

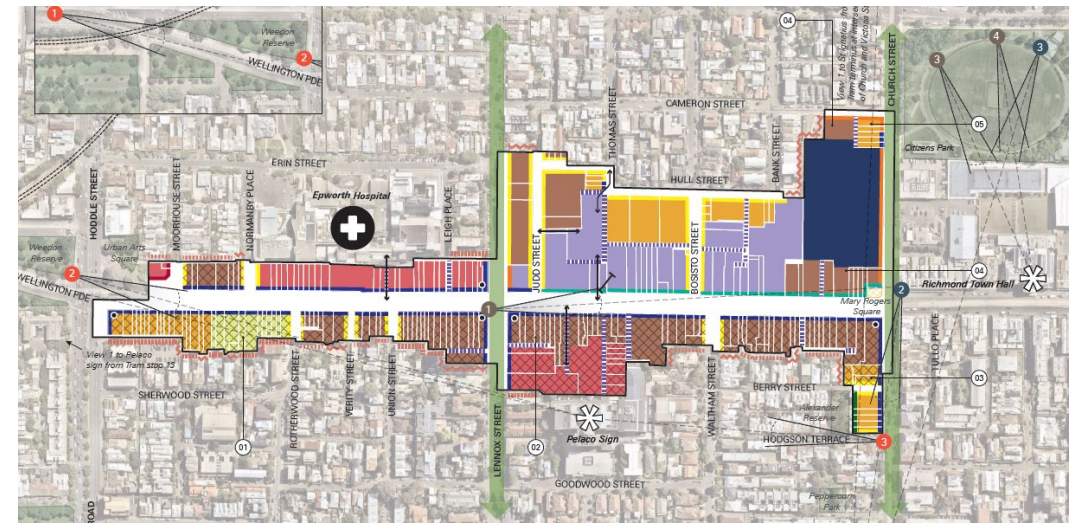
# DDO41 – Bridge Road West (Precinct 1)

Building heights, street wall and upper level setbacks

Interims



Proposed



## Building heights

- 11m
- 15m
- 18m
- 21m
- 28m
- 40m
- Mandatory heights
- Heritage building on major corner (mandatory 6m upper level setback)

## Street wall height and setback interface ref

- A
- B
- C
- E
- F
- H
- H
- I

NB - Residential interfaces are outlined in the report

Interface type	Interim Maximum Street Wall Height	Proposed Maximum Street Wall Height	Interim Minimum Upper Level Setback	Proposed Minimum Upper Level Setback
<b>Interface A</b>	Retain heritage frontage Other buildings - 11m max (Mandatory for Individually Significant heritage buildings or heritage streetscape) Preferred for contributory & non heritage buildings)	Retain existing street wall for heritage buildings Other buildings - 11m (max) & 8m (min) (Mandatory) Other buildings should match the parapet height of the adjoining heritage building, for a minimum length of 6m from the heritage building.	6m (Mandatory for Individually Significant heritage buildings or heritage streetscape) (Preferred for contributory & non heritage buildings)	6m (mandatory) For buildings taller than 15m, a 9m setback for the top most level (preferred).
<b>Interface B</b>	Retain heritage frontage Other buildings - 11m	Retain existing street wall for heritage buildings Other buildings - 11m (max) & 8m (min) (Mandatory)	13m (preferred)	13m (preferred)
<b>Interface C</b>	11m (preferred)	Retain existing street wall for heritage buildings Other buildings - 11m (max) & 8m (min) (preferred)	Heritage buildings - 5m 6m for buildings within 5m of a heritage building (preferred)	Heritage buildings - 6m (preferred) Other buildings - 6m (preferred)
<b>Interface E</b>	11m (preferred)	Retain existing street wall for heritage buildings (preferred) Other buildings - 11m (max) (preferred)	3m (preferred) 6m for buildings within 5m of a heritage building (preferred)	Heritage buildings 6m (preferred) Other buildings - 3m (preferred)
<b>Interface F</b>	-	8m (preferred)	-	4.5m (preferred)

# DDO41 – Bridge Road West (Precinct 1)

## Key changes

### Heights

- 01 Reduce heights on 44-70 Bridge Road from 15m to 11m to preserve view 2 to the Pelaco sign.
- 02 Reduce heights on lots fronting Bridge Road between Lennox Street to Church Street from 21m to 18m as these lots are consistent with lots to the west of Lennox Street in terms of fine-grain and heritage. The 21m height is retained to the rear towards the Pelaco buildings. This provides an appropriate increase in scale to the taller Pelaco building.
- 03 Reduce heights from 18m to 15m to provide an improved transition in scale towards the south and limit overshadowing outcomes to Alexander Reserve.
- 04 Reduce heights on the north-west corner of Church Street and Bridge Road, and along Cameron Street from 28m to 18m to match heights to align with built form outcomes of the Richmond Quarter redevelopment and to retain the integrity of fine-grain heritage buildings adjacent to Mary Rogers Square.
- 05 Reduce heights from 28m to 15m in consideration of narrow lot widths, heritage buildings and improving the transition in scale to lower scale development to the north of Cameron Street.

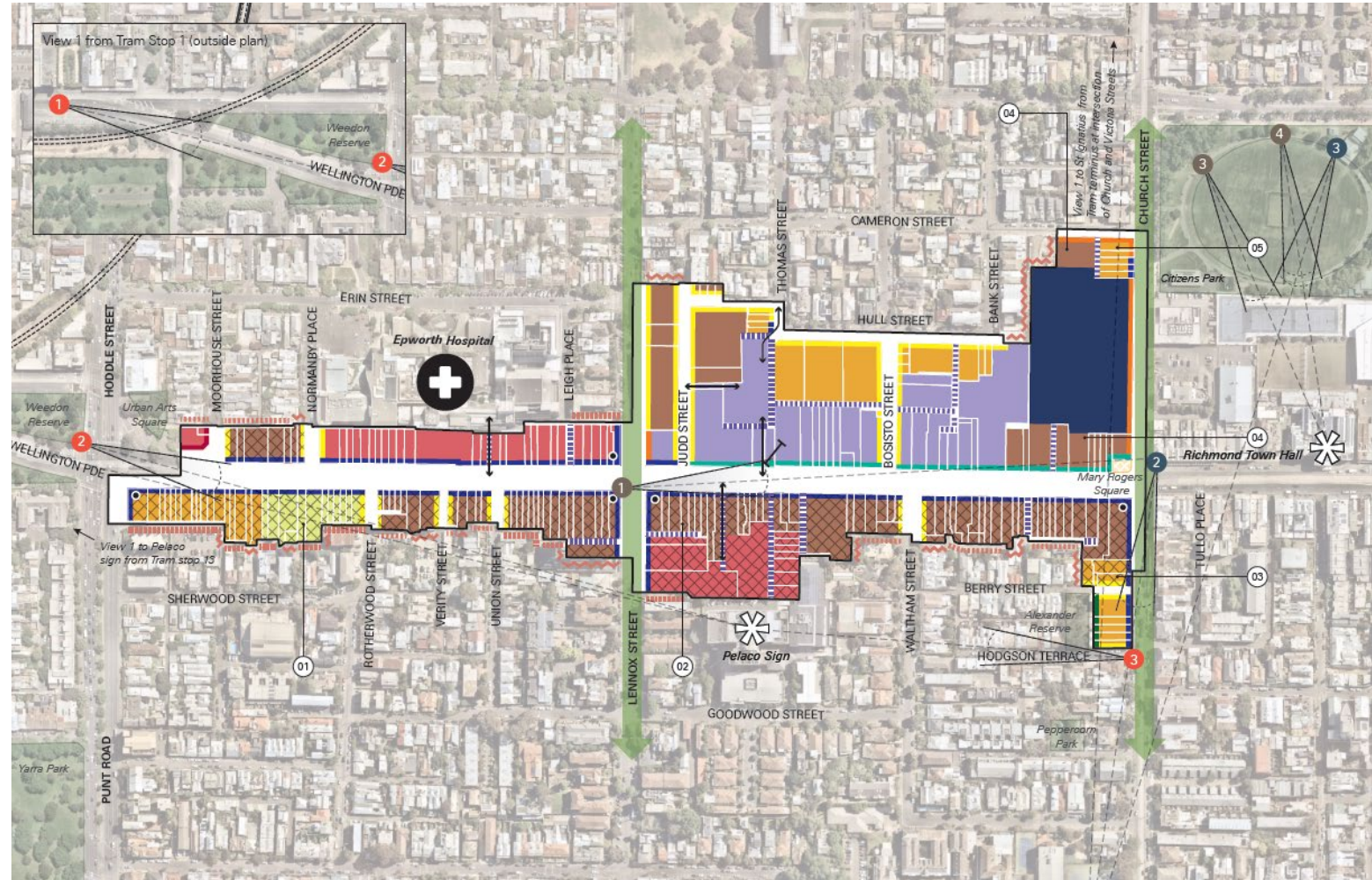
### Street wall height and setbacks

In addition to the general revisions to street wall height and setbacks as outlined in Section 3, specific changes include:

- Applying Interface E — Side Street on side streets.
- Clarifying locations where there is a residential interface (direct abuttal or laneway).
- Clarifying locations where there is a non-residential laneway interface.

**NOTE:** Additional upper level setbacks will be required for properties at 44-70 Bridge Road (10m approx.) and 72-78 Bridge Road (3m approx. at rear). The mandatory views to landmarks requirements will ensure that proposals will be assessed on a performance-based basis to ensure retention of views.

- 06 Apply Interface F — Residential Street interface on lots interfacing Alexander Reserve to ensure an appropriate transition in height towards open space.
- 07 Apply Interface A — Heritage (6m) on the north side of Bridge Road between Lennox Street and Judd Street. This reduces the front setback from a preferred 13m to a mandatory 6m. It would be difficult for future development to provide a 13m setback due to relatively shallow lot depth. Development should be encouraged on this site as there are no heritage buildings. A 6m upper level setback would also mirror the upper level setbacks on other corners on Lennox Street and Victoria Street to support a consistent streetscape at this major intersection.



# DDO42– Bridge Road South (Precinct 2)

Building heights, street wall and upper level setbacks

## Interims



## Proposed



### Building heights

- 18m
- Mandatory heights
- Heritage building on major corner (mandatory 6m upper level setback)

### Street wall height and setback interface ref

- A
- C
- E
- H
- H
- I

NB - Residential interfaces are outlined in the report

Interface type	Interim Maximum Street Wall Height	Proposed Maximum Street Wall Height	Interim Upper Level Setback	Proposed Upper Level Setback
<b>Interface A</b> <span style="display: inline-block; width: 20px; height: 10px; background-color: #00008B; border: 1px solid black;"></span>	Retain heritage frontage Other buildings - 11m max (Mandatory for Individually Significant heritage buildings or heritage streetscape) Preferred for contributory & non heritage buildings)	Retain existing street wall for heritage buildings Other buildings - 11m (max) & 8m (min) (Mandatory) Other buildings should match the parapet height of the adjoining heritage building, for a minimum length of 6m from the heritage building.	6m (Mandatory for Individually Significant heritage buildings or heritage streetscape) (Preferred for contributory & non heritage buildings)	6m (mandatory) For buildings taller than 15m, a 9m setback for the top most level (preferred).
<b>Interface C</b> <span style="display: inline-block; width: 20px; height: 10px; background-color: #FF8C00; border: 1px solid black;"></span>	11m (preferred)	Retain existing street wall for heritage buildings Other buildings - 11m (max) & 8m (min) (preferred)	Heritage buildings - 5m 6m for buildings within 5m of a heritage building (preferred)	Heritage buildings - 6m (preferred) Other buildings - 6m (preferred)
<b>Interface E</b> <span style="display: inline-block; width: 20px; height: 10px; background-color: #FFD700; border: 1px solid black;"></span>	-	Retain existing street wall for heritage buildings Other buildings - 11m (preferred)	-	Heritage buildings 6m (preferred) Other buildings - 3m (preferred)

# DDO42 – Bridge Road South (Precinct 2)

## Key changes



### Heights

The mandatory maximum building heights (18m) in the interim built form controls are appropriate and allows for upper-level 'shoptop' development that retains the heritage frontage and the front room. However, achieving this height will be dependent on lot characteristics, such as width, depth and access via a rear laneway.

### Street wall height and setbacks

In addition to the general revisions to street wall height and setbacks as outlined in Section 3, specific changes include:

- Apply Interface E — Side Street interface on side streets to encourage development on side streets. The current interim controls specify a mandatory upper level setback of 6 metres on the majority of side streets.
- Apply Interface A — Heritage (6m) interface on both frontages on corner of major cross streets where there is a heritage building. This includes:
  - South-east corner of Church Street and Bridge Road
  - South-west corner of Coppin Street and Bridge Road
  - South-east corner of Coppin Street and Bridge Road

### Boundary changes

- 01 Relocate the area east of Burnley Street to Precinct 4: Bridge Road East South on the basis of differing character, less heritage constraints or buildings and lot characteristics. These lots are more consistent with these to the east of Type Street. This will allow for a more coherent built form approach for both precincts.

# DDO43 – Bridge Road North (Precinct 3)

Building heights, street wall and upper level setbacks

## Interims



## Proposed



### Building heights

- 11m
- 15m
- 18m
- 24m
- 28m
- ⊗ Mandatory heights
- Heritage building on major corner (mandatory 6m upper level setback)

### Limited development potential

### Street wall height and setback interface ref

- A
- B
- C
- H
- I

Interface type	Interim Maximum Street Wall Height	Proposed Maximum Street Wall Height	Interim Minimum Upper Level Setback	Proposed Minimum Upper Level Setback
<b>Interface A</b>	Retain heritage frontage Other buildings - 11m max (Mandatory for Individually Significant heritage buildings or heritage streetscape) Preferred for contributory & non heritage buildings)	Retain existing street wall for heritage buildings Other buildings - 11m (max) & 8m (min) (Mandatory) Other buildings should match the parapet height of the adjoining heritage building, for a minimum length of 6m from the heritage building.	6m (Mandatory for Individually Significant heritage buildings or heritage streetscape) (Preferred for contributory & non heritage buildings)	6m (mandatory) For buildings taller than 15m, a 9m setback for the top most level (preferred).
<b>Interface B</b>	Retain heritage frontage Other buildings - 11m	Retain existing street wall for heritage buildings Other buildings - 11m (max) & 8m (min) (Mandatory)	13m (preferred)	13m (preferred)
<b>Interface C</b>	11m (preferred)	Retain existing street wall for heritage buildings Other buildings - 11m (max) & 8m (min) (preferred)	5m (preferred) 6m for buildings within 5m of a heritage building (preferred)	Heritage buildings - 6m (preferred) Other buildings - 6m (preferred)

# DDO43 – Bridge Road North (Precinct 3)

## Key changes

### Heights

- 01 Reduce heights from 18 to 15m on the former Richmond Police Station and the Richmond Town Hall to protect views to St Ignatius' and explicitly note the limited development potential of these sites.

### Street wall height and setbacks

In addition to the general revisions to street wall height and setbacks as outlined in Section 3, specific changes include:

- Apply Interface E — Side Street on side streets to encourage development on side streets. The current interim controls specify a mandatory upper level setback of 6 metres on the majority of side streets.
- Apply Interface C — Non-heritage consistently on Gleadell Street and Griffiths Street for a preferred, instead of mandatory, upper level setback of 6 metres. However, the 13m upper level setback should be retained for the former Metropolitan Gas Company Gas Inspector's Residence at 17 Gleadell Street.
- Apply Interface A — Heritage 6m interface on both frontages on corner of major cross streets where there is a heritage building. This includes:
  - North-east corner of Church Street and Bridge Road
  - North-east corner of Coppin Street and Bridge Road



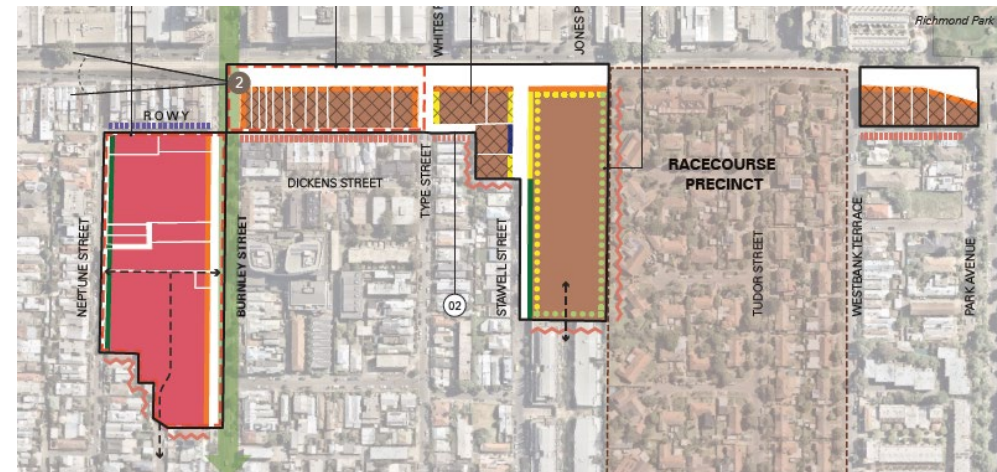
# DDO44 – Bridge Road East South (Precinct 4)

Building heights, street wall and upper level setbacks

## Interims



## Proposed



### Building heights

18m

21m

Mandatory heights

Heritage building on major corner  
(mandatory 6m upper level setback)

Street wall height and setback interface ref

A

C

E

F

H

H

I

2m landscape setback

6m landscape setback

NB - Residential interfaces are outlined in the report

Interface type	Interim Maximum Street Wall Height	Proposed Maximum Street Wall Height	Interim Upper Level Setback	Proposed Upper Level Setback
<b>Interface A</b>	Retain heritage frontage Other buildings - 11m max (Mandatory for Individually Significant heritage buildings or heritage streetscape) Preferred for contributory & non heritage buildings)	Retain existing street wall for heritage buildings Other buildings - 11m (max) & 8m (min) (Mandatory) Other buildings should match the parapet height of the adjoining heritage building, for a minimum length of 6m from the heritage building.	6m (Mandatory for Individually Significant heritage buildings or heritage streetscape) (Preferred for contributory & non heritage buildings)	6m (mandatory) For buildings taller than 15m, a 9m setback for the top most level (preferred).
<b>Interface C</b>	11m (preferred)	Retain existing street wall for heritage buildings Other buildings - 11m (max) & 8m (min) (Preferred)	5m (preferred) 6m for buildings within 5m of a heritage building (preferred)	Heritage buildings - 6m (preferred) Other buildings - 6m (preferred)
<b>Interface E</b>	-	Retain existing street wall for heritage buildings Other buildings - 11m (max) (preferred)	-	Heritage buildings 6m (preferred) Other buildings - 3m (preferred)
<b>Interface F</b>	8m (preferred)	8m (preferred)	5m (preferred) 6m for buildings within 5m of a heritage building (preferred)	4.5m (preferred)

# DDO44 – Bridge Road East South (Precinct 4)

## Key changes

### Heights

- 01 Reduce heights between Type Street and Stawell Street from 21m to 18m. This will ensure a consistent approach is undertaken in relation to fine-grain lots along the Bridge Road frontage and help ensure the visual prominence of the former Flour Mill & Grain Store Complex as a local landmark.

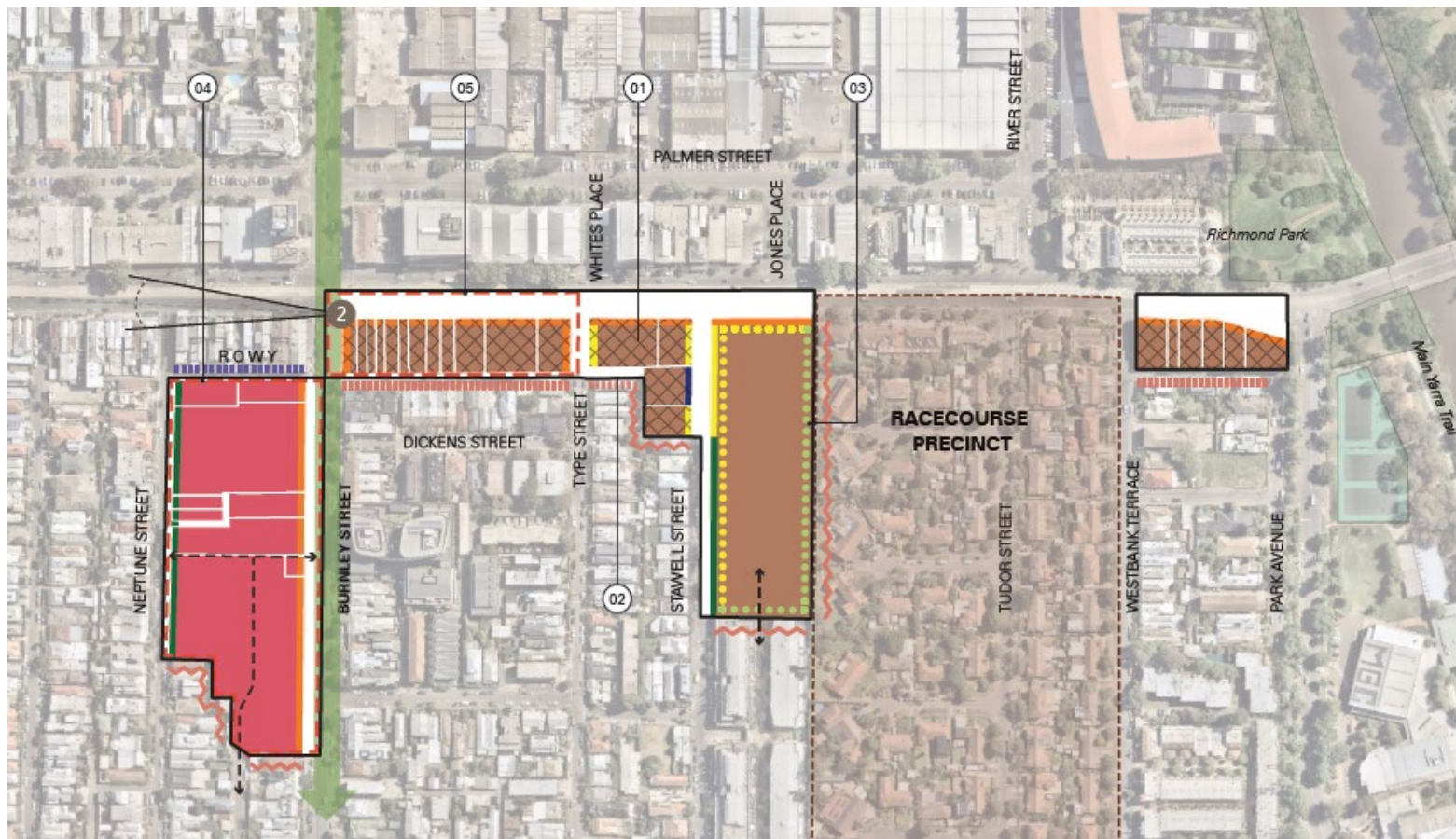
### Street wall height and setbacks

In addition to the general revisions to street wall height and setbacks as outlined in Section 3, specific changes include:

- 02 Retain the existing private right-of-way and apply the non-residential laneway interface.
- 03 — Apply a ground level setback of 6 metres on the eastern and southern boundary of the Officeworks site to provide for a landscape buffer to the Racecourse Precinct to the east and the existing lower scale apartment development to the south.  
— Apply a ground level setback of 2 metres on the western and northern boundary of the Officeworks site to ensure retention of trees.

### Boundary changes

- 04 Include the area in the Commercial 2 Zone currently outside the interim DDO to the south-west of Burnley Street as this area contains very large sites with high development potential.
- 05 Include the area east of Burnley Street from Precinct 2: Bridge Road South provide for a more coherent built form approach for both precincts.





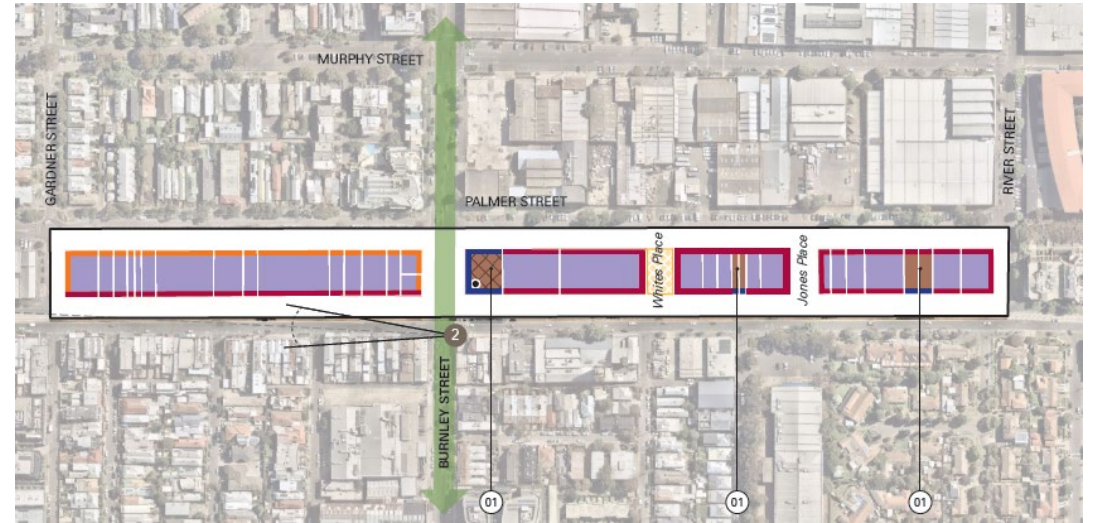
# DDO45 – Bridge Road East North (Precinct 5)

Building heights, street wall and upper level setbacks

Interims



Proposed



**Building heights**

- 18m
- 28m
- Heritage building on major corner (mandatory 6m upper level setback)

**Street wall height and setback interface ref**

- A
- C
- D

Interface type	Interim Maximum Street Wall Height	Proposed Maximum Street Wall Height	Interim Minimum Upper Level Setback	Proposed Minimum Upper Level Setback
<b>Interface A</b> <span style="display: inline-block; width: 20px; height: 10px; background-color: #00008B; border: 1px solid black;"></span>	Retain heritage frontage Other buildings - 11m max (Mandatory for Individually Significant heritage buildings or heritage streetscape) Preferred for contributory & non heritage buildings)	Retain existing street wall for heritage buildings Other buildings - 11m (max) & 8m (min) (Mandatory) Other buildings should match the parapet height of the adjoining heritage building, for a minimum length of 6m from the heritage building.	6m (Mandatory for Individually Significant heritage buildings or heritage streetscape) (Preferred for contributory & non heritage buildings)	6m (mandatory) For buildings taller than 15m, a 9m setback for the top most level (preferred).
<b>Interface C</b> <span style="display: inline-block; width: 20px; height: 10px; background-color: #FF8C00; border: 1px solid black;"></span>	11m (preferred)	Retain existing street wall for heritage buildings Other buildings - 11m (max) & 8m (min) (preferred)	5m (preferred) 6m for buildings within 5m of a heritage building (preferred)	Heritage buildings - 6m (preferred) Other buildings - 6m (preferred)
<b>Interface D</b> <span style="display: inline-block; width: 20px; height: 10px; background-color: #DC143C; border: 1px solid black;"></span>	15m (preferred)	15m (preferred)	5m (preferred) 6m for buildings within 5m of a heritage building (preferred)	4.5m (preferred)

# DDO45 – Bridge Road East North (Precinct 5)

## Key changes

### Heights

- ① Reduce heights from 28m to 18m to preserve the integrity of heritage buildings at:
  - Royal Oak Hotel, 529-533 Bridge Road (HO529)
  - 130 Palmer Street and 635-639 Bridge Road (HO310)

### Building separation

Buildings greater than 21m in height will be required to provide full separation above the street wall to provide clear views to the sky between taller buildings. This will require lots to be sufficiently wide enough to provide 4.5m separation the common boundary with a feasible floorplate width and depth.

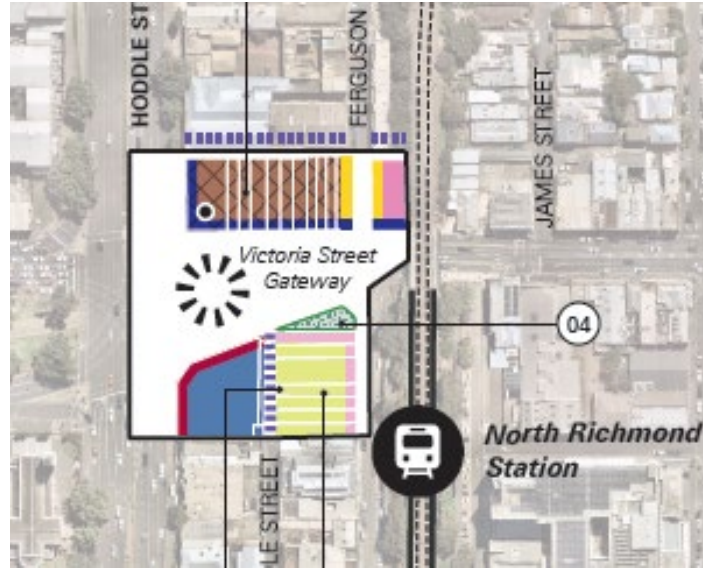
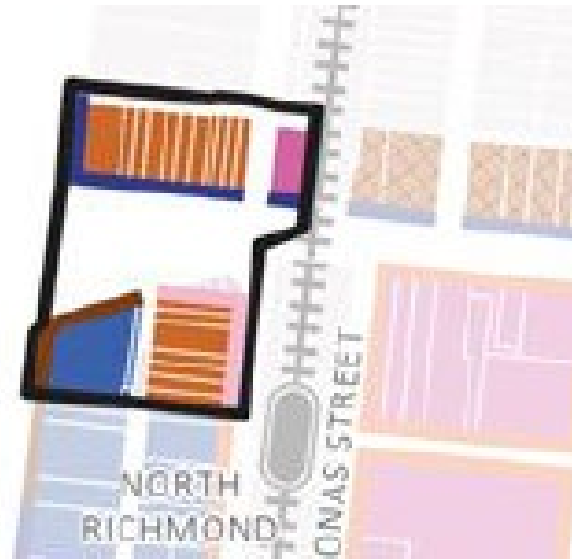


# DDO46 – Victoria Street West (Precinct 1)

Building heights, street wall and upper level setbacks

Interims

Proposed



NB – Mandatory heights apply to 2-14 Regent Street.

**Building heights**

- 11m
- 18m
- 24m
- 34m
- Mandatory heights

● Heritage building on major corner (mandatory 6m upper level setback)

Street wall height and setback interface ref

- A
- D
- E
- G
- I

NB - Residential interfaces are outlined in the report

Interface type	Interim Maximum Street Wall Height	Proposed Maximum Street Wall Height
<b>Interface A</b>	Retain heritage frontage Other buildings - 11m max (Mandatory for Individually Significant heritage buildings) Preferred for contributory & non heritage buildings)	Retain existing street wall for heritage buildings Other buildings - 11m (max) & 8m (min) (Mandatory) Other buildings should match the parapet height of the adjoining heritage building, for a minimum length of 6m from the heritage building.
<b>Interface D</b>	15m (preferred)	15m (preferred)
<b>Interface E</b>	-	Retain existing street wall for heritage buildings Other buildings - 11m (max) (preferred)
<b>Interface G</b>	Retain heritage frontage Other building - 5m (preferred)	Retain existing street wall for heritage buildings (mandatory) Other buildings - should match the parapet height of the adjoining heritage building

Interface type	Interim Minimum Upper Level Setback	Proposed Minimum Upper Level Setback
<b>Interface A</b>	6m (Mandatory for Individually Significant heritage buildings or heritage streetscape) (Preferred for contributory & non heritage buildings)	6m (mandatory) For buildings taller than 15m, a 9m setback for the top most level (preferred).
<b>Interface D</b>	3m (preferred) 6m for buildings within 5m of a heritage building (preferred)	4.5m (preferred)
<b>Interface E</b>	-	Heritage buildings 6m (preferred) Other buildings - 3m (preferred)
<b>Interface G</b>	6m (mandatory)	Heritage buildings - 7m (mandatory) Other buildings - 7m (preferred)

# DDO46 – Victoria Street West (Precinct 1)

## Key changes

### Heights

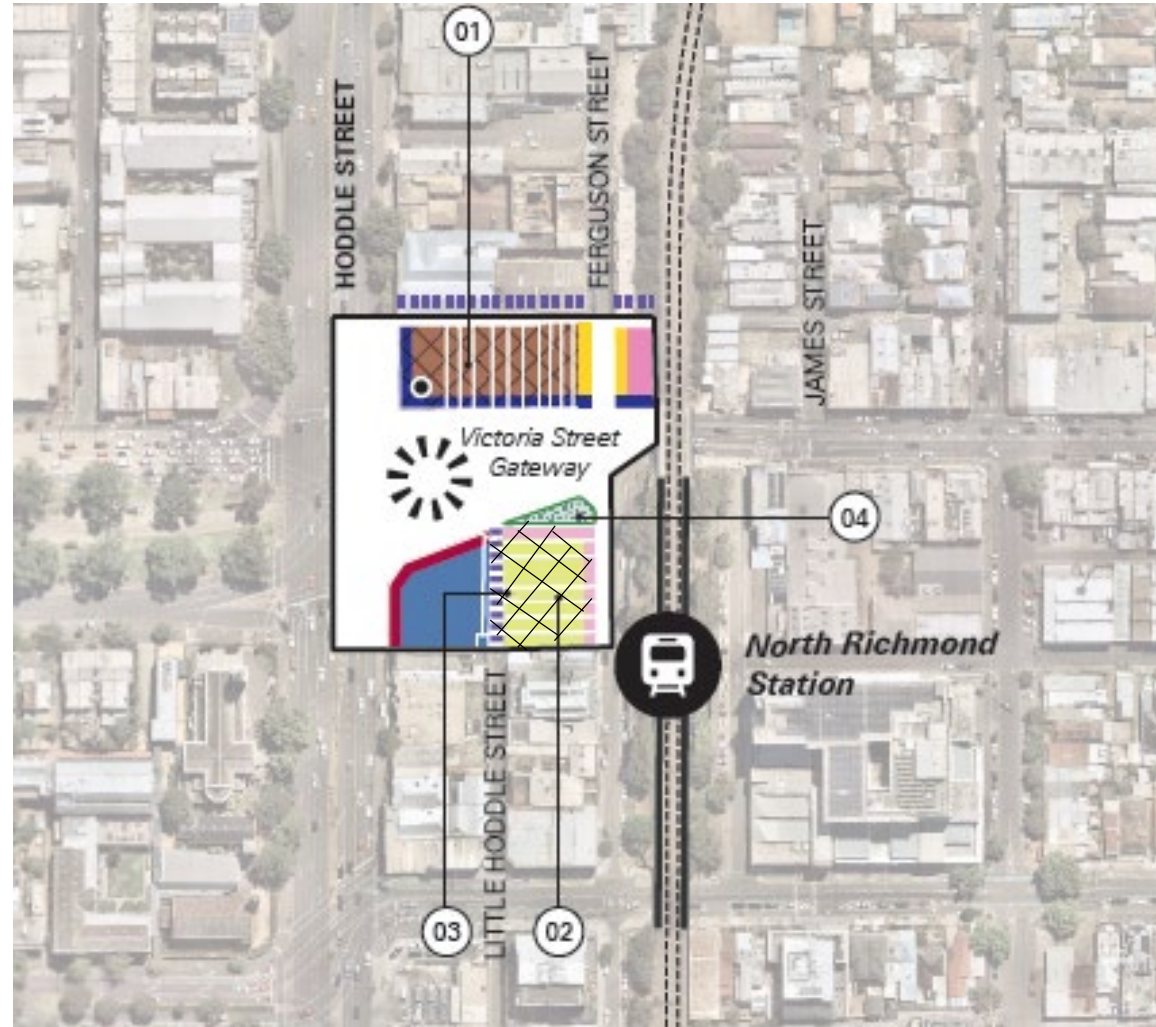
- ① Apply mandatory heights at 231-251 Bridge Road to preserve the integrity of the intact heritage buildings and streetscape on this north-east corner of Hoddle Street and Victoria Street.
- ② Reduce heights on Regent Street from 18m to 11m to preserve the integrity of single storey heritage buildings at 2-4 Regent Street (HO399) & 10-16 Regent St (HO400)

NB – The proposed DDO applies mandatory heights apply to 2-14 Regent Street to respond to the heritage significance of the buildings.

### Street wall height and setbacks

In addition to the general revisions to street wall height and setbacks as outlined in Section 3, specific changes include:

- Apply Interface E — Side Street on Ferguson Street. The current interim controls do not specify any requirements along this street, which potentially compromise the integrity of the heritage buildings on the north-east corner of Ferguson Street.



# DDO47 – Victoria Street Central (Precinct 2)

Building heights, street wall and upper level setbacks

Interims



Proposed



**Building heights**

- 11m
- 16m
- 18m
- 24m
- Mandatory heights

● Heritage building on major corner (mandatory 6m upper level setback)

Street wall height and setback interface ref

- A
- C
- E
- H
- H
- I

Interface type	Interim Maximum Street Wall Height	Proposed Maximum Street Wall Height	Interim Minimum Upper Level Setback	Proposed Minimum Upper Level Setback
<b>Interface A</b> —	Retain heritage frontage Other buildings - 11m max (Mandatory for Individually Significant heritage buildings or heritage streetscape) Preferred for contributory & non heritage buildings)	Retain existing street wall for heritage buildings Other buildings - 11m (max) & 8m (min) (Mandatory) Other buildings should match the parapet height of the adjoining heritage building, for a minimum length of 6m from the heritage building.	6m (Mandatory for Individually Significant heritage buildings or heritage streetscape) (Preferred for contributory & non heritage buildings)	6m (mandatory) For buildings taller than 15m, a 9m setback for the top most level (preferred).
<b>Interface C</b> —	11m (preferred)	Retain existing street wall for heritage buildings Other buildings - 11m (max) & 8m (min) (preferred)	Heritage buildings - 5m 6m for buildings within 5m of a heritage building (preferred)	Heritage buildings - 6m (preferred) Other buildings - 6m (preferred)
<b>Interface E</b> —	-	Retain existing street wall for heritage buildings Other buildings - 11m (max) (preferred)	-	Heritage buildings 6m (preferred) Other buildings - 3m (preferred)

NB - Residential interfaces are outlined in the report

# DDO47 – Victoria Street Central (Precinct 2)

## Key changes

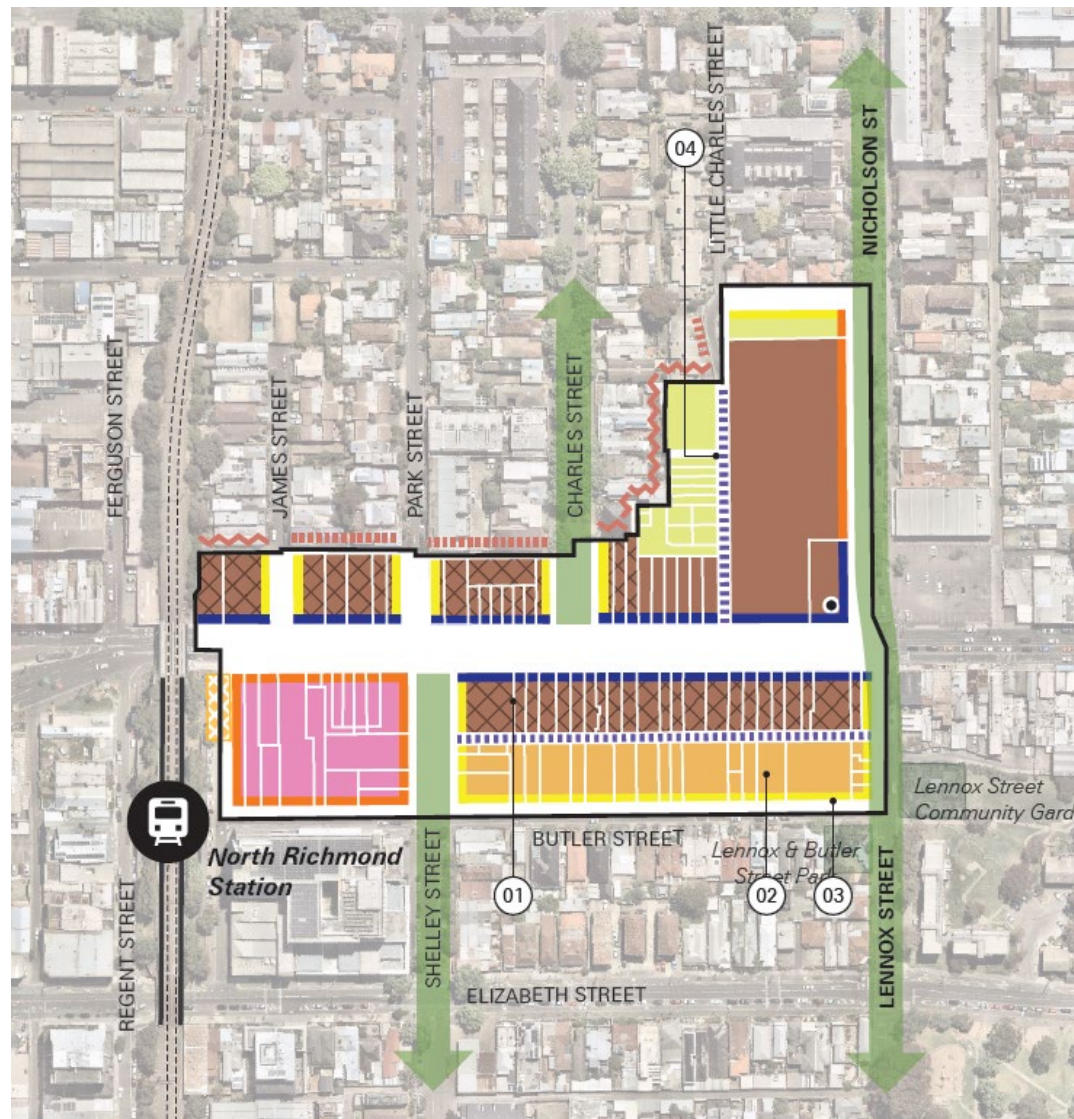
### Heights

- 01 Apply mandatory height controls to lots affected by HO408 (between Shelley Street and Lennox Street).

### Street wall height and setbacks

In addition to the general revisions to street wall height and setbacks as outlined in Section 3, specific changes include:

- Applying Interface E — Side Street on side streets.
  - Clarifying locations where there is a residential interface (direct abuttal or laneway).
  - Clarifying locations where there is a non-residential laneway interface (i.e. Little Charles Street and Little Butler Street).
- 02 Apply Interface E — Side Street on Butler Street to support lower mid-rise development of up to 4 storeys in response to lot constraints (i.e. shallow lot depth of 25m).
  - 03 Apply Interface H — Non-residential laneway on Little Charles Street to align with existing conditions and role of Little Charles Street as a service laneway. It should be noted, the eastern interface is already defined by recent development, whereas the western interface is largely built to the boundary and contains warehouses and commercial buildings.



# DDO48 – North Richmond Station (Precinct 3)

Building heights, street wall and upper level setbacks

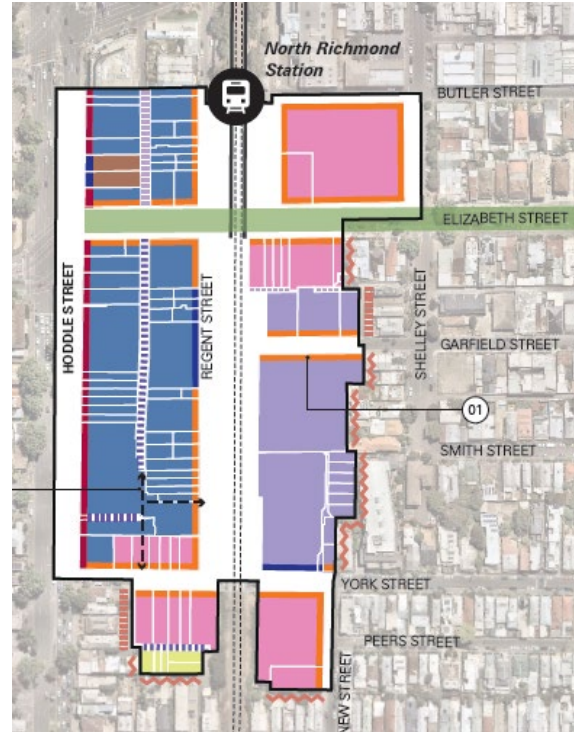
Interims



**Building heights**

- 11m
- 24m
- 28m
- 34m
- Mandatory heights
- Heritage building on major corner (mandatory 6m upper level setback)

Proposed



**Street wall height and setback interface ref**

- A
- C
- D
- H
- H
- I

NB - Residential interfaces are outlined in the report

Interface type	Interim Maximum Street Wall Height	Proposed Maximum Street Wall Height
<b>Interface A</b> <span style="display: inline-block; width: 15px; height: 15px; background-color: blue; border: 1px solid black;"></span>	Retain heritage frontage Other buildings - 11m max (Mandatory for Individually Significant heritage buildings or heritage streetscape) Preferred for contributory & non heritage buildings)	Retain existing street wall for heritage buildings Other buildings - 11m (max) & 8m (min) (Mandatory) Other buildings should match the parapet height of the adjoining heritage building, for a minimum length of 6m from the heritage building.
<b>Interface C</b> <span style="display: inline-block; width: 15px; height: 15px; background-color: orange; border: 1px solid black;"></span>	11m (preferred)	Retain existing street wall for heritage buildings Other buildings - 11m (max) & 8m (min) (Mandatory)
<b>Interface D</b> <span style="display: inline-block; width: 15px; height: 15px; background-color: red; border: 1px solid black;"></span>	15m (preferred)	15m (preferred)

Interface type	Interim Upper Level Setback	Proposed Upper Level Setback
<b>Interface A</b> <span style="display: inline-block; width: 15px; height: 15px; background-color: blue; border: 1px solid black;"></span>	6m (Mandatory for Individually Significant heritage buildings) (Preferred for contributory & non heritage buildings)	6m (mandatory) For buildings taller than 15m, a 9m setback for the top most level (preferred).
<b>Interface C</b> <span style="display: inline-block; width: 15px; height: 15px; background-color: orange; border: 1px solid black;"></span>	5m (preferred) 6m for buildings within 5m of a heritage building (preferred)	Heritage buildings - 6m (preferred) Other buildings - 6m (preferred)
<b>Interface D</b> <span style="display: inline-block; width: 15px; height: 15px; background-color: red; border: 1px solid black;"></span>	3m (preferred) 6m for buildings within 5m of a heritage building (preferred)	4.5m (preferred)

# DDO48 – North Richmond Station (Precinct 3)

## Key changes

### Heights

No changes in height are proposed for this precinct as current heights will support a new mid-rise character along the corridor while lower heights combined with residential interface requirements will ensure a transition is provided to lower scale residential areas to the south and east.

### Street wall height and setbacks

In addition to the general revisions to street wall height and setbacks as outlined in Section 3, specific changes include:

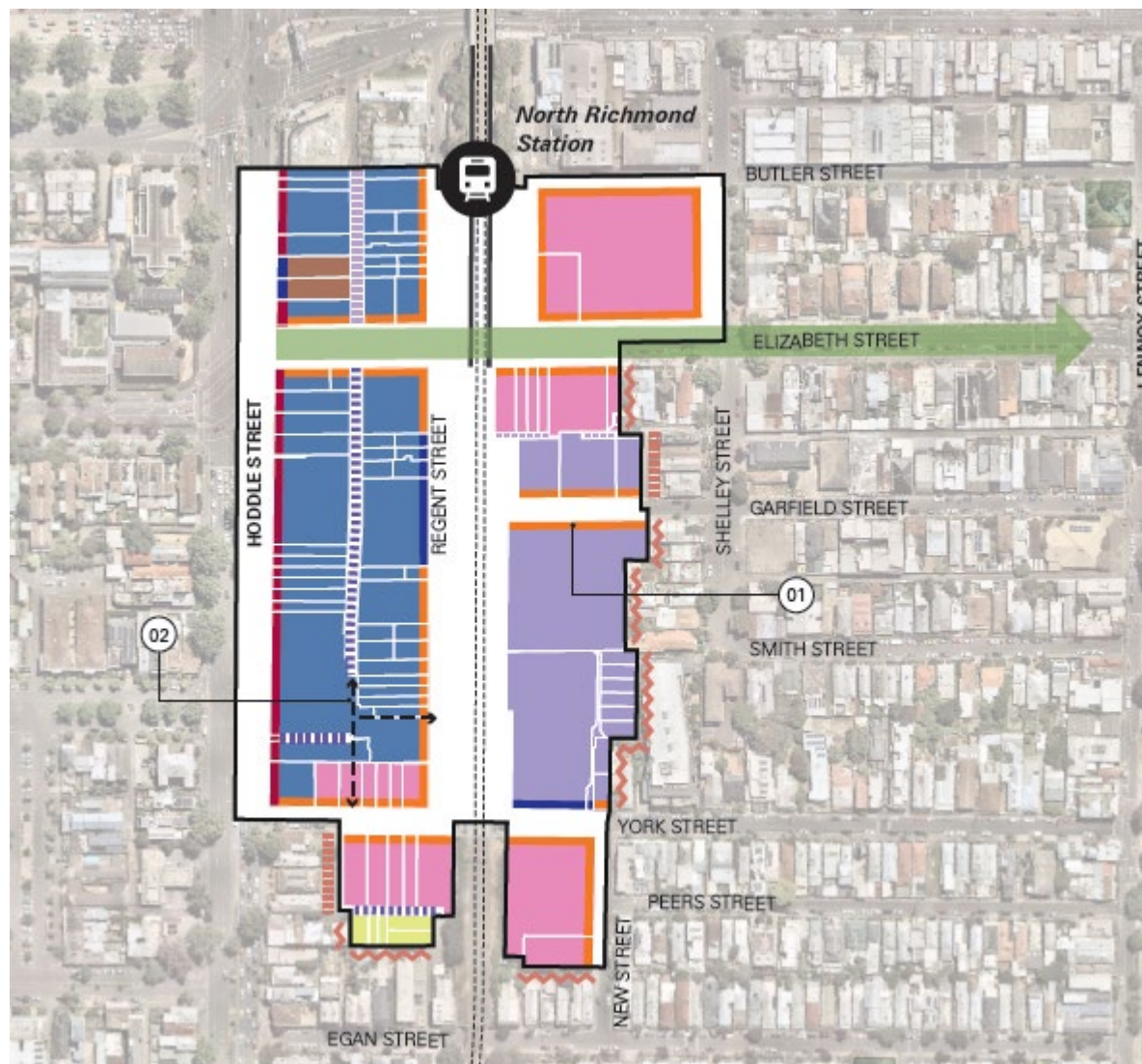
- Clarifying locations where there is a residential interface (direct abuttal or laneway).
  - Clarifying locations where there is a non-residential laneway interface (i.e. Little Hoddle Street)
- 01 Apply Interface A along Garfield Street, placing the mandatory upper level setback requirement as the heritage building at 14 Garfield Street (Marchants Pty Ltd stables) have been demolished through recent development.

### Building separation

Buildings greater than 21m in height will be required to provide full separation above the street wall to provide clear views to the sky between taller buildings. This will require lots to be sufficiently wide enough to provide 4.5m separation the common boundary with a feasible floor plate width and depth.

### Pedestrian permeability

- 02 Future development at 67 Hoddle Street (Childcare) and 71 Regent Street should retain and enhance the existing informal pedestrian connection between Hoddle Street, Little Hoddle Street and Regent Street.



NB - Reduced height from 28 to 18m to preserve the integrity of heritage buildings at 25 and 27-29 Hoddle Street



# DDO49 – Victoria Street East (Precinct 4)

Building heights, street wall and upper level setbacks

## Interims



### Building heights

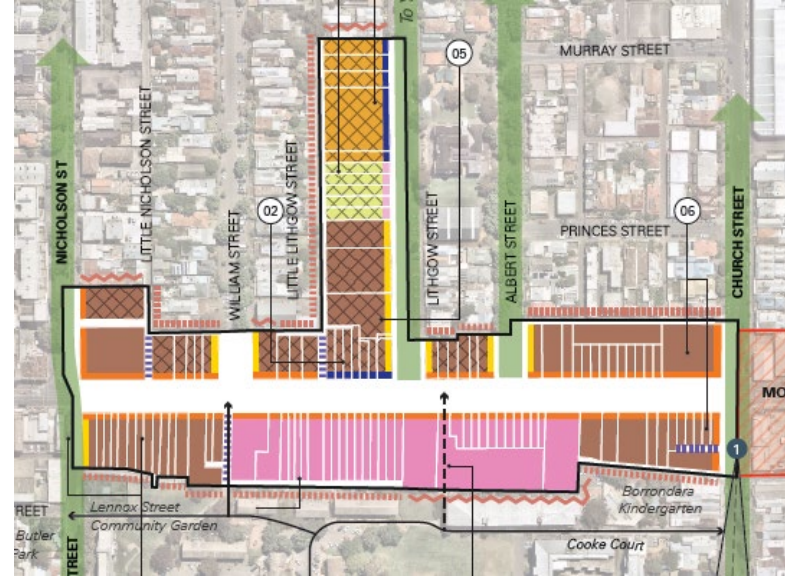
- 11m
- 15m
- 18m
- 24m
- Mandatory heights

### Street wall height and setback interface ref

- A
- C
- E
- H
- H
- I

NB - Residential interfaces are outlined in the report

## Proposed



Interface type	Interim Maximum Street Wall Height	Proposed Maximum Street Wall Height	Interim Minimum Upper Level Setback	Proposed Minimum Upper Level Setback
<b>Interface A</b>	Retain heritage frontage Other buildings - 11m max (Mandatory for Individually Significant heritage buildings or heritage streetscape) Preferred for contributory & non heritage buildings)	Retain existing street wall for heritage buildings Other buildings - 11m (max) & 8m (min) (Mandatory) Other buildings should match the parapet height of the adjoining heritage building, for a minimum length of 6m from the heritage building.	6m (Mandatory for Individually Significant heritage buildings or heritage streetscape) (Preferred for contributory & non heritage buildings)	6m (mandatory) For buildings taller than 15m, a 9m setback for the top most level (preferred).
<b>Interface C</b>	11m (preferred)	Retain existing street wall for heritage buildings Other buildings - 11m (max) & 8m (min) (preferred)	5m 6m for buildings within 5m of a heritage building (preferred)	Heritage buildings - 6m (preferred) Other buildings - 6m (preferred)
<b>Interface E</b>	-	Retain existing street wall for heritage buildings Other buildings - 11m (max)	-	Heritage buildings 6m (preferred) Other buildings - 3m (preferred)

# DDO49 – Victoria Street East (Precinct 4)

## Key changes

### Heights

- 01 Reduce heights on Victoria Street between Lennox Street and the existing laneway (Post Office Walk) from 24m to 18m and reduce overshadowing to the Lennox Street Community Garden from overshadowing.
- 02 Height reduction and application of mandatory height controls to lots fronting Victoria Street between Little Lithgow Street and Lithgow Street which are primarily occupied by heritage buildings (HO58 and HO59).
- 03 Reduce heights from 18m to 11m at 25-33 Lithgow Street to preserve the integrity of the narrow row of heritage buildings. The single storey houses at 25-33 Lithgow Street will be visually dominated if development above 11m was to occur within their property boundaries.
- 04 Reduce heights from 18m to 15m at the former Cordial Factory (35-47 Lithgow Street) will protect the visual prominence of the former Cordial Factory and provide for an appropriate transition to surrounding single and two-storey scale heritage places (HO28 and HO339).
- 05 Reduce heights from 24m to 18m between Little Lithgow Street and Lithgow Street to provide an appropriate transition to lower scale residential areas zoned.
- 06 Reduce heights from 24m to 18m to provide a consistent built form outcome to all corners within the precinct, and to reflect a realistic achievable height on comparatively shallow sites.

### Street wall height and setbacks

In addition to the general revisions to street wall height and setbacks as outlined in Section 3, specific changes include:

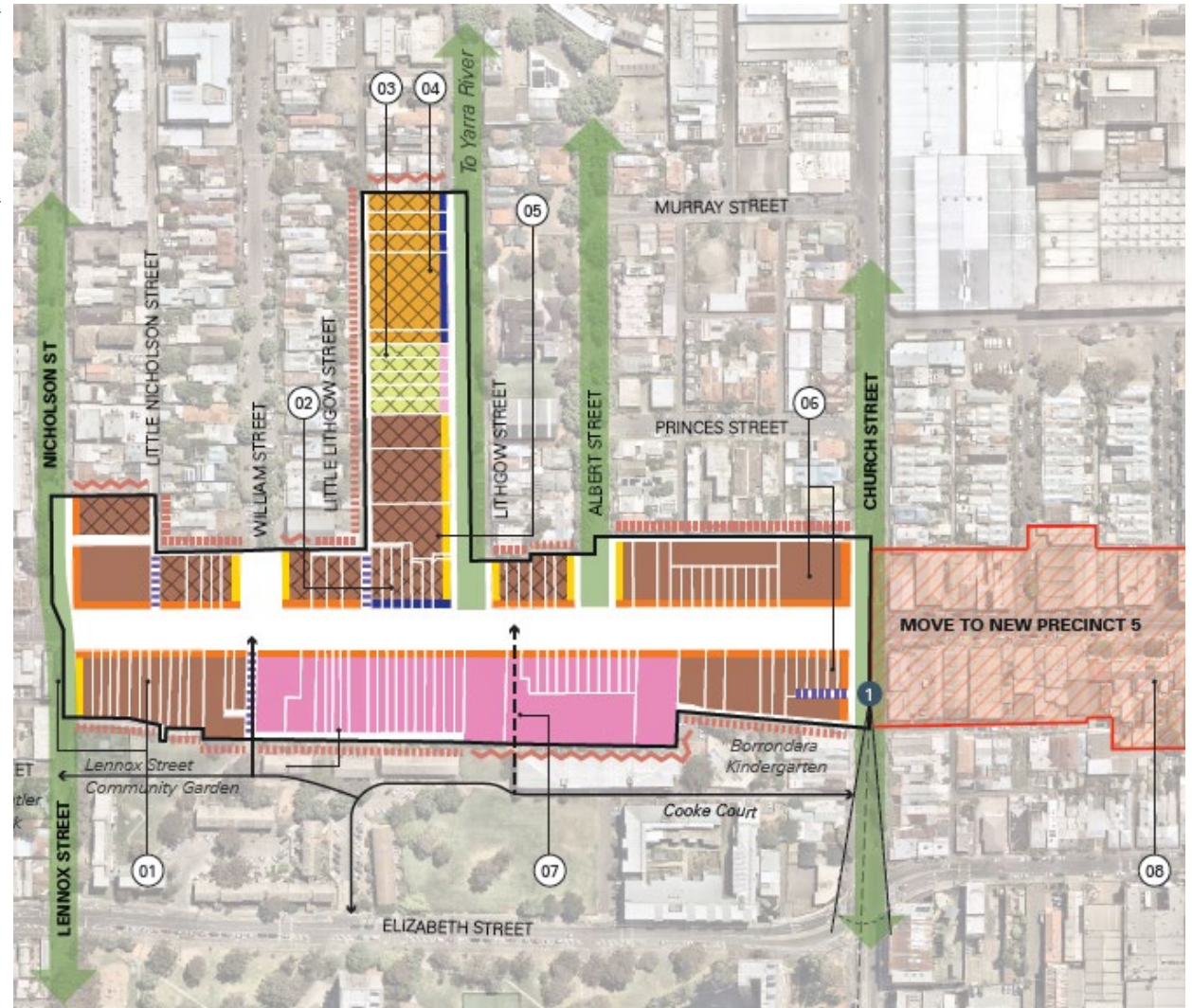
- Apply Interface E — Side Street on side streets.
  - Clarifying locations where there is a residential interface (direct abuttal or laneway).
  - Clarifying locations where there is a non-residential laneway interface (i.e. section of Little Lithgow Street)
- 07 Future development at 218-242 Victoria Street through potential consolidation should provide a high quality north-south pedestrian connection from Victoria Street to Elizabeth Street. The provision of this new connection could be exchanged for greater height.

### Building separation

Buildings greater than 21m in height will be required to provide full separation above the street wall to provide clear views to the sky between taller buildings. This will require lots to be sufficiently wide enough to provide 4.5m separation the common boundary with a feasible floor plate width and depth.

### Boundary changes

- 08 Relocate the area east of Church Street into a new precinct (Precinct 5: Victoria Street End) on the basis of differing character, development opportunities and lot characteristics. This will allow for a coherent built form approach that responds to the distinctly different contexts to each side of Church Street.



# DDO50 – Victoria Street End (Precinct 5)

Building heights, street wall and upper level setbacks

Interims



Proposed



## Building heights

- 15m
- 18m
- 21m
- 24m
- Mandatory heights
- Heritage building on major corner (mandatory 6m upper level setback)

Street wall height and setback interface ref

- A
- C
- D
- E
- F
- H
- H
- I

Interface type	Interim Maximum Street Wall Height	Proposed Maximum Street Wall Height	Interim Minimum Upper Level Setback	Proposed Minimum Upper Level Setback
<b>Interface A</b> <span style="display: inline-block; width: 15px; height: 2px; background-color: #000080; border: 1px solid black;"></span>	Retain heritage frontage Other buildings - 11m max (Mandatory for Individually Significant heritage buildings or heritage streetscape) Preferred for contributory & non heritage buildings	Retain existing street wall for heritage buildings Other buildings - 11m (max) & 8m (min) (Mandatory) Other buildings should match the parapet height of the adjoining heritage building, for a minimum length of 6m from the heritage building.	6m (Mandatory for Individually Significant heritage buildings or heritage streetscape) (Preferred for contributory & non heritage buildings)	6m (mandatory) For buildings taller than 15m, a 9m setback for the top most level (preferred).
<b>Interface C</b> <span style="display: inline-block; width: 15px; height: 2px; background-color: #FF4500; border: 1px solid black;"></span>	11m (preferred)	Retain existing street wall for heritage buildings Other buildings - 11m (max) & 8m (min) (preferred)	5m (preferred) 6m for buildings within 5m of a heritage building (preferred)	Heritage buildings - 6m (preferred) Other buildings - 6m (preferred)
<b>Interface D</b> <span style="display: inline-block; width: 15px; height: 2px; background-color: #FF0000; border: 1px solid black;"></span>	15m (preferred)	15m (preferred)	3m (preferred) 6m for buildings within 5m of a heritage building (preferred)	4.5m (preferred)
<b>Interface E</b> <span style="display: inline-block; width: 15px; height: 2px; background-color: #FFD700; border: 1px solid black;"></span>	-	Retain existing street wall for heritage buildings Other buildings - 11m (max) (preferred)	-	Heritage buildings 6m (preferred) Other buildings - 3m (preferred)
<b>Interface F</b> <span style="display: inline-block; width: 15px; height: 2px; background-color: #008000; border: 1px solid black;"></span>	8m (preferred)	8m (preferred)	4m (preferred)	4.5m (preferred)

NB - Residential interfaces are outlined in the report

# DDO50 – Victoria Street End (Precinct 5)

## Key changes

### Heights

- 01 Reduce heights from 24m to 18m on the northern side of Victoria Street between Church Street and Thompson Street to provide an appropriate transition to lower scale residential areas affected by HO32 to the north with regard to visual bulk and scale.
- 02 Reduce heights from 24m to 18m on lots the southern side of Victoria Street with a frontage to Eureka Street to ensure sunlight access is provided to frontyards and windows of residential properties on Eureka Street.
- 03 Reduce heights from 24m to 15m at 316-326 Victoria Street to preserve the integrity of heritage buildings.
- 04 Reduce heights from 24m to 21m on the southern side of Victoria Street from 328 Victoria Street to Johnston Street in response to shallow lot depths and residential interfaces.
- 04 Reduce heights from 24m to 21m to preserve the integrity of the heritage building at 488-496 Victoria Street.

### Street wall height and setbacks

In addition to the general revisions to street wall height and setbacks as outlined in Section 3, specific changes include:

- Apply Interface E — Side Street to side streets.
- Clarifying locations where there is a residential interface (direct abuttal or laneway).
- Clarifying locations where there is a non-residential laneway interface.

