO COUNCIL 02: 28/03/2022	15/11/21
D	RESPONSE TO COUNCIL 03: 12/04/2022	15/11/21
E	RESPONSE TO COUNCIL 04: 12/04/2022	15/11/21
F	RESPONSE TO COUNCIL 05: 12/04/2022	15/11/21

Number	Revision	Date
General Notes		

BUILDERS / CONTRACTORS SHALL VERIFY ALL DIMENSIONS BEFORE ANY WORK COMMENCES. DIMENSIONS SHOWN ARE NOMINAL. FINISHED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DISCREPANCIES ARE TO BE MADE KNOWN TO THE ARCHITECT'S / DESIGNER'S OFFICE IMMEDIATELY. ALL DIMENSIONS TO BE SHOWN TO THE ARCHITECT'S / DESIGNER'S OFFICE IMMEDIATELY. ALL DIMENSIONS TO BE SHOWN TO THE ARCHITECT'S / DESIGNER'S OFFICE IMMEDIATELY.

**Client**

**DCF**

**MA**

**A**

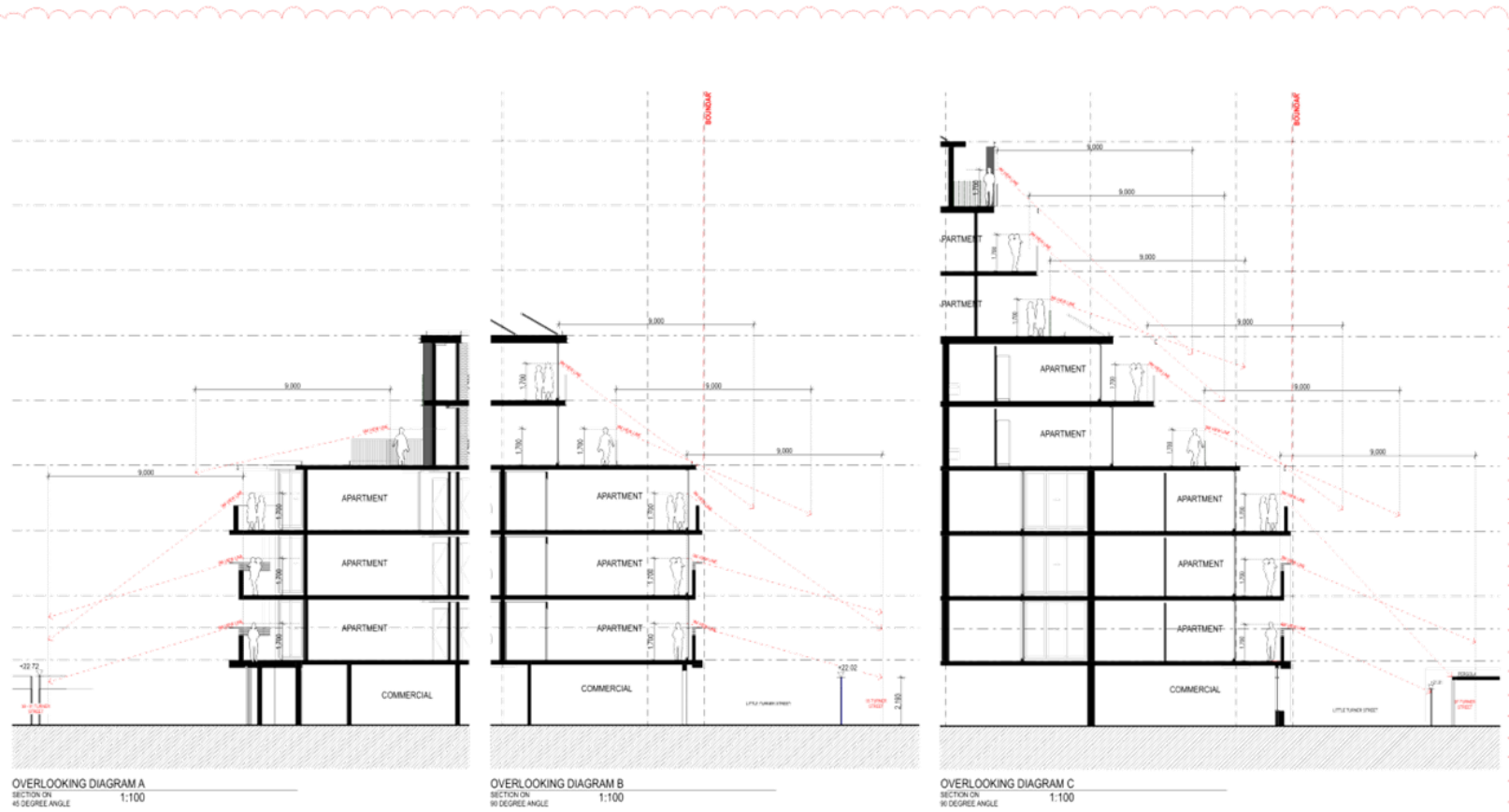
MA Architecture Pty Ltd  
 150/151 Johnston Street  
 Brisbane QLD 4000  
 T + 615 9401 6671  
 E info@maarchitects.com.au  
 Lvl 15, 150/151 Johnston Street, Brisbane  
 Queensland 4000 Australia  
 www.maarchitects.com.au

He acknowledges the Traditional Owners of the land in Queensland, Australia and recognises their continuing connection to the land and waters. He also acknowledges their elders past and present.

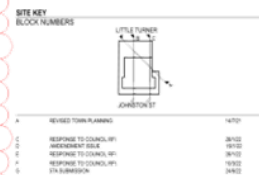
Stage	TOWN PLANNING
Project	PROPOSED MIXED USE DEVELOPMENT
Address	395 & 402 Johnston Street Adelaide North
Title	DD015 PERSPECTIVES
Checked	KA Drawn JPD/HK
Printed	30/02/22 Scale As shown
Date	

Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans

KEY - EXTERIOR FINISHES



NOTE: DUE TO TAKING BOUNDARY LINE, BOUNDARY OFFSET SHOWN TO GRID AND THEN TO BOUNDARY.  
 ELEVATION OFFSETS SHOWN TO GRID (MIN SETBACK)



Number	Revision	Date
1	REVISED TOWN PLANNING	14/10
2	RESPONSE TO CONSULTING ARCHITECTS	28/10
3	RESPONSE TO CONSULTING ARCHITECTS	31/10
4	FINAL SUBMISSION	19/12

**General Notes**

BUILDERS / CONTRACTORS SHALL VERIFY ALL DIMENSIONS SHOWN AND BEFORE COMMENCEMENT OF WORK. DIMENSIONS SHOWN ARE NOMINAL. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DISCREPANCIES ARE TO BE MADE KNOWN TO THE ARCHITECTS / REGULATORY OFFICE IMMEDIATELY.

CONTRACTORS ARE TO BE MADE AWARE OF ALL DIMENSIONS SHOWN AND MANUFACTURE SHALL NOT COMMENCE PRIOR TO THE NECESSARY DIMENSIONS CHECKS.

Client

**DCF**

**MAA**

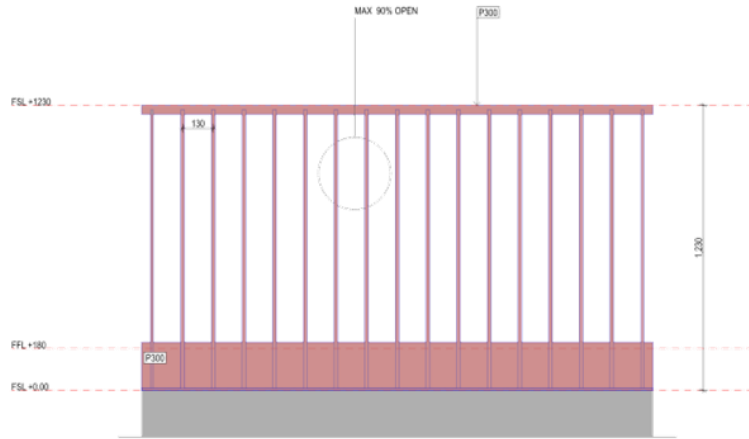
MAA Architects Pty Ltd  
 15/1000 High Street, Melbourne VIC 3000  
 Phone: 03 9493 7378  
 Fax: 03 9493 6871  
 E: info@maarchitects.com.au  
 Level 15/1000 High Street, Melbourne VIC 3000 Australia

Our drawings are prepared and issued on the basis of the information provided to us. We do not accept any liability for errors or omissions in our drawings.

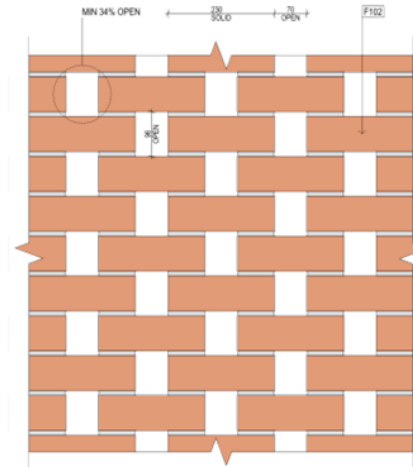
We acknowledge the Traditional Owners of country throughout Australia and recognise their continuing connection to land, waters and culture. We pay our respects to the Elders and the living.

Stage: TOWN PLANNING  
 Project: PROPOSED MIXED USE DEVELOPMENT  
 Address: 308 & 420 Johnston Street Melbourne VIC 3000  
 Title: OVERLOOKING SECTION  
 Checked: KA Drawn: PDH/MS  
 Printed: 30/12/22 Scale: As shown  
 Date:  
 Drawing No: 19005TP401\_G

Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans



TYPICAL HANDRAIL DETAIL  
1:10



TYPICAL BRICK SCREEN DETAIL  
1:5

A	REVISED TOWN PLANNING	14/21
B	REVISED TOWN PLANNING	21/21
C	REVISED TOWN PLANNING	14/21
D	RESPONSE TO COUNCIL IPI	20/22
E	RESPONSE TO COUNCIL IPI	20/22
F	RESPONSE TO COUNCIL IPI	10/22
G	FINAL SUBMISSION	24/22

Number	Revision	Date
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**General Notes**

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ALL DIMENSIONS TO BE COMPLETED TO THE DIMENSIONS TO BE SHOWN. ALL DIMENSIONS TO BE SHOWN TO THE DIMENSIONS TO BE SHOWN.

CONTRACTOR TO BE RESPONSIBLE FOR ALL DIMENSIONS TO BE SHOWN TO THE DIMENSIONS TO BE SHOWN.

**Client**

**DCF**

**MAA**

MA Architects Pty Ltd  
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 E info@maarchitects.com.au  
 1/155 Fitzgerald St Richmond  
 Neam Victoria 3101 Australia

Drawings prepared and modified by:  
 JAMES M. HARRIS (Project Architect)  
 JAMES M. HARRIS (Project Architect)

We acknowledge the Traditional Owners of country throughout Australia and recognise their continuing connection to the land and culture. We pay our respects to their Elders past, present and emerging.

Stage: TOWN PLANNING  
 Project: PROPOSED MIXED USE DEVELOPMENT  
 Address: 385 & 435 Johnston Street Abbotsford Neam

Title: TYPICAL BALUSTRADE AND SCREEN DETAILS

Checked: KA, Drenn, PDH/M  
 Printed: 30/22 Scale: As shown  
 Date:



Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans

**BADS SUMMARY TABLE**

APARTMENT TYPES	QUANTITY	BEDS	D17 (ACCESSIBLE)	D19 (POS)	STORAGE		D20	D24 (FUNC. LAYOUT)	D25 (ROOM DEPTH)	D27 (VENTILATION)
					INTERNAL	EXTERNAL				
TYPE A	6	2B	✓	✓	12.63m <sup>3</sup>	-	✓	✓	✓	✓
TYPE B	6	1B	✓	✓	10.02m <sup>3</sup>	-	✓	✓	✓	-
TYPE C	6	1B	✓	✓	12.19m <sup>3</sup>	-	✓	✓	✓	-
TYPE D	6	1B	-	✓	10.11m <sup>3</sup>	-	✓	✓	✓	-
TYPE E	4	2B	✓	✓	14.00m <sup>3</sup>	-	✓	✓	✓	✓
TYPE F	2	1B	✓	✓	6.33m <sup>3</sup>	4m <sup>3</sup>	✓	✓	✓	-
TYPE G	4	3B	✓	✓	28.22m <sup>3</sup>	-	✓	✓	-	✓
TYPE H	2	3B	-	✓	23.95m <sup>3</sup>	-	✓	✓	✓	✓
TYPE I	4	3B	-	✓	23.15m <sup>3</sup>	-	✓	✓	✓	✓
TYPE J	4	2B	-	✓	12.83m <sup>3</sup>	4m <sup>3</sup>	✓	✓	✓	✓
TYPE K	2	3B	-	✓	22.11m <sup>3</sup>	-	✓	✓	✓	✓
	<b>46</b>			✓				✓		
<b>TOTAL</b>			<b>28/46</b>	<b>46/46</b>			<b>46/46</b>	<b>46/46</b>	<b>38/46</b>	<b>26/46</b>
<b>COMPLIANCE</b>			<b>60%</b>	<b>100%</b>			<b>100%</b>	<b>100%</b>	<b>83%</b>	<b>56%</b>

<b>TOTAL 1 BED</b>	
	<b>20</b>
<b>TOTAL 2 BED</b>	
	<b>14</b>
<b>TOTAL 3 BED</b>	
	<b>12</b>

**SITE KEY**  
BLOCK NUMBERS

LITTLE TURNER  
JOHNSON ST

A RESPONSE TO COUNCIL #1  
B TO SUBMISSION

JR/12  
JMS/2

---

Number Revision Date

General Notes

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MA Architects Pty Ltd  
14/01/2022  
19005TP700\_B

MA  
A

MA Architects Pty Ltd  
14/01/2022  
19005TP700\_B

Client: MA Architects Pty Ltd  
Project: PROPOSED MIXED USE DEVELOPMENT  
Address: 308 & 420 JOHNSON STREET ABBOTSFORD VIC 3007  
File: BADS SUMMARY

Checked: KA Drawn: JRM/MS  
Printed: 30/6/22 Scale: As shown  
Drawing No: 19005TP700\_B

Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans

### LEGEND - DWELLING AMENITY

FUNCTIONAL LAYOUT OBJECTIVE - STANDARD D07 (Clause 58.07-1 or Clause 58.07-12)

BEDROOM MINIMUM SIZE REQUIREMENTS - MAIN BEDROOM  
 3,600 x 3,000  
 BEDROOM MINIMUM SIZE REQUIREMENTS - ADDITIONAL BEDROOM  
 3,300 x 3,000  
 LIVING MINIMUM SIZE REQUIREMENTS - 2 OR MORE BED APARTMENT  
 2,800 x 3,000  
 LIVING MINIMUM SIZE REQUIREMENTS - 1 BED APARTMENT  
 3,300 x 3,000

PRIVATE OPEN SPACE OBJECTIVE - STANDARD D19 (Clause 58.05-3)

MINIMUM SIZE REQUIREMENTS APARTMENT WITH NORTH ORIENTATION  
 POS 8m<sup>2</sup> MIN  
 MINIMUM SIZE REQUIREMENTS APARTMENT WITH SOUTH ORIENTATION  
 POS 8m<sup>2</sup> MIN  
 ALL OTHER APARTMENT ORIENTATIONS  
 POS 9m<sup>2</sup> MIN  
 POS 8m<sup>2</sup> MIN  
 POS 12m<sup>2</sup> MIN

ACCESSIBILITY - STANDARD D17 OR B41 (Clause 58.05-1 or 58.05-6) AT LEAST 50% DWELLING COMPLIANCE

BATHROOM CLEAR CIRCULATION AREA - OPTION A  
 1,200 x 1,200  
 BATHROOM CLEAR CIRCULATION AREA - OPTION B  
 2,700 x 1,200  
 CLEAR CIRCULATION FROM ENTRY TO MAIN BEDROOM  
 1,200 x 1,200

STORAGE REQUIREMENTS - STANDARD D20 OR B44 (Clause 58.05-4 or 58.05-10)

STORAGE  
 STUDIO 8 CUBIC METRES  
 1 BED DWELLING 10 CUBIC METRES  
 2 BED DWELLING 14 CUBIC METRES  
 3 BED DWELLING 18 CUBIC METRES  
 DIRECTION OF BREEZE PATH - D07

NOTE:  
 - ALL AIRCON UNITS ARE LOCATED ON ROOF LEVEL  
 - ALL SHOWERS ARE NON-LESS  
 - ALL DOORS HAVE A MINIMUM 85MM CLEAR OPENING

**UNIT PLAN - TYPE A D17 COMPLIANT**  
1:50

APARTMENT AREA	72m <sup>2</sup>
NO. OF APARTMENTS	6
<b>STORAGE BREAKDOWN</b>	
LAUNDRY	3.37m <sup>2</sup>
KITCHEN	4.79m <sup>2</sup>
BATH	0.3m <sup>2</sup>
BEDROOM	5.99m <sup>2</sup>
TOTAL STORAGE	12.45m <sup>2</sup>

**UNIT PLAN - TYPE B D17 COMPLIANT**  
1:50

APARTMENT AREA	54m <sup>2</sup>
NO. OF APARTMENTS	6
<b>STORAGE BREAKDOWN</b>	
LAUNDRY	3.13m <sup>2</sup>
KITCHEN	3.57m <sup>2</sup>
BATH	-
BEDROOM	4.32m <sup>2</sup>
TOTAL STORAGE	10.02m <sup>2</sup>

**UNIT PLAN - TYPE C D17 COMPLIANT**  
1:50

APARTMENT AREA	53m <sup>2</sup>
NO. OF APARTMENTS	6
<b>STORAGE BREAKDOWN</b>	
LAUNDRY	3.08m <sup>2</sup>
KITCHEN	4.79m <sup>2</sup>
BATH	-
BEDROOM	3.72m <sup>2</sup>
TOTAL STORAGE	11.59m <sup>2</sup>

**SITE KEY**

BLOCK NUMBERS

JOHNSTON ST

1	TOWN PLANNING SUBMISSION	14/21
2	REVISED TOWN PLANNING	14/27
3	REVISED TOWN PLANNING	21/82
4	REVISION TO COORDINATE	21/82
5	REVISION TO COORDINATE	21/82
6	17/5 SUBMISSION	19/22

Number Revision Date

General Notes

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Client

**DCF**

**MAA**

MA Architects Pty Ltd  
 maarchitects.com.au  
 03 9457 3738  
 F + 613 9401 6871  
 6 studio@maarchitects.com.au  
 Level 10, 400 Johnston Street, Richmond  
 Vic 3121, Australia

By approving the Traditional Council of eastern Shire Council and require their continuing involvement in this project and other. Please see response in the files you submit electronically.

Stage **TOWN PLANNING**

Project **PROPOSED MIXED USE DEVELOPMENT**

Address **308 & 400 Johnston Street Richmond Vic 3121**

Title **UNIT PLANS**

Checked KA Drawn PDI/HR

Printed 30/6/22 Scale As shown

Drawing No: 19005TP701\_G

Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans

**LEGEND - DWELLING AMENITY**

FUNCTIONAL LAYOUT OBJECTIVE - STANDARD D17 (Clause 58.07-1 or Clause 58.07-1C)

3.400  
3.000  
3.000  
3.000  
3.000  
3.300

BEDROOM MINIMUM SIZE REQUIREMENTS - MAIN BEDROOM  
BEDROOM MINIMUM SIZE REQUIREMENTS - ADDITIONAL BEDROOM  
LIVING MINIMUM SIZE REQUIREMENTS - 2 OR MORE BED APARTMENT  
LIVING MINIMUM SIZE REQUIREMENTS - 1 BED APARTMENT

PRIVATE OPEN SPACE OBJECTIVE - STANDARD D19 (Clause 58.09.3)

1.700  
1.200  
1.200

POS 8m<sup>2</sup> MIN  
POS 8m<sup>2</sup> MIN  
POS 12m<sup>2</sup> MIN

MINIMUM SIZE REQUIREMENTS - APARTMENT WITH NORTH ORIENTATION  
MINIMUM SIZE REQUIREMENTS - APARTMENT WITH SOUTH ORIENTATION  
MINIMUM SIZE REQUIREMENTS - 2 OR MORE BED APARTMENT

ALL OTHER APARTMENT ORIENTATIONS

1.700  
7.000  
7.000  
4.000

POS 8m<sup>2</sup> MIN  
POS 8m<sup>2</sup> MIN  
POS 12m<sup>2</sup> MIN

MINIMUM SIZE REQUIREMENTS - 1 BED APARTMENT  
MINIMUM SIZE REQUIREMENTS - 2 BED APARTMENT  
MINIMUM SIZE REQUIREMENTS - 3 OR MORE BED APARTMENT

ACCESSIBILITY - STANDARD D17 OR B41 (Clause 58.09-1 or 58.09-4) AT LEAST 50% DWELLING COMPLIANCE

1.200  
2.700  
1.200, 1.500, 1.200

BATHROOM CLEAR CIRCULATION AREA - OPTION A  
BATHROOM CLEAR CIRCULATION AREA - OPTION B  
CLEAR CIRCULATION FROM ENTRY TO MAIN BEDROOM

STORAGE REQUIREMENTS - STANDARD D23 OR B44 (Clause 58.09-4 or 58.07-1C)

**STORAGE**

STUDIO	8 CUBIC METRES
1 BED DWELLING	10 CUBIC METRES
2 BED DWELLING	14 CUBIC METRES
3 BED DWELLING	18 CUBIC METRES

DIRECTION OF BREEZE PATH - D17

NOTE:  
- ALL AIRCON UNITS ARE LOCATED ON ROOF LEVEL  
- ALL SHOWERS ARE NON-LEIS  
- ALL DOORS HAVE A MINIMUM 850MM CLEAR OPENING

**UNIT PLAN - TYPE D**  
1:50

APARTMENT AREA	50m <sup>2</sup>
NO. OF APARTMENTS	6

**STORAGE BREAKDOWN**

LAUNDRY	1.3m <sup>2</sup>
KITCHEN	4.19m <sup>2</sup>
BATH	3.29m <sup>2</sup>
BEDROOM	4.38m <sup>2</sup>
<b>TOTAL STORAGE</b>	<b>13.16m<sup>2</sup></b>

**UNIT PLAN - TYPE E, D17 COMPLIANT**  
1:50

APARTMENT AREA	50m <sup>2</sup>
NO. OF APARTMENTS	4

**STORAGE BREAKDOWN**

STORE	3.31m <sup>2</sup>
KITCHEN	2.73m <sup>2</sup>
BATH	m <sup>2</sup>
BEDROOM	7.96m <sup>2</sup>
<b>TOTAL STORAGE</b>	<b>14.00m<sup>2</sup></b>

**UNIT PLAN - TYPE F, D17 COMPLIANT**  
1:50

APARTMENT AREA	50m <sup>2</sup>
NO. OF APARTMENTS	2

**STORAGE BREAKDOWN**

LAUNDRY	0.33m <sup>2</sup>
KITCHEN	3.27m <sup>2</sup>
BATH	m <sup>2</sup>
BEDROOM	2.74m <sup>2</sup>
<b>TOTAL WITHIN DWELLING</b>	<b>6.34m<sup>2</sup></b>
<b>ENGAGEMENT STORAGE</b>	<b>4.67m<sup>2</sup></b>
<b>TOTAL STORAGE</b>	<b>11.01m<sup>2</sup></b>

**SITE KEY**

BLOCK NUMBERS

1:50 PLANING SUBMISSION  
2: REVISION TOWN PLANNING  
3: REVISION TOWN PLANNING  
4: REVISION TOWN PLANNING  
5: RESPONSE TO COUNCIL INT  
6: RESPONSE TO COUNCIL INT  
7: SUBMISSION

DATE  
2021  
2021  
2021  
2022  
2022  
2022

**General Notes**

BUILDERS / CONTRACTORS SHALL VERIFY ALL DIMENSIONS BEFORE ANY WORK COMMENCES. DIMENSIONS SHOWN ARE NOMINAL. FIGURED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DIMENSIONS ARE TO BE MADE ACCORD TO THE ARCHITECT'S / ENGINEER'S OFFICE PRIOR TO ANY WORK COMMENCING ON SITE. ALL WORK DIMENSIONS SHALL BE SUBJECT TO THE REVIEW AND MANUFACTURE SHALL NOT COMMENCE PRIOR TO THE RECEIPT OF DIMENSIONED WORK INFORMATION.

DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECTURE.

Client: **DCF**

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Neam Victoria 3105 Australia

We acknowledge the Traditional Owners of country throughout Australia and recognise their continuing connection to land, waters and culture. We pay our respects to the Elders past, present and emerging.

Stage: **TOWN PLANNING**

Project: **PROPOSED MIXED USE DEVELOPMENT**

Address: **308 & 400 Johnston Street Adelaide Neam**

Title: **UNIT PLANS**

Checked: SA Drawn: PDW

Printed: 30/02/22 Scale: As shown

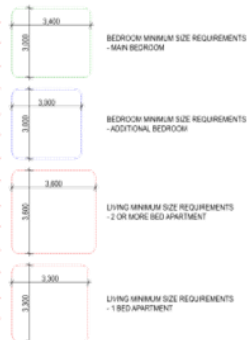
Date: 30/02/22

Drawing No: 19/005 TP/02\_G

Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans

LEGEND - DWELLING AMENITY

FUNCTIONAL LAYOUT OBJECTIVE - STANDARD D07 (Clause 58.07-1 or Clause 58.07-2)



PRIVATE OPEN SPACE OBJECTIVE - STANDARD D19 (Clause 58.05-3)

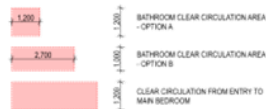


ALL OTHER APARTMENT ORIENTATIONS



MINIMUM SIZE REQUIREMENTS - 1 BED APARTMENT  
MINIMUM SIZE REQUIREMENTS - 2 BED APARTMENT  
MINIMUM SIZE REQUIREMENTS - 3 OR MORE BED APARTMENT

ACCESSIBILITY - STANDARD D17 OR B41 (Clause 58.05-1 or 58.05-6) AT LEAST 50% DWELLING COMPLIANCE



STORAGE REQUIREMENTS - STANDARD D20 OR B44 (Clause 58.05-4 or 58.05-10)

STORAGE

STUDIO 8 CUBIC METRES  
1 BED DWELLING 10 CUBIC METRES  
2 BED DWELLING 14 CUBIC METRES  
3 BED DWELLING 18 CUBIC METRES

DIRECTION OF BREEZE PATH - D07

NOTE:  
- ALL AIRCON UNITS ARE LOCATED ON ROOF LEVEL  
- ALL SHOWERS ARE NON-LESS  
- ALL DOORS HAVE A MINIMUM 850MM CLEAR OPENING



UNIT PLAN - TYPE G, D17 COMPLIANT  
1:50

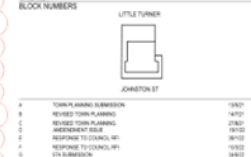
APARTMENT AREA	143m <sup>2</sup>
NO. OF APARTMENTS	4
STORAGE BREAKDOWN	
LAUNDRY	0.81m <sup>2</sup>
KITCHEN	10.94m <sup>2</sup>
BATH	4m <sup>2</sup>
BEDROOM	16.51m <sup>2</sup>
TOTAL STORAGE	28.22m <sup>2</sup>



UNIT PLAN - TYPE H  
1:50

APARTMENT AREA	130m <sup>2</sup>
NO. OF APARTMENTS	4
STORAGE BREAKDOWN	
STUDIO	1.22m <sup>2</sup>
KITCHEN	6.75m <sup>2</sup>
BATH	4m <sup>2</sup>
BEDROOM	15.38m <sup>2</sup>
TOTAL STORAGE	27.35m <sup>2</sup>

SITE KEY



Number	Revision	Date

General Notes

BUILDERS - CONTRACTORS SHALL VERIFY ALL DIMENSIONS BEFORE ANY WORK COMMENCES. DIMENSIONS SHOWN ARE NOMINAL. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DISCREPANCIES ARE TO BE MADE KNOWN TO THE ARCHITECTS - REGULAR OFFICE HOURS. ALL DIMENSIONS TO BE MADE KNOWN TO THE ARCHITECTS - REGULAR OFFICE HOURS. ALL DIMENSIONS TO BE MADE KNOWN TO THE ARCHITECTS - REGULAR OFFICE HOURS. ALL DIMENSIONS TO BE MADE KNOWN TO THE ARCHITECTS - REGULAR OFFICE HOURS.

Client

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Vic 3000 Australia

We acknowledge the Traditional Owners of Country throughout Australia and recognise their continuing connection to land, waters and culture. We pay our respects to the Elders past and present.

Stage

TOWN PLANNING

Project

PROPOSED MIXED USE DEVELOPMENT

Address

308 & 420 Johnston Street Melbourne Vic 3000

Title

UNIT PLANS

Checked KA Drawn JPH/MS

Printed 30/02 Scale As shown

Date

Drawing No: 19005TP703\_G



Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans

### LEGEND - DWELLING AMENITY

FUNCTIONAL LAYOUT OBJECTIVE - STANDARD D17 (Clause 58.07-1 or Clause 58.07-2)

**3.600**  
**3.000** BEDROOM MINIMUM SIZE REQUIREMENTS - MAIN BEDROOM  
**3.000**  
**3.000** BEDROOM MINIMUM SIZE REQUIREMENTS - ADDITIONAL BEDROOM  
**2.800**  
**1.800** LIVING MINIMUM SIZE REQUIREMENTS - 2 OR MORE BED APARTMENT  
**3.300**  
**3.300** LIVING MINIMUM SIZE REQUIREMENTS - 1 BED APARTMENT

PRIVATE OPEN SPACE OBJECTIVE - STANDARD D19 (Clause 58.05-3)

**1.200** POS 8m<sup>2</sup> MIN  
**1.200** POS 8m<sup>2</sup> MIN  
**1.800** POS 9m<sup>2</sup> MIN  
**1.800** POS 9m<sup>2</sup> MIN  
**2.400** POS 12m<sup>2</sup> MIN

ALL OTHER APARTMENT ORIENTATIONS

**1.800** POS 9m<sup>2</sup> MIN  
**1.800** POS 9m<sup>2</sup> MIN  
**2.400** POS 12m<sup>2</sup> MIN

MINIMUM SIZE REQUIREMENTS - 1 BED APARTMENT

MINIMUM SIZE REQUIREMENTS - 2 BED APARTMENT

MINIMUM SIZE REQUIREMENTS - 3 OR MORE BED APARTMENT

ACCESSIBILITY - STANDARD D17 OR B41 (Clause 58.05-1 or 58.05-6) AT LEAST 50% DWELLING COMPLIANCE

**1.200** BATHROOM CLEAR CIRCULATION AREA - OPTION A  
**2.700** BATHROOM CLEAR CIRCULATION AREA - OPTION B  
**1.200** CLEAR CIRCULATION FROM ENTRY TO MAIN BEDROOM

STORAGE REQUIREMENTS - STANDARD D20 OR B44 (Clause 58.05-4 or 58.05-10)

**STORAGE**

STUDIO	8 CUBIC METRES
1 BED DWELLING	10 CUBIC METRES
2 BED DWELLING	14 CUBIC METRES
3 BED DWELLING	18 CUBIC METRES

DIRECTION OF BREEZE PATH - D17

NOTE:  
 - ALL AIRCON UNITS ARE LOCATED ON ROOF LEVEL  
 - ALL SHOWERS ARE NON-LESS  
 - ALL DOORS HAVE A MINIMUM 850MM CLEAR OPENING

**UNIT PLAN - TYPE I**  
1:50

APARTMENT AREA 143m<sup>2</sup>

NO. OF APARTMENTS 4

**STORAGE BREAKDOWN**

LAUNDRY	1.80m <sup>2</sup>
KITCHEN	11.38m <sup>2</sup>
STORE	5.73m <sup>2</sup>
BEDROOM	11.28m <sup>2</sup>
<b>TOTAL STORAGE</b>	<b>23.19m<sup>2</sup></b>

**UNIT PLAN - TYPE J**  
1:50

APARTMENT AREA 77m<sup>2</sup>

NO. OF APARTMENTS 4

**STORAGE BREAKDOWN**

LAUNDRY	4m <sup>2</sup>
KITCHEN	2.19m <sup>2</sup>
STORE	2.12m <sup>2</sup>
BEDROOM	8.52m <sup>2</sup>
<b>TOTAL WITHIN DWELLING</b>	<b>12.83m<sup>2</sup></b>
<b>BASEMENT STORAGE</b>	<b>4m<sup>2</sup></b>
<b>TOTAL STORAGE</b>	<b>16.83m<sup>2</sup></b>

**SITE KEY**

BLOCK NUMBERS

JOHNSTON ST

A	TOWN PLANNING SUBMISSION	19/01
B	REVISED TOWN PLANNING	14/01
C	REVISED TOWN PLANNING	27/01
D	AMENDMENT SUB	16/02
E	RESPONSE TO COUNCIL MET	28/02
F	RESPONSE TO COUNCIL MET SUBMISSION	19/03
G		24/03

Number Revision Date

General Notes

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PRICE TO ANY WORK COMMENCING ON SITE. ALL WORK COMMENCING SHALL BE SUBMITTED FOR REVIEW AND MANUFACTURE SHALL NOT COMMENCE PRIOR TO THE RECEIPT OF APPROVED SHOP DRAWINGS.

ISSUANCE ARE TO BE MADE IN CONSULTATION WITH ALL RELEVANT AGENCIES AND APPROVED PRIOR TO COMMENCEMENT OF WORK.

Client

**DCF**

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 LICENCE PROGRAMME 01/01/2018  
 MEMBER VICTORIA 3RD APPROVAL

By approving the Traditional Council of Greater Melbourne Architects and require their continuing membership to both, users and clients. Please see request to view files and contact information.

Stage **TOWN PLANNING**

Project **PROPOSED MIXED USE DEVELOPMENT**

Address **308 & 420 Johnston Street Melbourne Vic 3000**

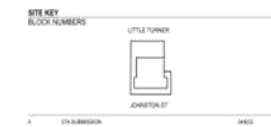
Title **UNIT PLANS**

Checked KA Drawn JPH/MS

Printed 30/02/22 Scale As shown

Drawing No: **19005TP70A\_G**

Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans



**DCF**

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 Vic 3121 Australia

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**Stage** TOWN PLANNING

**Project** PROPOSED MIXED USE DEVELOPMENT

**Address** 301 & 420 Johnston Street Adelaide South

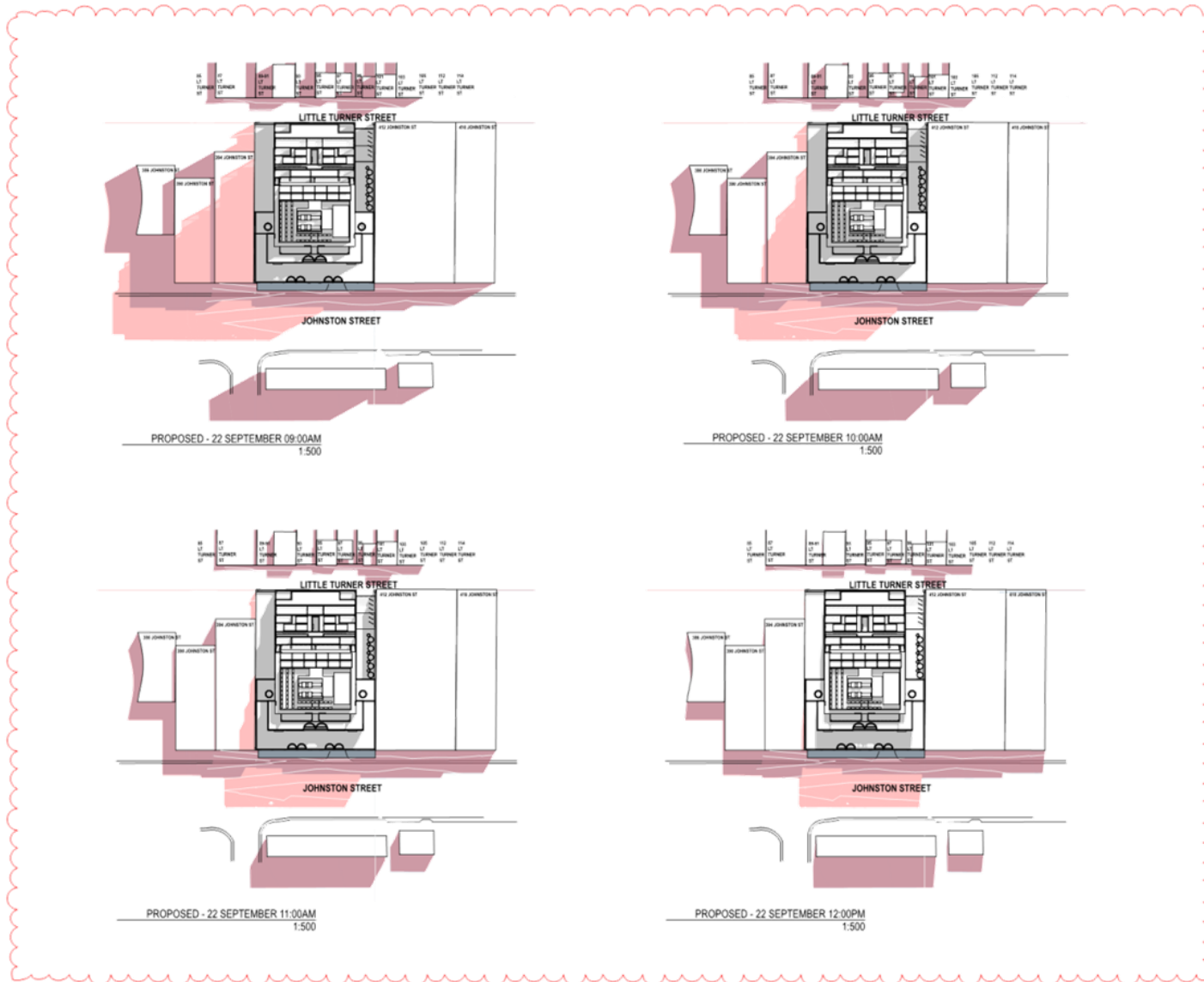
**Title** UNIT PLANS

**Checked** KA **Drawn** RQH/89

**Printed** 30/6/22 **Scale** As shown

**Drawing No.** 19005TP705\_A

Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans



EXISTING BUILDING'S CAST SHADOWS  
 PROPOSED BUILDING'S CAST SHADOWS

**SITE KEY**

**BLOCK NUMBERS**

LITTLE TURNER

JOHNSTON ST

A	FORM PLANNED SUBMISSION	13/20
B	REVISED TOWN PLANNING	14/21
C	REVISED TOWN PLANNING	16/22
D	INDEPENDENT ISSUE	16/22
E	RESPONSE TO COUNCIL #1	20/22
F	IN Awaiting	20/22

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DATE: 16/09/22  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]

**Client**

**DCF**

**MAA**

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 Naarm Victoria 3101 Australia

Drawings to be kept and remain the property of MAA. Approval cannot be given without written consent of MAA.

**Stage** TOWN PLANNING

**Project** PROPOSED MIXED USE DEVELOPMENT

**Address** 318 & 410 Johnston Street Abbotsford Naarm

**Title** SHADOW DIAGRAMS

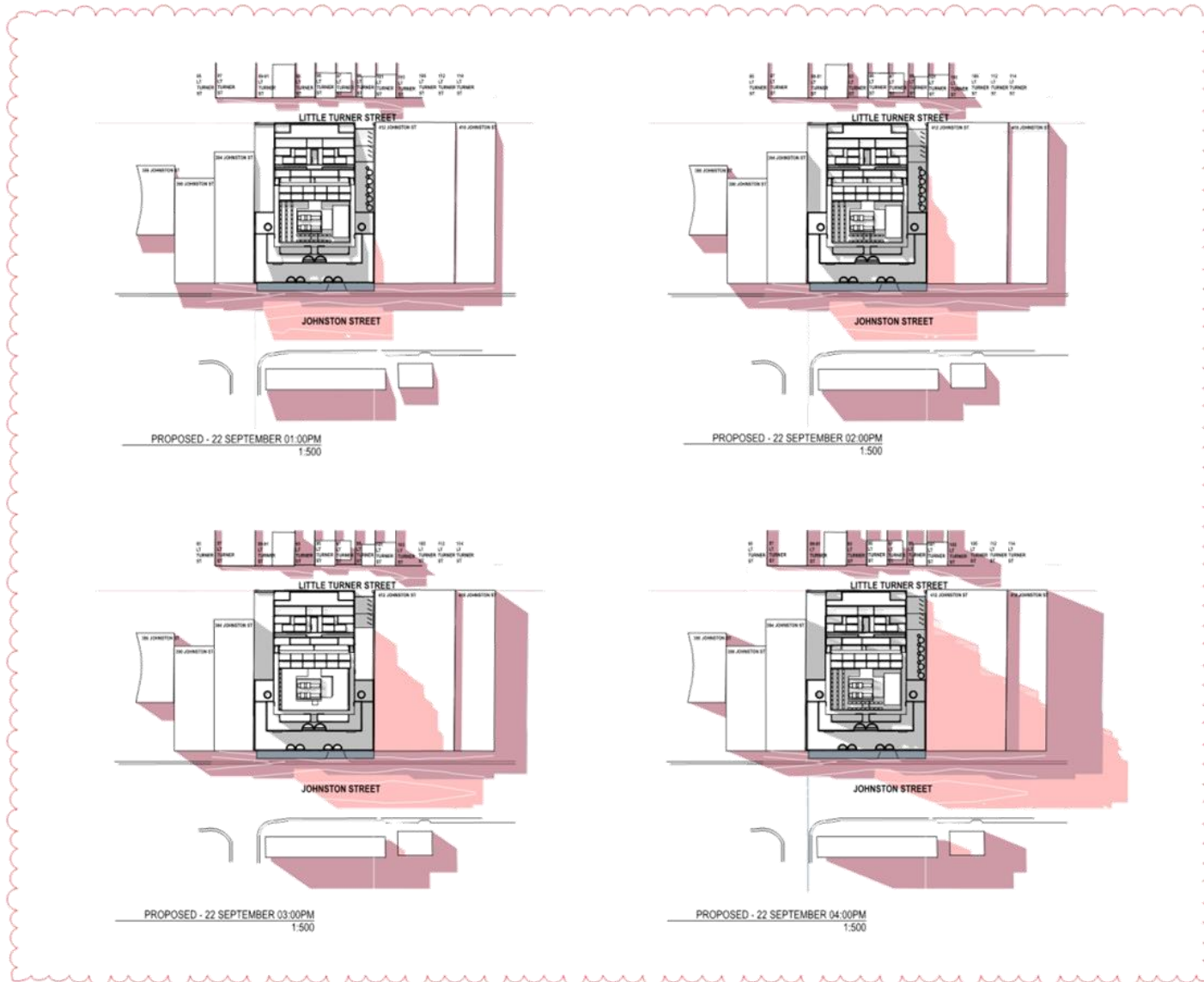
Checked KA Drawn PD/18

Printed 16/9/22 Scale As shown

Date

19/005TP900\_F

Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans



EXISTING BUILDING CAST SHADOWS  
 PROPOSED BUILDING CAST SHADOWS

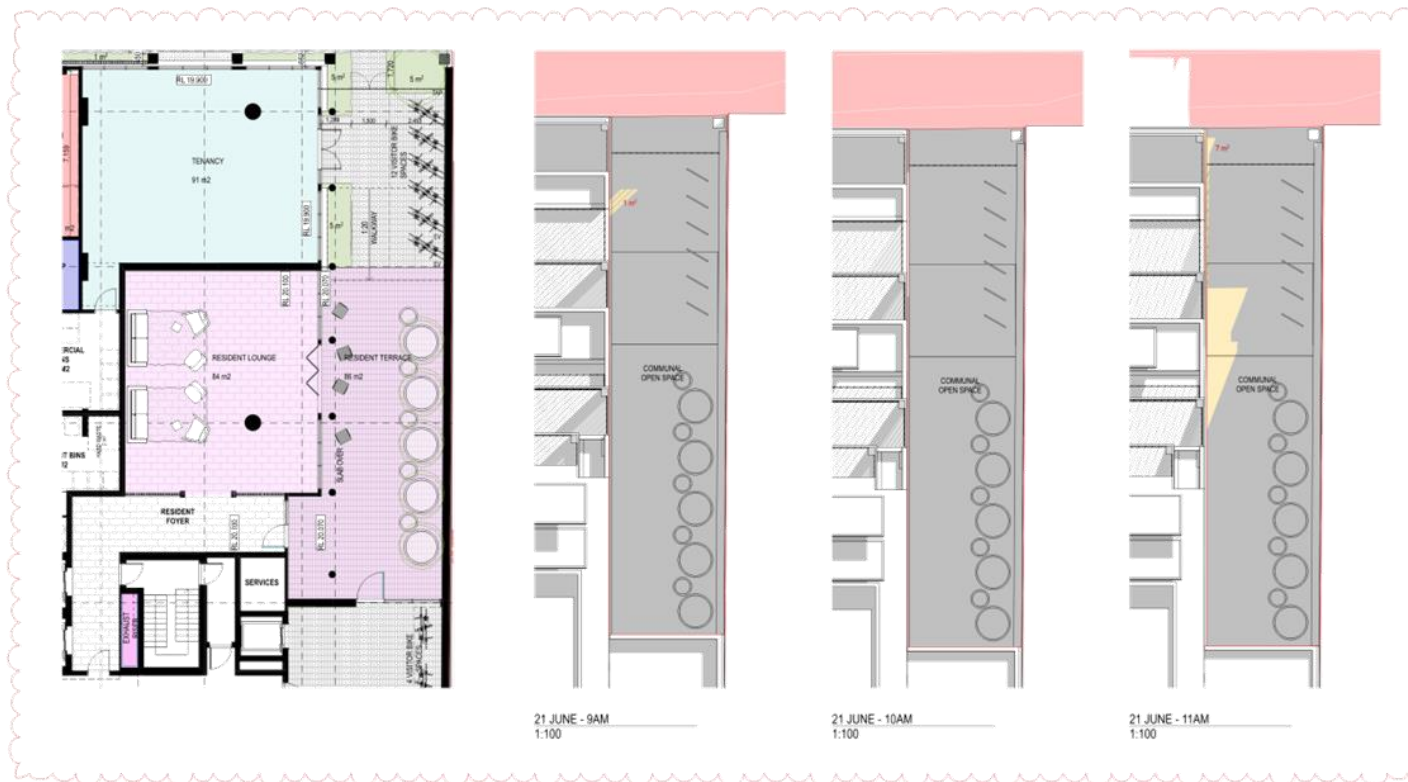
**SITE KEY**

**BLOCK NUMBERS**

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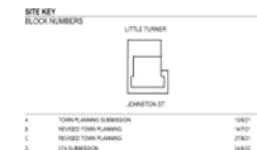
Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans



21 JUNE - 9AM  
1:100

21 JUNE - 10AM  
1:100

21 JUNE - 11AM  
1:100



Number	Revision	Date
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**General Notes**

1. BUILDERS / CONTRACTORS SHALL VERIFY ALL DIMENSIONS BEFORE ANY WORK COMMENCES. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DISCREPANCIES ARE TO BE MADE KNOWN TO THE ARCHITECTS / DESIGNER BEFORE COMMENCEMENT OF WORK.

2. ALL DIMENSIONS TO BE COMPLETED TO BE SHOWN ON THE PRINTS. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DISCREPANCIES ARE TO BE MADE KNOWN TO THE ARCHITECTS / DESIGNER BEFORE COMMENCEMENT OF WORK.

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**Client**

**DCF**

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No warranty is made by the Architect for any errors or omissions in the drawings or specifications, or for any consequences arising therefrom, whether or not such errors or omissions are caused in whole or in part by negligence of the Architect.

**Stage** TOWN PLANNING

**Project** PROPOSED MIXED USE DEVELOPMENT

**Address** 308 & 420 Johnston Street Adelaide SA 5000

**Title** SHADOW DIAGRAM

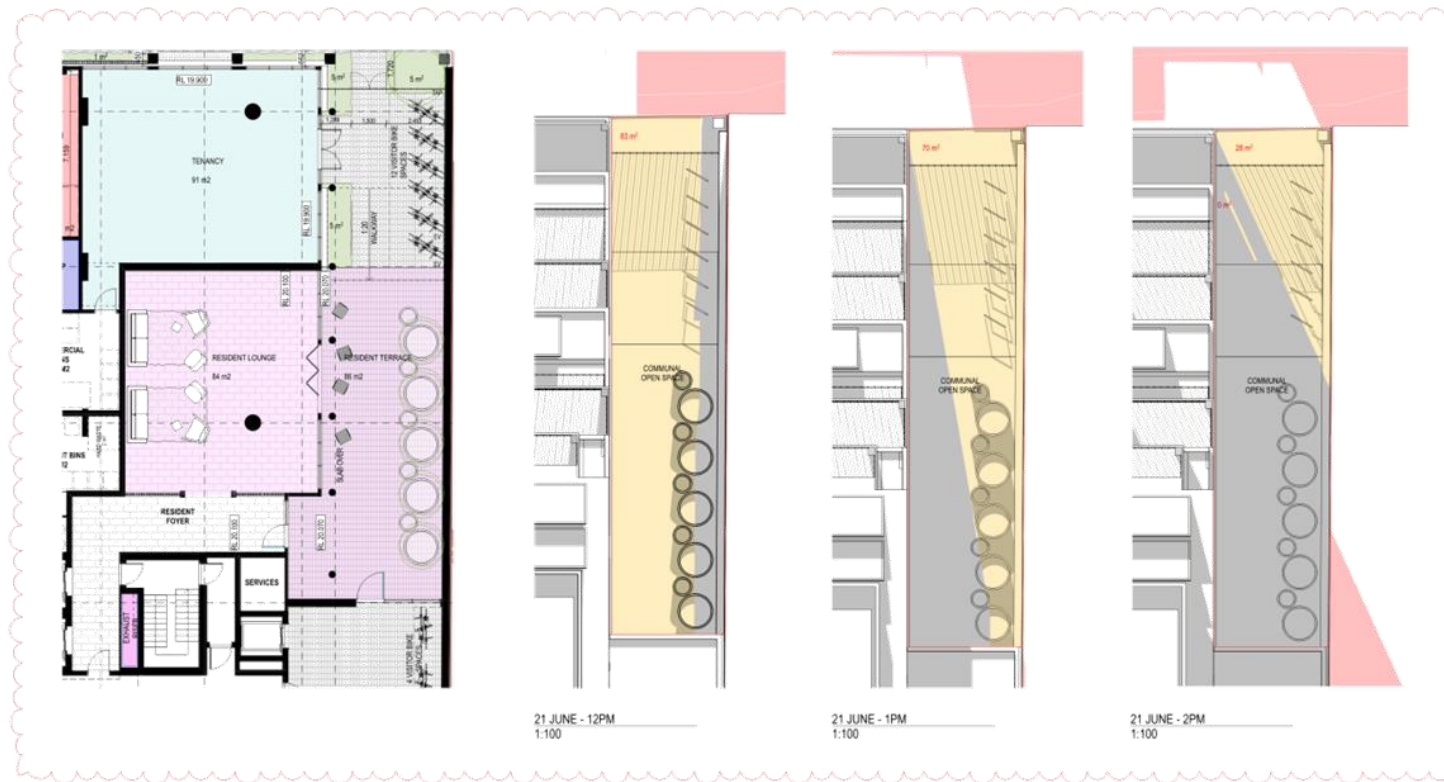
**Checked** KA **Drawn** RQH/8

**Printed** 30/6/22 **Scale** As shown

**Date**

**Drawing No** 19005TP90A\_D

Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans



21 JUNE - 12PM  
1:100

21 JUNE - 1PM  
1:100

21 JUNE - 2PM  
1:100

**SITE KEY**

**BLOCK NUMBERS**

JOHNSTON ST

A	TOWN PLANNING SUBMISSION	14/21
B	REVISED TOWN PLANNING	14/21
C	REVISED TOWN PLANNING	27/20
D	CONCLUSION	28/21

Number	Revision	Date

**General Notes**

BUILDERS - CONTRACTORS SHALL VERIFY ALL DIMENSIONS BEFORE ANY WORK COMMENCES. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DISCREPANCIES ARE TO BE MADE KNOWN TO THE ARCHITECTS / DESIGNER BEFORE COMMENCEMENT OF WORK.

ALL DIMENSIONS TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF WORK. DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE SPECIFIED.

ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE SPECIFIED.

ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE SPECIFIED.

Client

**DCF**

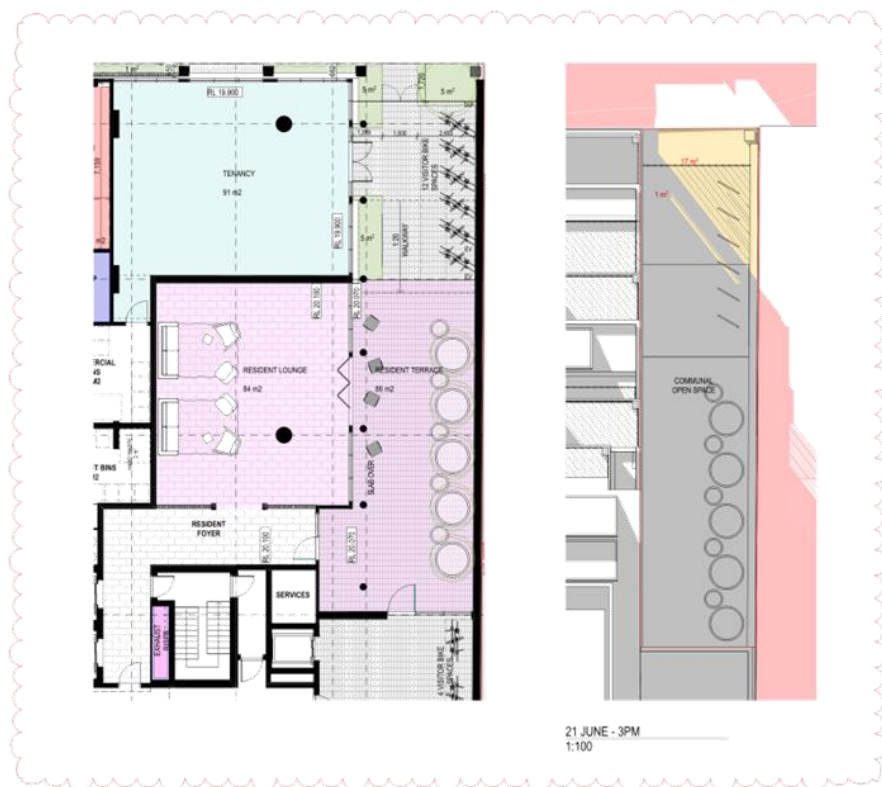
**MAA**

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 Melbourne VIC 3000  
 T + 613 9401 6271  
 E ma@maarchitects.com.au  
 L1/111 Sturt Street  
 Melbourne VIC 3000 Australia

No approval by the Traditional Owners of country, traditional knowledge and signage their continuing involvement in the project and advice. Please see website for more information and contact information.

Stage	TOWN PLANNING
Project	PROPOSED MIXED USE DEVELOPMENT
Address	308 & 420 Johnston Street Melbourne VIC 3000
File	SHADOW DIAGRAM
Checked	KA Drawn RQH/8
Printed	30/6/22 Scale As shown
Date	
Drawing No	19005TP905_D

Attachment 2 - PLN21/0316 - PDC Attachment - Decision Plans



**SITE KEY**

**BLOCK NUMBERS**

JOHNSTON ST

A	TOWN PLANNING SUBMISSION	14/21
B	REVISED TOWN PLANNING	14/27
C	REVISED TOWN PLANNING	27/20
D	TOWN PLANNING	19/22

Number	Revision	Date
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**General Notes**

**BUILDERS - CONTRACTORS SHALL VERIFY ALL DIMENSIONS BEFORE ANY WORK COMMENCES. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DISCREPANCIES ARE TO BE MADE KNOWN TO THE ARCHITECTS / DESIGNER OFFICE PRIOR TO ANY WORK COMMENCING ON SITE. ALL DIMENSIONS SHALL BE SUBMITTED FOR REVIEW AND MANUFACTURE SHALL NOT COMMENCE PRIOR TO THE RECEIPT OF DIMENSIONS FROM ARCHITECTS.**

**Client**

**DCF**

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Office is located on level 10 and  
 majority of work is undertaken on site  
 at various other office  
 around the city.

We acknowledge the Traditional Owners of country throughout Australia and recognise their continuing connection to land, waters and culture. We pay our respects to their Elders and communities.

Stage	TOWN PLANNING
Project	PROPOSED MIXED USE DEVELOPMENT
Address	308 & 420 JOHNSTON STREET ADOLPHUS NEWM
Title	SHADOW DIAGRAM
Checked	KA Drawn RQH/8
Printed	30/6/22 Scale As shown
Date	

Drawing No: 19005TP906\_D

Attachment 3 - PLN21/0316 - PDC Attachment - Site Locality Plan

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PLN21/0316 - 398-400 Johnston Street Abbotsford – Site Locality Plan

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**Attachment 4 - PLN21/0316 - PDC Attachment - Combined Referral Comments**

**PLN21/0316 – 398-400 JOHNSTON STREET ABBOTSFORD – REFERRAL COMMENTS**

- Urban Design Consultant – page 2
- Acoustic Consultant – page 13
- Wind Consultant – page 17
- Development Engineering Unit – page 18
- Strategic Transport Unit – page 25
- City Works (Waste) Unit – page 30
- Council's ESD Advisor – page 32
- Urban Design Unit (public realm assessment only) – page 37
- Open Space (City Strategy) Unit – page 39
- Open Space (City Works) Unit – page 40
- Transport for Victoria – page 42



398-400 Johnston Street,  
Abbotsford

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# 398-400 Johnston Street, Abbotsford / Urban Design Statement

<b>Council Reference</b>	PLN21/0316
<b>To</b>	Michelle King- Principal Planner, City of Yarra
<b>From</b>	<b>kinetica</b>

In September 2021, City of Yarra requested **kinetica** undertake an urban design assessment of a proposed development at 398-400 Johnston Street, Abbotsford (the Site) based on the architectural plans prepared by MA Architects Pty Ltd dated 27 August 2021.

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## 1.0 CONTEXT

The Site is a large 1,223.3m<sup>2</sup> (approx.) amalgamated property located mid-block on Johnston Street between Rich Street and Trenerly Crescent. It currently contains single-storey commercial buildings.

The Site contains the following interface conditions:

- To the north, the Site abuts Little Turner Street, which is approximately 6.3m in width and used for driveway access. It is defined as a laneway under DDO15. Across Little Turner Street are a series of terraces all within the NRZ1 and HO337 that are orientated north with rear garages and POS orientating towards the Site.
- To the east, the Site abuts 412 Johnston Street, which contains a two-storey commercial building. The property is similar in size to the Site affording it a similar development opportunity.
- To the south is Johnston Street which is 20m wide. Directly opposite contains 331 and 335 Johnston Street both zoned C1Z.

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- To the west the Site abuts 394 Johnston Street, which contains a single-storey commercial building.

The Site forms part of the Johnston Street Neighbourhood Activity Centre (NAC) corridor. It is well serviced by a range of transport options, services and facilities including Victoria Park Station 395m north-west (as the crow flies), Victoria Park approximately 170m to the north-west, and the Yarra River corridor approximately 245m north-east. Under Clause 21.12 the Site falls within Precinct 2 (Johnston Street East) which envisions a prominent, well-designed and contemporary built form character, with taller forms set back behind main facades.

This part of Johnston Street, east of the train corridor, contains an eclectic character of low-rise, fine grain terrace houses adjacent to more robust 1-2 storey warehouse/commercial buildings. More recently, there has been an emergence of tall buildings between 6 - 10 storeys along Johnston Street (Figure 1). The emerging built form massing generally consists of 3 - 6 storey street walls with upper levels setback between 1.4m - 4.5m approx. Figure 1 demonstrates that in this pocket of Johnston Street, more development is occurring on the northern side than the southern side due to the lot sizes and absence of heritage buildings.

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The Site is located within Precinct 2B in DDO15, which as stated earlier, is characterised by larger lots and is not affected by heritage. However, directly north of the Site (across Little Turner Road) the Site does have a sensitive fine-grain residential interface, zoned NRZ1 with a 2-storey maximum building height. The row of heritage terraces directly north of the Site are highly intact and are identified as either contributory (93 and 95 Turner Street) or individually significant (97-103 Turner Street).

DDO15 is the primary built form control that applies to the Site. Relevant design objectives within the overlay seek to ensure the overall scale and form is mid-rise (5-10 storeys) and provides a suitable transition to low-scale residential areas, such as land to the north along Turner Street, while also protecting solar access to the southern side of Johnston Street at the equinox. It seeks activated street frontages with commercial activity on lower levels and for new buildings to provide equitable development outcomes for neighbouring sites though appropriate built form.

The DDO also requires developments to contribute to a new, well designed, contemporary urban character though the articulation of building facades and the reinforcement of a fine grain street pattern.

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## **2.0 ASSESSMENT**

### **2.1 Height and massing**

Precinct 2B contains a 24-metre preferred maximum building height and a 31-metre mandatory maximum building height. The DDO instructs that a permit should only be granted to exceed the preferred maximum building height if the following criteria (from an urban design perspective) can be met:

- The building elements permitted by the proposed variation satisfy the design objectives of Clause 1.0 and the provisions of Clause 21.12-1.
- Greater building separation than the minimum requirement.
- No additional amenity impacts to residential zoned properties, beyond that which would be generated by a proposal that complies with the preferred maximum building height.

DDO15 contains the following setback controls for Precinct 2B:

- 6 metre preferred mid-level setback.
- Preferred front upper-level setback of 45 degrees above 18 metres.

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**Attachment 4 - PLN21/0316 - PDC Attachment - Combined Referral Comments**



398-400 Johnston Street,  
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- Preferred rear minimum setback of 45 degrees above 11 metres.
- 4.5 metre and 3 metre preferred minimum side setbacks from habitable and non-habitable windows respectively.

The proposal is for a 9-storey building reaching 27.0 metres to the top of the parapet and 29.8 metres to the top of the roof, therefore exceeding the preferred height requirement in DDO15.

The proposal sits below the mandatory maximum building height. However, to achieve heights above the preferred maximum height, the following criteria within DDO15 should be met:

1. Satisfy the design objectives of Clause 1.0 and the provisions of Clause 21.12-1.
2. The proposal needs to achieve each of the following:
  - a. Housing for diverse households types.
  - b. Universal access.
  - c. Communal or private open space provision that exceeds the minimum standards in Clauses 55.07 and 58.
  - d. Excellence for environmental sustainable design measured as a minimum BESS project score of 70 per cent or 5 Star Green Star Standard.
  - e. Greater building separation than the minimum requirement in this schedule. No additional amenity impacts to residential zoned properties, beyond that which would be generated by a proposal that complies with the preferred maximum building height.

From an urban design perspective, it fails to meet criteria 1, 2d and 2e to exceed the preferred maximum height. We note 2a and 2b are not considered criteria related to urban design.

Firstly, we consider that the proposal does not provide a suitable transition to the low-scale dwellings to the north. The proposed massing includes significant encroachments beyond the 45-degree angle at Levels 06 and 08 which are increasing the proposal's visual bulk and therefore causing greater amenity impacts to the residentially zoned properties to the north in comparison to a DDO15 compliant building.

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Figure 2 below demonstrates how exposed the proposed building is from rear private open space of the dwelling at 87 Turner Street.



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Figure 2 - DDO perspective view 01 (source: MA Architects).

To reduce the buildings visual bulk and respond to the 45-degree setback plane as outlined in DDO15, we recommend the following setbacks be increased (this is also shown in Figure 3):

- Levels 06 is set back an additional 6 metres (approx.) from the rear; and
- Levels 08 is set back an additional 3 metres (approx.) from the rear.

This will allow the massing to sit comfortably within the 45-degree angle plane from Level 4 upwards, and will minimise the visibility of levels above Level 05, therefore not generating any additional amenity impacts

To Johnston Street, the upper-level setback (above Level 05) at 5 metres falls short of the preferred 6 metre mid-level setback within DDO15. We are comfortable with this variation from the requirements at Levels 06 and 07 for the following reasons:

- Johnston Street has a robust emerging streetscape character containing a variety of upper level setbacks less than the preferred 6 metres;

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- There is no heritage fabric on the Site or adjacent in Johnston Street, which would typically require implementation of a large upper-level setback to distinguish the heritage base from the upper form addition; and
- The proposed built form and upper level setbacks will not cause any shadow impacts to the southern footpath of Johnston Street at the equinox.

To ensure the massing better responds to the 45-degree setback plane outlined in DDO15, above Level 07, we recommend Level 08 is setback a further 3.0m (approx.) from the levels below. This change will both ensure the top level of the building reads as a cap to the building, while also minimising the impact of the development on vistas along Johnston Street.

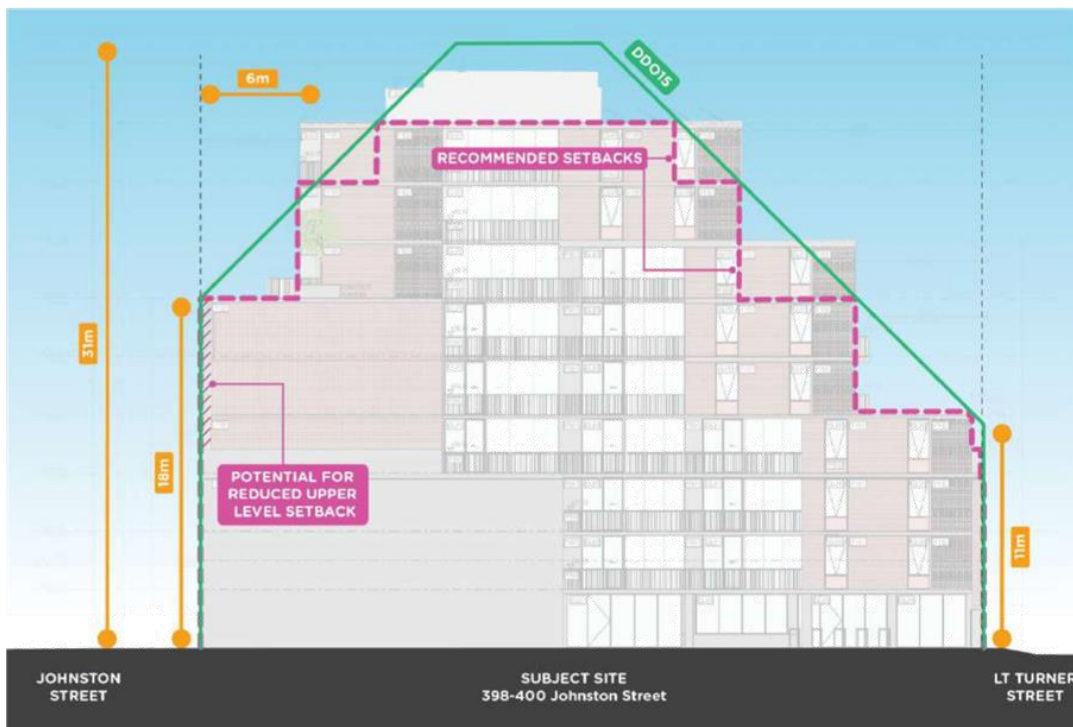


Figure 3 - Recommended height and massing (source: MA Architects, with annotations added).

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In summary, from an urban design perspective, we are supportive of the proposed overall building height of 27.0 metres subject to the application of the recommended revisions to setbacks.

However, we note that several other requirements under DDO15 not related to urban design would need to be satisfied for the building height above the preferred to be supported.

**2.2 Street walls**

DDO15 directs a 15 metre preferred and 18 metre mandatory maximum street wall height along Johnston Street. The proposal is for a 5 storey/18 metre street wall.

The emerging street wall character of Precinct 2B along Johnston Street varies from 3 to 6 storeys. This variety in heights and resulting eclectic character is reinforced by DDO15 through its 15-18 metre allowance in variation.

With no immediate heritage context, the proposed street wall at 18 metres is assessed to be an appropriate response to DDO15 and the emerging robust built form character. Along Johnston Street, it is noted that the first two storeys of the street wall are distinguished from the levels above through the implementation of a parapet, with levels 03 to 05 marginally setback (300mm approx.) from the street wall below.

The emphasis of a two storey street wall appears to be a response to the existing two storey street wall character on the northern side of Johnston Street. However, as the street wall height and character are likely to emerge at between 15m and 18m as directed by DDO15, we find the parapet and setback applied above Level 01 unnecessary and recommend they are deleted. Further refinements to the building's composition and articulation are described in Section 2.4 below.

The streetwall at the rear, which is proposed to be 12 metres high, is marginally taller than DDO15 seeks for rear interfaces (11 metres). However, with the expression of the balustrading at Level 3 and the resulting minor setback above, the rear streetwall sits within the preferred upper level setback 45-degree angle. We are satisfied the slight exceedance of the street wall height will not cause any additional visual bulk to the properties to the north.

**2.3 Side setbacks**

DDO15 seeks the following side setbacks for infill developments:

*Where development shares a common boundary or a laneway, buildings above the street wall should be set back as follows:*

*Where a habitable room window is proposed:*

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November 2021

- 4.5 metres from the common boundary.
- 4.5 metres from the centre line of the laneway.

Where a non-habitable room window or commercial window is proposed:

- 3 metres from the common boundary.
- 3 metres from the centre line of the laneway where the laneway is less than 6 metres wide.

The proposal has been designed to generally accord with the above requirements. However, a number of the side setbacks fall short of the minimum specified. All setbacks should be increased to be a minimum 4.5 metres or 3 metres where applicable.

We also note that the balconies of apartments 209, 212, 307, 310, 407 and 410 appear to have inter-looking issues with neighbouring east and west flanking apartments. Placing their balconies next to the living rooms of the adjacent apartments also reduces their outlook and internal amenity. Based on this, we recommend these apartments are redesigned to have their balconies fronting Johnston Street.

#### **2.4 Design detail and landscaping**

DDO15 states that *"facades above the street wall, including side walls, should:*

- *Employ a high standard of architectural design.*
- *Be well-articulated.*
- *Be designed to be read as part of the overall building.*
- *Not detract from the character of the streetscape when viewed directly or obliquely along either Johnston Street or Sackville Street."*

We consider the proposal needs further refinement in its street wall / podium presentation to Johnston Street. Currently it includes two design elements:

- A lower, 2 storey street wall framed by a prominent parapet; and
- An upper 3 storey street wall element setback 300mm from the levels below with a materiality congruous with the upper form.

We assess that the two design approaches adopted in the podium are unnecessary and should be refined to one. To achieve this, we recommend relocating the parapet at Level 01 to Level 05, enabling the composition to read as a singular podium / street wall with a recessed upper form.

In relation to the proposal's upper form presentation to Johnston Street, we consider this could be improved with more glazing and balustrading, similar to the northern façade. We also recommend

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distinguishing the top level as a 'cap' to the building with the application of a recessive, charcoal colour.

The choice of materials and finishes also need further work to provide a better architectural response to Johnston Street. We suggest the charcoal colour could also be applied to other façade elements, adding further depth and interest.

We are unclear on the design thinking behind the scalloped balcony roofs on Level 6 and suggest these should be removed. The roof to these terraces could simply be open to the sky.

In relation to landscaping, we query how the trees proposed on Level 6 will be maintained. Similarly, we query the purpose of the garden on Level 1 if residents cannot access it, nor does it look as though it will be accessible for maintenance by a body corporate.

**2.5 Internal amenity**

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To exceed the preferred maximum building height, DDO15 requires the proposal achieves excellence for environmental sustainable design. Standard D18 of Clause 58 also seeks to provide common areas and corridors that include at least once source of natural ventilation and non-natural ventilation.

The corridors from Level 01 upwards appear to have no access to natural light or ventilation. We consider this to be a poor outcome and a non-compliance against Standard D18 of Clause 58. Based on this, we recommend the corridors are redesigned to allow for both natural light and ventilation to meet this requirement and to exceed the preferred maximum building height in DDO15.

We also note that the corridors are very narrow at 1.2 metres wide for the majority of their length. While it is not a direct urban design consideration, we consider corridors widened to 1.6 metres would ensure they are appropriately accessible.

**2.5 Public realm**

DDO15 seeks street frontages that:

- *Are continuous, visible and activated;*
- *Provide passive surveillance;*

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**Attachment 4 - PLN21/0316 - PDC Attachment - Combined Referral Comments**



398-400 Johnston Street,  
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- *Provide an active or visually interesting interface with the public realm;*
- *Locate services away from the primary street frontage; and*
- *Contribute to a well-designed, contemporary urban character that provides articulation that reinforces the fine grain street pattern.*

Overall, we find the proposed Ground Floor program to be activated, articulated and generally visually interesting, with the balance of services concealed along the Little Turner Street frontage. However, we make the following recommendations to improve public realm amenity and the proposal's sense of address:

- Widen the resident entry on Johnston Street to 2.0 metres to create a better sense of address.
- Revise the canopy to be unbroken and extended to 750mm from the kerb.

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**Attachment 4 - PLN21/0316 - PDC Attachment - Combined Referral Comments**

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Abbotsford

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**3.0 CONCLUSION**

In summary, the Site supports a more intensive built form outcome, given its location in the Johnston Street Activity Centre. However, the proposal requires changes to ensure it appropriately responds to the context and DDO15. Therefore, we recommend the following design changes be made from an urban design perspective:

- Set back Levels 6 and 8 an additional 6 metres and 3 metres respectively from the rear boundary.
- Set back Level 8 an additional 3m from the Johnston Street boundary.
- Adjust the side setbacks to meet the minimum requirements of DDO15.
- Redesign the apartments (209, 212, 307, 310, 407 and 410) on Levels 2, 3 and 4 placing their balconies on Johnston Street.
- Provide additional width, natural light and ventilation to the internal corridors.
- Amend the streetwall on Johnston Street by deleting the setback above Level 01 and moving the parapet to Level 05.
- Widen the lobby entrance on Johnston Street to create a better sense of address.
- Revise the segmented canopy to be continuous and extended to 750mm of the kerb along Johnston Street.
- Revise the design of the Johnston Street façade to create a cohesive podium and tower format.
- Introduce an additional darker, more recessive colour to the materials palette to add further depth to the facades.

Please do not hesitate to contact Julia Bell or Danielle Cull should you wish to discuss any aspect of the above further.

**kinetica**

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5 April 2022

640.10090.07110 398\_400 Johnston St Abbotsford 20220405.docx

Yarra City Council  
PO Box 168  
RICHMOND 3121

**Attention: Chris Stathis**

Dear Chris

### **398 & 400 Johnston Street, Abbotsford Development Application Acoustic Review**

SLR Consulting Pty Ltd (SLR) has been retained by the City of Yarra to provide a review of the acoustic report prepared to support the application for a commercial development at 398 & 400 Johnston Street, Abbotsford.

Details of the report are as follows:

- Title: 398-400 Johnston Street, Abbotsford, Town Planning Acoustic Report
- Date: 12 December 2022
- Prepared for: DCF Property Group
- Prepared by: Cogent Acoustics

The report has been submitted to address the revised plans and peer review comments provided by SLR in our review dated 9 November 2021.

## **1 Drawing set**

*(Section 1.2 of the report)*

The revised report references the drawing set printed 14 December 2021.

**SLR Comments:** *The current drawing set print dates are 27 January 2022 and 3 March 2022. The project team or acoustic consultant should confirm that the later version of the drawings does not have any implications for acoustics.*

## **2 SLR 2021 review comments**

SLR's November 2021 review comments, Cogent's responses, and comment on the extent to which the issues raised by SLR have been addressed in the revised acoustic report, are provided in the following subsections.

## Attachment 4 - PLN21/0316 - PDC Attachment - Combined Referral Comments

Yarra City Council  
398 & 400 Johnston Street, Abbotsford  
Development Application Acoustic Review

SLR Ref: 640.10090.07110 398\_400 Johnston St  
Abbotsford 20220405.docx  
Date: 5 April 2022

## 2.1 Glazing review

**SLR November 2021 Recommendation:** [That] the consultant review and confirm that adequacy of 6 mm thick float glass for controlling road traffic noise to the development. In our opinion this option is a risk on this project.

**Section 6.5.1 of the revised report:** Glazing to bedrooms has been upgraded to a system with a rating of not less than  $Rw+Ctr = 31$  dB. Example glazing configurations include 10 mm thick float glass and double glazing incorporating 10 mm thick glass.

**SLR Comments re revised report:** *Our indicative calculations suggest that the proposed upgrades should be adequate for addressing the predicted levels of road traffic noise to the subject development. This item has been addressed.*

## 2.2 Road traffic noise levels

**SLR November 2021 Recommendation:** Confirmation be provided that traffic noise during the loudest hours of the day and night periods do not exceed the upper ends of the AS/NZS2107 ranges.

**Section 5.3.1 of the revised report:** Noise data is provided for the loudest hours as well as the day and night average levels. The loudest hours are no more than 3 dB higher than the average levels.

**SLR Comments re revised report:** The data demonstrates that the design will be driven by the day and night average noise levels. This item has been addressed.

## 2.3 Glazing review

**SLR November 2021 Recommendation:** The report include the requirement for glazing to be reviewed and approved by the acoustical consultant prior to purchase. In particular, the proposed triple panel sliding doors should be demonstrated to meet to the project criteria.

**Section 6.5.1 of the revised report:** The report requires data for the triple panel sliding glass doors to be submitted for acoustic review.

**SLR Comments re revised report:** A review is not called up for all façade glazing, however the high risk items, being the triple panel doors, are required to be reviewed. Given that glazing is also required to meet a specified  $Rw+Ctr$  rating, we consider this item to be adequately addressed.

## 2.4 Update environmental legislation references

**SLR November 2021 Recommendation:** The report be updated to reference the current legislation for noise from commercial and communal plant and equipment (Part I of Publication 1826) and music (Part II of Publication 1826).

**Section 3.1 of the revised report:** The report references the current environmental noise legislation.

**SLR Comments re revised report:** This issue is addressed.

## Attachment 4 - PLN21/0316 - PDC Attachment - Combined Referral Comments

### 2.5 Carstacker and general carpark equipment noise

**SLR November 2021 Recommendation:** An assessment of noise from car stackers and the carpark entrance gate be provided in the report. The assessment should identify the potentially most impacted receivers, provide a prediction of noise to receiver locations taking into consideration duration of the carstacker operations, the likely number of operations at particular times of the day and night, and any corrections relevant under Publication 1826. Noise from their operation should also be assessed to sleep disturbance criteria of not more than 65 dBA L<sub>max</sub> outside bedroom windows.

**Revised report:** In section 7.1.3 of the report Cogent propose designing to an internal maximum level of 55 dBA in bedrooms, consistent with criteria typically applied to rail noise sources.

An assessment of noise from car stackers is provided in Section 7.5.

The highest measured levels of noise from similar model car stackers are noted to be 66 L<sub>Aeq</sub> and 82 L<sub>Amax</sub>. This data has been used by Cogent to predict car stacker noise to sensitive receiver locations. The predicted effective noise level, including 5 dB adjustments for both tonality and impulsiveness, is up to 32 dBA. The predicted maximum noise level is 38 dBA.

**SLR Comments re revised report:** The nominated internal noise criteria of 55 L<sub>Amax</sub>, dB is suitable only if it is assumed that sound is transmitted through an open window. Where windows are assumed to be closed, the assessment should either be to either external criteria (e.g. 65 dB L<sub>Amax</sub> outside existing dwellings) or considerably lower internal targets (e.g. no more than 45 L<sub>Amax</sub> within bedrooms of apartments within the development).

The report provides limited information regarding the assessment. It does not include: measurement conditions for the data presented (it is not clear whether the presented levels are reverberant carpark levels, or sound pressure levels at a reference distance); the actual location of the sensitive receiver considered (NSA 2 is shown as an entire block); the assumed duration of carstacker operations, and how the data has been used to predict noise from the basement carpark to NSA 2 (e.g. spreadsheet calculation or noise model, and critical calculation parameters such as the assumed losses within the basement carpark). The absence of this technical information does not provide a high level of comfort with regard to the predicted compliance.

Either a more detailed assessment should be provided or the car stacker installation should be conditional on commissioning noise measurements demonstrating compliance with both Part I of the Noise Protocol and sleep disturbance criterion of 65 L<sub>Amax</sub>, dB outside bedroom windows.

### 2.6 Substation

**SLR November 2021 recommendation:** An assessment of noise from the substation be provided, taking into consideration that lower indoor limits that would apply under Publication 1826 than they did under SEPP N-1.

**Section 7.7 of the revised report:** Conceptual advice for addressing noise from the substation is provided in the report. The advice includes:

- Requirement for masonry walls and ceiling
- Construction of floor / ceiling to NCC minimum standards
- Treatment to all airways

Cogent state that the design of the substation is to be acoustically reviewed once equipment selections are finalised.

## Attachment 4 - PLN21/0316 - PDC Attachment - Combined Referral Comments

Yarra City Council  
398 & 400 Johnston Street, Abbotsford  
Development Application Acoustic Review

SLR Ref: 640.10090.07110 398\_400 Johnston St  
Abbotsford 20220405.docx  
Date: 5 April 2022

**SLR Comments re revised report:** The provided advice is generally sufficient with respect to noise control at this stage of the development. However, we note that any increases in slab thickness required to meet the lower internal noise criteria under Part I of the Noise Protocol, will need to be identified early in the design.

### 2.7 Residential terrace

**SLR November 2021 recommendation:** The residential terrace on the east side of the building should not be used during the night period, unless an acoustic report is prepared demonstrating that its use will comply with the City of Yarra recommended limits for patron noise.

**SLR Comments re revised report:** The revised report does not address noise from the external components of ground floor residential terrace. In the absence of this we recommend that the area be restricted to use during the day / evening periods.

## 3 Summary

SLR have carried out a review of the revised acoustic report prepared to address noise to and from the mixed use development proposed for 398-400 Johnston Street, Abbotsford. The report generally addresses noise issues on the project, however we recommend that the following matters are either further addressed in the report, or via planning permit conditions:

- Car stacker noise
  - Either a more detailed assessment be provided including: explanation of the measurement conditions for the car stacker noise data presented (it is not clear whether the presented levels are reverberant carpark levels, or sound pressure levels at a reference distance); the actual location of the sensitive receiver considered (NSA 2 is shown as an entire block); the assumed duration of carstacker operations, and how the data has been used to predict noise from the basement carpark to NSA 2 (e.g. spreadsheet calculation or noise model, and critical calculation parameters such as the assumed losses within the basement carpark),
  - OR
  - Prior to occupancy, noise tests are conducted at the potentially most impacted receiver location demonstrating that noise from use of the equipment complies with both the Noise Protocol and a sleep disturbance level of no more than 65  $L_{Amax}$  dB.
- The residential terrace on the east side of the building should not be used during the night period (e.g. after 10 pm nightly).

Regards,



Dianne Williams  
Principal – Acoustics

Checked/Authorised by: JA



**Attachment 4 - PLN21/0316 - PDC Attachment - Combined Referral Comments**



Michael Eaddy <[eaddy@melconsultants.com](mailto:eaddy@melconsultants.com)>  
To Stathis, Chris

Reply Reply All Forward

Wed 30/03/2022 4:45 PM

You replied to this message on 30/03/2022 5:28 PM.

I've reviewed the report and S72 drawings and comments as follows:

- I have compared the S72 drawings with the drawings provided for the initial review and the changes to the built form are minimal.
- We agree with the Windtech assessment and recommended screening of the balconies. It is noted that these recommendations for the terraces have only been partially implemented in the S72 plans, i.e. only partial hit and miss screens and intertenancy screens. It is recommended the full Windtech recommendations are implemented.
- If the Windtech recommendations are implemented in full then, as per our previous review, we agree with the conclusions of the assessment.

If you have any queries, please call.

Regards,

**Michael Eaddy**

BE ME PhD FIEAust, CPEng, NER, APEC Engineer, IntPE(Aus), RPEQ, CMEngNZ



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## Attachment 4 - PLN21/0316 - PDC Attachment - Combined Referral Comments

# Development Engineering Formal Referral Response



Application Information	
Referral Officer	Laura Condon
Officer	Mark Pisani
Council Reference	IREF22/00310
Address	398-400 Johnston Street, Abbotsford
Application No.	PLN21/0316
Proposal	Referral - Internal – Development Engineering
Comments Sought	Revised parking layout; further reduction in car parking

Council's Engineering Referral team provides the following information which is based on the information provided by Statutory Planning referenced above.

## Comments and Recommendations

### Drawings and Documents Reviewed

	Drawing No. or Document	Revision	Dated
MA Architects	Summary of Changes		24 June 2022
	19005TP111_E B01 Plan	H	29 June 2022
	19005TP112_E L00 Plan	G	24 June 2022
	19005TP300_F Section Sheet 01	G	24 June 2022
	19005TP301_C Section Sheet 02	G	24 June 2022
	19005TP302_C Section Sheet 03	G	24 June 2022
	19005TP303_C Section Sheet 04	G	24 June 2022
Tract Consultants	Town Planning Report	05	7 July 2022
One Mile Grid	Transport Impact Assessment		4 July 2022

**Attachment 4 - PLN21/0316 - PDC Attachment - Combined Referral Comments**

**CAR PARKING PROVISION**

**Proposed Development**

Under the provisions of Clause 52.06-5 of the Yarra Planning Scheme, the development's parking requirements are as follows:

Proposed Use	Quantity/ Size	Statutory Parking Rate*	No. of Spaces Required	No. of Spaces Allocated
One-Bedroom Dwelling	20	1.0 space per dwelling	20	9
Two-Bedroom Dwelling	14	1.0 space per dwelling	14	11
Three-Bedroom Dwelling	12	2.0 space per dwelling	24	12
Medical Centre	430 m <sup>2</sup>	3.5 spaces per 100 m <sup>2</sup> of leasable floor area	15	4
Shop	252 m <sup>2</sup>	3.5 spaces per 100 m <sup>2</sup> of leasable floor area	8	3
Food and Drink	119 m <sup>2</sup>	3.5 spaces per 100 m <sup>2</sup> of leasable floor area	4	1
<b>Total</b>			<b>85 spaces</b>	<b>40 spaces</b>

\* Since the site is located within the Principal Public Transport Network Area, the parking rates in Column B of Clause 52.06-5 now apply.

To reduce the number of car parking spaces required under Clause 52.06-5 (including to reduce to zero spaces), the application for the car parking reduction must be accompanied by a Car Parking Demand Assessment.

**Car Parking Demand Assessment**

In reducing the number of parking spaces required for the proposed development, the Car Parking Demand Assessment would assess the following:

Parking Demand Consideration	Details
<i>Parking Demand for One- and Two-Bedroom Dwellings</i>	<p>The one- and two-bedroom dwellings would be provided with on-site parking at a rate of 0.45 spaces per dwelling and 0.79 spaces per dwelling respectively.</p> <p>To determine the likely parking demand for the one-bedroom dwellings, One Mile Grid traffic consultants have sourced car ownership data from the 2016 ABS Census, specifically for 'flats, units or apartments'. The ABS Census data indicates that one-bedroom dwellings in the City of Yarra and Abbotsford have average car ownership rates of 0.71 and 0.72 cars per household respectively. For the two-bedroom dwellings, the average car ownership rates in the City of Yarra and Abbotsford are 0.95 and 0.99 spaces per dwelling respectively. Although the proposed on-site parking rates fall just short of the average car ownership rates, the car parking provision for the one- and two-bedroom dwellings is considered appropriate, as the site is well serviced by public transport and bicycle infrastructure,</p>

**Attachment 4 - PLN21/0316 - PDC Attachment - Combined Referral Comments**

Parking Demand Consideration	Details
<i>Parking Demand for the Commercial Uses (Shop, Medical Centre and Food and Drink Premises)</i>	The parking allocated for these uses would be exclusively used by staff. The on-site parking provision for the commercial uses would equate to 1.0 spaces per 100 square metres of floor area. This staff parking rate is considered appropriate. Patrons and patients would park on-street.
<i>Availability of Public Transport in the Locality of the Land</i>	The following public transport services can be accessed to and from the site by foot: <ul style="list-style-type: none"> <li>▪ Johnston Street buses – 100 metre walk</li> <li>▪ Hoddle Street buses – 350 metre walk</li> <li>▪ Victoria Park railway station – 290 metre walk</li> </ul>
<i>Multi-purpose Trips within the Area</i>	Customers to the commercial uses might combine their trip by engaging in other business or activities whilst in the area.
<i>Convenience of Pedestrian and Cyclist Access</i>	The site is very well positioned in terms of pedestrian access to public transport nodes, shops, supermarket, places of employment and education and other essential facilities. The site also has good connectivity to the on- and off-road bicycle network.

**Adequacy of Car Parking**

From a traffic engineering perspective, the waiver of associated with the one-bedroom dwellings and commercial uses is considered appropriate in the context of the development and the surrounding area. The parking allocations for the various uses are considered appropriate. The operation of the development should not have an adverse impact on existing on-street parking conditions.

The Engineering Referral team has no objection to the reduction in the car parking requirement for this site.

**TRAFFIC IMPACT**

**Trip Generation and Traffic Distribution**

The trip generation of the revised proposal is less than the traffic contemplated in the previous proposal.



**Attachment 4 - PLN21/0316 - PDC Attachment - Combined Referral Comments**

**DEVELOPMENT LAYOUT DESIGN**

**Layout Design Assessment**

Item	Assessment
<b>Access Arrangements</b>	
Development Entrance	The 6.1 metre vehicular entrance satisfies the Australian/New Zealand Standard AS/NZS 2890.1:2004.
Visibility	Visibility of traffic conditions to the west of the site is limited for vehicles exiting the development. It is recommended that a convex mirror be stalled on the east side of the development entrance as suggested by One Mile Grid traffic engineering consultants.
Headroom Clearance	The ramped accessway has a minimum headroom clearance of 2.3 metres, which satisfies AS/NZS 2890.1:2004.
Internal Ramped Accessways	Not dimensioned on the drawings.
<b>Car Parking Modules and Mechanical Parking</b>	
At-grade Parking Spaces	The dimensions of the parking spaces (2.6 metres by 4.9 metres) satisfy <i>Design standard 2: Car parking spaces</i> of Clause 52.06-9.
Accessible Parking Space	The accessible parking space and shared area have not been dimensioned on the drawings.
Aisles	The widths range from 6.127 metres to 6.4 metres which satisfy <i>Table 2: Minimum dimensions of car parking spaces and accessways</i> of Clause 52.06-9.
Column Depths and Setbacks	The positions of the columns within the at-grade parking area are non-compliant. Please see diagram appended to this memo.
Clearances to Walls	The third space along the northern row of parking spaces has a clearance that is less than the minimum 300 mm. All other spaces adjacent to walls have been provided with 300 mm clearances, which satisfy <i>Design standard 2</i> .
Motorcycle space	Not dimensioned on the drawings.
Car Stacker Device	The development would be using the Woehr Combilift 543 shuffle-type car stacker. Each space has a useable platform width of 2.6 metres and a length of 5.1 metres – satisfactory for accommodating a B85 design vehicle. The 543 stacker can accommodate vehicle clearance heights of at least 1.8 metres in the entry and upper levels of the device.  This stacker satisfies the requirements of <i>Design standard 4: Mechanical parking</i> .
<b>Gradients</b>	
Ramp Grade for the first 5.0 metres inside the Property	The ramp profile comprises grades of 1 in 20 and a transition grade of 1 in 8. The applicant has not dimensioned the ramp grade sections or the transition grades.

**Attachment 4 - PLN21/0316 - PDC Attachment - Combined Referral Comments**

Item	Assessment
Ramp Grades and Changes of Grade	The ramp grades and changes of grade satisfy <i>Table 3 Ramp Gradients</i> of Clause 52.06-9.
<b>Swept Path Assessment</b>	
Vehicle Entry Movements Development Entrance SPA100* Rev D	The swept path diagrams for a B99 design vehicle and an oncoming B85 vehicle entering and exiting the development via Little Turner Street are considered satisfactory.
Vehicle Passing Movements Little Turner Street SPA101 Rev C	The vehicle passing movements of a B99 design vehicle as an 8.8 metre long medium rigid vehicle is propped on the south of Little Turner Street are considered satisfactory.
Vehicle Circulation Basement Car Park SPA200 Rev E	The swept path diagrams for a B99 design vehicle circulating within the basement car park to and from the ramp are considered satisfactory.
Vehicle Turning Movements Basement Car Park SPA201 Rev E SPA202 Rev E	The swept path diagrams for a B85 design vehicle entering and exiting the car parking spaces and stacker platforms are considered satisfactory.
Vehicle Ground Clearance Check VCC100 Rev C	The submitted ground clearance check by One Mile Grid indicates that a B85 design vehicle and a B99 design vehicle can negotiate the ramp internally; however, detail of the ground clearance check in Little Turner Street is insufficient.
<b>Other Items</b>	
Loading Arrangements	Loading operations for this development would occur on the south side of Little Turner Street, as there is an existing Loading Zone that currently applies along the site's Little Turner Street abuttal.
Warning Light System	There is no objection to the installation of a warning light system to assist in regulating vehicle entry and exit movements via the single lane ramped accessway, as recommended by One Mile Grid.

\* One Mile Grid swept path diagram drawing number.

**Engineering Advice for Design Items to be Addressed by the Applicant**

Item	Details
Visibility	A convex mirror is to be mounted at the east edge of the development entrance, as recommended by One Mile Grid.
Internal Ramped Accessway	To be dimensioned on the drawings.
Columns	The columns need to be redesigned and/or repositioned to comply with <i>Diagram 1 Clearance to car parking spaces</i> of Clause 52.06-9.
Motorcycle Spaces	To be dimensioned on the drawings.

**Attachment 4 - PLN21/0316 - PDC Attachment - Combined Referral Comments**

Item	Details
Ground Clearance Check	<p>The ground clearance check is to be resubmitted, showing the detail of the open invert and road pavement of Little Turner Street.</p> <p>An enlargement of the ground clearance check at the development entrance and Little Turner Street must be provide, showing levels at the property boundary, the invert and the edge of the channel and within the road pavement.</p>

**ENGINEERING COMMENTS AND CONDITIONS**

These referral comments are to be read in conjunction with the referral comments prepared by the Engineering Referral team dated 8 October 2021 and 26 April 2022.

The engineering conditions recommended for this development from referral of 8 October 2021 are still relevant and pertinent to this proposal.

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Engineer: Mark Pisani

Signature: 

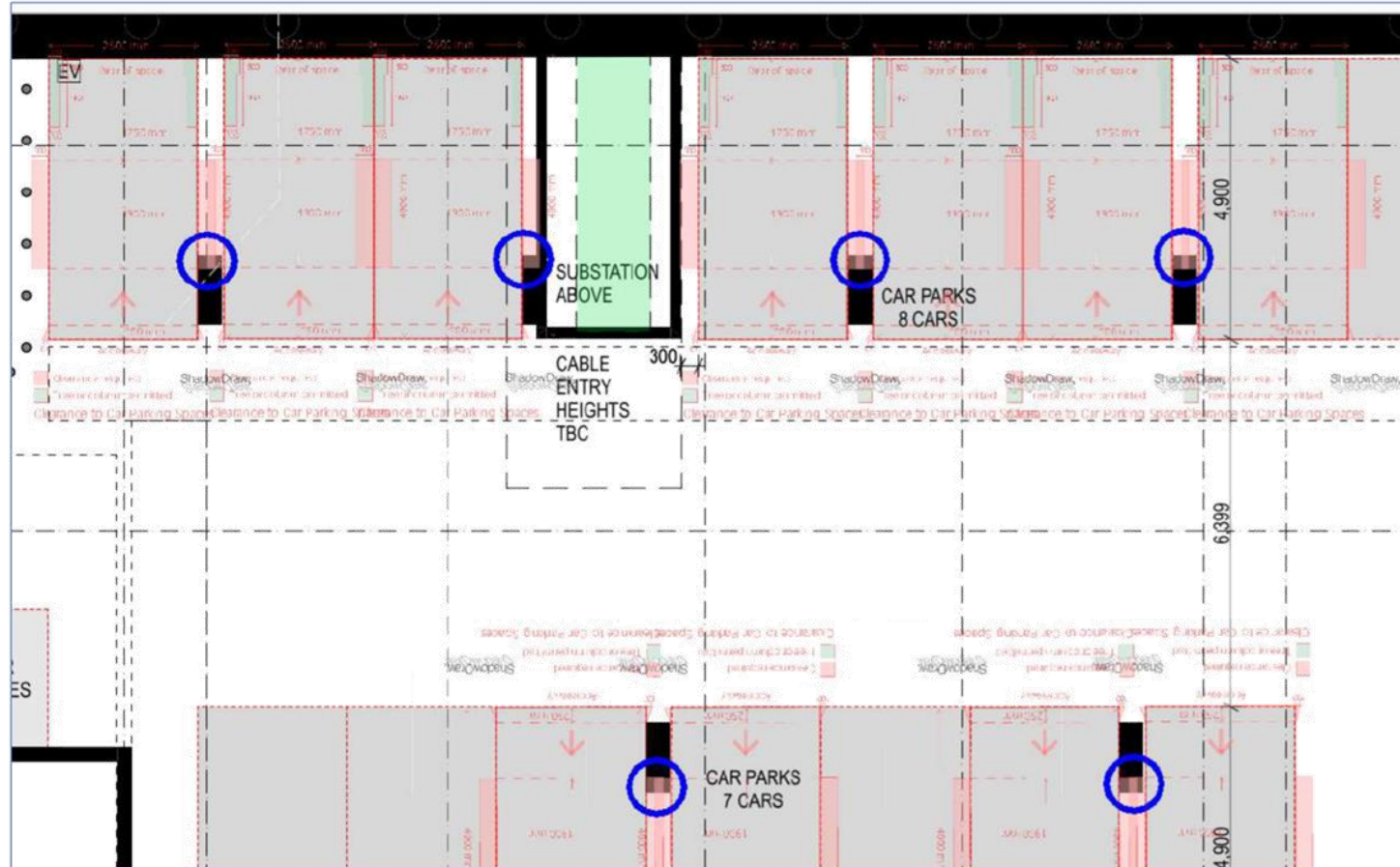
Date: 19 September 2022

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# Development Engineering Formal Referral Response



## NON-COMPLIANT COLUMNS





# Strategic Transport Formal Referral Response



Application Information	
Referral Officer	USERID
Officer	Philip Mallis
Council Reference	PLN21/0316
Address	398 Johnston St, Abbotsford VIC 3067
Proposal	<p>Application PLN21/0316 re-advertised for the construction of a nine storey mixed-use building (permit required for dwelling use only), a reduction of the car parking requirements and alteration of access to a Transport Zone 2.</p> <p>Section 57A amendment to delete one of two basement levels (reduces on-site car parking spaces from 66 spaces to 40), internal rearrangement of the building (reduces number of apartments from 58 to 46) and reductions in the extent of proposed built form though altered setbacks to boundaries.</p>
Comments Sought	<p>This is the link to the Statutory Planning Referral memo: <a href="#">D22/220211 - IREF22/00370 - Internal Referral Formal Request</a></p>

**Attachment 4 - PLN21/0316 - PDC Attachment - Combined Referral Comments**

Council's Strategic Transport unit provides the following information which is based on the information provided in the Statutory Planning referral request memo referenced above.

## Comments

### Revised plans

The revised plans show significant changes to bicycle and transport access. Therefore, this is being treated partly as a new application for the purposes of this referral.

### Bicycle Parking Provision

#### Statutory Requirement

Under the provisions of Clause 52.34-3 of the Yarra Planning Scheme, the development's bicycle parking requirements are as follows:

Proposed Use	Quantity/ Size	Statutory Parking Rate	No. of Spaces Required	No. of Spaces Allocated
Dwellings	46 dwellings	In developments of four or more storeys, 1 resident space to each 5 dwellings	9 resident spaces	52 resident / staff spaces  18 visitor spaces
		In developments of four or more storeys, 1 visitor space to each 10 dwellings	5 visitor spaces.	
Medical centre	10 practitioners	1 employee space to each 8 practitioners	1 employee spaces	
		1 visitor space to each 4 practitioners	3 visitor spaces.	
Retail premises (other than specified in this table)	119 sqm	1 employee space to each 300 sqm of leasable floor area	0 employee spaces	
		1 visitor space to each 500 sqm of leasable floor area	0 visitor spaces.	
Shop	252 sqm	1 employee space to each 600 sqm of leasable floor area if the leasable floor area exceeds 1000 sqm	0 employee spaces	
		1 visitor space to each 500 sqm of leasable floor area if	0 visitor spaces.	

**Attachment 4 - PLN21/0316 - PDC Attachment - Combined Referral Comments**

		the leasable floor area exceeds 1000 sqm		
<b>Bicycle Parking Spaces Total</b>			<b>10 resident / employee spaces</b>	<b>52 resident / employee spaces</b>
			<b>8 visitor spaces</b>	<b>18 visitor spaces</b>
<b>Showers / Change rooms</b>	1 to the first 5 employee spaces and 1 to each additional 10 employee spaces		<b>0 showers / change rooms</b>	<b>0 showers / change rooms</b>

The development provides a total of 42 additional resident/employee spaces and 10 additional visitor spaces above the requirements of the Scheme.

**Adequacy of visitor spaces**

18 spaces are noted as visitor bicycle parking spaces.

The provision of the visitor spaces is adequate. However, measurements or annotations on the plan to indicate that the placement and dimensions comply with Australian Standard AS2890.3 should be included.

The plans also appear to include provision for only 16 visitor bicycle parking spaces, not 18. This should be clarified by the applicant. Even if only 16 are provided, this is considered adequate.

**Adequacy of employee spaces**

**Number of spaces**

Whilst the proposal includes a surplus of 42 resident/employee spaces above the requirements of the planning scheme, it is noted:

- A reduction of car parking spaces is sought.
- The subject site is located in an inner-urban area with already high cycling-to-work demand, and trends indicate demand will continue to increase; and both local and state planning policies include objectives to promote sustainable transport modes, including cycling.
- Given the above, the proposed 52 resident/employee spaces is considered acceptable.
- It would be acceptable if a further reduction in car parking spaces was sought to provide additional bicycle parking spaces.

**Design and location of employee spaces and facilities**

Employee and resident spaces are inadequately located and designed for the following reasons:

## Attachment 4 - PLN21/0316 - PDC Attachment - Combined Referral Comments

- Resident/employee bicycle parking is provided at Basement Level. Due to the steep ramps that provide access to the car park, it is envisioned most cyclists would choose to access the spaces via the lift shaft.
  - Dimensions of the door from the Basement lift lobby into the bicycle storage area must be shown on the plans to show a minimum width to allow a person walking a bicycle to comfortably fit, in compliance with Australian Standard AS2890.3.
- No spaces are located within a secure facility. Pursuant to Clause 52.34-3 & Australian Standard AS2890.3, bicycle spaces for residents and employees must be provided in a bicycle locker, or in a lockable compound. A secure car park does not constitute a lockable compound.
- No employee/resident bicycle parking spaces are located on ground. As per Australian Standard AS2890.3, at least 20% of employee and resident spaces must be provided at an on-ground horizontal space.

### Electric vehicles

Council's BESS guidelines encourage the use of fuel efficient and electric vehicles (EV). The provision of electric bicycle charging and electric car charging on the plans is satisfactory. However, at least one of the electric bicycle charging facilities and one additional point must be provided in the secure employee/resident parking area for use by residents and employees.

### Yarra's key bicycle corridors

The site is located adjacent to a key bicycle corridor. The Main Yarra Trail is nearby and there are connections to metropolitan and local bicycle routes nearby.

### City Works

Relevant to this business unit and this application, the following capital works are approved / proposed within the area of the subject site (as relevant to the planning application):

None from Strategic Transport.

## Recommendations

The following should be shown on the plans before endorsement:

1. Dimensions of bicycle storage spaces, doors, lifts and relevant access ways noted to demonstrate compliance with Australian Standard AS2890.3 or to the satisfaction of the Responsible Authority.
2. Confirmation of the number of visitor bicycle parking spaces to be provided.
3. All staff and resident bicycle parking facilities to be provided in a secure facility in compliance with Clause 52.34 and Australian Standard AS2890.3.



**Attachment 4 - PLN21/0316 - PDC Attachment - Combined Referral Comments**

4. All resident and/or employee bicycle parking facilities to include a minimum of 20% of ground level (horizontal) spaces.

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Principal Strategic Transport Planner (Strategic Transport Unit): Philip Mallis

Signature: 

Date: 14/09/2022

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# City Works Formal Referral Response



Application Information	
Referral Officer	Laura Condon
Officer	Atha Athanasi
Council Reference	PLN21/0316
Address	398 Johnston St, Abbotsford VIC 3067
Proposal	<p>Application PLN21/0316 re-advertised for the construction of a nine-storey mixed-use building (permit required for dwelling use only), a reduction of the car parking requirements and alteration of access to a Transport Zone 2.</p> <p>Section 57A amendment to delete one of two basement levels (reduces on-site car parking spaces from 66 spaces to 40), internal rearrangement of the building (reduces number of apartments from 58 to 46) and reductions in the extent of proposed built form though altered setbacks to boundaries.</p>
Comments Sought	Statutory Planning Referral memo: D22/220240

Council's City Works Branch provides the following information which is based on the information provided in the Statutory Planning referral request memo referenced above.

### Comments:

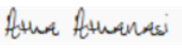
The waste management plan for 398 – 400 Johnston Street, Abbotsford authored by One Mile Grid and dated 1/7/2022 is not satisfactory from a City Works Branch's perspective. Issues to be rectified include, but may not be limited to the following:

1. Please detail how hard waste and e-waste will be managed at this site.

**Attachment 4 - PLN21/0316 - PDC Attachment - Combined Referral Comments**

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Officer: Atha Athanasi

Signature: 

Date: 6/09/2022

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# ESD Formal Referral Response



Application Information	
Referral Officer	Laura Condon
Officer	Gavin Ashley
Council Reference	PLN21/0316
Address	398 Johnston St, Abbotsford, VIC 3067
Proposal	<p>Application PLN21/0316 re-advertised for the construction of a nine storey mixed-use building (permit required for dwelling use only), a reduction of the car parking requirements and alteration of access to a Transport Zone 2.</p> <p>Section 57A amendment to delete one of two basement levels (reduces on-site car parking spaces from 66 spaces to 40), internal rearrangement of the building (reduces number of apartments from 58 to 46) and reductions in the extent of proposed built form though altered setbacks to boundaries.</p>
Comments Sought	<p>Click here to view the link to the Statutory Planning Referral memo:</p> <p><b>D22/220250</b></p>



## Attachment 4 - PLN21/0316 - PDC Attachment - Combined Referral Comments

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Council's ESD Officer provides the following information which is based on the information provided in the Statutory Planning referral request memo referenced above.

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ESD comments were requested on the following:

- Section 57A Amendment to originally submitted application

In assessing this application, the following documents were reviewed:

- [previous] Sustainability Management Plan (SMP) prepared by ECM Group (V5 – 25.08.2021)
- [previous] Architectural Plans prepared by MA Architects (Rev C – 27.08.2021)
- [previous] Sustainability Management Plan (SMP) prepared by Frater Consulting Services (V10 – 07.07.2022)
- [previous] Architectural Plans prepared by MA Architects (Rev G – 24.06.2022)

## Attachment 4 - PLN21/0316 - PDC Attachment - Combined Referral Comments

### Comments

The standard of the submitted ESD does not meet Council's Environmentally Sustainable Design (ESD) standards.

Hello Laura,

I have reviewed the amended documentation associated with the s57a submission for the above property against the list of changes, previously submitted material, and previous ESD advice from Council with an assessment provided below (in **bold**):

In terms of changes, the following is noted:

- *Removal of a level 2 of basement, and consolidation of all storage to in apartment.*
  - **Satisfactory** – Removal of basement is supported due to reduction in excavation and concrete (e.g. embodied carbon), however consolidation of storage appears to lack capacity for bulky items. Decision deferred to town planner.
- *Adapted apartment mix as a result of structural changes.*
  - **Satisfactory** – Changes to apartment mix and internal layout supported due to daylight modelling [96% bedrooms with DF>0.5 and 83% of living rooms with DF>2.0] (SMP, p.73 & 75), and BADS assessment against room depth and ventilation (TP700\_B).
- *Screening elements changed to a vertical metal on levels 4-8 in line with wind report.*
  - **Satisfactory** – Screening elements satisfactory. Consider additional screening / shading elements to west facing habitable windows on level 4-8.

All other changes are deemed **Satisfactory**.

In terms of previous ESD advice provided by Council, the following actions were highlighted:

- *It is recommended that modelling be revised with internal ceiling reflectance of 80%.*
  - **Satisfactory** – Revised daylight modelling uses internal reflectance values of (max) 0.8 (SMP, p. 59).
- *Clarify and confirm that no gas connection is provided and amend BESS report accordingly.*
  - **Pending** – While BESS credit 2.4 has been scoped out with a note that 'no gas for DHW and HVAC', a natural gas supply to the building is noted on page 11 of the BESS report (SMP, p. 40).
  - **Action** – Confirm whether gas is being used at all within the building (e.g. for cooking), and suggest removing all connection and going 100% all-electric. More information can be found on the City of Yarra's website [HERE](#).
- *Clarify misalignment between the BESS report and BADS assessment, with a table of all apartment types and their ventilation type and assessment against each requirement.*

## Attachment 4 - PLN21/0316 - PDC Attachment - Combined Referral Comments

- **Satisfactory** – The SMP and BESS report have been updated to note that mechanically assisted ventilation will be provided to the remaining apartments (SMP, p. 12).
- *Amend rooftop plans to clearly specify a 20kW rooftop solar PV system.*
  - **Satisfactory** – The plans have been amended to articulate a 6.75kW array on level 06, and a 13.5kW array on the roof (TP120H & TP123H).
- *Confirm fire water tank capacity and intended reuse.*
  - **Satisfactory** – Fire tank water to be reused for toilet flushing and irrigation (SMP, p. 11).
- *Confirm that post-development stormwater flows will not exceed pre-development levels. Providing calculations to support in the form of a MUSIC model, calculations on building water use and discharge (compared to pre-development assumptions) or a civil engineer statement prior to construction.*
  - **Satisfactory** – The SMP has been updated to include a commitment to ensure post-development stormwater flows do not exceed pre-development levels (SMP, p. 23).
- *Amend SMP to remove all ambiguous language (regarding concrete and otherwise).*
  - **Pending** – Commitments within the materials category still use ambiguous phrases like 'will be preferred' and 'is encouraged' (SMP, p. 16 & 18).
  - **Action** – Please revise to include form Commitments and targets (e.g. by weight or cost).
- *Amend GTP to clearly outline all bicycle facilities including EoT.*
  - **Pending** – While the GTP outlines the bicycle parking provision against statutory requirements it does not include details of the EoT facilities (e.g. showers, and lockers).
  - **Action** – Update GTP in line with details in the SMP and plans.
- *Consider a lighter external finish for high mass materials (i.e. bricks), or wire trellis' for north-facing planter boxes on the ground floor to support climbing vegetation to assist in shading the brick façade.*
  - **Pending** – From the Landscape Plan it appears the north-facing ground level planters are to contain 'Lomandra longifolia', a ground cover.
  - **Action** – Consider replacing or including a climbing species within the centre planter zone to eventually climb up the perforated brick façade and shade the high mass materials from excessive heat gain.
- *Amend the plans to include an annotation stating all balconies are provided with a tap and floor waste or include symbols throughout the plans accordingly.*
  - **Satisfactory** – The plans have been updated to indicate taps on each balcony, and the SMP/BESS report has been updated to confirm tap/waste as requested (SMP, p. 52).
- *Provide source of carbon reduction estimates, and following confirmation of SCM (see above point re: ambiguous language) provide high-levels estimates of project-specific reductions in embodied carbon.*

## Attachment 4 - PLN21/0316 - PDC Attachment - Combined Referral Comments

- **Satisfactory** – Specific reduction quantity has been removed from the SMP.

Suggested conditions:

- *Include a permit condition that requires a JV3 report prior to construction indicating a (min) 10% improvement / reduction in GHG emissions for the non-residential component (i.e. shop).*
- *Other outstanding items listed above can be conditioned (except where stated as 'consider').*

## Recommendations

The applicant is required to address the items noted as 'pending' with actions provided accordingly – in addition to the suggested permit condition/s if they are not addressed through a further information request.

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ESD Officer: ASHLEYG

Signature: Gavin Ashley

Date: 15.09.2022

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# Urban Design Formal Referral Response



Application Information	
Referral Officer	Laura Condon
Officer	Lucy Stratton
Council Reference	PLN21/0316
Address	398 Johnston St, Abbotsford VIC 3067
Proposal	<p>Application PLN21/0316 re-advertised for the construction of a nine storey mixed-use building (permit required for dwelling use only), a reduction of the car parking requirements and alteration of access to a Transport Zone 2.</p> <p>Section 57A amendment to delete one of two basement levels (reduces on-site car parking spaces from 66 spaces to 40), internal rearrangement of the building (reduces number of apartments from 58 to 46) and reductions in the extent of proposed built form though altered setbacks to boundaries.</p>
Comments Sought	<a href="#">D22/220265 - IREF22/00374 - Internal Referral Formal Request</a>

## Comment Summary

Previous Urban Design Comments	S57B Response
<i>Spoon drain to northern site boundary (running along Little Turner St) to be shown on drawings.</i>	<b>Satisfied.</b>
<i>Floor material finish to alcoves between façade columns.</i>	<b>Not satisfied</b> – no material specified.
<i>It is unclear whether the area labelled 'GAS' is contained within a cabinet or not. If so, door swings are to be shown on the plans and must not encroach on the public footpath.</i>	<b>Not satisfied</b> – service door swings should be able to be pinned back 180 degrees as to not encroach on the footpath.
<i>The substation doors are shown to open beyond the boundary of the subject site. The doors are to be setback so their door swings land entirely within the subject site, or rearranged to swing internally</i>	<b>Satisfied.</b>

**Attachment 4 - PLN21/0316 - PDC Attachment - Combined Referral Comments**

<p><i>The doors to the service corridor present a sightline issue if these are to be used as a means of egress by building occupants. As there is no footpath along Little Turner St, it is recommended that these doors are set back to allow a one (1) metre landing as a pedestrian refuge so prevent someone from walking directly out into oncoming traffic.</i></p>	<p><b>Satisfied.</b></p>
<p><i>Plans should indicate the height, materiality and level of transparency of the fence to Little Turner Street. As well as any lighting measures to ensure the safety and amenity of this entrance</i></p>	<p><b>Not satisfied</b> – transparency and height of fence to Little Turner should be annotated. Lighting not addressed.</p>
<p><i>All pavements surrounding the subject site are to be reinstated as asphalt footpaths as per Yarra Road Materials Policy and relevant Yarra Standard Drawings.</i></p>	<p><b>Satisfied.</b></p>

Urban Designer: Lucy Stratton

Date: 30 August 2022

**Attachment 4 - PLN21/0316 - PDC Attachment - Combined Referral Comments**



**Memo**

**To:** Michelle King  

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**Cc:** Julia Mardjuki;  

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**From:** Kevin Ayrey  

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**Date:** 14 September 2021  

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**Subject:** PLN21/0316 – 398- 400 Johnston Street, Abbotsford  

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Dear Michelle,

I have reviewed the plans by Bradbury Culina (dated 16/06/2021) for the above planning application.

The architectural plans show landscaping and planting on the ground and levels 1, 4, 6 & 7. Small trees are included in planters on level 6. The landscape plans show planting on the ground and level 1, and small trees in planters on level 7. The two sets of drawings need to be consistent.

Suitable landscape plans would need to be provided as part of the planning permit requirements and would need to include the following information -

- (a) show the type, location, quantity, height at maturity and botanical names of all proposed plants in a plant schedule and planting plans; - this has been included in the landscape plans except for the inconsistency in levels showing planting. The plant selection is acceptable.
- (b) provide details of the raised planters and terrace/rooftop planting (including planter box materials and dimensions, mulch layer suitable in weight and content for roof top gardens, filter media, irrigation method, drainage system, root barrier / water proofing layer); - this has also been included, although the soil mix is not a lightweight media usually specified for elevated planted areas and the depth of the planted areas is not clear. Trees will need a minimum of 600mm depth growing media.
- (c) provide information on the proposed method for irrigation and drainage;
- (d) show the materiality of the proposed spaces; - this is adequately shown.
- (e) further detail on any sustainable treatments and water harvesting methods for irrigation ;and
- (f) provide a plant and landscape maintenance schedule – including tasks and frequency to maintain the landscape following the maintenance period. If there are specific maintenance access issues the methodology for these should be included.

Load bearing weights for the building need to be checked and confirmed by suitably qualified structural engineers against the saturated bulk density of the proposed soil media, planter box and plant mass proposed.

Please feel free to contact me if you would like me to clarify my comments (ph. 9205 5770).

Sincerely,

Kevin Ayrey  
Landscape Architect  
**Open Space Planning & Design**

# Open Space Services Formal Referral Response



Application Information	
Referral Officer	USERID
Officer	Robert Hill
Council Reference	PLN21/0316
Address	398 Johnston St, Abbotsford VIC 3067
Proposal	<p>Application PLN21/0316 re-advertised for the construction of a nine storey mixed-use building (permit required for dwelling use only), a reduction of the car parking requirements and alteration of access to a Transport Zone 2.</p> <p>Section 57A amendment to delete one of two basement levels (reduces on-site car parking spaces from 66 spaces to 40), internal rearrangement of the building (reduces number of apartments from 58 to 46) and reductions in the extent of proposed built form though altered setbacks to boundaries.</p>
Comments Sought	This is the link to the Statutory Planning Referral memo:



## Attachment 4 - PLN21/0316 - PDC Attachment - Combined Referral Comments

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Council's Open Space Services (City Works) provides the following information which is based on the information provided in the Statutory Planning referral request memo referenced above.

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Council's Open Space Services (City Works) were requested to make comment on the proposal:

- Is the revised canopy acceptable in relation to the street tree?
- Any further comments/ revised design address your previous concerns?

## Comments and Recommendations

I have reviewed the updated plans, D22/220135.

The awnings is still showing that will cover the trees. This must be redesigned to ensure a 4.5m radius clearance to the side is achieved and no awning to be constructed over top of the tree.

A tree protection management plan must be submitted and approved prior to works that is:

- Written by an appropriately qualified arborist
- References and is in keeping with AS4970-2009 Protection of trees on development sites
- Identifies tree protection measures to ensure the long-term viability of the street trees
  - o Shows tree protection fencing to be solid hoarding fixed to the ground that extends along the footpath the width of the canopy.
  - o Identifies tree protection measures that protect the canopy from any damage by machinery, vehicles, construction processes.

### City Works

Relevant to this business unit and this application, please be aware that the following capital works are approved / proposed within the area of the subject site (as relevant to the planning application):

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Open Space Services: USERID

Signature: Rob Hill

Date: 30/08/2022

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**Attachment 4 - PLN21/0316 - PDC Attachment - Combined Referral Comments**



Department of Transport

GPO Box 2392  
Melbourne, VIC 3001 Australia  
Telephone: +61 3 9651 9999  
www.transport.vic.gov.au  
DX 201292

13 December 2022

Chris Stathis  
Yarra City Council  
PO BOX 168  
RICHMOND VIC 3121

Dear Mr. Stathis,

**PLANNING APPLICATION No.:** PLN21/0316  
**DEPARTMENT REFERENCE NO:** PPR 37393/21-B  
**PROPERTY ADDRESS:** 398-400 JOHNSTON STREET, ABBOTSFORD VIC  
3067

**Section 55 – No objection subject to conditions**

Thank you for referring the above application to the Head, Transport for Victoria under Section 55 of the *Planning and Environment Act 1987*.

The Head, Transport for Victoria provides its written consent under Clause 36.04-3 of the Yarra Planning Scheme to the application being made and supports the proposed use and development subject to certain conditions being met (refer below).

The Head, Transport for Victoria has considered this application and does not object if the permit is subject to the following condition and note:

1. *Prior to commencement of use all disused or redundant vehicle crossings must be removed, and the area reinstated to the satisfaction of the Responsible Authority and at no cost to the Head, Transport for Victoria.*

*Separate consent may be required from Head, Transport for Victoria under the Road Management Act 2004 for buildings and works undertaken outside the title boundary within a Transport Zone 2 (Johnston Street). Please contact Head, Transport for Victoria prior to commencing any works.*

*End of conditions*

HTfV advise that the awning/canopy clearance height above the pavement and measurement from the back of kerb should be consistent with the Building Act and Regulations. In addition, as the City of Yarra are the managers of the area from the back of kerb to the property boundary, HTfV have no objection to the landscape plans.

Please forward a copy of any decision to this office as required under the *Planning and Environment Act 1987*.



**Attachment 4 - PLN21/0316 - PDC Attachment - Combined Referral Comments**

Should you have any enquiries regarding this matter, please contact Gillian Menegas on 9313-1148 or [Gillian.Menegas@roads.vic.gov.au](mailto:Gillian.Menegas@roads.vic.gov.au).

Yours sincerely

*Gillian Menegas*

**Gillian Menegas**

Principal Statutory Planner - Inner Metropolitan Region  
Under delegation from the Head, Transport for Victoria

13/12/2022