

## Attachment 1 - PLN16/0434 - 26 - 52 Queens Parade Fitzroy North - Planning Permit

Helping you understand your planning needs



## PLANNING PERMIT

Permit No: PLN16/0434  
 Planning Scheme: Yarra  
 Responsible Authority: City Of Yarra

(COPY)

### ADDRESS OF THE LAND:

26-52 Queens Pde Fitzroy North VIC 3068

### THE PERMIT ALLOWS:

In accordance with the endorsed plans:

- Construction of two or more dwellings on a lot in a 10-storey building plus two basements in the *Mixed Use Zone* under clause 32.04-6
- Use of part of the land for the sale and consumption of liquor (on-premises) under clause 52.27
- Partial demolition or removal of a building in a *Heritage Overlay* under clause 43.01-1
- Construction of a building or construction or carrying out of works in a *Heritage Overlay* under clause 43.01-2
- Reduction of the car parking requirements under clause 52.06-2
- Alteration of access to a road in Road Zone Category 1 under clause 52.29

### THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

#### Amended plans

- 1 Before the development commences, amended plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plans will be endorsed and will then form part of this permit. The plans must be drawn to scale with dimensions, and three copies must be provided. The plans must be generally in accordance with the plans substituted by the Victorian Civil and Administrative Tribunal by its order dated 26 October 2017 in Proceeding P2709/2016 but modified in accordance with the plans prepared by Cox Architecture drawings nos. A-21-08 rev 2, A-21-09 rev 2, A-21-10 rev 8, A-21-11 rev 8, A-21-12 rev 8, A-21-13 rev 3, A-21-14 rev 2, A-21-15 rev 2, A-21-16 rev 2, A-21-17 rev 2, A-21-18 rev 2, A-21-19 rev 2, A-21-20 rev 2, A-30-01 rev 2, A-30-02 rev 2, A-30-

Date: 06 July 2018

Mary Osman  
 Signature for the Responsible Authority

Planning and Environment Regulations 2015 No. 33/2015 Form 4 Sections 63, 64 64A and 86

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03 rev 2, A-30-04 rev 2, A-30-05 rev 2, A-30-06 rev 2, A-30-07 rev 2, A-30-08 rev 2, A-30-09 rev 2, A-40-10 rev 2, A-40-11 rev 2, A-61-29 rev 1, A-61-31 rev 1, A-61-32 rev 1, A-61-40 rev 1, all dated 21 February 2018 and drawing nos. A-SK-08 rev 2 dated 24 May 2018, A-SK-11 rev 1 dated 30 May 2018, A-SK-07 rev 2 dated 24 May 2018, A-SK-09 rev 2 dated 30 May 2018 & A-SK-10 rev 1 dated 30 May 2018 but further modified to show:

*Demolition*

- (a) Demolition plans and elevations.

*Notations of towers*

- (b) The tower behind the decorative heritage façade notated as 'tower 1', the tower above the restaurant notated as 'tower 2', and the tower above the basement entry notated as 'tower 3'.

*Notation of bays in heritage façade*

- (c) Each of the bays in the decorative heritage façade notated as 'Bay 1' (at the south-west end of the facade) to 'Bay 9' (at the north-east end of the facade).

*Survey information regarding heights*

- (d) Survey information included on all elevations to confirm that the following:
  - (i) overall building height does not exceed 31m; and
  - (ii) the new façade height to Queens Parade (podium element) does not exceed 10m.

*Services details*

- (e) Details of the vehicular entrance door, fire booster cupboards and services.

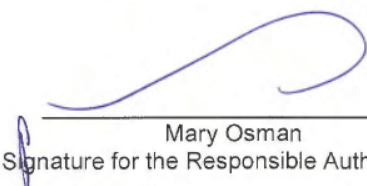
*Heritage façade – Bay 9 and its pilasters*

- (f) Retention of the entire Bay 9 façade, including the upper level window and the two narrow, full-height pilasters on either side of the Bay (four in total), but excluding the part for the new lower level window opening.

*Heritage façade fenestration*

- (g) If required to be openable, the windows must use traditional steel framed systems including only hopper, awning, or pivot sash arrangements.
- (h) The elevation in drawing no. A-61-29 rev 1 to match section D as shown in drawing no. A-61-32 rev 1.
- (i) The new lower level opening in Bay 9 matching in height and width with the other new ground floor openings.

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*Air conditioning units*

- (j) The location of air conditioner units on balconies (where applicable), along with balustrade details to confirm they will be reasonably screened (ie not clear glass).

*Pedestrian link*

- (k) The pedestrian link to the laneway behind Coleman Street with a minimum width of 4 metres and relocated to between townhouses 8 & 10.

*Undercrofts*

- (l) The ground floor undercrofts beneath tower 1 and between towers 2 & 3 with unobstructed floor to ceiling heights of no less than 3.8 metres, and any consequential changes to ground floor, including external paths, ramps and stairs, and overall building height.

*Consistency with landscape plan*

- (m) Any changes to ensure consistency with the approved landscape plans.

*Bedroom dimensions*

- (n) Each bedroom with either minimum dimensions of 3 metres by 3 metres or a minimum area of 9 square metres provided one side of a rectangle that fits in the bedroom is no less than 2.8 metres. Each change to the dimensions or area of a bedroom must be absorbed within the building envelope.

*Restaurant seating*

- (o) Details of how the seating area south of the restaurant will be illuminated and secured when the restaurant is not open.

*Planter at deli/shop entrance*

- (p) Deletion of the planter south of the deli/shop entrance.

*Bicycle park*

- (q) Details of the bicycle park west of the deli/shop, confirming the path would not be unreasonably impeded when in use.


*Gated entries*

- (r) The gates at the secure entries off Queens Parade with a maximum height of 2.1 metres. The gates to the lane off Coleman Street and to the lane off Brunswick Street must match the height of adjoining fences and must be at least 75% visually transparent.

*Bicycle storage door*

- (s) A door to the bicycle storage area at the ground floor of building.

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*Boundary dimensions*

- (t) Boundary dimensions consistent with the dimensions in the certificate(s) of titles.

*Apartment C10201*

- (u) The deletion of apartment C10201 and consequential changes to the adjoining passage and consequential optional provision of additional terrace for one or both of adjoining apartments C10205 & C10202 provided the terrace is at least 3 metres from 24 Queens Parade and consequential optional deletion of the terrace on the south side of two of the apartment C10205 bedrooms and consequential internal re-arrangement of that apartment.

*Café*

- (v) The café as a 'food and drinks premises (café)'.

*Screening*

- (w) Screening to habitable room windows, balcony or terrace to address internal and external overlooking within a 9 m radius and 45 degree arc of an adjacent habitable room windows or private open space area to the satisfaction of the Responsible Authority, including the proposed townhouses at rear of 26-56 Queens Parade. Screens must be designed and/or of a material to minimise views and still permit reasonable daylight to enter the treated dwellings and must also provide a variety of heights and treatments to create visual interest.

*Materials*

- (x) A schedule of external colours and materials, including samples (where appropriate). The schedule must show:
  - (i) A durable finish to timber.
  - (ii) Minimisation of the visibility of the upstand behind the heritage façade glazing and the paint colour chosen accordingly.
  - (iii) Construction of the eastern return wall of bay 9 to match the heritage façade in either brickwork or, if investigation of the original façade brickwork results in the retention of a painted render finish to the façade, a painted render finish or similar to match the main façade.
  - (iv) Details of the plant level screens, to be integrated with the overall design of the building.
  - (v) Exterior glazing to the building to achieve a VLT of at least 70%.


*Coloured elevations*

- (y) Coloured elevations and perspectives.

*Internal amenity*

- (z) Extension of the living room in apartment C30207 to the balcony edge to increase daylight to the apartment.

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*Lighting*

(aa) A lighting plan addressing all entries and public spaces within the development.

*Footpath edging*

(bb) Sections detailing the edging detail between the footpath and the front setbacks to the site.

*Communal areas access*

(cc) A notation confirming all residents will have access to both the level 8 tower 1 communal area and the ground level tower 2 communal areas.

*Landscape plan*

(dd) A modified landscape plan generally in accordance with the landscape plan prepared by Jack Merlo design and landscape and dated 31 January 2018 but modified to show:

- (i) The use of a Crepe Myrtle along apartment terraces.
- (ii) Soil volumes for planters that demonstrate the capability to achieve intended canopy volumes to the satisfaction of the responsible authority.
- (iii) Planters carrying shrubs must be no less than 600 mm deep.
- (iv) Crepe Myrtle on the private terraces on level 3 planted in masonry planters with planter depths increased from 500 mm up to 800 mm.
- (v) For a tree with a 3 metres canopy spread where shrubs and groundcovers are also proposed in the planter the provision of a planter with minimum soil volume of 5.5 cubic metres or 4.5 cubic metres for the tree alone. Where larger trees are proposed; a tree with a 4 metres canopy would require 10 and 7.5 cubic metres of soil in similar situations.
- (vi) Level 8 planters increased in volume (minimum depth of 600 mm) and constructed of masonry.
- (vii) Any details required by the Irrigation Management Plan approved under condition 40.
- (viii) Any specified growing medium in planters must have a high sand component (rather than an organic mix).
- (ix) Any planters external to terrace screens must include safety devices and must be maintained by the Owners Corporation.
- (x) Deletion of the planter in front of the deli/shop entrance.
- (xi) Type, location, quantity, pot size, height at maturity and botanical names of all proposed plants. Species within the landscape buffer must be shade tolerant and must provide clear visual links with the pedestrian link (low level shrubs/plants).
- (xii) Cross sections showing the depth of planter boxes and planting, including growing media, irrigation, drainage, water proofing and tree anchors.

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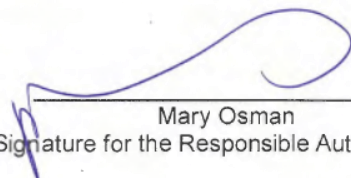
  
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- (xiii) Location of all areas to be covered by lawn, paving or other surface materials.
- (xiv) Specification of works to be undertaken prior to planting. This must include detailed soil mix specifications for different components of the overall landscaping works.
- (xv) Watering and maintenance.
- (xvi) Garden bed dimensions.
- (xvii) Areas of paving and proposed materials.
- (xviii) Location of proposed tree planting – distances from buildings and other infrastructure, planting proposed over the basement levels or under the overhanging built form.
- (xix) Clear definition of terraced spaces, retaining walls, seating elements and other structures independent of paving treatments.
- (xx) Water sensitive urban design [WSUD] features.
- (xxi) Removal of street tree 8 (*Ulmus*). A notation must confirm that the Permit Holder will pay the Responsible Authority \$8,960 to undertake these works, including the reinstatement of 2 trees after development plus 2 years tree establishment maintenance by City of Yarra contractors.
- (xxii) A detailed section of a green roof/non-accessible planter bed, confirming or detailing the vegetation layer; the growing substrate and depth (plants should not be supplied as 100 mm pots, but grown in the media to be used on the roof/planter bed); load bearing weights for saturated bulk density that have been supported by suitably qualified engineers; irrigation; filter sheet; drainage layer (the ElMich product, or similar must be specified); protection mat; root barrier; and waterproofing.
- (xxiii) Deletion of the pavers used in the communal lawn area.
- (xxiv) Ground level tree selection should not just be limited to species that grown in a columnar shape.
- (xxv) A safe maintenance program for all planters.
- (xxvi) A tree management plan showing TPZs for trees in the nature strip and outer separator.
- (xxvii) Three additional street trees (*Ulmus procera* 'English Elm') where the existing crossovers are to be removed. A notation must confirm that the Permit Holder will pay the Responsible Authority \$2,798 to undertake these works, including the reinstatement of 2 trees after development plus 2 years tree establishment maintenance by City of Yarra contractors.
- (xxviii) Details of plantings associated with the pedestrian access to the laneway off Coleman Street.

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(ee) Red line plans showing the sale and consumption of liquor limited to the internal area of the westernmost food and drinks premises (café), and the restaurant.

(ff) The 'café' and 'restaurant' shown as a 'food and drinks premise (café)'.

*Maximum floor areas*

(gg) The shop (deli) with a maximum leasable floor area of 201m<sup>2</sup>.

(hh) The food and drinks premises (cafe and restaurant) with a maximum leasable floor area of 295m<sup>2</sup> in total.

*Driveway convex mirror*

(ii) Installation of a convex mirror to service vehicles exiting the driveway (no audible devices are to be installed).

*Vehicle entrance*

(jj) 1 in 20 scale cross sectional drawings of the development's vehicular entrances, showing the actual reduced levels (not interpolated levels from the application drawings) of the road profile, the lip of the channel, the invert of the channel, the top of kerb and the existing building line. The existing road profiles of the Queens Parade service lane (from the kerb line to the centre line of the road) and the access ways inside the property must be accurately drawn. The cross section must demonstrate that vehicles can traverse the new vehicle crossing and ramp without scraping or bottoming out, using a B99 design vehicle.

*Bicycles*

(kk) Bicycle signage in accordance with clause 52.34-5 of the *Yarra Planning Scheme*.

(ll) Details of bicycle storage/parking systems, demonstrating they can provide space for a bicycle of minimum dimensions of 1.7 metres in length, 1.2 metres in height and 0.7 metres in width at the handlebars or as per AS2890.3-2015.

(mm) Accessways to bicycle parking spaces a minimum width of 1.5 metres.

(nn) Details of the visitor 'bicycle park' at the ground floor.

(oo) Bicycle parking positioned adjacent to the pedestrian gate in the north-west corner of the site or adjacent to allocated car spaces for the three townhouses on land known as the rear 26-56 Queens Parade (being lot 1 on Title Plan 806921X).

*Basement*

(pp) Ramp width dimensions (from kerb to kerb).

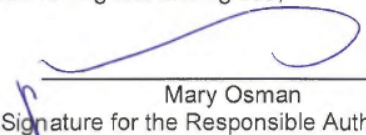
(qq) Minimum headroom clearances throughout the basement dimensioned.

(rr) Car park columns setback 750mm from the aisles.

(ss) Loading bay dimensioned on the drawings, including minimum overhead clearance. The plan must also include a note confirming details of the vehicles permitted to use this space, along with swept path diagrams provided for ingress and egress;

*Vehicle entry*

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- (tt) The east edge of the crossover must be perpendicular to the Queens Parade service road.
- (uu) The headroom clearance of the vehicular doorway a minimum headroom of 3.6 metres provided along the access ramp and 3 metres within the loading and waste collection bays.
- (vv) Visitor intercoms to the pedestrian and vehicular entries to the development.
- (ww) A note confirming the design and construction of the new vehicle crossing must satisfy Yarra City Council's Infrastructure Road Materials Policy, Yarra City Council's Standard Drawings and engineering requirements.

*Redundant crossings*

- (xx) Demolition and reinstatement of all redundant vehicle crossings to Yarra City Council's satisfaction.

*Loading bay*

- (yy) Dimensions of the loading bay and waste pick up bay.

*Reports*

- (zz) Changes (as may be necessary) for consistency with the Structural Report, Wind Assessment Report, Acoustic Report, Sustainable Management Plan Report and Waste Management Plan Report.

**Endorsed plans not altered**

- 2 The development and uses as shown on the endorsed plans must not be altered without the prior written consent of the Responsible Authority.

**Architectural services**

- 3 As part of the ongoing consultant team, Cox Architecture or an architectural firm(s) to the satisfaction of the Responsible Authority must be engaged to oversee design and construction of the development, and to ensure the design quality and appearance of the development is realised as shown in the endorsed plans or otherwise to the satisfaction of the Responsible Authority.

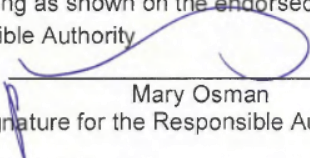
**Finished floor levels**

- 4 Finished floor levels shown on the endorsed plans must not be altered or modified without the prior written consent of the Responsible Authority.

**Screening**

- 5 Before the development is occupied, or by such later date as approved in writing by the Responsible Authority, all screening and other measures to limit overlooking as shown on the endorsed plans must be installed to the satisfaction of the Responsible Authority.
- 6 All screening and other measures to prevent overlooking as shown on the endorsed plans must be maintained to the satisfaction of the Responsible Authority.

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**Wall cleaning**

- 7 Before the buildings are occupied, or by such later date as approved in writing by the Responsible Authority, all new on-boundary walls must be cleaned and finished to the satisfaction of the Responsible Authority.

**Maintenance**

- 8 All buildings and works must be maintained in good order and appearance to the satisfaction of the Responsible Authority.

**Concealing pipes etc**

- 9 All pipes (excluding downpipes), fixtures, fittings and vents servicing any building on the land must be concealed in service ducts or otherwise hidden from view to the satisfaction of the Responsible Authority.

**Graffiti**

- 10 Before the buildings are occupied, any wall located on a boundary facing public property must be treated with a graffiti proof finish to the satisfaction of the Responsible Authority.

**External lighting**

- 11 Before the buildings are occupied, or by such later date as approved in writing by the Responsible Authority, external lighting capable of illuminating access to the basement car park, pedestrian walkway, laneway and dwelling entrances must be provided. Lighting must be located, directed, shielded, and of limited intensity, all to the satisfaction of the Responsible Authority

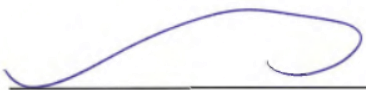
**Noise**

- 12 The use and development must comply at all times with the State Environment Protection Policy – Control of Noise from Commerce, Industry and Trade (SEPP N-1).
- 13 The use and development must comply at all times with the State Environment Protection Policy – Control of Music Noise from Public Premises (SEPP N-2).

**Heritage facade**

- 14 Before either the development starts or the paint on the decorative façade is removed (except for the purposes of investigation), a decorative facade treatment scheme must be submitted to and approved by the Responsible Authority. The treatment scheme must be informed by and include the results of an investigation of the existing and original decorative treatments to the façade and an assessment of non-destructive paint removal techniques. The treatment scheme must include an investigation of the possibility of restoring the façade to its original condition based on the best available evidence. The treatment scheme must also include the Bay 9 return wall and colour proposed for the level 2 upstand behind the façade glazing. When approved, the decorative façade treatment scheme will be endorsed and will then form part of this permit.

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- 15 The approved decorative façade treatment scheme must be carried out by or under the supervision of a suitably qualified consultant to the satisfaction of the Responsible Authority.

**Amenity**

- 16 The amenity of the area must not be detrimentally affected by the development and uses including through:
- (a) the transport of materials, goods or commodities to or from land;
  - (b) the appearance of any buildings, works or materials;
  - (c) the emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit or oil; or
  - (d) the presence of vermin;
- to the satisfaction of the Responsible Authority.

**Sale and consumption of liquor**

- 17 Except with the prior written consent of the Responsible Authority, no more than 50 patrons are permitted in the westernmost food and drinks premises (café) at any one time.
- 18 Unless with the further consent of the Responsible Authority, the sale and consumption of liquor in association with the westernmost food and drinks premises (café) and the restaurant may only occur between the hours of 12 noon to 11 pm, any day.
- 19 Before the use of the land for the sale and consumption of liquor starts, a Noise and Amenity Action Plan (NAAP) to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the NAAP will be endorsed and will then form part of this permit. The NAAP must include the details required by clause 22.09-4.3 of the *Yarra Planning Scheme*.
- 20 The sale and consumption of liquor uses must be managed in accordance with the endorsed NAAP.
- 21 The sale and consumption of liquor as shown on the endorsed plans must not be altered without the prior written consent of the Responsible Authority.
- 22 Before the sale and consumption of liquor starts, a sign at the exit of the licensed premises must be displayed to the satisfaction of the Responsible Authority advising patrons to respect the amenity of adjacent residential areas and to leave in a quiet and orderly manner.
- 23 Emptying of bottles and cans into bins may only occur between 7 am and 5 pm on any day.

**Structural report**

- 24 Before the demolition starts, a structural report to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. The structural report must be prepared by a suitably qualified structural engineer and must demonstrate the means by which the retained portions of the buildings on-site will be supported during demolition and

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construction works to ensure their retention. When approved, the structural report will be endorsed and will form part of this permit.

- 25 The provisions, recommendations and requirements of the endorsed structural report must be implemented and complied with to the satisfaction of the Responsible Authority.

**Public Art Management Plan**

- 26 By no later than 6 months after the development starts, a Public Art Management Plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the Public Art Management Plan will be endorsed and will then form part of this permit. The Public Art Management Plan must include, but not be limited to:

- (a) Details of the commissioned artist(s).
- (b) A description of art work, including materials, colours, dimensions, content, special features (eg lighting), details of the installation process, and details of an art work maintenance schedule.

- 27 Before the buildings are occupied, or by such later date as approved in writing by the Responsible Authority, the public art in the endorsed Public Art Management Plan must be completed. Once completed, the public art must be maintained in accordance with the endorsed Public Art Management Plan to the satisfaction of the Responsible Authority.


**Car spaces etc and access for nearby residents**

- 28 Before the development starts, the owner (or another person in anticipation of becoming the owner) must enter into an agreement with the Responsible Authority under section 173 of the *Planning and Environment Act 1987* providing for:

- (a) The ongoing provision of 6 car parking spaces, 3 bicycle parking spaces, 3 stores and a bin area for the residents of the three townhouses on land known as the rear 26-56 Queens Parade, being lot 1 on Title Plan 806921X.
- (b) The ongoing pedestrian access and egress through the land for the residents of and visitors to the three townhouses on land known as the rear 26-56 Queens Parade, being lot 1 on Title Plan 806921X.
- (c) The obligations under the agreement only applying to that part of land that is or will become common property under the relevant plan of subdivision and to the owners corporation in which the common property has vested or will vest on registration of the plan of subdivision.

The agreement must be registered on title. The owner, or other person in anticipation of becoming the owner, must meet all of the reasonable expenses of preparing, reviewing, registering and recording the agreement, including the Responsible Authority's costs and expenses (including legal expenses) incidental to preparing, reviewing, registering and recording the agreement.

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**Wind**

- 29 Before the plans under condition 1 are endorsed, an amended Wind Assessment Report to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the amended Wind Assessment Report will be endorsed and will form part of this permit. The amended Wind Assessment Report must be generally in accordance with the Wind Assessment Report prepared by Windtech and dated 30 June 2016, but modified to:
- (a) reflect the decision plans; and
  - (b) demonstrate acceptable wind levels will result from the development (on and off the site land); and
  - (c) identify which balustrades could be reduced to 1 metre or 1.7 metres (dependent on overlooking requirements) and continue to achieve the relevant wind criteria.
- 30 The provisions, recommendations and requirements of the endorsed Wind Assessment Report must be implemented and complied with to the satisfaction of the Responsible Authority.

**Acoustic report**

- 31 Before the plans under condition 1 are endorsed, an amended Acoustic Report to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority.
- When approved, the amended Acoustic Report will be endorsed and will form part of this permit. The amended Acoustic Report must be generally in accordance with the Acoustic Report prepared by Wood and Grieve Engineers, dated 29 June 2016 and include an assessment of how the requirements of the State Environment Protection Policy (Control of Noise from Commerce, Industry and Trade, No. N-1) (SEPP N-1), the State Environment Protection Policy (Control of Music Noise from Public Premises No. N-2) (SEPP N-2) and relevant Australian Standards will be met. The report must:
- (a) Address the decision plans and any relevant condition 1 requirements.
  - (b) Detail the location and time of road traffic noise measurements.
  - (c) Include adoption of appropriate indoor noise levels with regard to road traffic noise.
  - (d) Target internal noise levels with regard to the impact of voice noise from the communal outdoor areas and food and drink premises.
  - (e) Include maximum music noise levels in the food and drinks premises (cafés) and shop, to comply with SEPP N-2.
  - (f) Include the installation of a music noise monitor.
  - (g) An assessment of voice noise from patrons within the food and drinks premises (cafés) and shop to the proposed dwellings.
- 32 The provisions, recommendations and requirements of the endorsed Acoustic Report must be implemented and complied with to the satisfaction of the Responsible Authority.

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- 33 Within 3 months of the development or any part of it being occupied, an updated acoustic report prepared by a suitably qualified acoustic consultant to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. The report must demonstrate the required level of noise attenuation has been achieved. The report must also:
- (a) Confirm compliance with relevant conditions of the permit.
  - (b) Provide measurement data taken from inside the dwellings of the development demonstrating compliance with SEPP N-1, SEPP N-2 or any other relevant requirement.
- 34 The recommendations and any works contained in the approved acoustic report must be implemented and completed and where there are recommendations of an ongoing nature must be maintained all to the satisfaction of the Responsible Authority.

**Sustainable Management Plan**

- 35 Before the development starts, an amended Sustainable Management Plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the amended Sustainable Management Plan will be endorsed and will form part of this permit. The amended Sustainable Management Plan must be generally in accordance with the Sustainable Management Plan prepared by Wood and Grieve Engineers dated 17/08/2017, but modified to show/reflect/demonstrate:
- (a) The incorporation of any combination of the following:
    - (i) extraction fans to all kitchen range hoods and bathrooms;
    - (ii) ceiling fans;
    - (iii) trickle vents;
    - (iv) energy efficient mechanically assisted natural ventilation with flow rates 50% in excess of AS 1668 levels.
  - (b) Confirm glazing details (a VLT of at least 70%).
  - (c) A different stormwater management treatment (not the SPEL treatment proposed), demonstrating compliance with clause 22.17 of the *Yarra Planning Scheme*.
  - (d) The 40,000L (minimum) rainwater tank used for toilet flushing and landscape irrigation, if possible.
  - (e) Clear, unambiguous wording, with clear commitments and no disclaimers.
  - (f) A commitment to achieve a minimum NatHERS 6.5 star average rating (not 'targeted to achieve').
  - (g) That no dwellings exceed the 30MJ/m2 cooling loads threshold, using the NatHERS thermal energy rating software.
- 36 The provisions, recommendations and requirements of the endorsed Sustainable Management Plan must be implemented and complied with to the satisfaction of the Responsible Authority.

**Date: 06 July 2018**

  
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 Mary Osman  
 Signature for the Responsible Authority

**Attachment 1 - PLN16/0434 - 26 - 52 Queens Parade Fitzroy North - Planning Permit**

**Waste Management Plan**

- 37 Before the development starts, an amended Waste Management Plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the amended Waste Management Plan will be endorsed and will form part of this permit. The amended Waste Management Plan must be generally in accordance with the Waste Management Plan prepared by Leigh Design and dated 9 August 2017, but modified to include/reflect:
- (a) the decision plans;
  - (b) details on how bin store will operate/be managed by operator;
  - (c) how appropriate management of the waste and recycling will be ensured;
  - (d) detail of the bin store plan showing path of access, hard waste area etc;
  - (e) details/justification on ensuring recycling collected is compacted to ensure industry standard and not compromise recovery of recyclables;
  - (f) details on path of access from the street to the bin collection point;
  - (g) details on how the chutes operate to ensure appropriate use by tenants;
  - (h) details on how the development will be managed by the operator; and
  - (i) show how the WMP will work in practice for residents, operator and waste contractors.
- 38 The provisions, recommendations and requirements of the endorsed Waste Management Plan must be implemented and complied with to the satisfaction of the Responsible Authority.

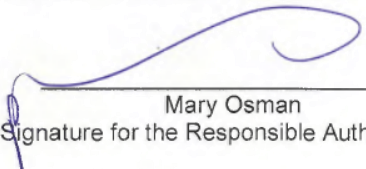
**Irrigation**

- 39 Before the plans under condition 1 are endorsed an Irrigation Management Plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the Irrigation Management Plan will be endorsed and will form part of this permit. The Irrigation Management Plan must include recommendations for:
- (a) Differential demands of the vegetation within the site complying with the provisions, recommendations and requirements of the endorsed Landscape Plan.
  - (b) Programmed maintenance for the irrigation system including flushing, checking systems integrity, monitoring sensors and calibration settings.

**Landscaping**

- 40 Before the building is occupied, or such later date as is approved by the Responsible Authority, the landscaping works shown on the endorsed plans must be carried out and completed to the satisfaction of the Responsible Authority.
- 41 The landscaping shown on the endorsed plans must be maintained by:
- (a) implementing and complying with the provisions, recommendations and requirements of the endorsed Landscape Plan;

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\_\_\_\_\_  
Mary Osman  
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**Attachment 1 - PLN16/0434 - 26 - 52 Queens Parade Fitzroy North - Planning Permit**

- (b) not using the areas set aside on the endorsed Landscape Plan for landscaping for any other purpose; and
- (c) replacing any dead, diseased, dying or damaged plants, all to the satisfaction of the Responsible Authority.

**Street trees**

42 Before the development starts, a Tree Management Plan to the satisfaction of the Responsible Authority must be prepared by a suitably qualified Arborist and must be submitted to and approved by the Responsible Authority. When approved the Tree Management Plan will be endorsed and will form part of this permit. The Tree Management Plan must include recommendations to the satisfaction of the Responsible Authority for:

- (a) The protection of the nature strip trees adjacent to the site along the Queens Parade frontage before construction starts, during construction and after construction is complete.
- (b) The provision of any barriers.
- (c) Any necessary pruning.
- (d) Watering and maintenance regimes.

43 The provisions, recommendations and requirements of the endorsed Tree Management Plan must be complied with and implemented to the satisfaction of the Responsible Authority.

44 Before the development starts, a security bond must be given to the Responsible Authority to secure the 8 street trees adjacent to the site along Queens Parade. The security bond must cover the amenity value of each tree and:


- (a) must be an amount to be agreed with the Responsible Authority;
- (b) must be provided in a manner, and on terms, to the satisfaction of the Responsible Authority; and
- (c) may be held by the Responsible Authority until the construction works are completed to the satisfaction of the Responsible Authority.

When the construction works are completed to the satisfaction of the Responsible Authority, the Responsible Authority must inspect the trees and provided they are found to be in good condition, the security bond must be refunded.

45 Before the buildings or any part of them are occupied, or by such later date as approved in writing by the Responsible Authority, any damaged street trees must be replaced:

- (a) in accordance with any requirements or conditions imposed by Yarra City Council;
- (b) at no cost to Yarra City Council; and
- (c) to the satisfaction of the Responsible Authority.

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Mary Osman  
Signature for the Responsible Authority

**Attachment 1 - PLN16/0434 - 26 - 52 Queens Parade Fitzroy North - Planning Permit**

**Car parking**

- 46 Before the development starts, a Car Park Management Plan prepared to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the Car Park Management Plan will be endorsed and will then form part of this permit. The Car Park Management Plan must include, but not be limited to, the following:
- (a) The allocation of 6 car parking spaces to the residents of the three dwellings at the rear of 26-56 Queens Parade, Fitzroy North (planning permit PLN16/0732).
  - (b) The allocation of 7 car parking spaces for the commercial tenancies, including the number and location of car parking spaces allocated to each commercial tenancy.
  - (c) Management details for residential loading/unloading when moving.
  - (d) The management of the 9 visitor car parking spaces and security arrangements for occupants of the development, including details on how residential visitors are to access car parking.
  - (e) Details of way-finding, cleaning and security of end of trip bicycle facilities.
  - (f) Any policing arrangements and formal agreements.
  - (g) A schedule of all proposed signage including directional arrows and signage, informative signs indicating location of disabled bays and bicycle parking, exits, restrictions, pay parking system etc.
  - (h) The collection of waste and garbage including the separate collection of organic waste and recyclables, which must be in accordance with the endorsed Waste Management Plan required.
  - (i) Details regarding the management of loading and unloading of goods and materials.
  - (j) Confirmation that delivery vehicles entering the land will be restricted to a height no greater than 3.5 metres.
  - (k) Details of the loading bay use, including hours and potentially using a lighting system to improve the safety of this area.
- 47 The provisions, recommendations and requirements of the endorsed Car Park Management Plan must be implemented and complied with to the satisfaction of the Responsible Authority.
- 48 Before the building or any part of it is occupied, the area set aside on the endorsed plans for the car parking spaces, access lanes, driveways and associated works must be:
- (a) constructed and available for use in accordance with the endorsed plans;
  - (b) formed to such levels and drained so that they can be used in accordance with the endorsed plans;
  - (c) treated with an all-weather seal or some other durable surface; and
  - (d) line-marked or provided with some adequate means of showing the car parking spaces, all to the satisfaction of the Responsible Authority.

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 Mary Osman  
 Signature for the Responsible Authority



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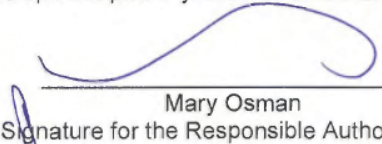
**Traffic, roads and footpaths**

- 49 All redundant vehicle crossings along the land's road frontages must be demolished and reinstated with paving, kerb and channel to Yarra City Council's satisfaction and at no cost to the Council.
- 50 Any damaged roads, footpaths and other road related infrastructure adjacent to the land as a result of the construction works, including trenching and excavation for utility service connections, must be reconstructed to Yarra City Council's satisfaction and at no cost to the Council. The cross-fall of reconstructed footpaths must be no steeper than 1 in 40.
- 51 Any services poles, structures or pits that interfere with the proposal must be adjusted, removed or relocated at the owner's expense after seeking approval from the relevant authority.

**Engineering documentation**

- 52 Within three months of the date the development starts, Detailed Engineering Documentation to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the Detailed Engineering Documentation will be endorsed and will then form part of this permit. The Detailed Engineering Documentation must be drawn to scale with dimensions, and three copies must be provided. The Detailed Engineering Documentation must include:
  - (a) The reconstruction of that part of the laneway off Brunswick Street that abuts the rear of the land in pitched bluestone.
  - (b) Subject to the approval of VicRoads, the reinstatement of the footpath outside the Queens Parade frontage of the land, once all building works and underground utility services have been completed/installed. All pedestrian access must be constructed to a level no steeper than 1 in 40 from the building line.
  - (c) The nature strips directly outside the land's Queens Parade service road frontage must be cultivated, top dressed and be provided with instant turf.
  - (d) If material damage to the Queens Parade service road is caused as a result of the carrying out of the development including the provision of ancillary utility services, the service road must be reinstated to the satisfaction of the Responsible Authority.
  - (e) The capping of all redundant property drains.
- 53 Unless with the prior written consent of the Responsible Authority, all development referenced in condition 52 must be completed to the satisfaction of the Responsible Authority before the building or any part of the building is occupied.
- 54 The details and requirements of the endorsed Detailed Engineering Documentation must be implemented and complied with to the satisfaction of the Responsible Authority.
- 55 Before the development starts, a one-off contribution of \$8,960 must be paid to the Responsible Authority to be used for new street tree plantings that are required as a result of the development (reinstatement of 2 trees after development plus 2 years tree establishment maintenance).

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 Mary Osman  
 Signature for the Responsible Authority

**Attachment 1 - PLN16/0434 - 26 - 52 Queens Parade Fitzroy North - Planning Permit**

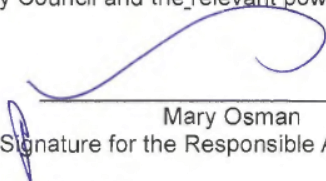
**Green Travel Plan**

- 56 Before the occupation of the development or any part of the development, a Green Travel Plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the Green Travel plan will be endorsed and will form part of this permit. The Green Travel Plan must include, but not be limited to, the following:
- (a) A description of the location in the context of alternative modes of transport.
  - (b) Employee and resident welcome packs (eg provision of Met cards/Myki cards).
  - (c) Appointment of a person as 'manager' or 'champion' responsible for co-ordination and implementation.
  - (d) Details of bicycle parking and bicycle routes.
  - (e) Details of GTP funding and management responsibilities.
  - (f) An obligation to update the Plan not less than every 5 years.
- 57 The provisions, recommendations and requirements of the endorsed Green Travel Plan must be implemented and complied with to the satisfaction of the Responsible Authority.

**Construction**

- 58 Before the development starts, a Construction Management Plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plan will be endorsed and will form part of this permit. The plan must include:
- (a) A street tree management plan (including TPZs).
  - (b) A pre-conditions survey (dilapidation report) of the land and all adjacent Yarra City Council roads frontages and nearby road infrastructure.
  - (c) Works necessary to protect road and other infrastructure.
  - (d) Remediation of any damage to road and other infrastructure.
  - (e) Containment of dust, dirt and mud within the land and method and frequency of clean up procedures to prevent the accumulation of dust, dirt and mud outside the land.
  - (f) Facilities for vehicle washing, which should be located on the land.
  - (g) The location of loading zones, site sheds, materials, cranes and crane/hoisting zones, gantries and any other construction related items or equipment to be located in any street.
  - (h) Site security.
  - (i) A lighting plan, which must include:
    - (i) If any existing public lighting assets require temporary disconnection, details of alternative lighting to maintain adequate lighting levels. A temporary lighting scheme must be approved by Yarra City Council and the relevant power authority.

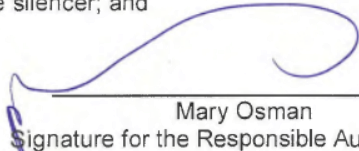
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 Mary Osman  
 Signature for the Responsible Authority

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- (ii) Confirmation that existing public lighting would only be disconnected once temporary alternative lighting scheme becomes operational.
- (iii) Confirmation that the temporary lighting scheme will remain operational until a permanent lighting scheme is reinstated.
- (j) Management of any environmental hazards including, but not limited to:
  - (i) contaminated soil;
  - (ii) materials and waste;
  - (iii) dust;
  - (iv) stormwater contamination from run-off and wash-waters;
  - (v) sediment from the land on roads;
  - (vi) washing of concrete trucks and other vehicles and machinery; and
  - (vii) spillage from refuelling cranes and other vehicles and machinery.
- (k) The construction program.
- (l) Delivery and unloading points and expected duration and frequency.
- (m) Parking facilities for construction workers.
- (n) Measures to ensure that all work on the land will be carried out in accordance with the Construction Management Plan.
- (o) An outline of requests to occupy public footpaths or roads, or anticipated disruptions to local services.
- (p) An emergency contact that is available for 24 hours per day for residents and the Responsible Authority in the event of relevant queries or problems experienced.
- (q) The provision of a traffic management plan to comply with provisions of AS 1742.3-2002 Manual of uniform traffic control devices - Part 3: Traffic control devices for works on roads.
- (r) A Noise and Vibration Management Plan showing methods to minimise noise and vibration impacts on nearby properties and to demonstrate compliance with Noise Control Guideline 12 for Construction (Publication 1254) as issued by the Environment Protection Authority in October 2008. The Noise and Vibration Management Plan must be prepared to the satisfaction of the Responsible Authority. In preparing the Noise and Vibration Management Plan, consideration must be given to:
  - (i) using lower noise work practice and equipment;
  - (ii) the suitability of the land for the use of an electric crane;
  - (iii) silencing all mechanical plant by the best practical means using current technology;
  - (iv) fitting pneumatic tools with an effective silencer; and
  - (v) other relevant considerations.

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Mary Osman  
Signature for the Responsible Authority

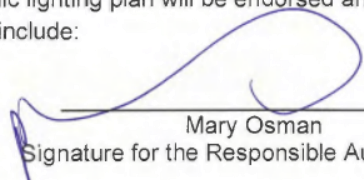
**Attachment 1 - PLN16/0434 - 26 - 52 Queens Parade Fitzroy North - Planning Permit**

- 59 During construction, any stormwater discharged into the stormwater drainage system must be in compliance with Environment Protection Authority guidelines.
- 60 During construction, stormwater drainage system protection measures must be installed as required to ensure that no solid waste, sediment, sand, soil, clay or stones from the land enters the stormwater drainage system.
- 61 During construction, vehicle borne material must not accumulate on the roads abutting the land.
- 62 During construction, the cleaning of machinery and equipment must take place on the land and not on adjacent footpaths or roads.
- 63 During construction, all litter (including items such as cement bags, food packaging and plastic strapping) must be disposed of responsibly.
- 64 Before the buildings or any part of them are occupied, or by such later date as approved in writing by the Responsible Authority, any damage to Yarra City Council infrastructure resulting from the development must be reinstated to the satisfaction of the Responsible Authority.
- 65 Any service poles, structures or pits that interfere with the proposal must be adjusted or removed with approval from the relevant authorities and to the satisfaction of the Responsible Authority.
- 66 Before the buildings or any part of the buildings are occupied, or by such later date as approved in writing by the Responsible Authority, any new vehicle crossings must be constructed in accordance with any requirements or conditions imposed by Yarra City Council to the satisfaction of the Responsible Authority.
- 67 Except with the prior written consent of the Responsible Authority, Yarra City Council assets must not be altered in any way.
- 68 Pit lids and levels are to be readjusted to match the surface of the footpath, to the satisfaction of the Responsible Authority.
- 69 No parking restriction signs must be removed, adjusted, changed or relocated without approval or authorisation from the Responsible Authority.
- 70 Except with the prior written consent of the Responsible Authority, demolition or construction works must not be carried out:
  - (a) before 7 am or after 6 pm, Monday-Friday (excluding public holidays);
  - (b) before 9 am or after 3 pm, Saturdays and public holidays (other than ANZAC Day, Christmas Day and Good Friday); or
  - (c) at any time on Sundays, ANZAC Day, Christmas Day and Good Friday.

**Public lighting plan**

- 71 Before the development starts, a public lighting plan must be submitted to and approved by the Responsible Authority. When approved, the public lighting plan will be endorsed and will form part of this permit. The public lighting plan must include:

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Mary Osman  
Signature for the Responsible Authority

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- (a) Lighting at the entrance to and within the northern laneway linking to Coleman Street and within the reconstructed part of the laneway abutting the land off Brunswick Road.
  - (b) Confirmation that all primary pedestrian access to a residential/multipurpose development will be lit by public lighting installations at least to lighting level P4 as specified in the Australian Standard AS 1125.3.1:2005 Lighting for roads and public spaces - Pedestrian area (Category P) lighting - Performance and design requirements.
  - (c) Confirmation that any new poles and luminaires required for the development will be sourced from CitiPower/Jemena standard energy efficient luminaires list and comply with relevant CitiPower/Jemena technical requirements.
  - (d) Confirmation that light spillage into the windows of any existing and proposed residences will be avoided or minimised and must comply with the requirements of Australian Standard AS 4282 – 1997 Control of the obtrusive effects of outdoor lighting.
  - (e) Confirmation that the locations of any new light poles will not obstruct vehicular access into private property.
  - (f) Include a commitment that the Permit Holder will ensure (by contacting relevant power authority) that the existing or proposed power supply conforms to "No Go Zone" requirements from the relevant power authority;
  - (g) Confirmation that the owner will fund the supply and installation of any additional or upgraded lighting, electrical hardware and poles.
- 72 The provisions, recommendations and requirements of the endorsed public lighting plan must be implemented and complied with to the satisfaction of the Responsible Authority.

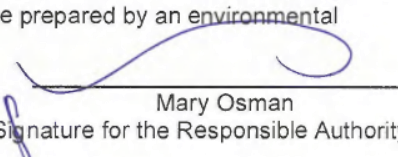
**Flood impact mitigation**

- 73 The entry/exit to the basement carpark must incorporate either a flood proof apex and associated bunding or a self-closing automatic flood barrier constructed no lower than 24.43 metres to Australian Height Datum (AHD), which is 300 mm above the applicable flood level or 24.13 metres to AHD. These entry/exit requirements must be shown on the plans endorsed under condition 1.
- 74 Any external openings to the basement including windows and vents must be constructed no lower than 24.43 metres to AHD. The plans endorsed under condition 1 must be consistent with this requirement.
- 75 Before an Occupancy Permit is issued, a certified survey plan, showing finished levels (as constructed) reduced to AHD, must be submitted to and approved by Melbourne Water to demonstrate that the levels have been constructed in accordance with Melbourne Water's requirements.

**Land contamination**

- 76 Before the construction of the development authorised by this permit starts, an assessment of the land to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. The assessment must be prepared by an environmental

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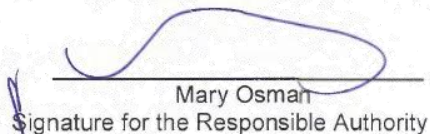
  
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professional with suitable qualifications to the satisfaction of the Responsible Authority and must include:

- (a) A description of previous land uses and activities on the land.
  - (b) An assessment of the level, nature and distribution of any contamination within, or in close proximity to, the land.
  - (c) Details of any provisions, recommendations and requirements (including but not limited to, clean up, construction, ongoing maintenance or monitoring) required to effectively address and manage any contamination within the land.
  - (d) Recommendations as to whether the land is suitable for the use for which the land is proposed to be developed and whether an Environmental Auditor should be appointed under section 53S of the *Environment Protection Act 1970 (EP Act)* to undertake an Environmental Audit in accordance with the provisions of the EP Act.
- 77 If the assessment required by condition 76 does not result in a recommendation that an Environmental Auditor be appointed under section 53S of the EP Act to undertake an Environmental Audit in accordance with the provisions of the EP Act, all provisions, recommendations and requirements of the assessment must be implemented and complied with to the satisfaction of the Responsible Authority.
- 78 If the assessment required by condition 76 results in a recommendation that an Environmental Auditor be appointed under section 53S of the EP Act to undertake an Environmental Audit in accordance with the provisions of the EP Act, before the construction of the development authorised by this permit commences, the Environmental Auditor appointed under section 53S of the EP Act must undertake an Environmental Audit in accordance with the provisions of the EP Act and issue:
- (a) a Certificate of Environmental Audit for the land in accordance with section 53Y of the EP Act (a **Certificate**); or
  - (b) Statement of Environmental Audit for the land in accordance with section 53Z of the EP Act (a **Statement**),
  - (c) and the Certificate or Statement must be provided to the Responsible Authority.
- 79 If, pursuant to condition 78, a Statement is issued:
- (a) The development authorised by this permit must not be undertaken unless the Statement clearly states that the land is suitable for the sensitive use for which the land is being developed.
  - (b) The development authorised by this permit must not be undertaken until compliance is achieved with the terms and conditions that the Statement states must be complied with before the development commences (pre-commencement conditions).
  - (c) Before the construction of the development authorised by this permit commences, a letter prepared by the Environmental Auditor appointed under section 53S of the EP Act which states that the pre-commencement conditions have been complied with must be submitted to the responsible authority.

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Mary Osman  
Signature for the Responsible Authority

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- (d) If any term or condition of the Statement requires any ongoing maintenance or monitoring, the owner of the land (or another person in anticipation of becoming the owner of the land) must enter into an agreement with the Responsible Authority pursuant to section 173 of the *Planning and Environment Act 1987* (Agreement). The Agreement must:
  - (i) provide for the undertaking of the ongoing maintenance and monitoring as required by the Statement; and
  - (ii) be executed before the sensitive use for which the land is being developed commences.
- (e) The owner of the land, or other person in anticipation of becoming the owner, must pay all costs and expenses (including legal expenses) of, and incidental to, the Agreement (including those reasonably incurred by the Responsible Authority).

**Expiry**

80 This permit will expire if any of the following circumstances apply:

- (a) The development is not started within 4 years of the issued date of this permit.
- (b) The development is not completed within 6 years of the issued date of this permit.
- (c) All the uses do not start within 6 years of the issued date of this permit.

In accordance with Section 69 of the *Planning and Environment Act 1987*, an application may be submitted to the Responsible Authority for an extension of the periods referred to in this condition.

**NOTES:**

This site is subject to a Heritage Overlay. A planning permit may be required for any external works.

Provision must be made for drainage of the site to a legal point of discharge. Please contact Council's Building Services on 9205 5585 for further information.

These premises will be required to comply with the Food Act 1984. The use must not commence until registration, or other approval, has been granted by Council's Health Protection Unit.

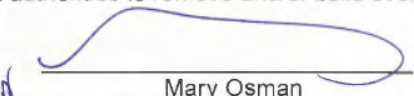
A building permit may be required before development is commenced. Please contact Council's Building Services on 9205 5585 to confirm.

A local law permit (e.g. Asset Protection Permit, Road Occupation Permit) may be required before development is commenced. Please contact Council's Construction Management Branch on Ph. 9205 5585 to confirm.

The site is located within an Environmental Audit Overlay. Pursuant to Clause 45.03 of the Yarra Planning Scheme, the requirements of the Environmental Audit Overlay must be met prior to the commencement of development permitted under the permit.

The permit holder must obtain approval from the relevant authorities to remove and/or build over the easement(s).

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Mary Osman  
Signature for the Responsible Authority

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All future property owners, residents, business owners and employees within the development approved under this permit will not be permitted to obtain resident, employee or visitor parking permits.

A local law permit may be required for tree removal. Please contact Council's Compliance Branch on 9205 5166.

In accordance with the Yarra Planning Scheme, a 4.5 per cent public open space contribution will apply in the event of the subdivision of the land.

A vehicle crossing permit is required for the construction of the vehicle crossing(s). Please contact Council's Construction Management Branch on 9205 5585 for further information.

**THIS PERMIT WAS ISSUED AT THE DIRECTION OF VCAT AS FOLLOWS:**

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**Date of Order**

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6 July 2009

Planning Permit PLN16/0434 was issued in accordance with the order of the Victorian Civil and Administrative Tribunal, reference: P2079/2016.

**Date: 06 July 2018**



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Mary Osman  
Signature for the Responsible Authority

*Planning and Environment Regulations 2015 No. 33/2015 Form 4 Sections 63, 64 64A and 86*

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## PLANNING PERMIT

### IMPORTANT INFORMATION ABOUT THIS PERMIT

#### WHAT HAS BEEN DECIDED?

The Responsible Authority has issued a permit.

(Note: This is not a permit granted under Division 5 or 6 of Part 4 of the **Planning and Environment Act 1987**.)

#### WHEN DOES A PERMIT BEGIN?

A permit operates:

- from the date specified in the permit; or
- if no date is specified, from—
  - (i) the date of the decision of the Victorian Civil and Administrative Tribunal, if the permit was issued at the direction of the Tribunal; or
  - (ii) the date on which it was issued, in any other case.

#### WHEN DOES A PERMIT EXPIRE?

1. A permit for the development of land expires if—
  - the development or any stage of it does not start within the time specified in the permit; or
  - the development requires the certification of a plan of subdivision or consolidation under the Subdivision Act 1988 and the plan is not certified within two years of the issue of the permit, unless the permit contains a different provision; or
  - the development or any stage is not completed within the time specified in the permit, or, if no time is specified, within two years after the issue of the permit or in the case of a subdivision or consolidation within 5 years of the certification of the plan of subdivision or consolidation under the **Subdivision Act 1988**.
2. A permit for the use of land expires if—
  - the use does not start within the time specified in the permit, or if no time is specified, within two years after the issue of the permit; or
  - the use is discontinued for a period of two years.
3. A permit for the development and use of land expires if—
  - the development or any stage of it does not start within the time specified in the permit; or
  - the development or any stage of it is not completed within the time specified in the permit, or, if no time is specified, within two years after the issue of the permit; or
  - the use does not start within the time specified in the permit, or, if no time is specified, within two years after the completion of the development; or
  - the use is discontinued for a period of two years.
4. If a permit for the use of land or the development and use of land or relating to any of the circumstances mentioned in section 6A(2) of the **Planning and Environment Act 1987**, or to any combination of use, development or any of those circumstances requires the certification of a plan under the **Subdivision Act 1988**, unless the permit contains a different provision—
  - the use or development of any stage is to be taken to have started when the plan is certified; and
  - the permit expires if the plan is not certified within two years of the issue of the permit.
5. The expiry of a permit does not affect the validity of anything done under that permit before the expiry.

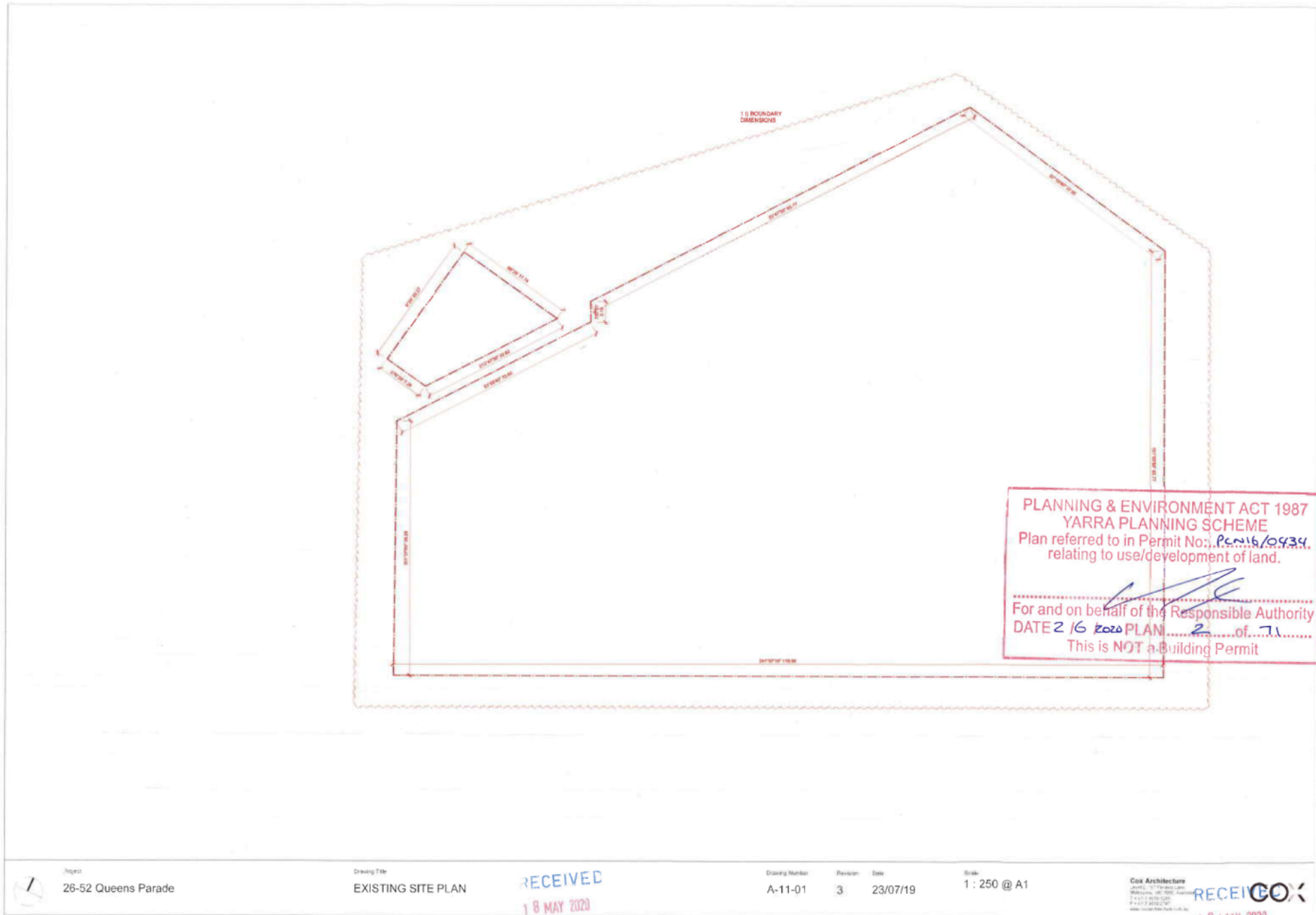
#### WHAT ABOUT REVIEWS?

- The person who applied for the permit may apply for a review of any condition in the permit unless it was granted at the direction of the Victorian Civil and Administrative Tribunal, in which case no right of review exists.
- An application for review must be lodged within 60 days after the permit was issued, unless a notice of decision to grant a permit has been issued previously, in which case the application for review must be lodged within 60 days after the giving of that notice.
- An application for review is lodged with the Victorian Civil and Administrative Tribunal.
- An application for review must be made on relevant form which can be obtained from the Victorian Civil and Administrative Tribunal, and be accompanied by the applicable fee.
- An application for review must state the grounds upon which it is based.
- A copy of an application for review must be served on the responsible authority.
- Details about applications for review and the fees payable can be obtained from the Victorian Civil and Administrative Tribunal.

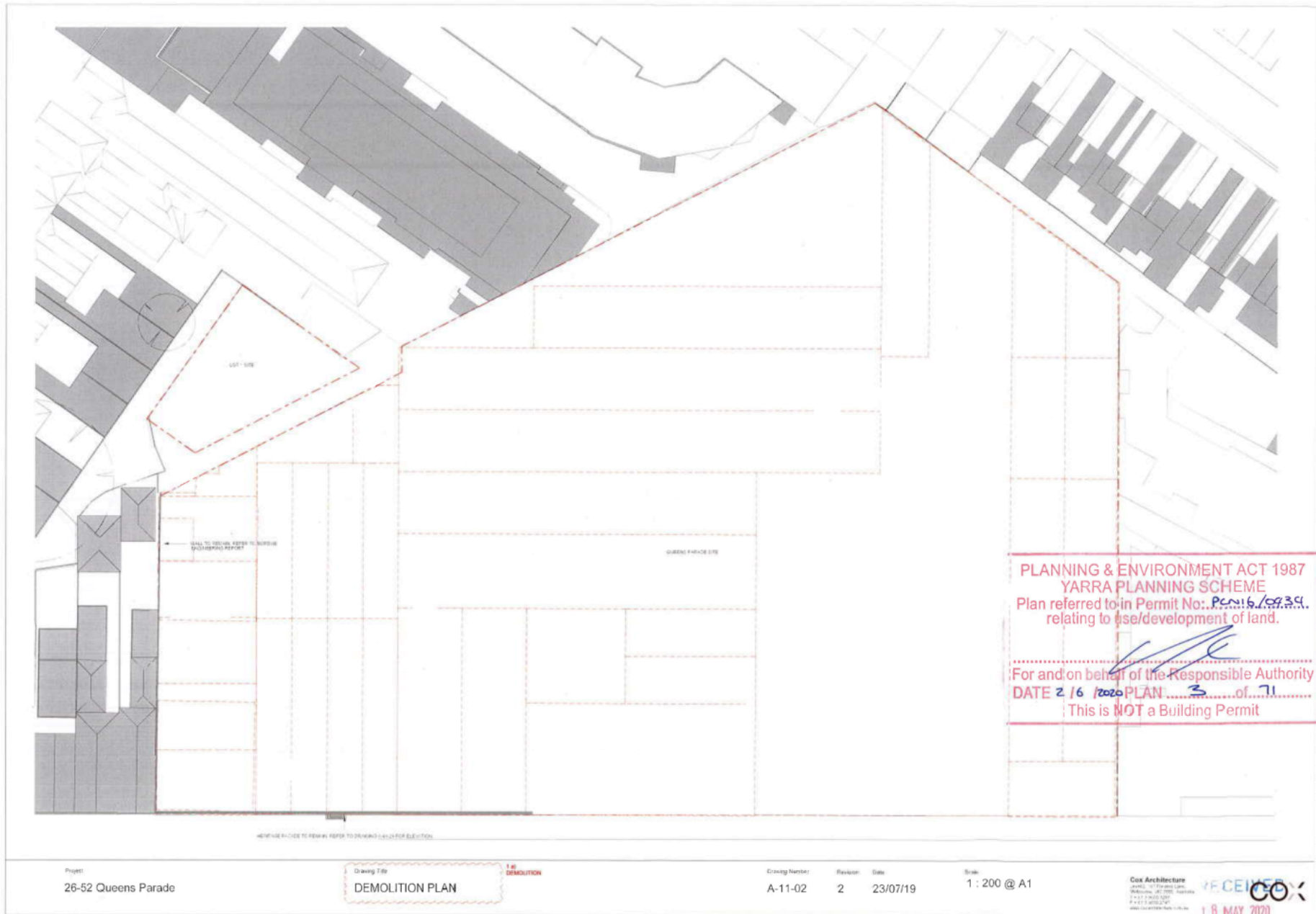
*Planning and Environment Regulations 2015 No. 33/2015 Form 4 Sections 63, 64, 64A and 86*



Attachment 2 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 1



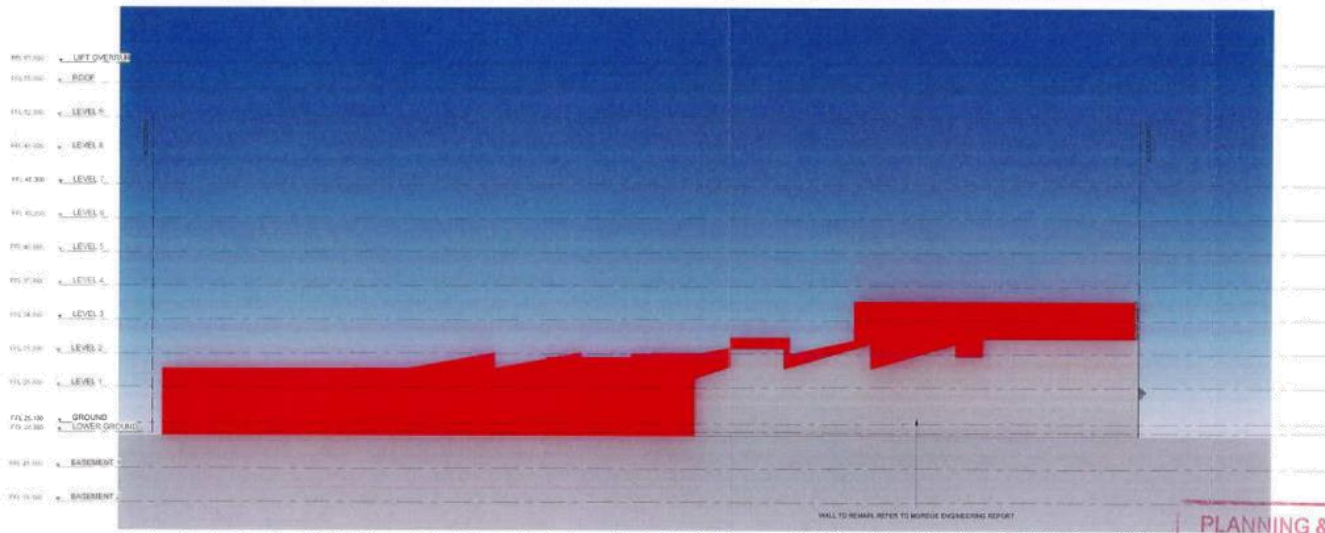
Attachment 2 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 1



Attachment 2 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 1



Attachment 2 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 1



1 WEST ELEVATION DEMOLITION  
SCALE 1:200

PLANNING & ENVIRONMENT ACT 1987  
YARRA PLANNING SCHEME  
Plan referred to in Permit No: PLN16/0434  
relating to use/development of land.

For and on behalf of the Responsible Authority  
DATE 2/6/2020 PLAN 5 OF 71  
This is NOT a Building Permit

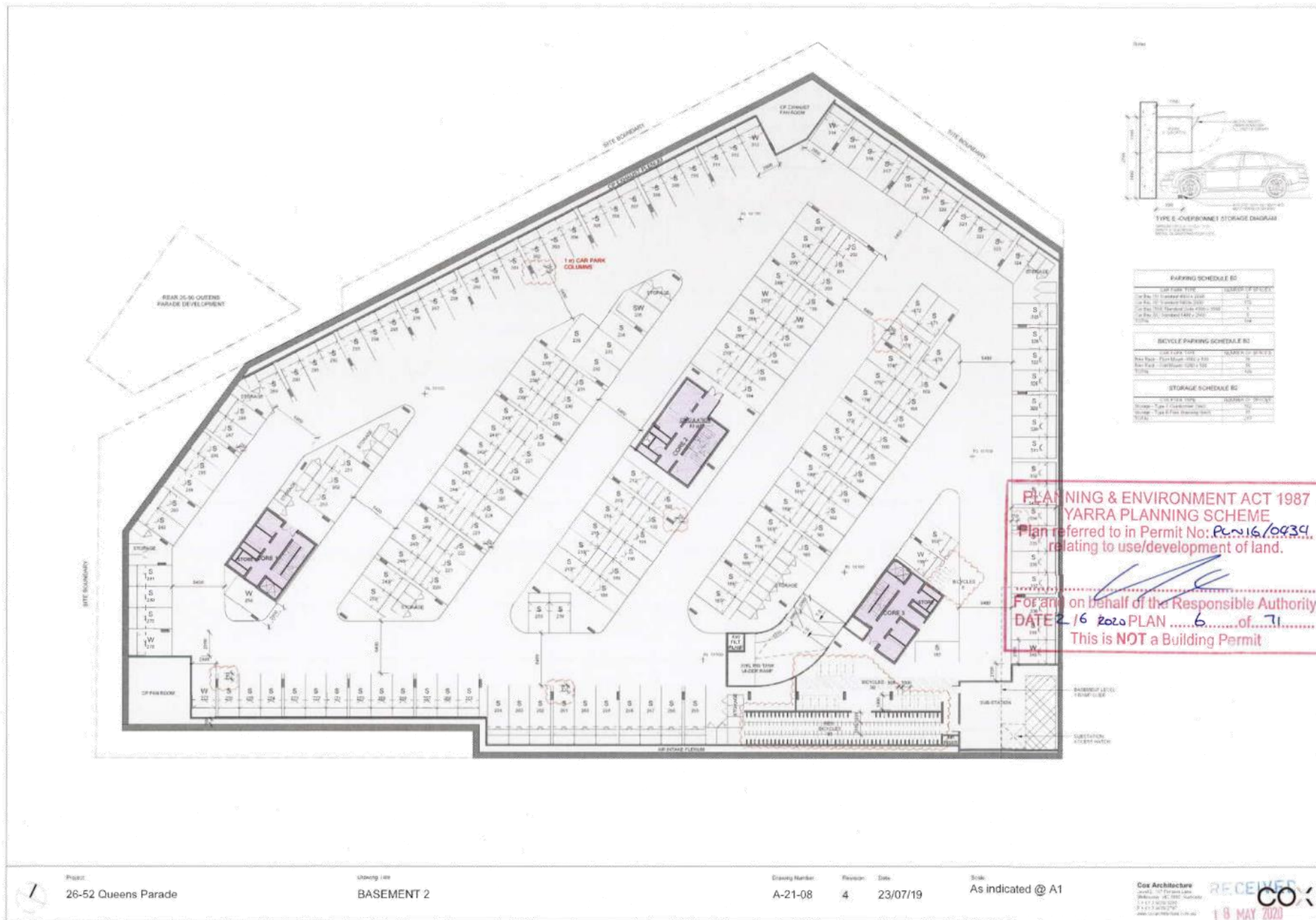
Project  
26-52 Queens Parade

Drawing Title  
DEMOLITION ELEVATION

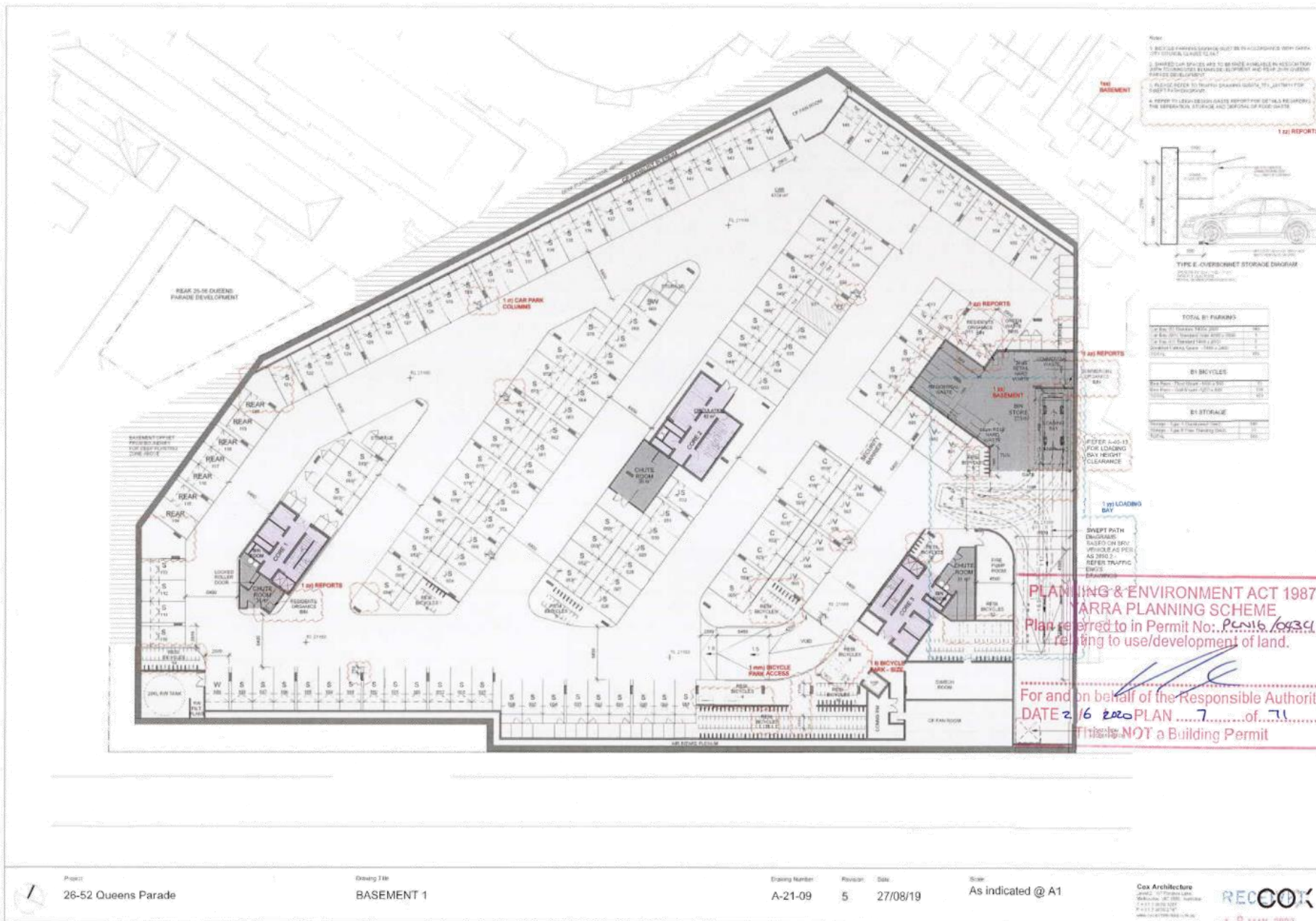
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Revision: 2  
Date: 23/07/19  
Scale: 1:200 @ A1

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Attachment 2 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 1



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Attachment 2 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 1



Attachment 2 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 1



Attachment 2 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 1



Attachment 2 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 1



Attachment 2 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 1



Attachment 2 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 1



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Attachment 2 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 1

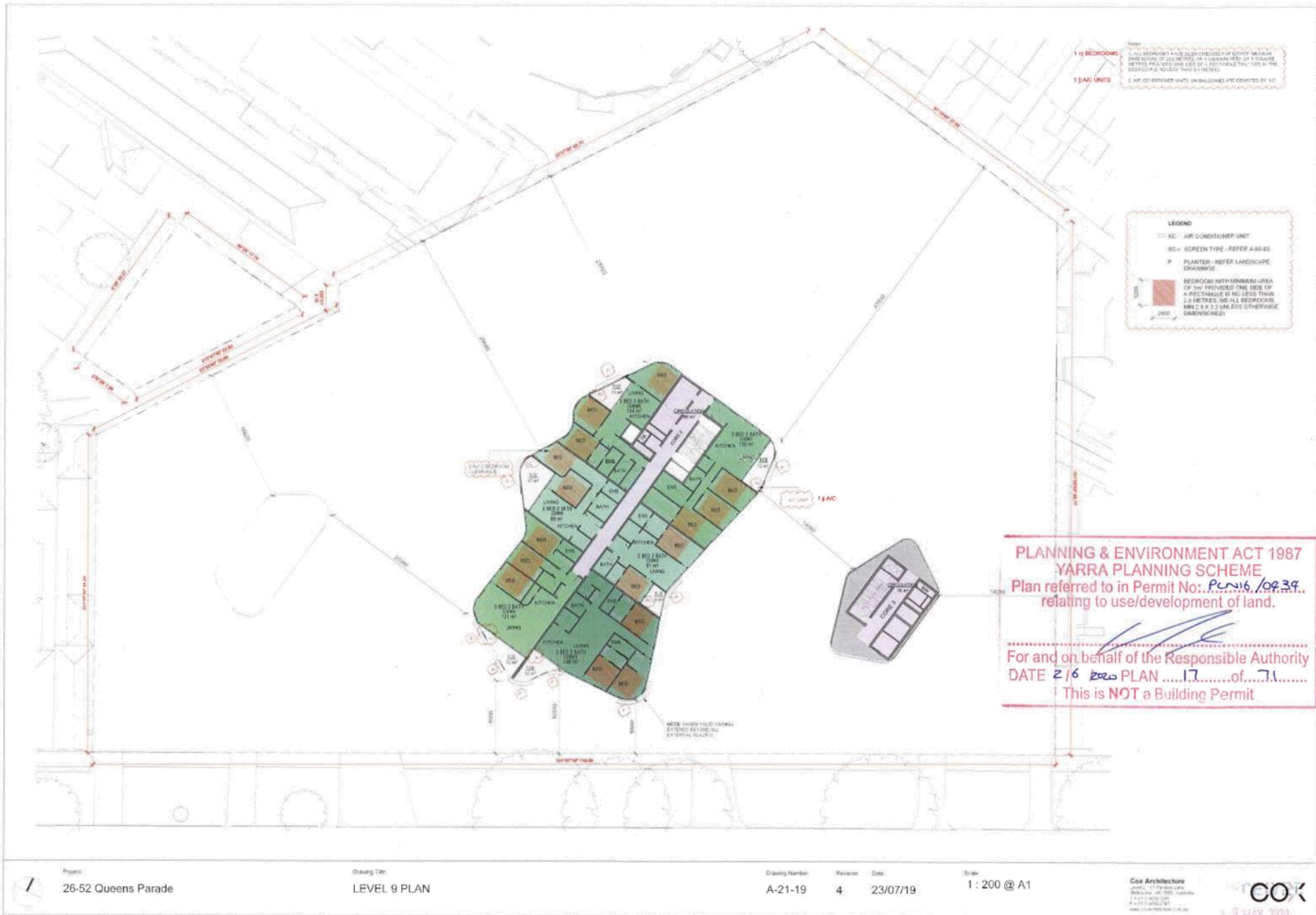




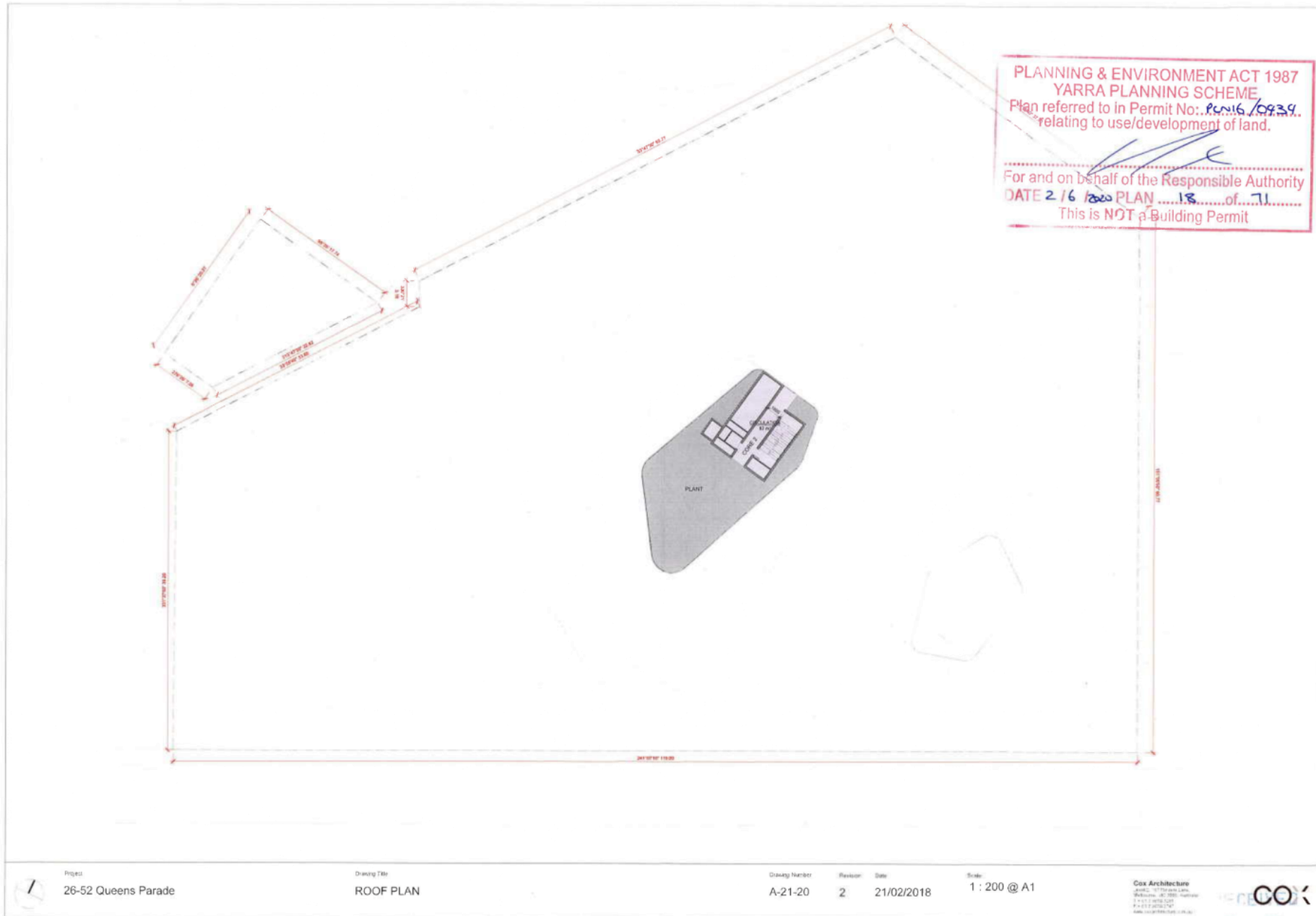
Attachment 2 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 1



Attachment 2 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 1



Attachment 2 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 1



Attachment 3 - PLN16/0464 - 26 - 56 Queens Parade Fitzroy North - Endorsed Plans - Part 2

PLANNING & ENVIRONMENT ACT 1987  
 YARRA PLANNING SCHEME  
 Plan referred to in Permit No. Per16/0934  
 relating to use/development of land.

*VJE*

For and on behalf of the Responsible Authority  
 DATE 26 2020 PLAN 19 of 71  
 This is NOT a Building Permit



1 SOUTH ELEVATION  
 SCALE 1:300

- LEGEND
- GL-01 GLAZING
  - GL-02 BALCONY GLAZING
  - PH-01 PAINTED HERITAGE BRICK PALE GREY
  - BR-01 NATURAL CHAMBRICK BRICK
  - PC-01 POWDER COATED PLASTER (WHITE)
  - PC-02 POWDER COATED PLASTER (CHAMBRICK)
  - SC-01 PRIVACY SCREENING (REFER A-03)
  - FS-01 FLINT SCREENING
  - TR-01 TRIMER BATTERS
  - WC-01 WHITE CONCRETE

Project  
 26-52 Queens Parade

Drawing Title  
 ELEVATIONS

Drawing Number  
 A-30-01

Revised  
 5

Date  
 25/02/20

Scale  
 1:200 @ A1

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Attachment 3 - PLN16/0464 - 26 - 56 Queens Parade Fitzroy North - Endorsed Plans - Part 2

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 YARRA PLANNING SCHEME  
 Plan referred to in Permit No.: PLN16/0464  
 relating to use/development of land.

For and on behalf of the Responsible Authority  
 DATE 2/6/2020 PLAN 20 of 71  
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1 EAST ELEVATION  
 A21-02 SCALE 1:200

- LEGEND
- GL-01 GLAZING
  - GL-02 BALUSTRADE GLAZING
  - BR-01 PAINTED HERITAGE BRICK (2.5L 2.25H)
  - BR-02 NATURAL CHARCOAL BRICK
  - PC-01 POWDER COATED PLASTER (WHITE)
  - PC-02 POWDER COATED PLASTER (CHARCOAL)
  - SC-01 SCREENING REFER A-03.03
  - PS-01 PLANT SCREENING
  - TB-01 TAMER BATTERS
  - WC-01 WHITE CONCRETE
- 10) HERITAGE FACADE PENETRATION CONDITION 11

Project: 26-52 Queens Parade

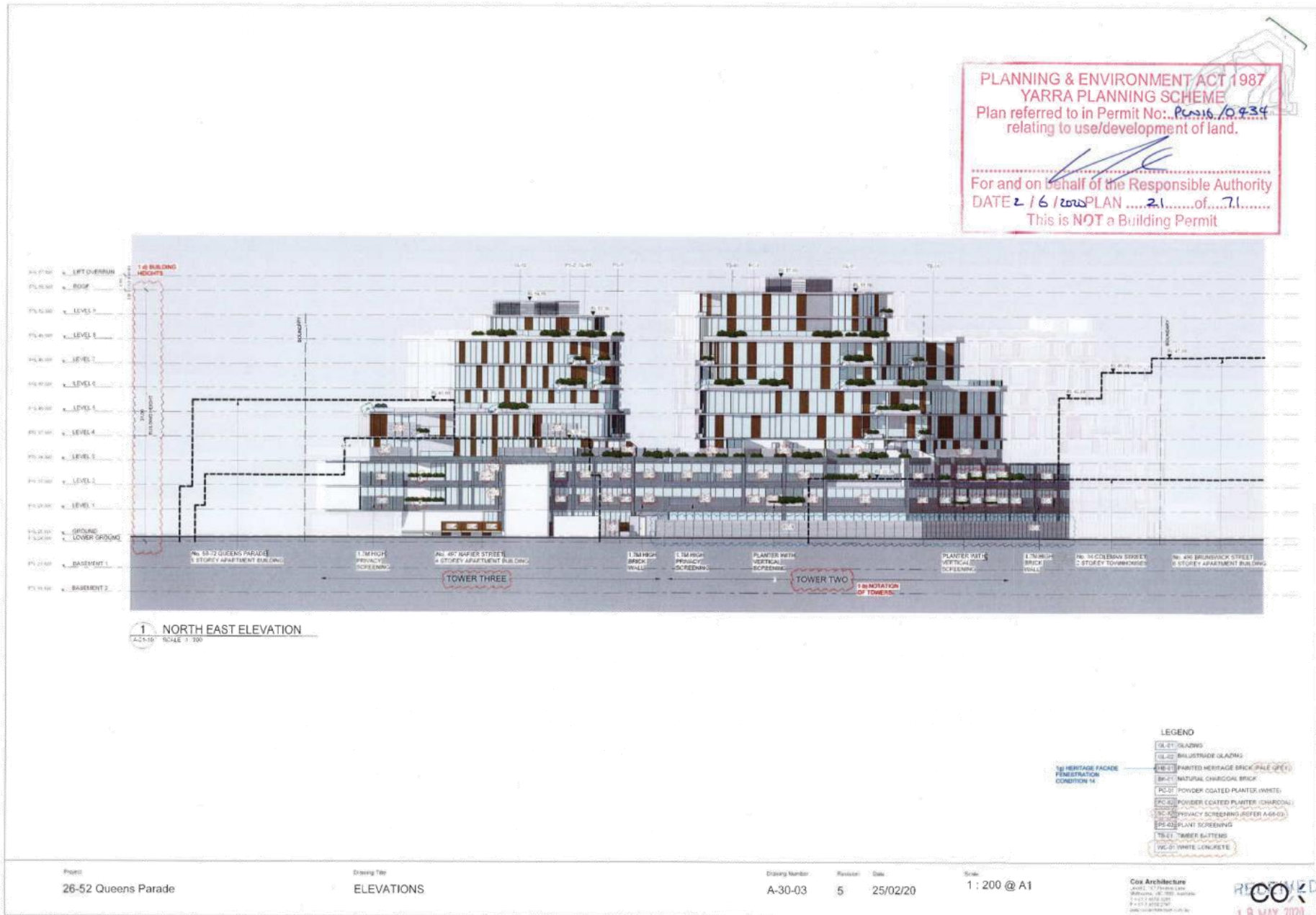
Drawing Title: ELEVATIONS

Drawing Number: A-30-02  
 Revision: 5  
 Date: 25/02/20  
 Scale: 1:200 @ A1

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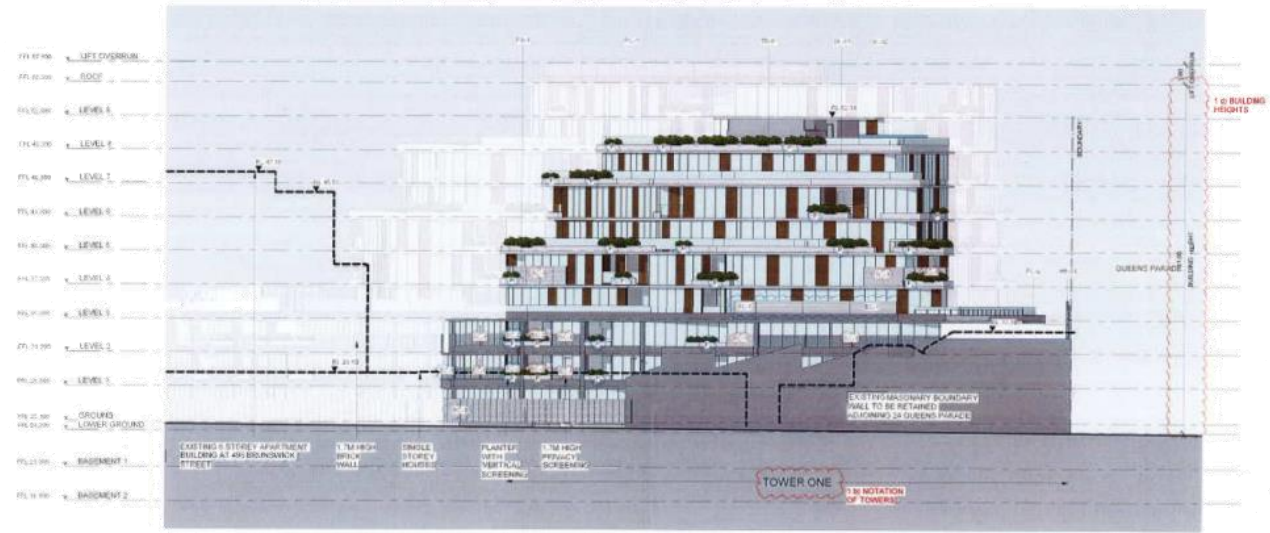
Attachment 3 - PLN16/0464 - 26 - 56 Queens Parade Fitzroy North - Endorsed Plans - Part 2



Attachment 3 - PLN16/0464 - 26 - 56 Queens Parade Fitzroy North - Endorsed Plans - Part 2

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 YARRA PLANNING SCHEME  
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 relating to use/development of land.

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 DATE 2/6/2020 PLAN 23 of 71  
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1 WEST ELEVATION  
 A-2149 SCALE 1:200

- LEGEND
- (GL01) SOLID GLAZING
  - (GL02) HALF FRAME GLAZING
  - (GL03) PAINTED HERITAGE BRICK (PALE GREY)
  - (BR01) NATURAL CHARCOAL BRICK
  - (PC01) POWDER COATED PLANTER (WHITE)
  - (PC02) POWDER COATED PLANTER (CHARCOAL)
  - (SC01) PLANT SCREENING (FEED-A-GRUB)
  - (PS01) PLANT SCREENING
  - (TB01) TUBER BATTENS
  - (WC01) WHITE CONCRETE
- 10 HERITAGE FACADE  
 FENESTRATION  
 CONDITION 14

Project  
 26-52 Queens Parade

Drawing Title  
 ELEVATIONS

Drawing Number  
 A-30-05

Revision  
 5

Date  
 25/02/20

Scale  
 1:200 @ A1

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 relating to use/development of land.

For and on behalf of the Responsible Authority  
 DATE 2/16/2020 PLAN 24 of 71  
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1 TOWER ONE - EAST ELEVATION  
 A2-10 SCALE 1:200

- LEGEND
- [GLZ] GLAZING
  - [GLZ] REALISTADE GLAZING
  - [BRK] PAINTED HERITAGE BRICK (DLE SPES)
  - [BRK] NATURAL CHARCOAL BRICK
  - [PCAT] POWDER COATED PLASTER (WHITE)
  - [PCAT] POWDER COATED PLASTER (CHARCOAL)
  - [SCA] STYRACRYL SYSTEMS (REPER AERO)
  - [FS-2] PLANT SCREENING
  - [TBL] TIMBER SATTENS
  - [CON] WHITE CONCRETE
- 10 HERITAGE PACKAGE PENETRATION CONDITION 14

Project	Drawing Title	Drawing Number	Revision	Date	Scale
26-52 Queens Parade	ELEVATIONS	A-30-06	6	25/02/20	1:200 @ A1

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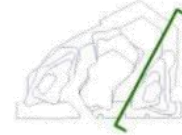
Attachment 3 - PLN16/0464 - 26 - 56 Queens Parade Fitzroy North - Endorsed Plans - Part 2



Attachment 3 - PLN16/0464 - 26 - 56 Queens Parade Fitzroy North - Endorsed Plans - Part 2



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1 TOWER 3 - WEST ELEVATION  
A21-16 SCALE 1:200

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YARRA PLANNING SCHEME  
Plan referred to in Permit No.: PLN16/0934  
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*[Signature]*  
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DATE 2/6/20 PLAN 27 of 71  
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LEGEND

GL-01	GLAZING
GL-02	BALUSTRADE GLAZING
HB-01	PAINTED HERITAGE BRICK (PALE GREY)
BK-01	NATURAL CHARCOAL BRICK
PC-01	POWDER COATED PLANTER (WHITE)
PC-02	POWDER COATED PLANTER (CHARCOAL)
SC-01	FRAC-1 SCREENING (REFER A-6-03)
PS-01	PLANT SCREENING
TS-01	TIMBER BATTENS
WC-01	SUGET WHITE CONCRETE

1g) HERITAGE FACADE  
REINSTRATION  
CONDITION 14

Project 26-52 Queens Parade	Drawing Title ELEVATIONS	Drawing Number A-30-09	Revision 5	Date 25/02/20	Scale 1:200 @ A1	Cox Architecture Suite 10, 100 Collins St Melbourne VIC 3000 Australia P +61 3 9636 1000 F +61 3 9636 1001 www.coxarchitecture.com.au	CEIVED 13 OCT 2020 COX
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Attachment 3 - PLN16/0464 - 26 - 56 Queens Parade Fitzroy North - Endorsed Plans - Part 2



1 SECTION A  
A40-01 SCALE 1:200



PROJECT  
26-52 Queens Parade

Drawing Title  
SECTION

Drawing Number  
A-40-10

Revision  
4

Date  
23/07/19

Scale  
1:200 @ A1

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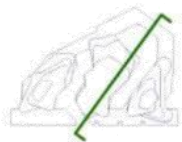
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1 SECTION B  
SCALE 1:200



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 Plan referred to in Permit No: PLN16/0464,  
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*[Signature]*

For and on behalf of the Responsible Authority  
 DATE 2/6/2020 PLAN 29 of 71  
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Project:  
26-52 Queens Parade

Drawing Title:  
SECTION

Drawing Number:  
A-40-11

Revision:  
4

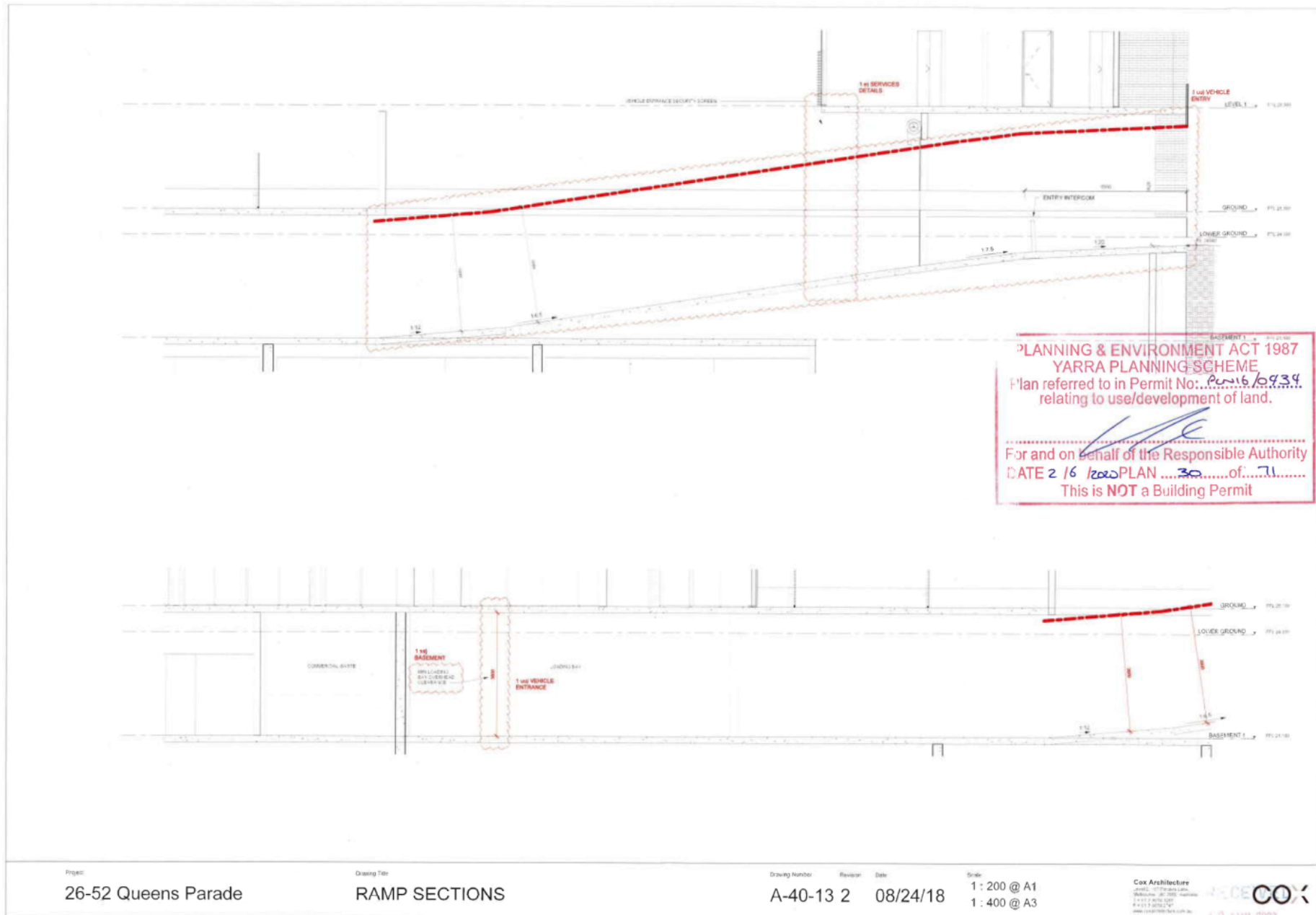
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23/07/19

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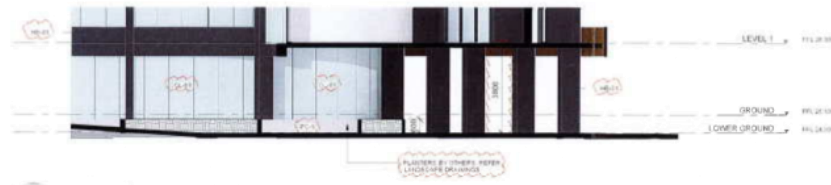
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Attachment 3 - PLN16/0464 - 26 - 56 Queens Parade Fitzroy North - Endorsed Plans - Part 2



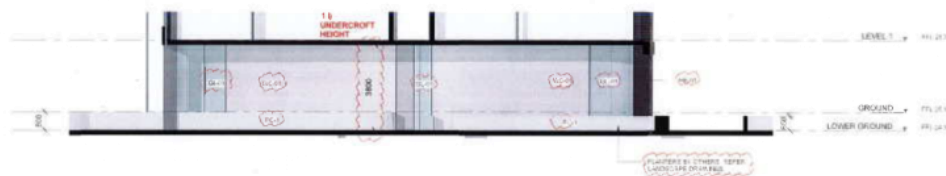
Attachment 3 - PLN16/0464 - 26 - 56 Queens Parade Fitzroy North - Endorsed Plans - Part 2



1 UNDERCROFT 2 SECTION  
A422-01 SCALE 1:150

PLANNING & ENVIRONMENT ACT 1987  
YARRA PLANNING SCHEME  
Plan referred to in Permit No...PLN16/0464...  
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*[Signature]*  
For and on behalf of the Responsible Authority  
DATE 26 10 2020 PLAN 31 of 71  
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2 UNDERCROFT 1 SECTION  
A422-01 SCALE 1:150

LEGEND	
GL-01	GLAZING
GL-02	BALUSTRADE GLAZING
BR-01	PARTED HERITAGE BRICK (CHARCOAL)
BR-02	NATURAL CHARCOAL BRICK
PG-01	POWDER COATED PLANTER (WHITE)
PG-02	POWDER COATED PLANTER (CHARCOAL)
PS-01	PRIVACY SCREENING (REFER A-49-03)
PS-02	PLANT SCREENING
TB-01	TIMBER BATTENS
AC-01	WHITE CONCRETE

Project: 26-52 Queens Parade

Drawing Title: UNDERCROFT SECTIONS

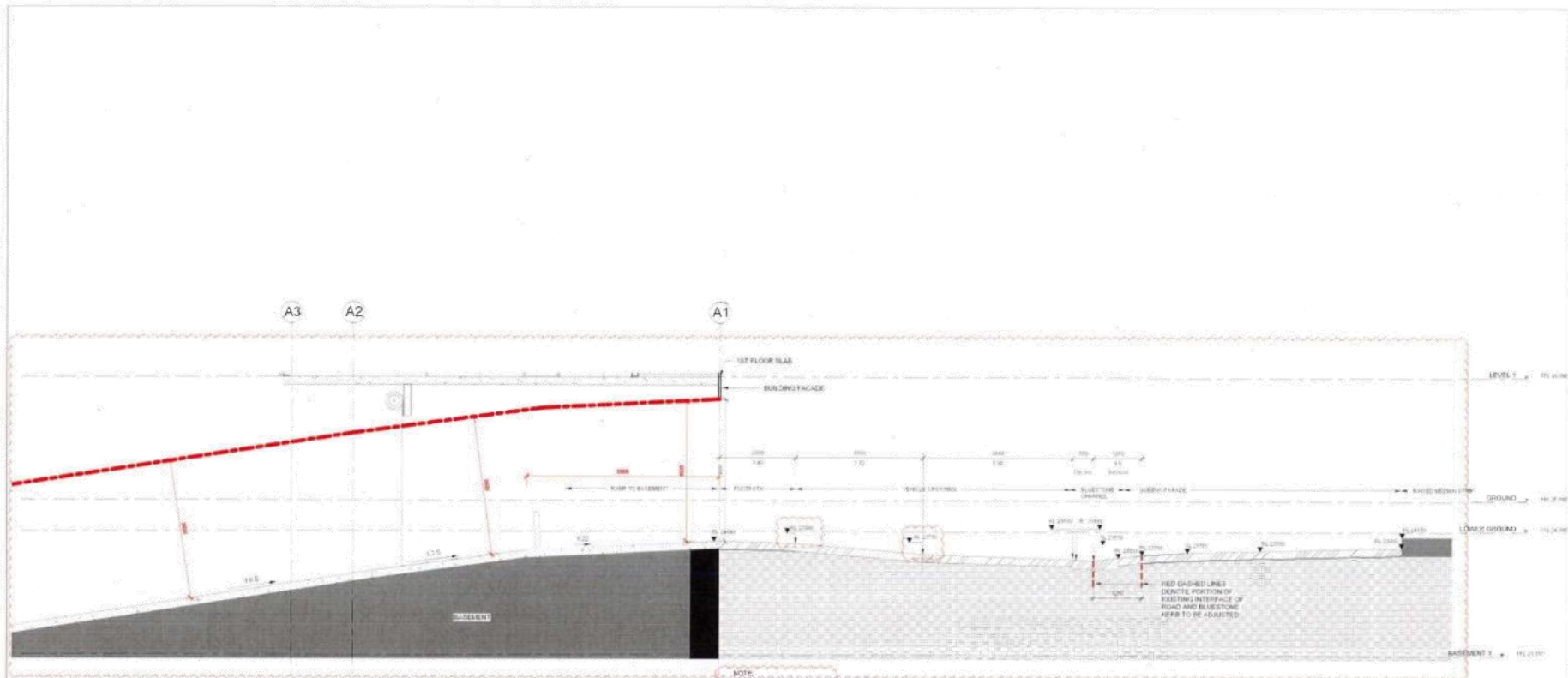
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Revision: 24.07.17  
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1:400 @ A3

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Attachment 3 - PLN16/0464 - 26 - 56 Queens Parade Fitzroy North - Endorsed Plans - Part 2



NOTE:  
CROSSOVER TO BE  
CONSTRUCTED TO THE  
SATISFACTION OF COUNCIL.

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 YARRA PLANNING SCHEME  
 Plan referred to in Permit No: Per16/0434  
 relating to use/development of land.

*[Signature]*  
 For and on behalf of the Responsible Authority  
 DATE 2/6/2020 PLAN 33 of 71  
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Project 26-52 Queens Parade	Existing Title RAMP DETAIL SECTION	Drawing Number A-46-01	Revision 3	Date 27/08/19	Scale 1:50 @ A1	Cox Architecture 10/117 The Esplanade Melbourne, VIC 3000 P: 03 9593 1200 F: 03 9593 1201 www.coxarchitecture.com.au
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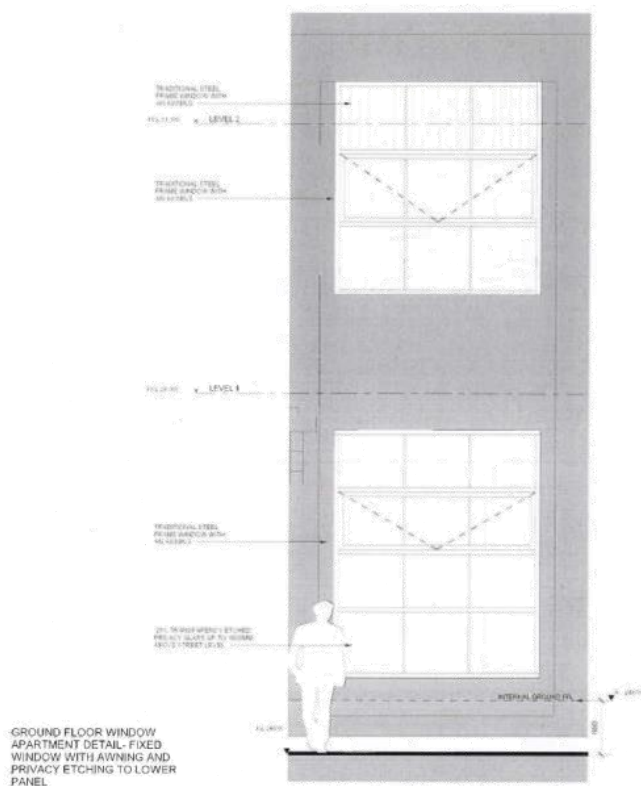
Attachment 3 - PLN16/0464 - 26 - 56 Queens Parade Fitzroy North - Endorsed Plans - Part 2



Attachment 3 - PLN16/0464 - 26 - 56 Queens Parade Fitzroy North - Endorsed Plans - Part 2



Attachment 3 - PLN16/0464 - 26 - 56 Queens Parade Fitzroy North - Endorsed Plans - Part 2



1 HERITAGE FACADE DETAILED ELEVATION  
A2110 SCALE 1:25

1 (b) HERITAGE FACADE WINDOWS

SECOND HERITAGE TREATMENT (ELECTRIC OR OPENABLE) IS IF REQUIRED TO BE OPENABLE. THE WINDOWS MUST USE TRADITIONAL STEEL FRAMED SYSTEMS INCLUDING ONLY HOPPER, AWNINGS OR PIVOT SASH ARRANGEMENTS.  
BEFORE TREATMENT (CONDITION REMOVED) AND REPLACED WITH UNIFORM ALUMINIUM CONDITION ACROSS ALL HERITAGE WINDOWS

PLANNING & ENVIRONMENT ACT 1987  
YARRA PLANNING SCHEME  
Plan referred to in Permit No.: Permit 16/0464  
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*[Signature]*  
For and on behalf of the Responsible Authority  
DATE 2/6/2020 PLAN 26 of 71  
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Project: 26-52 Queens Parade

Drawing Title: HERITAGE FACADE DETAILED ELEVATION

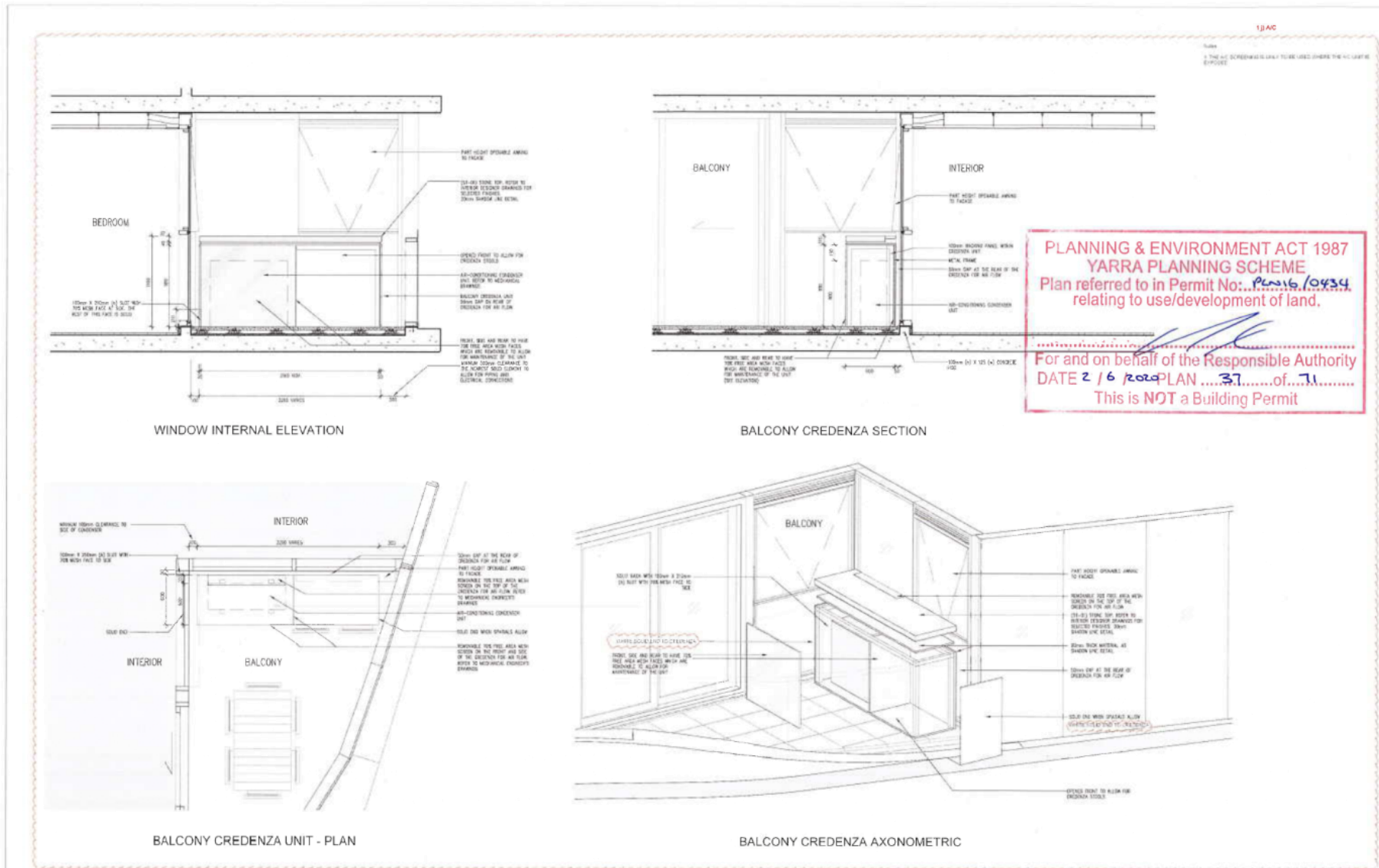
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Revision: 2  
Date: 23/07/19

Scale: 1:25 @ A1

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Project  
26-52 Queens Parade

Drawing Title  
A/C SCREENING

Drawing Number  
A-68-01

Revision  
2

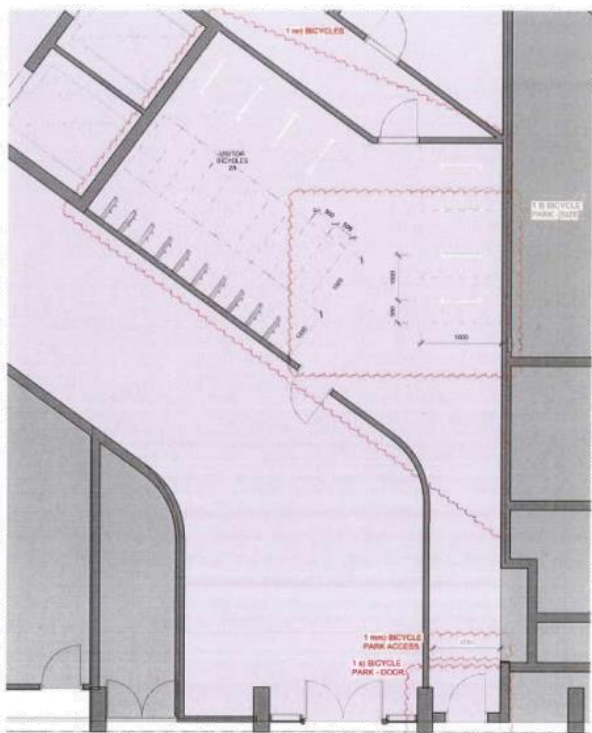
Date  
23/07/19

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 Melbourne VIC 3000 Australia  
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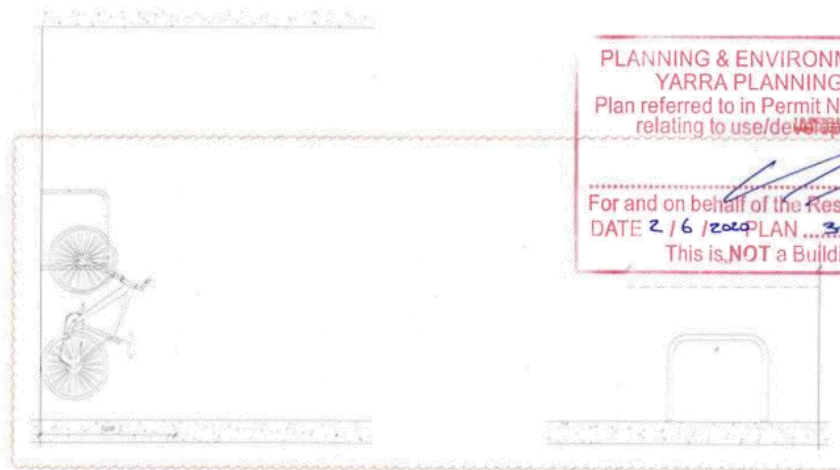
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Attachment 3 - PLN16/0464 - 26 - 56 Queens Parade Fitzroy North - Endorsed Plans - Part 2



1 VISITORS BICYCLE PARKING  
SCALE: 1:50



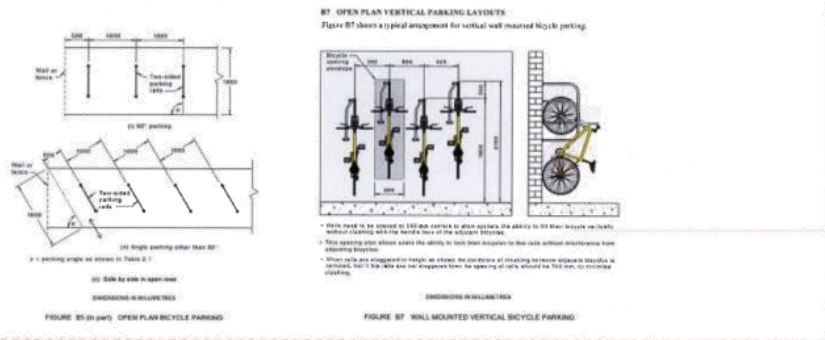
WALL MOUNTED BICYCKE PARK

FLOOR MOUNTED BICYCKE PARK

PLANNING & ENVIRONMENT ACT 1987  
YARRA PLANNING SCHEME  
Plan referred to in Permit No: PLN16/0464  
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DATE 2 / 6 / 2019 PLAN 26 of 71  
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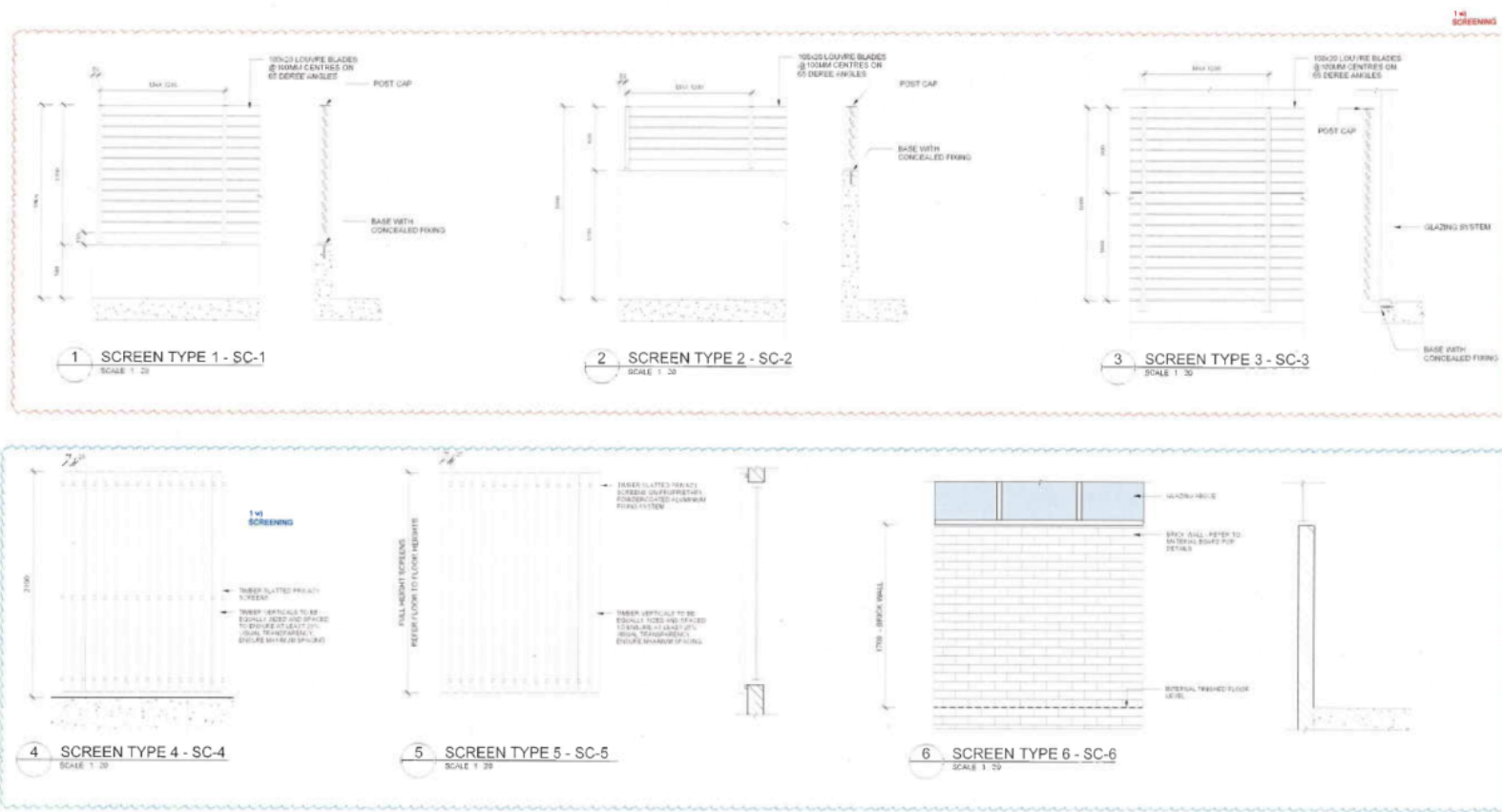
- ALL BICYCLE PARKING TO COMPLY WITH AUSTRALIAN STANDARD AS 2890.3:2015 AS PER BELOW IMAGES



Attachment 3 - PLN16/0464 - 26 - 56 Queens Parade Fitzroy North - Endorsed Plans - Part 2

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 YARRA PLANNING SCHEME  
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Project: 26-52 Queens Parade

Drawing Title: SCREEN DETAILS

Drawing Number: A-68-03  
 Revision: 3  
 Date: 27/08/19  
 Scale: 1:20 @ A1

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Attachment 3 - PLN16/0464 - 26 - 56 Queens Parade Fitzroy North - Endorsed Plans - Part 2



Attachment 4 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 3



Attachment 4 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 3



1 SERVICE AREA DETAILED ELEVATION  
SCALE 1:50

PLANNING & ENVIRONMENT ACT 1987  
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Plan referred to in Permit No: PLN16/0434  
relating to use/development of land.

*[Signature]*  
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DATE 2/6/20 PLAN 42 of 71  
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PROJECT  
26-52 Queens Parade

Drawing Title  
SERVICE AREA DETAILS

Drawing Number  
A-68-07

Revision Date  
04/26/19

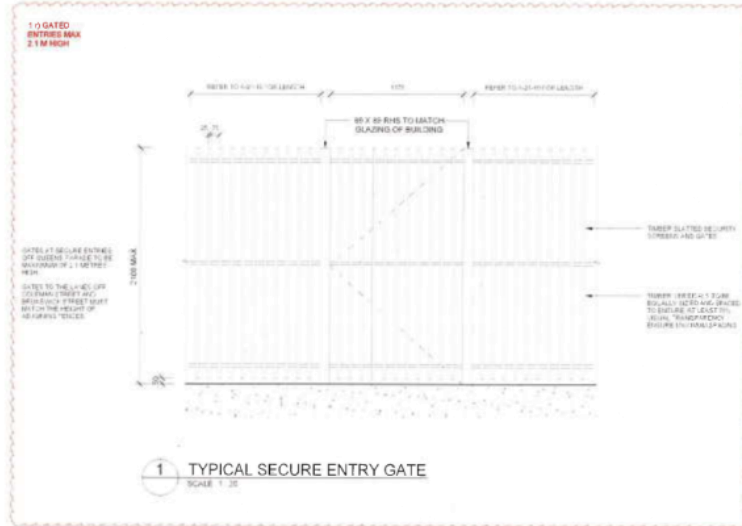
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Attachment 4 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 3



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 Plan referred to in Permit No.: PLN16/0434  
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Project  
 26-52 Queens Parade

Drawing Title  
 GATED ENTRY DETAILS

Drawing Number  
 A-68-09 1

Revision  
 1

Date  
 04/26/19

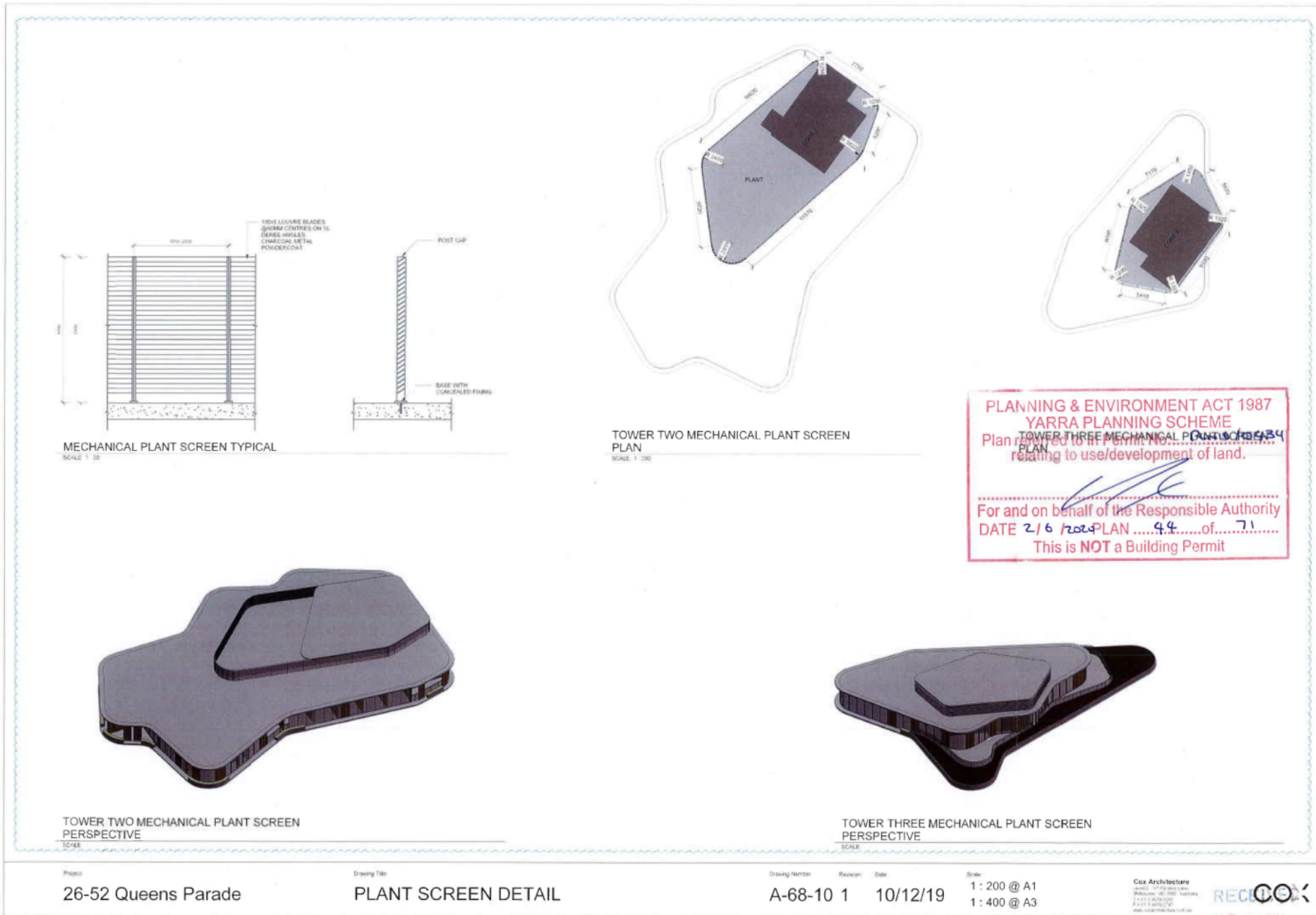
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Attachment 4 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 3



Attachment 4 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 3

PLANNING & ENVIRONMENT ACT 1987  
YARRA PLANNING SCHEME  
Plan referred to in Permit No. ... relates to use/development of land relating to use/development of land.  
For and on behalf of the Responsible Authority  
DATE 2/6/20 PLAN 45 of 71  
This is NOT a Building Permit



REF TO 601-64 FOR HERITAGE MATERIALS

MATERIALS TO HERITAGE FACADE SHOWN

Project  
**26-52 Queens Parade**

Drawing Title  
**QUEENS PARADE PERSPECTIVE  
A**

Drawing Number  
**A-81-01**

Revision  
**3**

Date  
**25/02/20**

Scale  
**@ A3**

Cox Architecture  
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Attachment 4 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 3



PLANNING & ENVIRONMENT ACT 1987  
 YARRA PLANNING SCHEME  
 Plan referred to in Permit No. PLN16/0434  
 relating to use/development of land.

*[Signature]*  
 For and on behalf of the Responsible Authority  
 DATE 2/6/20 PLAN 46 of 71  
 This is NOT a Building Permit

SEEK TO USE OLDER  
 HERITAGE MATERIALS

MATERIALS TO HERITAGE FACADE SHOWN

Project:  
**26-52 Queens Parade**

Drawing Title:  
**QUEENS PARADE PERSPECTIVE  
 B**

Drawing Number:  
**A-81-02**

Revision:  
**3**

Date:  
**25/02/20**

Scale:  
**@ A3**

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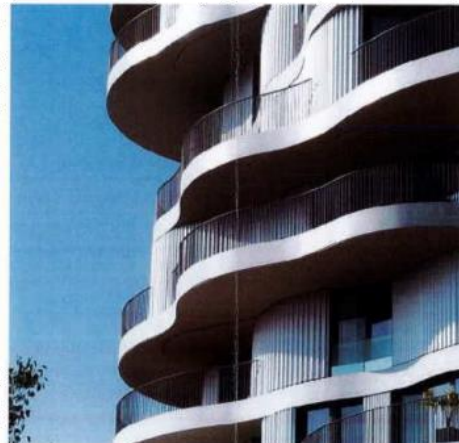
**COX** ARCHITECTURE

18 MAY 2020

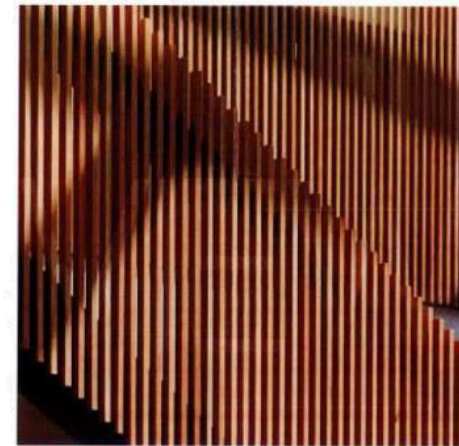
Attachment 4 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 3



MF-1: CHARCOAL METAL FRAMED WINDOW REFERENCE



WC-1: WHITE CONCRETE SLAB EDGE



TB-1: SOLID TIMBER SCREEN REFERENCE  
EXTERNAL TIMBER WEATHER PROTECTION - CLEAR MATT OIL WITH 2 COATS MINIMUM.



MF-1: CHARCOAL METAL GLAZING FRAME



GL-1: CLEAR GLAZING



GL-2: RIBBED GLAZING



WC-1: WHITE CONCRETE



BRG-1: NATURAL CHARCOAL BRICK

Notes

1. ALL EXTERIOR GLAZING TO THE BUILDING TO ACHIEVE A VLT OF AT LEAST 70%

1 x(v)  
MATERIALS

PLANNING ENVIRONMENTAL  
YARRA PLANNING SCHEME  
Plan referred to in Permit No: PLN16/0434  
relating to use/development of land.  
  
For and on behalf of the Responsible Authority  
DATE 2/6/2020 PLAN 47 of 71  
This is NOT a Building Permit

Project  
26-52 Queens Parade

Drawing Title  
MATERIAL BOARD

Drawing Number: A-91-01  
Revision: 2  
Date: 23/07/19  
Scale: @ A3

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COX ARCHITECTURE

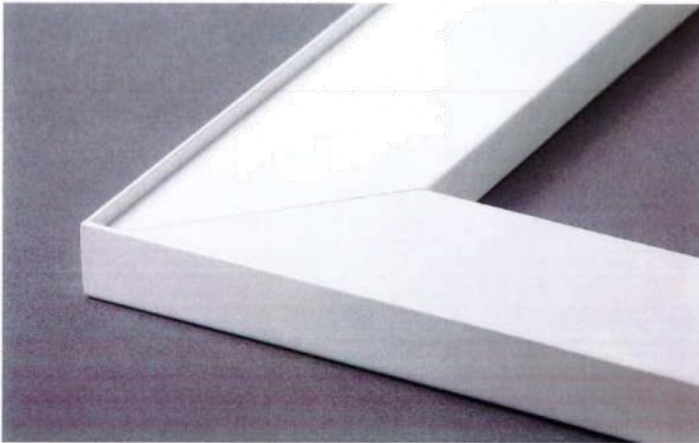
18 MAY 2020



Attachment 4 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 3

**NOTE:**

TS-1 & TB-1 TO BE A DURABLE FINISH AND COATED IN AN EXTERNAL TIMBER WEATHER PROTECTION - CLEAR MATT OIL WITH 2 COATS MINIMUM.



PC-1 : POWDER COATED PLANTER MATERIAL



INTEGRATED PLANTER REFERENCE



PLANNING & ENVIRONMENT ACT 1987  
YARRA PLANNING SCHEME  
Plan referred to in Permit No: PLN16/0434  
relating to use/development of land.  
*[Signature]*  
For on behalf of the responsible Authority  
DA 6 PLN16/0434 4.8 of 7.1  
Building Permit



TB-1 : TIMBER SCREENS REFERENCE  
- DURABLE FINISH



1 x(i)  
MATERIALS



TS-1 : TIMBER SOFFIT REFERENCE  
- DURABLE FINISH



Project:  
**26-52 Queens Parade**

Drawing Title:  
**MATERIAL BOARD**

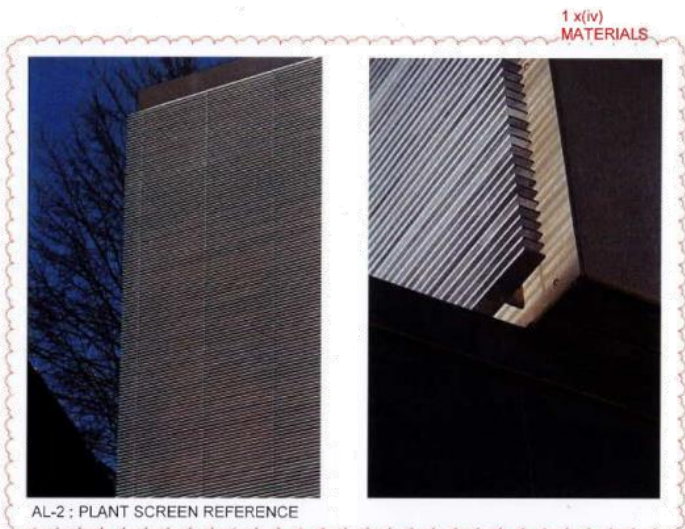
Drawing Number: **A-91-02** Revision: **2** Date: **23/07/19** Scale: **@ A3**

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VEHICLE ENTRANCE SECURITY SCREEN



PLANNING & ENVIRONMENT ACT 1987  
YARRA PLANNING SCHEME  
Plan referred to in Permit No.: PLN16/0434  
relating to use/development of land.

*[Signature]*

For and on behalf of the Responsible Authority  
DATE 2 / 6 / 2020 PLAN 49 of 71  
This is **NOT** a Building Permit

Project  
26-52 Queens Parade

Drawing Title  
MATERIAL BOARD

1 x) MATERIALS

Drawing Reference  
A-91-03

Revision  
2

Date  
23/07/19

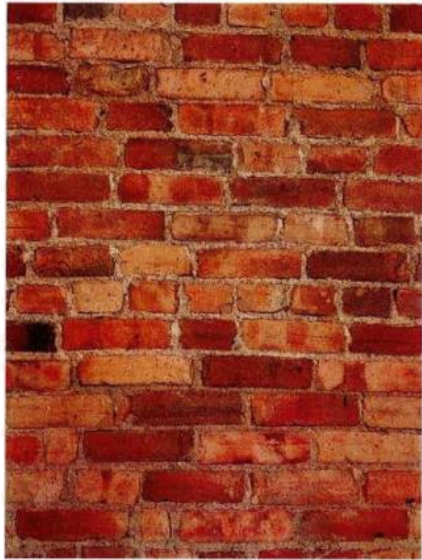
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@ A3

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HERITAGE BRICK

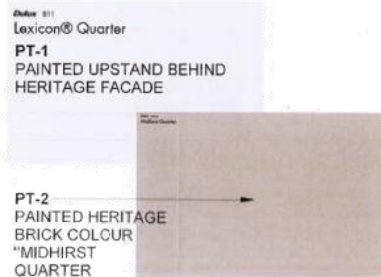
**14) HERITAGE BRICK**

CONDITION 14 - BEFORE EITHER THE DEVELOPMENT STARTS OR THE PAINT ON THE DECORATIVE FACADE IS REMOVED (EXCEPT FOR THE PURPOSES OF INVESTIGATION), A DECORATIVE FACADE TREATMENT SCHEME MUST BE SUBMITTED TO AND APPROVED BY THE RESPONSIBLE AUTHORITY. THE TREATMENT SCHEME MUST BE INFORMED BY AND INCLUDE THE RESULTS OF AN INVESTIGATION OF THE EXISTING AND ORIGINAL DECORATIVE TREATMENTS TO THE FACADE AND AN ASSESSMENT OF NON-DESTRUCTIVE PAINT REMOVE TECHNIQUES. THE TREATMENT SCHEME MUST INCLUDE AN INVESTIGATION OF THE POSSIBILITY OF RESTORING THE FACADE TO ITS ORIGINAL CONDITION BASED ON THE BEST AVAILABLE EVIDENCE. THE TREATMENT SCHEME MUST ALSO INCLUDE THE BAY 9 RETURN WALL AND COLOUR PROPOSED FOR THE LEVEL 2 UPSTAND BEHIND THE FACADE GLAZING. WHEN APPROVED, THE DECORATIVE FACADE TREATMENT SCHEME WILL BE ENDORSED AND WILL THEN FORM PART OF THIS PERMIT



HB-01 : PAINTED HERITAGE BRICK

1xiii - CONSTRUCTION OF THE EASTERN RETURN WALL OF BAY 9 TO MATCH THE HERITAGE FACADE IN EITHER BRICKWORK OR, IF INVESTIGATION OF THE ORIGINAL FACADE BRICKWORK RESULTS IN THE RETENTION OF A PAINTED RENDER FINISH TO THE FACADE, A PAINTED RENDER FINISH OR SIMILAR TO MATCH THE MAIN FACADE

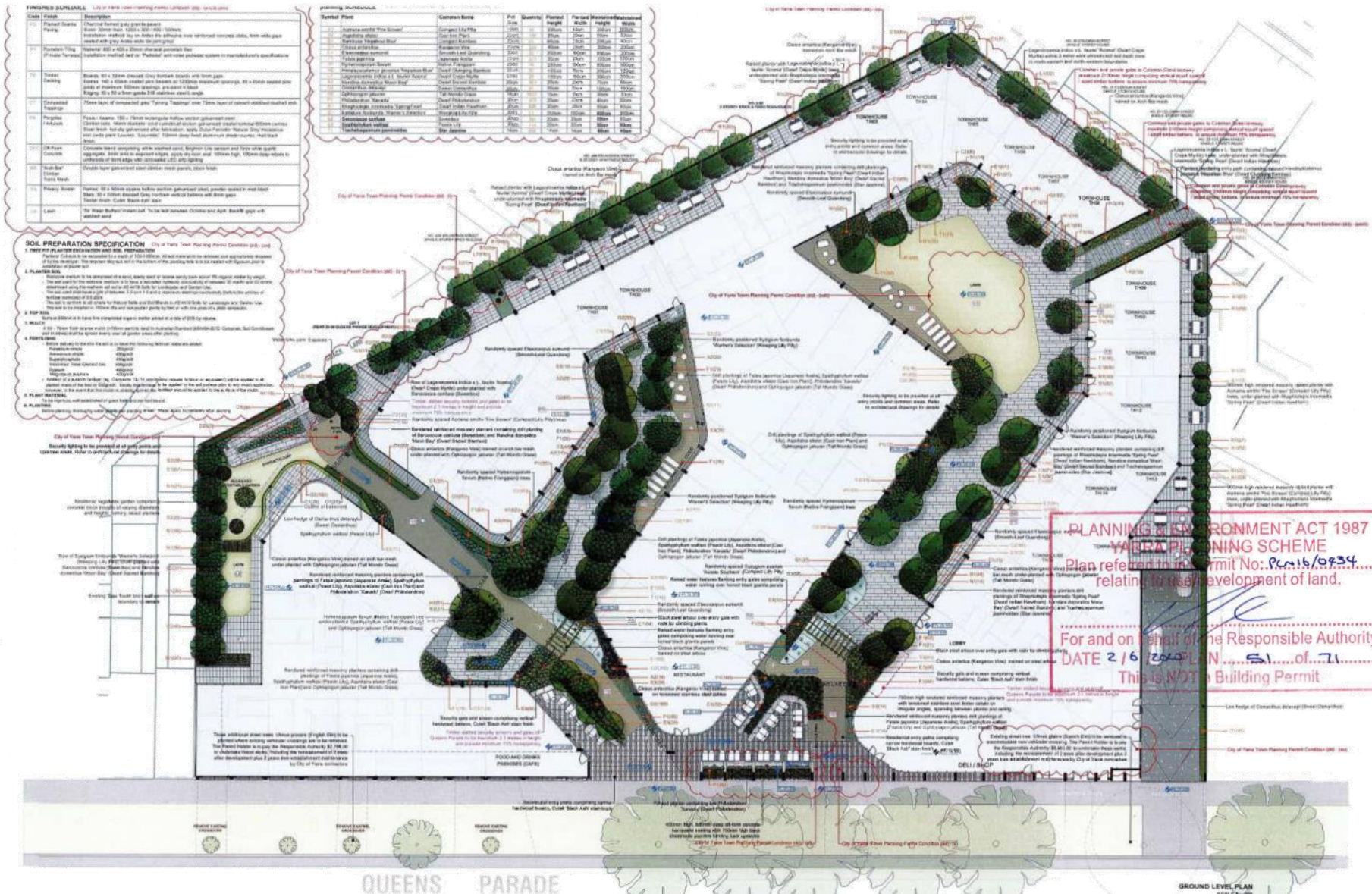


STEEL FRAME WINDOWS FOR HERITAGE WALL  
25% TRANSPARENCY ETCHED GLASS TO LOWER PANEL  
**1g) HERITAGE FACADE FENESTRATION**

PLANNING & ENVIRONMENT ACT 1987  
YARRA PLANNING SCHEME  
Plan referred to in Permit No: PLN16/0434  
relating to use/development of land.  
  
For and on behalf of the Responsible Authority  
DATE 2/6 2020 PLAN 50 of 71  
This is **NOT** a Building Permit

**1g) HERITAGE FACADE FENESTRATION CONDITION 14**

Attachment 5 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 4



**FINISHED SURFACES** Lay of finish over existing surface (Landscape) (see also page 1)

Code	Finish	Description
1	Plaster Form	Plaster Form
2	Concrete	Concrete
3	Gravel	Gravel
4	Grass	Grass
5	Asphalt	Asphalt
6	Brick	Brick
7	Stone	Stone
8	Wood	Wood
9	Other	Other

**Planting Schedule**

Planting Code	Planting Name	Common Name	Alt.	Quantity	Planting Date	Planting Location
1	Platanus	Platanus	15m	1	2020	Central Courtyard
2	Acacia	Acacia	10m	2	2020	Central Courtyard
3	Grass	Grass	100	2020	Central Courtyard	
4	Grass	Grass	100	2020	Central Courtyard	
5	Grass	Grass	100	2020	Central Courtyard	
6	Grass	Grass	100	2020	Central Courtyard	
7	Grass	Grass	100	2020	Central Courtyard	
8	Grass	Grass	100	2020	Central Courtyard	
9	Grass	Grass	100	2020	Central Courtyard	
10	Grass	Grass	100	2020	Central Courtyard	
11	Grass	Grass	100	2020	Central Courtyard	
12	Grass	Grass	100	2020	Central Courtyard	
13	Grass	Grass	100	2020	Central Courtyard	
14	Grass	Grass	100	2020	Central Courtyard	
15	Grass	Grass	100	2020	Central Courtyard	
16	Grass	Grass	100	2020	Central Courtyard	
17	Grass	Grass	100	2020	Central Courtyard	
18	Grass	Grass	100	2020	Central Courtyard	
19	Grass	Grass	100	2020	Central Courtyard	
20	Grass	Grass	100	2020	Central Courtyard	

**SOIL PREPARATION SPECIFICATION** City of Yarra Tree Planting Permit Condition (see page 1)

1. **PRELIMINARY EXAMINATION AND INSPECTION**

2. **PLANTER SOIL**

3. **SOIL TESTS**

4. **SOIL REMEDIATION**

5. **PLANT MATERIAL**

6. **PLANTING**

**PLANNING & ENVIRONMENT ACT 1987**  
**YARRA PLANNING SCHEME**  
 Plan reference is Permit No: **PLN16/0434** relating to the development of land.

For and on behalf of the Responsible Authority  
 DATE **2/6/2020** of **11/2020**  
 This is NOT a Building Permit



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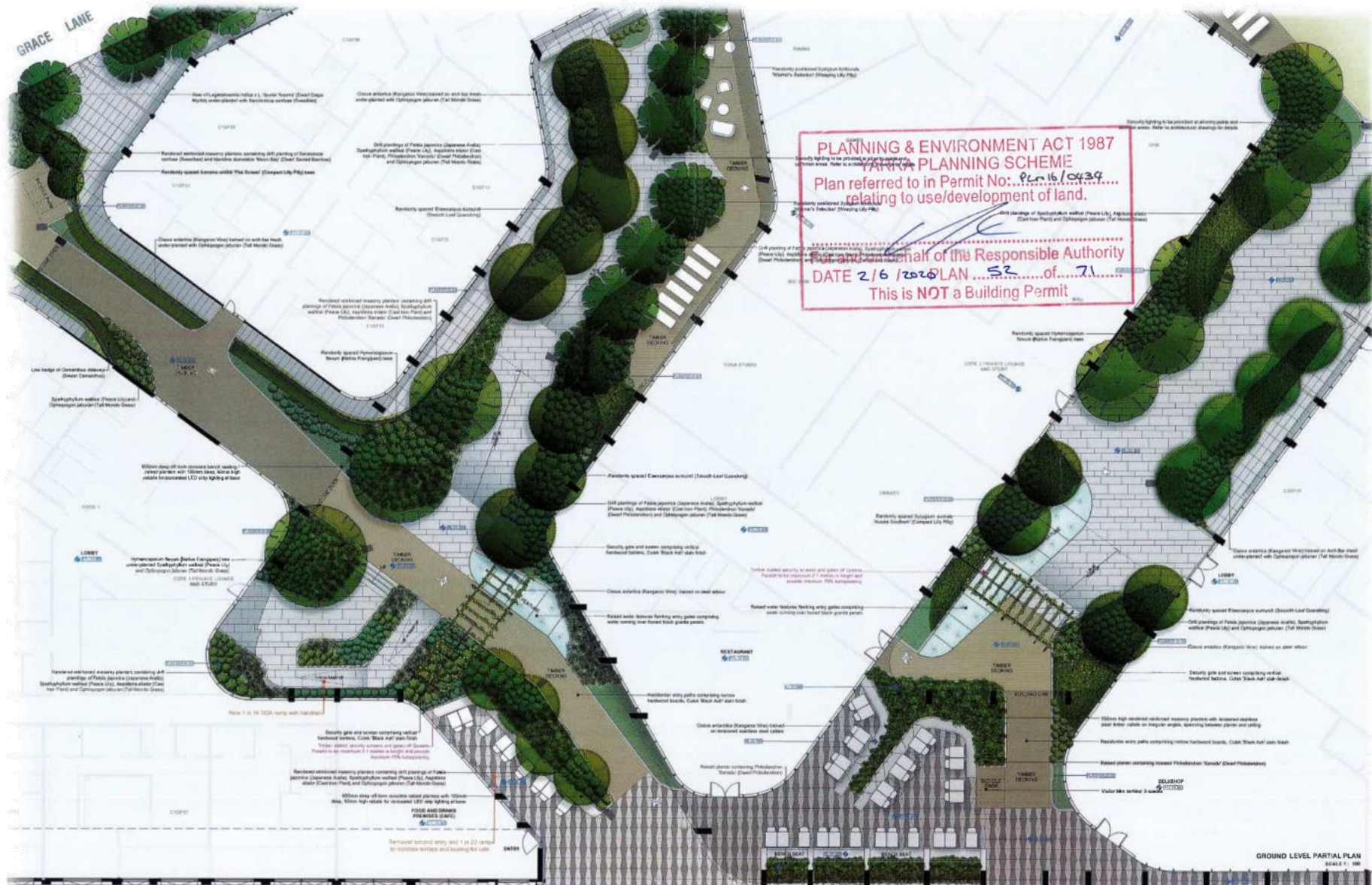
**GENERAL NOTE**  
 City of Yarra Tree Planting Permit Condition (see page 1)

**26 - 56 Queens Parade, Fitzroy North**  
 Project No: 26 - 56 Queens Parade, Fitzroy North  
 Project Name: 26 - 56 Queens Parade, Fitzroy North  
 Project Date: 22/01/2020

**26 - 56 Queens Parade, Fitzroy North**  
 Project No: 26 - 56 Queens Parade, Fitzroy North  
 Project Name: 26 - 56 Queens Parade, Fitzroy North  
 Project Date: 22/01/2020

**Ground Level Plan - Public Domain & Central Garden Plan**  
 Project No: 15.183  
 Project Name: TPO1  
 Project Date: 22/01/2020

Attachment 5 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 4



**JOCK MARJOT**  
 Landscape Architecture  
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 info@jockmarjot.com  
 www.jockmarjot.com

**DISCLAIMER**  
 The drawings are to be used in accordance with the terms of the Conditions of Appointment and the Project Brief which form part of the contract. The drawings are not to be used for any other purpose without the written consent of the author. The drawings are not to be used for any other purpose without the written consent of the author. The drawings are not to be used for any other purpose without the written consent of the author.

**GENERAL NOTE**  
 City of Yarra Tree Planning Panel Consideration:  
 (1) Before the building is erected, or in either case as approved by the Responsible Authority, the landscape works shown on the endorsed plans shall be carried out and completed to the satisfaction of the Responsible Authority.  
 (2) The landscaping shown on the endorsed plans must be maintained by:  
 (a) maintaining and complying with the maintenance, water requirements and requirements of the endorsed landscape plan;  
 (b) not using any water or fertiliser for the endorsed landscape plan for anything but the intended purpose; and  
 (c) replacing any dead, diseased, dying or damaged plants, all to the satisfaction of the Responsible Authority.

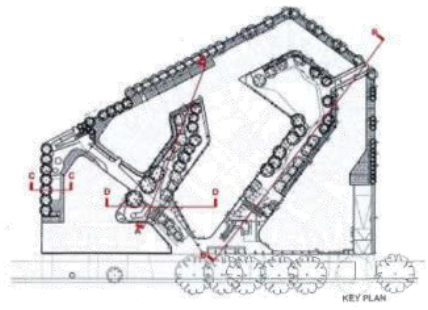
<b>PROJECT TITLE</b>		<b>ISSUED DATE</b>	
26-56 Queens Parade, Fitzroy North		Ground Level - Central Garden Plan	
<b>SUBJECT</b>		<b>ISSUED NUMBER</b>	
Gurner		TP02	
<b>DATE</b>		<b>SCALE</b>	
15.10.20		22.01.20	
<b>REVISION</b>		<b>DATE</b>	
		M	

19 MAY 2020

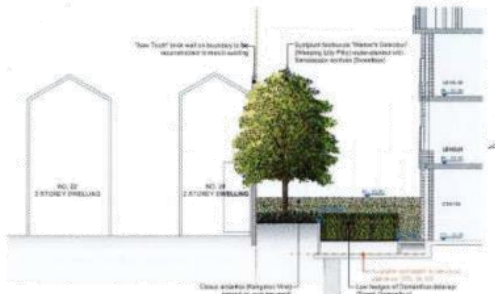
Attachment 5 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 4



SECTION A-A  
THROUGH CENTRAL GARDEN WEST TO WESTERN ZONE  
SCALE 1:100



SECTION B-B  
THROUGH CENTRAL GARDEN EAST TO EASTERN ZONE  
SCALE 1:100



SECTION C-C  
THROUGH SOUTHERN ZONE AND WESTERN BOUNDARY TO WEST  
SCALE 1:100



SECTION D-D  
THROUGH CENTRAL GARDEN TO WEST  
SCALE 1:100

**PLANNING & ENVIRONMENT ACT 1987**  
**YARRA PLANNING SCHEME**  
 Plan referred to in Permit No: PLN16/0434  
 relating to use/development of land.

*[Signature]*

For and on behalf of the Responsible Authority  
 DATE 2/6/2020 PLAN 53 of 71  
 This is NOT a Building Permit



**JACK INFO**  
 Design & Landmark  
 302A Toorak Road  
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 3100 Australia  
 Tel: 03 9888 6555  
 info@jackinfo.com  
 www.jackinfo.com

**CONTRACT NO:** 16/0434  
**DATE:** 2/6/2020  
**PROJECT:** 26 - 56 Queens Parade, Fitzroy North  
**CLIENT:** Gurner  
**DESIGNER:** Jack Info  
**DATE:** 2/6/2020  
**SCALE:** 1:100  
**SECTION:** SECTION A-A  
**THROUGH:** THROUGH CENTRAL GARDEN WEST TO WESTERN ZONE

**CONSENTS:**  
 City of Yarra Planning Permit Condition  
 1. Before the building is occupied, it must comply with the requirements of the Responsible Authority.  
 2. The building must be used in accordance with the conditions of the Responsible Authority.  
 3. The building must be used in accordance with the conditions of the Responsible Authority.  
 4. The building must be used in accordance with the conditions of the Responsible Authority.  
 5. The building must be used in accordance with the conditions of the Responsible Authority.

PROJECT NUMBER	REVISION NUMBER	DATE	REVISION
15.183	TP03	22.01.20	M

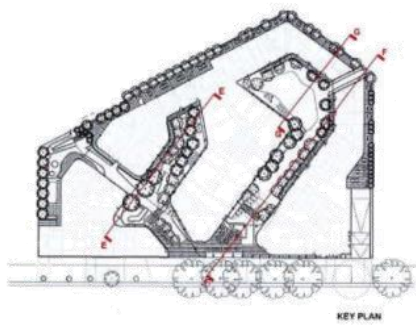
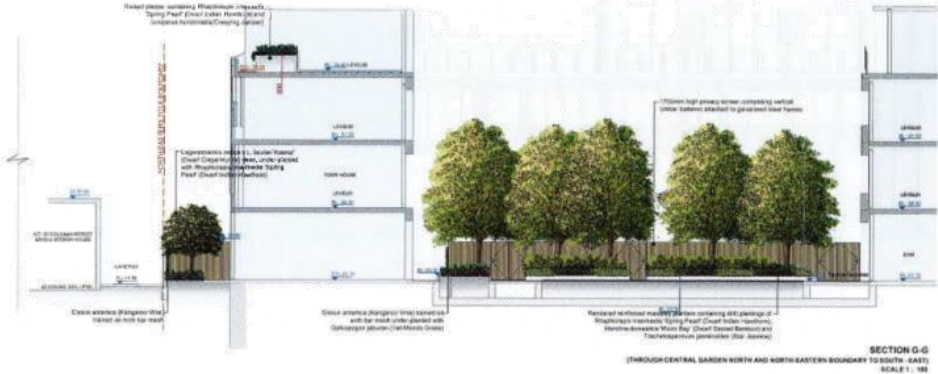
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 YARRA PLANNING SCHEME  
 Plan referred to in Permit No. PLN16/0434  
 relating to use/development of land.

*[Signature]*  
 For and on behalf of the Responsible Authority  
 DATE 2 / 6 / 2020 PLAN 59 of 71  
 This is NOT a Building Permit



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 info@jackm.com  
 www.jackm.com.au

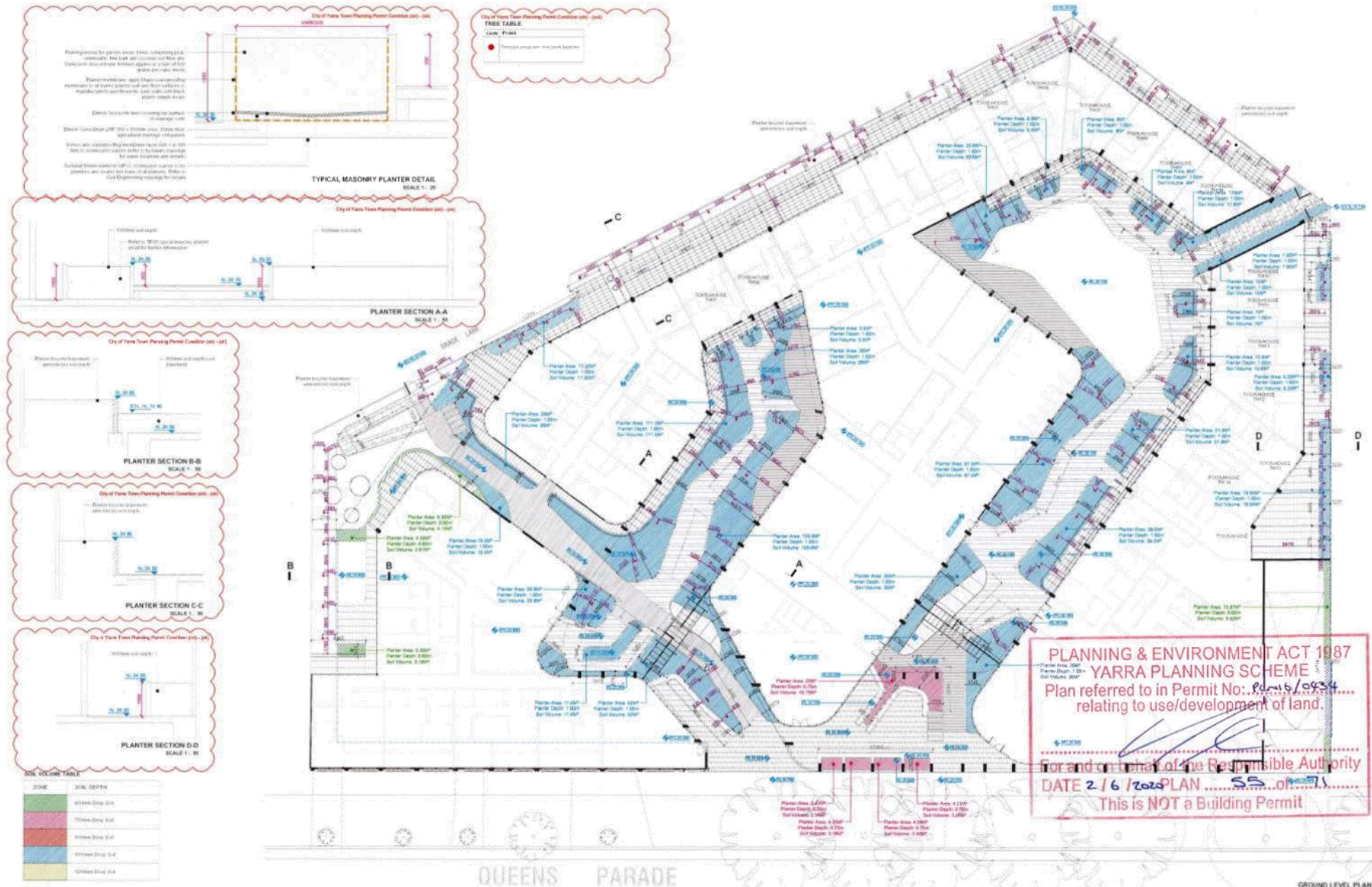
**GENERAL NOTE**  
 City of Yarra Planning Permit Conditions:  
 (a) The Responsible Authority is not to be responsible for the Responsible Authority, its servants or agents in the performance of its functions or in the exercise of its powers.  
 (b) The Responsible Authority shall not be liable for any loss or damage caused by the Responsible Authority or its servants or agents in the performance of its functions or in the exercise of its powers.  
 (c) The Responsible Authority shall not be liable for any loss or damage caused by the Responsible Authority or its servants or agents in the performance of its functions or in the exercise of its powers.  
 (d) The Responsible Authority shall not be liable for any loss or damage caused by the Responsible Authority or its servants or agents in the performance of its functions or in the exercise of its powers.

**PROJECT TITLE**  
 26 - 56 Queens Parade, Fitzroy North  
**SUBJECT**  
 Gurner  
 SCALE: 1:100

PROJECT NUMBER	DRAWING NUMBER	DATE	VERSION
15.183	TP04	22.01.20	M

19 MAY 2020

Attachment 5 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 4



PLANNING & ENVIRONMENT ACT 1987  
 YARRA PLANNING SCHEME  
 Plan referred to in Permit No.: PLN16/0434  
 relating to use/development of land.

For and on behalf of the Responsible Authority  
 DATE 2 / 6 / 2020 PLAN SS of 16/01/20  
 This is NOT a Building Permit

**J**  
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 South Yarra Victoria  
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 +61 3 9866 9556  
 info@jpacolmer.com  
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**GENERAL NOTE**  
 City of Yarra Trees Planning Permit Condition (2017-18)  
 (1) Before the building is occupied, or such time done as is approved by the Responsible Authority, the landscape works shown on the landscape plan must be carried out and accepted by the Responsible Authority.  
 (2) The landscaping shown on the landscape plan must be installed by the applicant, or their contractor, and must comply with the conditions, requirements and requirements of the relevant Landscape Plan.  
 (3) Not taking the matter into account on the landscape plan for landscaping for any other purpose and not taking the matter into account on the landscape plan, all of the conditions of the Responsible Authority.

**GENERAL NOTE**  
 City of Yarra Trees Planning Permit Condition (2017-18)  
 (1) Before the building is occupied, or such time done as is approved by the Responsible Authority, the landscape works shown on the landscape plan must be carried out and accepted by the Responsible Authority.  
 (2) The landscaping shown on the landscape plan must be installed by the applicant, or their contractor, and must comply with the conditions, requirements and requirements of the relevant Landscape Plan.  
 (3) Not taking the matter into account on the landscape plan for landscaping for any other purpose and not taking the matter into account on the landscape plan, all of the conditions of the Responsible Authority.

Project No: 26 - 56 Queens Parade, Fitzroy North  
 Client: Gumer  
 Date: 22.01.20

City of Yarra Trees Planning Permit Condition (2017-18)  
 Ground Level - Soil Volume Plan  
 Project No: 15 183  
 Date: 22.01.20  
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Attachment 5 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 4

**SOIL PREPARATION SPECIFICATION**

1. **FREE PIT PLAYER EXCAVATION AND SOIL IMPROVEMENT**  
 Prior to the start of the construction of the building, the soil to be excavated and improved shall be the soil to be excavated. The excavated soil shall be placed in the building with optimum water content and shall be compacted.

2. **PLASTER SOIL**  
 Plaster soil shall be prepared to a depth of 100mm below the existing ground level. The soil shall be excavated and improved to a depth of 100mm below the existing ground level. The soil shall be compacted to a minimum of 95% of the maximum dry density. The soil shall be tested to a minimum of 100mm below the existing ground level. The soil shall be tested to a minimum of 100mm below the existing ground level.

3. **TOP SOIL**  
 Top soil shall be prepared to a depth of 100mm below the existing ground level. The soil shall be excavated and improved to a depth of 100mm below the existing ground level. The soil shall be compacted to a minimum of 95% of the maximum dry density. The soil shall be tested to a minimum of 100mm below the existing ground level. The soil shall be tested to a minimum of 100mm below the existing ground level.

4. **FINISH SCHEDULE**

Code	Phase	Description
01	Excavation	Excavation of soil to be replaced with topsoil
02	Plaster	Plaster of soil to be replaced with topsoil
03	Topsoil	Topsoil to be replaced with topsoil

**Materials Schedule**

Material	Quantity	Unit
Concrete	100	m³
Reinforcement	100	m³
Brickwork	100	m³

**SECTION A-A SCALE 1:500**  
**SECTION B-B SCALE 1:500**  
**SECTION C-C SCALE 1:500**

**LEVEL 03 PLAN SCALE 1:500**

**PLANNING & ENVIRONMENT ACT 1987  
 YARRA PLANNING SCHEME  
 Plan referred to in Permit No. PLN16/0434  
 relating to use/development of land.**

**For and on behalf of the Responsible Authority  
 DATE 2 16 2020 at 56 of  
 This is Not a Building Permit**

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**26 - 56 Queens Parade, Fitzroy North**

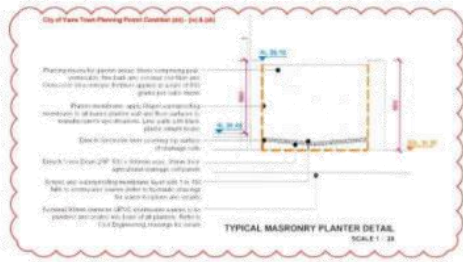
**Level 03 - Overall Plan**

PROJECT NUMBER	DATE	SCALE
15.183	TP06	22.01.20 M

18 OCT 2020

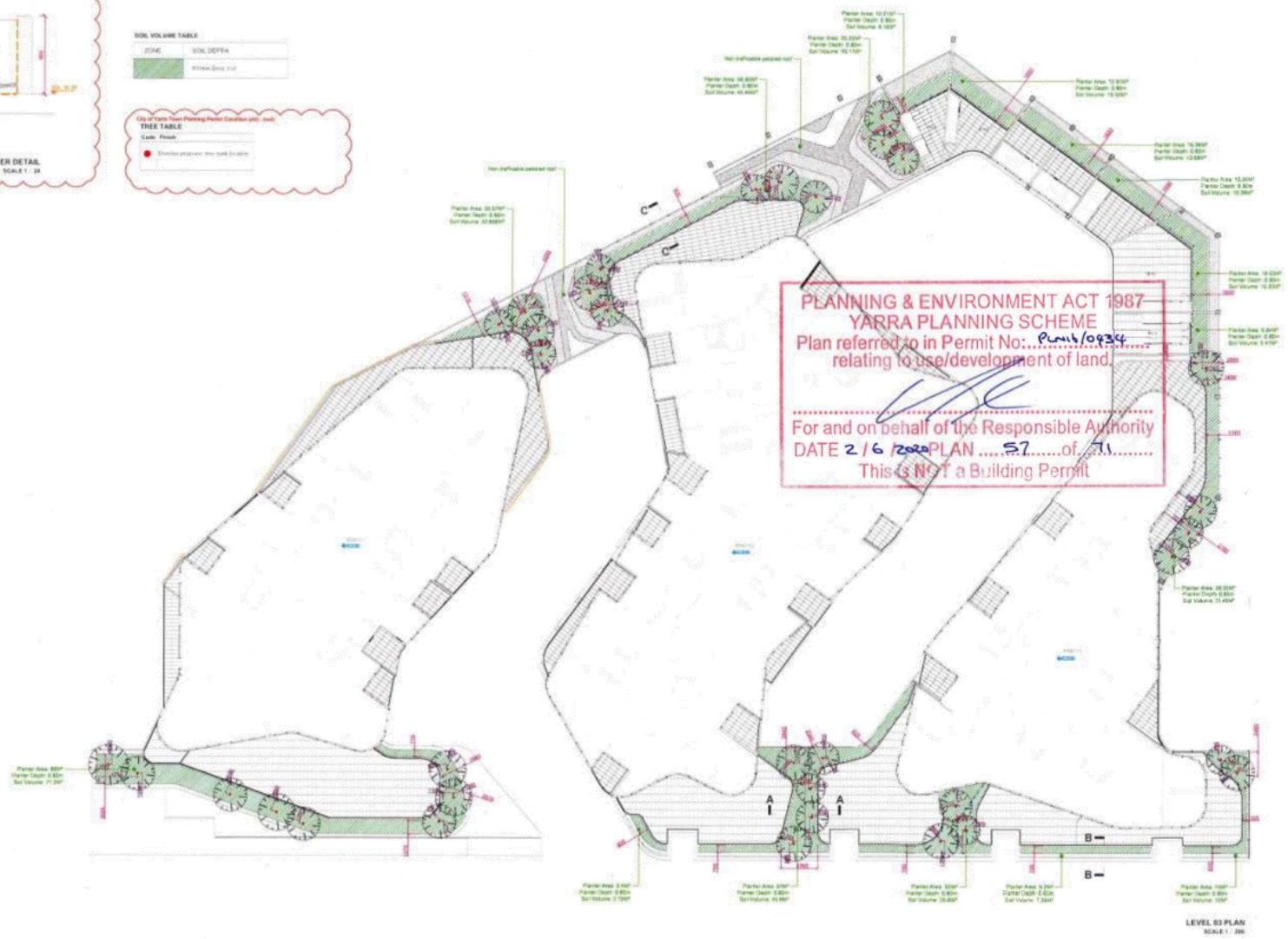
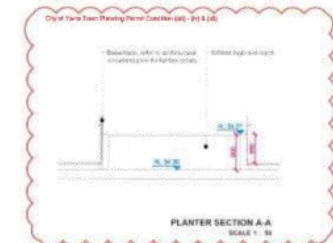
18 OCT 2020

Attachment 5 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 4



**SOIL VOLUME TABLE**

ZONE	SOIL DEPTH
Zone 1	100mm Deep Soil



**J**

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**GENERAL NOTE**

City of Yarra Planning Permit Conditions (PLC 1-10):

- 1.1 The permit holder must comply with the conditions of the permit.
- 1.2 The permit holder must ensure that the development is in accordance with the approved plans.
- 1.3 The permit holder must ensure that the development is in accordance with the approved plans.
- 1.4 The permit holder must ensure that the development is in accordance with the approved plans.
- 1.5 The permit holder must ensure that the development is in accordance with the approved plans.
- 1.6 The permit holder must ensure that the development is in accordance with the approved plans.
- 1.7 The permit holder must ensure that the development is in accordance with the approved plans.
- 1.8 The permit holder must ensure that the development is in accordance with the approved plans.
- 1.9 The permit holder must ensure that the development is in accordance with the approved plans.
- 1.10 The permit holder must ensure that the development is in accordance with the approved plans.

**26 - 56 Queens Parade, Fitzroy North**

Level 03 - Soil Volume Plan

Project No: 15.183  
TP07  
22.01.20

Author: Gurner

Scale: 1:100

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Attachment 5 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 4

**FINISHES SCHEDULE**

Code / Finish	Description
1. Floor Slab	Concrete (200mm) or 200mm reinforced concrete
2. Floor Slab	Concrete (200mm) or 200mm reinforced concrete with 100mm screed
3. Floor Slab	Concrete (200mm) or 200mm reinforced concrete with 100mm screed and 100mm insulation
4. Floor Slab	Concrete (200mm) or 200mm reinforced concrete with 100mm screed and 100mm insulation and 100mm acoustic insulation

**PLANTING SCHEDULE - TOWER 2 GREEN ROOF**

Plant Code	Common Name	Plant Size (at maturity)	Plant Height	Plant Spacing	Plant Spacing	Plant Spacing
1	Shrub	1.5m	1.5m	1.5m	1.5m	1.5m
2	Shrub	1.5m	1.5m	1.5m	1.5m	1.5m
3	Shrub	1.5m	1.5m	1.5m	1.5m	1.5m

**SOIL PREPARATION SPECIFICATION**

- 1. SOIL PREPARATION SPECIFICATION AND SOIL PREPARATION**  
 The soil preparation is to be carried out in accordance with the specifications set out in this schedule. The soil preparation is to be carried out in accordance with the specifications set out in this schedule. The soil preparation is to be carried out in accordance with the specifications set out in this schedule.
- 2. PLANTING SPECIFICATION**  
 The planting is to be carried out in accordance with the specifications set out in this schedule. The planting is to be carried out in accordance with the specifications set out in this schedule. The planting is to be carried out in accordance with the specifications set out in this schedule.
- 3. TOP SOIL**  
 The top soil is to be carried out in accordance with the specifications set out in this schedule. The top soil is to be carried out in accordance with the specifications set out in this schedule. The top soil is to be carried out in accordance with the specifications set out in this schedule.
- 4. FINISHES**  
 The finishes are to be carried out in accordance with the specifications set out in this schedule. The finishes are to be carried out in accordance with the specifications set out in this schedule. The finishes are to be carried out in accordance with the specifications set out in this schedule.
- 5. PLANTING SPECIFICATION**  
 The planting is to be carried out in accordance with the specifications set out in this schedule. The planting is to be carried out in accordance with the specifications set out in this schedule. The planting is to be carried out in accordance with the specifications set out in this schedule.
- 6. FINISHES**  
 The finishes are to be carried out in accordance with the specifications set out in this schedule. The finishes are to be carried out in accordance with the specifications set out in this schedule. The finishes are to be carried out in accordance with the specifications set out in this schedule.



**PLANNING & ENVIRONMENT ACT 1987**  
**YARRA PLANNING SCHEME**  
 Plan referred to in Permit No.: PLN16/0434...  
 relating to use/development of land.

For and on behalf of the Responsible Authority  
 DATE 27/6/2020 PLAN SR of 71.....  
 This is **NOT** a Building Permit

LEVEL 06 PLAN  
 SCALE: 1:200

**JACK PERITO**  
 Designer & Landscaper  
 332/3 Toorak Road  
 South Yarra Victoria  
 3141 Australia  
 +61 3 8668 1660  
 info@jackperito.com  
 www.jackperito.com.au

**GENERAL NOTES**  
 1. The site plan is to be used in accordance with the specifications set out in this schedule. The site plan is to be used in accordance with the specifications set out in this schedule. The site plan is to be used in accordance with the specifications set out in this schedule.

**DISCLAIMER**  
 The City of Yarra Planning & Environment Department is not responsible for the accuracy of the information provided in this schedule. The City of Yarra Planning & Environment Department is not responsible for the accuracy of the information provided in this schedule. The City of Yarra Planning & Environment Department is not responsible for the accuracy of the information provided in this schedule.

**PROJECT**  
 26 - 56 Queens Parade, Fitzroy North

**DESIGNER**  
 Gumer

**Level 06 - Overall Plan**

PROJ. NO.	ISSUE NO.	DATE	REVISED
15.183	TP08	22.01.20	M



Attachment 5 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 4

**PLANTING SCHEDULE - TOWER 1 PLANTERS**

Species Plant	Common Name	Bot. Size	Quantity	Formal Height	Formal Width	Max. Height	Max. Width
1	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
2	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
3	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
4	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
5	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
6	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
7	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
8	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
9	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
10	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m

**PLANTING SCHEDULE - TOWER 2 PLANTERS**

Species Plant	Common Name	Bot. Size	Quantity	Formal Height	Formal Width	Max. Height	Max. Width
1	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
2	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
3	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
4	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
5	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
6	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
7	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
8	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
9	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
10	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m

**PLANTING SCHEDULE - TOWER 3 - GREEN ROOF**

Species Plant	Common Name	Bot. Size	Quantity	Formal Height	Formal Width	Max. Height	Max. Width
1	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
2	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
3	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
4	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
5	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
6	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
7	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
8	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
9	Callery White	1.5m	10	1.5m	1.5m </td <td>1.5m</td> <td>1.5m</td>	1.5m	1.5m
10	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m

**PLANTING SCHEDULE - TOWER 3 PLANTERS**

Species Plant	Common Name	Bot. Size	Quantity	Formal Height	Formal Width	Max. Height	Max. Width
1	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
2	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
3	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
4	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
5	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
6	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
7	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
8	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
9	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
10	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m

**PLANTING SCHEDULE - TOWER 3 - GREEN ROOF**

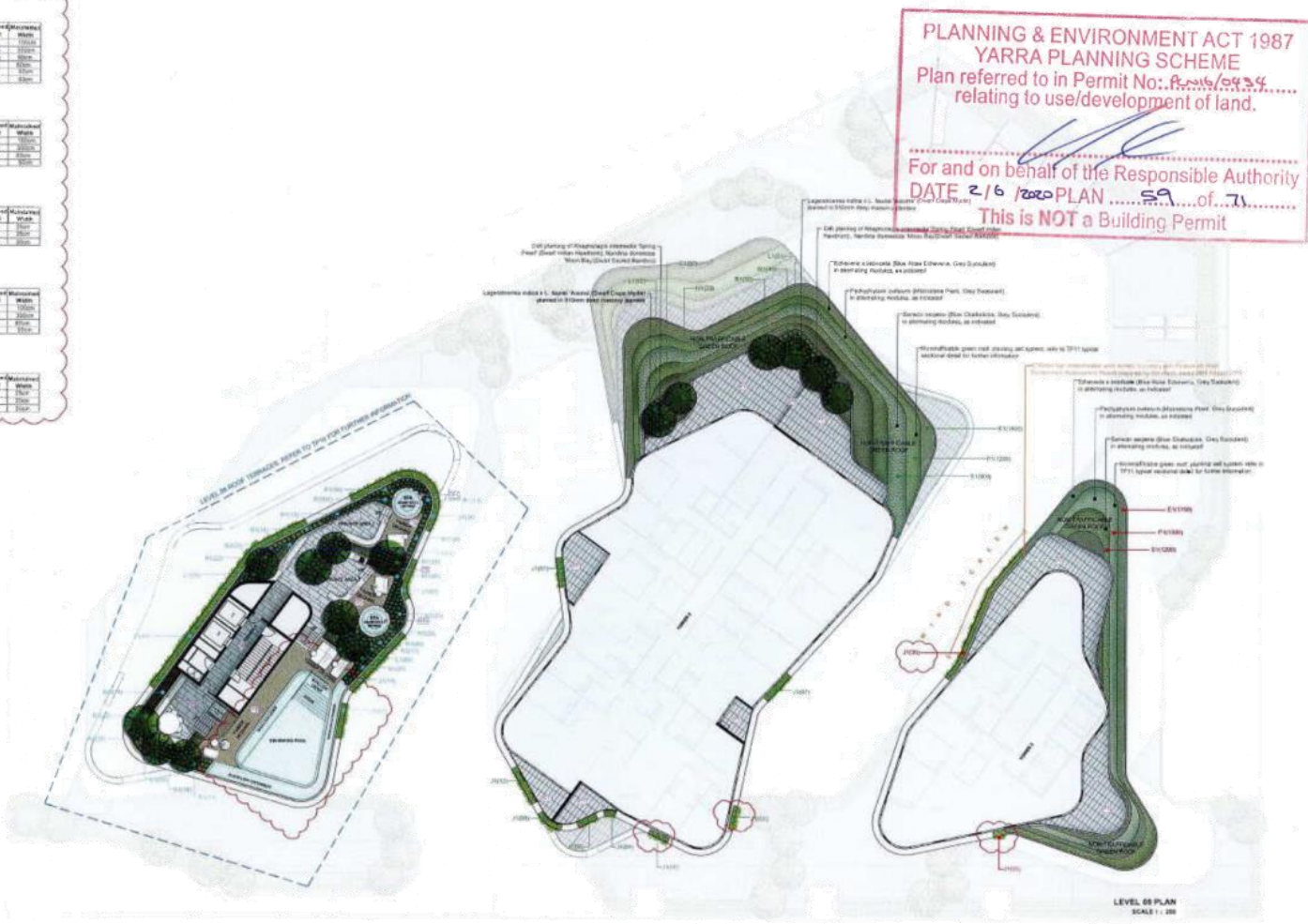
Species Plant	Common Name	Bot. Size	Quantity	Formal Height	Formal Width	Max. Height	Max. Width
1	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
2	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
3	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
4	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
5	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
6	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
7	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
8	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
9	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m
10	Callery White	1.5m	10	1.5m	1.5m	1.5m	1.5m

**FINISHES SCHEDULE**

Code	Finish	Description
01	Formal Stairs	Formal Stairs - 1000mm x 1000mm square tiles with 10mm grout.
02	Formal Stairs	Formal Stairs - 1000mm x 1000mm square tiles with 10mm grout.
03	Formal Stairs	Formal Stairs - 1000mm x 1000mm square tiles with 10mm grout.
04	Formal Stairs	Formal Stairs - 1000mm x 1000mm square tiles with 10mm grout.
05	Formal Stairs	Formal Stairs - 1000mm x 1000mm square tiles with 10mm grout.
06	Formal Stairs	Formal Stairs - 1000mm x 1000mm square tiles with 10mm grout.
07	Formal Stairs	Formal Stairs - 1000mm x 1000mm square tiles with 10mm grout.
08	Formal Stairs	Formal Stairs - 1000mm x 1000mm square tiles with 10mm grout.
09	Formal Stairs	Formal Stairs - 1000mm x 1000mm square tiles with 10mm grout.
10	Formal Stairs	Formal Stairs - 1000mm x 1000mm square tiles with 10mm grout.

**SOIL PREPARATION SPECIFICATIONS**

1. 1000mm DEEP EXCAVATION AND SOIL REMEDIATION
2. 1000mm DEEP EXCAVATION AND SOIL REMEDIATION
3. 1000mm DEEP EXCAVATION AND SOIL REMEDIATION
4. 1000mm DEEP EXCAVATION AND SOIL REMEDIATION
5. 1000mm DEEP EXCAVATION AND SOIL REMEDIATION
6. 1000mm DEEP EXCAVATION AND SOIL REMEDIATION
7. 1000mm DEEP EXCAVATION AND SOIL REMEDIATION
8. 1000mm DEEP EXCAVATION AND SOIL REMEDIATION
9. 1000mm DEEP EXCAVATION AND SOIL REMEDIATION
10. 1000mm DEEP EXCAVATION AND SOIL REMEDIATION



**PLANNING & ENVIRONMENT ACT 1987**  
**YARRA PLANNING SCHEME**  
 Plan referred to in Permit No.: PLN16/0434  
 relating to use/development of land.

For and on behalf of the Responsible Authority  
 DATE 2/6/2020 PLAN SA of 71  
 This is NOT a Building Permit



**CONTRACTOR'S OBLIGATIONS**

The contractor shall be responsible for obtaining all necessary permits and approvals for the works to be undertaken in accordance with the relevant legislation and the Yarra Planning Scheme. The contractor shall also be responsible for ensuring that the works are completed in accordance with the approved plans and specifications.

**GENERAL NOTES**

1. Refer to the Yarra Planning Scheme for the definition of the terms used in this plan.
2. The contractor shall be responsible for ensuring that the works are completed in accordance with the approved plans and specifications.
3. The contractor shall be responsible for ensuring that the works are completed in accordance with the approved plans and specifications.
4. The contractor shall be responsible for ensuring that the works are completed in accordance with the approved plans and specifications.
5. The contractor shall be responsible for ensuring that the works are completed in accordance with the approved plans and specifications.

**PROJECT INFO**  
 26 - 56 Queens Parade, Fitzroy North

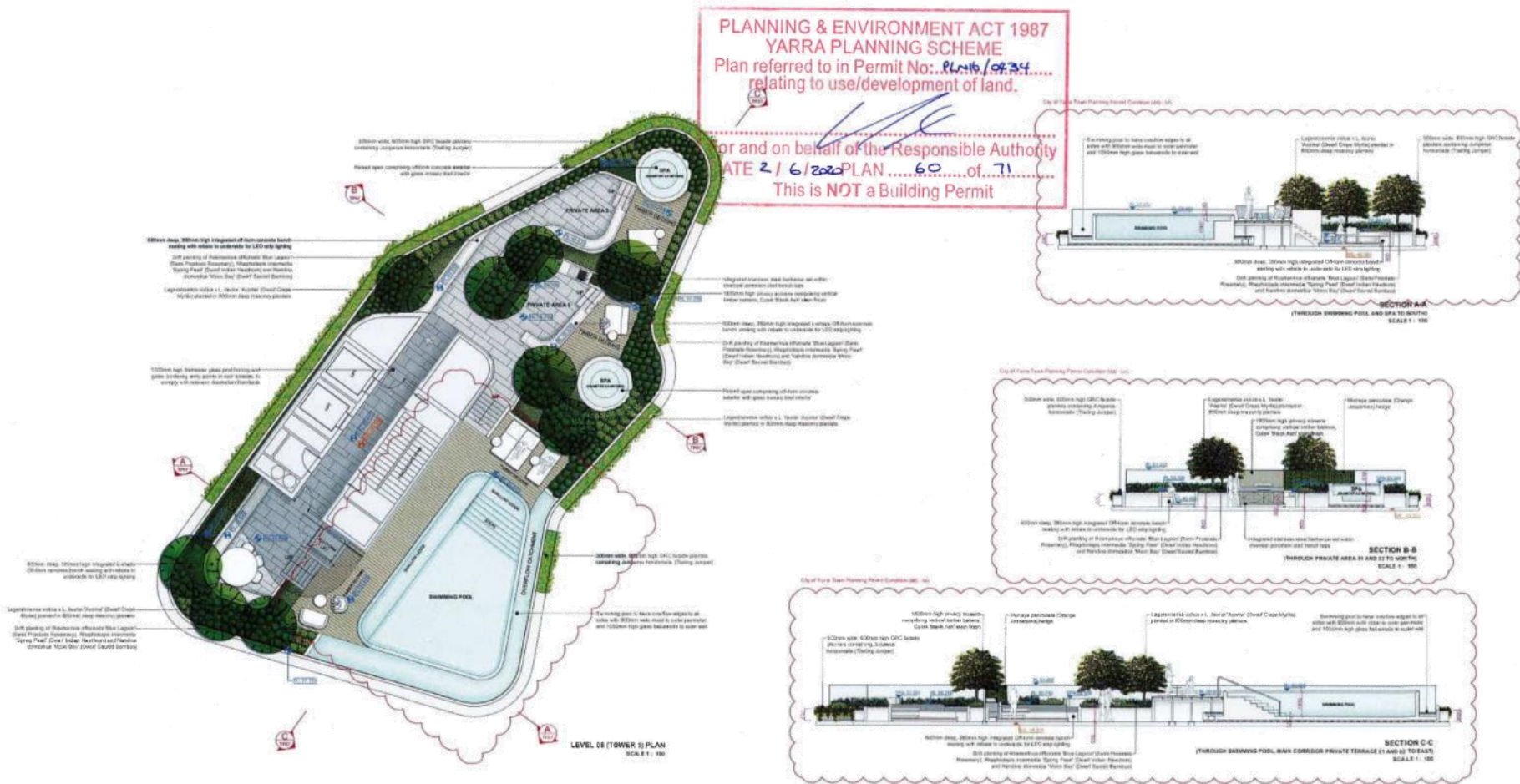
**CLIENT**  
 Gurner

**DATE**  
 2/6/2020

**REVISIONS**

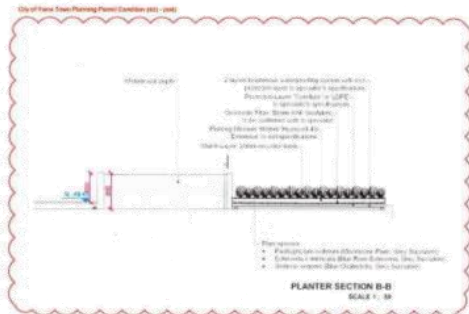
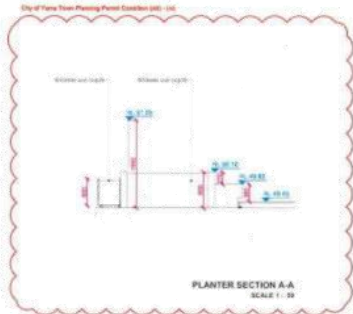
NO.	DATE	DESCRIPTION
1	15/1/19	TPO9
2	22/01/20	M

Attachment 5 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 4

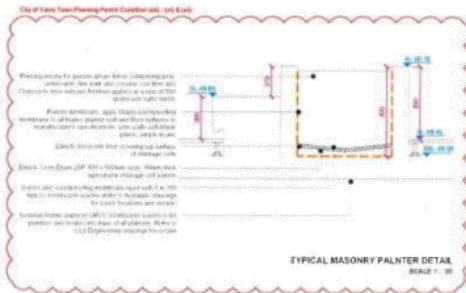


<p>Jack Photo Design &amp; Landscaping 322A Torwick Road South Yarra Victoria 3141 Australia +61 3 9866 1883 info@jackphoto.com www.jackphoto.com</p>	<p>CONTRACT NO: PLN16/0434</p> <p>DATE OF ISSUE: 22.01.20</p> <p>PROJECT NO: 15.183</p> <p>ISSUE NO: TP10</p> <p>DATE: 22.01.20</p> <p>SCALE: M</p>	<p>PROJECT NO: 15.183</p> <p>ISSUE NO: TP10</p> <p>DATE: 22.01.20</p> <p>SCALE: M</p>	<p>PROJECT NO: 15.183</p> <p>ISSUE NO: TP10</p> <p>DATE: 22.01.20</p> <p>SCALE: M</p>
	<p>26-56 Queens Parade, Fitzroy North</p> <p>Sumner TM</p>	<p>RECEIVED</p> <p>19 JULY 2020</p>	

Attachment 5 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 4

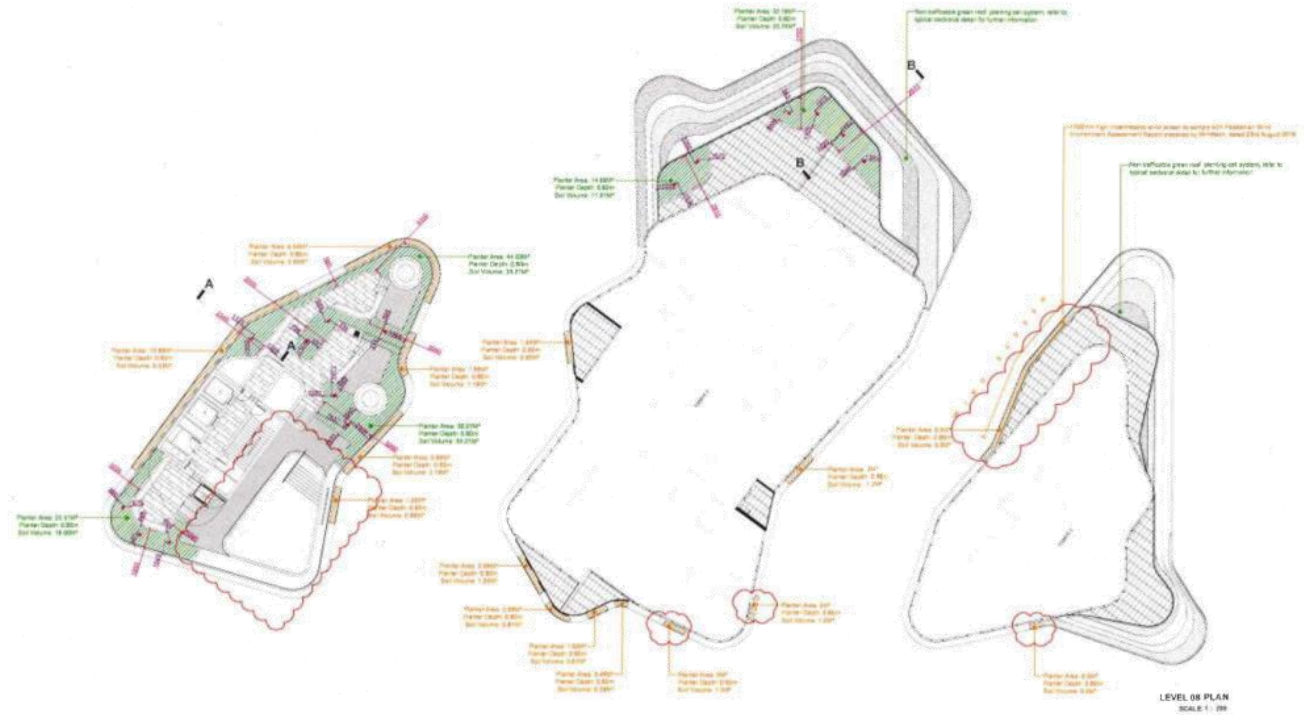


PLANNING & ENVIRONMENT ACT 1987  
**YARRA PLANNING SCHEME**  
 Plan referred to in Permit No: PLN16/0434 relating to use/development of land.  
 For and on behalf of the Responsible Authority  
 DATE 2 / 6 / 2020 PLAN 61 of 71  
 This is NOT a Building Permit



SOIL VOLUME TABLE

TYPE	SOIL DEPTH
Artificial Deep Soil	0.00m - 0.15m
Artificial Deep Soil	0.15m - 0.30m
Artificial Deep Soil	0.30m - 0.45m
Artificial Deep Soil	0.45m - 0.60m
Artificial Deep Soil	0.60m - 0.75m
Artificial Deep Soil	0.75m - 0.90m
Artificial Deep Soil	0.90m - 1.05m
Artificial Deep Soil	1.05m - 1.20m
Artificial Deep Soil	1.20m - 1.35m
Artificial Deep Soil	1.35m - 1.50m
Artificial Deep Soil	1.50m - 1.65m
Artificial Deep Soil	1.65m - 1.80m
Artificial Deep Soil	1.80m - 1.95m
Artificial Deep Soil	1.95m - 2.10m
Artificial Deep Soil	2.10m - 2.25m
Artificial Deep Soil	2.25m - 2.40m
Artificial Deep Soil	2.40m - 2.55m
Artificial Deep Soil	2.55m - 2.70m
Artificial Deep Soil	2.70m - 2.85m
Artificial Deep Soil	2.85m - 3.00m
Artificial Deep Soil	3.00m - 3.15m
Artificial Deep Soil	3.15m - 3.30m
Artificial Deep Soil	3.30m - 3.45m
Artificial Deep Soil	3.45m - 3.60m
Artificial Deep Soil	3.60m - 3.75m
Artificial Deep Soil	3.75m - 3.90m
Artificial Deep Soil	3.90m - 4.05m
Artificial Deep Soil	4.05m - 4.20m
Artificial Deep Soil	4.20m - 4.35m
Artificial Deep Soil	4.35m - 4.50m
Artificial Deep Soil	4.50m - 4.65m
Artificial Deep Soil	4.65m - 4.80m
Artificial Deep Soil	4.80m - 4.95m
Artificial Deep Soil	4.95m - 5.10m
Artificial Deep Soil	5.10m - 5.25m
Artificial Deep Soil	5.25m - 5.40m
Artificial Deep Soil	5.40m - 5.55m
Artificial Deep Soil	5.55m - 5.70m
Artificial Deep Soil	5.70m - 5.85m
Artificial Deep Soil	5.85m - 6.00m
Artificial Deep Soil	6.00m - 6.15m
Artificial Deep Soil	6.15m - 6.30m
Artificial Deep Soil	6.30m - 6.45m
Artificial Deep Soil	6.45m - 6.60m
Artificial Deep Soil	6.60m - 6.75m
Artificial Deep Soil	6.75m - 6.90m
Artificial Deep Soil	6.90m - 7.05m
Artificial Deep Soil	7.05m - 7.20m
Artificial Deep Soil	7.20m - 7.35m
Artificial Deep Soil	7.35m - 7.50m
Artificial Deep Soil	7.50m - 7.65m
Artificial Deep Soil	7.65m - 7.80m
Artificial Deep Soil	7.80m - 7.95m
Artificial Deep Soil	7.95m - 8.10m
Artificial Deep Soil	8.10m - 8.25m
Artificial Deep Soil	8.25m - 8.40m
Artificial Deep Soil	8.40m - 8.55m
Artificial Deep Soil	8.55m - 8.70m
Artificial Deep Soil	8.70m - 8.85m
Artificial Deep Soil	8.85m - 9.00m
Artificial Deep Soil	9.00m - 9.15m
Artificial Deep Soil	9.15m - 9.30m
Artificial Deep Soil	9.30m - 9.45m
Artificial Deep Soil	9.45m - 9.60m
Artificial Deep Soil	9.60m - 9.75m
Artificial Deep Soil	9.75m - 9.90m
Artificial Deep Soil	9.90m - 10.05m
Artificial Deep Soil	10.05m - 10.20m
Artificial Deep Soil	10.20m - 10.35m
Artificial Deep Soil	10.35m - 10.50m
Artificial Deep Soil	10.50m - 10.65m
Artificial Deep Soil	10.65m - 10.80m
Artificial Deep Soil	10.80m - 10.95m
Artificial Deep Soil	10.95m - 11.10m
Artificial Deep Soil	11.10m - 11.25m
Artificial Deep Soil	11.25m - 11.40m
Artificial Deep Soil	11.40m - 11.55m
Artificial Deep Soil	11.55m - 11.70m
Artificial Deep Soil	11.70m - 11.85m
Artificial Deep Soil	11.85m - 12.00m
Artificial Deep Soil	12.00m - 12.15m
Artificial Deep Soil	12.15m - 12.30m
Artificial Deep Soil	12.30m - 12.45m
Artificial Deep Soil	12.45m - 12.60m
Artificial Deep Soil	12.60m - 12.75m
Artificial Deep Soil	12.75m - 12.90m
Artificial Deep Soil	12.90m - 13.05m
Artificial Deep Soil	13.05m - 13.20m
Artificial Deep Soil	13.20m - 13.35m
Artificial Deep Soil	13.35m - 13.50m
Artificial Deep Soil	13.50m - 13.65m
Artificial Deep Soil	13.65m - 13.80m
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Artificial Deep Soil	13.95m - 14.10m
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Artificial Deep Soil	14.40m - 14.55m
Artificial Deep Soil	14.55m - 14.70m
Artificial Deep Soil	14.70m - 14.85m
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Artificial Deep Soil	15.60m - 15.75m
Artificial Deep Soil	15.75m - 15.90m
Artificial Deep Soil	15.90m - 16.05m
Artificial Deep Soil	16.05m - 16.20m
Artificial Deep Soil	16.20m - 16.35m
Artificial Deep Soil	16.35m - 16.50m
Artificial Deep Soil	16.50m - 16.65m
Artificial Deep Soil	16.65m - 16.80m
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Artificial Deep Soil	17.25m - 17.40m
Artificial Deep Soil	17.40m - 17.55m
Artificial Deep Soil	17.55m - 17.70m
Artificial Deep Soil	17.70m - 17.85m
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Artificial Deep Soil	18.15m - 18.30m
Artificial Deep Soil	18.30m - 18.45m
Artificial Deep Soil	18.45m - 18.60m
Artificial Deep Soil	18.60m - 18.75m
Artificial Deep Soil	18.75m - 18.90m
Artificial Deep Soil	18.90m - 19.05m
Artificial Deep Soil	19.05m - 19.20m
Artificial Deep Soil	19.20m - 19.35m
Artificial Deep Soil	19.35m - 19.50m
Artificial Deep Soil	19.50m - 19.65m
Artificial Deep Soil	19.65m - 19.80m
Artificial Deep Soil	19.80m - 19.95m
Artificial Deep Soil	19.95m - 20.10m
Artificial Deep Soil	20.10m - 20.25m
Artificial Deep Soil	20.25m - 20.40m
Artificial Deep Soil	20.40m - 20.55m
Artificial Deep Soil	20.55m - 20.70m
Artificial Deep Soil	20.70m - 20.85m
Artificial Deep Soil	20.85m - 21.00m
Artificial Deep Soil	21.00m - 21.15m
Artificial Deep Soil	21.15m - 21.30m
Artificial Deep Soil	21.30m - 21.45m
Artificial Deep Soil	21.45m - 21.60m
Artificial Deep Soil	21.60m - 21.75m
Artificial Deep Soil	21.75m - 21.90m
Artificial Deep Soil	21.90m - 22.05m
Artificial Deep Soil	22.05m - 22.20m
Artificial Deep Soil	22.20m - 22.35m
Artificial Deep Soil	22.35m - 22.50m
Artificial Deep Soil	22.50m - 22.65m
Artificial Deep Soil	22.65m - 22.80m
Artificial Deep Soil	22.80m - 22.95m
Artificial Deep Soil	22.95m - 23.10m
Artificial Deep Soil	23.10m - 23.25m
Artificial Deep Soil	23.25m - 23.40m
Artificial Deep Soil	23.40m - 23.55m
Artificial Deep Soil	23.55m - 23.70m
Artificial Deep Soil	23.70m - 23.85m
Artificial Deep Soil	23.85m - 24.00m
Artificial Deep Soil	24.00m - 24.15m
Artificial Deep Soil	24.15m - 24.30m
Artificial Deep Soil	24.30m - 24.45m
Artificial Deep Soil	24.45m - 24.60m
Artificial Deep Soil	24.60m - 24.75m
Artificial Deep Soil	24.75m - 24.90m
Artificial Deep Soil	24.90m - 25.05m
Artificial Deep Soil	25.05m - 25.20m
Artificial Deep Soil	25.20m - 25.35m
Artificial Deep Soil	25.35m - 25.50m
Artificial Deep Soil	25.50m - 25.65m
Artificial Deep Soil	25.65m - 25.80m
Artificial Deep Soil	25.80m - 25.95m
Artificial Deep Soil	25.95m - 26.10m
Artificial Deep Soil	26.10m - 26.25m
Artificial Deep Soil	26.25m - 26.40m
Artificial Deep Soil	26.40m - 26.55m
Artificial Deep Soil	26.55m - 26.70m
Artificial Deep Soil	26.70m - 26.85m
Artificial Deep Soil	26.85m - 27.00m
Artificial Deep Soil	27.00m - 27.15m
Artificial Deep Soil	27.15m - 27.30m
Artificial Deep Soil	27.30m - 27.45m
Artificial Deep Soil	27.45m - 27.60m
Artificial Deep Soil	27.60m - 27.75m
Artificial Deep Soil	27.75m - 27.90m
Artificial Deep Soil	27.90m - 28.05m
Artificial Deep Soil	28.05m - 28.20m
Artificial Deep Soil	28.20m - 28.35m
Artificial Deep Soil	28.35m - 28.50m
Artificial Deep Soil	28.50m - 28.65m
Artificial Deep Soil	28.65m - 28.80m
Artificial Deep Soil	28.80m - 28.95m
Artificial Deep Soil	28.95m - 29.10m
Artificial Deep Soil	29.10m - 29.25m
Artificial Deep Soil	29.25m - 29.40m
Artificial Deep Soil	29.40m - 29.55m
Artificial Deep Soil	29.55m - 29.70m
Artificial Deep Soil	29.70m - 29.85m
Artificial Deep Soil	29.85m - 30.00m



Jack Threlk  
 Design Architect  
 2020 Yarrak Road  
 South Yarra VIC 3141  
 Tel: 03 9510 1000  
 Email: jack@threlk.com.au  
 www.threlk.com.au

City of Yarra Planning Permit Condition  
 (1) The building to be constructed, or such other work as approved by the Responsible Authority, the landscape works shown on the endorsed plans and the works set out and described in the schedule of the Responsible Authority.  
 (2) The landscaping works on the endorsed plans shall be maintained by:  
 (a) landscaping work complying with the guidelines, recommendations and requirements of the endorsed Landscape Plan;  
 (b) not using the areas set aside on the endorsed Landscape Plan for landscaping for any other purpose; and  
 (c) retaining the trees, shrubs, vines or landscape plants set to the satisfaction of the Responsible Authority.

26 - 56 Queens Parade, Fitzroy North  
 Gurner

Level 08 - Soil Volume Plan

15,183	TP11	22.01.20	M
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19 MAY 2020

Attachment 5 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 4

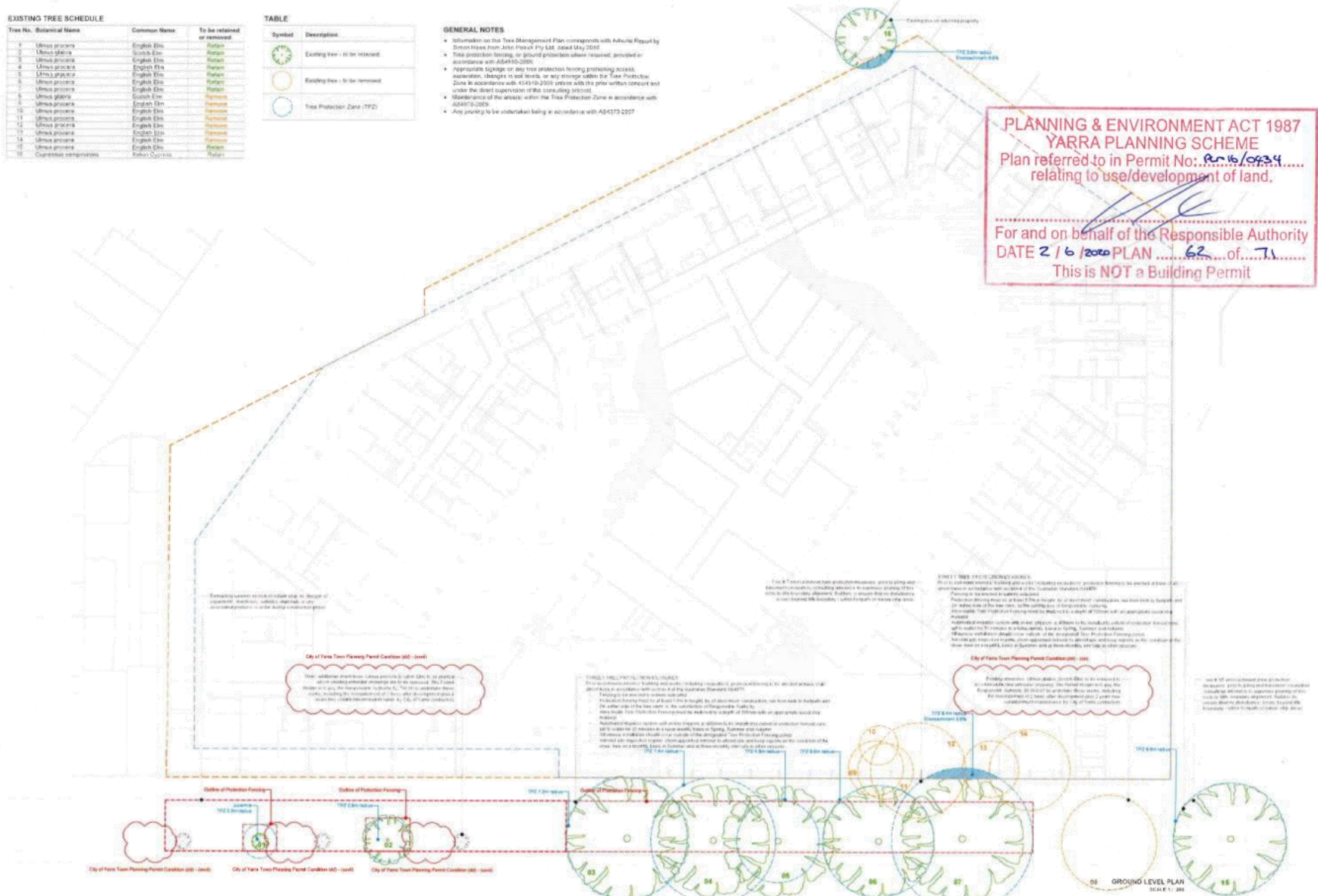
**EXISTING TREE SCHEDULE**

Tree No.	Botanical Name	Common Name	To be retained or removed
1	Ulmus procera	English Elm	Retain
2	Ulmus glabra	Scotch Elm	Retain
3	Ulmus procera	English Elm	Retain
4	Ulmus procera	English Elm	Retain
5	Ulmus procera	English Elm	Retain
6	Ulmus procera	English Elm	Retain
7	Ulmus procera	English Elm	Retain
8	Ulmus procera	English Elm	Retain
9	Ulmus glabra	Scotch Elm	Remove
10	Ulmus procera	English Elm	Remove
11	Ulmus procera	English Elm	Remove
12	Ulmus procera	English Elm	Remove
13	Ulmus procera	English Elm	Remove
14	Ulmus procera	English Elm	Remove
15	Ulmus procera	English Elm	Remove
16	Ulmus procera	English Elm	Remove
17	Ulmus procera	English Elm	Remove
18	Cupressus sempervirens	Italian Cypress	Retain

**TABLE**

Symbol	Description
	Existing tree - to be retained
	Existing tree - to be removed
	Tree Protection Zone (TPZ)

- GENERAL NOTES**
- Information on this Tree Management Plan corresponds with Arborist Report by Simon Howe from Arbo Impact Pty Ltd, dated May 2018.
  - Tree protection fencing, or ground protection where required, provided in accordance with AS4749:2009.
  - Appropriate signage or any tree protection fencing providing access, excavation, changes to soil levels, or any storage within the Tree Protection Zone in accordance with AS4749:2009 unless with the prior written consent and under the direct supervision of the consulting arborist.
  - Maintenance of the works within the Tree Protection Zone in accordance with AS4749:2009.
  - Any pruning to be undertaken being in accordance with AS4749:2007.



**PLANNING & ENVIRONMENT ACT 1987**  
**YARRA PLANNING SCHEME**  
 Plan referred to in Permit No: PLN16/0434 relating to use/development of land.

For and on behalf of the Responsible Authority  
 DATE 2 / 6 / 2020 PLAN 62 of 71  
 This is NOT a Building Permit

Jack Merlo  
 Director - Landscape  
 332A Tonks Road  
 South Yarra Victoria  
 314 Australia  
 +61 3 9886 8888  
 info@jackmerlo.com  
 www.jackmerlo.com

**GENERAL NOTE**  
 City of Yarra Tree Planning Permit Condition (M0 - 100%)  
 Before the building is constructed or work done as approved by the Responsible Authority, the landscape works under the endorsed plans must be carried out and completed to the satisfaction of the Responsible Authority.  
 1) The landscaping must be carried out in accordance with the conditions, recommendations and treatments of the endorsed Landscape Plan.  
 2) Implementation and compliance with the conditions, recommendations and treatments of the endorsed Landscape Plan.  
 3) Retaining any dead, diseased, dying or damaged plants, with the satisfaction of the Responsible Authority.

PROJECT NO: **26 - 56 Queens Parade, Fitzroy North**  
 CLIENT: Gurner  
 DRAWN BY: [Signature]

City of Yarra Tree Planning Permit Condition (M0 - 100%)  
**Tree Management Plan**  
 PROJECT NUMBER: 15,183  
 DRAWING NUMBER: TP12  
 DATE: 22/04/20  
 SCALE: 1:200  
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Attachment 5 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 4



LANDSCAPE ARCHITECTS  
ENVIRONMENTAL HORTICULTURALISTS  
LANDSCAPE HERITAGE CONSULTANTS  
CONSULTANT ARBORISTS

PLANNING & ENVIRONMENT ACT 1987  
 YARRA PLANNING SCHEME  
 Plan referred to in Permit No. PLN16/0434  
 relating to use/development of land.

For and on behalf of the Responsible Authority  
 DATE 2/6/2020 PLAN 64 of 71  
 This is **NOT** a Building Permit

17 January 2020

Mr Luke Reaby  
Gurner  
Level 1, 322 Glenferrie Road  
MALVERN VIC 3144

Dear Luke,

Re: 26 -56 Queens Parade, Fitzroy North | Additional Tree Information

I understand that you require information regarding a tree located in a laneway (Grace Lane) at the rear of the above site. I have identified this tree as an Italian Cypress (*Cupressus sempervirens*) with an estimated tree protection zone (TPZ) of 3.6m.



From my calculations, approximately 9.6% of the TPZ is located within the subject site. As less than 10% of the TPZ is located within the subject site, all encroachments by the proposed development at 26 - 56 Queens Parade into the TPZ of this tree will therefore comply with AS4970-2009 *Protection of trees on development sites* and are therefore not expected to negatively impact the long-term healthy retention of this tree.

I trust this information satisfies your requirements. Please contact me if I can be of any further assistance.

Yours sincerely

Kylie May  
Director/Consultant Arborist

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**Attachment 5 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 4**



**PLANNING & ENVIRONMENT ACT 1987**  
**YARRA PLANNING SCHEME**  
 Plan referred to in Permit No: PLN16/0434  
 relating to use/development of land.

*[Signature]*

For and on behalf of the Responsible Authority  
 DATE 2 / 6 / 2020 PLAN 65 of 71

Irrigation Management Plans is **NOT** a Building Permit

Jack Merlo  
 Design & Landscape  
 332A Toorak Road  
 South Yarra Victoria  
 3141 Australia  
 + 61 3 9866 5550  
 www.jackmerlo.com

Re – 26-56 Queens Parade, Fitzroy North

08.05.2020

This document has been prepared in response to Condition 39 of the Planning Permit.

Set out below are proposed arrangements for the establishment and ongoing maintenance of an automated irrigation system covering all landscape areas of the site.

Irrigation System Specifications

All above ground planting is to be provided with an automated irrigation system to secure appropriate moisture for plant growth.

Rainwater runoff from roof areas is to be harvested and stored in 40,000 litres capacity tank, connected to irrigation system. Mains water back up will ensure water is always available for irrigation purposes.

A comprehensively zoned irrigation system covering all landscape areas will enable specific settings to address differential demands of the vegetation throughout the property, including all garden beds and in-situ planters. An irrigation plan with zoning layouts and system specifications will be prepared as part of the landscape documentation package.

A Hunter 'Pro-HC Hydrowise (x 8)' 24 station irrigation controller with wi-fi connection (or equivalent) is to be installed. This system will automatically adjust irrigation settings based on constant information drawn from local weather stations.

Landscape maintenance contractors will be responsible for the ongoing regular maintenance of the irrigation system and adjustment of settings based on seasonal weather conditions.

Regular maintenance of the irrigation and drainage infrastructure shall be completed as below:

Monthly Irrigation Maintenance

- Check irrigation system for evidence of leaks or splits to ensure effective on-going irrigation supply to all soft landscape areas
- Flushing of irrigation lines, comprehensive checks of system integrity
- Monitoring of sensors and calibration of settings appropriate for weather / seasonal conditions
- Review the effectiveness of aperture nozzles to ensure that each is free of dirt and provide effective irrigation at the prescribed rate to all planted areas

Annual Irrigation Maintenance

Provide a complete inspection of the irrigation system including but not limited to:

- Check systems integrity and undertake repairs as required
- Check the performance of timers / controllers, moisture sensor devices and replacement / repair as required
- Assessment of the function of drainage from planter beds and removal of such debris as required to maintain effective drainage
- Inspection and clean-up of all silt traps to remove debris and ensure free flow of water

Attachment 5 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 4



Altitude Façade Access Consulting Pty Ltd  
Office 8, Suite 201, 20 Collins St, Melbourne, Australia 3000  
t. +61 (0)425 786 035 / +61 (0)425 786 036  
e. info@altitudefac.com

5<sup>th</sup> December 2019

Gurner  
Level 1, 322 Glenferrie Road  
Malvern Victoria 3144

Attention | Luke Reaby

Subject | Maintenance access to the landscape planters at 26-56 Queens Parade

PLANNING & ENVIRONMENT ACT 1987  
YARRA PLANNING SCHEME  
Plan referred to in Permit No.: PLN16/0434  
relating to use/development of land.  
  
For and on behalf of the Responsible Authority  
DATE 2/6/2020 PLAN 66 of 71  
~~This is NOT a Funding Permit~~

Dear Luke,

As per your request, we have investigated options for maintenance access to the landscape planters highlighted in Figure 1.

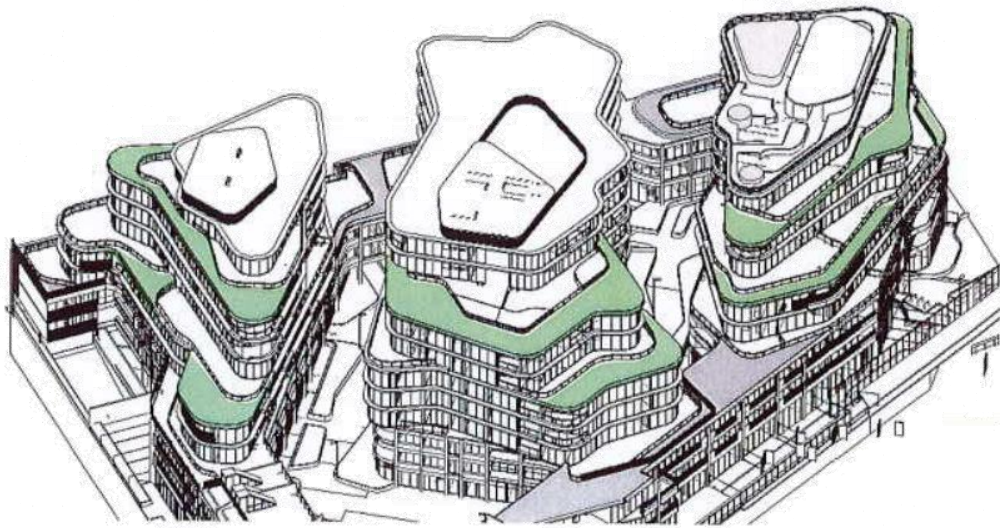


Figure 1 - Areas under study

We recommend that a combination of safety lines and rope access anchors are provided in the planters. The safety lines typically follow the line of the planter edge and are set back approximately 1800mm from the edge. The maintenance technicians will clip onto the line to be protected against falls while they walk over the planter area.

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**Attachment 5 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 4**

26-56 Queens Parade

Maintenance access to the landscape planters

To access the safety lines, technicians can use rope access techniques (abseiling) to lower onto the planter from above.

The attached drawing shows the suggested safety line locations and describes the methods of access and egress to each particular area.

The proposed method of access has been designed so that access to apartments is not required.

The proposed method of access is practical and common among developments with similar requirements in Melbourne.

Yours faithfully,

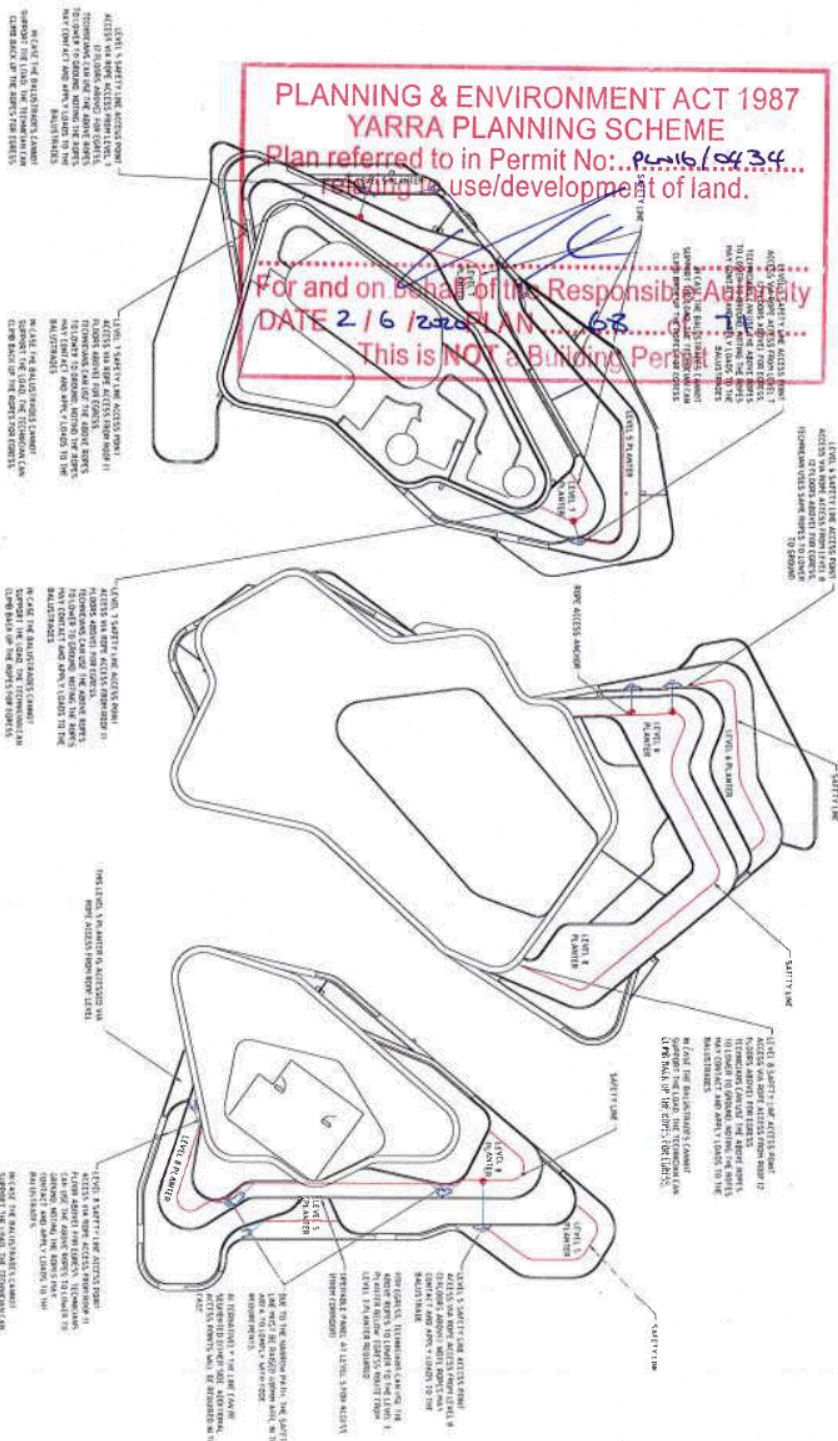


Peter Ransom  
Associate  
pete@altitudefac.com | 0401 456 331



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NOTES

1. THIS DRAWING IS APPROVED TO PROVIDE INFORMATION ONLY - IT DOES NOT CONSTITUTE A CONTRACT AND THE RESPONSIBILITY OF THE CLIENT FOR THE ACCURACY OF THE INFORMATION PROVIDED AND OF PROVIDING ALL NECESSARY INFORMATION IS NOT TRANSFERRED TO THE ARCHITECT.
2. THE DRAWING AND CONTRACT DOCUMENTS SHALL BE READ TOGETHER AND WHERE THERE IS A CONTRADICTION BETWEEN THEM THE CONTRACT DOCUMENTS SHALL PREVAIL.
3. THE ARCHITECT HAS NOT BEEN ADVISED OF ANY CHANGES TO THE SITE CONDITIONS SINCE THE DATE OF THE DRAWING AND THE ARCHITECT IS NOT RESPONSIBLE FOR ANY CHANGES TO THE SITE CONDITIONS SINCE THE DATE OF THE DRAWING.
4. DIMENSIONS ARE INDICATED IN METERS UNLESS OTHERWISE SPECIFIED.

**ALTIITUDE**  
 Facades Access Consultings  
 45-47 Collins Street, Melbourne, VIC 3000  
 Tel: +61 3 9412 5555 | Email: info@altitude.com.au

PROJECT: 26-56 QUEENS PARADE  
 DRAWING TITLE: TRAFFIC PLANNING ACCESS  
 PROJECT REFERENCE: 26-56 QUEENS PARADE  
 DATE: 05/03/20  
 SCALE: 1/200  
 SHEET: A1  
 REGION: VIC

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**Attachment 5 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 4**

**PLANNING & ENVIRONMENT ACT 1987**  
**YARRA PLANNING SCHEME**  
 Plan referred to in Permit No: PLN16/0434  
 relating to use/development of land.

  
 For and on behalf of the Responsible Authority  
 DATE 2 / 6 / 2020 PLAN 69 of 71  
**This is NOT a Building Permit**

**LOVELL CHEN**

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 www.lovellchen.com.au

ABN 20 005 803 494  
 ARBY E30004

MEMORANDUM

TO Gurner	FROM Peter Lovell
RE 26-56 Queens Parade	DATE 25 February 2020

**Introduction**

This memorandum has been prepared to provide advice to Gurner regarding the proposed treatment to the retained façade of 26-56 Queens Parade. This advice relates to Condition 14 of planning permit PLN16/0434. Condition 14 is as follows:

Before either the development starts or the paint on the decorative façade is removed (except for the purposes of investigation), a decorative façade treatment scheme must be submitted and approved by the Responsible Authority. The treatment scheme must be informed by and include the results of an investigation of the existing and original treatments to the façade and an assessment of non-destructive paint removal techniques. The treatment scheme must include an investigation of the possibility of restoring the façade to its original condition based on the best available evidence. The treatment scheme must also include the Bay 9 return wall and colour proposed for the level 2 upstand behind the façade glazing. When approved, the decorative façade treatment scheme will be endorsed and will then form part of this permit.

**Advice**

It is understood that paint removal investigation will be undertaken to the retained façade to determine if the brickwork under the existing paint scheme is in a good enough condition to be exposed. This work is still to be undertaken and will be informed by trials and investigation.

Should the trials prove unsuccessful it is understood that you desire advice regarding an appropriate paint scheme. In reviewing the scheme proposed by Cox as shown on A-91-04 Rev 1 dated 21/11/19 it is my opinion that the proposed pale grey/off-white treatment to the brickwork (Midhurst quarter strength) is appropriate. The proposed colour to the window frames (black or Castlecliff) is also considered to be acceptable. It is also recommended that a paint sample investigation is undertaken to confirm any final paint treatment.

**Conclusion**

- Paint removal investigation to determine the condition of the brickwork should be undertaken
- Should the brickwork not be in a good condition for exposure the proposed Cox colour scheme (as per A-91-04) is considered to be acceptable as follows:
  - Pale grey/off-white (Midhurst quarter strength) to the brickwork
  - Dark grey/black to the window frames
- A paint sample investigation should be undertaken to confirm any final paint treatment.

LOVELL CHEN

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18 MAY 2020

**Memorandum**



To:	James Roberts (Gurner)	From:	Carlo Morello (Traffix Group)
Our Ref:	G20374M-02A	Date:	Thursday, 21 November 2019

**26-52 Queens Parade, Fitzroy North – Plans for Endorsement**

Further to your request, we have undertaken a review of the plans for endorsement prepared by Cox Architecture, dated 12 February, 2019, with respect to Condition 1 (ss) within Planning Permit PLN16/0434. Our response is provided as follows.

*(ss) Loading bay dimensioned on the drawings, including minimum overhead clearance. The plan must also include a note confirming details of the vehicles permitted to use this space, along with swept path diagrams provided for ingress and egress;*

The plans illustrate a loading bay with dimensions of 4.0 metres in width and 9.0 metres in length within basement level 1. An overhead clearance of 3.8 metres is identified on the plans within the loading bay. The plans include a note making reference to swept path diagrams (ref. G20374\_TFX\_20170811) previously prepared by Traffix Group and submitted to Council.

Amended swept paths have been prepared in response to the updated plans and are attached in Appendix A. The swept path diagrams demonstrate ingress and egress movements for the loading bay by a 6.4 metre long small rigid vehicle (SRV).

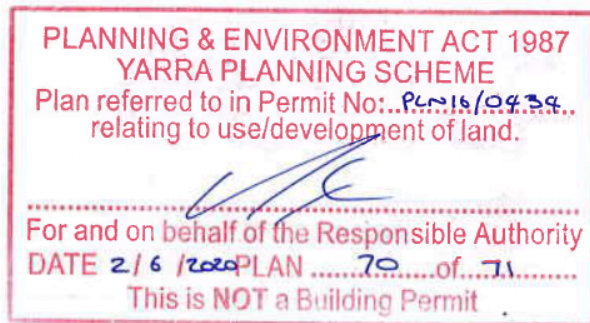
In view of the foregoing assessment, we are satisfied that Condition 1 (ss) of the Planning Permit has been addressed.

We trust this is of assistance. Please contact myself at Traffix Group if you require any further information.

Your faithfully,

TRAFFIX GROUP PTY LTD

Carlo Morello  
Senior Associate



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Attachment 5 - PLN16/0434 - 26 - 56 Queens Parade, Fitzroy North - Endorsed Plans - Part 4

