

MEMORANDUM

TO:	Darren Woolf	Neoscape	
FROM:	Peter Malinas	MGA Traffic	
DATE:	3 December 2019	OUR REF:	MGA19011
TITLE:	Piedimonte Supermarket Fitzroy North Response to Council RFI – Traffic Engineering		

I refer to our recent discussions and correspondence regarding the proposed mixed-use development at 27-45 Best Street and 102-114 Scotchmer Street, North Fitzroy.

It is understood that Yarra City Council has raised a number of issues relating to Traffic Engineering amongst other matters.

The following memorandum should be read in conjunction with the traffic report prepared for the town planning submission by MGA dated 18 December 2018 (MGA December 2018), the plans prepared by JCBA dated November 2019 and the Loading Management Plan prepared by Neoscape dated 29 November 2019.

A summary of the issues and our comments are provided in Table 1 with a summary of the loading activity presented in Table 2. The updated plans are considered satisfactory and adequately respond to close out Council's Traffic comments on the layout and loading.

It is noted that approximately 70% of loading activity is proposed to occur within the basement. The remainder of loading will occur from within the at-grade loading dock, and no on-street loading is proposed. The size of the articulated vehicle reversing from Scotchmer Street is proposed to be reduced to approximately 14.5m in length. Small and medium rigid vehicles can reverse back to the loading dock without interrupting eastbound traffic. Swept path analysis is attached to this memorandum as referenced in the relevant sections within Table 1.

Table 1: Council Comment and MGA Response

Item	Council Comment	MGA Response
†	<p>Vehicle Crossing - Scotchmer Street. A vehicle crossing must be constructed for the development entrance and loading dock to the satisfaction of Council. An at-grade access arrangement as shown on Drawing A-TP4-</p>	<p>The site crossover has been updated on the JCBA plans to accord with Yarra Council's standard drawing.</p>

	101 Revision 2 must be deleted and replaced with a standard City of Yarra vehicle crossing.	
2	Visibility. The exit lane of the development entrance has adequate sight lines of the Scotchmer Street footpath as required by Design Standard 1 - Accessways of Clause 52.06-9. The sight triangle has not been superimposed on the drawings.	The sight triangle has been superimposed on the departure lane side of the main site access as shown on the revised JCBA plans. The standard does not require this on the entry lane to the main access. Convex mirrors and flashing light are proposed on the loading dock to assist with pedestrian sight lines given that the adjacent heritage wall cannot be removed.
3	Accessible Parking Spaces. The dimensions of the accessible parking spaces and shared area satisfy the Australian / New Zealand Standard AS/NZS 2890.6:2009. The shared area must contain a bollard.	The accessible car spaces comply with AS2890.6:2009, including the provision of a bollard as shown in the JCBA plans.
4	Clearances to Walls. Not provided for space adjacent to lift over-run in the western parking module on Basement 02 Plan. Clearances have not been dimensioned for the southernmost spaces on Basement 01 Plan and for spaces adjacent to the storage room and lift over-run on Basement 02 Plan.	The JCBA plans show 300mm clearance on car spaces to walls or obstructions.
5	Ramp Grade for First 5.0 meters inside Property. Lengths of ramp grades have not been dimensioned.	The JCBA plans have been dimensioned.
6	Ramp Grades and Changes of Grade. The ramp grades and changes of grade satisfy Design Standard 3. Ramp grade lengths and transitions have not been dimensioned.	The JCBA plans have been dimensioned.
7	On-Site Loading Dock Articulated Vehicle. The proposed loading dock has a length of 17.5 metres and a wall to wall width of 3.78 metres. According to MGA, the supermarket currently utilises a 17 metre long articulated truck as its longest delivery vehicle. MGA also state that the development proposes to use vehicles up to a length of 16.0 metres. Maximum vehicle length could be conditioned on the permit.	The attached swept path MGA19011-AT05-01, 06, 07 shows an articulated vehicle with a 11m trailer accessing the proposed loading dock on the ground level. This corresponds to a total vehicle length (prime mover with trailer) of approximately 14.5m. This vehicle can be accommodated within the site boundary. This is to occur 1-3 times per day. Other use of the ground floor loading dock can be achieved for small rigid vehicles (6.4m) and medium rigid vehicles (8.8m) whilst reversing into the loading bay from the correct side of the road without interrupting the eastbound traffic lane on Scotchmer Street. These vehicles will need to undertake a left turn into Scotchmer Street from St Georges Road as per the attached swept paths (refer MGA19011-AT03 - 06, 07). The remaining loading vehicles by vans are to be undertaken in the basement loading area.
8	Headroom Clearance. Not dimensioned on the drawings. The minimum headroom clearance must be 4.5 metres as required by the Australian Standard AS2890.2-2002.	A 4.5m height clearance is achieved within the loading dock and shown on the JCBA plans.
9	Articulated Vehicle Swept Path Diagrams. MGA Ref; MGA19011-AT01-01. Date: 18 December 2018. To be resubmitted. Please see below under 'Design Items to be addressed.	The swept path has been updated and is attached to this memorandum. Refer to MGA19011-AT05-01. The aerial background shows the centre line of Scotchmer St and is accurately scaled at 1:250 for confirmation of all dimensions
10	Visibility of Pedestrians at Loading Dock Entrance. Visibility at the entrance of the loading dock is restricted. How does the applicant intend to address this?	The provision of convex mirrors and flashing light assist in the managing pedestrian sight lines to/from the loading dock.
11	Loading Area Basement 01 Plan. Loading bays and aisle have not been dimensioned on the drawings.	The JCBA plans have been dimensioned.
12	Loading Area Swept Path Diagrams. The swept path diagrams for the waste collection vehicle and a van are considered satisfactory. The sizes of these vehicles have not been specified on the swept path diagrams.	The attached swept path diagrams have been updated. Refer to MGA19011-AT02 (for waste) and MGA19011-AT03 and AT04 (for vans).
13	Junction of Egremont Street and New East-West aligned Right of Way. Not provided.	The JCBA plans show the new east-west aligned ROW.
14	Number of Car Parking Spaces. Parking spaces have not been numbered, making identification difficult.	The JCBA plans show numbered spaces.
15	Road Safety Audit. It is strongly recommended that a Road Safety Audit of the development's Scotchmer Street road frontage (particularly at the entrance to the loading dock	The revised plans have incorporated several items to improve the safety of pedestrians around the loading dock, including convex mirrors and flashing lights. These measures would typically be recommended in a road safety audit. As such, it is

Memorandum

Piedimonte Supermarket Fitzroy North
Traffic Engineering Response to RFI

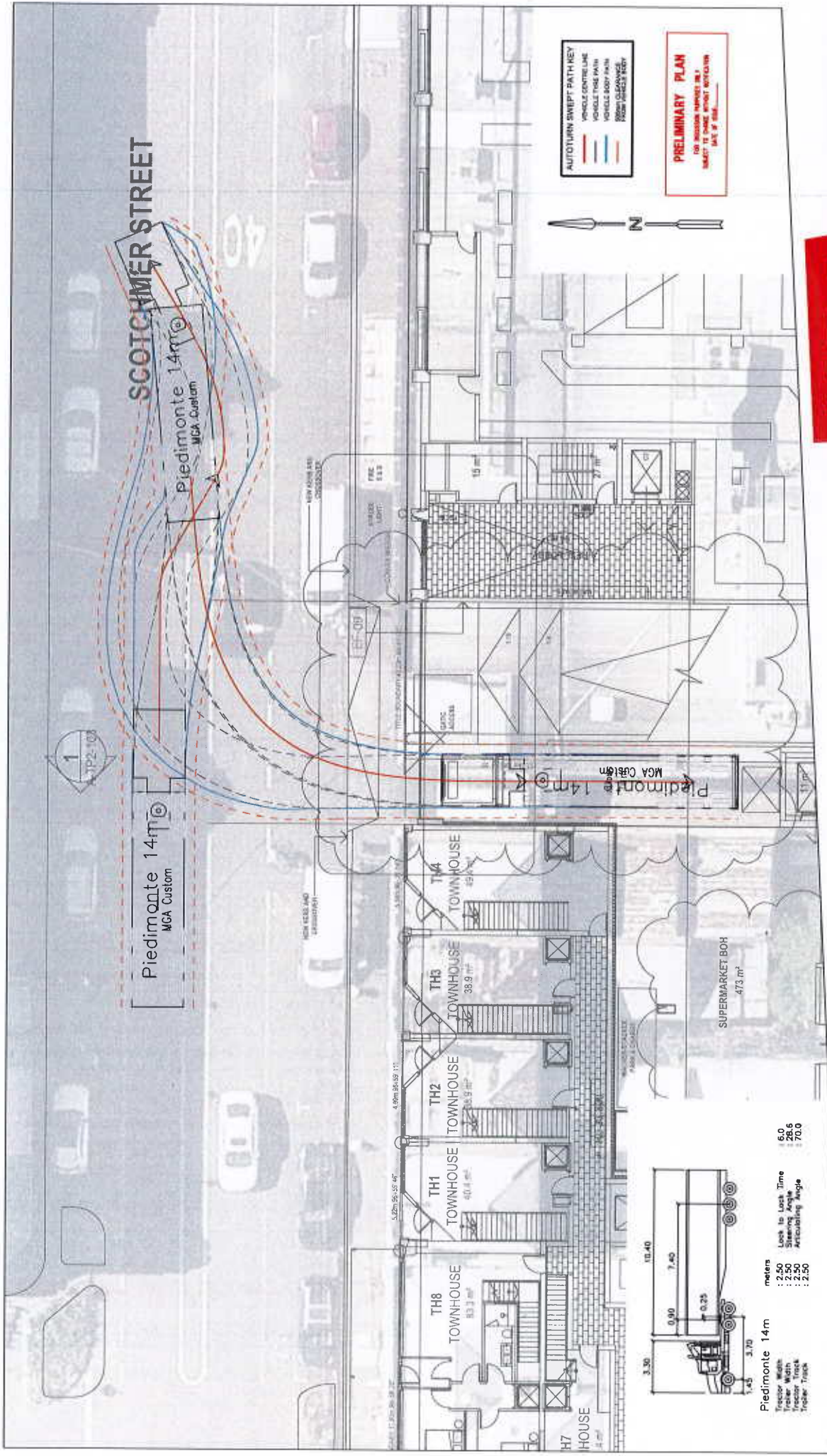
	and accessway) at the design phase be undertaken by an independent accredited Road Safety Auditor.	recommended that a Road Safety Audit should be undertaken at the detailed stage of the project.
16	The loading dock and accessway presents potential conflict issues with pedestrians, bicycles and other vulnerable road users. The road safety aspects of these design elements must be examined and assessed. Recommendations from the Road Safety Audit should be considered before any drawings are finalised.	As per above, A Road Safety Audit is recommended at the detailed design stage of the project.
17	Adequacy of Visitor Spaces. The vast majority of visitor spaces are located in the basement which discourages short term visitor use.	The JCBA plans have redistributed the visitor bicycle spaces to improve access and use.
18	Adequacy of Employee Spaces. Given the above, a minimum of resident/employee spaces should be provided.	The allocation of car parking for all uses has been provided and is considered acceptable.
19	Design & Location of Employee Spaces & Facilities. 9 spaces within basement 2 are not located within a secure facility. Pursuant to Clause 52.34-3 & Australian Standard AS2890.3 bicycle spaces for residents and employees must be provided in a bicycle locker, or a lockable compound. A secure car park does not constitute a lockable compound.	The JCBA plans show a secured bike area for staff / resident parking.
20	Design & Location of Employee Spaces & Facilities. Only 4 of the 68 resident/employee spaces (5%) are provided as horizontal, at grade spaces. Pursuant to AS2890.3, at least 20% of spaces should be horizontal and at grade.	The JCBA plans show that the requirement for 20% of horizontal spaces has been met.
21	Electric Vehicles & Share Cars. Council's BESS guidelines encourage the use of fuel efficient and electric vehicles (EV). The provision of 1 EV charging point is noted and supported. To allow for easy future expanded provision for electric vehicle charging, all car parking area should be electrically wired to be 'EV ready.' A minimum 40A single phase electrical sub circuit should be installed to these areas for purpose.	This can be incorporated in the design if required.
22	Electric Vehicles & Share Cars. The car share space is supported; however the bay should be relocated closer to one of the main lift shafts or entranceways.	As per the JCBA plans the car share space is located next to the lift core on basement 3. This is considered acceptable as it is allocated for resident use only.
23	Green Travel Plan. No Green Travel Plan (GTP) has been provided. Given the development has a total non-residential floor area of more than 1,000sqm, pursuant to Clause 22.17-4 a GTP must be provided.	It is understood that a green travel plans has been prepared by GIW.

Table 2: Summary of Loading Activity

Vehicle Type	Loading Location	Average Number of Vehicles	Traffic Flow (Refer Swept Paths)
Articulated 14.4m	Ground Floor	1-3 vehicles per day	Reverse entry from Scotchmer Street using the full carriageway (as per existing conditions)
Medium (8.8m) and Small (6.4m) Rigid Vehicles	Ground Floor	13 vehicles per day	Reverse entry from Scotchmer Street without interrupting eastbound traffic flow.
Vans	Basement	38 vehicles per day	Forward entry and forward exit via the basement ramp.
Waste Collection	Basement	Up to 1 vehicle per day	Forward entry and forward exit via the basement ramp.

Memorandum

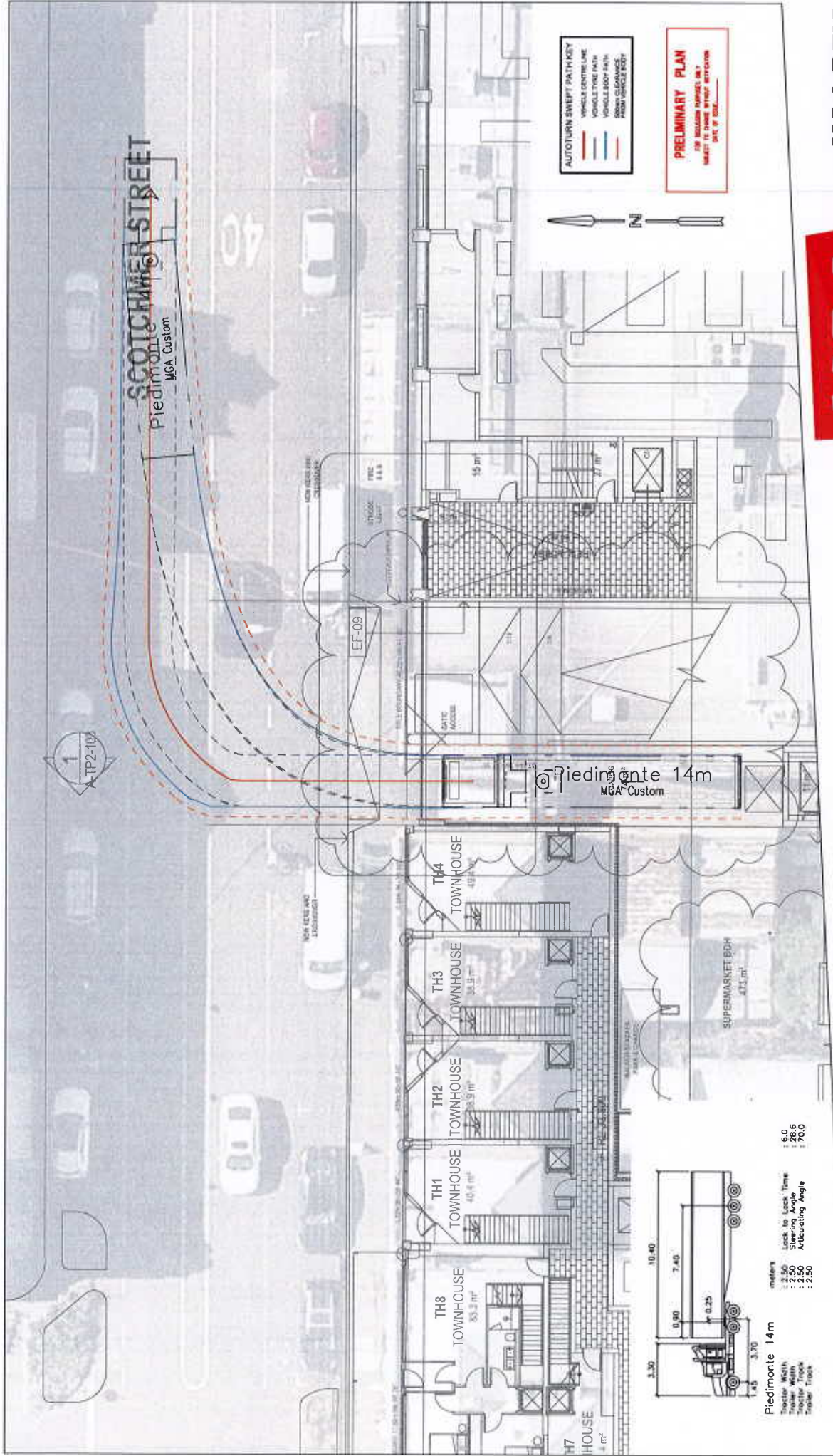
Piedimonte Supermarket Fitzroy North
Traffic Engineering Response to RFI



TRAFFIC TRANSPORT WASTE

MGA REF: MGA19011-AT05-01A
 SCALE: 1:250 A4
 DATE: 20 NOVEMBER 2019
 DRAWN: F. GUADAGNUOLO
 CHECKED: P. MALINAS

CLIENT: PIEDIMONTE SUPERMARKET
 PROJECT: 25-35 BEST STREET, NORTH FITZROY
 CITY OF YARRA
 TITLE: SWEEP PATH ASSESSMENT
 LOADING DOCK
 PIEDIMONTE LOADING VEHICLE (INGRESS)



TRAFFIC TRANSPORT WASTE

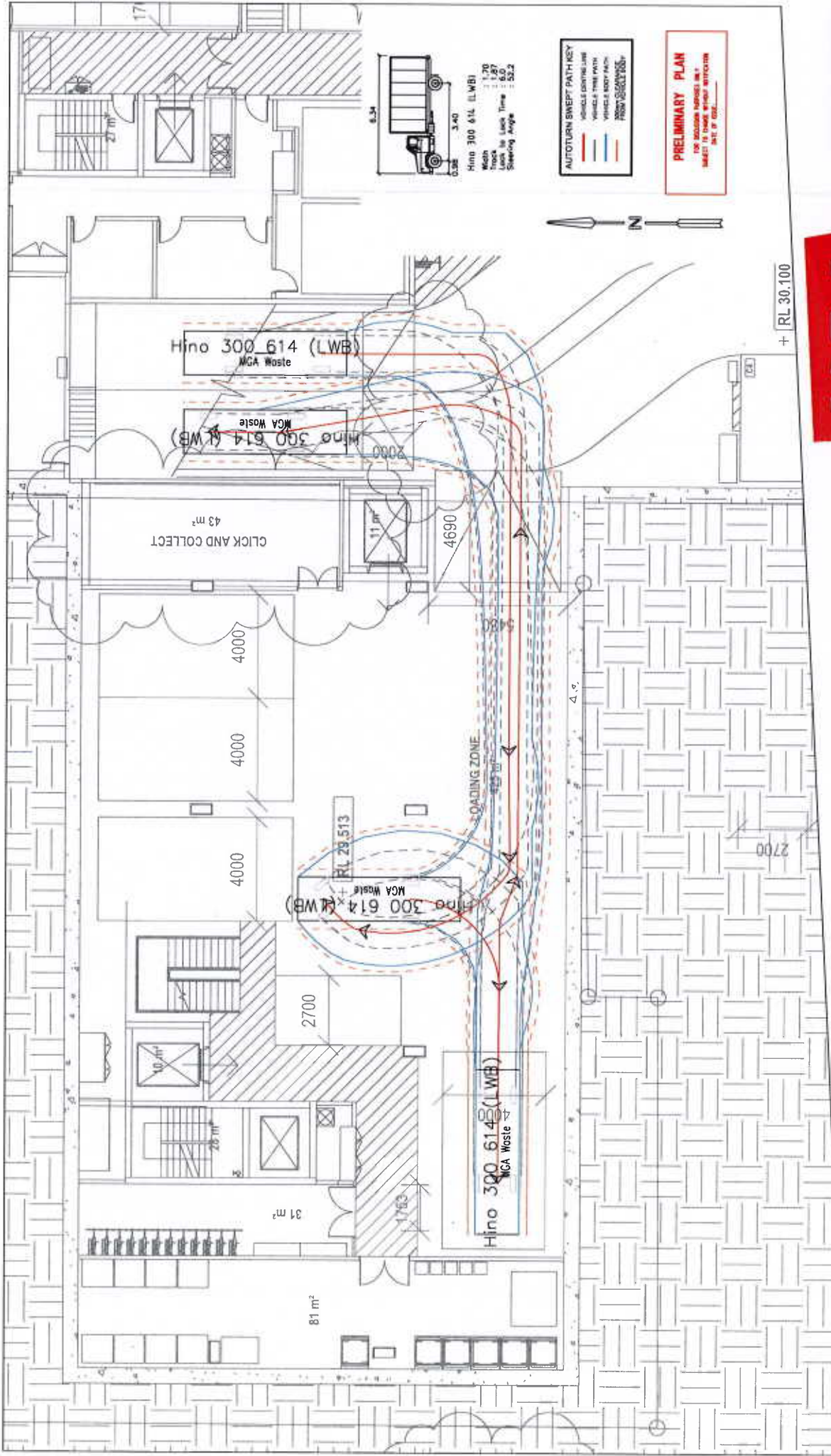
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MGA REF: MGA19011-AT05-01B
SCALE: 1:250 A4
DATE: 20 NOVEMBER 2019
DRAWN: F. GUADAGNUOLO
CHECKED: P. MALINAS

CLIENT: PIEDIMONTE SUPERMARKET
PROJECT: 25-35 BEST STREET, NORTH FITZROY
CITY OF YARRA
TITLE: SWEEP PATH ASSESSMENT
LOADING DOCK
PIEDIMONTE LOADING VEHICLE (EGRESS)

parameters	values
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Trailer Length	: 2.50
Trailer Articulating Angle	: 2.50
Trailer Articulating Angle	: 2.50

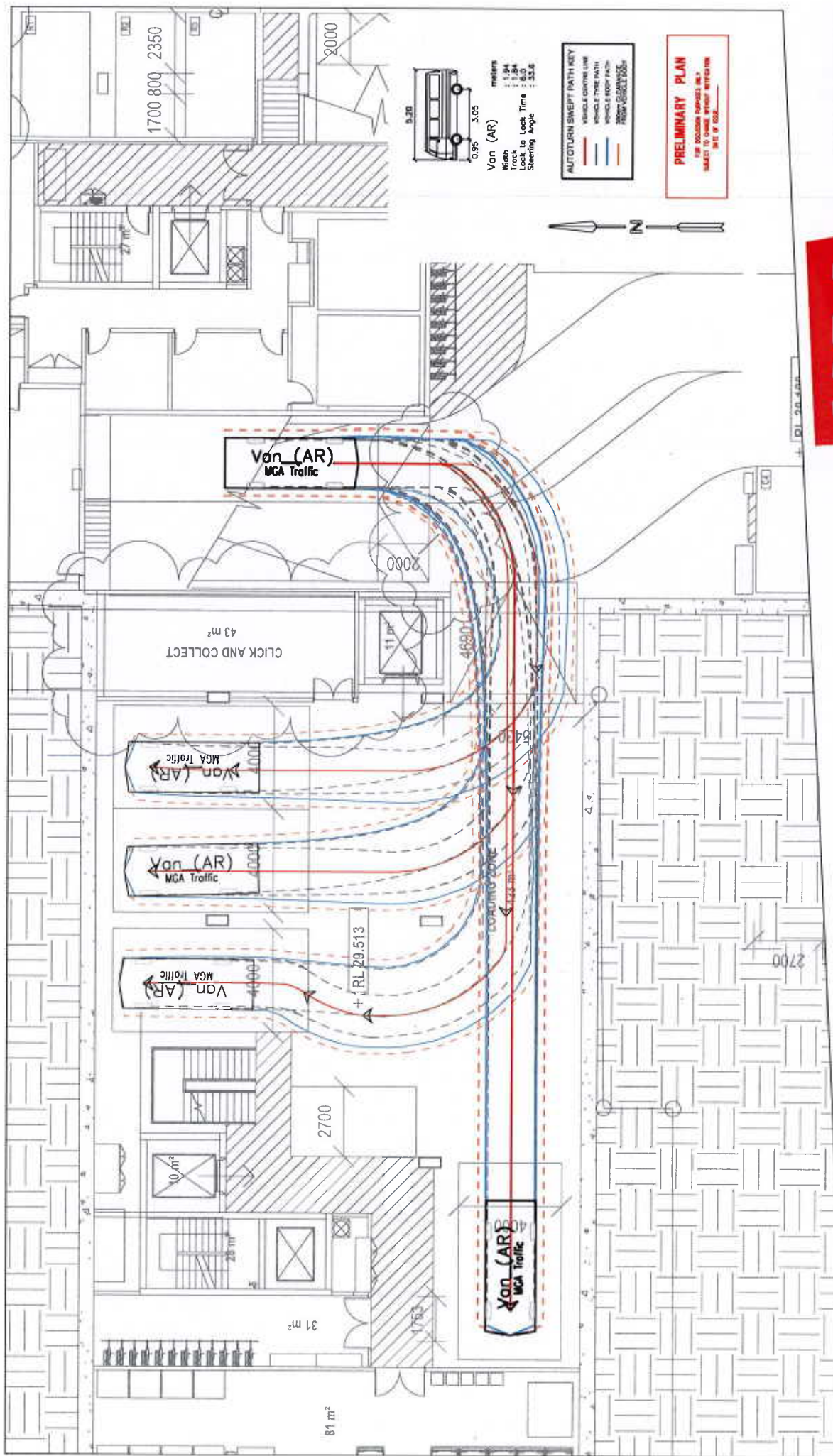
Piedimonte 14m
Trailer Width: 5.0
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Trailer Articulating Angle: 2.50



TRAFFIC TRANSPORT WASTE

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 SCALE: 1:200 A4
 DATE: 20 NOVEMBER 2019
 DRAWN: F. GUADAGNUOLO
 CHECKED: P. MALINAS

CLIENT: PIEDIMONTE SUPERMARKET
 PROJECT: 25-35 BEST STREET, NORTH FITZROY
 CITY OF YARRA
 TITLE: SWEEP PATH ASSESSMENT
 BASEMENT LOADING DOCK
 6.4M WASTE COLLECTION VEHICLE



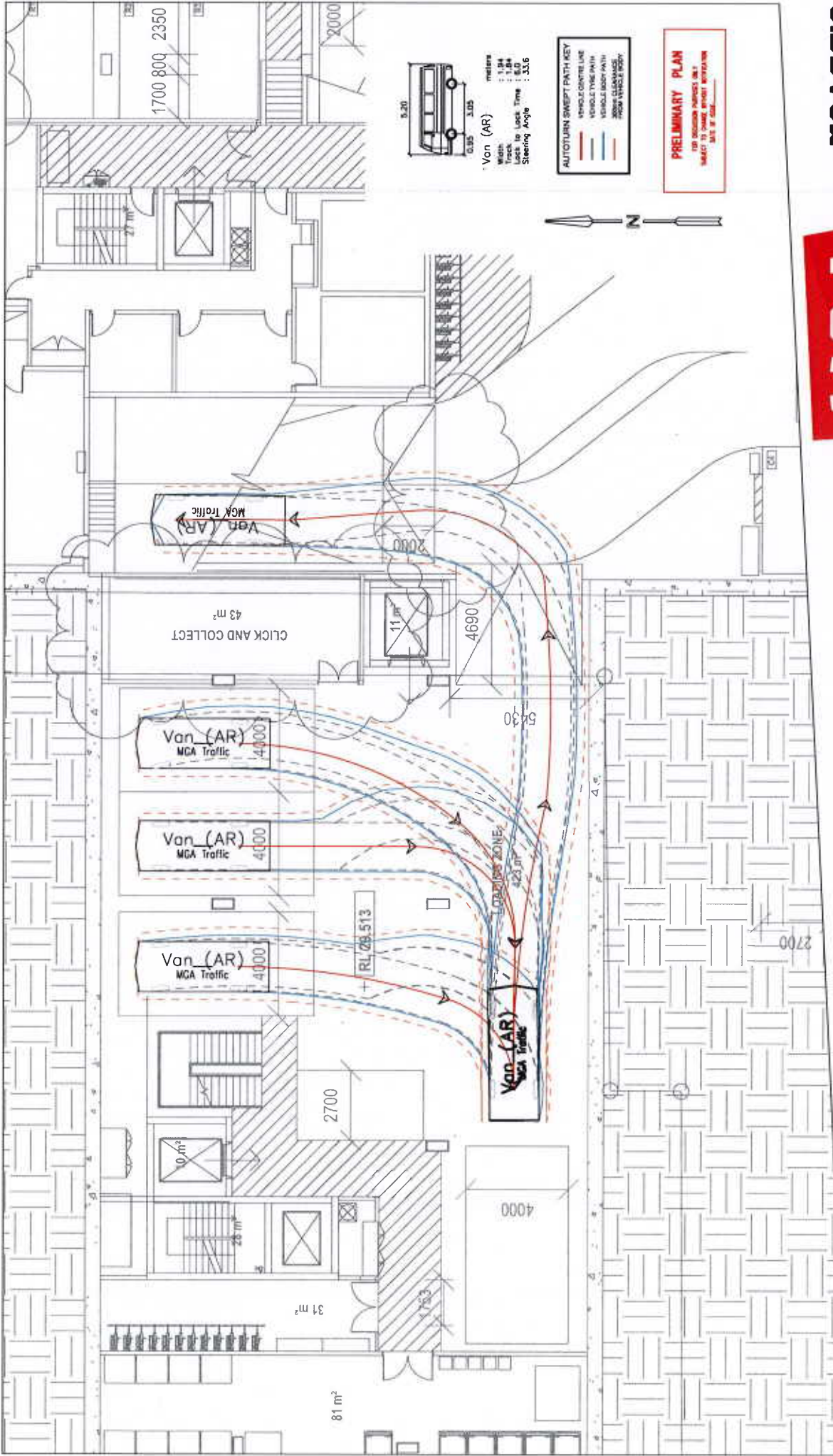
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MGA REF: MGA19011-AT05-03
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 DATE: 20 NOVEMBER 2019
 DRAWN: F. GUADAGNUOLO
 CHECKED: P. MALINIS

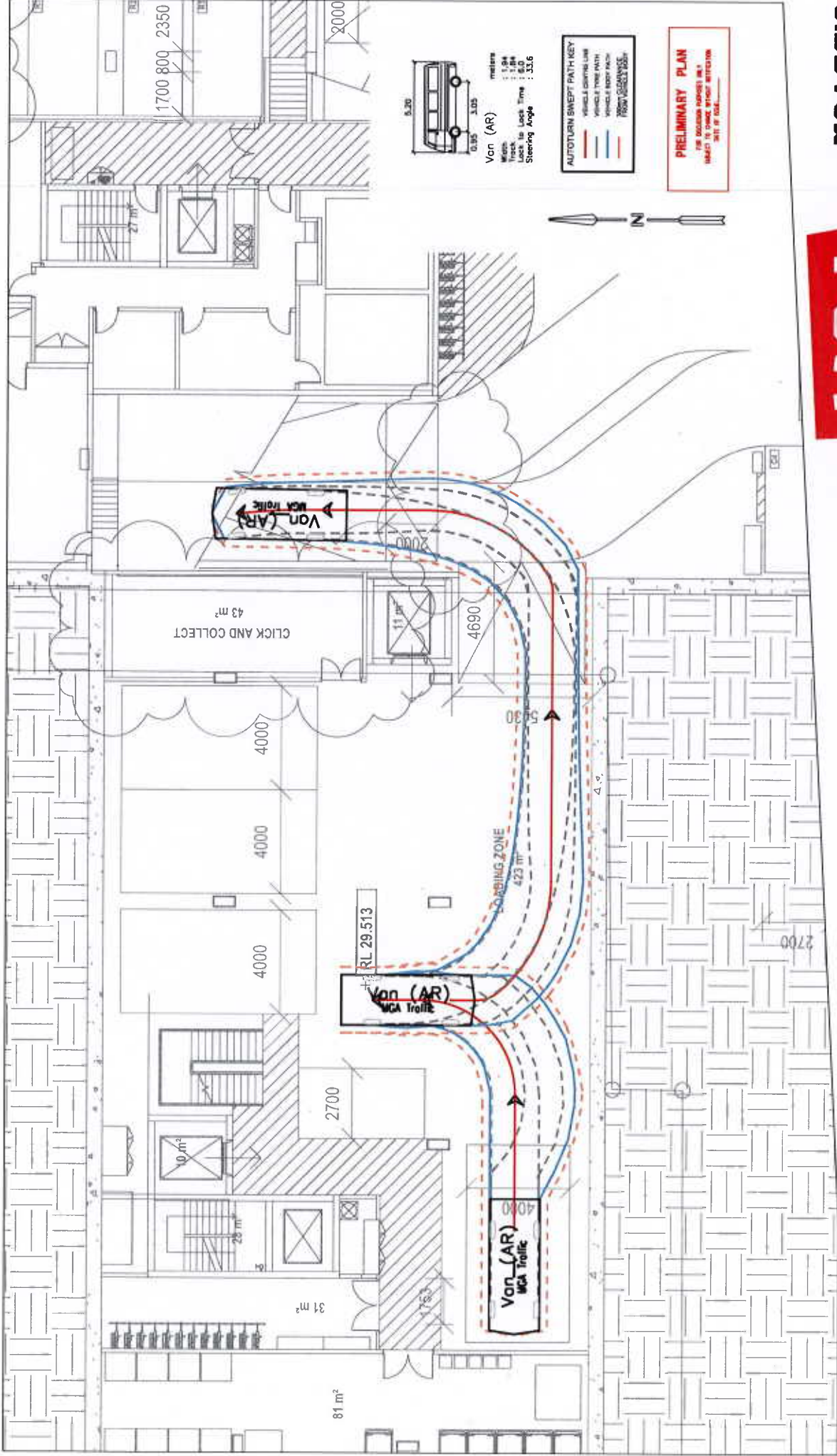
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 PROJECT: 25-35 BEST STREET, NORTH FITZROY
 CITY OF YARRA
 TITLE: SWEEP PATH ASSESSMENT
 BASEMENT LOADING DOCK
 DESIGN VEHICLE: VANS (INGRESS)



TRAFFIC TRANSPORT WASTE

MGA REF: MGA19011-AT05-04
 SCALE: 1:200 A4
 DATE: 20 NOVEMBER 2019
 DRAWN: F. GUADAGNUOLO
 CHECKED: P. MALINIS

CLIENT: PIEDIMONTE SUPERMARKET
 PROJECT: 25-35 BEST STREET, NORTH FITZROY
 CITY OF YARRA
 TITLE: SWEEP PATH ASSESSMENT
 BASEMENT LOADING DOCK
 DESIGN VEHICLE: VANS (EGRESS)



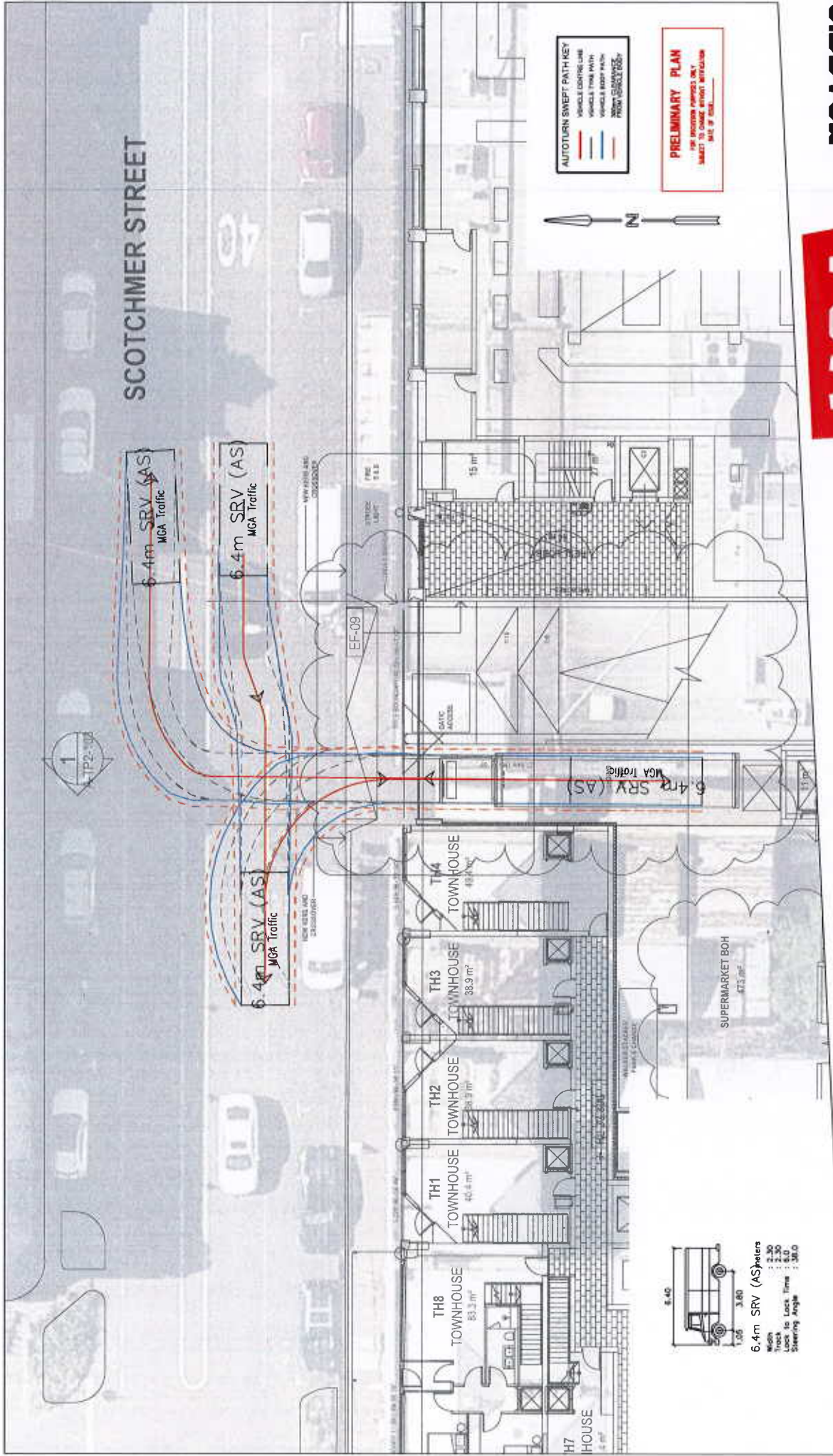
MGA

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MGA REF: MGA19011-AT05-05
 PROJECT: SCALE: 1:200 A4
 DATE: 20 NOVEMBER 2019
 DRAWING: F. GUADAGNUOLO
 CHECKED: P. MALINAS

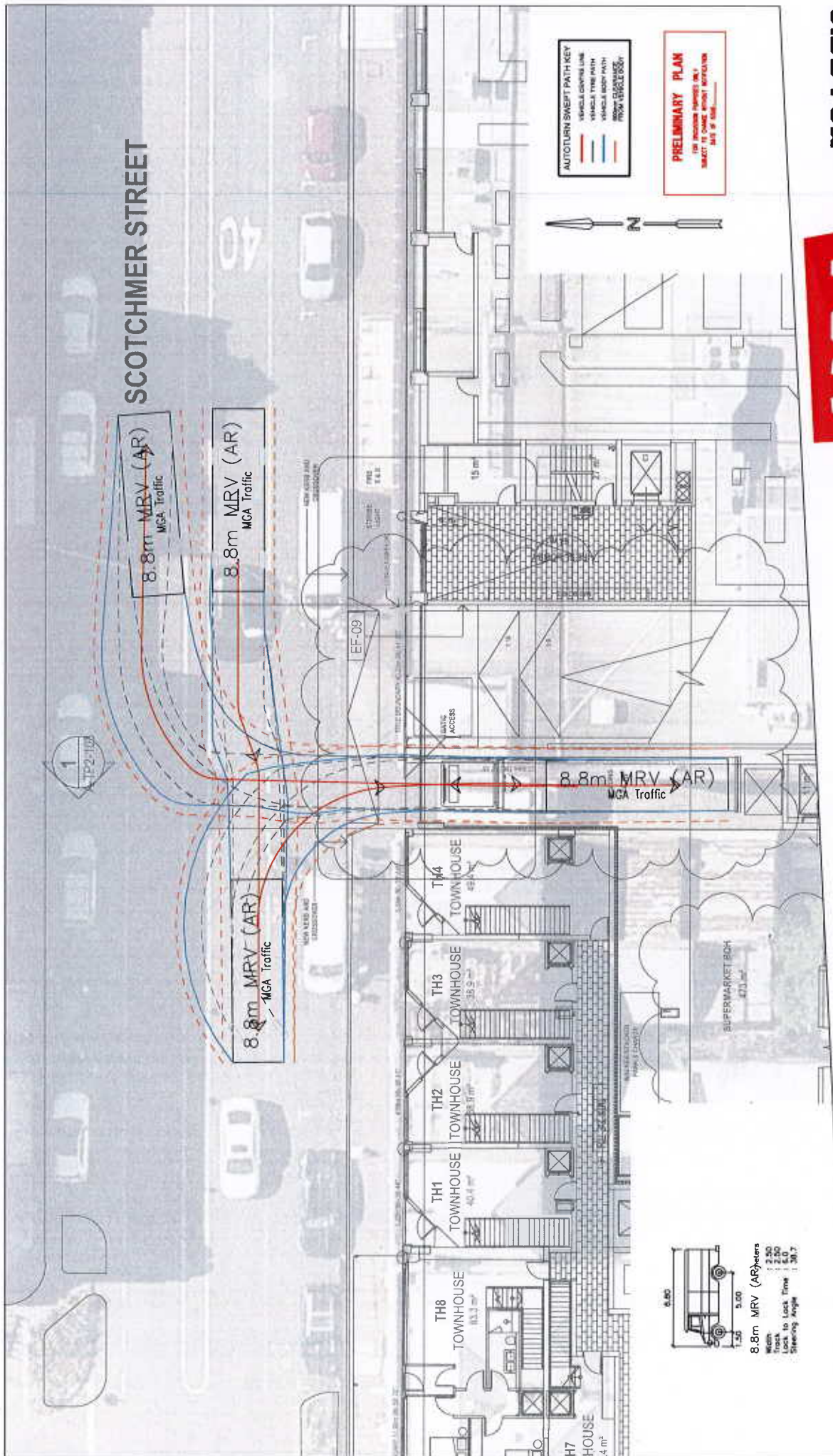
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 PROJECT: 25-35 BEST STREET, NORTH FITZROY
 CITY OF YARRA
 TITLE: SWEEP PATH ASSESSMENT
 BASEMENT LOADING DOCK
 DESIGN VEHICLE: VANS (EGRESS SHEET 2)



TRAFFIC TRANSPORT WASTE

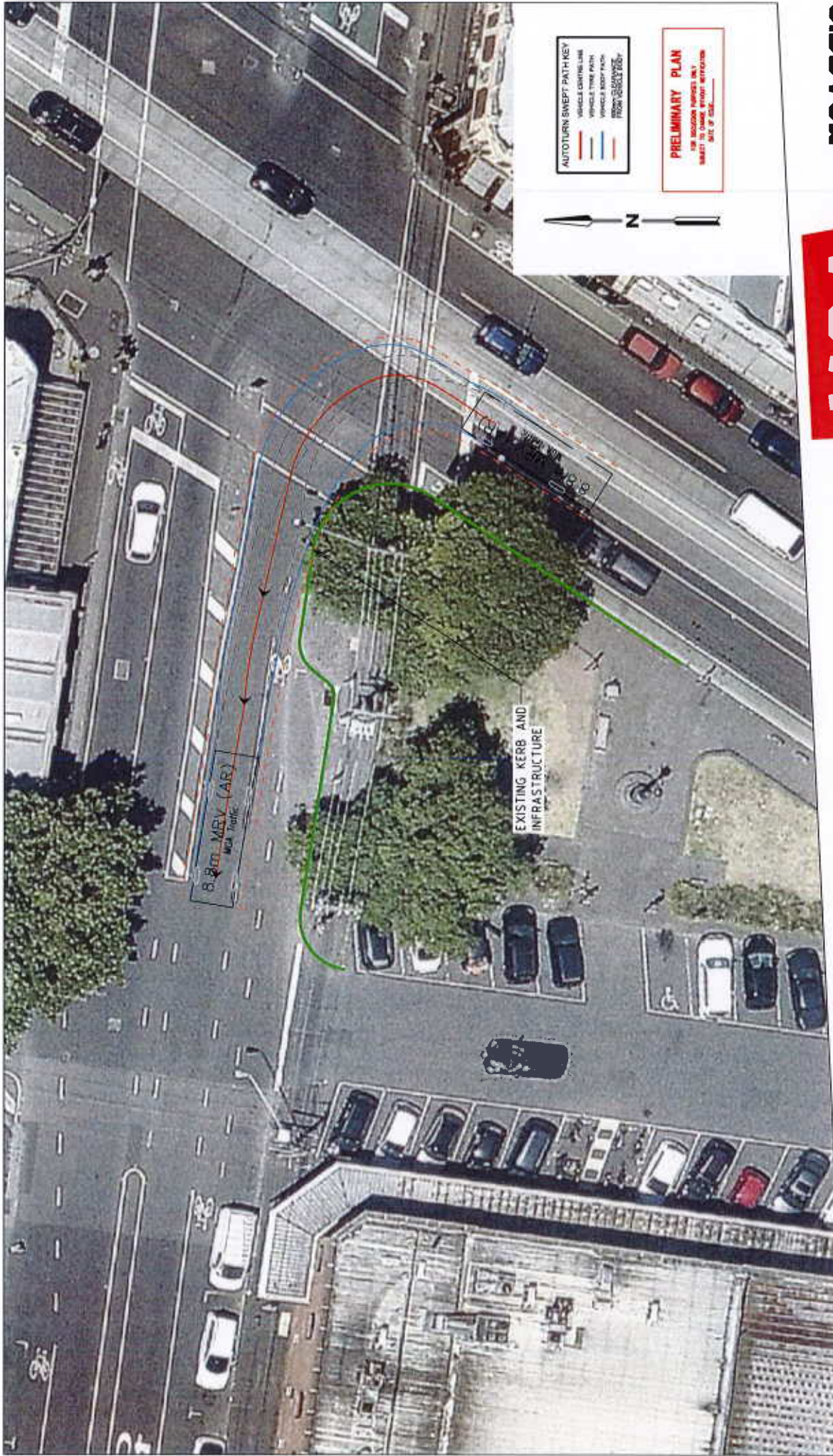
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 DATE: 20 NOVEMBER 2019
 DRAWN: F. GUADAGNUOLO
 CHECKED: P. MALINAS

CLIENT: PIEDIMONTE SUPERMARKET
 PROJECT: 25-35 BEST STREET, NORTH FITZROY
 CITY OF YARRA
 TITLE: SWEEP PATH ASSESSMENT
 LOADING DOCK
 6.4M SERVICE VEHICLE



MGA REF: MGA19011-AT05-07
 SCALE: 1:250 A4
 DATE: 20 NOVEMBER 2019
 DRAWN: F. GUADAGNUOLO
 CHECKED: P. MALINAS

CLIENT: PIEDMONTE SUPERMARKET
 PROJECT: 25-35 BEST STREET, NORTH FITZROY
 CITY OF YARRA
 TITLE: SWEEP PATH ASSESSMENT
 LOADING DOCK
 8.8M SERVICE VEHICLE



TRAFFIC TRANSPORT WASTE

MGA REF: MGAT19011-AT03-06
 SCALE: 1:300 A4
 DATE: 4 SEPTEMBER 2019
 DRAWN: F. GUADAGNUOLO
 CHECKED: P. MALINAS

CLIENT: PIEDIMONTE SUPERMARKET
 PROJECT: 25-35 BEST STREET, NORTH FITZROY
 CITY OF YARRA
 TITLE: SWEEP PATH ASSESSMENT
 DESIGN VEHICLE: 8.8M MRV
 ST. GEORGES RD / SCOTCHMER ST



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MGA REF: MGA19011-AT03-07
 SCALE: 1:300 A4
 DATE: 20 NOVEMBER 2019
 DRAWN: F. GUADAGNUOLO
 CHECKED: P. MALINAS

CLIENT: PIEDIMONTE SUPERMARKET
 PROJECT: 25-35 BEST STREET, NORTH FITZROY
 CITY OF YARRA
 TITLE: SWEEP PATH ASSESSMENT
 DESIGN VEHICLE: 6.4M SRV
 ST. GEORGES RD / SCOTCHMER ST

PIEDIMONTE SUPERMARKETS
LOADING MANAGEMENT PLAN

20 DECEMBER 2019

1 INTRODUCTION

This Delivery Management Plan has been prepared for the proposed Piedimonte Mixed Use Development at Best Street, North Fitzroy to outline how deliveries to the supermarket will be managed.

There are 2 loading docks to assist with the management of these deliveries. These will be further referenced as 'Ground Floor Loading Dock' and 'Basement 1 Loading Dock.'

The purpose of this document is to identify and implement a range of systems and procedures to assist with the safe and efficient delivery of goods to the Piedimonte Supermarket. This report outlines the way in which the proposed structure of the loading docks will work operationally.

This document should be read in conjunction with the following documents:

- MGA Traffic Impact Statement dated 18 December 2018
- MGA Memorandum dated 3 December 2019
- Jackson Clements Burrows Updated Drawings dated 29 November 2019

2 DELIVERY VEHICLE ACCESS

2.1 ACCESS TO SITE

The subject site is located at the junction of Best Street, Scotchmer Street and St George's Road in North Fitzroy. The proposed access for all vehicles (delivery vehicles, shoppers and residents) is to the north of the site, on Scotchmer Street.

The proposal incorporates 2 separate loading bays to take deliveries for the supermarket, for reasons further discussed below.

2.1.1 GROUND FLOOR LOADING DOCK

The ground floor loading dock is located along the northern boundary of the site and is accessed via Scotchmer Street. Figure 2.1 below shows the location of the ground floor loading dock in relation to the subject site.

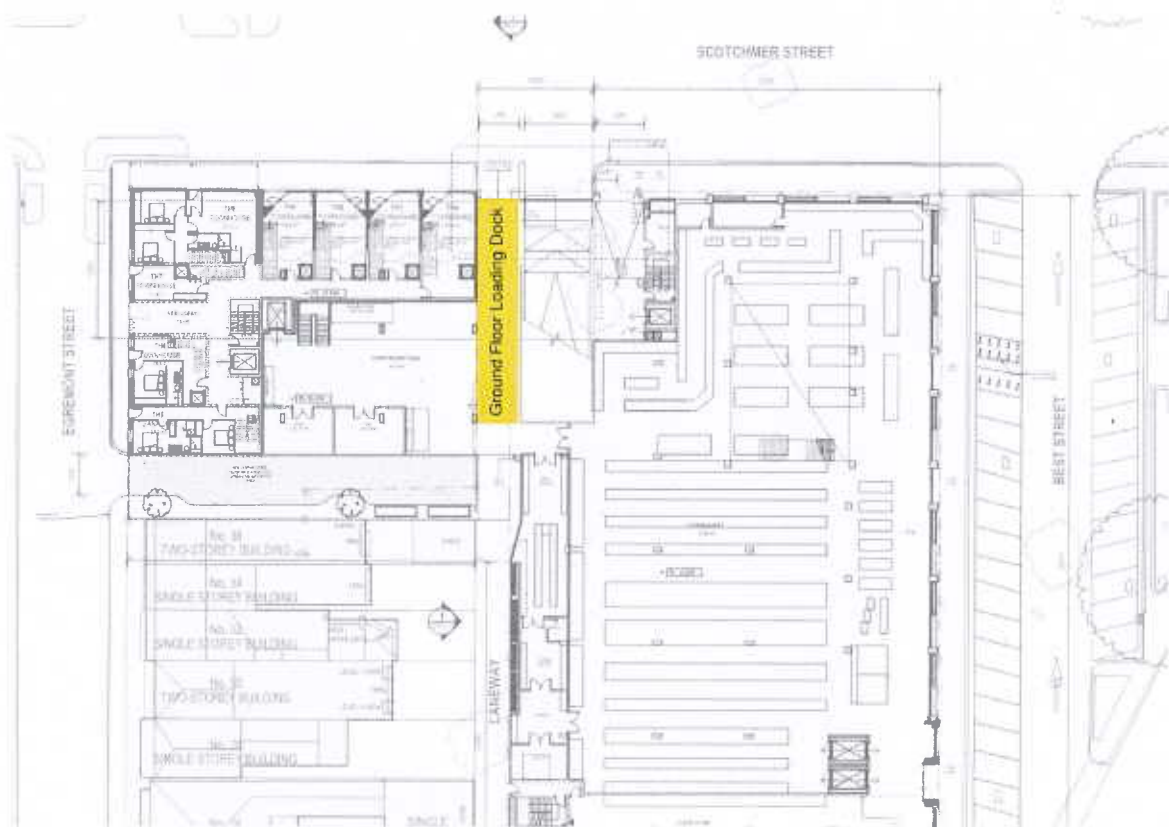


Figure 2.1 – Ground Floor Loading Dock Location

2.1.2 BASEMENT 1 LOADING DOCK

The basement 1 loading dock is also accessed directly from Scotchmer Street via a ramp down to basement 1. Figure 2.2 shows the location of entry to the basement from Scotchmer Street.

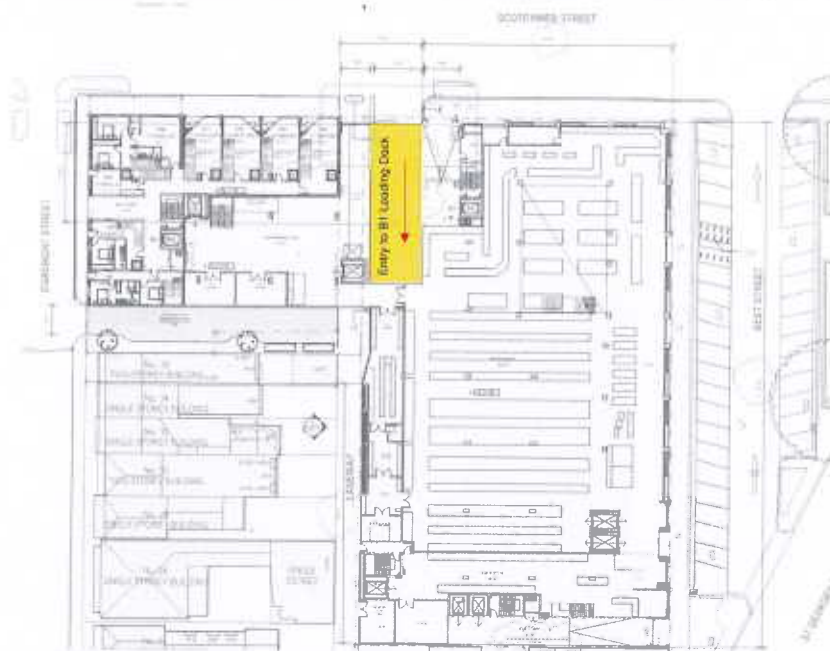


Figure 2.2 – Entry to Basement 1 Loading Dock Location

Figure 2.3 below shows the location of the basement 1 loading dock in relation to the subject site.

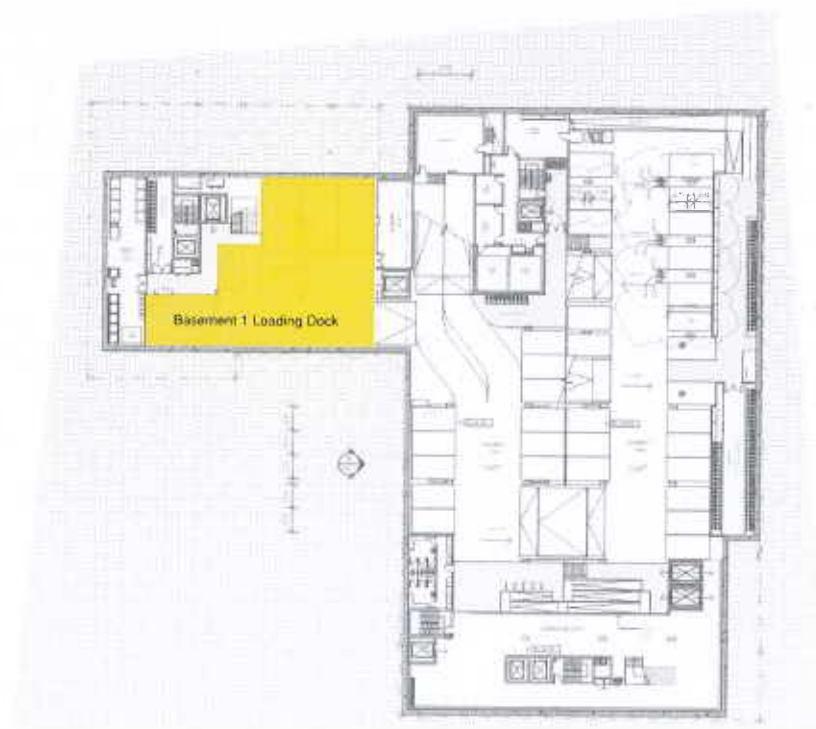


Figure 2.3 – Basement 1 Loading Dock Location

2.2 ACCESS ARRANGEMENTS

2.2.1 GENERAL

The allocation of delivery vehicles to the loading dock is determined by vehicle height and type. All vans/small trucks that are less than 2.3 meters in height will make their deliveries via basement 1 loading dock.

All vehicles higher than 2.3 meters will utilise the ground floor loading dock. A summary of the vehicles that will be utilised for supermarket deliveries are as per below figure 2.3.

Loading Vehicle	Dimensions of Loading Vehicle	Location of Loading Area and Dimensions
Vans	Vehicle Width – 2.0m Vehicle Length – 5.0m Vehicle Height – 2.0-2.3m	Basement Level Loading Dock. Dock Width – 2.6m Dock Length – 7.0m Dock Height – 2.5m
Small to Medium Rigid Vehicles	Vehicle Width – 2.5m Vehicle Length – 6.4-8.0m Vehicle Height – 3.0-4.3m	Ground Level Loading Dock. Dock Width – 4.0m Dock Length – 17.5m Dock Height – 4.5m
Articulated Vehicle	Vehicle Width – 2.5m Vehicle Length – 14.5m Vehicle Height – 4.3m	Ground Level Loading Dock. Dock Width – 4.0m Dock Length – 17.5m Dock Height – 4.5m

Figure 2.4 – Description and Dimensions of Delivery Vehicles and Associated Loading Docks

Exact vehicle specifications can be found in Appendix 2 which outlines the current/future supplier Metcash's range of vehicles that will be used for deliveries.

Appendix 3 also shows a section of head height clearances for basement 1 loading bay.

2.2.2 GROUND FLOOR LOADING DOCK

As demonstrated in figures below, vehicles will enter the site via Scotchmer Street. Only vehicles 14.5 meters or less in length will be utilised for supermarket deliveries.

2.2.2.1 14.5 METER LONG DELIVERY VEHICLES

14.5 meter long vehicles enter Scotchmer Street travelling in a Easterly direction via the existing truck route agreement with Council. Following activation of safety features, the vehicle will reverse manoeuvre into the loading bay from the opposite side of Scotchmer Street. Refer Figure 2.5 below and swept paths included in the MGA memorandum.

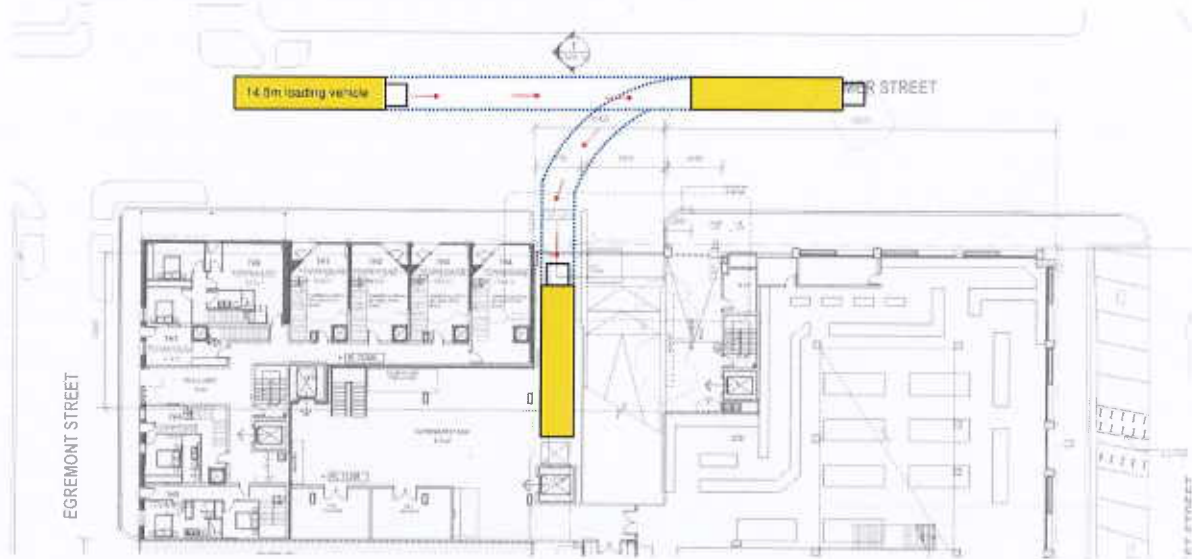


Figure 2.5 – Ground Floor Loading Dock Flow Diagram for 14.5 metre vehicle – Ingress

The ground floor loading dock has a total length of 17.5 meters. With reference to Appendix 2 (Metcash truck dimensions) Piedimonte will be utilising the 11 meter long trailer (plus approximately 3.5 meters for cabin). This allows space for the following requirements:

- 1800mm Dock Leveller at the rear of the loading bay.
- Approximately 1900mm at the front end of the loading bay which ensures enough space is available for the roller door to securely shut (refer to Appendix 3 – Loading Dock Layout)

Path of egress for 14.5 meter long truck is demonstrated in figure 2.6.

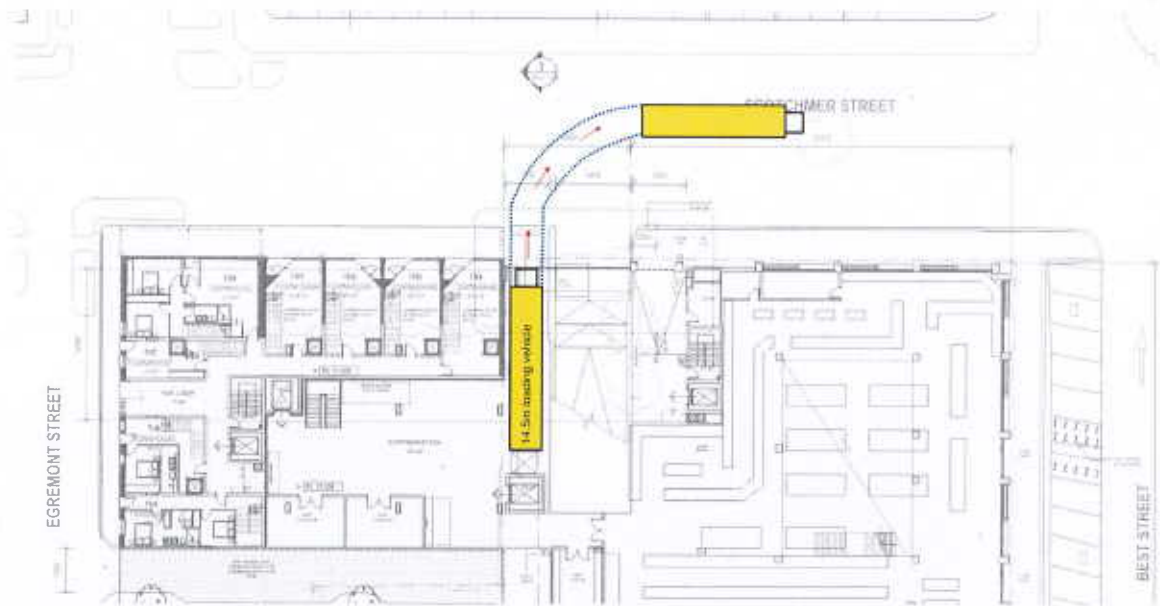


Figure 2.6 – Ground Floor Loading Dock Flow Diagram – Egress (14 meter long vehicle)

2.2.2.2 8.8 / 6.4 METER DELIVERY VEHICLES

For vehicles of lengths 8.8/6.4 meters, these enter Scotchmer Street travelling in a Westerly direction. Following activation of safety features, the vehicle will reverse manoeuvre into the loading bay (also from its lane into the loading dock. Refer Figure 2.7 and also swept paths included in the MGA memorandum.

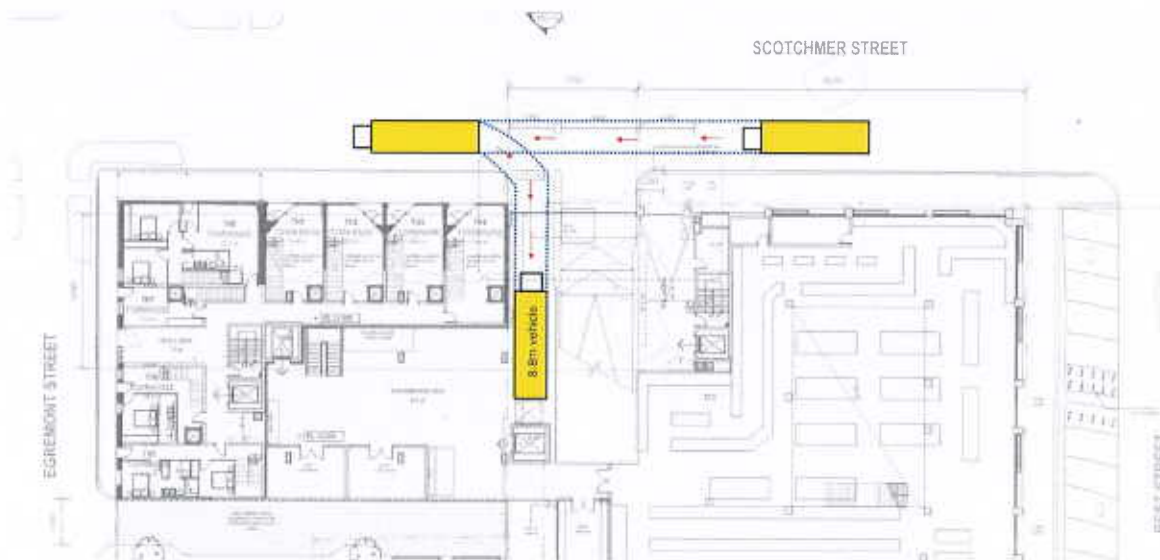


Figure 2.7 - Ground Floor Loading Dock Flow Diagram for 8.8/6.4 metre vehicle – Ingress

Once vehicles are inside the ground floor loading dock, the auto roller door will shut. This ensures the safety of pedestrians and also assists with the acoustic aspects of the loading process.

Unloading will occur from the rear of the vehicle via the dock leveller which leads directly into the pallet storage space. Goods from the vehicle are sent directly from the ground floor loading dock to the preparation areas or trading floor of the supermarket. Empty pallets are stacked against the allocated northern area of the Back of House to ensure the area is kept clean and free of any hazards.

Following unloading, the vehicle can exit the loading dock in a forward manner with the guidance of the loading dock manager, convex mirrors and flashing lights.

Path of egress for 8.8/6.4 meter long truck is demonstrated in Figure 2.8. Please also refer to swept paths to demonstrate clearance for trucks.

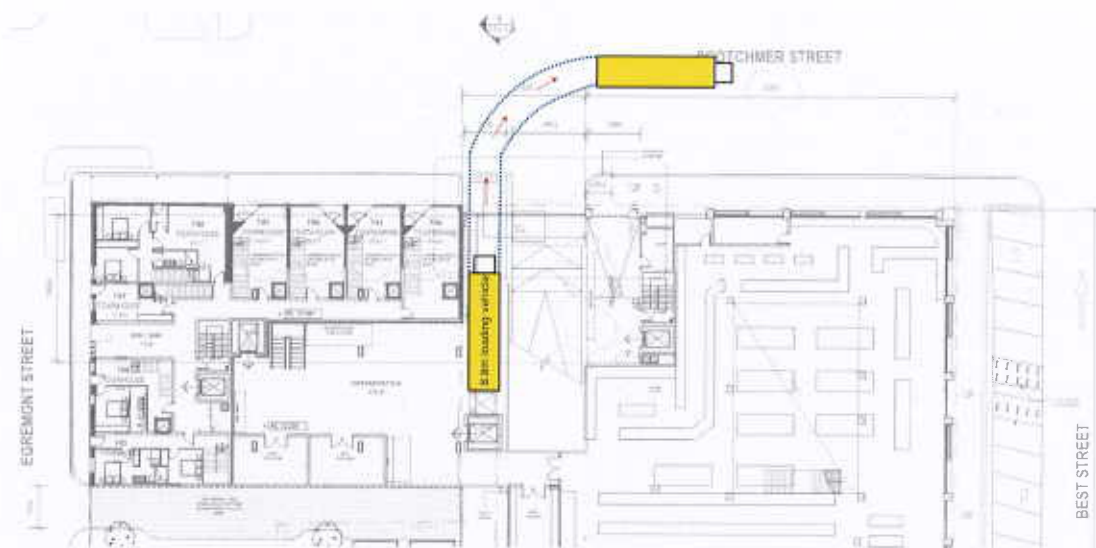


Figure 2.8 – Ground Floor Loading Dock Flow Diagram – Egress (8.8/6.4 meter long vehicle)

2.2.3 BASEMENT 1 LOADING DOCK

As demonstrated in Figure 2.9 below, vehicles 2.3 high or less enter the site via ramp from Scotchmer Street down to Basement 1.

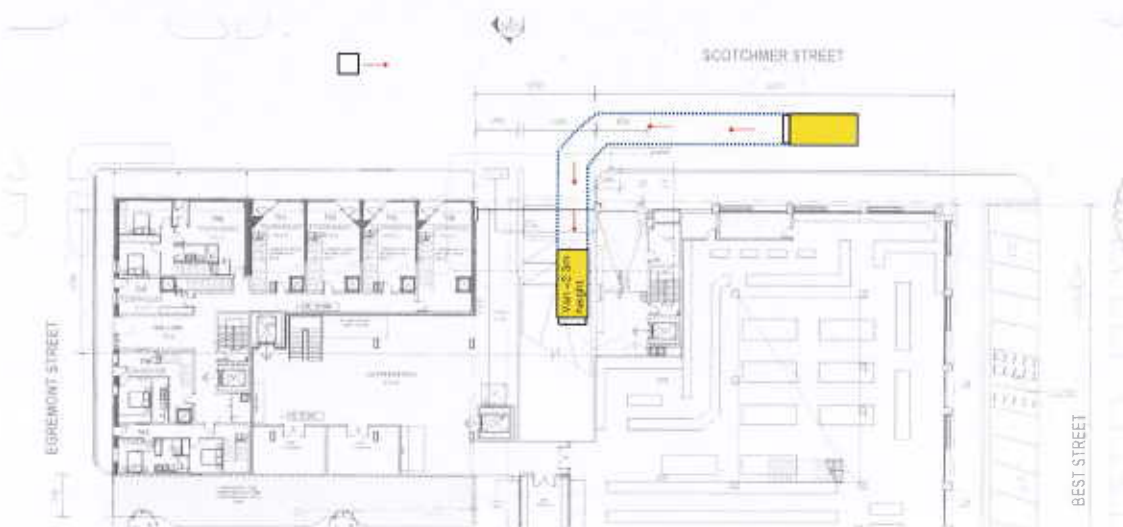


Figure 2.9 – Entry to Basement Loading Dock from Scotchmer Street - Ingress

Upon entering the basement, the vehicle enters the loading bay area directly to the right. These smaller loading vehicles have 5 separate spaces allocated to them which are able to be driven into in a forward manner, allowing unloading from the rear of the vehicle. Refer figure 2.10.

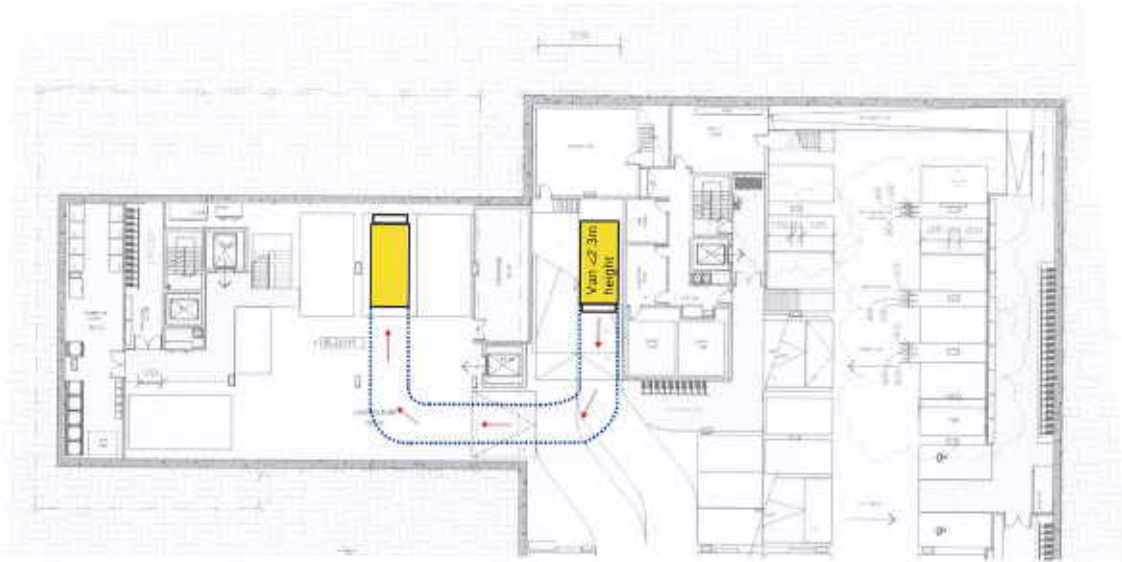


Figure 2.10 – Basement 1 Flow Diagram – Ingress

Deliveries are unloaded and loaded directly into 1 of the 2 available lifts from basement level 1 to ground floor back of house or directly to the trading floor. This process ensures no stock is taking up any space in the loading area and there are no hazards.

Following unloading, the delivery vehicle will reverse out of one of the 5 the parks and exit the premises via basement 1 ramp to the left (refer figure 2.11).

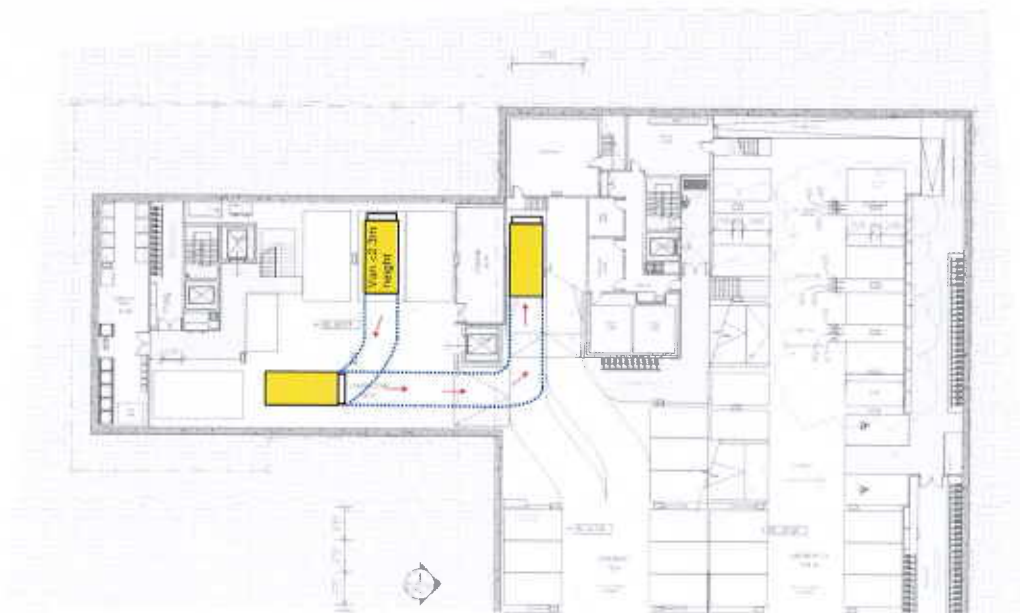


Figure 2.11 – Basement 1 Flow Diagram - Egress

3 LOADING ARRANGEMENTS

3.1 SWEPT PATH ASSESSMENT

The Traffic Report from MGA demonstrates access to and from the loading dock for all types of vehicles that will be utilised for supermarket deliveries. Please refer to MGA memorandum for all clearances and swept paths.

This loading management plan is to be read in conjunction with that report, and outlines all operational requirements to meet the report.

3.2 FREQUENCY AND ALLOCATION OF DELIVERIES

Expected frequency of deliveries is drawn from existing figures making due allowance for any changes in delivery vehicle capacity. These are clarified in figure 3.1.

Loading Vehicle	Dimensions of Loading Vehicle	Location of Loading Area / Dimensions	Movement of Ingress into Loading Dock	Frequency of Loading (Mon-Fri)
Vans	2.0m width 5.0m length 2.0-2.3m height	Basement Level 2.6m width 7.0m length 2.5m height	Drive into and out of dock in a forward manner (<i>refer figure 2.9 and 2.10</i>)	38 Vehicles per day
Basement Loading Dock				38 Vehicles per day, approximately 1 vehicle every 20 minutes.
Small to Medium Rigid Vehicles	2.5m width 6.4-8.8m length 3.0-4.3m height	Ground Level 4.0m width 16.4m length 4.5m height	Reverse Manoeuvre travelling West (<i>refer figure 2.7</i>)	13 vehicles per day
Articulated Vehicle	2.5m width 14.5 length Up to 4.3m height	Ground Level 4.0m width 16.4m length 4.5m height	Reverse Manoeuvre travelling East (<i>refer figure 2.5</i>)	1-3 vehicles per day
Ground Level Loading Dock				14-16 vehicles per day which corresponds to 1 vehicle approximately every hour.

Figure 3.1 – Loading Vehicle expected Frequencies

In relation to the paths of delivery vehicles, the above table confirms that only 1-3 vehicle deliveries a day will be required to reverse into the Ground Floor Loading Dock from the opposite side of the road.

The below figure 3.2 demonstrates the head height clearance for vans going to Basement 1, at 2.5 meters high to allow for loading vehicles of maximum height 2.3 meters.

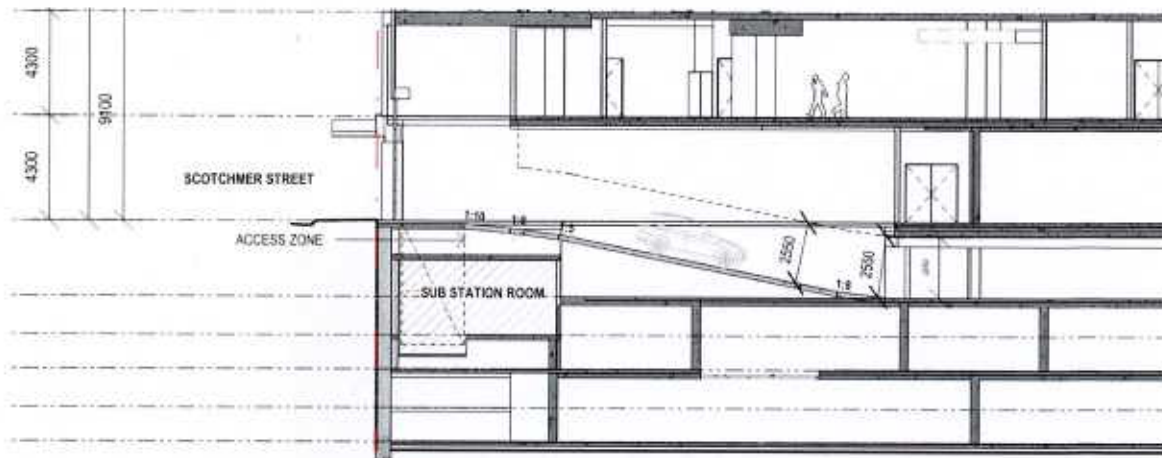


Figure 3.2 – Basement 1 ramp section (JCB Drawings 29 Nov 19, Section AA)

3.3 DELIVERY HOURS

Supermarket deliveries will be scheduled within the below timeframes:

Ground Floor Loading Dock

- Monday to Friday: 7:00am to 7:00pm
- Saturday: 7:00am to 4:00pm
- Sunday & Public Holidays: no deliveries.

Basement 1 Loading Dock

- Monday to Friday: 6:00am to 7:00pm
- Saturday: 7:00am to 4:00pm
- Sunday & Public Holidays: 7:00am to 4:00pm

Noted that newspaper deliveries may be outside these hours.

3.4 WASTE COLLECTION

Waste collection is anticipated to occur 3 times a week for each type of commercial waste – Garbage, Cardboard, Mixed Containers and Food Organics. The Waste Management Plan will provide further detail with regard to waste collection (refer to Waste Management Plan dated 19 December 2018).

All waste collection is from Basement Level 1.

3.5 REVIEW OF OPERATIONAL LOADING ACTIVITIES

It is noted that all loading activities are to occur only within the loading docks and not be undertaken by parking on-street in nearby parking opportunities. This procedure ensures all delivery vehicles are taken off the street, and in a controlled and secure location.

While loading vehicles are loading/unloading from the loading areas on-site, the vehicles engines will be turned off.

It is noted that the auto roller door along the northern wall of the building will ensure the area is secured outside of, and during loading times.

3.6 POTENTIAL QUEUING OF LOADING VEHICLES

We have outlined the deliveries that the Piedimonte Supermarket expects daily. To prevent the likelihood of a vehicle arriving at the ground level loading dock while it is still in use, Piedimonte Supermarkets will schedule all deliveries throughout the day. As per the above table, approximately 1 delivery utilising the ground floor loading dock per hour is expected.

Each pallet takes approximately 2 minutes to unload, based on current use. It is expected that the 14 meter long delivery vehicle will carry 14 pallets, which will total 28 minutes of unloading time. This ensures that there is a large contingency for the next vehicle to deliver their goods.

If a vehicle is to arrive outside the allotted delivery time, the vehicle will be rescheduled for delivery and not be allowed to park within the local road network.

The 5 allocated spaces at Basement 1 allow for multiple deliveries at a time, which will also be scheduled to ensure traffic is managed accordingly.

4 SAFETY MEASURES

4.1 GENERAL

Piedimonte understand that an improvement to the existing operations is required to ensure pedestrian and vehicle safety during the loading processes. A number of safety measures are proposed on the plans and in this document to assist with the smooth and safe access and egress of each delivery to each loading dock.

These safety measures require operational training and management to ensure they are utilised correctly and effectively, which is explained further below.

4.1.1 FLASHING LIGHT

There are a number of flashing lights that will be installed where vehicles and/or pedestrians could intersect, to alert nearby vehicles and pedestrians that there are delivery vehicles entering or exiting from the loading dock.

There will also be flashing lights located on the auto roller door itself when going up or down. These will be activated by the Loading Dock Manager / Supermarket Manager prior to the truck arriving at the Loading Dock.

4.1.2 CONVEX MIRROR

There are a number of convex mirrors proposed to assist delivery vehicle drivers to see the street prior to exiting the loading dock or ramp where there are blind spots/poor visibility. These will be used in addition to assistance from the Loading Dock Manager/s.

The convex mirrors in both ground floor loading bay and exit ramp from basement 1 will be secured to the Piedimonte property and not public land.

4.1.3 SECURITY CAMERAS

Security cameras will be installed out of the front of Scotchmer Street so the Loading Dock / Supermarket Managers are able to view activity outside whilst the roller door is closed.

Live time footage can be viewed directly from inside the loading dock and Level 1 office to monitor and review all loading dock operations.

4.1.4 SCHEDULE OF DELIVERIES

The Supermarket Manager and Department Managers (refer section 4.1.8) will ensure that all deliveries are scheduled at regular intervals to ensure that delivery vehicles are not queuing on roads to enter the property.

The relevant Manager is responsible for ensuring that vehicles not running to schedule are turned away to avoid any vehicles parking on the surrounding streets.

As discussed above, the proposed schedule allows for adequate contingency for each delivery to ensure any risk of delays are mitigated.

4.1.5 LOADING DOCK MANAGER

A Loading Dock Manager/Store Manager will be allocated for each delivery time. The manager will be adequately trained to safely guide trucks into the relevant loading dock and exit the dock when required. At ground level, the loading dock manager will assist with traffic along Scotchmer Street whilst the delivery driver performs a reversing manoeuvre into the loading bay.

Where required, multiple employees will be utilised to ensure the truck enters the loading dock safely.

The individual/s will be wearing PPE clothing and be clearly identified.

4.1.6 SIGNS AND ROAD MARKINGS

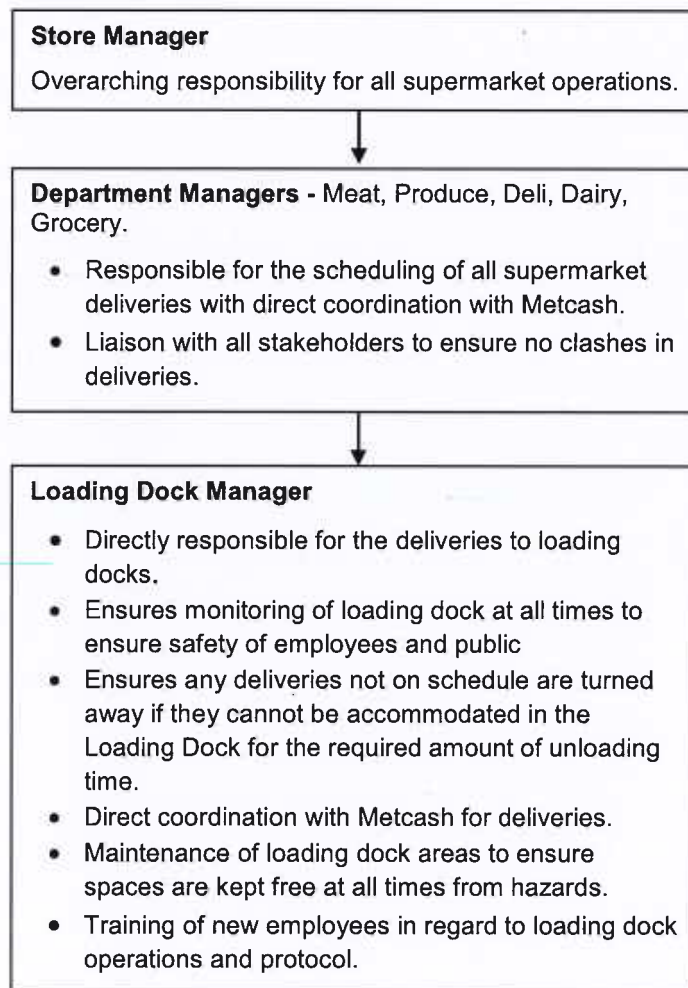
Reflective paint and directional signs will be incorporated into all loading and car park areas to alert pedestrians and vehicles to any hazards.

4.1.7 INDUCTION TO OPERATIONAL REQUIREMENTS

Upon induction as a staff member of the Piedimonte Supermarket, loading dock operations will be clearly outlined so the staff member is aware of all processes related to Supermarket deliveries.

4.1.8 ORGANISATIONAL CHART

The below outlines the Piedimonte Supermarket Company structure for the operations of the Loading Dock.



5 APPENDICES

5.1 METCASH TRUCK DIMENSIONS

5.2 LOADING DOCK LAYOUT, 1:50

Pan Numbers	Pallet Capacity	Height	Length	Width	Pan Numbers	Pallet Capacity	Height	Length	Width
Metro Dairy					Metro Dry				
R1801	18	4.1 m	12.00 m	2.5m	1601	16	4.1m	11.00 m	2.5m
R1802	18	4.1 m	12.00 m	2.5m	1602	16	4.1m	11.00 m	2.5m
R1803	18	4.1 m	12.00 m	2.5m	1701	17	4.1m	11.50 m	2.5m
R1804	18	4.1 m	12.00 m	2.5m	1702	17	4.1m	11.50 m	2.5m
R1805	18	4.1 m	12.00 m	2.5m	1703	17	4.1m	11.50 m	2.5m
R1806	18	4.1 m	12.00 m	2.5m	1704	17	4.1m	11.50 m	2.5m
R1807	18	4.1 m	12.00 m	2.5m	1705	17	4.1m	11.50 m	2.5m
R1808	18	4.1 m	12.00 m	2.5m	1706	17	4.1m	11.50 m	2.5m
R1608	16	4.1 m	11.00 m	2.5m	1707	17	4.1m	11.50 m	2.5m
Rigid 249	12	4.1 m	10.00 m	2.5m	1708	17	4.1m	11.50 m	2.5m
Rigid 247	9	4.1 m	8.00 m	2.5m	1901	19	4.1m	12.50 m	2.5m
					1902	20	4.1m	12.50 m	2.5m
Intra Dairy					1903	20	4.1m	12.50 m	2.5m
R12	22	4.3 m	14.00 m	2.5m	1904	20	4.1m	12.50 m	2.5m
R13	22	4.3 m	14.00 m	2.5m	2201	22	4.1m	14.00 m	2.5m
R14	22	4.3 m	14.00 m	2.5m	2202	22	4.1m	14.00 m	2.5m
R15	22	4.3 m	14.00 m	2.5m	2203	22	4.1m	14.00 m	2.5m
R06	24	4.3 m	14.50 m	2.5m	2204	22	4.1m	14.00 m	2.5m
R44	24	4.3 m	15.00 m	2.5m	2205	22	4.1m	14.00 m	2.5m
R45	24	4.3 m	15.00 m	2.5m	2206	22	4.1m	14.00 m	2.5m
R23	20	4.3 m	12.50 m	2.5m	2207	22	4.1m	14.00 m	2.5m
					2208	22	4.1m	14.00 m	2.5m
					2209	22	4.1m	14.00 m	2.5m
					2210	22	4.1m	14.00 m	2.5m
					2211	22	4.1m	14.00 m	2.5m
					2212	22	4.1m	14.00 m	2.5m
					2213	22	4.1m	14.00 m	2.5m
					2214	22	4.1m	14.00 m	2.5m
					2215	22	4.1m	14.00 m	2.5m
					2216	22	4.1m	14.00 m	2.5m
					Rigids				
					809	9	3.6 m	8.00 m	2.5m
					810	10	3.6 m	8.00 m	2.5m
					612	12	3.6 m	10 m	2.5m
					712	12	4.0 m	10 m	2.5m
					812	12	4.1 m	10 m	2.5m
					912	12	4.0 m	10 m	2.5m
						14	4.1m	11.3m	2.5m

19 December 2019

Piedimonte Developments Pty Ltd

C/o Neoscape
431/838 Collins Street
Docklands VIC 3008

Att: Darren Woolf

Dear Darren,

**Re: Piedimonte's Mixed Use Redevelopment
AECOM Response to SLR Peer Review Comments**

AECOM was commissioned by Piedimonte Developments Pty Ltd in 2018 to provide a noise assessment for the proposed redevelopment of an existing supermarket at 27-45 Best Street and 102-114 Scotchmer Street in Fitzroy North.

The outcome of the assessment was detailed in the AECOM report 60590817 "*Piedimonte's Redevelopment – Acoustics*" (the AECOM Report), dated 12 December 2018.

In the interim, SLR Consulting Australia (SLR) was engaged by City of Yarra to provide a peer review of the AECOM Report. The review was detailed in the SLR letter 640.10090.05130 "*27-45 Best St & 102-114 Scotchmer St Fitzroy Nth*" (SLR Peer Review), dated 9 July 2019.

The purpose of this document is to provide responses to the issues raised in the SLR Peer Review by providing additional information where necessary or providing further clarification to the items in the AECOM Report.

The responses to the key items noted in the SLR Peer Review is provided in Table 1, attached. Attachments are also included where additional acoustic information was requested.

We trust that the information provided within this document addresses the comments of the Peer Review. Please do not hesitate to contact us if you have any further questions or comments.

Kind regards

Danny Boglev
Associate Director
danny.boglev@aecom.com

Mobile: +61 422 671 733
Direct Dial: +61 3 9653 8260

Table 1 Response to Peer Review Comments

Item	SLR Comment	AECOM Response
1	<p><i>There appear to be sensitive receivers on the first floor of some commercial buildings on the north side of Scotchmer Street. City of Yarra may be able to confirm. Noise from loading dock activities should be addressed to this location if the premises are confirmed as residential.</i></p>	<p>AECOM has assessed the noise emission to residences to the north of Scotchmer Street with respect to the revised loading dock management plan (dated 29 November 2019 prepared by Neoscape). The assessment is based on the following assumptions:</p> <ul style="list-style-type: none"> • Assessment is for a 30-minute period, in accordance with SEPP N-1. • The loading dock will only used between 7am and 7pm Monday to Friday. • Assuming a worst-case scenario of 1 semi-truck using the ground floor loading dock and 2 vans accessing the basement loading dock. • Activities in the loading dock include pushing trolley, pallet jacks, unloading the semi-truck. • The loading dock access door is closed after the truck is reversed into the position. • The loading dock access door is constructed from imperforated sheet-metal construction with a minimum rating of R_w 15. • The noise levels used in the assessment are as per Table 8-3 of the acoustics planning report dated 12-Dec-2018. • The predicted noise level at the nearest residents across Scotchmer Street is 45dB(A)$L_{eq,30min}$ and complies with the SEPP N-1 evening time criteria for the project. <p>The above scenario has also been used to conduct an assessment to internal areas of the same development and complies with the internal noise criteria.</p>
2	<p><i>Background noise levels used to determine SEPP N-1 noise limits may be affected by mechanical plant from the current Piedmonte's supermarket. Further explanation or measurements are recommended or the SEPP N-1 zoning levels should be used as interim noise limits.</i></p>	<p>AECOM can confirm that the review of the measurement data did not reveal any significant influence of mechanical noise that would have affected calculations of the SEPP N-1 noise limits. Therefore, background noise levels are confirmed as the method for determining the noise limits, in accordance with the SEPP N-1 policy. The SEPP N-1 noise limits presented in the AECOM Report are to remain.</p>
3	<p><i>The relevant background noise levels for determining SEPP N-1 limits indoors should be conducted at the relevant façade of the building. In the absence of background measurement data for these future facades, we recommend using the SEPP N-1 zoning levels to determine SEPP N-1 indoor limits, particularly for rooms that do</i></p>	<p>Refer to Item 2 above.</p>

Item	SLR Comment	AECOM Response
4	<p>not have windows onto an exposed façade (e.g. Townhouse and apartment bedrooms above the supermarket BOH).</p> <p>The delivery truck noise data used by AECOM appears to be lower than we would typically allow. However, further clarification with respect to the measured levels may address our concerns on this matter.</p>	<p>AECOM can confirm that the data in Table 8.3 of the AECOM Report for delivery trucks, as well as back-of-house activities such as trolleys, pallet jacks, etc. have been sourced from actual measurements performed by AECOM for similar supermarkets. This data is considered suitable for the purposes of assessing the noise impact from these activities and the design of noise control.</p>
5	<p>SEPP N-1 assessments of delivery noise should be included in the report in order to demonstrate compliance and identify any additional noise control treatments necessary.</p>	<p>Refer to Item 1, SEPP N-1 assessments have been undertaken for both environmental noise emission to surrounding sensitive receivers and internal noise transmission to apartment/townhouses within the same development.</p> <p>Provided the recommended constructions in Attachment 2 are adopted, the noise from the operation of the loading dock will comply with the nominated SEPP N-1 noise limits.</p>
6	<p>Traffic and tram noise targets are generally reasonable however we also recommend that the loudest hours of the day and night periods do not exceed the following:</p> <ul style="list-style-type: none"> • 45 dBA $L_{eq, 1 \text{ hour}}$ in living rooms and • 40 dBA $L_{eq, 1 \text{ hour}}$ in bedrooms between 10 pm and 7 am 	<p>AECOM is content that the criteria selected in Section 5 of the AECOM Report will result in an appropriate level of amenity for future residents. Therefore, the criteria stated in Section 5 of the AECOM Report should be retained.</p>
7	<p>Further information regarding how the short measurements of traffic noise have been used to determine the day and night average levels, and tram L_{max} targets for the purposes of determining façade upgrade treatments, should be provided in the report</p>	<p>The measured noise levels from Logger 1 located on the roof top of the existing Piedimonte's supermarket was used to determine the long-term day and night traffic noise level. The measured short-term traffic levels were used to supplement the long-term monitoring.</p> <p>Sleep disturbance assessment was conducted based on the measured $L_{n, max}$ levels including traffic and tram noise. The resultant façade specification is presented in Attachment 1.</p>
8	<p>A full façade specification for windows and lightweight non-vision elements.</p>	<p>AECOM confirm to have completed this assessment. This information is presented as an attachment to this document. Refer to Attachment 1 for an extract.</p>

Item	SLR Comment	AECOM Response
9	<i>Rw ratings for any loading dock or carpark entrance gates that require acoustic performance</i>	<p>Refer to item 1.</p> <p>According to the previous assessment, the following acoustic requirements are expected:</p> <ul style="list-style-type: none"> - Restriction of delivery times (7am to 7pm). - Loading dock door to be completely closed during all activities. - Imperforated loading dock door to be installed. - All door/gate motors and connections to be isolated from building structure.
10	<i>Acoustic ratings and recommended constructions for building elements required to control noise from the loading dock, supermarket, supermarket BOH, café and the like</i>	<p>AECOM confirm to have completed this work and provided the preliminary design information to the Architect and Structural Engineer to make an allowance in the building design. This information is presented as an attachment to this document. Refer to Attachment 2 for an extract.</p>
11	<i>Sufficient information for any vibration isolation required on the project to ensure that the builder/developer can make appropriate height and structural allowances for the necessary works</i>	<p>Refer to Item 10 above.</p>
12	<i>Patron noise from the permitted outdoor patron area at 100 Scotchmer Street and the first floor café should be considered in the report.</i>	<p>The café at 100 Scotchmer Street has an outdoor patron area at the rear of the development. The nearest sensitive receiver location is the apartment located above the café (100 Scotchmer Street) and apartment located on first floor of the adjacent 98 Scotchmer Street.</p> <p>It is our understanding that patron noise from the café currently complies at these locations. Refer to acoustic report provided for planning permit PLN18/0773. The proposed townhouses within the Piedimonte's development are located further away and compliance is expected to be achieved without any additional treatment.</p> <p>AECOM will assess the noise impact of the future proposal for the First Floor café balcony of Piedimonte's, in accordance with the applicable noise policy/guideline and provide recommendations to address noise impact on the Project.</p>

Attachment 1 Preliminary Acoustic Design for Building Façade

1.0 Exterior Walls

The exterior walls of the building should have a construction that achieves a minimum sound insulation rating of R_w 50. The glazing recommendations have been based on the external walls achieving this minimum requirement.

Examples of exterior walls that will be suitable for acoustic purposes and achieve this requirement include the following:

- Masonry wall:
 - 150mm precast concrete, with
 - Plasterboard wall lining applied to the internal apartment side of the wall.
- Brick wall:
 - Nominal 110mm wide brick
 - 92mm steel stud framing
 - 13mm thick plasterboard internal wall lining
- Lightweight wall:
 - 9mm fibre-cement sheet to exterior wall;
 - 92mm steel framing,
 - 75mm thick, 14kg/m³ acoustic insulation batts in wall cavity; and
 - Two layers of 13mm acoustic-rated/fire-rated plasterboard (min weight 10.5kg/m²) to the internal side of the wall.

Alternative lightweight walls that achieve a R_w rating of 50 should be acoustically reviewed to ensure that the walls perform suitably at all sound frequencies, noting that particular lightweight wall systems can have poor sound insulation properties at low frequencies whilst achieving an R_w rating of 50.

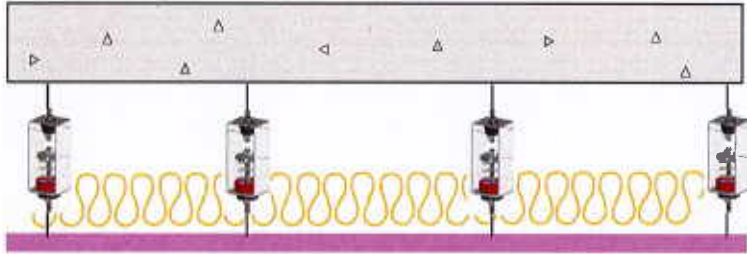
2.0 Façade Glazing

The façade glazing specification was presented in section 9.1.1. of the AECOM Report submitting for planning (12 December 2018).

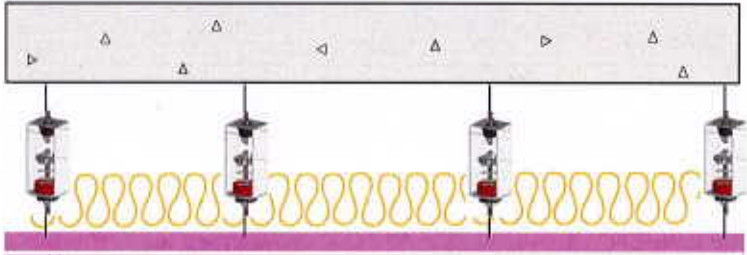
Attachment 2 Structural Isolation – Airborne and Impact Sound Isolation

The following details are an extract of the information provided to the Architect and Structural Engineer for the preliminary structural isolation design of Supermarket activities and Loading Dock operations.

1.0 Floor / ceiling construction for supermarket area at Level 1

Locations	Floor / Ceiling construction for Supermarket area at Level 1
Supermarket to Level	<ul style="list-style-type: none"> • 200mm structural concrete floor slab, • Suspended ceiling – one layer of 16mm fire-rated plasterboard suspended on spring steel hangers with 130mm thick 11kg/m³ glasswool insulation batts. • 300mm height ceiling space is recommended, • Spring hanger – RSHSB Embelton with 25mm static deflection, or SRS + Sylomer AMC ceiling mounts.
	

2.0 Floor / ceiling construction for back-of-house (Level 1 and Ground Level) and loading dock areas (Basement 1 and Ground Level)

Locations	Floor / Ceiling construction for Back-of-house and Loading Dock
Back-of-house (Level 1 and Ground Level) Loading Bay (Basement 1 and Ground Level)	<ul style="list-style-type: none"> • 230mm structural concrete floor slab, • Suspended ceiling – two layers of 13mm fire-rated plasterboard suspended on spring steel hangers with 130mm thick 11kg/m³ glasswool insulation batts. 300mm height ceiling space is recommended, • Spring hanger – RSHSB Embelton with 25mm static deflection, or SRS + Sylomer AMC ceiling mounts.
	

3.0 Floating Floor Isolation System: Back-of-house and Loading dock areas

Locations	Floating Floor Isolation System: Back-of-house and Loading dock areas
<p>Back-of-house (Level 1 and Ground Level)</p> <p>Loading Bay (Basement 1 and Ground Level)</p>	<ul style="list-style-type: none"> Floating floor – Minimum 100-150mm thick reinforced concrete (density 2,400 kg/m³) with steel mesh, The floating concrete slab should be mounted on an isolation mat consisting of 50mm thick SR11 (TBC) Sylomer mixed cellular polyurethane sheeting. A vapour membrane placed between the Sylomer and structural slab will be required to ensure that moisture egress from the concrete does not reach the flooring. Avoid cross-shaped joints and seal the joints with suitable tape to prevent the mats from sliding, To prevent rigid contact between the edges of the floating slab and the walls and columns through lateral movement, install 12.5-25mm thick Sylomer, <div style="text-align: center;"> <p style="text-align: center;">Steel mesh</p> </div>

4.0 Floating Floor Isolation System: Supermarket Area Level 1 and Ground Level

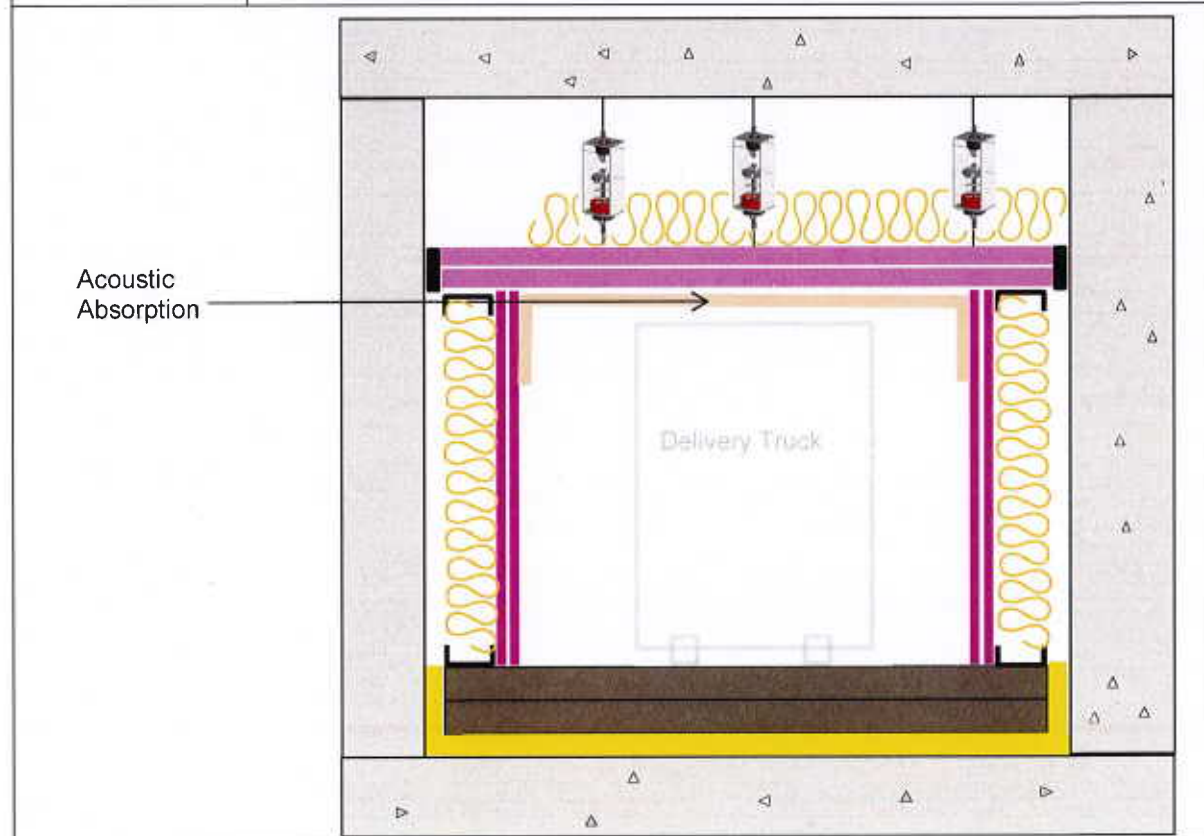
Locations	Floating Floor Isolation System: Supermarket area at Level 1 and Ground
<p>Supermarket (Level 1 and Ground Level)</p>	<ul style="list-style-type: none"> Floating floor – Minimum 80mm thick reinforced concrete (180 kg/m²) with steel mesh, The floating concrete slab should be mounted on an isolation mat consisting of 1 layer of 16/9mm thick corrugated profile Sylomer mixed cellular polyurethane sheeting, To prevent rigid contact between the edges of the floating slab and the walls and columns through lateral movement, install edge insulation strips (12.5mm thick Sylomer or similar). Ceramic tiles will be required on top of the floating concrete slab. Flush surface is required to avoid vibration through structure. <div style="text-align: center;"> </div>

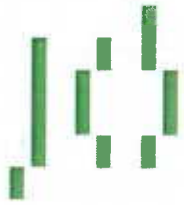
5.0 Column Isolation System: Back-of-house and Loading dock areas

Locations	Column Isolation System: Back-of-house and Loading dock areas
<p>Back-of-house (Level 1 and Ground Level)</p> <p>Loading Bay (Basement 1 and Ground Level)</p>	<ul style="list-style-type: none"> To prevent rigid contact between the edges of the column, encase the columns with 1 layer of 12.5/25mm thick Sylomer or Sylodyn mixed cellular polyurethane sheeting extending approximately 2 metres from the floor, Apply 1 layer of sheet steel or 9mm compressed fibre cement externally to avoid damage the elastomeric material. There must be no rigid connection between the floor surfaces and the structural floor, walls and columns. <div style="text-align: center;"> <p>TOP SECTION VIEW</p> <p>CROSS SECTION VIEW</p> </div>

6.0 Loading Dock Areas, Ground Level – Delivery Truck

Location	Floor / Ceiling, Wall and floor construction for Loading Dock Areas, Ground Level – Delivery Truck
<p>Loading dock – Delivery Truck (Ground Level)</p>	<p>Floating floor:</p> <ul style="list-style-type: none"> • Minimum 100-150mm thick reinforced concrete (2,400 kg/m³) with steel mesh, • The floating concrete slab should be mounted on an isolation mat consisting of 50mm thick SR11 (TBC) Sylomer mixed cellular polyurethane sheeting. • A vapour membrane placed between the Sylomer and structural slab will be required to ensure that moisture egress from the concrete does not reach the flooring. • To prevent rigid contact between the edges of the floating slab and the walls and columns through lateral movement, install 12.5-25mm thick Sylomer, <p>Suspended ceiling:</p> <ul style="list-style-type: none"> • Suspended ceiling – two layers of 13mm fire-rated plasterboard suspended on spring steel hangers with 130mm thick 11kg/m³ glasswool insulation batts. 300mm ceiling space height is recommended, • Spring hanger – RSHSB Embelton with 25mm static deflection, or SRS + Sylomer AMC ceiling mounts. <p>Walls:</p> <ul style="list-style-type: none"> • Two layers of 9mm CFC sheet on 92mm steel studs with 100mm thick 32kg/m³ glasswool insulation batts. • Steel Studs should be separate from concrete wall by 50mm air gap • 190mm solid concrete walls





STATEMENT OF CHANGES – RFI RESPONSE ISSUE

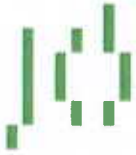
Project:	27- 45 Best Street Fitzroy North	Date:	12 DEC 2019
Reference Number:	P2076/2018	Project No.	18-038
		Pages:	1 of 1

This statement of changes refers exclusively to changes made to drawings first issued as part of planning application no. P2076/2018 dated 18 Feb 2019

Drawing Number	Itemized changes to each drawing
A-TP1-100	<ul style="list-style-type: none">• Car spaces numbered• Car share space moved closer to lift to reflect UD comments
A-TP1-101	<ul style="list-style-type: none">• Storage cage areas added, assigned to apartments• Ramp lengths dimensioned• Spaces adjacent to lift overruns dimensioned• Ramp to B1.5 removed as part of basement consolidation reflecting UD commentary• Bike parking areas secured with mesh walls/gates as required reflecting UD comments
A-TP1-102	<ul style="list-style-type: none">• Loading bays dimensioned• Ramp lengths dimensioned• Basement bike parking and EOT trip now co-located as part of supermarket parking consolidation to B1 and B1.5• Click and collect (online deliveries) storage area clarified• Loading dock red light added in line with traffic referral
A-TP1-103	<ul style="list-style-type: none">• Convex mirrors and flashing light added to loading area• Store paid line and entries amended to reflect UD comments• Lift access amended to reflect UD comments• Stair moved forward to improve Level 1 access and security in response to UD comments• Ramp dimensions added/highlighted
A-TP1-104	<ul style="list-style-type: none">• Lift circulation widened to reflect UD comments• Sensors noted to clarify access to paid areas as per UD comments• DDA toilet added to reflect referral comments
A-TP1-105	<ul style="list-style-type: none">• Minor amendments to apartment layouts to reflect council BADS requirements (refer BADS series drawings)
A-TP1-106	<ul style="list-style-type: none">• Minor amendments to apartment layouts to reflect council BADS requirements (refer BADS series drawings)
A-TP1-107	<ul style="list-style-type: none">• Minor amendments to apartment layouts to reflect council BADS requirements (refer BADS series drawings)
A-TP1-108	<ul style="list-style-type: none">• Minor amendments to apartment layouts to reflect council BADS requirements (refer BADS series drawings)
A-TP1-109	<ul style="list-style-type: none">• Minor amendments to apartment layouts to reflect council BADS requirements (refer BADS series drawings)



A-TP2-100	<ul style="list-style-type: none">• Elevation dimensions added• Balustrade dimensions added• Material treatment to rear of lift shaft corrected• Loading dock height clarified• Residential entry door flipped to move away from vehicle entry ramp
A-TP2-102	<ul style="list-style-type: none">• Entry door positioning amended to respond to UD comments and improve spread of entries across frontage•
A-TP2-103	<ul style="list-style-type: none">• Truck shown in loading dock for clarification
A-TP3-101	<ul style="list-style-type: none">• New stair location
A-TP3-102	<ul style="list-style-type: none">• New stair location
A-TP4-101	<ul style="list-style-type: none">• City of Yarra standard crossover detail added• Typical planter box details added
A-TP4-102	<ul style="list-style-type: none">• New drawing
A-TP4-103	<ul style="list-style-type: none">• New drawing
A-TP4-104	<ul style="list-style-type: none">• New drawing added showing additional shopfront details as per UD feedback
A-TP4-105	<ul style="list-style-type: none">• New drawing added showing additional shopfront details as per UD feedback
A-TP9-101	<ul style="list-style-type: none">• Internal storage volume added to the drawing
A-TP9-102	<ul style="list-style-type: none">• Internal storage volume added to the drawing• Balcony depth increased to provide compliant clear area
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A-TP9-112	<ul style="list-style-type: none">• Internal storage volume added to the drawing
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	<ul style="list-style-type: none">• Balcony depth increased to provide compliant clear area• Minor changes to master bedroom to suit
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ESD MEMO

To:	Gavin Ashley	Date:	26/11/2019
Organisation:	City of Yarra	Project Number:	GIW17191
Project:	27-49A Best Street, North Fitzroy	Subject:	ESD Referral Response

Introduction

GIW Environmental Solutions respond to City of Yarra - ESD Referral dated: 11/10/2019 for the proposed development at 27-49A Best Street, North Fitzroy. Upon Council's approval of the ESD Referral responses outlined below, GIW Environmental Solutions will incorporate these responses into an updated SMP for Endorsement Purposes.

Sources of Information

This ESD Memo is based on the following documentation:

ESD Referral by: Gavin Ashley – City of Yarra
Date: 11/10/2019
Architectural Set by: JCB Architects
Project Number: 18-038
Drawing Numbers: Drawing No. A-TP0-001-A-TP-002 Rev 00; A-TP0-101-A-TP0-103 Rev 00; A-TP0-111-A-TP0-113 Rev 00; A-TP0-201-A-TP0-204 Rev 00; A-TP0-211-A-TP0-214 Rev 00; A-TP1-100-A-TP1-110 Rev 00; A-TP2-100-A-TP2-105 Rev 00; A-TP3-100-A-TP3-103 Rev 00; A-TP9-101-A-TP9-126 Rev 00; A-TP31 Rev 00.

Prepared by:

Project Consultant

Ines Buskermolen

ESD Consultant

B.Sc. (Science, Business and Innovation)

M.Sc. (Sustainable Development)

Approved by:

Project Team Leader

Gary Wertheimer

Director

B.App. Sci. (Construction Management)

MSc. Renewable Energy & Architecture [UK]

ESD Referral Response

Council ESD Officer – ESD Comment	GIW Environmental Solutions – ESD Referral Response
Application ESD Deficiencies	
The ventilation does not meet the best practice standard. The design needs to be modified to increase passive ventilation to the apartments.	<p>The design complies with BADS - Standard B49 and achieves a compliant BESS –IEQ score (>50%).</p> <p>Refer City of Yarra - Planning Scheme Clause 55.07 – Standard B49 and Clause 22.17 – Environmentally Sustainable Development.</p>
Provide for adjustable shading on western façade. This could easily be accommodated with concertina shutters at balcony edge.	<p>Refer Appendix A – Preliminary Energy Rating Results for achieved cooling loads.</p> <p>None of the apartments exceed the maximum allowed cooling loads are outlined under BADS Standard B35.</p> <p>In addition, a comprehensive shading strategy is proposed to the western façade including:</p> <ul style="list-style-type: none"> • The perimeter windows are recessed by 200mm within the wall or provided with 400mm deep window boxes and sized to limit solar heat gains and heat loss. • The recessed windows adjacent to the balconies will be shaded by the overhanging slab of the floor above and wing walls. <p>No further action is proposed.</p>
Outstanding Information	
A greater range of apartments are required to be modelled, at least a further 4 apartments of varying locations on the building. Apartments 5.07 should be included in the assessment.	Refer Appendix A – Preliminary Energy Rating Results for additional energy ratings.
Due to the scale of the retail, a preliminary JV3 model or equivalent is required to demonstrate how the 10% improvement will be achieved.	<p>The retail component will commit to reduce heating and cooling energy consumption 10% below the reference case (BCA Section J).</p> <p>Refer Appendix B – Preliminary Energy Modelling.</p>
Further information is required on how the HVAC for the retail component will be serviced.	The retail area is to be heated and cooled by a Variable Refrigerant Volume (VRV) systems with a minimum COP and EER of 3.50.

	Outside air rates will be controlled by CO ₂ sensors.
Provide a Green Travel Plan with performance targets and monitoring and reporting components included. Condition only.	A Green Travel Plan has been submitted to Council.
Please include planter boxes on TP drawings.	Architect to include planter boxes on drawings.
More information is required on how the green wall elements will be irrigated and maintained.	Landscape Architect to include maintenance requirements for the green wall elements.
A statement demonstrating how the proposed design contributes to reduction in urban heat is required.	Material selections and treatments to target a solar absorptance values ≤ 0.64 (in accordance with Green Star Design & As-Built - Credit 25 – Heat Island Effect Reduction).
ESD Improvement Opportunities	
Consider recycled content in concrete.	A 30% Portland cement reduction will be targeted for all concrete used in the project. Subject to approval by the structural engineer.
Consider a small pallet of materials and construction techniques that can assist in disassembly.	The majority of the building will be precast concrete panels which can be readily disassembled and recycled.
Consider pipes, cabling, flooring to do not contain PVC or meeting best practice guidelines for PVC.	No further action proposed.
Consider providing additional charging stations or wiring for future.	Future provision for car charging will be included in the electrical design i.e. switchboard provisions and spatial allocation.
Consider organics collections service rather than food digester. These are extremely high energy using devices.	A commitment to organic waste collection will be included in the SMP.
Consider head contractor to be accredited.	No further action proposed.
Consider that an Environmental Management Plan be developed by the building contractor to monitor and control activities undertaken during construction.	No further action proposed.

Appendix A – Preliminary Energy Rating Results

The National Construction Code (NCC) Class 2 – Sole Occupancy Unit(s) residential building component is to be designed in accordance with NCC Section J (2016) NatHERS requirements. The residential units must achieve an average 7.0 Star rating, with no unit achieving below 5 Stars and no dwelling must exceed the maximum allowed cooling load of 30 MJ/m² (Climate Zone 21 – Melbourne RO). The apartments are currently achieving a 7.1 Star average.

Apartment No.	ACE Total MJ/M2	ACE Heating	ACE Cooling	ACE NCFA	Star Rating
TH2	76.1	57.7	18.5	169.5	7.2
TH6	88	58.5	29.5	124.1	6.8
2.08	74.7	60.8	13.9	62.6	7.3
3.12	53.8	35.2	18.6	85.3	8
4.05	83.2	67.9	15.3	102.5	6.9
4.09	83.8	64.4	19.4	65.3	6.9
4.11	86.1	70.6	15.5	51.9	6.9
5.01	113.4	83.8	29.6	59.9	6
5.07	75.2	47.7	27.5	72.4	7.3
5.08	44	30.3	13.7	101.3	8.3
6.01	80.5	53.2	27.3	211.8	7.1
6.03	105.2	81.8	23.4	94.3	6.3
Average	80.3	59.3	21.0	100.1	7.1

Construction assumptions for preliminary FirstRate ratings are listed below. Note, these assumptions are based on the sample of apartments assessed and may vary throughout the development. These assumptions are not to be relied upon for any other purpose beyond Town Planning assessment.

Element	Material	Insulation Value
Floor	SOG	NIL
Floor (where exposed below)	Concrete	R1.4
External Walls	Concrete	R1.8
External Walls	Brick Veneer	R2.5
External Walls	Lightweight	R2.5
Internal Walls	Concrete	R1.8
Where exposed above (APT)	Concrete	R1.4
Roof & Where exposed above (TH & APT L5)	Concrete	R3.0
Fixed Windows	Aluminium framed, Double glazed, argon filled, low-E, clear	Total System: <ul style="list-style-type: none"> • U-Value: 2.71 • SHGC: 0.58
Sliding Doors	Aluminium framed, Double glazed, argon filled, low-E, clear	Total System: <ul style="list-style-type: none"> • U-Value: 3.19 • SHGC: 0.48
Awning Windows	Aluminium framed, Double glazed, argon filled, low-E, clear	Total System: <ul style="list-style-type: none"> • U-Value: 4.42 • SHGC: 0.41

Appendix B – Preliminary Energy Modelling

Scope of Modelling

The proposed development is located in Climate Zone 6 and is classified as a Class 6 Retail Building under the National Construction Code (NCC) 2016.

The NCC states that alternative solution; Verification Method JV3 may be applied as a viable Assessment Method to demonstrate achievement of the Performance Requirements JP1 & JP3. The services documentation is to be certified by the projects RBP.

JV3 modelling simulates predicted annual energy consumption for three building Models as follows:

- Model 1: Simulates the building with full DTS compliance and is known as the 'Reference Building';
- Model 2: Simulates the building as it has been depicted in the contract documentation, and is known as the 'proposed building';
- Model 3: Simulates the architecture as depicted in the contract documentation with services modelled as DTS compliant.

To determine a compliant result for the proposed building, the predicted annual energy consumption of Models 2 and 3 is to be less than that of Model 1.

JV3 Compliance Requirements

The following thermal performance requirements form the basis of the preliminary JV3 Compliance Modelling.

Glazing	Thermal Performance	Recommended Product
Fixed Windows	Total System U-value ≤ 3.70 Total System SHGC = $0.65 \pm 10\%$	Aluminium Frame, Double Glazed, Clear
Sliding Doors	Total System U-value ≤ 3.8 Total System SHGC = $0.55 \pm 10\%$	Aluminium Frame, Double Glazed, Clear
Skylight	Total System U-value ≤ 2.7 Total System SHGC = $0.24 \pm 10\%$	Aluminium Frame, Double Glazed, Low-E, Clear

Walls	Thermal Performance (Added Insulation Value)	Recommended Product
Ext. Wall – Concrete Block	R2.5 Bulk Insulation	Bradford Gold Hi-performance Wall batts 90mm thick R2.5
Int. Wall – Concrete wall adjacent to lift shaft / stairwells / Unconditioned residential lobbies	R2.0 Bulk Insulation	Bradford Gold Hi-performance Wall batts 75mm thick R2.0
Roofs	Thermal Performance	Recommended Product
Concrete slab where exposed above	R4.0 Insulation Value	Kingspan K10FM soffit board 80mm thick R3.0
Floors	Thermal Performance	Recommended Product
Concrete Slab on Ground	NIL	NIL
Suspended concrete slab where exposed / unconditioned below	R1.9 Insulation Value	Kingspan K10FM soffit board 40mm thick R1.9

Modelling Software

Simulation Package Software	DesignBuilder
Weather Data	Representative Meteorological Year (RMY) file for Melbourne

Reference Building Input Data

The following tables list the building thermal performance values applied within the Reference Model:

Walls	Description	Total R-Value
External Walls	Concrete Blockwork wall	R2.8
Internal Walls where adjacent to unconditioned	Precast Concrete wall	R1.8
Roof	Concrete Slab	R3.2
Floor (Suspended)	Suspended Concrete Slab	R2.0
Floor (on Ground)	Concrete slab on ground	R0.5
Infiltration	1 Air Change per Hour (ac/h) for perimeter zones when plant is operating.	

The following table lists the glazing performance values required by the Reference Model. For Glazing Calculations refer Appendix A:

Glazing by Orientation	Total System U-value	SHGC
Ground Floor		
North	5.8	0.70
East	4.0	0.34
Level 1		
North	5.8	0.65
East	5.8	0.65

Building Services Inputs

The services have been modelled in accordance with the table below:

Services	Reference Building Services	Proposed Building Services
Artificial lighting	NCC 2016 Section J Part J6.2 - Table 6.2b – Maximum Power Illumination Densities.	20% reduction compared to NCC requirements.
Cooling – Spaces conditioned	All Supermarket, Supermarket BOH, Liquor Store, Café and Office areas are assumed to be conditioned.	Per Reference Building
Heating – Spaces conditioned	All Supermarket, Supermarket BOH, Liquor Store, Café and Office areas are assumed to be conditioned.	Per Reference Building
Cooling – System type	VRV units specified modelled as air-to-air heat pump units with COP of 3.1 (per minimum MEPS requirements for split systems).	VRV units specified modelled as air-to-air heat pump units with COP of 3.5.
Heating – System type	VRV units specified modelled as air-to-air heat pump units with COP of 3.1 (per minimum MEPS requirements for split systems).	VRV units specified modelled as air-to-air heat pump units with COP of 3.5.
Services Operating Profile	Per NCC Section J – Specification JV Table 2c . These profiles are modified in some instances to better represent the usage of certain spaces.	Per Reference Building
Heating and Cooling Setpoints	Cooling - 24°C Heating - 21°C	Per Reference Building
Airflow rates	Modelled in accordance with AS1668	Reduced to replicate CO ₂ monitored demand control ventilation.

Activity Profiles

All zones include an activity profile which model occupancy, appliance and equipment, and associated operation profiles. The heat gains from these sources must be accounted for within the modelling. The same profiles are applied in all models per the requirements of Verification Method JV3. These can be summarised as follows:

Activity Profile Item	All Models
Occupant Density	Occupant density is per NCC Section D – Part D1.13 and AS1668.2-2012.
Occupancy Schedule	Per NCC Section J – Specification JV Table 2c . These profiles are modified in some instances to better represent the usage of certain spaces.
Occupancy Heat Gains	Per NCC Section J – Specification JV Table 2j.
Appliance Heat Gains	Per NCC Section J – Specification JV Table 2h where applicable. Custom heat gains have been calculated as required.
Appliance Schedule	Per NCC Section J – Specification JV Table 2c . These profiles are modified in some instances to better represent the usage of certain spaces.

Results

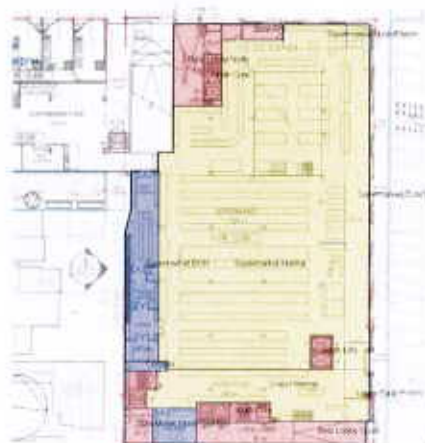
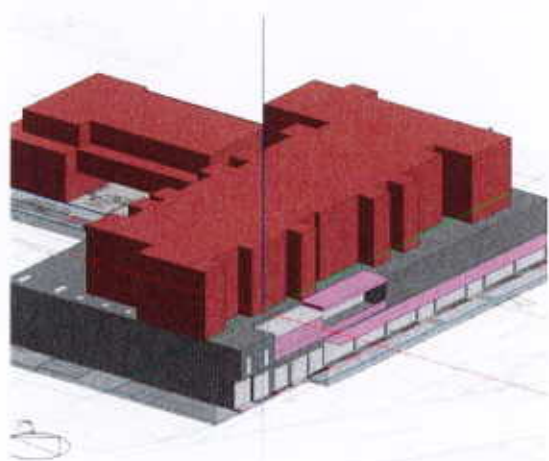
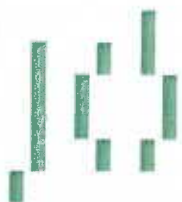


Figure 1 – Model of proposed building for energy simulations

The results below show that the Proposed Building Fabric and Services (Models 2 and 3) use less energy than the Reference Building (Model 1). This result indicates that the Proposed Building achieves Section J Performance Requirements JP1 and JP3.

	Model 1 – Reference Building (kWh/Annum)	Model 2 - Proposed Building with Proposed Services (kWh/Annum)	Model 3 - Proposed Building with Reference Services (kWh/Annum)
Lighting	402,220	321,776	402,220
Heating (Electricity)	89,012	78,010	85,980
Cooling (Electricity)	31,378	24,318	31,690
TOTAL	522,610	424,103	519,890
MJ/yr/m ²	406.61	329.97	404.50
Percentage Heating & Cooling Improvement over Reference Building		-15.0%	-2.26%



STATEMENT OF CHANGES – RFI RESPONSE ISSUE

Project: 27- 45 Best Street Fitzroy North
Reference Number: P2076/2018
Date: 12 DEC 2019
Project No. 18-038
Pages: 1 of 1

This statement of changes refers exclusively to changes made to drawings first issued as part of planning application no. P2076/2018 dated 18 Feb 2019

Drawing Number	Itemized changes to each drawing
A-TP1-100	<ul style="list-style-type: none">• Car spaces numbered• Car share space moved closer to lift to reflect UD comments
A-TP1-101	<ul style="list-style-type: none">• Storage cage areas added, assigned to apartments• Ramp lengths dimensioned• Spaces adjacent to lift overruns dimensioned• Ramp to B1.5 removed as part of basement consolidation reflecting UD commentary• Bike parking areas secured with mesh walls/gates as required reflecting UD comments
A-TP1-102	<ul style="list-style-type: none">• Loading bays dimensioned• Ramp lengths dimensioned• Basement bike parking and EOT trip now co-located as part of supermarket parking consolidation to B1 and B1.5• Click and collect (online deliveries) storage area clarified• Loading dock red light added in line with traffic referral
A-TP1-103	<ul style="list-style-type: none">• Convex mirrors and flashing light added to loading area• Store paid line and entries amended to reflect UD comments• Lift access amended to reflect UD comments• Stair moved forward to improve Level 1 access and security in response to UD comments• Ramp dimensions added/highlighted
A-TP1-104	<ul style="list-style-type: none">• Lift circulation widened to reflect UD comments• Sensors noted to clarify access to paid areas as per UD comments• DDA toilet added to reflect referral comments
A-TP1-105	<ul style="list-style-type: none">• Minor amendments to apartment layouts to reflect council BADS requirements (refer BADS series drawings)
A-TP1-106	<ul style="list-style-type: none">• Minor amendments to apartment layouts to reflect council BADS requirements (refer BADS series drawings)
A-TP1-107	<ul style="list-style-type: none">• Minor amendments to apartment layouts to reflect council BADS requirements (refer BADS series drawings)
A-TP1-108	<ul style="list-style-type: none">• Minor amendments to apartment layouts to reflect council BADS requirements (refer BADS series drawings)
A-TP1-109	<ul style="list-style-type: none">• Minor amendments to apartment layouts to reflect council BADS requirements (refer BADS series drawings)



A-TP2-100	<ul style="list-style-type: none">• Elevation dimensions added• Balustrade dimensions added• Material treatment to rear of lift shaft corrected• Loading dock height clarified• Residential entry door flipped to move away from vehicle entry ramp
A-TP2-102	<ul style="list-style-type: none">• Entry door positioning amended to respond to UD comments and improve spread of entries across frontage•
A-TP2-103	<ul style="list-style-type: none">• Truck shown in loading dock for clarification
A-TP3-101	<ul style="list-style-type: none">• New stair location
A-TP3-102	<ul style="list-style-type: none">• New stair location
A-TP4-101	<ul style="list-style-type: none">• City of Yarra standard crossover detail added• Typical planter box details added
A-TP4-102	<ul style="list-style-type: none">• New drawing
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CONSULTANTS ADVICE NOTICE

Project Number: 218350
Project: Piedimonte Mixed Use Development
Date: 07/11/2019
CAN No.: 001
Subject: Response to Council Peer Review

Attention:

From: Ryan Tanner (Rudds)

On page 6 of the Council Referral (under Section 2 Energy Efficiency), further detail was requested in regard to the HVAC systems proposed to serve the retail space.

The retail component will be served by high efficiency heat recovery type air cooled VRF (Variable Refrigerant Flow) air conditioning systems comprising of multiple ducted fan coil units, branch selection boxes and single condenser unit/set on roof. The ducted fan coil units that serve the retail space will be located in the supermarket back of house on First Floor, making access and servicing easy and avoids disrupting the customer areas. The condenser units can be serviced on the roof simply via the lift or access stairs. Sheet metal ductwork from the fan coil units will reticulate in the ceiling space and/or be exposed to distribute conditioned air throughout the retail space via diffusers and grilles. The VRF system is expected to have an EER (Energy Efficiency Ratio) of 4.5 and upwards depending on the system size and configuration.

On page 14 of the Council Referral (under Section 9 Innovation), state of the art CO₂ refrigeration is proposed for the development. To further elaborate, plant operating on CO₂ refrigerant is being considered/adopted for any new refrigeration systems in the retail spaces which include fridges, freezers and cool rooms.

Regards

Rudds Consulting Engineers

E - GA RESPONSE TO
ESD COMMENTS

Piedimonte Development
27-49A Best Street, Fitzroy North



All planters in this project will be fully irrigated via micro-sprays or driplines and monitored by a commissioned horticultural maintenance team. Maintenance of the plants, including the climbers, will be undertaken regularly with intensive seasonal works depending on plant species. This can be full detailed in a Landscape Management Plan.

Any greening of building facades via climber or cascading plants will naturally act as an external insulation preventing direct sun from hitting the building surfaces being covered, reducing heat absorption thus reducing internal cooling requirements. The suggested deciduous climbing plant species also allow for heat absorption to covered surfaces devoid of foliage during the cooler seasons also helping reduce winter heating requirements.

Plant foliage will cool a space adjacent by adding air moisture via transpiration, naturally creating a cooler microclimate further reducing external temperature. The overall difference to an area without this greenery is significant not to mention the wellbeing benefits and useability of any outdoor space connected to the greenery.

ECKERSLEY GARDEN ARCHITECTURE

Prepared by:

Scott Leung – Principal Designer & Director

Josh Cocks – Senior Landscape Designer

eckersley
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www.e-ga.com.au

ABN 65 137 913 903

Piedimonte's Town Planning Application
Response to Council Referral Comments
Dec-19

Ref Page	Report	Council Comment	Response	
1	4	Civil Engineering Referral (29-Aug-19)	Vehicle Crossing - Scotchmer Street. A vehicle crossing must be constructed for the development entrance and loading dock to the satisfaction of Council. An at-grade access arrangement as shown on Drawing A-TP4-101 Revision 2 must be deleted and replaced with a standard City of Yarra vehicle crossing.	This has been addressed - refer to MGA Memo and draft amended plans.
2	4	Civil Engineering Referral (29-Aug-19)	Visibility. The exit lane of the development entrance has adequate sight lines of the Scotchmer Street footpath as required by Design Standard 1 - Accessways of Clause 52.06-9. The sight triangle has not been superimposed on the drawings.	This has been addressed - refer to MGA Memo and draft amended plans.
3	4	Civil Engineering Referral (29-Aug-19)	Accessible Parking Spaces. The dimensions of the accessible parking spaces and shared area satisfy the Australian / New Zealand Standard AS/NZS 2890.6:2009. The shared area must contain a bollard.	This has been addressed - refer to MGA Memo and draft amended plans.
4	4	Civil Engineering Referral (29-Aug-19)	Clearances to Walls. Not provided for space adjacent to lift over-run in the western parking module on Basement 02 Plan. Clearances have not been dimensioned for the southernmost spaces on Basement 01 Plan and for spaces adjacent to the storage room and list over-run on Basement 02 Plan.	This has been addressed - refer to MGA Memo and draft amended plans.
5	5	Civil Engineering Referral (29-Aug-19)	Ramp Grade for First 5.0 meters inside Property. Lengths of ramp grades have not been dimensioned.	This has been addressed - refer to MGA Memo and draft amended plans.
6	5	Civil Engineering Referral (29-Aug-19)	Ramp Grades and Changes of Grade. The ramp grades and changes of grade satisfy Design Standard 3. Ramp grade lengths and transitions have not been dimensioned.	This has been addressed - refer to MGA Memo and draft amended plans.
7	5	Civil Engineering Referral (29-Aug-19)	On-Site Loading Dock Articulated Vehicle. The proposed loading dock has a length of 17.5 metres and a wall to wall width of 3.78 metres. According to MGA, the supermarket currently utilises a 17 metre long articulated truck as its longest delivery vehicle. MGA also state that the development proposes to use vehicles up to a length of 16.0 metres. Maximum vehicle length could be conditioned on the permit.	This has been addressed - refer to MGA Memo and draft amended plans.
8	5	Civil Engineering Referral (29-Aug-19)	Headroom Clearance. Not dimensioned on the drawings. The minimum headroom clearance must be 4.5 metres as required by the Australian Standard AS2890.2-2002.	This has been addressed - refer to MGA Memo and draft amended plans.
9	5	Civil Engineering Referral (29-Aug-19)	Articulated Vehicle Swept Path Diagrams. MGA Ref: MGA19011-AT01-01. Date: 18 December 2018. To be resubmitted. Please see below under 'Design Items to be addressed.'	This has been addressed - refer to MGA Memo and draft amended plans.
10	5	Civil Engineering Referral (29-Aug-19)	Visibility of Pedestrians at Loading Dock Entrance. Visibility at the entrance of the loading dock is restricted. How does the applicant intend to address this?	This has been addressed - refer to MGA Memo and draft amended plans.
11	5	Civil Engineering Referral (29-Aug-19)	Loading Area Basement 01 Plan. Loading bays and aisle have not been dimensioned on the drawings.	This has been addressed - refer to MGA Memo and draft amended plans.
12	5	Civil Engineering Referral (29-Aug-19)	Loading Area Swept Path Diagrams. The swept path diagrams for the waste collection vehicle and a van are considered satisfactory. The sizes of these vehicles have not been specified on the swept path diagrams.	This has been addressed - refer to MGA Memo and draft amended plans.
13	5	Civil Engineering Referral (29-Aug-19)	Junction of Egremont Street and New East-West aligned Right of Way. Not provided.	This has been addressed - refer to MGA Memo and draft amended plans.
14	5	Civil Engineering Referral (29-Aug-19)	Number of Car Parking Spaces. Parking spaces have not been numbered, making identification difficult.	This has been addressed - refer to MGA Memo and draft amended plans.
15	6	Civil Engineering Referral (29-Aug-19)	Road Safety Audit. It is strongly recommended that a Road Safety Audit of the development's Scotchmer Street road frontage (particularly at the entrance to the loading dock and accessway) at the design phase be undertaken by an independent accredited Road Safety Auditor.	This has been addressed - refer to MGA Memo and draft amended plans.
16	6	Civil Engineering Referral (29-Aug-19)	The loading dock and accessway presents potential conflict issues with pedestrians, bicycles and other vulnerable road users. The road safety aspects of these design elements must be examined and assessed. Recommendations from the Road Safety Audit should be considered before any drawings are finalised.	This has been addressed - refer to MGA Memo and draft amended plans.
17	2	Strategic Transport Referral (2-Sep-19)	Adequacy of Visitor Spaces. The vast majority of visitor spaces are located in the basement which discourages short term visitor use.	This has been addressed - refer to MGA Memo and draft amended plans.
18	2	Strategic Transport Referral (2-Sep-19)	Adequacy of Employee Spaces. Given the above, a minimum of resident/employee spaces should be provided.	This has been addressed - refer to MGA Memo and draft amended plans.
19	3	Strategic Transport Referral (2-Sep-19)	Design & Location of Employee Spaces & Facilities. 9 spaces within basement 2 are not located within a secure facility. Pursuant to Clause 52.34-3 & Australian Standard AS2890.3 bicycle spaces for residents and employees must be provided in a bicycle locker, or a lockable compound. A secure car park does not constitute a lockable compound.	This has been addressed - refer to MGA Memo and draft amended plans.
20	3	Strategic Transport Referral (2-Sep-19)	Design & Location of Employee Spaces & Facilities. Only 4 of the 68 resident/employee spaces (5%) are provided as horizontal, at grade spaces. Pursuant to AS2890.3, at least 20% of spaces should be horizontal and at grade.	This has been addressed - refer to MGA Memo and draft amended plans.
21	3	Strategic Transport Referral (2-Sep-19)	Electric Vehicles & Share Cars. Council's BESS guidelines encourage the use of fuel efficient and electric vehicles (EV). The provision of 1 EV charging point is noted and supported. To allow for easy future expanded provision for electric vehicle charging, all car parking area should be electrically wired to be 'EV ready'. A minimum 40A single phase electrical sub circuit should be installed to these areas for purpose.	This has been addressed - refer to MGA Memo and draft amended plans.
22	3	Strategic Transport Referral (2-Sep-19)	Electric Vehicles & Share Cars. The car share space is supported, however the bay should be relocated closer to one of the main lift shafts or entranceways.	This has been addressed - refer to MGA Memo and draft amended plans.
23	3	Strategic Transport Referral (2-Sep-19)	Green Travel Plan. No Green Travel Plan (GTP) has been provided. Given the development has a total non-residential floor area of more than 1,000sqm, pursuant to Clause 22.17-4 a GTP must be provided.	This can be required by condition of permit.
24	2	Urban Design Referral (30-Aug-19)	BACKGROUND - 5. At that time I recommended refusal of the proposal for the following reasons: a) The proposed mix of uses is supported however the execution of the brief and the scale of development is not. b) The design treatment streetscape impact is inappropriate and detrimental to the urban design qualities of the place. c) The proposed building height, bulk and massing is excessive. d) The proposed use of colours and materials lacks the necessary resolution of detail finish and response to context to warrant support. e) Façade treatment and in particular the scale, design language, composition and resolution is a poor response in my view to the valued characteristics of context and the underlying planning strategies that seek to guide the extent of change and the nature thereof in this context. f) The proposal does not achieve high architectural and urban design outcomes.	Justification for proposal provided in previous planning application submission. Note Council Officer's comments in support of proposal.
25	2	Urban Design Referral (30-Aug-19)	Consolidation of Sites and Response to Context. d) Retail arrangements were confused with customers able to go from the upper level retail to the basement carpark without going through the ground level register, something that appeared unusual and likely not to form part of a final arrangement	This has been addressed - refer to draft amended plans.
26	3	Urban Design Referral (30-Aug-19)	Built Form. f) Whilst there was no doubt that there would be considerable sympathy for Piedimonte's to be upgraded to continue to be central to retail services and this neighbourhood centre and an iconic lynchpin of local life, this could not in my view come with poor execution of the desired response against local and state planning goals or a less than satisfactory response by way of execution of the architecture in response to the scale and quality of the neighbourhood or in the poor provision for amenity of occupants.	Justification for proposal provided in previous planning application submission. Note Council Officer's comments in support of proposal.
27	3	Urban Design Referral (30-Aug-19)	Built Form. l) As a starting point I recommended the removal of levels 4, 5 and 5 mezzanine of the proposal as a guide to the building envelope scale that should be reasonably anticipated in this neighbourhood context.	Justification for proposal provided in previous planning application submission. Note Council Officer's comments in support of proposal.

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28	3	Urban Design Referral (30-Aug-19)	<p>Built Form. j) I was perplexed as to why in this instance support would be given for the consolidation of titles above ground level. There may well be merit in considering below ground interconnection for loading dock and goods lift areas should that be something the applicant may wish to consider. Such a provision for example has been executed in a number of inner city locations including Sutherland Street and Willis Street however in this instance the reduced permeability arising from the proposal in the form presented would be in my view an unwelcome one. The applicant had not demonstrated that enhanced outcomes for development fit or quality are derived through the proposed initiative.</p> <p>k) Rather, I saw potential access into a loading zone off the laneway areas through the widening of the northern end of that laneway and the inclusion of a separating laneway between the development and its southern neighbours.</p>	Justification for proposal provided in previous planning application submission. Note Council Officer's comments in support of proposal.
29	4	Urban Design Referral (30-Aug-19)	<p>Scale of Living Spaces and Bedrooms. d) Notable examples include living spaces of less than 3m in width and 2.4m in depth for 2-bed apartments and 3.03m x less than 3 useable metres once access is taken into account for a 3-bed apartment.</p> <p>e) In another instance 2.3m in width for a 3-bed apartment.</p> <p>f) In many instances bedroom and living room dimensions did not meet BADS standards.</p>	This has been addressed - refer to draft amended plans.
30	4	Urban Design Referral (30-Aug-19)	Layouts and Daylighting. c) The arrangements resulted in unsatisfactory levels of daylight in the kitchen, living and meals areas of many apartments.	This has been addressed - refer to draft amended plans and advice from GIW.
31	5	Urban Design Referral (30-Aug-19)	Summary of previous review. c) The proposed form adopts a language that emphasises through a replication of materials and finishes the bulk of the form that in combination with the height cannot in my view be supported as a response to local and state planning policy.	Justification for proposal provided in planning submission. Note Council Officer's comments in support of proposal
32	5	Urban Design Referral (30-Aug-19)	Summary of previous review. Desirably cycle access should be given preeminent status in a building such as this with access directly from the storage zone into end of travel facilities and to destination residence and workplace areas for bike store users.	This has been addressed - refer to draft amended plans.
33	6	Urban Design Referral (30-Aug-19)	Summary of previous review. Entrance arrangements to the retail elements should be clearly depicted on plans to understand how enhanced placemaking and arrival experiences can be achieved. Details of open space and laneway treatments need to be provided.	This has been addressed - refer to draft amended plans.
34	13	Urban Design Referral (30-Aug-19)	Supermarket layouts and equitable access. 61. Customers with pushers or shopping carts are not able to egress from the lowest customer level to lifts with only a staircase joining them.	This has been addressed - refer to draft amended plans.
35	13	Urban Design Referral (30-Aug-19)	Supermarket layouts and equitable access. 62. Basement 1 ramps and the landing area between ramps and lifts is impractical and not fit for purpose for trolleys or people with prams with no ability to pass or turn with current sizing.	This has been addressed - refer to draft amended plans.
36	13	Urban Design Referral (30-Aug-19)	Supermarket layouts and equitable access. 67. For the large café at first floor no disability toilets are provided for.	This has been addressed - refer to draft amended plans.
37	13	Urban Design Referral (30-Aug-19)	Recommendation - a) Reconfigure the basement customer car parks to ensure that pedestrians with trolleys can access all levels from the proposed lifts.	This has been addressed - refer to draft amended plans.
38	13	Urban Design Referral (30-Aug-19)	Recommendation - b) Provide trolley bay areas on each car park level.	This has been addressed - refer to draft amended plans.
39	13	Urban Design Referral (30-Aug-19)	Recommendation - c) Reconfigure lift and ramp areas so they are appropriately scaled for two way movement and turning with trolleys or pushers.	This has been addressed - refer to draft amended plans.
40	13	Urban Design Referral (30-Aug-19)	Recommendation - d) Reconfigure lift lobbies at all levels so they appropriately scaled for the combination of egressing and waiting for access to lifts and for entering the property and tenancies.	This has been addressed - refer to draft amended plans.
41	13	Urban Design Referral (30-Aug-19)	Recommendation - e) Provide details of the retailing arrangements to ensure access and egress to lifts occurs exclusively outside sales point areas and modify plans to suit to the satisfaction of Council.	This has been addressed - refer to draft amended plans.
42	13	Urban Design Referral (30-Aug-19)	Recommendation - f) Reconfigure the arrangement of balcony and café and lobby areas at level 1 to make the area fit for purpose.	This has been addressed - refer to draft amended plans.
43	13	Urban Design Referral (30-Aug-19)	Recommendation - g) Reconfigure the office area to avoid the overdependence on sky lighting through the setback of the SW corner and inclusion of screened windows and natural ventilation.	To be discussed with planning officer - refer to draft amended plans.
44	13	Urban Design Referral (30-Aug-19)	Recommendation - h) Reconfigure escape doors to swing outwards and ensure these outward door swings occur within the revised boundaries.	To be discussed with planning officer - refer to draft amended plans.
45	13	Urban Design Referral (30-Aug-19)	Recommendation - i) Review the floor plans for compliance with BCA distance of travel to escape criteria and amend plans to suit.	To be discussed with planning officer - refer to draft amended plans.
46	14	Urban Design Referral (30-Aug-19)	Apartment Layouts and Amenity. 79. Daylighting information should be provided demonstrating high amenity is achieved in these units.	This has been addressed - refer to draft amended plans and ESD assessment.
47	14	Urban Design Referral (30-Aug-19)	Streetscape Expression. 82. The south façade presents an expansive series of largely unarticulated masonry and concrete walls of up to 26m in height with only the uppermost two levels having a single window. The height at the southern end of this eastern tower arises from the positioning of the lift core outside the core supermarket tenancy below. In the absence of the tenancy characteristics the core would not logically be at the end of the building and equally with single story adjoining shops a stepped form of greater dimensional characteristics would arise.	Justification for proposal provided in previous planning application submission. Note Council Officer's comments in support of proposal.
48	17	Urban Design Referral (30-Aug-19)	83. In my view the operational characteristic is not one that warrants such a poor resolution to this important vista down the Best Street axis towards the proposed building with the neighbouring form likely to result in substantial visibility of upper levels in the long term.	This is a note. Justification for proposal provided in previous planning application submission. Note Council Officer's comments in support of proposal.
49	8	Heritage Referral (28-Sep-19)	<p>Overshadowing. 104. The shadow diagrams indicate additional shadow to the adjoining southwestern properties at 9am, abating typically by 10am.</p> <p>The matters raised in my previous advice have been addressed satisfactorily. Where there is some degree of non-compliance with the heritage policy, there are significant improvements to the proposal and significant heritage gains and on balance the proposal can be supported. Approved subject to: Nos. 110 – 114 Scotchmer Street: clarify the length of walls to be retained and submit for approval, detailed drawings of the proposed shopfronts at a scale of 1:20 or 1:50. No. 27 – 29 Best Street: Provide an elevation of the north and south walls showing the line of demolition proposed for each. The photographs below could be marked up. Delete the vegetated balustrade above the supermarket component and if the balustrade is visible from the street then it should be transparent. Clarify exactly what EF-15 and EF-16 are. The materials illustrated on p. 31 include timber panels but no timber panels are listed in the Material Legend. This needs clarification. Timber is not to be used where it is exposed to the weather.</p>	This has been addressed - refer to draft amended plans. Detailed design matters can be addressed by permit condition.
50	3	ESD Referral (11-Oct-19)	7 Star commitment to Nabers	Refer to memo by GIW
51	3	ESD Referral (11-Oct-19)	(1) Applicant ESD Standards - State of the Art Refrigeration	Refer to memo by GIW
52	3	ESD Referral (11-Oct-19)	Further information is required on how the HVAC for the retail component will be serviced.	Refer to memo by GIW
53	3	ESD Referral (11-Oct-19)	More information is required on how the green wall elements will be irrigated and maintained. A statement demonstrating how the proposed design contributes to reduction in urban heat is required.	Refer to memo by GIW
54	5	ESD Referral (11-Oct-19)	The ventilation does not meet the best practice standard. The design needs to be modified to increase passive ventilation to the apartments	Refer to memo by GIW
55	5	ESD Referral (11-Oct-19)	Provide for adjustable shading on western façade. This could easily be accommodated with concertina shutters at balcony edge.	Refer to memo by GIW

56	6	ESD Referral (11-Oct-19)	A greater range of apartments are required to be modelled, at least a further 4 apartments of varying locations on the building. Apartments 5.07 should be included in the assessment. Due to the scale of the retail, a preliminary IV3 model or equivalent is required to demonstrate how the 10% improvement will be achieved.	Refer to memo by GIW
57	6	ESD Referral (11-Oct-19)	Further information is required on how the HVAC for the retail component will be serviced.	Refer to memo by GIW
58	10	ESD Referral (11-Oct-19)	Consider recycled content in concrete.	Refer to memo by GIW
59	10	ESD Referral (11-Oct-19)	Consider a small pallet of materials and construction techniques that can assist in disassembly.	Refer to memo by GIW
60	10	ESD Referral (11-Oct-19)	Consider pipes, cabling, flooring to do not contain PVC or meeting best practice guidelines for PVC.	Refer to memo by GIW
61	10	ESD Referral (11-Oct-19)	Consider providing additional charging stations or wiring for future.	Refer to memo by GIW
62	11	ESD Referral (11-Oct-19)	Provide a Green Travel Plan with performance targets and monitoring and reporting components included. Condition only.	Refer to memo by GIW
63	12	ESD Referral (11-Oct-19)	Consider organics collections service rather than food digester. These are extremely high energy using devices.	Refer to memo by GIW
64	13	ESD Referral (11-Oct-19)	Please include Plantar Boxes on TP drawings.	Refer to memo by GIW
65	13	ESD Referral (11-Oct-19)	A statement demonstrating how the proposed design contributes to reduction in urban heat is required.	Refer to memo by GIW
66	15	ESD Referral (11-Oct-19)	Head contractor to be accredited.	Refer to memo by GIW
67	15	ESD Referral (11-Oct-19)	Environmental Management Plan be developed by the building contractor to monitor and control activities undertaken during construction.	Refer to memo by GIW

TOWN PLANNING SUBMISSION

27-45 BEST STREET
FITZROY NORTH VIC

DECEMBER 2019

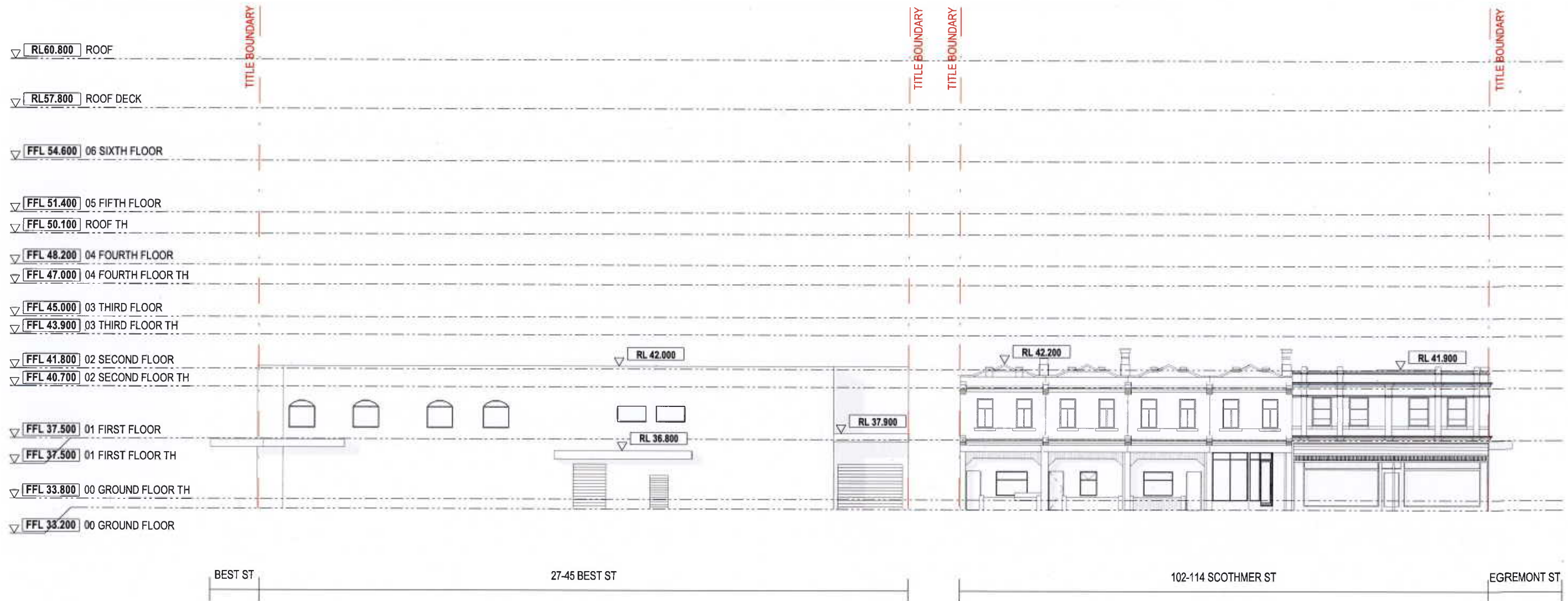
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TP SERIES			
A-TP0-001	COVER PAGE	N/A	04
A-TP0-002	SURVEY	1:250	04
A-TP0-101	GROUND FLOOR PLAN - EXISTING	1:250	04
A-TP0-102	FIRST FLOOR PLAN - EXISTING	1:250	04
A-TP0-103	ROOF PLAN - EXISTING	1:250	04
A-TP0-111	GROUND FLOOR PLAN - DEMOLITION	1:250	04
A-TP0-112	FIRST FLOOR PLAN - DEMOLITION	1:250	04
A-TP0-113	ROOF PLAN - DEMOLITION	1:250	04
A-TP0-201	NORTH ELEVATION - EXISTING	1:250	04
A-TP0-202	SOUTH ELEVATION - EXISTING	1:250	04
A-TP0-203	EAST ELEVATION - EXISTING	1:250	04
A-TP0-204	WEST ELEVATION - EXISTING	1:250	04
A-TP0-211	NORTH ELEVATION - DEMOLITION	1:250	04
A-TP0-212	SOUTH ELEVATION - DEMOLITION	1:250	04
A-TP0-213	EAST ELEVATION - DEMOLITION	1:250	04
A-TP0-214	WEST ELEVATION - DEMOLITION	1:250	04
A-TP1-100	BASEMENT 03 PLAN	1:250	04
A-TP1-101	BASEMENT 02 PLAN	1:250	04
A-TP1-102	BASEMENT 01 PLAN	1:250	04
A-TP1-103	GROUND FLOOR PLAN	1:250	04
A-TP1-104	FIRST FLOOR PLAN	1:250	04
A-TP1-105	SECOND FLOOR PLAN	1:250	04
A-TP1-106	THIRD FLOOR PLAN	1:250	04
A-TP1-107	FOURTH FLOOR PLAN	1:250	04
A-TP1-108	FIFTH FLOOR PLAN	1:250	04
A-TP1-109	SIXTH FLOOR PLAN	1:250	04
A-TP1-110	ROOF PLAN	1:250	04

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A-TP2-101	SOUTH ELEVATION	1:250	04
A-TP2-102	EAST ELEVATION - 1	1:250	04
A-TP2-103	EAST ELEVATION - 2	1:250	04
A-TP2-104	WEST ELEVATION - 1	1:250	04
A-TP2-105	WEST ELEVATION - 2	1:250	04
A-TP3-100	SECTION AA	1:250	04
A-TP3-101	SECTION BB	1:250	04
A-TP3-102	SECTION CC	1:250	04
A-TP3-103	SECTION DD	1:250	04
A-TP4-101	DETAILS	As indicated	04
A-TP4-102	BACK OF HOUSE DETAIL - GROUND	1:100	04
A-TP4-103	BACK OF HOUSE DETAIL - B1	1:100	04
A-TP4-104	EAST ELEVATION - 1	1:100	04
A-TP4-105	EAST ELEVATION - 1	1:100	04
A-TP9-101	BADS ASSESSMENT	As indicated	04
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A-TP9-125	BADS ASSESSMENT	As indicated	04
A-TP9-126	BADS ASSESSMENT	As indicated	04
A-TP31	MATERIALS	N/A	04





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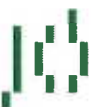
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02	14/05/19	RFI ISSUE
04	12/12/19	COUNCIL ENDORSEMENT REVISION

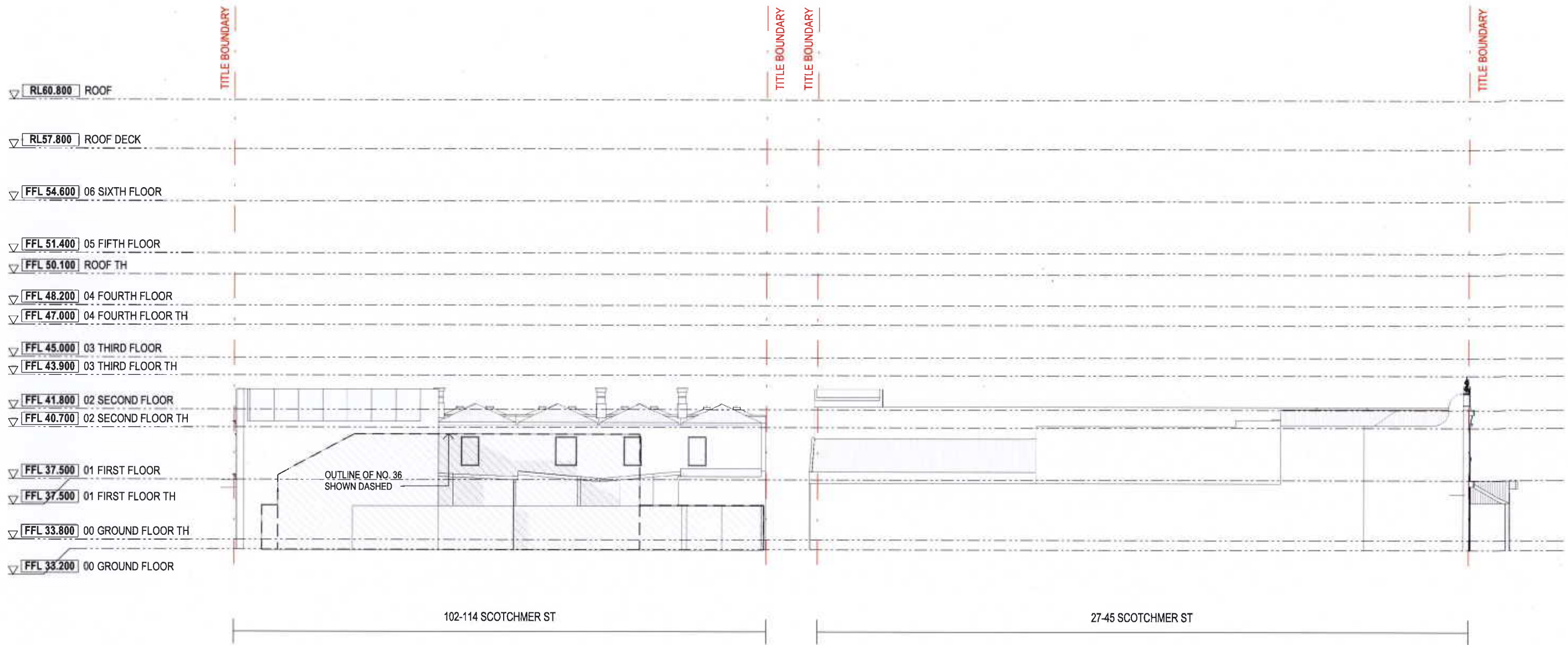
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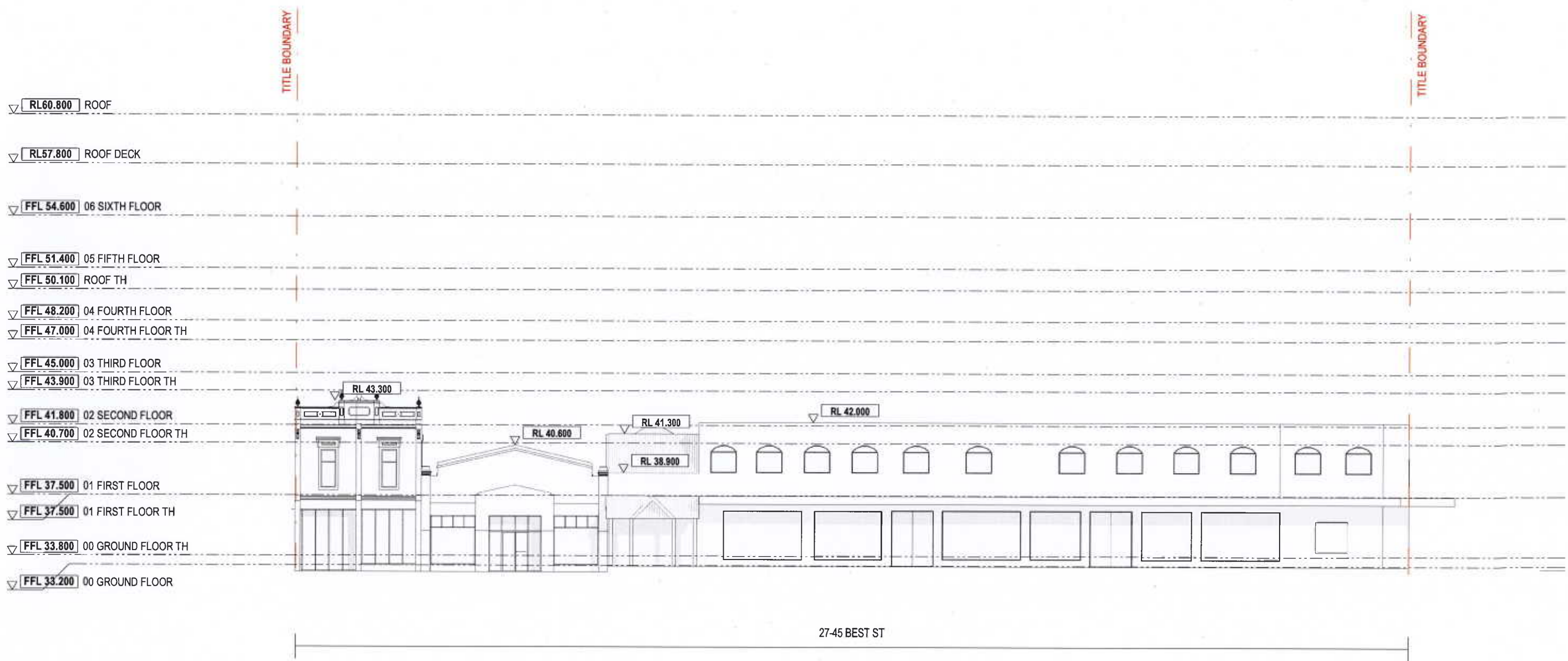
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PROJECT	DRAWING TITLE
PIEDIMONTE'S SUPERMARKET 27-45 BEST STREET FITZROY NORTH	NORTH ELEVATION - EXISTING
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01	18/02/19	AMENDED TP
02	14/05/19	RFI ISSUE
04	12/12/19	COUNCIL ENDORSEMENT REVISION

PROJECT #
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PROJECT
PIEDIMONTE'S SUPERMARKET
27-45 BEST STREET FITZROY NORTH
 STATUS
TOWN PLANNING

DRAWING TITLE
EAST ELEVATION - EXISTING
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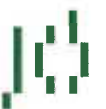
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04	12/12/19	COUNCIL ENDORSEMENT REVISION

PROJECT #	SCALE
18-038	1:250
DATE	043
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PROJECT
PIEDIMONTE'S SUPERMARKET
 27-45 BEST STREET FITZROY NORTH
 STATUS
 TOWN PLANNING

DRAWING TITLE
WEST ELEVATION - EXISTING
 DRAWING NUMBER
 A-TP0-204
 REVISION
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Demolition Legend

-  EXISTING WALLS TO BE DEMOLISHED
-  EXISTING WALLS TO BE RETAINED
-  NEW OPENINGS IN FACADE



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REV	DATE	DESCRIPTION
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02	14/05/19	RFI ISSUE
04	12/12/19	COUNCIL ENDORSEMENT REVISION

PROJECT #	SCALE
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PROJECT
PIEDIMONTE'S SUPERMARKET
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 STATUS
 TOWN PLANNING

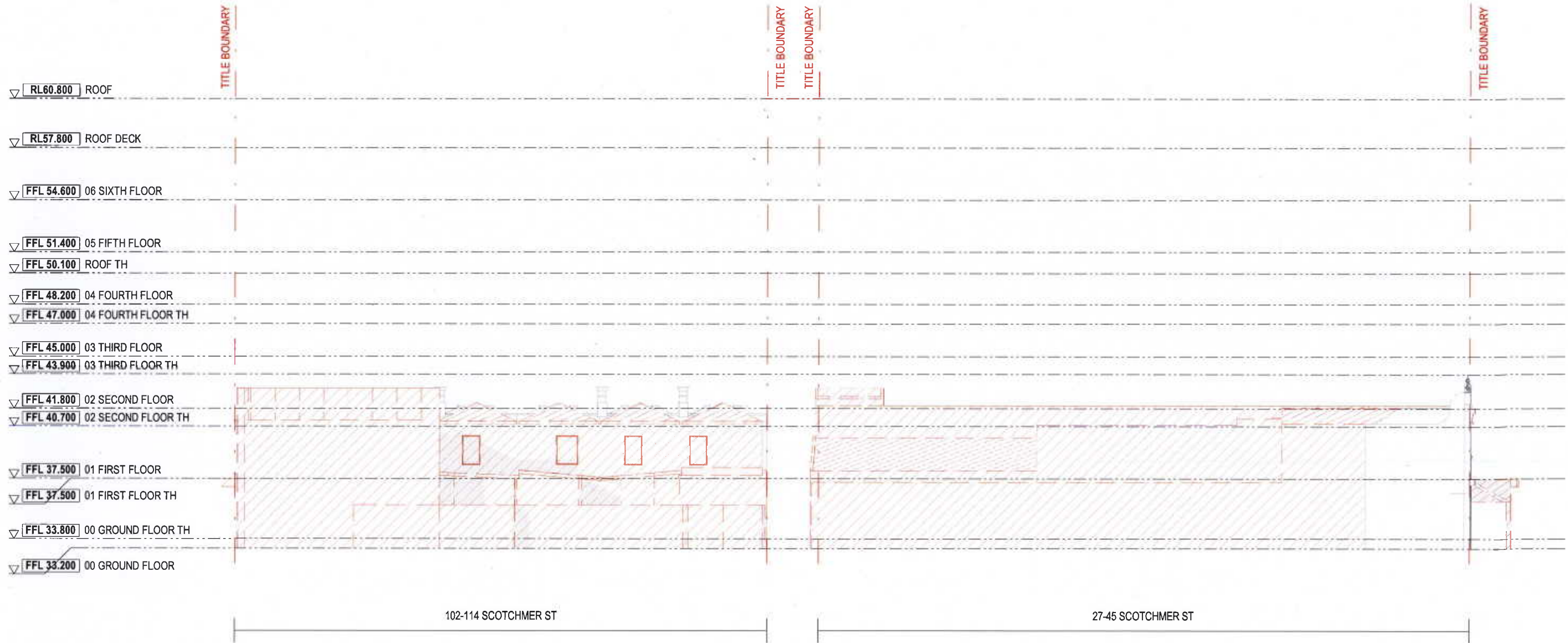
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NORTH ELEVATION - DEMOLITION	
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A-TP0-211	04

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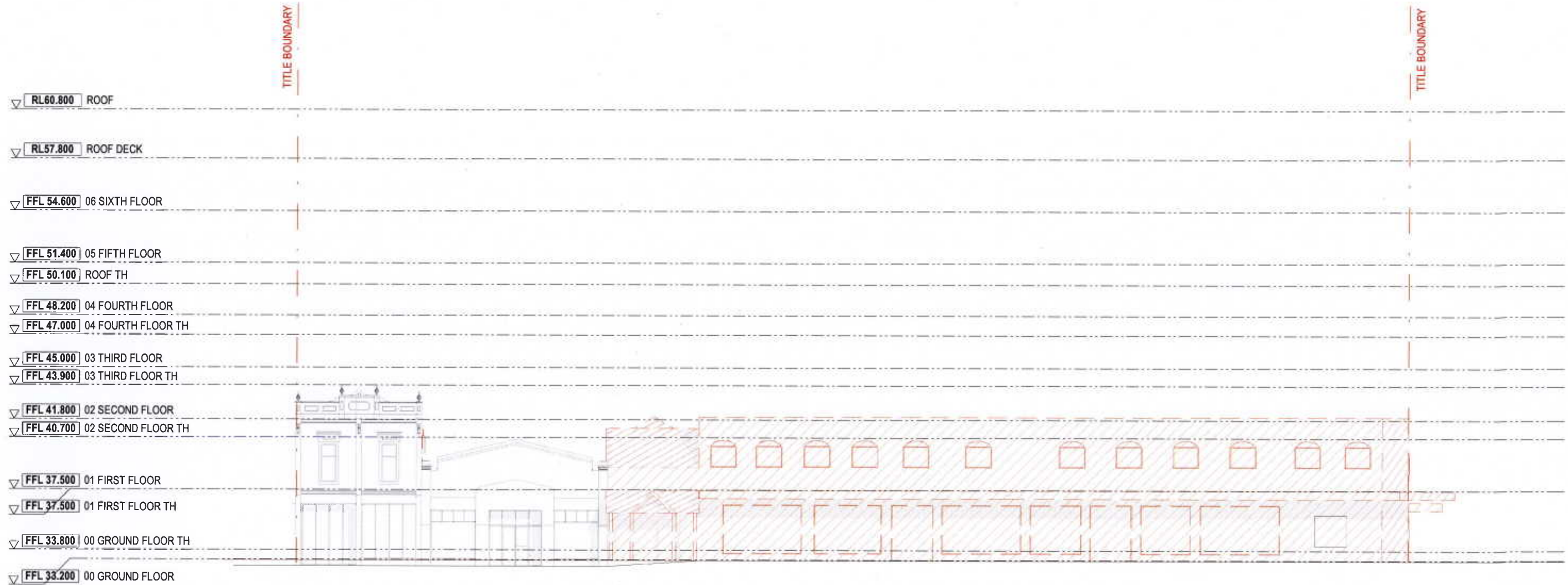
Demolition Legend

-  EXISTING WALLS TO BE DEMOLISHED
-  EXISTING WALLS TO BE RETAINED
-  NEW OPENINGS IN FACADE



Demolition Legend

-  EXISTING WALLS TO BE DEMOLISHED
-  EXISTING WALLS TO BE RETAINED
-  NEW OPENINGS IN FACADE



27-45 BEST ST

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PROJECT #	SCALE
18-038	1:250
DATE	04
18/12/2018	




PROJECT
PIEDIMONTE'S SUPERMARKET 27-45 BEST STREET FITZROY NORTH
STATUS
TOWN PLANNING

DRAWING TITLE
EAST ELEVATION - DEMOLITION
DRAWING NUMBER
A-TP0-213
REVISION
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Demolition Legend

-  EXISTING WALLS TO BE DEMOLISHED
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-  NEW OPENINGS IN FACADE



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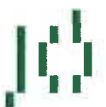
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18/12/2018

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PROJECT
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27-45 BEST STREET FITZROY NORTH
 STATUS
TOWN PLANNING

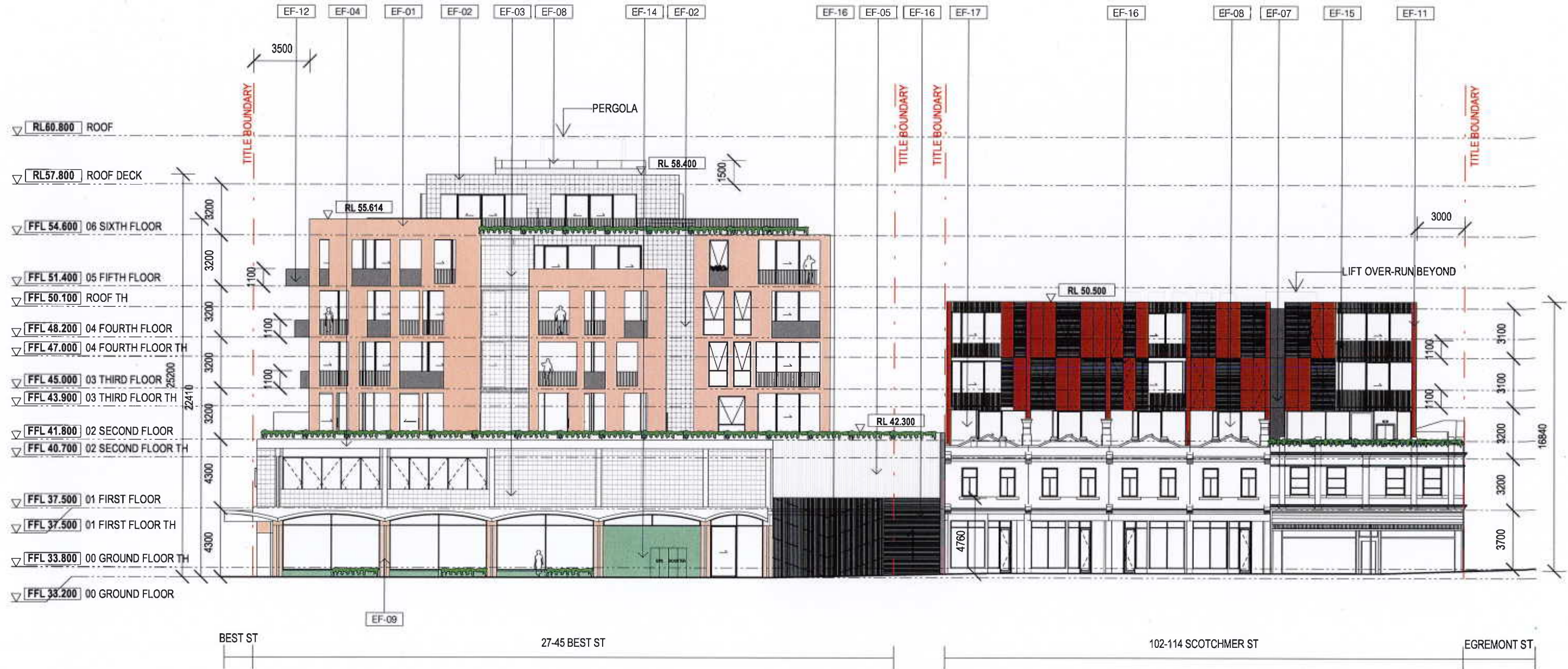
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 DRAWING NUMBER
A-TP0-214
 REVISION
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Material Legend

EF-01	BRICK (APRICOT)	EF-10	METAL PLATE (GREEN POWDERCOAT)
EF-02	BREEZEBLOCK PATTERN CONCRETE	EF-11	METAL PLATE (TERRACOTTA POWDERCOAT)
EF-03	BREEZEBLOCK (CONCRETE)	EF-12	METAL PLATE (CHARCOAL POWDERCOAT)
EF-04	CONCRETE (IN-SITU)	EF-13	METAL LOUVRE (WHITE)
EF-05	CONCRETE (BOARDMARKED)	EF-14	MOSAIC TILES (GREEN)
EF-06	CONCRETE (PRE-CAST)	EF-15	TERRACOTTA-COLOURED BAGUETTE PANELS
EF-07	COLOUR BACKED GLASS (DARK)	EF-16	TERRACOTTA-COLOURED BAGUETTE SCREEN
EF-08	GLAZING (CLEAR)	EF-17	COLOUR BACKED GLASS (TERRACOTTA-COLOURED)
EF-09	MOSAIC TILE (TERRACOTTA)	EF-18	STAINED PRE-CAST CONCRETE
		EF-19	METAL (CHARCOAL POWDERCOAT) FENCE, PATTERN TO MATCH BREEZEBLOCKS, MAX. 25% TRANSPARENCY



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PROJECT #	SCALE
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DATE:	04
18/12/2018	

PROJECT
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 TOWN PLANNING

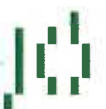
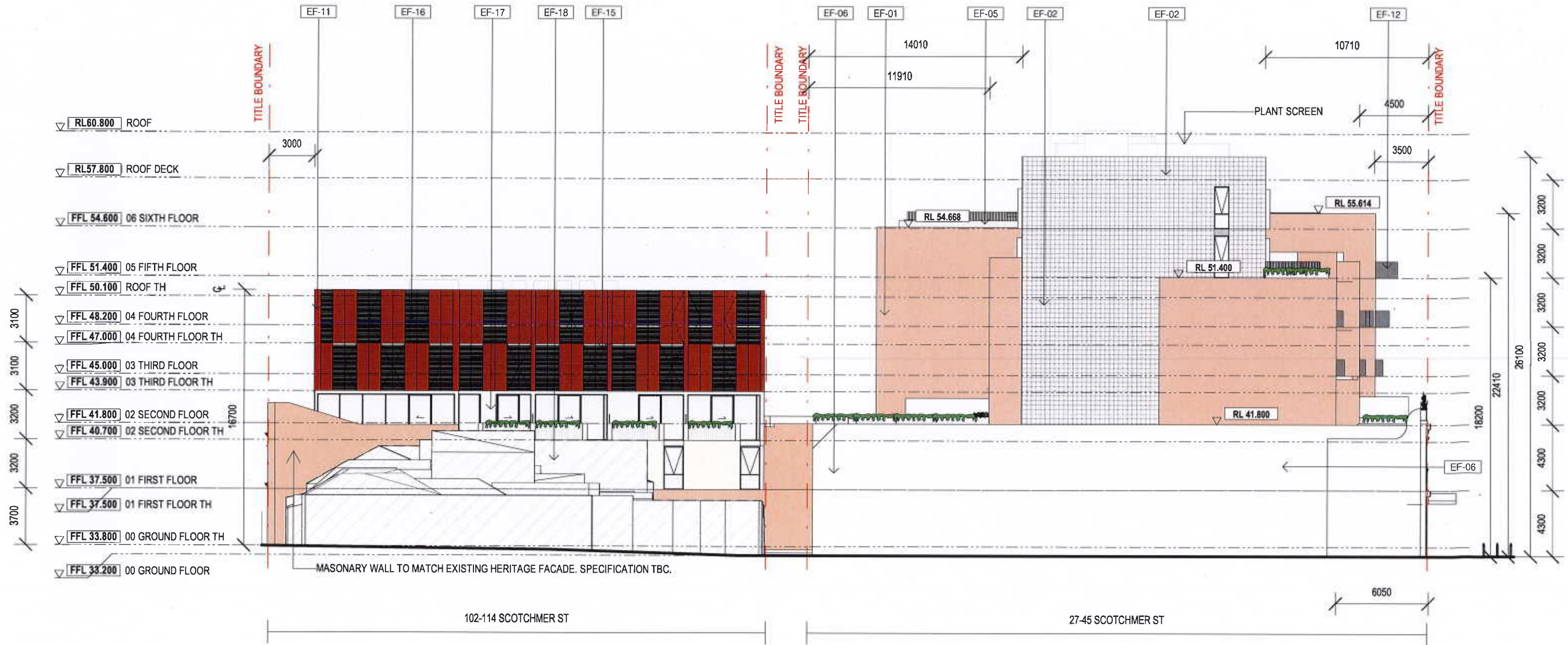
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 NORTH ELEVATION
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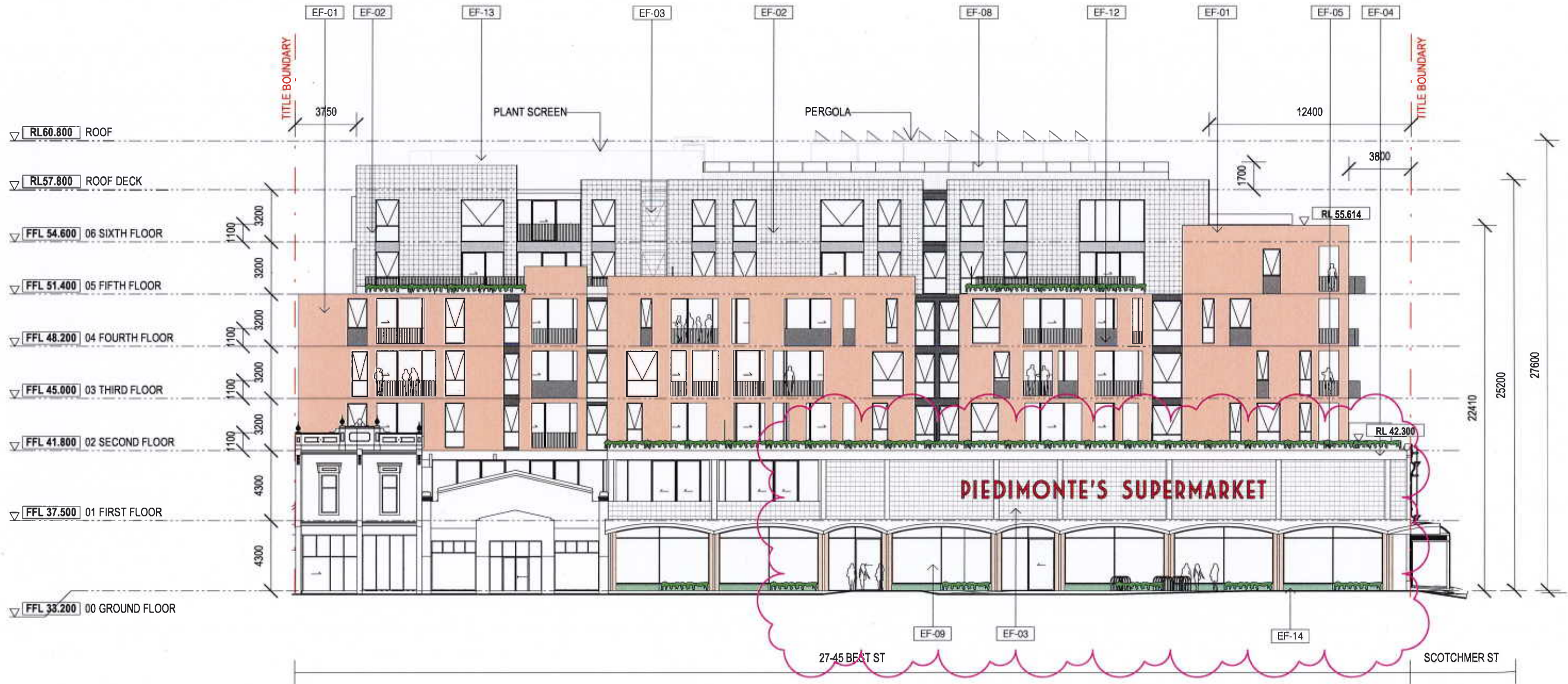
Material Legend

EF-01	BRICK (APRICOT)	EF-10	METAL PLATE (GREEN POWDERCOAT)
EF-02	BREEZEBLOCK PATTERN CONCRETE	EF-11	METAL PLATE (TERRACOTTA POWDERCOAT)
EF-03	BREEZEBLOCK (CONCRETE)	EF-12	METAL PLATE (CHARCOAL POWDERCOAT)
EF-04	CONCRETE (IN-SITU)	EF-13	METAL LOUVRE (WHITE)
EF-05	CONCRETE (BOARDMARKED)	EF-14	MOSAIC TILES (GREEN)
EF-06	CONCRETE (PRE-CAST)	EF-15	TERRACOTTA-COLOURED BAGUETTE PANELS
EF-07	COLOUR BACKED GLASS (DARK)	EF-16	TERRACOTTA-COLOURED BAGUETTE SCREEN
EF-08	GLAZING (CLEAR)	EF-17	COLOUR BACKED GLASS (TERRACOTTA-COLOURED)
EF-09	MOSAIC TILE (TERRACOTTA)	EF-18	STAINED PRE-CAST CONCRETE
		EF-19	METAL (CHARCOAL POWDERCOAT) FENCE, PATTERN TO MATCH BREEZEBLOCKS, MAX. 25% TRANSPARENCY



Material Legend

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EF-03	BREEZEBLOCK (CONCRETE)	EF-12	METAL PLATE (CHARCOAL POWDERCOAT)
EF-04	CONCRETE (IN-SITU)	EF-13	METAL LOUVRE (WHITE)
EF-05	CONCRETE (BOARDMARKED)	EF-14	MOSAIC TILES (GREEN)
EF-06	CONCRETE (PRE-CAST)	EF-15	TERRACOTTA-COLOURED BAGUETTE PANELS
EF-07	COLOUR BACKED GLASS (DARK)	EF-16	TERRACOTTA-COLOURED BAGUETTE SCREEN
EF-08	GLAZING (CLEAR)	EF-17	COLOUR BACKED GLASS (TERRACOTTA-COLOURED)
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18-038	1:250
DATE	04
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PROJECT
PIEDIMONTE'S SUPERMARKET
 27-45 BEST STREET FITZROY NORTH
 STATUS
 TOWN PLANNING

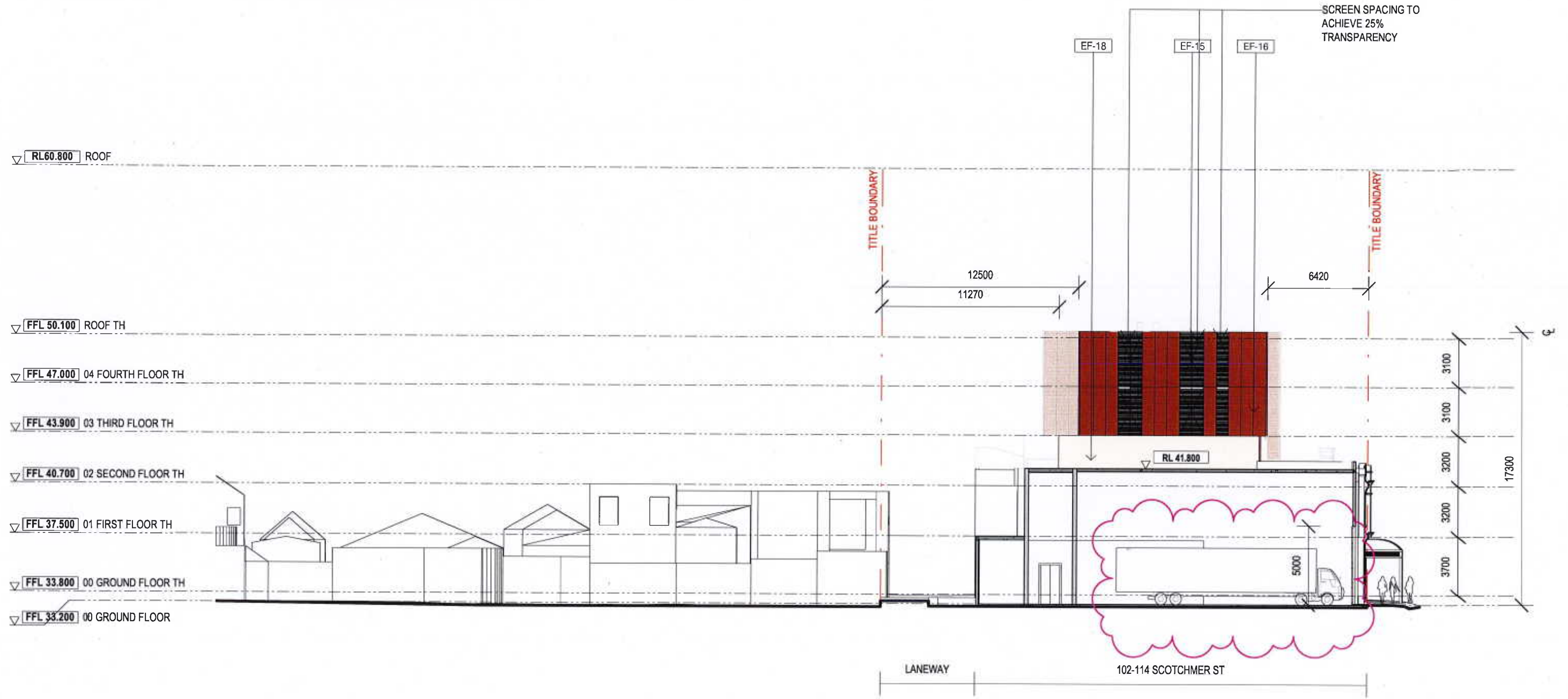
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EAST ELEVATION - 1	
DRAWING NUMBER	REVISION
A-TP2-102	04

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Material Legend

EF-01	BRICK (APRICOT)	EF-10	METAL PLATE (GREEN POWDERCOAT)
EF-02	BREEZEBLOCK PATTERN CONCRETE	EF-11	METAL PLATE (TERRACOTTA POWDERCOAT)
EF-03	BREEZEBLOCK (CONCRETE)	EF-12	METAL PLATE (CHARCOAL POWDERCOAT)
EF-04	CONCRETE (IN-SITU)	EF-13	METAL LOUVRE (WHITE)
EF-05	CONCRETE (BOARDMARKED)	EF-14	MOSAIC TILES (GREEN)
EF-06	CONCRETE (PRE-CAST)	EF-15	TERRACOTTA-COLOURED BAGUETTE PANELS
EF-07	COLOUR BACKED GLASS (DARK)	EF-16	TERRACOTTA-COLOURED BAGUETTE SCREEN
EF-08	GLAZING (CLEAR)	EF-17	COLOUR BACKED GLASS (TERRACOTTA-COLOURED)
EF-09	MOSAIC TILE (TERRACOTTA)	EF-18	STAINED PRE-CAST CONCRETE
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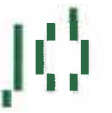
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DATE	BY
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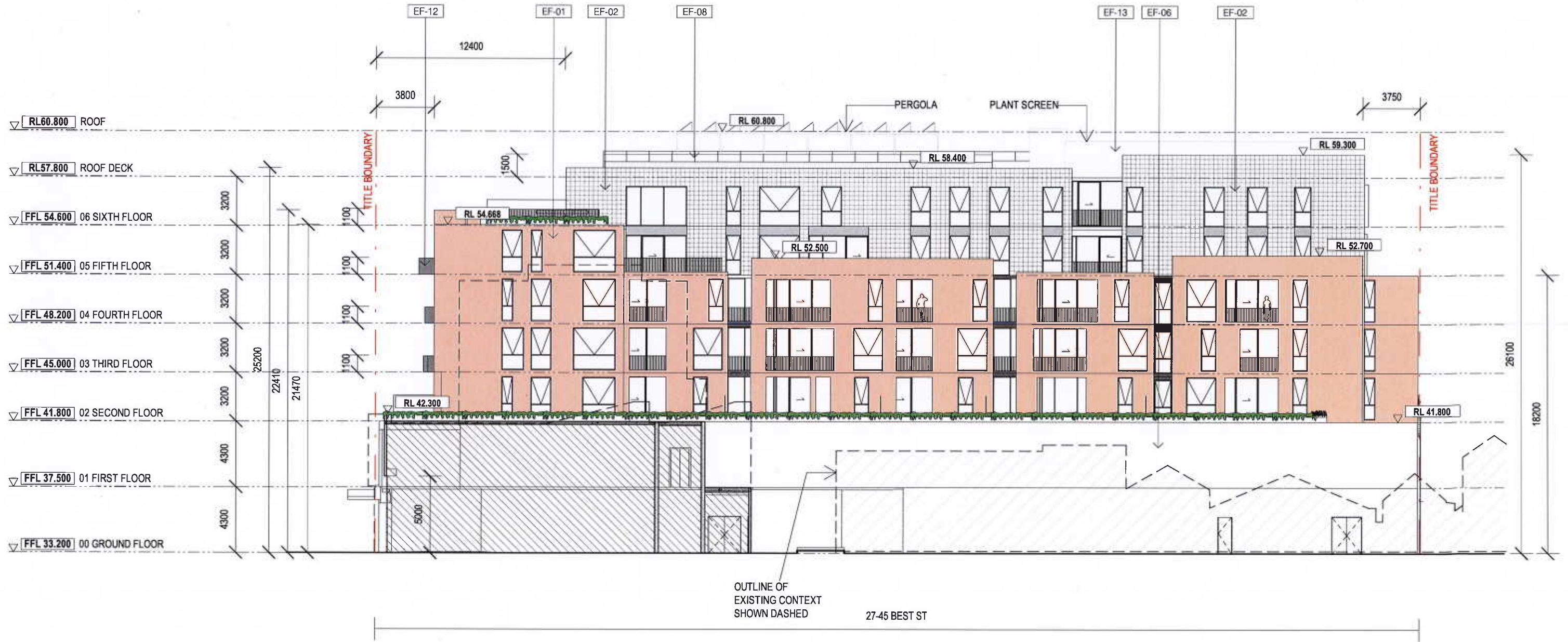
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EAST ELEVATION - 2
 DRAWING NUMBER
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 REVISION
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Material Legend

EF-01	BRICK (APRICOT)	EF-10	METAL PLATE (GREEN POWDERCOAT)
EF-02	BREEZEBLOCK PATTERN CONCRETE	EF-11	METAL PLATE (TERRACOTTA POWDERCOAT)
EF-03	BREEZEBLOCK (CONCRETE)	EF-12	METAL PLATE (CHARCOAL POWDERCOAT)
EF-04	CONCRETE (IN-SITU)	EF-13	METAL LOUVRE (WHITE)
EF-05	CONCRETE (BOARDMARKED)	EF-14	MOSAIC TILES (GREEN)
EF-06	CONCRETE (PRE-CAST)	EF-15	TERRACOTTA-COLOURED BAGUETTE PANELS
EF-07	COLOUR BACKED GLASS (DARK)	EF-16	TERRACOTTA-COLOURED BAGUETTE SCREEN
EF-08	GLAZING (CLEAR)	EF-17	COLOUR BACKED GLASS (TERRACOTTA-COLOURED)
EF-09	MOSAIC TILE (TERRACOTTA)	EF-18	STAINED PRE-CAST CONCRETE
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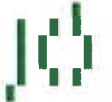
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PROJECT #	SCALE
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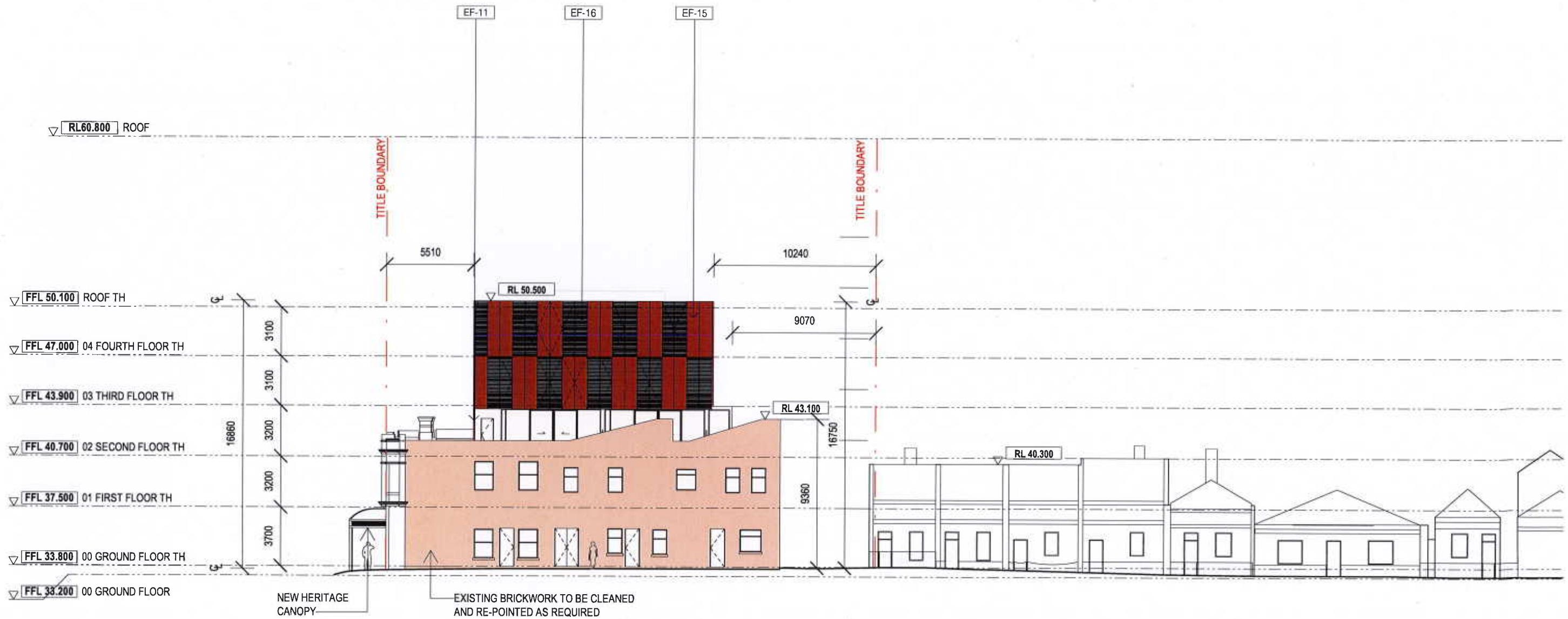
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Material Legend

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EF-02	BREEZEBLOCK PATTERN CONCRETE	EF-11	METAL PLATE (TERRACOTTA POWDERCOAT)
EF-03	BREEZEBLOCK (CONCRETE)	EF-12	METAL PLATE (CHARCOAL POWDERCOAT)
EF-04	CONCRETE (IN-SITU)	EF-13	METAL LOUVRE (WHITE)
EF-05	CONCRETE (BOARDMARKED)	EF-14	MOSAIC TILES (GREEN)
EF-06	CONCRETE (PRE-CAST)	EF-15	TERRACOTTA-COLOURED BAGUETTE PANELS
EF-07	COLOUR BACKED GLASS (DARK)	EF-16	TERRACOTTA-COLOURED BAGUETTE SCREEN
EF-08	GLAZING (CLEAR)	EF-17	COLOUR BACKED GLASS (TERRACOTTA-COLOURED)
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		EF-19	METAL (CHARCOAL POWDERCOAT) FENCE, PATTERN TO MATCH BREEZEBLOCKS, MAX. 25% TRANSPARENCY



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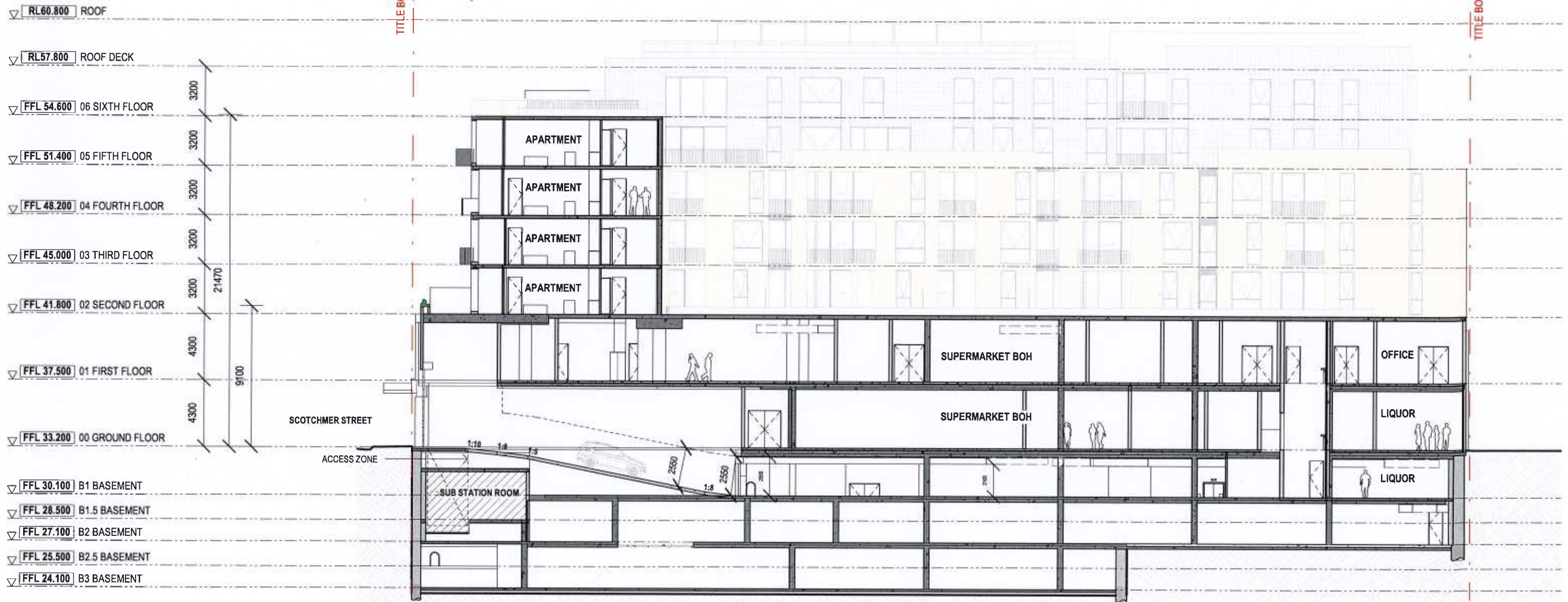
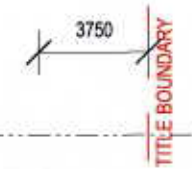
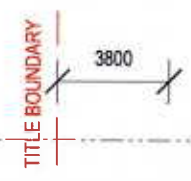
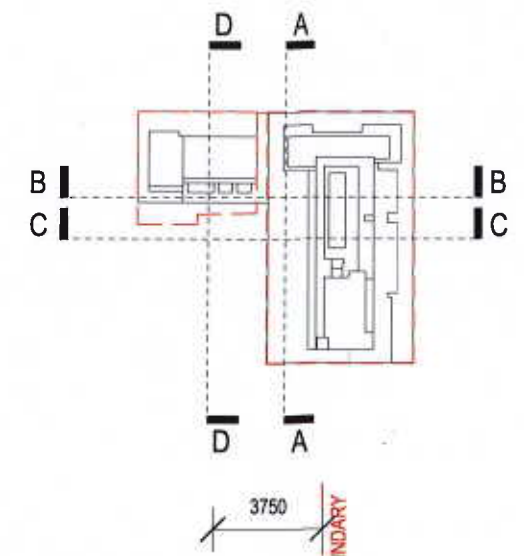
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DATE	04/3
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WEST ELEVATION - 2
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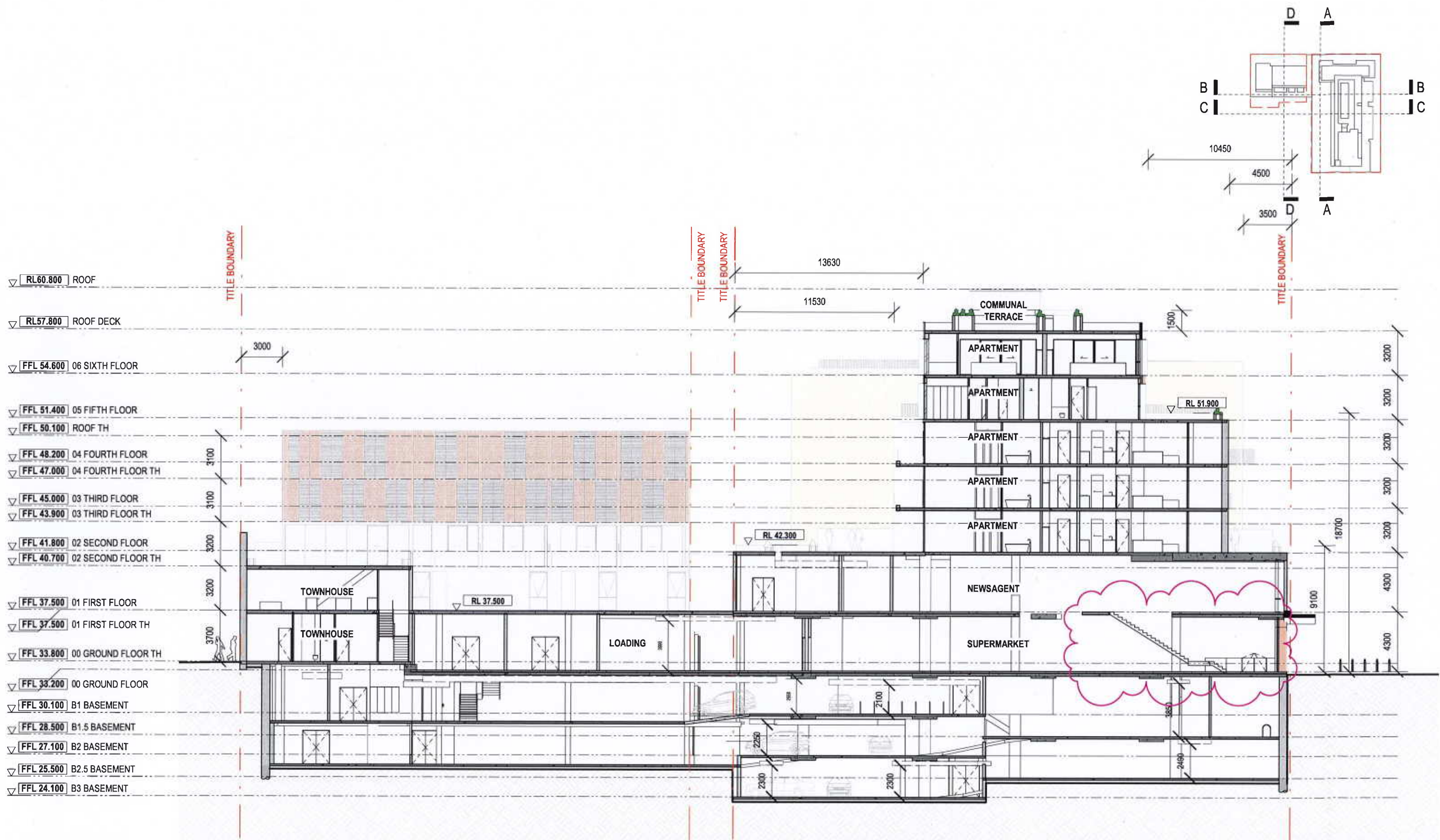
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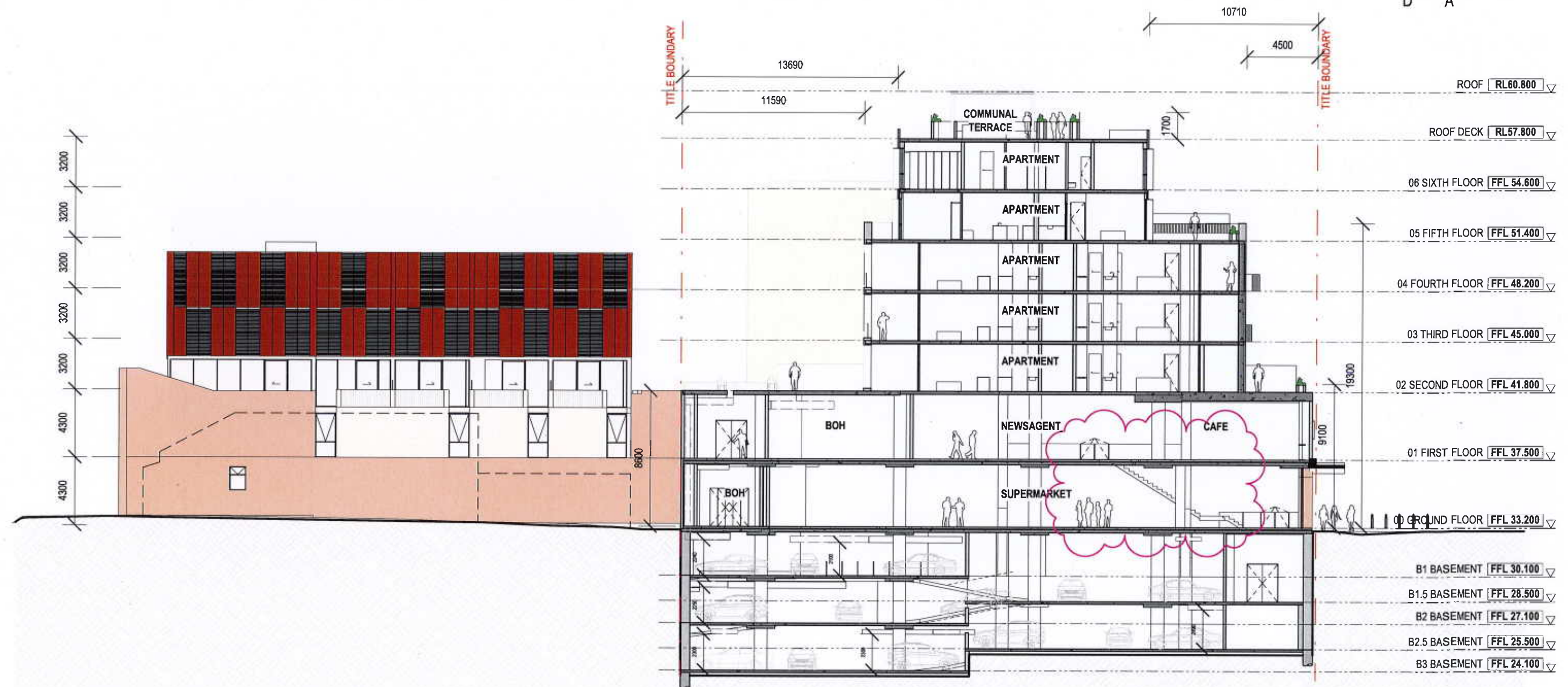
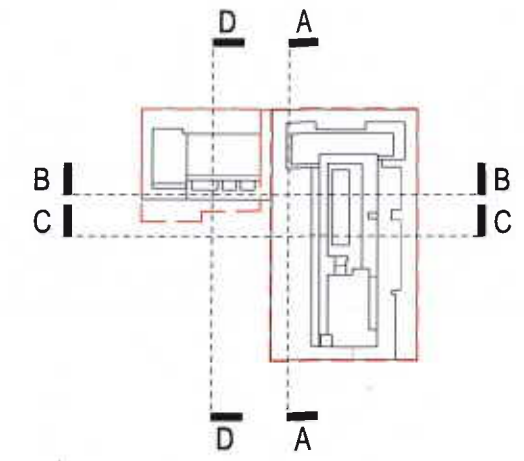
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PROJECT #	SCALE
18-038	1:250
DATE	18/12/2018

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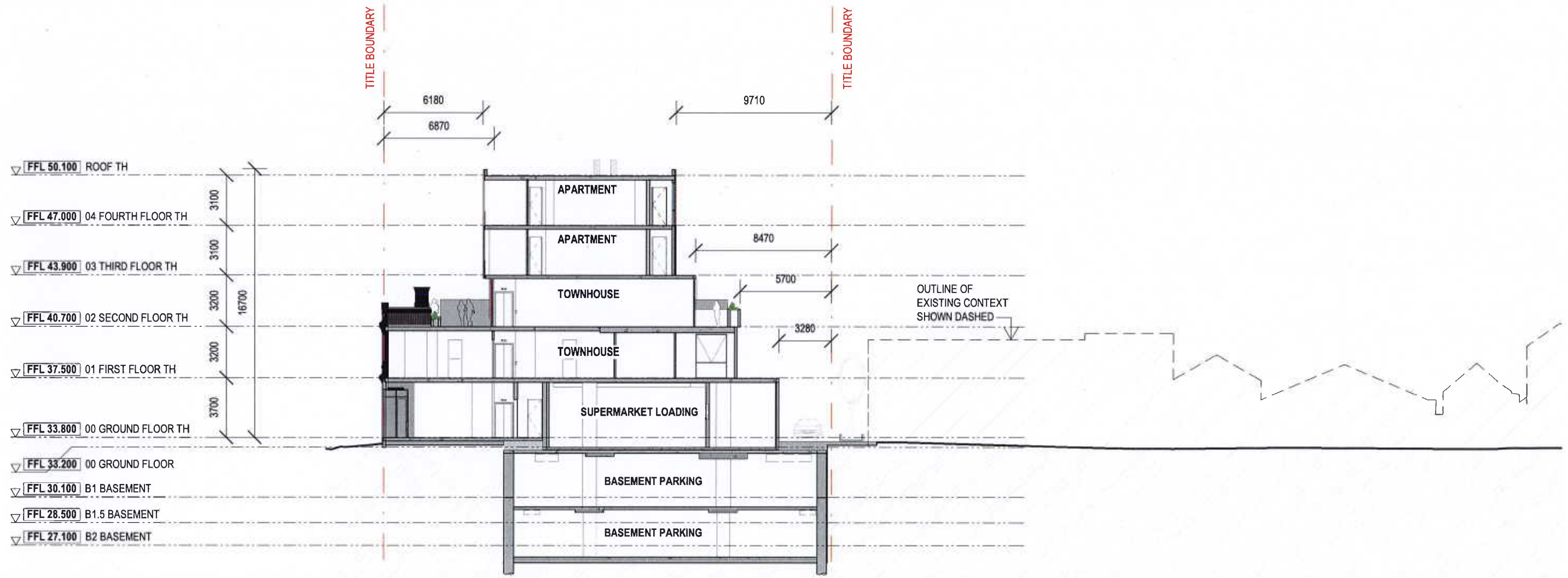
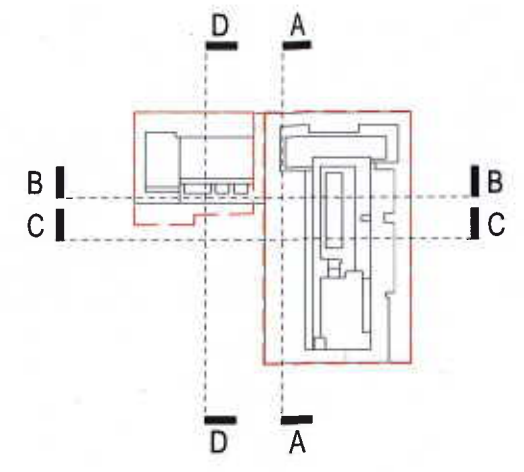
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PROJECT #
18-038

DATE
18/12/2018

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PROJECT
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27-45 BEST STREET FITZROY NORTH

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TOWN PLANNING

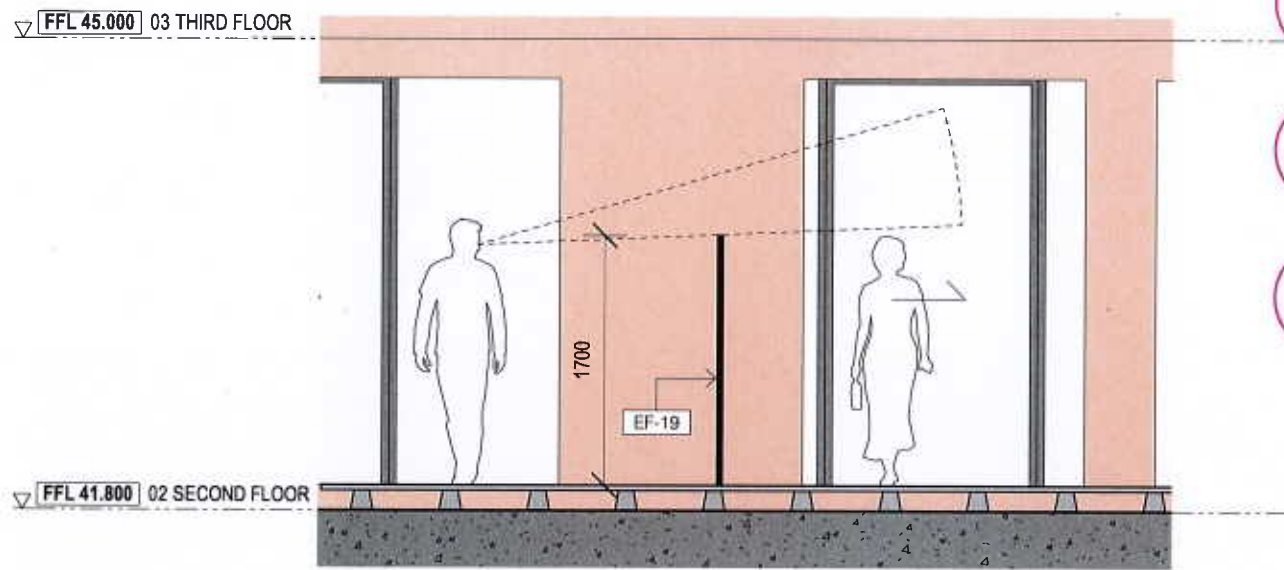
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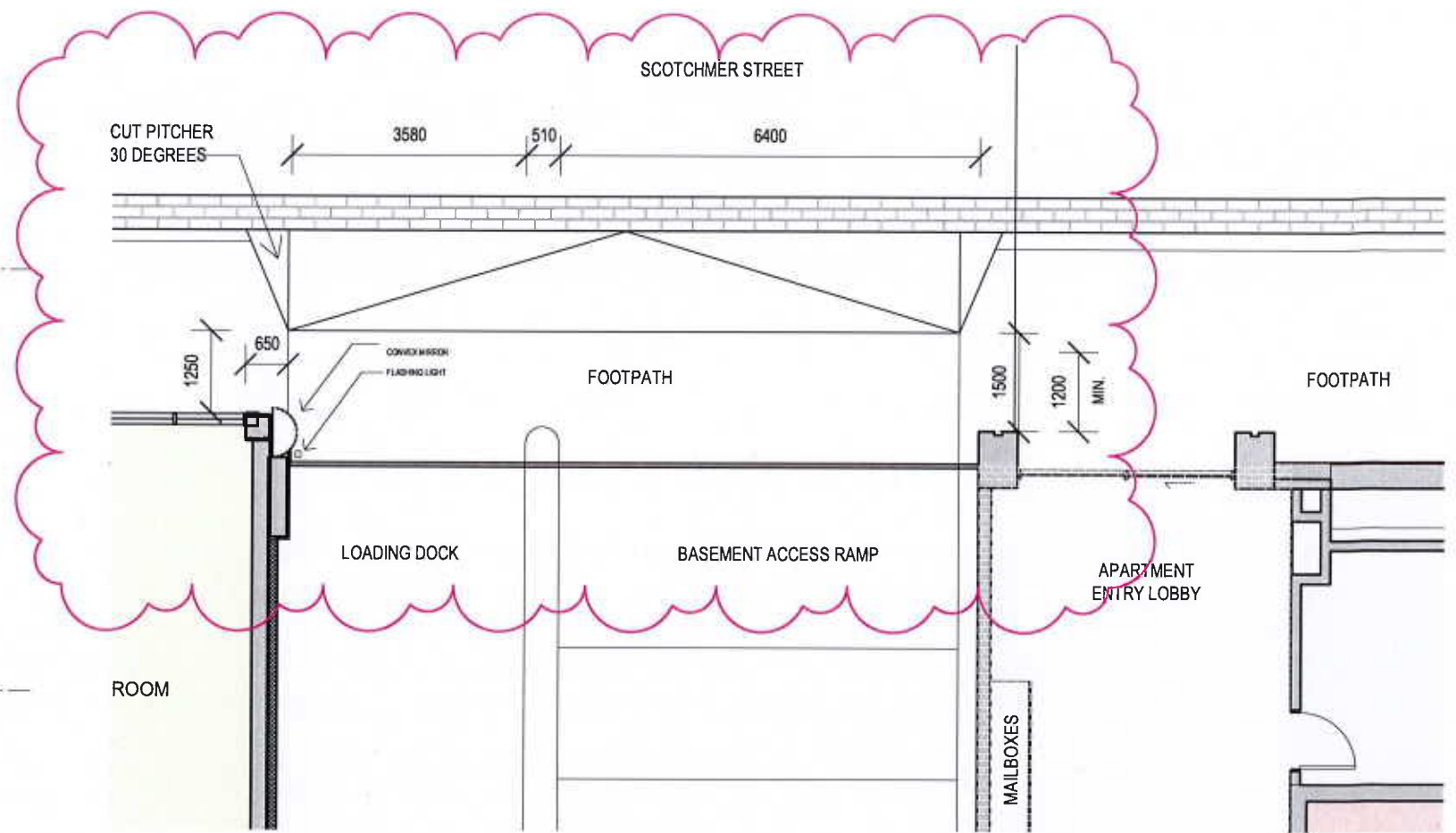
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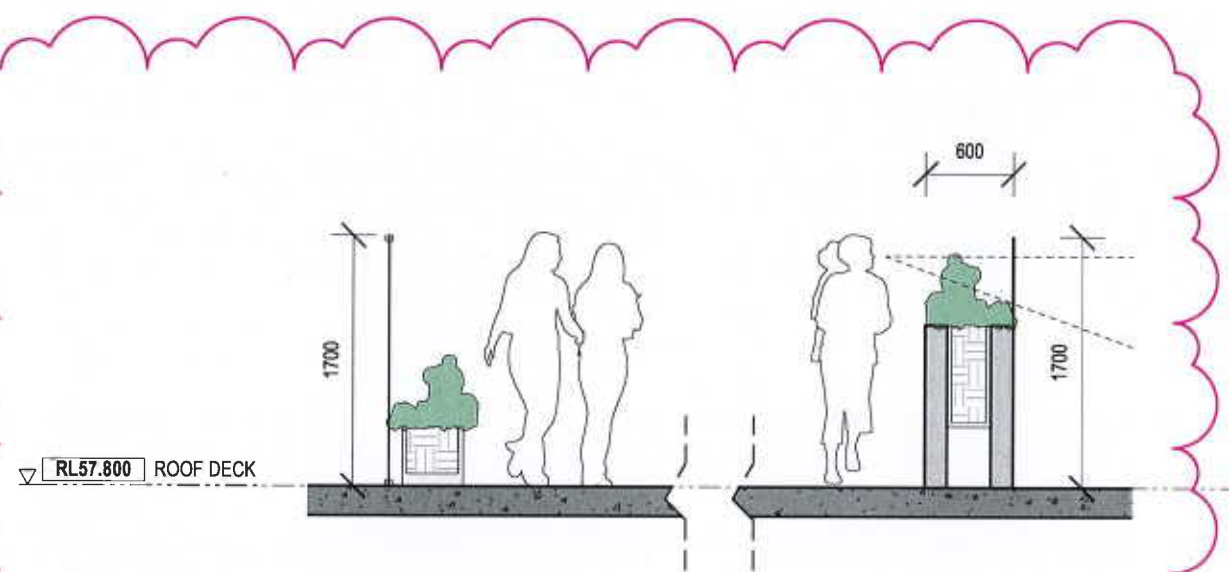




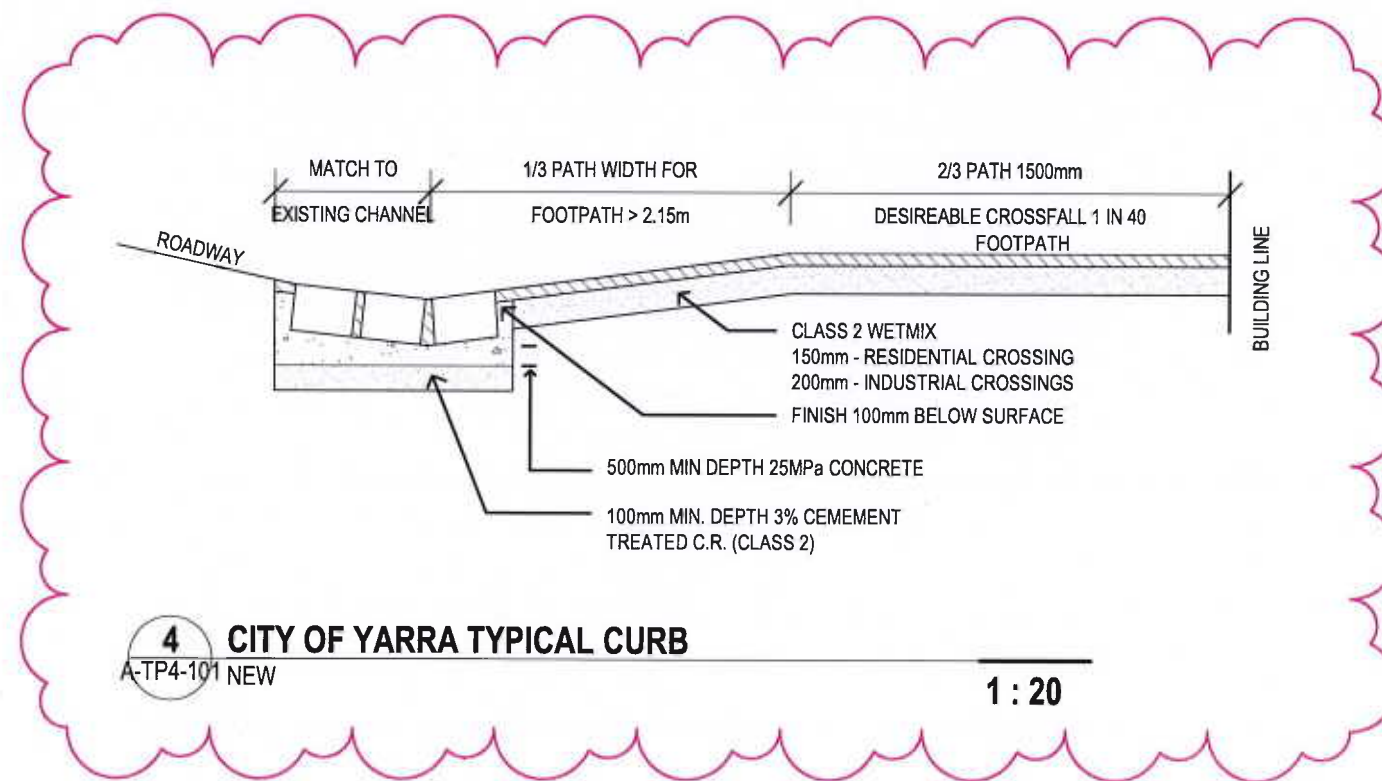
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A-TP4-101 1 : 50



1 KERB DETAIL
A-TP4-101 LEVEL GROUND 1 : 100

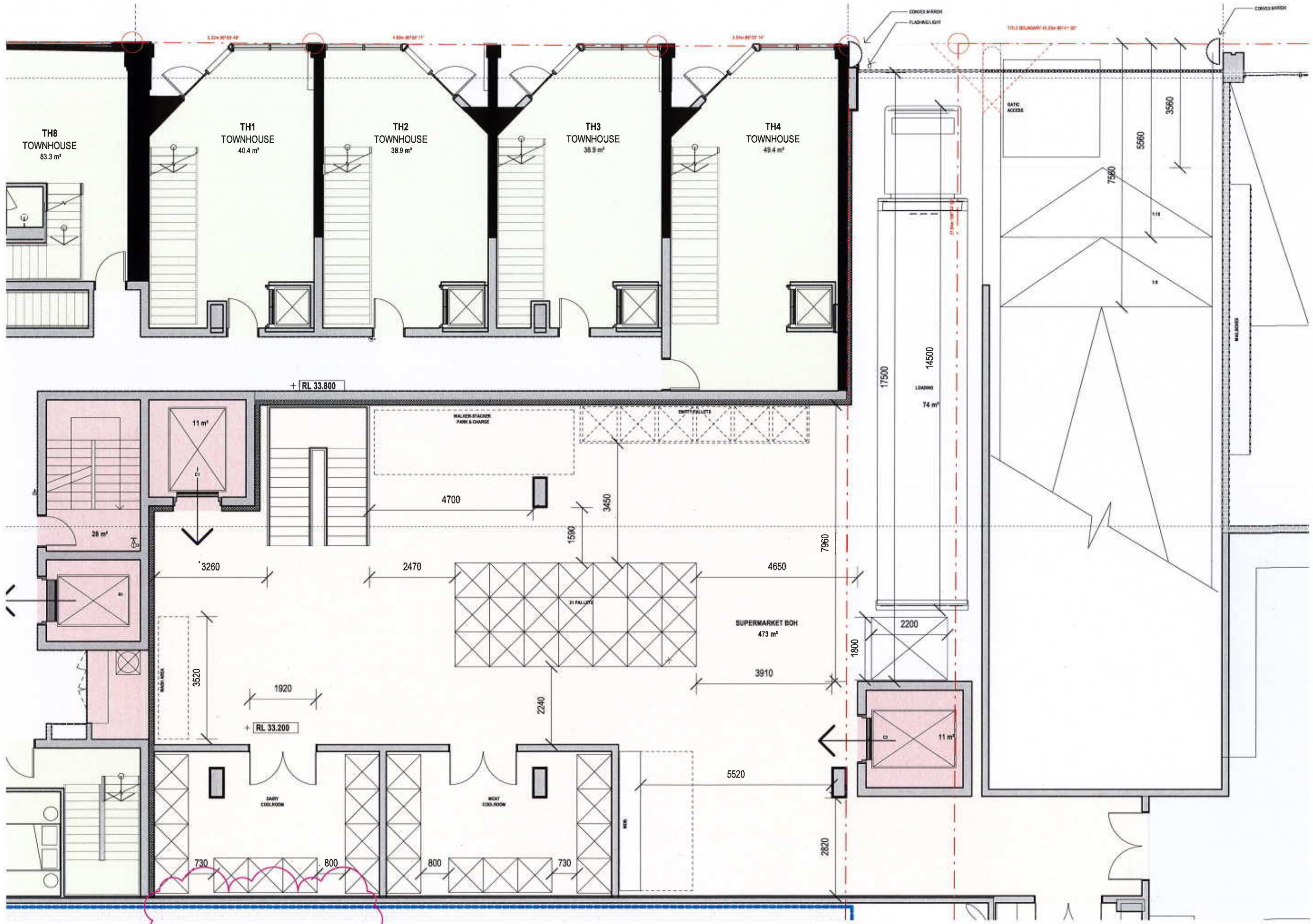


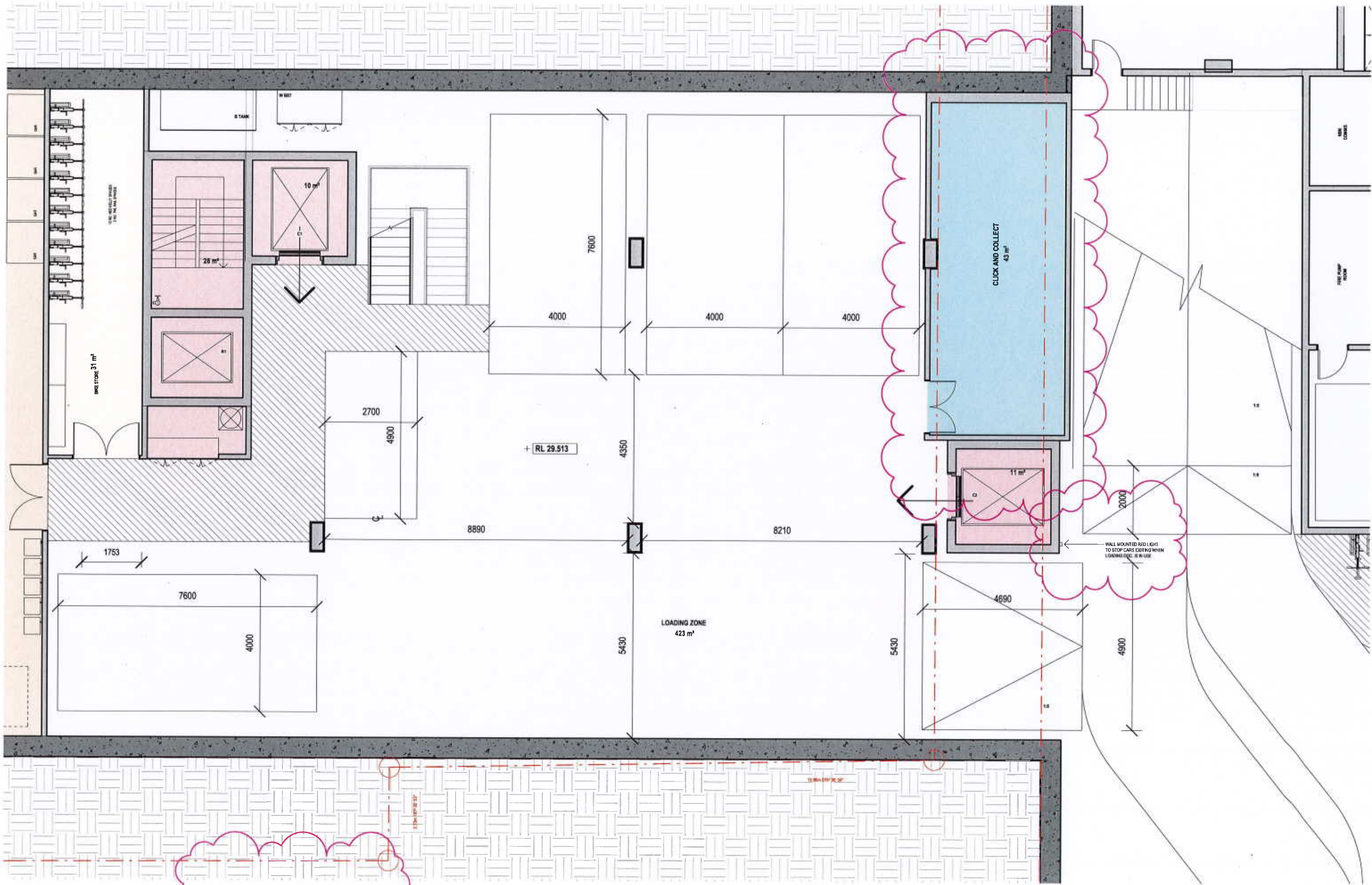
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4 CITY OF YARRA TYPICAL CURB
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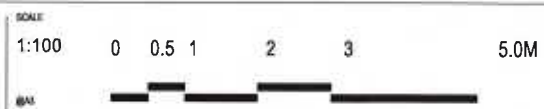




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PROJECT #
18-038
 DATE
 18/12/2018



PROJECT
PIEDIMONTE'S SUPERMARKET
27-45 BEST STREET FITZROY NORTH
 STATUS
 TOWN PLANNING

DRAWING TITLE
BACK OF HOUSE DETAIL - B1
 DRAWING NUMBER
 A-TP4-103
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Material Legend

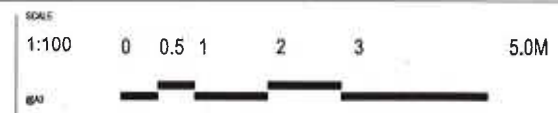
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PROJECT #
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18/12/2018



PROJECT
PIEDIMONTE'S SUPERMARKET
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DRAWING TITLE
EAST ELEVATION - 1
 DRAWING NUMBER
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Material Legend

EF-01	BRICK (APRICOT)	EF-10	METAL PLATE (GREEN POWDERCOAT)
EF-02	BREEZEBLOCK PATTERN CONCRETE	EF-11	METAL PLATE (TERRACOTTA POWDERCOAT)
EF-03	BREEZEBLOCK (CONCRETE)	EF-12	METAL PLATE (CHARCOAL POWDERCOAT)
EF-04	CONCRETE (IN-SITU)	EF-13	METAL LOUVRE (WHITE)
EF-05	CONCRETE (BOARDMARKED)	EF-14	MOSAIC TILES (GREEN)
EF-06	CONCRETE (PRE-CAST)	EF-15	TERRACOTTA-COLOURED BAGUETTE PANELS
EF-07	COLOUR BACKED GLASS (DARK)	EF-16	TERRACOTTA-COLOURED BAGUETTE SCREEN
EF-08	GLAZING (CLEAR)	EF-17	COLOUR BACKED GLASS (TERRACOTTA-COLOURED)
EF-09	MOSAIC TILE (TERRACOTTA)	EF-18	STAINED PRE-CAST CONCRETE
		EF-19	METAL (CHARCOAL POWDERCOAT) FENCE, PATTERN TO MATCH BREEZEBLOCKS, MAX. 25% TRANSPARENCY



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PROJECT # 18-038
 DATE 18/12/2018
 SCALE 1:100
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PROJECT
 PIEDIMONTE'S SUPERMARKET
 27-45 BEST STREET FITZROY NORTH
 STATUS
 TOWN PLANNING

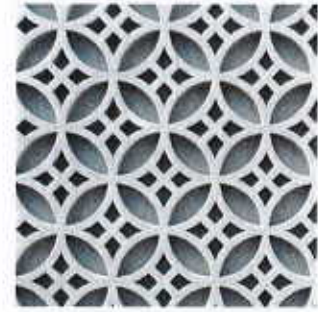
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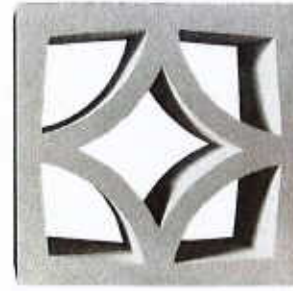




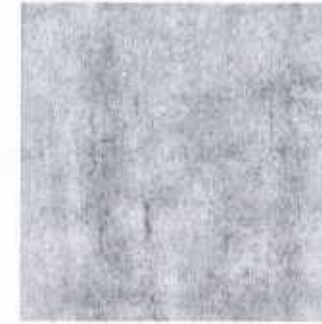
EF-01 BRICK (APRICOT)



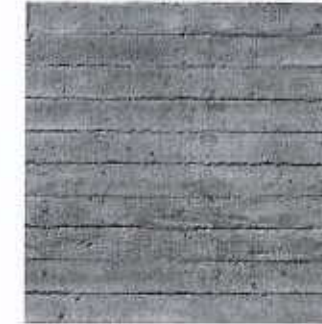
EF-02 BREEZEBLOCK-PATTERN PRE-CAST



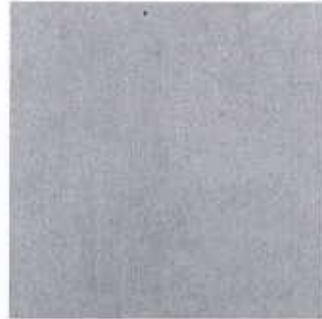
EF-03 BREEZEBLOCK (CONCRETE)



EF-04 CONCRETE (IN-SITU)



EF-05 CONCRETE (BOARDMARKED)



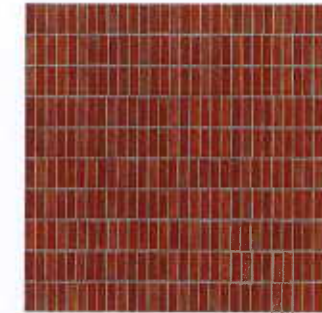
EF-06 CONCRETE (PRE-CAST)



EF-07 COLOUR BACKED GLASS (DARK)



EF-08 CLEAR GLAZING



EF-09 MOSAIC TILE (TERRACOTTA)



EF-10 METAL PLATE (GREEN POWDERCOAT)



EF-11 METAL PLATE (TERRACOTTA-COLOURED POWDERCOAT)



EF-12 METAL PLATE (CHARCOAL POWDERCOAT)



EF-13 METAL LOUVRE (WHITE)



EF-14 MOSAIC TILES (GREEN)



EF-15 TERRACOTTA-COLOURED PANELS



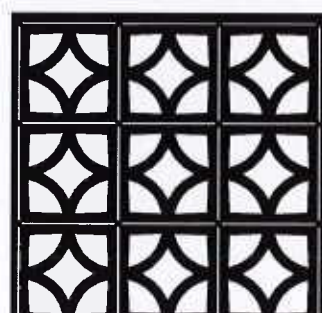
EF-16 TERRACOTTA-COLOURED BAGUETTE SCREEN



EF-17 COLOUR BACKED GLASS (TO MATCH GLAZING)

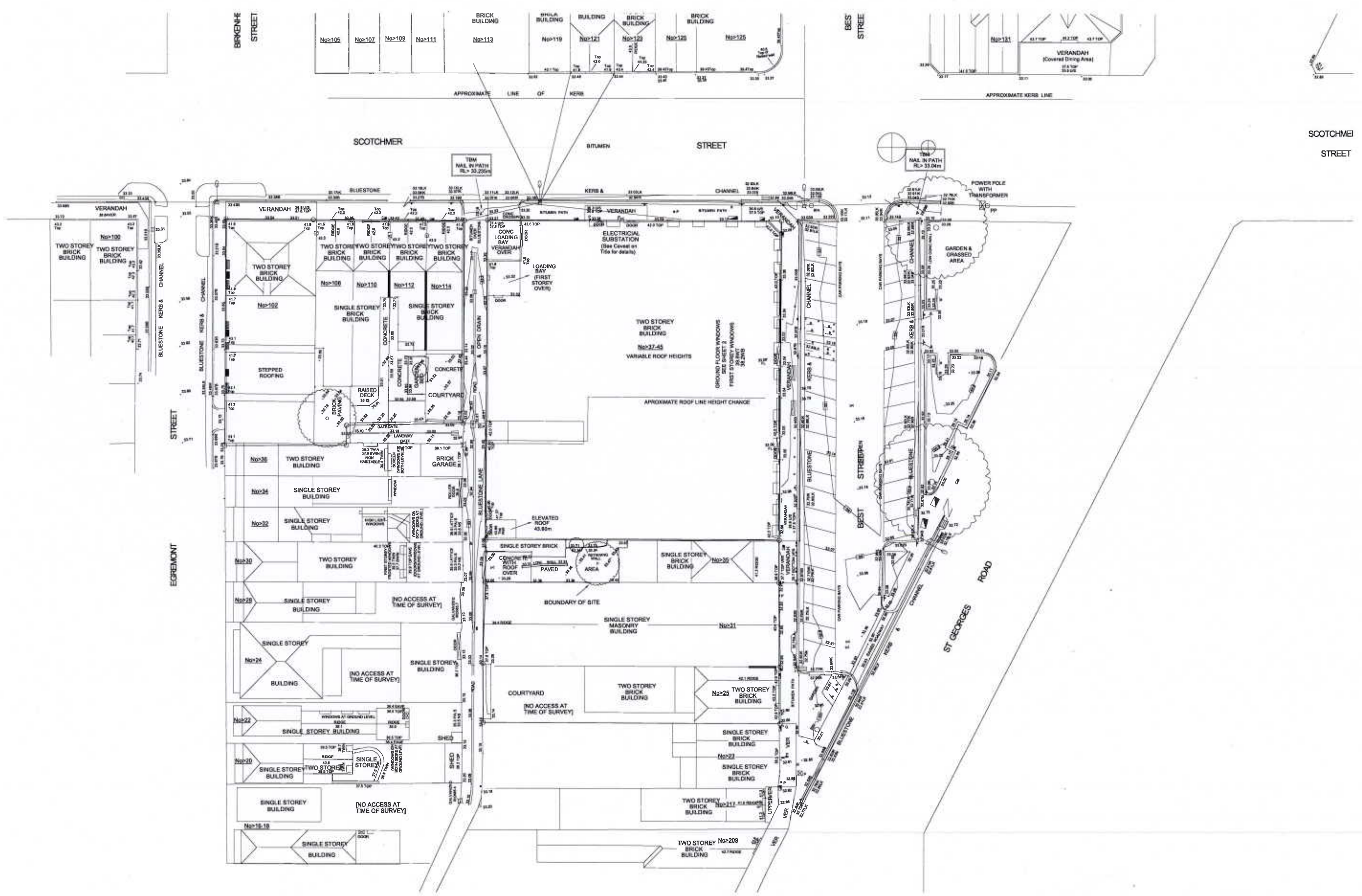


EF-18 STAINED PRE-CAST CONCRETE (TERRACOTTA COLOURED)



EF-19 METAL (CHARCOAL POWDERCOAT) FENCE, PATTERN TO MATCH BREEZEBLOCKS, MAX. 25% TRANSPARENCY





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01	18/02/19	AMENDED TP
02	18/03/19	RT ISSUE
04	18/12/18	COUNCIL ENFORCEMENT REVISION

CLIENT
PIEDIMONTE'S SUPERMARKET

PROJECT
**PIEDIMONTE'S SUPERMARKET
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 NORTH**

DRAWING TITLE
SURVEY

DATE
 18/12/2018

CHECKED
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SCALE
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STATUS
TOWN PLANNING

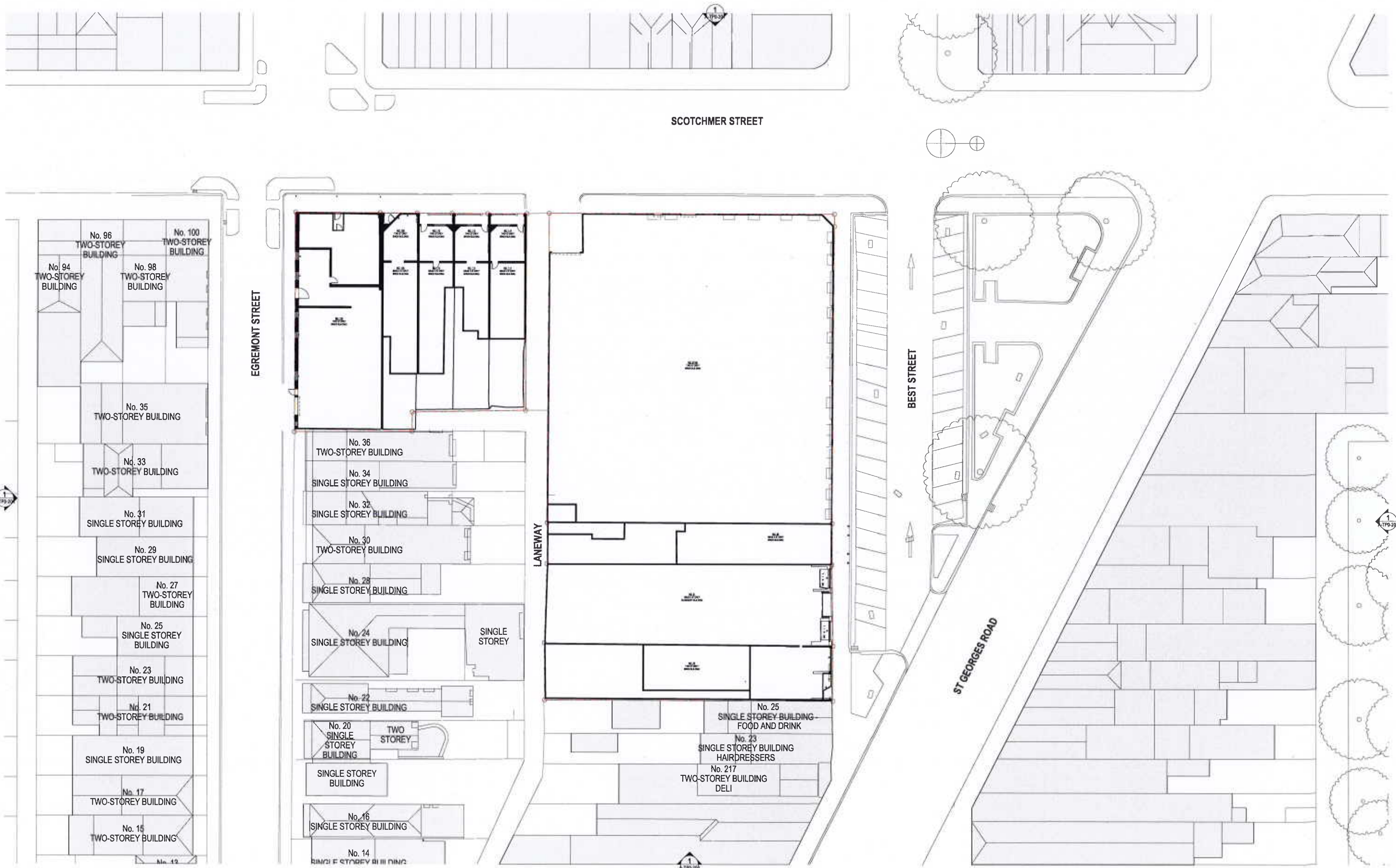
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PIEDIMONTE'S SUPERMARKET

PROJECT
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DRAWING TITLE
GROUND FLOOR PLAN - EXISTING

DATE
 18/12/2018

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SCALE
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STATUS
TOWN PLANNING

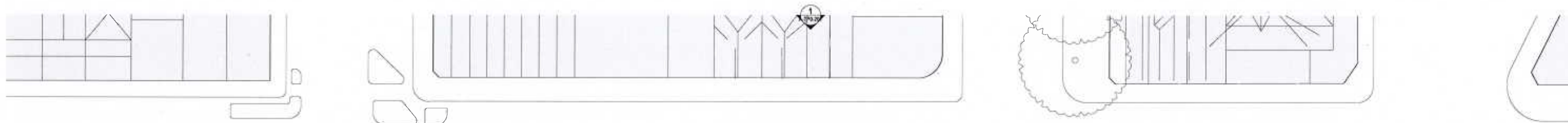
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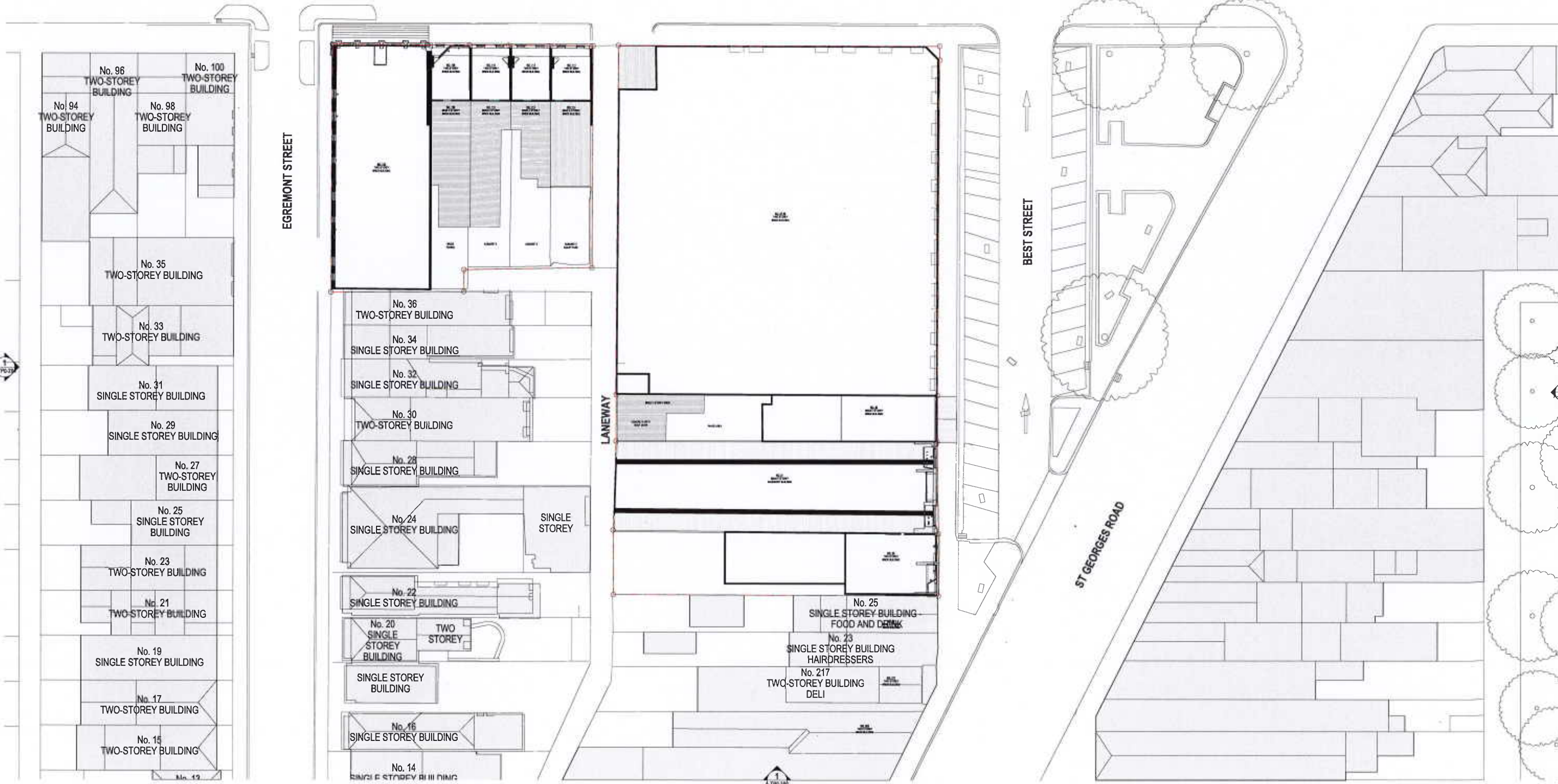
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02	14/05/19	REV ISSUE
04	10/12/19	COUNCIL ENGAGEMENT REVISION

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PROJECT
PIEDIMONTE'S SUPERMARKET
27-45 BEST STREET FITZROY
NORTH

DRAWING TITLE
FIRST FLOOR PLAN - EXISTING

DATE 18/12/2018
CHECKED TJ
APPROVED LW

SCALE
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STATUS
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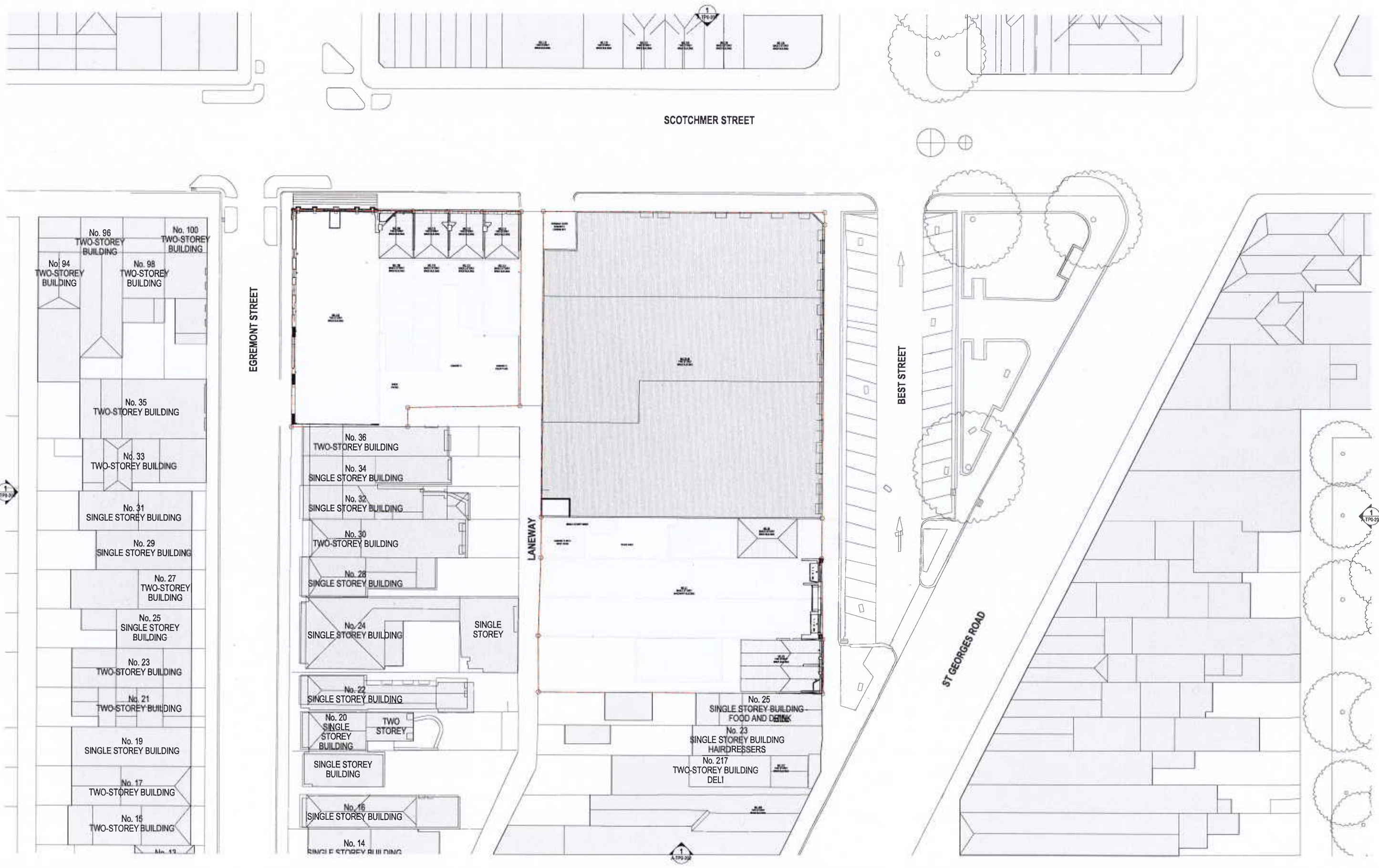
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03	14/05/19	RTI ISSUE
04	12/12/19	COUNCIL ENVIRONMENTAL REVISION

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DRAWING TITLE
ROOF PLAN - EXISTING

DATE 18/12/2018
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APPROVED LW

SCALE
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STATUS
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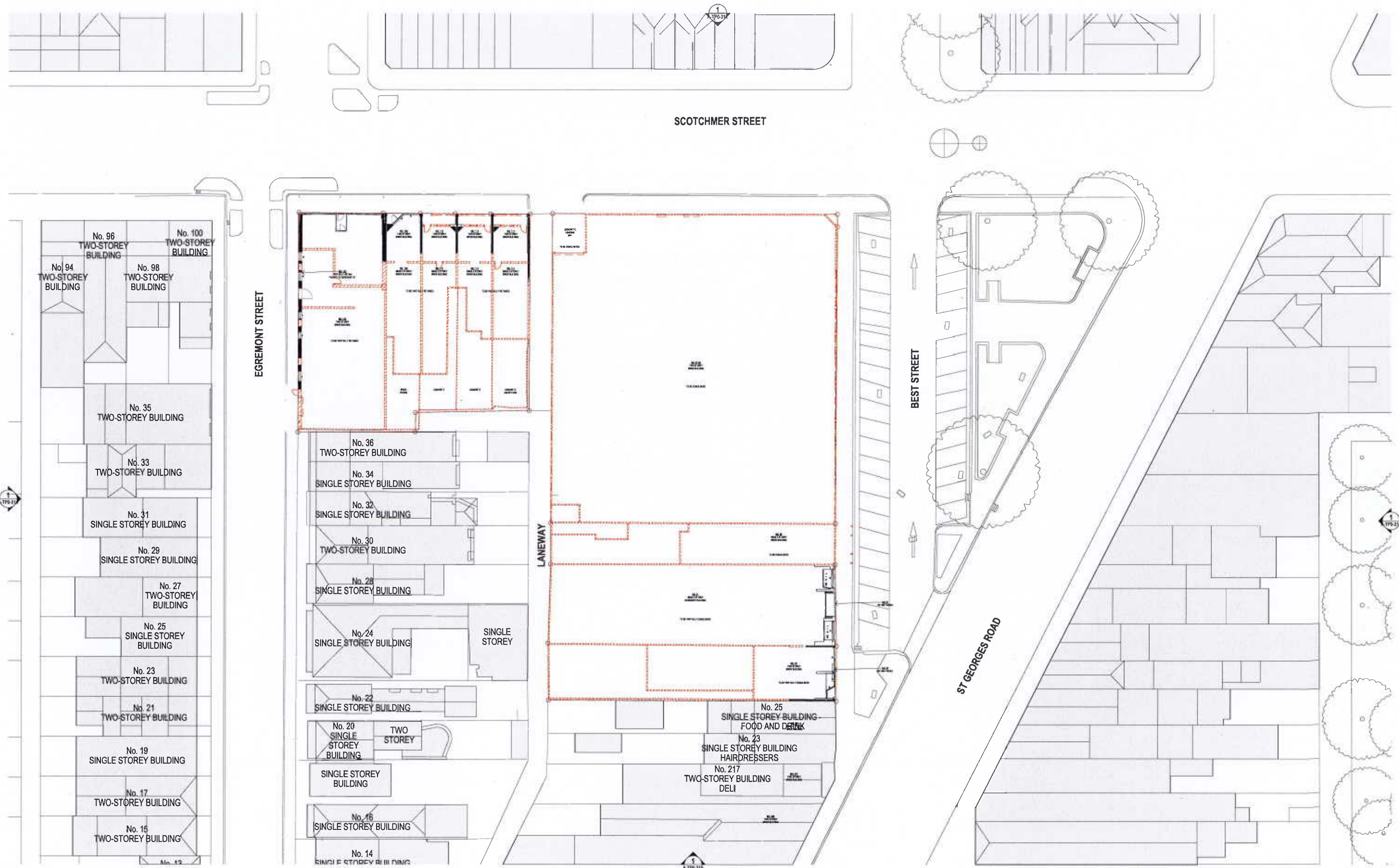
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01	18/12/18	TP ISSUE
02	18/12/18	AMENDMENTS
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04	12/01/19	COUNCIL ENDORSEMENT REVISION

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 NORTH**

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**GROUND FLOOR PLAN -
 DEMOLITION**

DATE
 18/12/2018

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STATUS
TOWN PLANNING

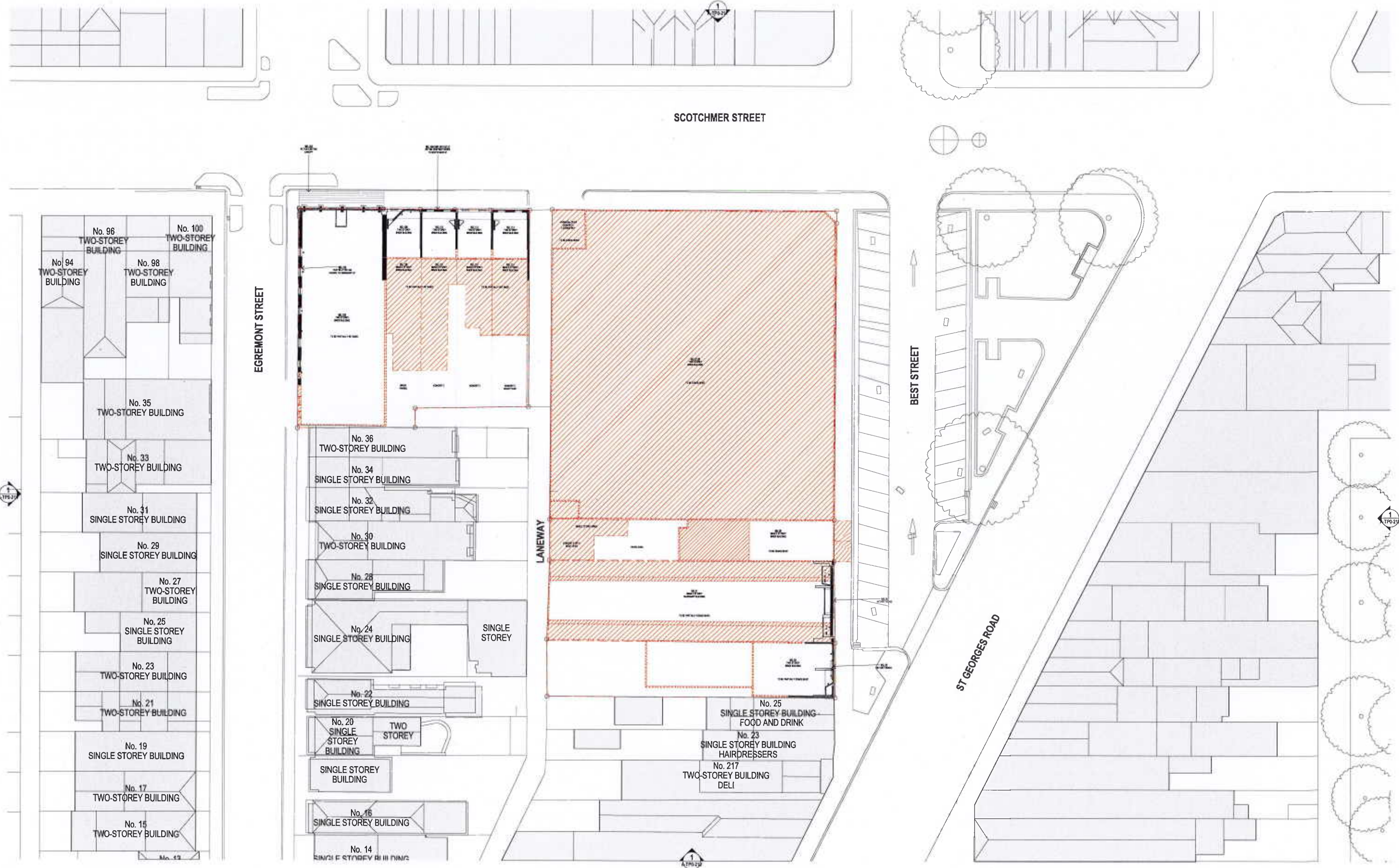
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01	18/02/19	AMENDED TP
02	18/06/19	REV ISSUE
04	18/12/18	COUNCIL ENDORSEMENT REVISION

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27-45 BEST STREET FITZROY
NORTH

DRAWING TITLE
FIRST FLOOR PLAN - DEMOLITION

DATE 18/12/2018 **CHECKED** TJ **APPROVED** LW

SCALE
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STATUS
TOWN PLANNING

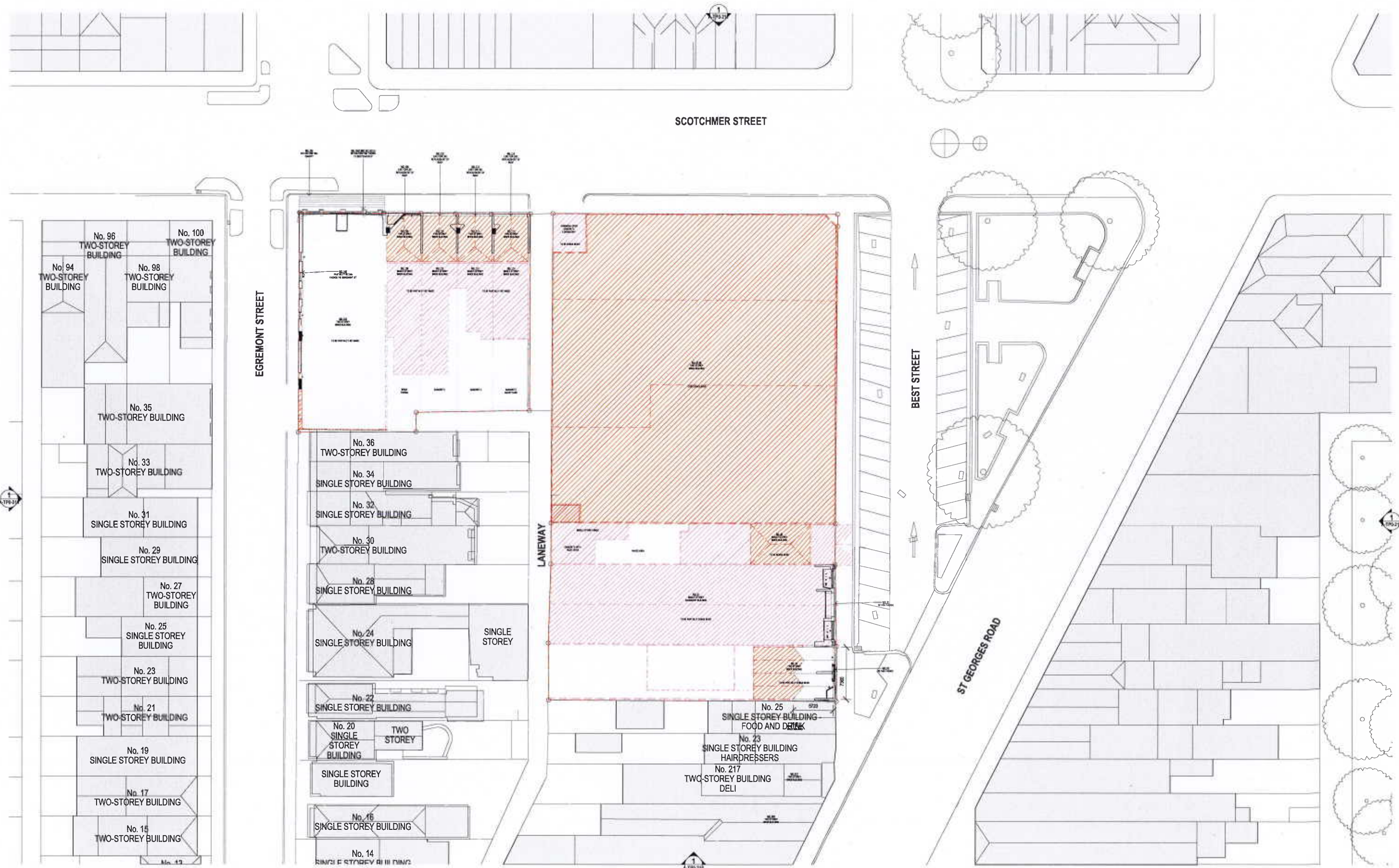
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DRAWING TITLE
ROOF PLAN - DEMOLITION

DATE 18/12/2018
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STATUS
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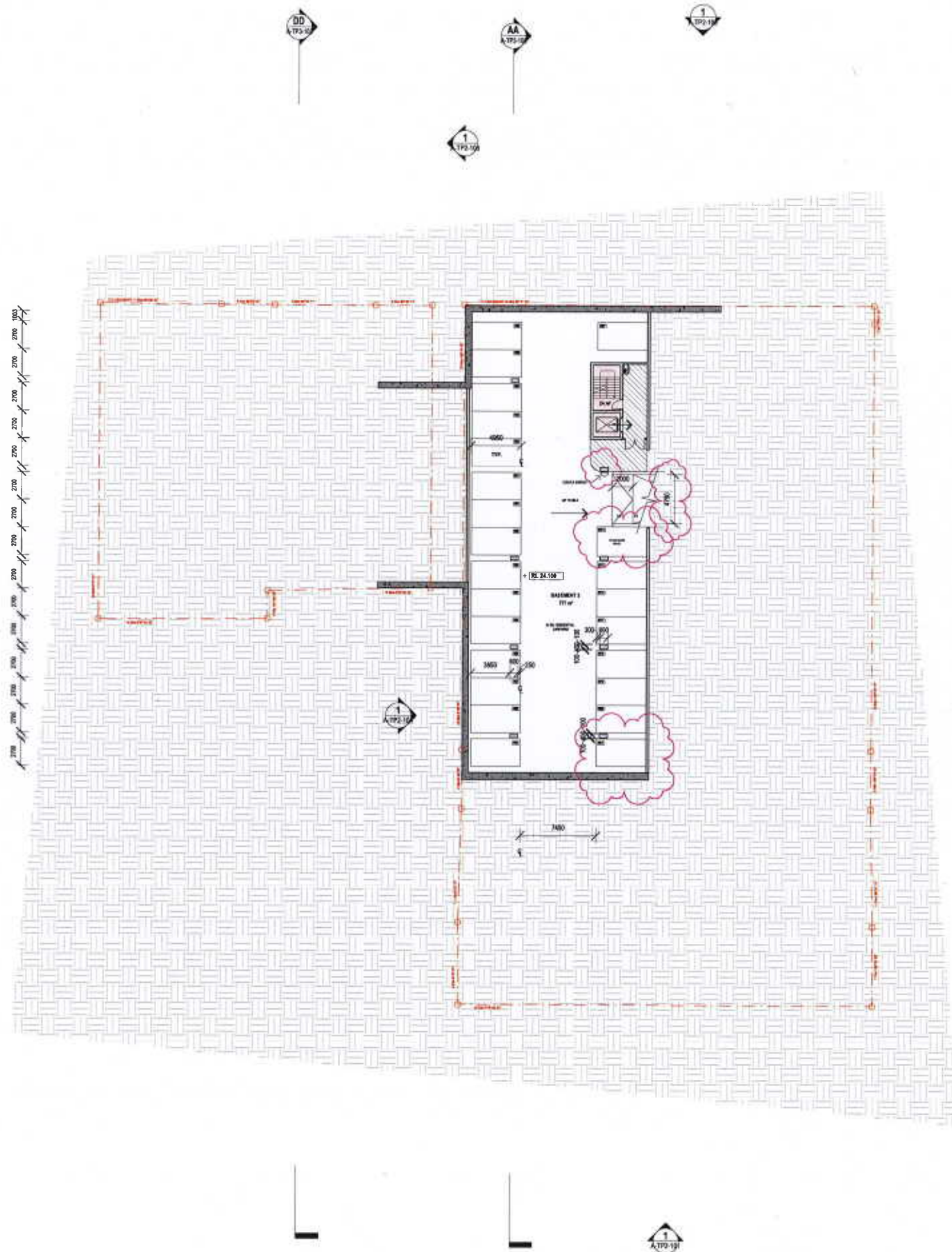
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04	12/03/19	COUNCIL ENGAGEMENT REVISION

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BASEMENT 03 PLAN

DATE
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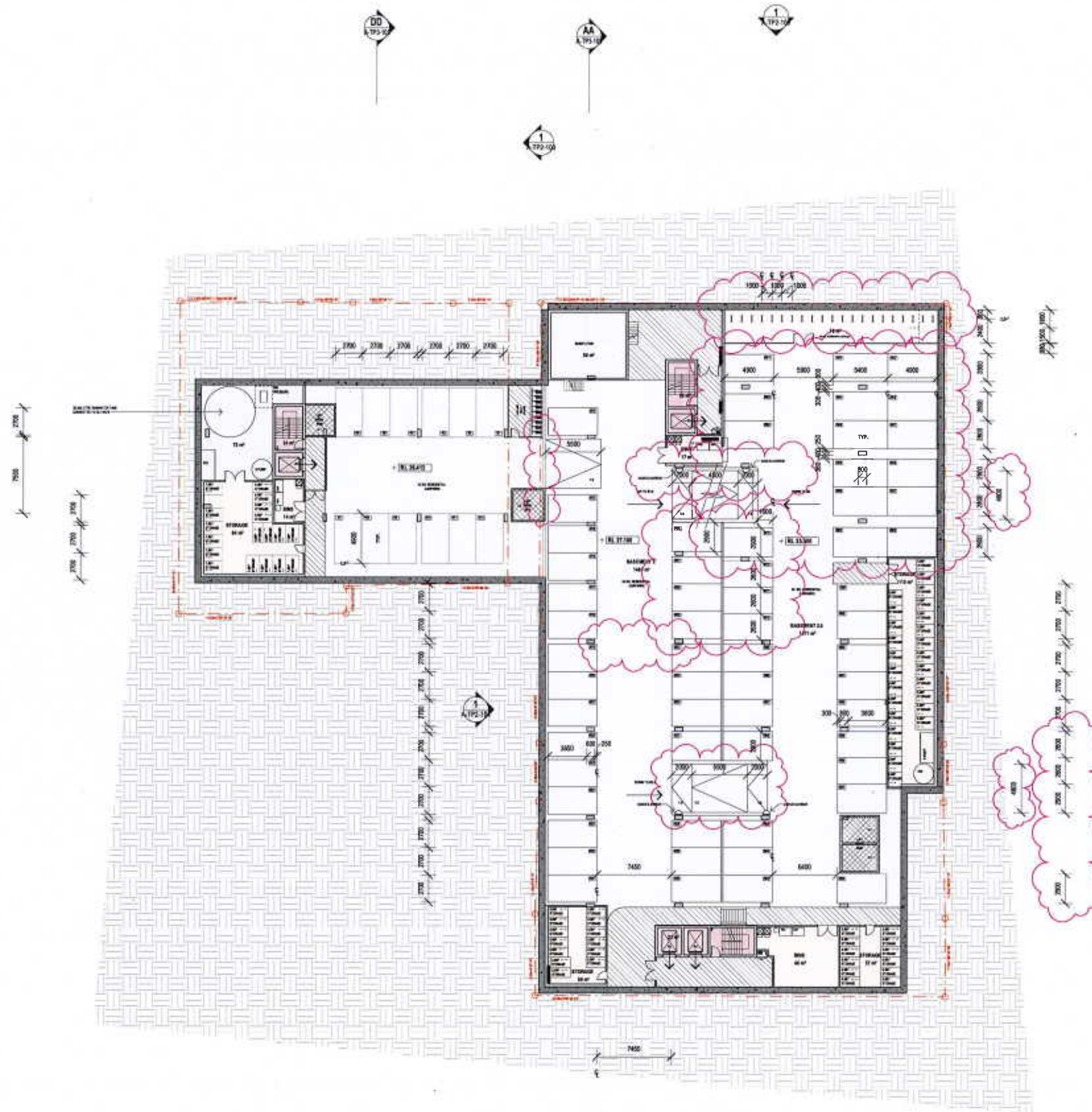
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BASEMENT 02 PLAN

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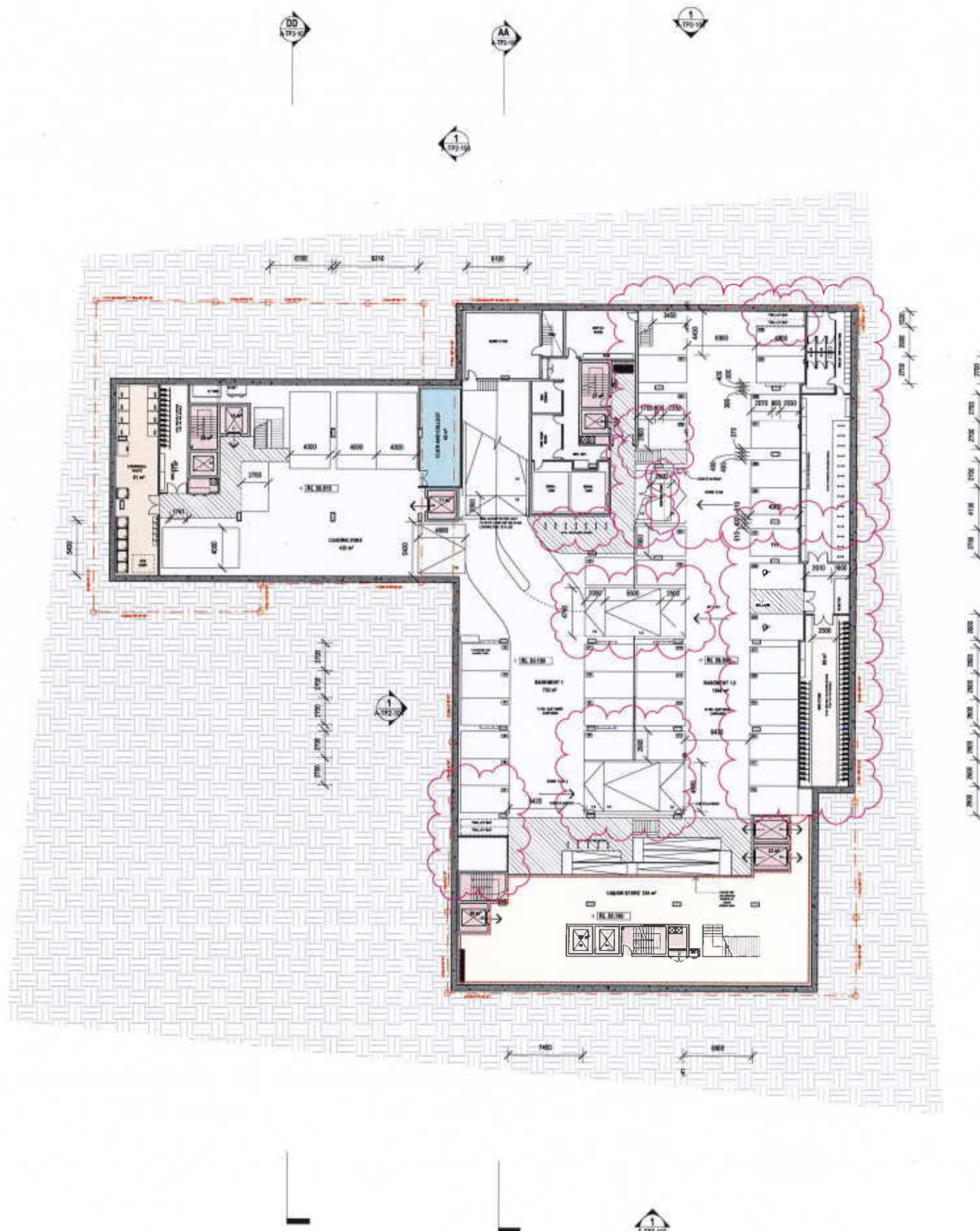
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02	14/05/19	BY ISSUE
04	12/12/19	COUNCIL RECOMMENDATION REVISION

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BASEMENT 01 PLAN

DATE: 18/12/2018
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SCALE
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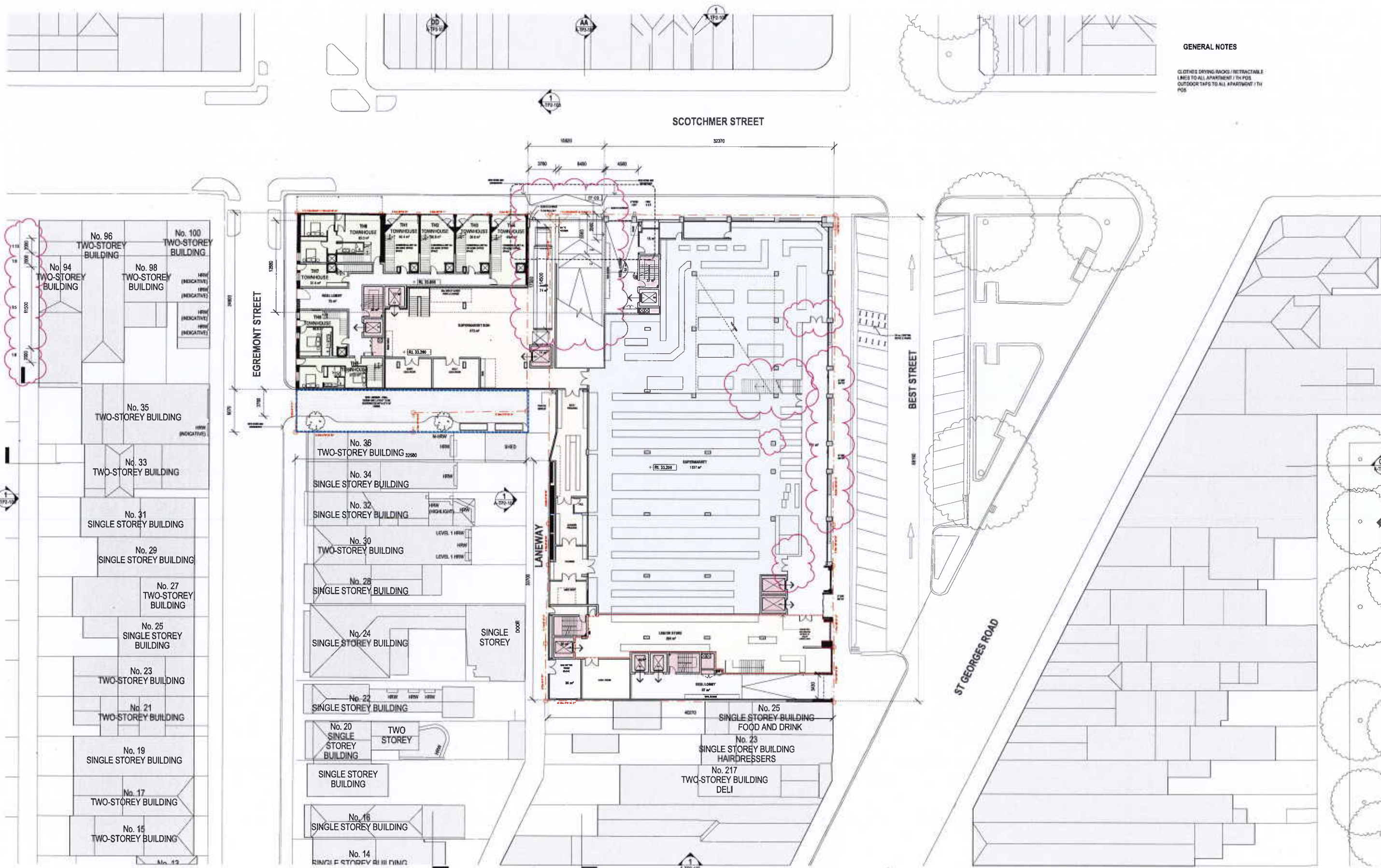
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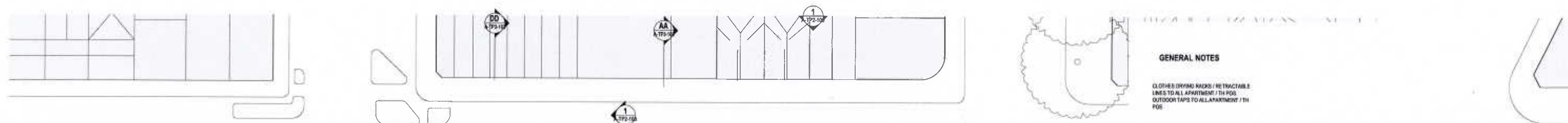
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04	10/03/18	COUNCIL ENFORCEMENT REVISION

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PIEDIMONTE'S SUPERMARKET
 PROJECT
**PIEDIMONTE'S SUPERMARKET
 27-45 BEST STREET FITZROY
 NORTH**

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GROUND FLOOR PLAN
 DATE
 18/12/2018
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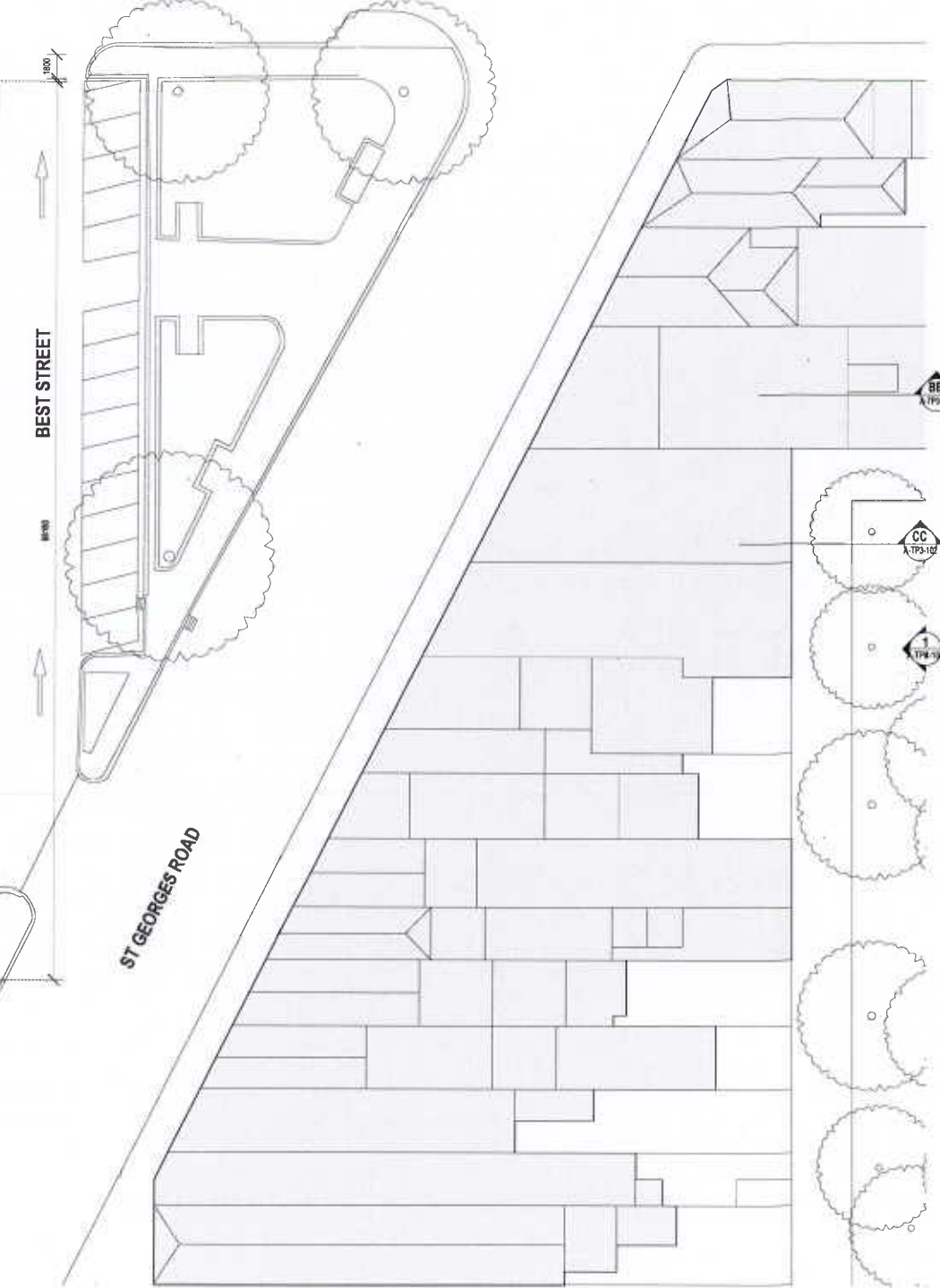
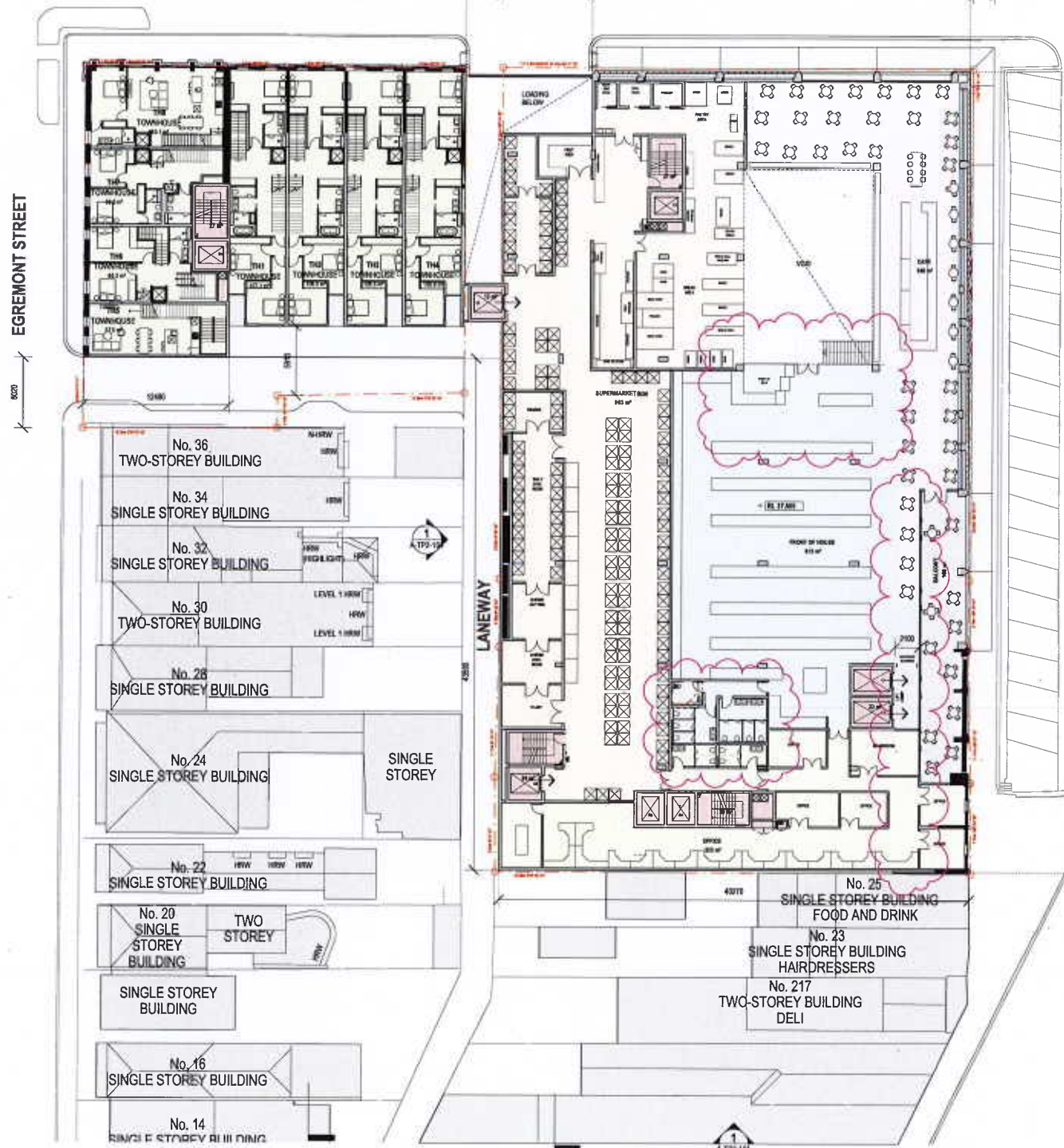
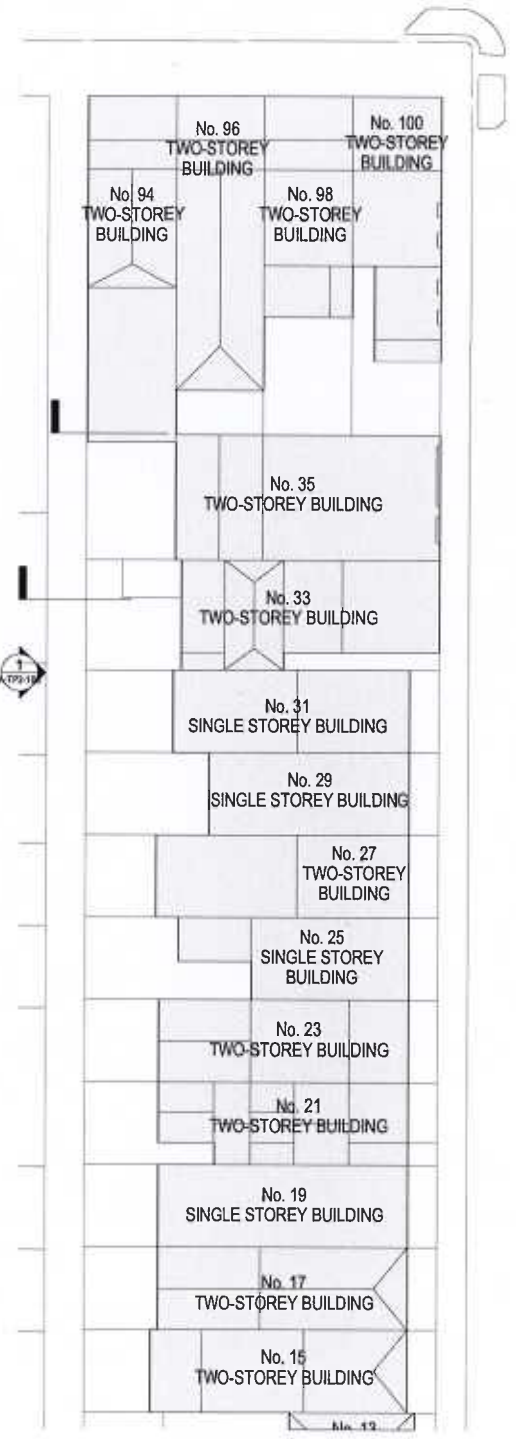
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01	10/02/19	AMENDED TP
02	10/02/19	REV ISSUE
04	10/12/18	COUNCIL ENDORSEMENT REVISION

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PIEDIMONTE'S SUPERMARKET

PROJECT
PIEDIMONTE'S SUPERMARKET
27-45 BEST STREET FITZROY
NORTH

DRAWING TITLE
FIRST FLOOR PLAN

DATE 18/12/2018
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SCALE
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STATUS
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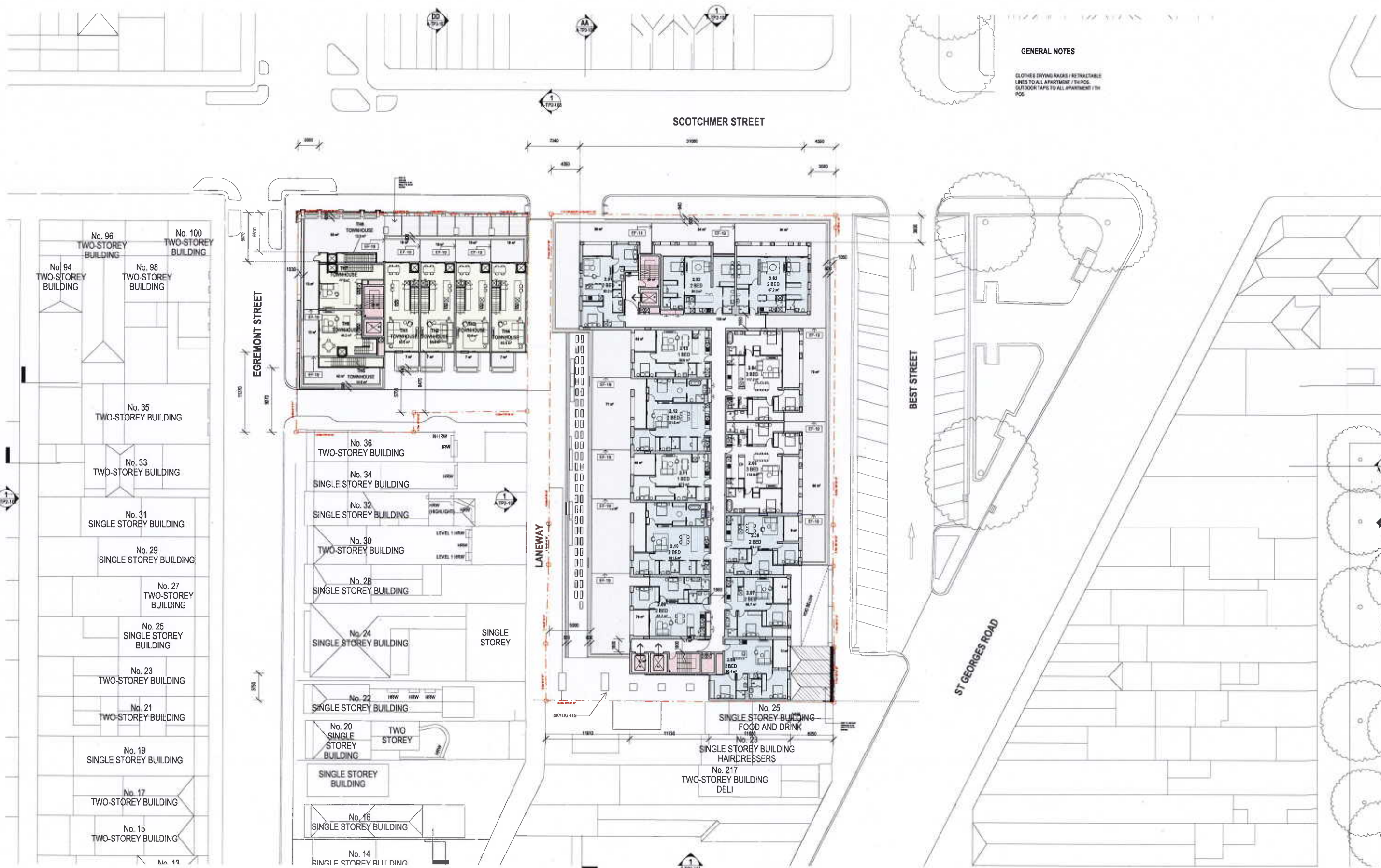
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02	18/12/18	SET OUT
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DRAWING TITLE
SECOND FLOOR PLAN

DATE 18/12/2018
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SCALE
 1 : 250

STATUS
TOWN PLANNING

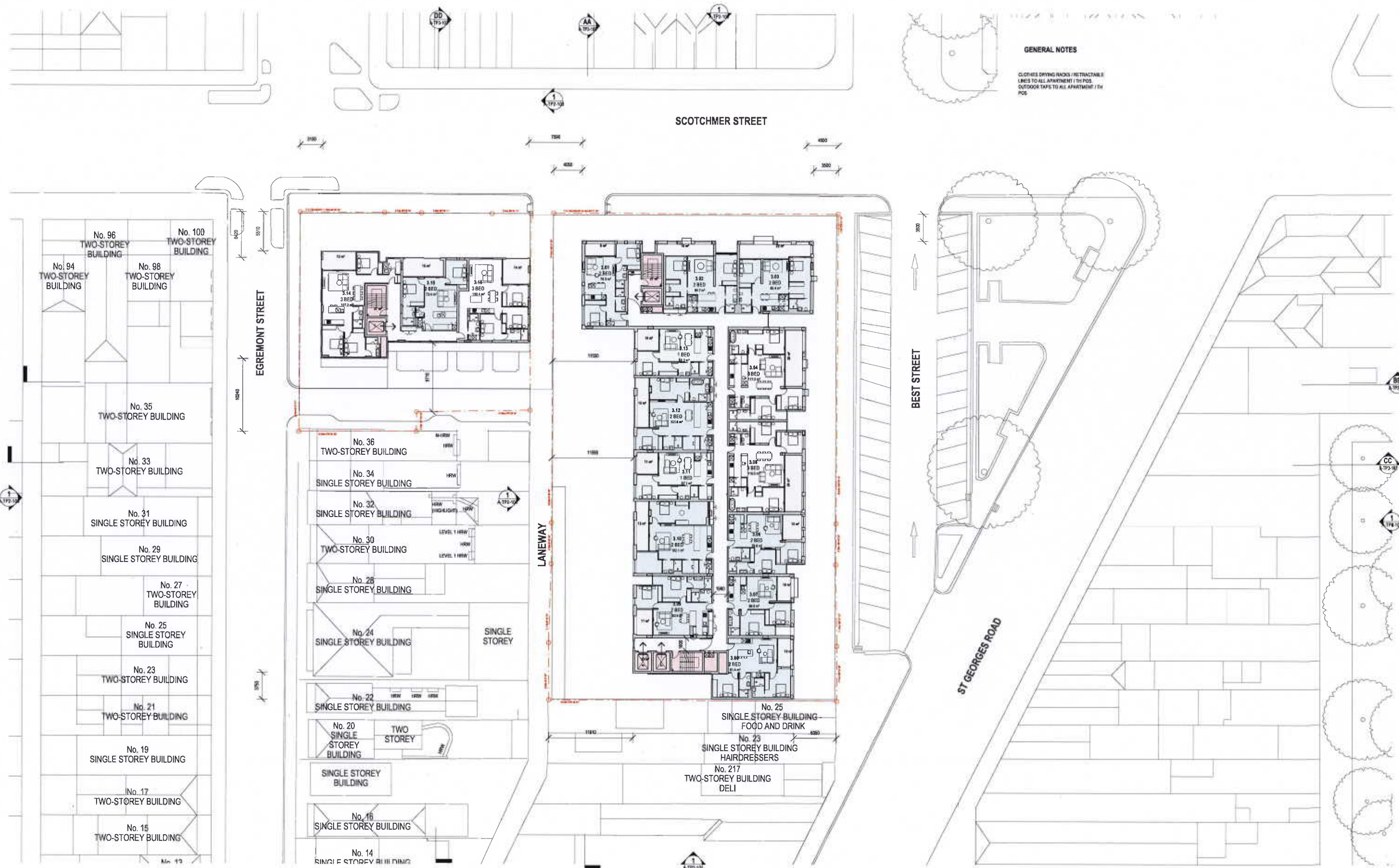
DRAWING NUMBER
A-TP1-105

PROJECT #
18-038

REVISION
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REV	DATE	DESCRIPTION
01	18/12/18	TP ISSUE
02	18/02/19	APPROVED TP
03	14/03/19	RT ISSUE
04	13/12/18	COUNCIL PRELIMINARY REVIEW

CLIENT
PIEDIMONTE'S SUPERMARKET

PROJECT
**PIEDIMONTE'S SUPERMARKET
 27-45 BEST STREET FITZROY
 NORTH**

DRAWING TITLE
THIRD FLOOR PLAN

DATE
18/12/2018

CHECKED
TJ

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LW

SCALE
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STATUS
TOWN PLANNING

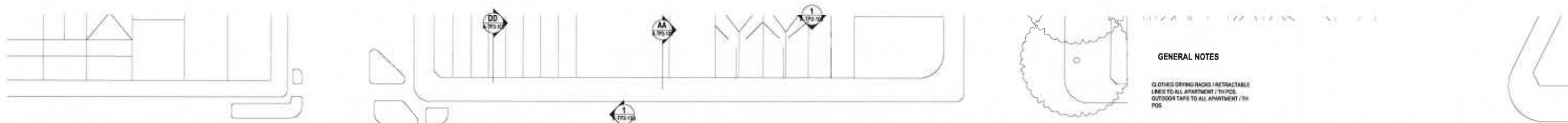
PROJECT #
18-038

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DRAWING NUMBER
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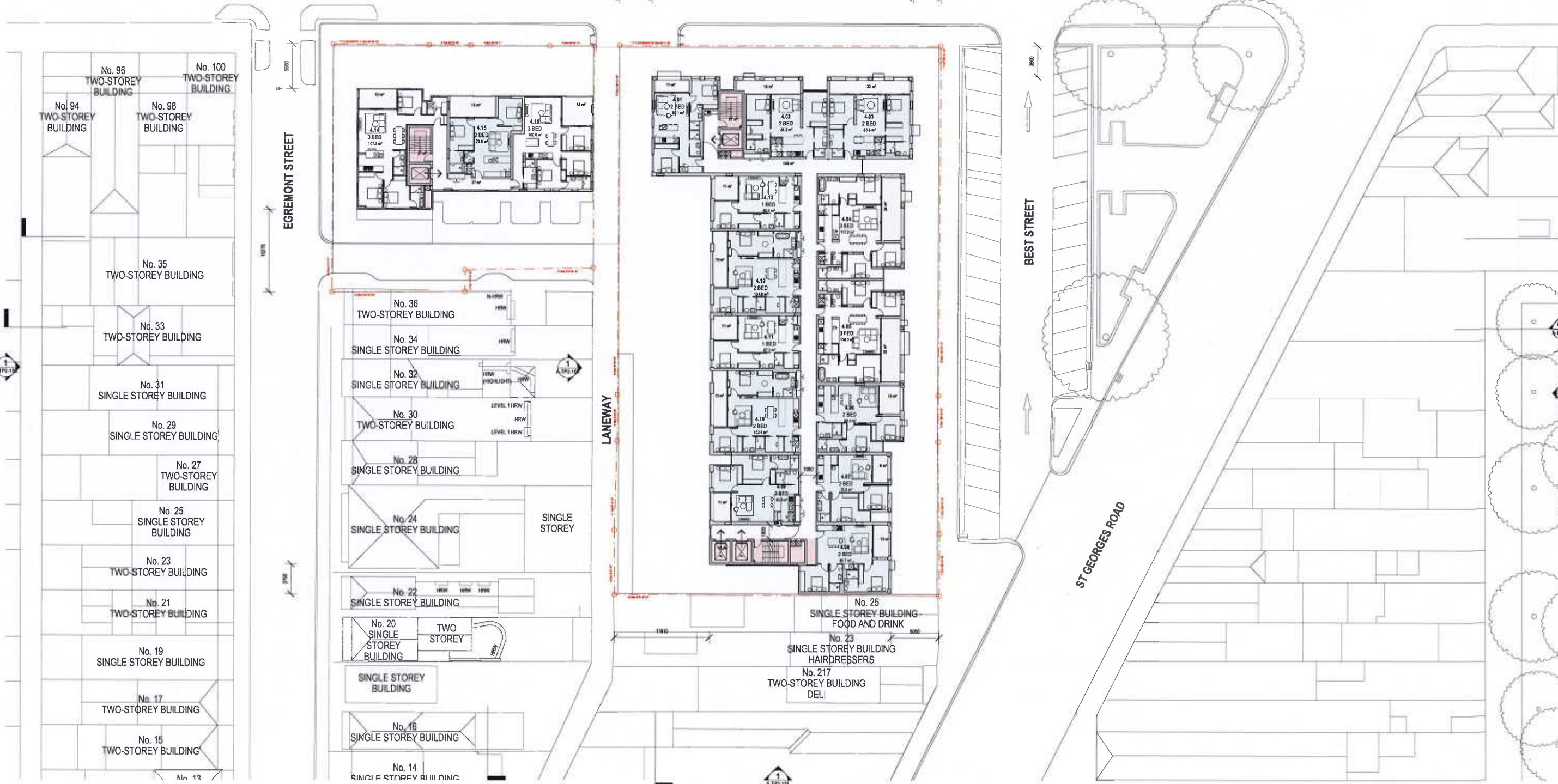
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00	18/12/18	TP ISSUE
01	18/12/18	AMENDED TP
02	18/12/18	REVISED
03	18/12/18	COUNCIL ENDORSEMENT REVISION

CLIENT
PIEDIMONTE'S SUPERMARKET

PROJECT
**PIEDIMONTE'S SUPERMARKET
 27-45 BEST STREET FITZROY
 NORTH**

DRAWING TITLE
FOURTH FLOOR PLAN

DATE
 18/12/2018

CHECKED
 TJ

APPROVED
 LW

SCALE
 1 : 250

STATUS
TOWN PLANNING

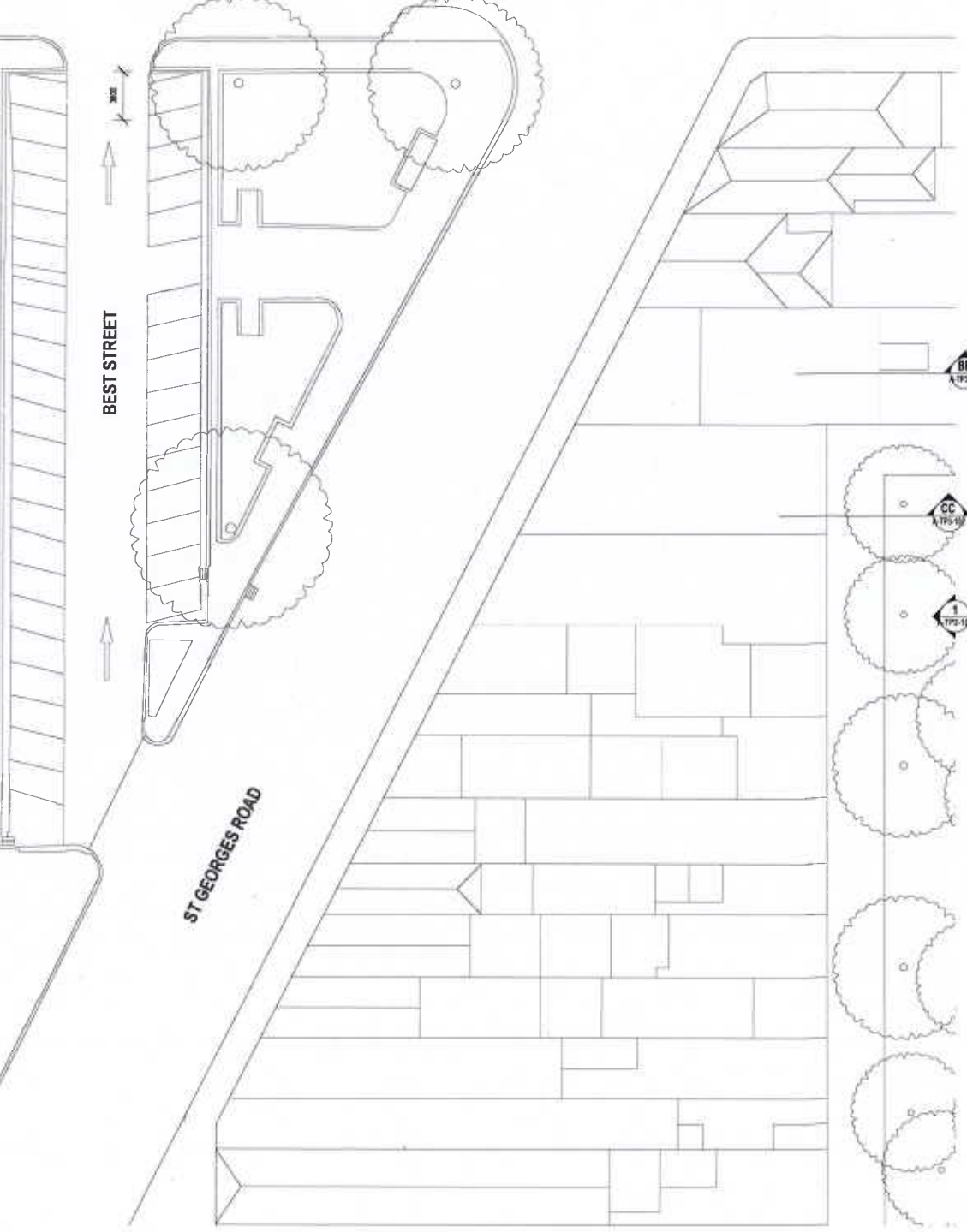
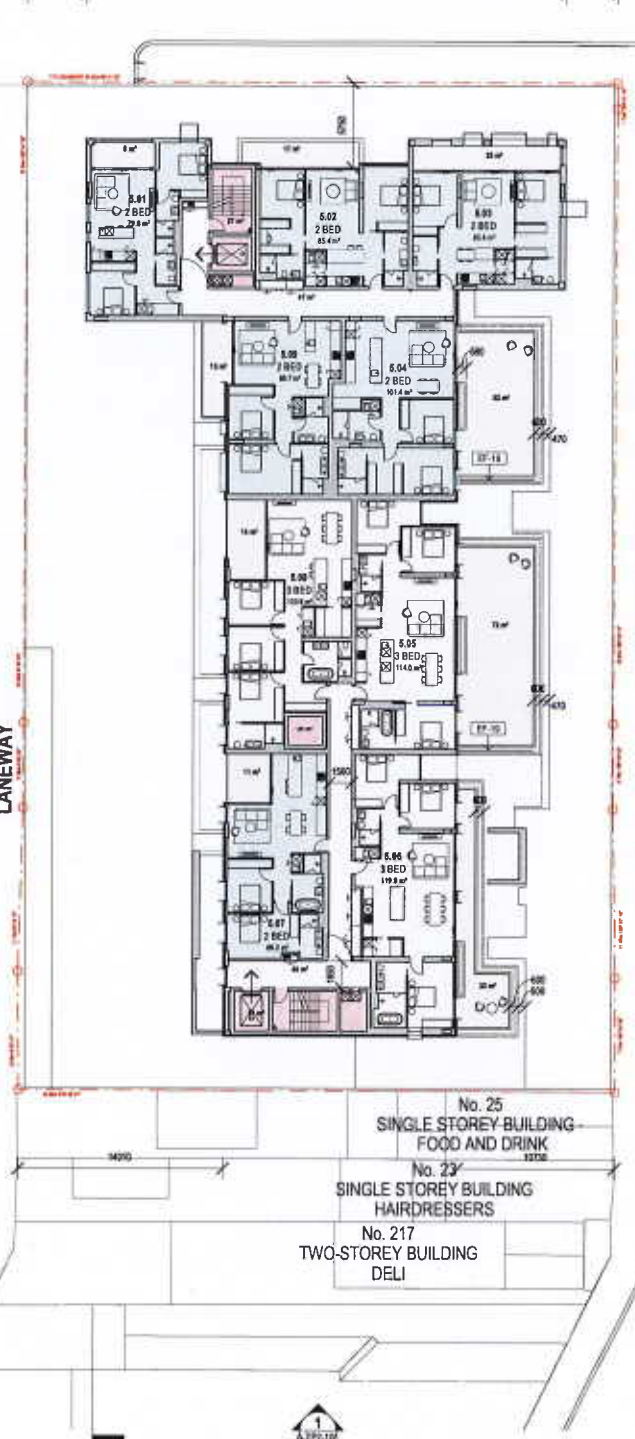
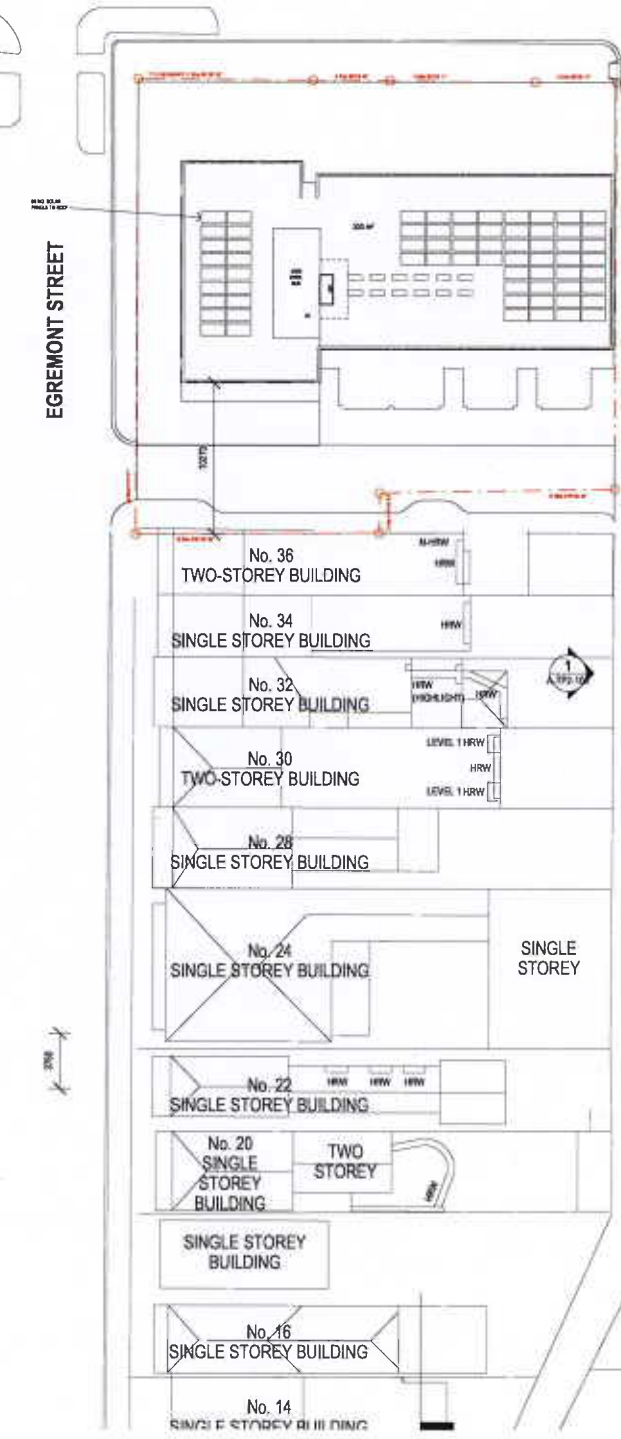
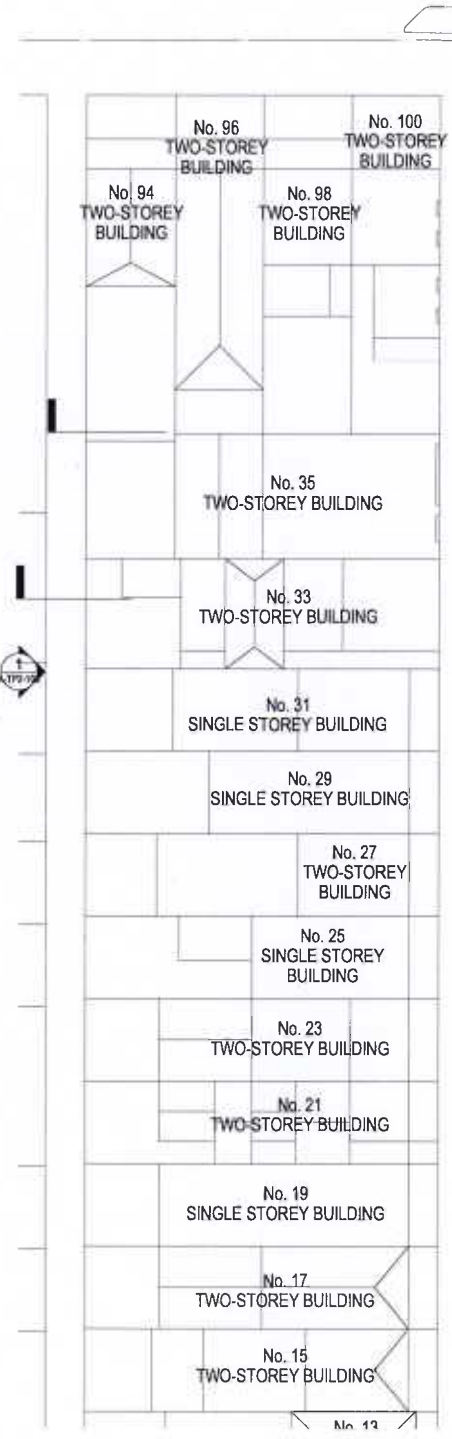
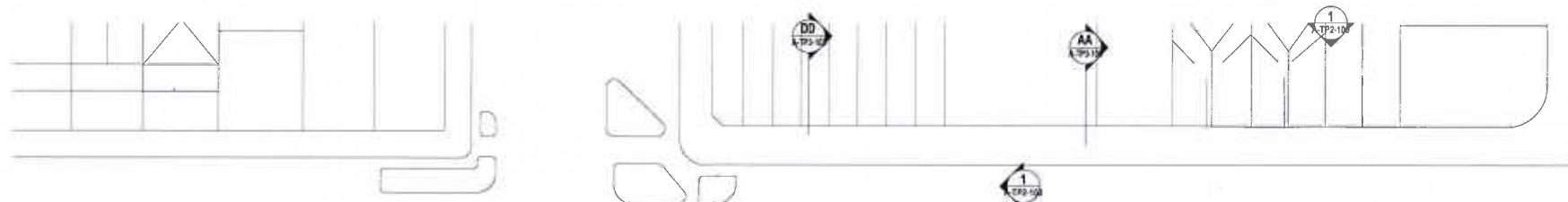
DRAWING NUMBER
A-TP1-107

PROJECT #
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REVISION
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01	18/12/18	TP ISSUE
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03	18/04/19	SAI ISSUE
04	18/12/19	COUNCIL ENDORSEMENT REVISION

CLIENT
 PIEDIMONTE'S SUPERMARKET

PROJECT
 PIEDIMONTE'S SUPERMARKET
 27-45 BEST STREET FITZROY
 NORTH

DRAWING TITLE
 FIFTH FLOOR PLAN

DATE
 18/12/2018

CHECKED
 TJ

APPROVED
 LW

SCALE
 1 : 250

STATUS
 TOWN PLANNING

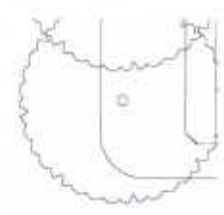
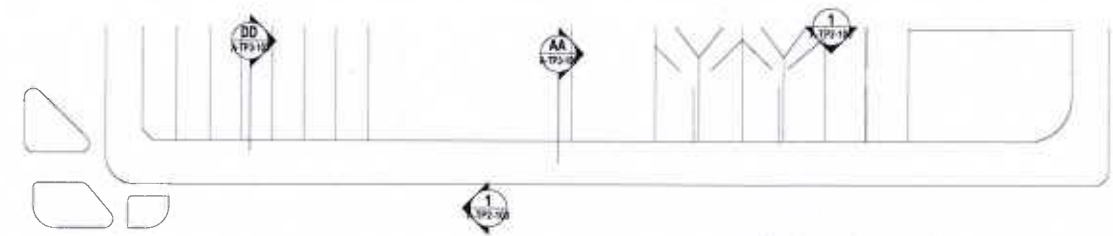
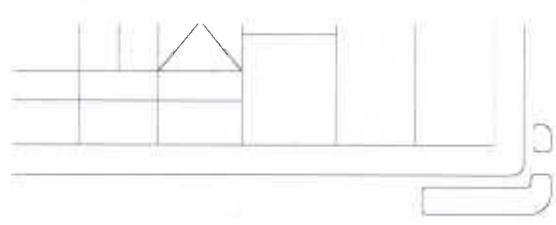
DRAWING NUMBER
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PROJECT #
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REVISION
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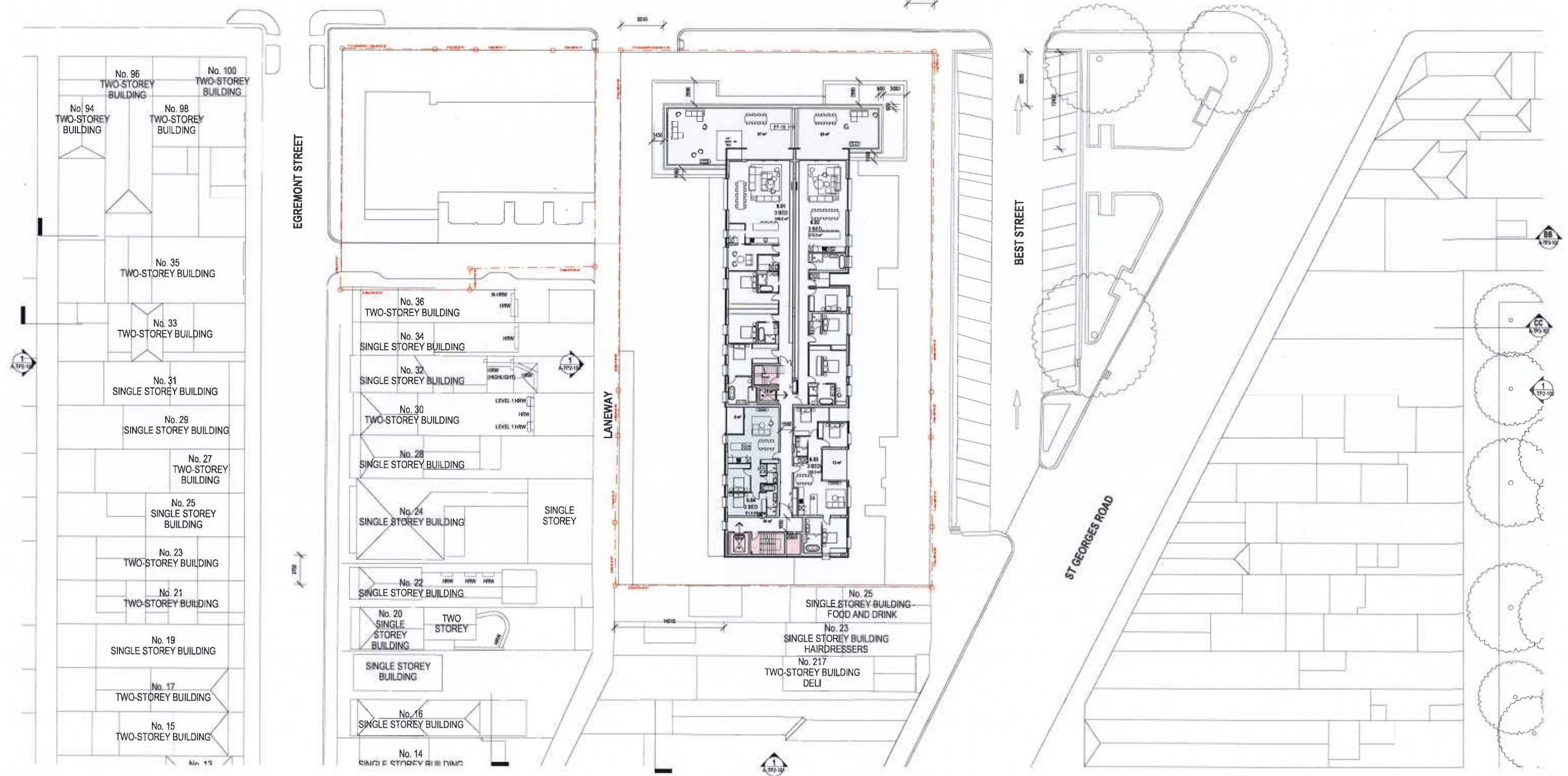
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GENERAL NOTES

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01	18/02/19	AMENDED TP
02	18/03/19	REV ISSUE
04	12/05/18	COUNCIL ENDORSEMENT RETURN

CLIENT
PIEDIMONTE'S SUPERMARKET

PROJECT
**PIEDIMONTE'S SUPERMARKET
27-45 BEST STREET FITZROY
NORTH**

DRAWING TITLE
SIXTH FLOOR PLAN

DATE
18/12/2018

CHECKED
TJ

APPROVED
LW

SCALE
1 : 250

STATUS
TOWN PLANNING

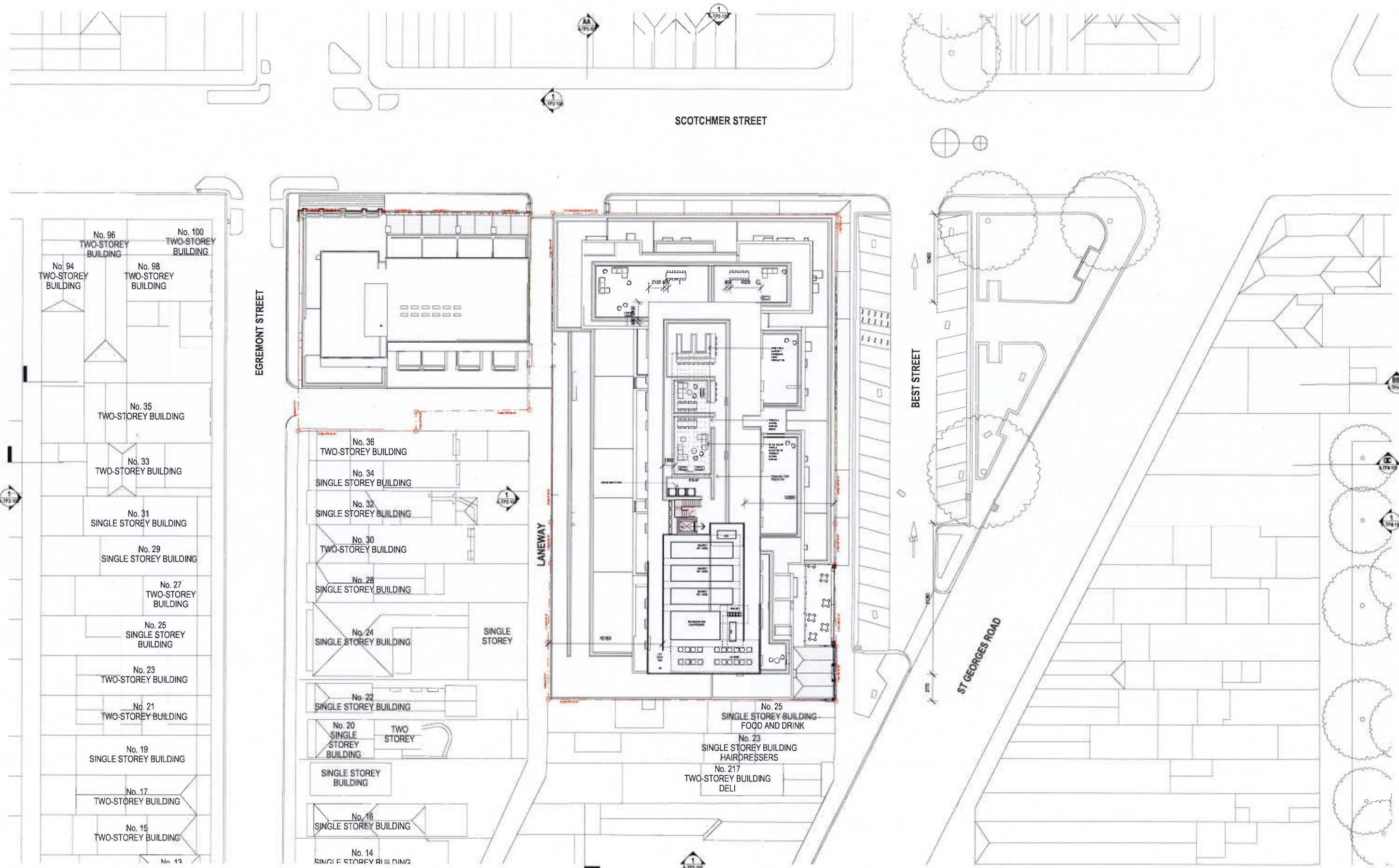
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01	18/02/19	AMENDED TP
02	18/06/18	OFF ISSUE
04	18/12/18	COUNCIL ENDORSEMENT REVISION

CLIENT
PIEDIMONTE'S SUPERMARKET

PROJECT
**PIEDIMONTE'S SUPERMARKET
 27-45 BEST STREET FITZROY
 NORTH**

DRAWING TITLE
ROOF PLAN

DATE
 18/12/2018

CHECKED
 TJ

APPROVED
 LW

SCALE
 1:250

STATUS
TOWN PLANNING

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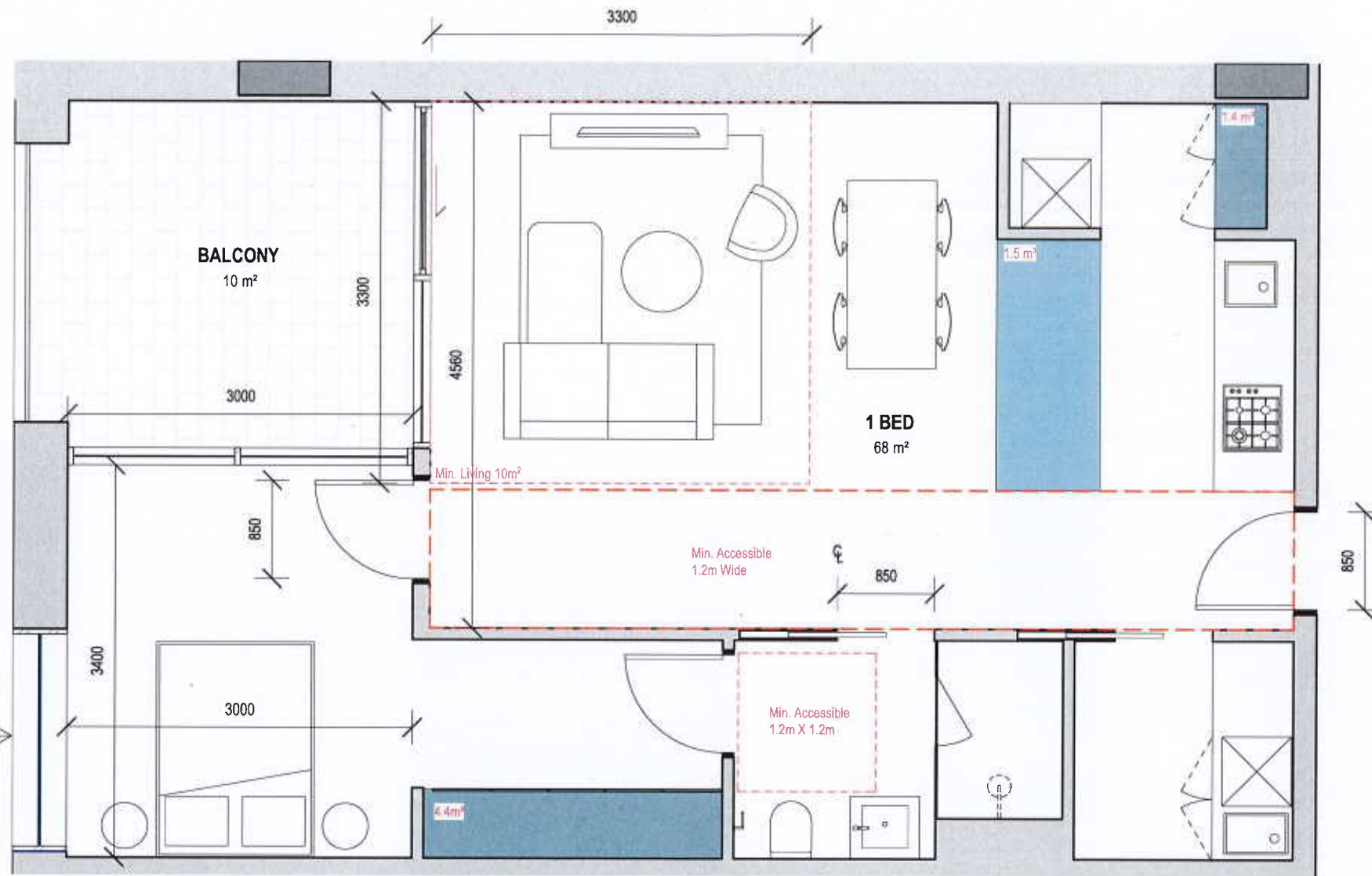
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WINDOW POSITION VARIES - REFER PLAN SERIES

Legend

- 2700H Robe storage unit
- 920H Kitchen storage unit
- 900H Overhead storage unit

Internal Storage Requirements:
 1 bed: 6m²
 2 bed: 9m²
 3 bed: 12m²
APT TOTAL STORAGE - 7.3m³

L = Living Room
 (3.0x3.3 10m²) 1 bed
 (3.0x3.6 12m²) 2 bed +
 MB = Main Bedroom
 (3.0x3.4m²)
 B = Standard Bedroom
 (3.0x3.0m²)

APARTMENT TYPE 1A

06 No. Apartment
 Apt 2.11, 2.13, 3.11, 3.13, 4.11, 4.13

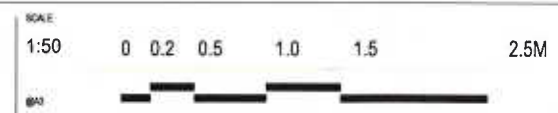
18-038 PIEDIMONTE'S - BADS ASSESSMENT MATRIX 190613

ROOM/DWELLING REQUIREMENTS																				
FUNCTIONAL LAYOUT				ROOM DEPTH		WINDOWS	STORAGE				NATURAL VENTILATION	PRIVATE OPEN SPACE			DOA COMPLIANCE					
MAIN BEDROOM	OTHER BEDROOM	LIVING AREA	KITCHEN	Ceiling Height	Rt Depth	COMPLIANT WINDOWS	1 BEDROOM DWELLING		2 BEDROOM DWELLING		3 BEDROOM DWELLING		1 BEDROOM DWELLING	2 BEDROOM DWELLING	3 BEDROOM DWELLING	ACCESSIBILITY COMPLIANCE	FRONT OVERHANGING	CLEAR PATH TO MAIN ENTRY, ADAPTABLE BATHROOM AND LIFT	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATHROOM	HEAT PUMP & BATHROOM TYPE 3 OR TYPE 2
30.4	30.3	0.0 W/ 10M²	0.0 W/ 12M²	2.7m	3M	0.5 UNITS	INT. TOTAL	EXT. TOTAL	INT. TOTAL	EXT. TOTAL	INT. TOTAL	EXT. TOTAL	0.00000W	0.0M / 0.0M²	0.0M / 0.0M²	0.0M / 0.0M²	0.000M	0.000M	0.0M	
1818	1A					N/A														A

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02	14/05/19	RFI ISSUE
03	30/10/19	Revision 4
04	12/12/19	COUNCIL ENDORSEMENT REVISION

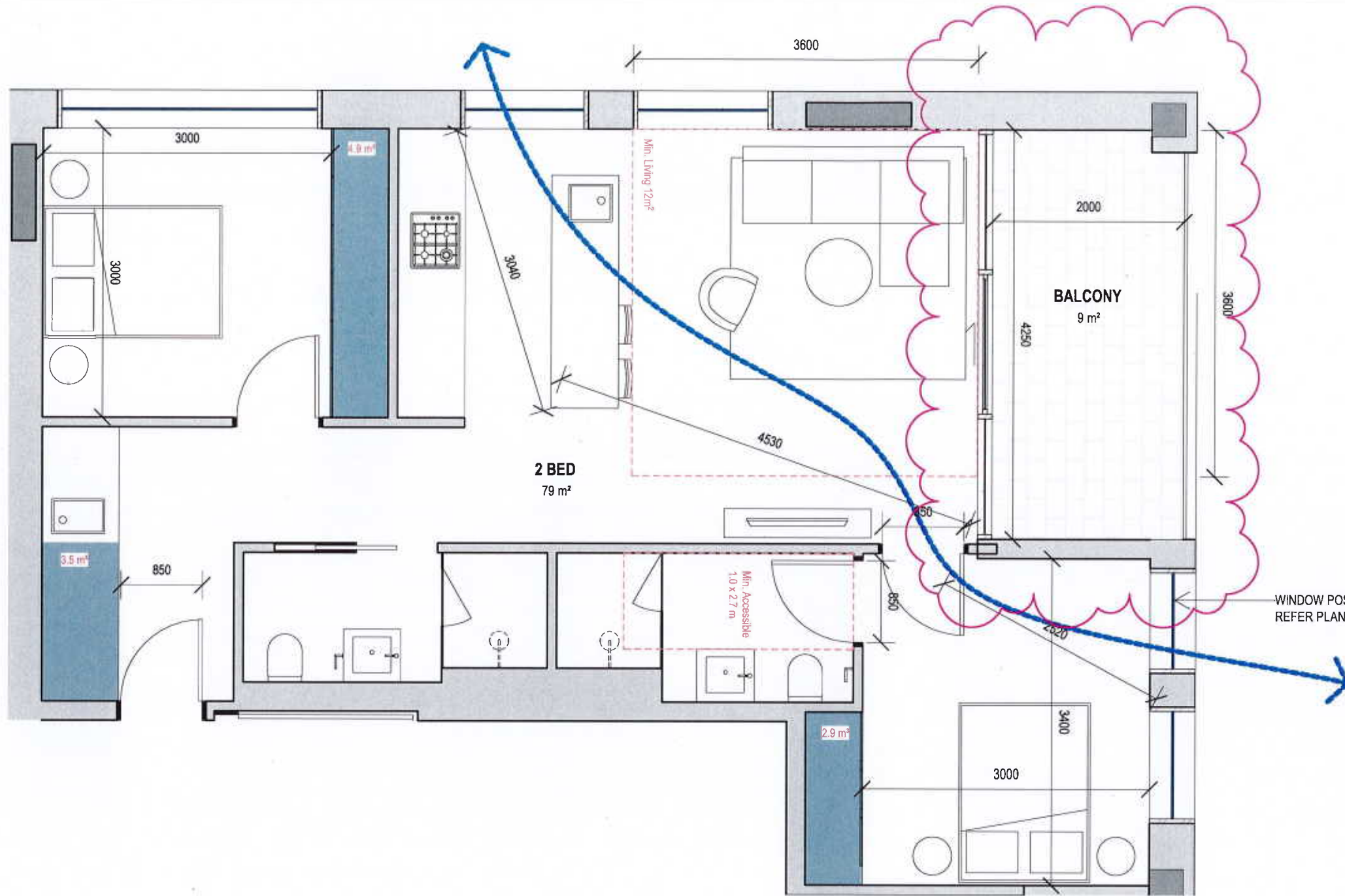
PROJECT #
18-038
 DATE
18/12/2018



PROJECT
PIEDIMONTE'S SUPERMARKET
27-45 BEST STREET FITZROY NORTH
 STATUS
TOWN PLANNING

DRAWING TITLE
BADS ASSESSMENT
 DRAWING NUMBER
A-TP9-101
 REVISION
04

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Legend

- 2700H Robe storage unit
- 920H Kitchen storage unit
- 900H Overhead storage unit

Internal Storage Requirements:
 1 bed: 6m²
 2 bed: 9m²
 3 bed: 12m²
APT TOTAL STORAGE - 11.3m³

L = Living Room
 (3.0x3.3 10m²) 1 bed
 (3.0x3.6 12m²) 2 bed +
 MB = Main Bedroom
 (3.0x3.4m²)
 B = Standard Bedroom
 (3.0x3.0m²)

APARTMENT TYPE 2A

04 No. Apartment
 Apt 2.01, 3.01, 4.01, 5.01,

18-038 PIEDIMONTE'S - BADS
 ASSESSMENT MATRIX
 190813

ROOM/DWELLING REQUIREMENTS																						
FUNCTIONAL LAYOUT				ROOM DEPTH		WINDOWS	STORAGE					NATURAL VENTILATION	PRIVATE OPEN SPACE			DDA COMPLIANCE						
MAIN BEDROOM	OTHER BEDROOM	LIVING AREA	KITCHEN AREA	Ceiling Height	APT DEPTH	COMPLIANT ENTRANCE	1 BEDROOM DWELLING		2 BEDROOM DWELLING		3 BEDROOM DWELLING		CROSS FLOW	2 BEDROOM DWELLING	1 BEDROOM DWELLING	2 BEDROOM DWELLING	ALL QUALITY COMPLIANT	FRONT DOOR OPENING	TO: MAX PATH TO MAIN BEDROOM ADAPTABLE & 90° TURNING RADIUS	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATHROOM	NEUTRAL BATHROOM TYPE A OR TYPE B	
BA1-A	BA1	3.0 x 3.0	3.0 x 3.0	2.3m	8M	1.8 x 1.8	0M INTERNAL	0M TOTAL	0M INTERNAL	0M TOTAL	0M INTERNAL	0M TOTAL	CROSS FLOW	0M x 0M	0M x 0M	0M x 0M	0.80M	0.80M	0.80M	0.80M	0.80M	0.80M
						N/A																

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04	12/12/19	COUNCIL ENDORSEMENT REVISION

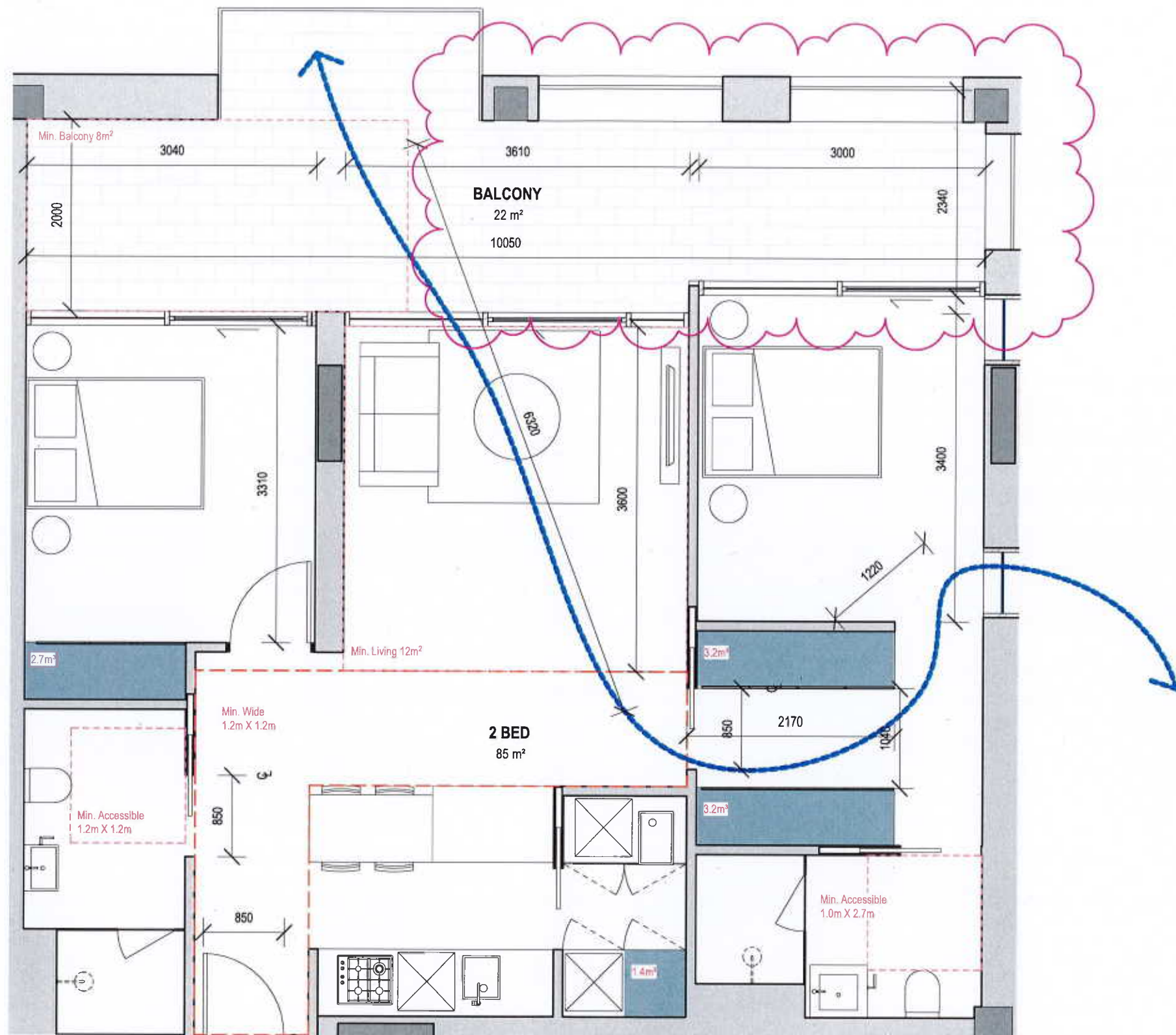
PROJECT #
18-038
 DATE
18/12/2018



PROJECT
PIEDIMONTE'S SUPERMARKET
27-45 BEST STREET FITZROY NORTH
 STATUS
TOWN PLANNING

DRAWING TITLE
BADS ASSESSMENT
 DRAWING NUMBER
A-TP9-102
 REVISION
04

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Legend

- 2700H Robe storage unit
- 920H Kitchen storage unit
- 900H Overhead storage unit

Internal Storage Requirements:
 1 bed: 6m²
 2 bed: 9m²
 3 bed: 12m²
APT TOTAL STORAGE - 10.5m³

L = Living Room
 (3.0x3.3 10m²) 1 bed
 (3.0x3.6 12m²) 2 bed +
 MB = Main Bedroom
 (3.0x3.4m²)
 B = Standard Bedroom
 (3.0x3.0m²)

APARTMENT TYPE 2B

08 No. Apartment
 Apt 2.02, 2.03, 3.02, 3.03, 4.02, 4.03, 5.02, 5.03

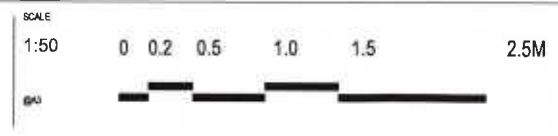
18-038 PIEDIMONTE'S - BADS
 ASSESSMENT MATRIX
 190613

ROOM/DWELLING REQUIREMENTS																					
FUNCTIONAL LAYOUT				ROOM DEPTH		WINDOWS	STORAGE					NATURAL VENTILATION	PRIVATE OPEN SPACE			DOA COMPLIANCE					
MAIN BEDROOM	OTHER BEDROOM	LIVING AREA	KITCHEN AREA	Ceiling Height	APT DEPTH	COMPLIANT WINDOW	1 BEDROOM DWELLING			2 BEDROOM DWELLING		3 BEDROOM DWELLING	1 BEDROOM DWELLING	2 BEDROOM DWELLING	3 BEDROOM DWELLING	ACCESSIBILITY COMPLIANCE	FRONT DOOR OPENING	CLEAR PATH TO MAIN BEDROOM ADAPTABLE BATHROOM ENTRY	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATHROOM	ADAPTION 2 BATHROOM TYPE A OR TYPE B	
33.0	36.0	3.0 X 3.0M	3.0 X 3.0M	2.7m	8M	1.0 X 1.8M	9M² INTERNAL	10M² TOTAL	9M² INTERNAL	10M² TOTAL	10M² INTERNAL	10M² TOTAL	CROSSLIGHT	1.0M X 2.7M	1.0M X 2.7M	1.0M X 2.7M	800MM	1.000MM	600MM	600MM	
						N/A							✓*	[4]							B

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02	14/05/19	RFI ISSUE
04	12/12/19	COUNCIL ENDORSEMENT REVISION

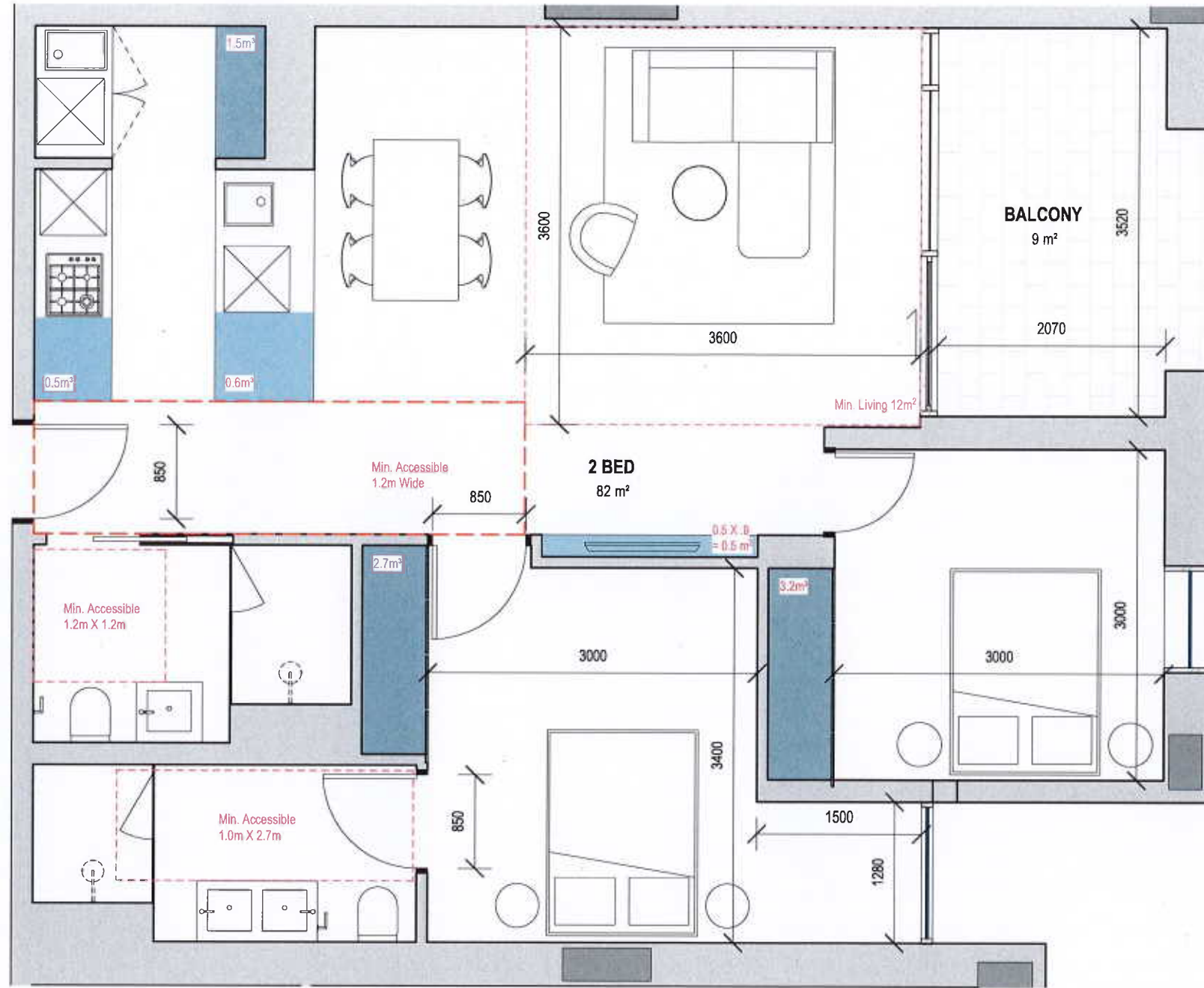
PROJECT #
18-038
 DATE
18/12/2018



PROJECT
PIEDIMONTE'S SUPERMARKET
27-45 BEST STREET FITZROY NORTH
 STATUS
TOWN PLANNING

DRAWING TITLE
BADS ASSESSMENT
 DRAWING NUMBER
A-TP9-103
 REVISION
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Legend

- 2700H Robe storage unit
- 920H Kitchen storage unit
- 900H Overhead storage unit

Internal Storage Requirements:
 1 bed: 6m²
 2 bed: 9m²
 3 bed: 12m²
APT TOTAL STORAGE - 9m²

L = Living Room
 (3.0x3.3 10m²) 1 bed
 (3.0x3.6 12m²) 2 bed +
 MB = Main Bedroom
 (3.0x3.4m²)
 B = Standard Bedroom
 (3.0x3.0m²)

APARTMENT TYPE 2C

03 No. Apartment
 Apt 2.06, 3.06, 4.06,

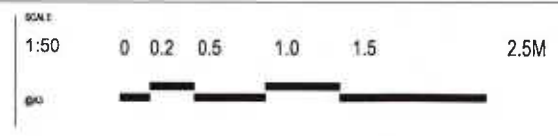
18-038 PIEDIMONTE'S - BADS
 ASSESSMENT MATRIX
 190613

ROOM/DWELLING REQUIREMENTS																						
FUNCTIONAL LAYOUT				ROOM DEPTH		WINDOWS	STORAGE				NATURAL VENTILATION	PRIVATE OPEN SPACE			DDA COMPLIANCE							
MAIN BEDROOM	OTHER BEDROOM	LIVING AREA	DINING AREA	Ceiling Height	APT DEPTH	COMPLIANT (STAIRS)	1 BEDROOM DWELLING		2 BEDROOM DWELLING		3 BEDROOM DWELLING		OVERLOOK	1 BEDROOM DWELLING	2 BEDROOM DWELLING	3 BEDROOM DWELLING	ACCESSIBILITY COMPLIANCE	FRONT DOOR OPENING	CLEAR PATH TO MAIN BEDROOM, ADAPTABLE BATHROOM AND LIVING	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATHROOM	ADAPTABLE BATHROOM TYPE A OR TYPE B	
38.2+	20.3	1.1 X 1.1M	1.4 X 1.2M	2.3M	5M	L.S. L/RATE	INT. INTERNAL	INT. TOTAL	INT. INTERNAL	INT. TOTAL	INT. INTERNAL	INT. TOTAL	OVERLOOK	1.0M ² / 5M ²	2.0M ² / 5M ²	2.4M ² / 5M ²	ACCESSIBILITY COMPLIANCE	FRONT DOOR OPENING	YES/NO	YES/NO	YES/NO	
2C																						A/B

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02	14/05/19	RFI ISSUE
04	12/12/19	COUNCIL ENDORSEMENT REVISION

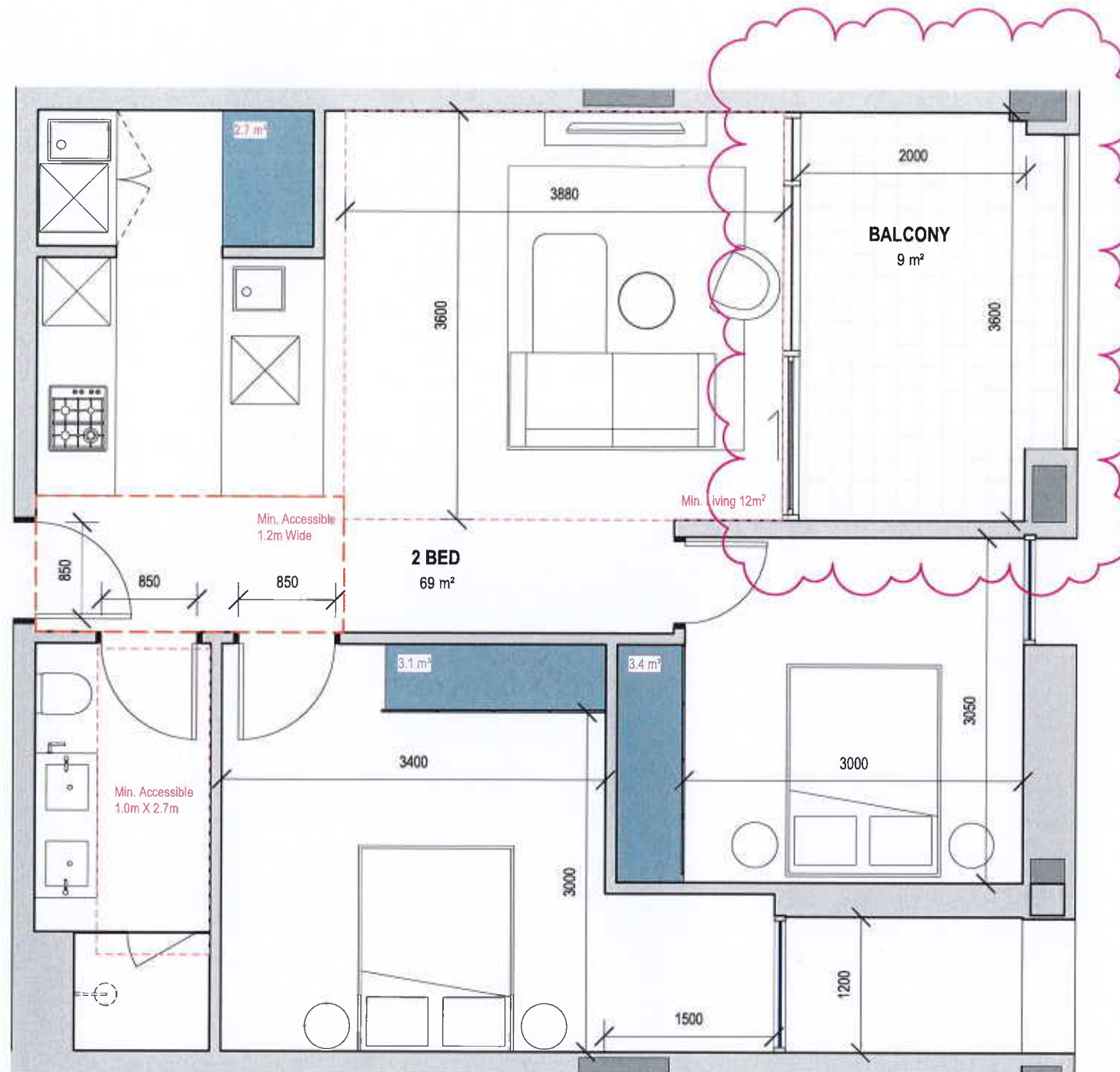
PROJECT #
18-038
 DATE
18/12/2018



PROJECT
PIEDIMONTE'S SUPERMARKET
27-45 BEST STREET FITZROY NORTH
 STATUS
TOWN PLANNING

DRAWING TITLE
BADS ASSESSMENT
 DRAWING NUMBER
A-TP9-104
 REVISION
04





Legend

- 2700H Robe storage unit
- 920H Kitchen storage unit
- 900H Overhead storage unit

Internal Storage Requirements:
 1 bed: 6m²
 2 bed: 9m²
 3 bed: 12m²
APT TOTAL STORAGE - 9.2m³

L = Living Room
 (3.0x3.3 10m²) 1 bed
 (3.0x3.6 12m²) 2 bed +
 MB = Main Bedroom
 (3.0x3.4m²)
 B = Standard Bedroom
 (3.0x3.0m²)

APARTMENT TYPE 2D

03 No. Apartment
 Apt 2.07, 3.07, 4.07

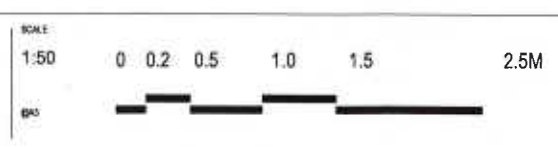
18-038 PIEDIMONTE'S - BADS
 ASSESSMENT MATRIX
 190613

ROOM/DWELLING REQUIREMENTS																						
FUNCTIONAL LAYOUT				ROOM DEPTH		WINDOWS	STORAGE						NATURAL VENTILATION	PRIVATE OPEN SPACE			DDA COMPLIANCE					
MAIN BEDROOM	OTHER BEDROOM	LIVING AREA	KITCHEN AREA	CEILING HEIGHT	APT DEPTH	COMPLIANT WINDOWS	1 BEDDING DWELLING		2 BEDDING DWELLING		3 BEDDING DWELLING			1 BEDDING DWELLING	2 BEDDING DWELLING	3 BEDDING DWELLING	40% VISIBILITY COMPLIANCE	FRONT DOOR OPENING	CLEAR PATH TO MAIN BEDROOM ADAPTING TO BATHROOM AND LIVING	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATHROOM	ADAPTABLE BATHROOM TYPE A OR TYPE B	
3.0x3.4	3.0	3.0x3.6	3.0x3.3	2.3m	3.6m	3.3 (4.0)	INT	TOTAL	INT	TOTAL	INT	TOTAL	INT	1.0m / 1.0m	1.0m / 1.0m	1.0m / 1.0m	850MM	1200MM	N/A	N/A	N/A	
2018	20																					

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02	14/05/19	RFI ISSUE
04	12/12/19	COUNCIL ENDORSEMENT REVISION

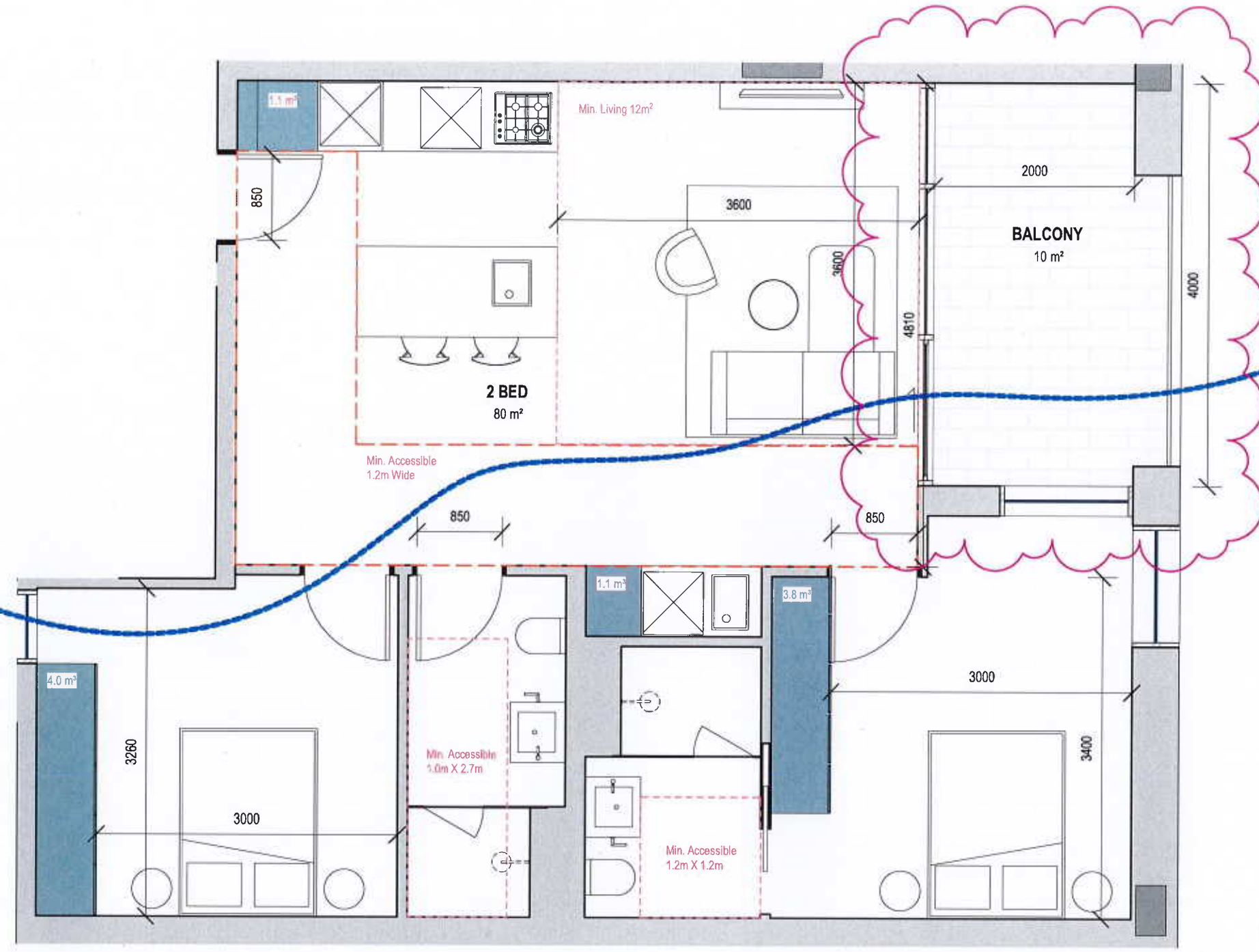
PROJECT #
18-038
 DATE
18/12/2018



PROJECT
PIEDIMONTE'S SUPERMARKET
27-45 BEST STREET FITZROY NORTH
 STATUS
TOWN PLANNING

DRAWING TITLE
BADS ASSESSMENT
 DRAWING NUMBER
A-TP9-105
 REVISION
04

Jackson
 Clements
 Burrows
 Architects



Legend

- 2700H Robe storage unit
- 920H Kitchen storage unit
- 900H Overhead storage unit

Internal Storage Requirements:
 1 bed: 6m²
 2 bed: 9m²
 3 bed: 12m²
APT TOTAL STORAGE - 10m³

L = Living Room
 (3.0x3.3 10m²) 1 bed
 (3.0x3.6 12m²) 2 bed +

MB = Main Bedroom
 (3.0x3.4m²)

B = Standard Bedroom
 (3.0x3.0m²)

APARTMENT TYPE 2E

03 No. Apartment
 Apt 2.08, 3.08, 4.08

18-038 PIEDIMONTE'S - BADS
 ASSESSMENT MATRIX
 190613

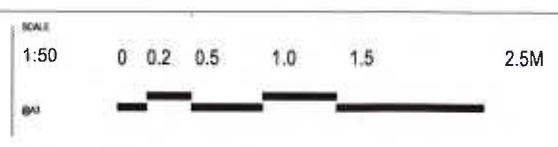
ROOM/DWELLING REQUIREMENTS																			
FUNCTIONAL LAYOUT				ROOM DEPTH		WINDOWS	STORAGE			NATURAL VENTILATION	PRIVATE OPEN SPACE			DDA COMPLIANCE					
MAIN BEDROOM	OTHER BEDROOM	LIVING AREA	KITCHEN AREA	Ceiling Height	RM Depth	Compliant Window	3 BEDROOM DWELLING		2 BEDROOM DWELLING	1 BEDROOM DWELLING	3 BEDROOM DWELLING	2 BEDROOM DWELLING	1 BEDROOM DWELLING	ACCESSIBILITY COMPLIANCE	PRIVATE OPEN SPACING	CLEAR PATH TO MAIN ENTRANCE, ADAPTIBLE BATHROOM AND L.V.P.	MAIN BEDROOM HAS ACCESS TO ADAPTIBLE BATHROOM	ADAPTIBLE BATHROOM TYPE A OR TYPE B	
3.0 x 3.4	3.0 x 3.0	3.0 x 3.6	3.0 x 3.3	2.1m	3m	3.3 x 1.80m	RM INTERNAL	LOP TOTAL	RM INTERNAL	LOP TOTAL	RM INTERNAL	LOP TOTAL	CRATED LOW	1.8M / 2.0M	1.8M / 2.0M	2.0M / 2.2M	YES	NO	A/B
✓	✓	✓	✓	✓	✓	N/A	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	A/B

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04	12/12/19	COUNCIL ENDORSEMENT REVISION

PROJECT #
18-038

DATE
18/12/2018



PROJECT
PIEDIMONTE'S SUPERMARKET
27-45 BEST STREET FITZROY NORTH

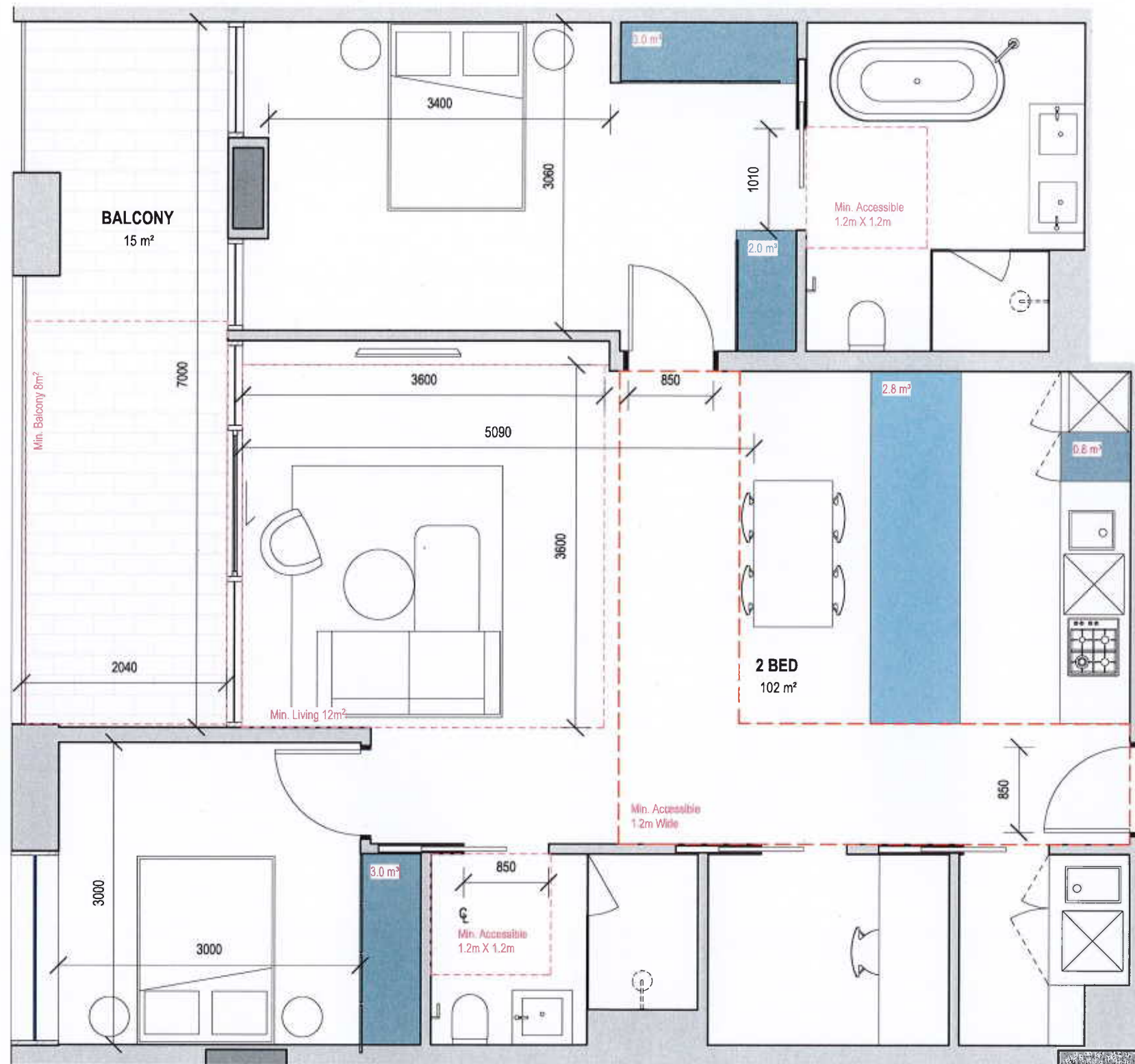
STATUS
TOWN PLANNING

DRAWING TITLE
BADS ASSESSMENT

DRAWING NUMBER
A-TP9-106

REVISION
04





Legend

- 2700H Robe storage unit
- 920H Kitchen storage unit
- 900H Overhead storage unit

Internal Storage Requirements:

- 1 bed: 6m²
- 2 bed: 9m²
- 3 bed: 12m²

APT TOTAL STORAGE - 11.6m²

- L = Living Room
(3.0x3.3 10m²) 1 bed
(3.0x3.6 12m²) 2 bed +
- MB = Main Bedroom
(3.0x3.4m²)
- B = Standard Bedroom
(3.0x3.0m²)

APARTMENT TYPE 2F

06 No. Apartment
Apt 2.10, 2.12, 3.10, 3.12, 4.10, 4.12

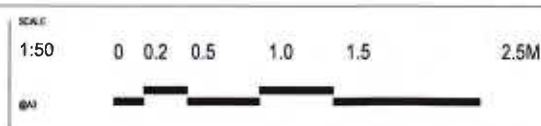
18-038 PIEDIMONTE'S - BADS
ASSESSMENT MATRIX
190613

ROOM/DWELLING REQUIREMENTS																						
FUNCTIONAL LAYOUT				ROOM DEPTH		WINDOWS	STORAGE						NATURAL VENTILATION	PRIVATE OPEN SPACE			DGA COMPLIANCE					
MAIN BEDROOM	OTHER BEDROOM	LIVING AREA	KITCHEN AREA	CORNER HEIGHT	APT DEPTH	COMPLIANT WINDOWS	1 BEDROOM DWELLING		2 BEDROOM DWELLING		3 BEDROOM DWELLING		CROSS LOW	1 BR / 1 BRP	2 BR / 2 BRP	3 BR / 3 BRP	ACCESSIBILITY COMPLIANCE	FRONT YARD OPENING	CLEAR PATH TO MAIN BEDROOM, ADAPTIBLE BATHROOM AND LIVING	MAIN BEDROOM HAS ACCESS TO ADAPTIBLE BATHROOM	ADAPTIBLE BATHROOM TYPE A OR TYPE B	
3.0 X 3.4	3.0	3.0 X 3.6 / 3.0 X 3.3	3.0 X 3.6 / 3.0 X 3.3	2.3m	9M	1.5 X 1.2M	INT. TOTAL	EXT. TOTAL	INT. TOTAL	EXT. TOTAL	INT. TOTAL	EXT. TOTAL		1.2M X 1.2M	2.0M X 1.2M	2.0M X 1.2M		1.2M X 1.2M	1.2M X 1.2M	1.2M X 1.2M		
						N/A																A

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PROJECT #
18-038
DATE
18/12/2018

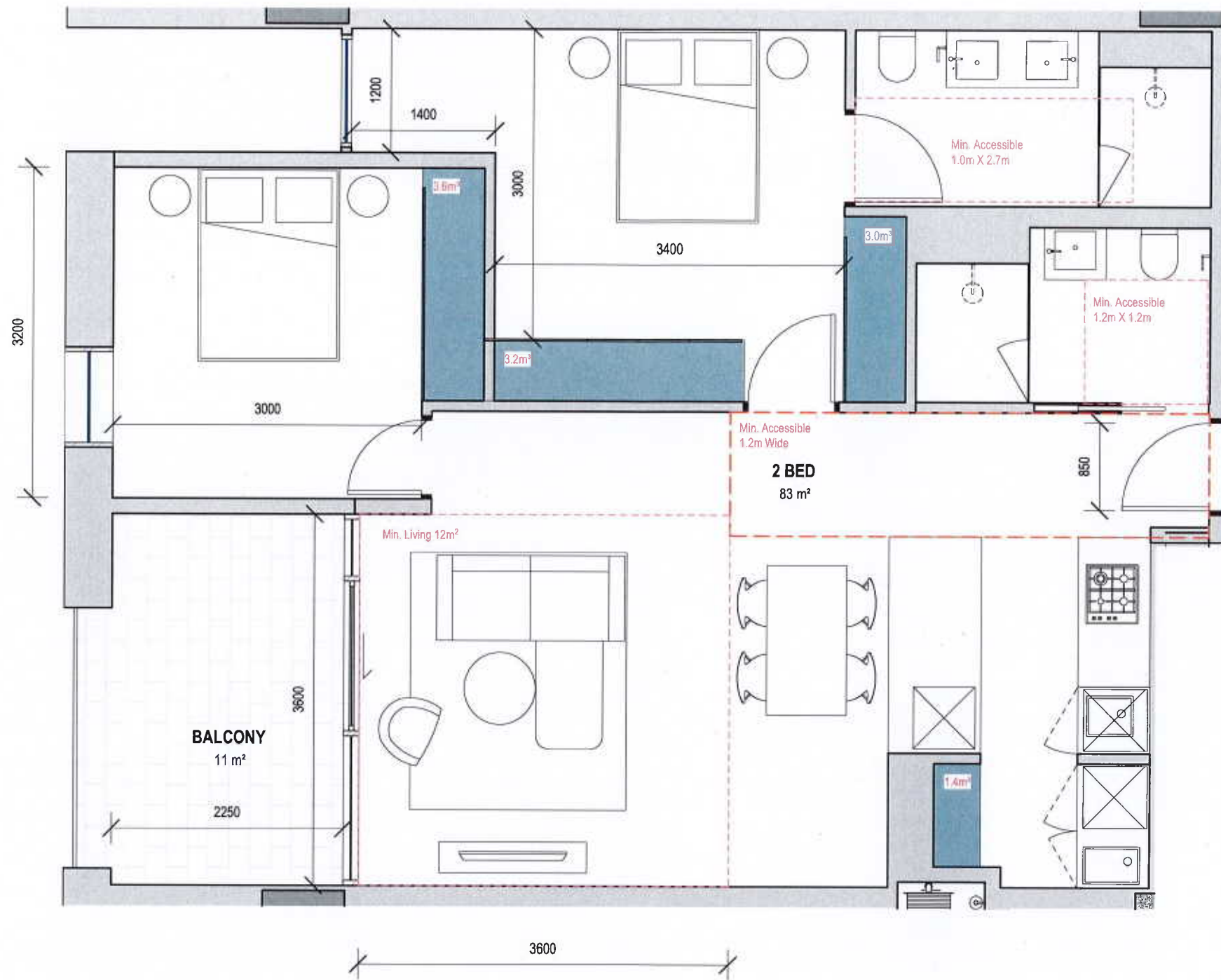


PROJECT
PIEDIMONTE'S SUPERMARKET
27-45 BEST STREET FITZROY NORTH
STATUS
TOWN PLANNING

DRAWING TITLE
BADS ASSESSMENT
DRAWING NUMBER
A-TP9-107
REVISION
04

Jackson
Clements
Burrows
Architects





Legend

- 2700H Robe storage unit
- 920H Kitchen storage unit
- 900H Overhead storage unit

Internal Storage Requirements:

- 1 bed: 6m²
- 2 bed: 9m²
- 3 bed: 12m²

APT TOTAL STORAGE - 11.2m³

- L = Living Room
(3.0x3.3 10m²) 1 bed
(3.0x3.6 12m²) 2 bed +
- MB = Main Bedroom
(3.0x3.4m²)
- B = Standard Bedroom
(3.0x3.0m²)

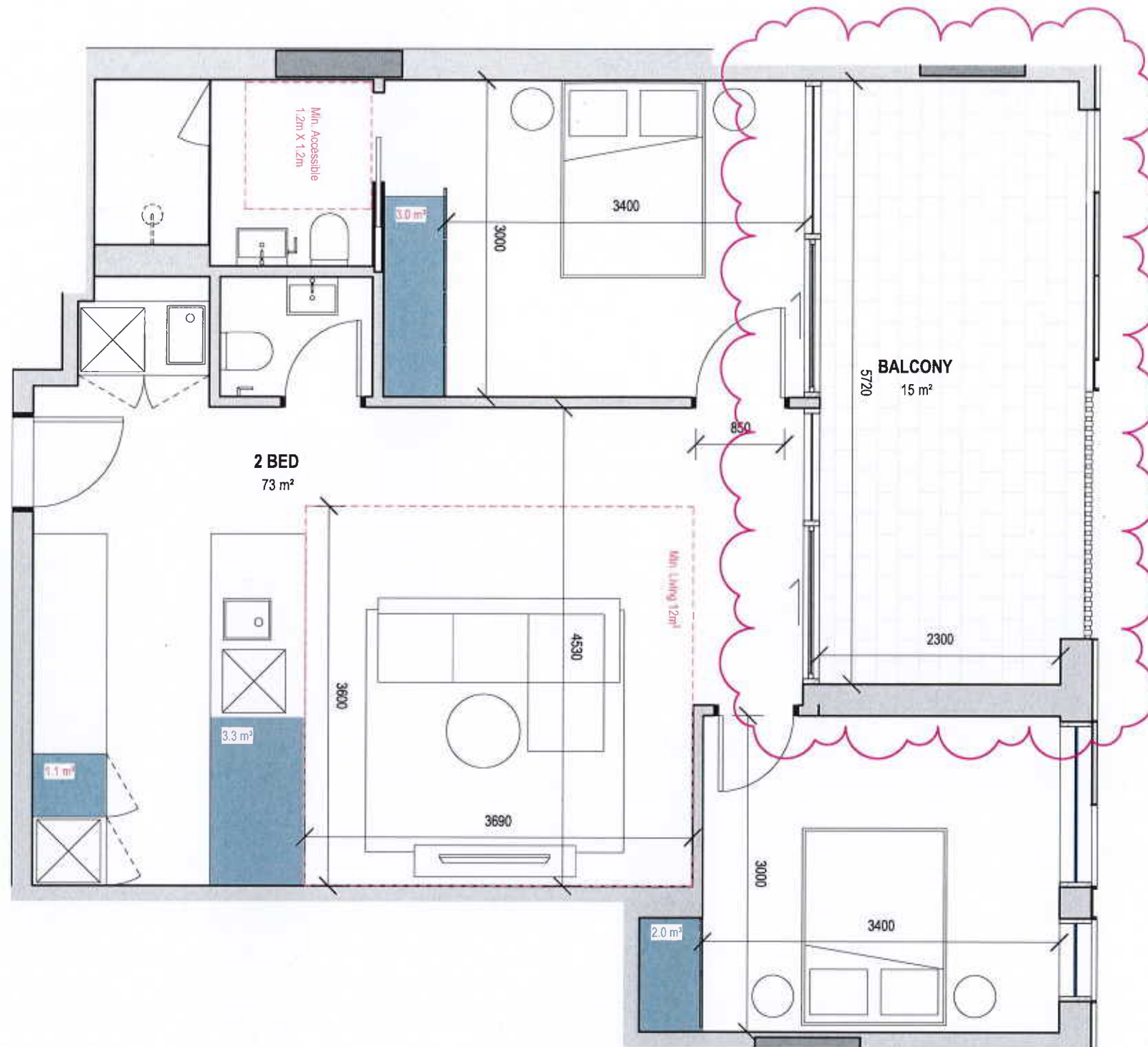
APARTMENT TYPE 2G

03 No. Apartment
Apt 2.09, 3.09, 4.09

18-038 PIEDIMONTE'S - BADS
ASSESSMENT MATRIX
190613

ROOM/DWELLING REQUIREMENTS																						
FUNCTIONAL LAYOUT				ROOM DEPTH		WINDOWS	STORAGE						NATURAL VENTILATION	PRIVATE OPEN SPACE			DDA COMPLIANCE					
MAIN BEDROOM	OTHER BEDROOM	LIVING AREA	KITCHEN AREA	CEILING HEIGHT	APT DEPTH	(COMPLIANT) WINDOWS	1 BEDROOM DWELLING		2 BEDROOM DWELLING		3 BEDROOM DWELLING			1 BEDROOM DWELLING	2 BEDROOM DWELLING	3 BEDROOM DWELLING	ACCESSIBILITY CORRIDOR WIDTH	FRONT ENTRY OPENING	TO BATH PATH TO TOILET ENTRY ADAPTABLE BATHROOM ENCL. SWG	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATHROOM	NEAR TABLE BATHROOM TYPE A OR TYPE B	
3.0x3.3	3.0x3.6	3.0x3.6	3.0x3.6	2.3m	3m	1.5x1.5	INT. TOTAL	EXT. TOTAL	INT. TOTAL	EXT. TOTAL	INT. TOTAL	EXT. TOTAL	CRUISE LOW	2.3m x 1.8m	2m x 2.3m	2.4m x 2.2m	1.2m	1.2m	1.2m	NO	NO	NO
✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓





Legend

- 2700H Robe storage unit
- 920H Kitchen storage unit
- 900H Overhead storage unit

Internal Storage Requirements:

- 1 bed: 6m²
- 2 bed: 9m²
- 3 bed: 12m²

APT TOTAL STORAGE - 15m²

- L = Living Room
(3.0x3.3 10m²) 1 bed
(3.0x3.6 12m²) 2 bed +
- MB = Main Bedroom
(3.0x3.4m²)
- B = Standard Bedroom
(3.0x3.0m²)

APARTMENT TYPE 2H

02 No. Apartment
Apt 3.15, 4.15

18-038 PIEDIMONTE'S - BADS
ASSESSMENT MATRIX
190613

ROOM/DWELLING REQUIREMENTS																				
FUNCTIONAL LAYOUT				ROOM DEPTH		WINDOWS	STORAGE				NATURAL VENTILATION	PRIVATE OPEN SPACE			DDA COMPLIANCE					
MAIN BEDROOM	OTHER BEDROOM	LIVING AREA	KITCHEN AREA	Ceiling Height	RP1 Depth	Compliant Windows	1 BEDROOM DWELLING		2 BEDROOM DWELLING		3 BEDROOM DWELLING	1 BEDROOM DWELLING	2 BEDROOM DWELLING	3 BEDROOM DWELLING	ACCESSIBILITY COMPLIANCE	FRONT DOOR OPENING	CLEAR PATH TO MAIN BEDROOM, KITCHEN, BATHROOM AND LIVING	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATHROOM	ADAPTABLE BATHROOM TYPE 4 OR TYPE B	
3.0 x 3.3	3.0	3.0 x 3.6	3.0 x 3.0	2.7m	NA	1.1, 1.2, 1.3	RP INTERNAL	RP TOTAL	RP INTERNAL	RP TOTAL	RP INTERNAL	RP TOTAL	CROSSLIGHT	1.8M x 0.9M	2M x 0.9M	2.4M x 1.2M	0.9M	0.9M	0.9M	0.9M
2H	✓	✓	✓	✓	✓	N/A			✓	✓			✗	✓	✗	N/A	N/A	N/A	N/A	

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PROJECT #
18-038
DATE
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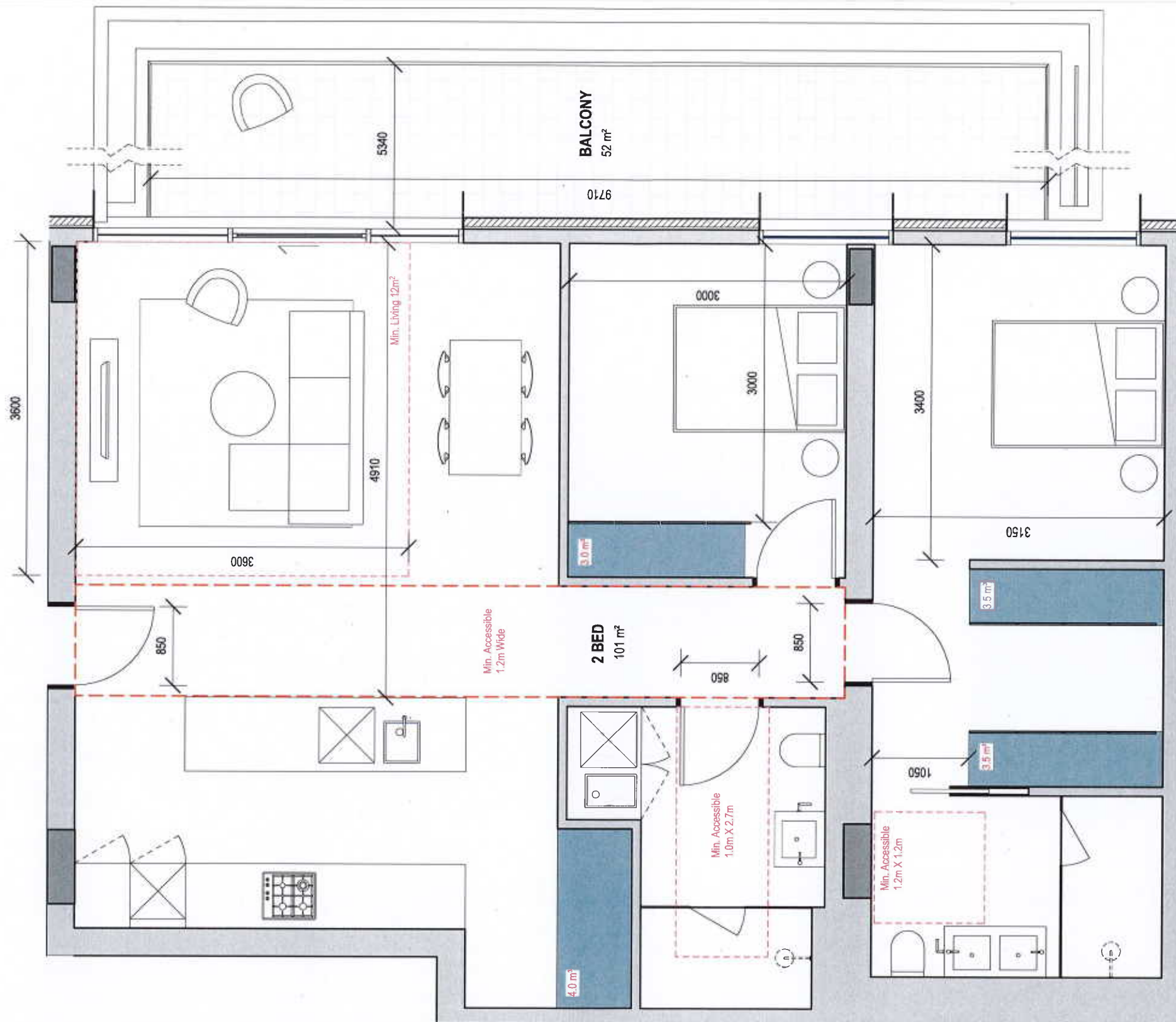


PROJECT
PIEDIMONTE'S SUPERMARKET
27-45 BEST STREET FITZROY NORTH
STATUS
TOWN PLANNING

DRAWING TITLE
BADS ASSESSMENT
DRAWING NUMBER
A-TP9-109
REVISION
04

Jackson
Clements
Burrows
Architects





Legend

- 2700H Robe storage unit
- 920H Kitchen storage unit
- 900H Overhead storage unit

Internal Storage Requirements:
 1 bed: 6m²
 2 bed: 9m²
 3 bed: 12m²
APT TOTAL STORAGE - 14m³

L = Living Room
 (3.0x3.3 10m²) 1 bed
 (3.0x3.6 12m²) 2 bed +
 MB = Main Bedroom
 (3.0x3.4m²)
 B = Standard Bedroom
 (3.0x3.0m²)

APARTMENT TYPE 21

01 No. Apartment
 Apt 5.04

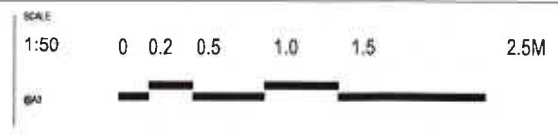
ROOM/DWELLING REQUIREMENTS																			
FUNCTIONAL LAYOUT				ROOM DEPTH		WINDOWS	STORAGE				NATURAL VENTILATION	PRIVATE OPEN SPACE			DDA COMPLIANCE				
MAIN BEDROOM	OTHER BEDROOM	LIVING AREA	KITCHEN AREA	CORRIDOR	APT DEPTH	COMPLIANT WINDOW	1 BEDROOM DWELLING	2 BEDROOM DWELLING	3 BEDROOM DWELLING	CROSS FLOW	1 BEDROOM DWELLING	2 BEDROOM DWELLING	3 BEDROOM DWELLING	ACCESSIBILITY COMPLIANCE	FRONT DOOR OPENING	CLEAR PATH TO MAIN BEDROOM, ADAPTABLE BATHROOM AND STAIR	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATHROOM	ADAPTABLE BATHROOM TYPE A OR TYPE B	
OK	OK	3.0 X 3.0M	3.0 X 3.0M	2.0M	3M	1.5 X 1.5M	INT	TOTL	INT	TOTL	INT	TOTL	INT	TOTL	ADMM	1.200MM	MIN		B
						N/A													

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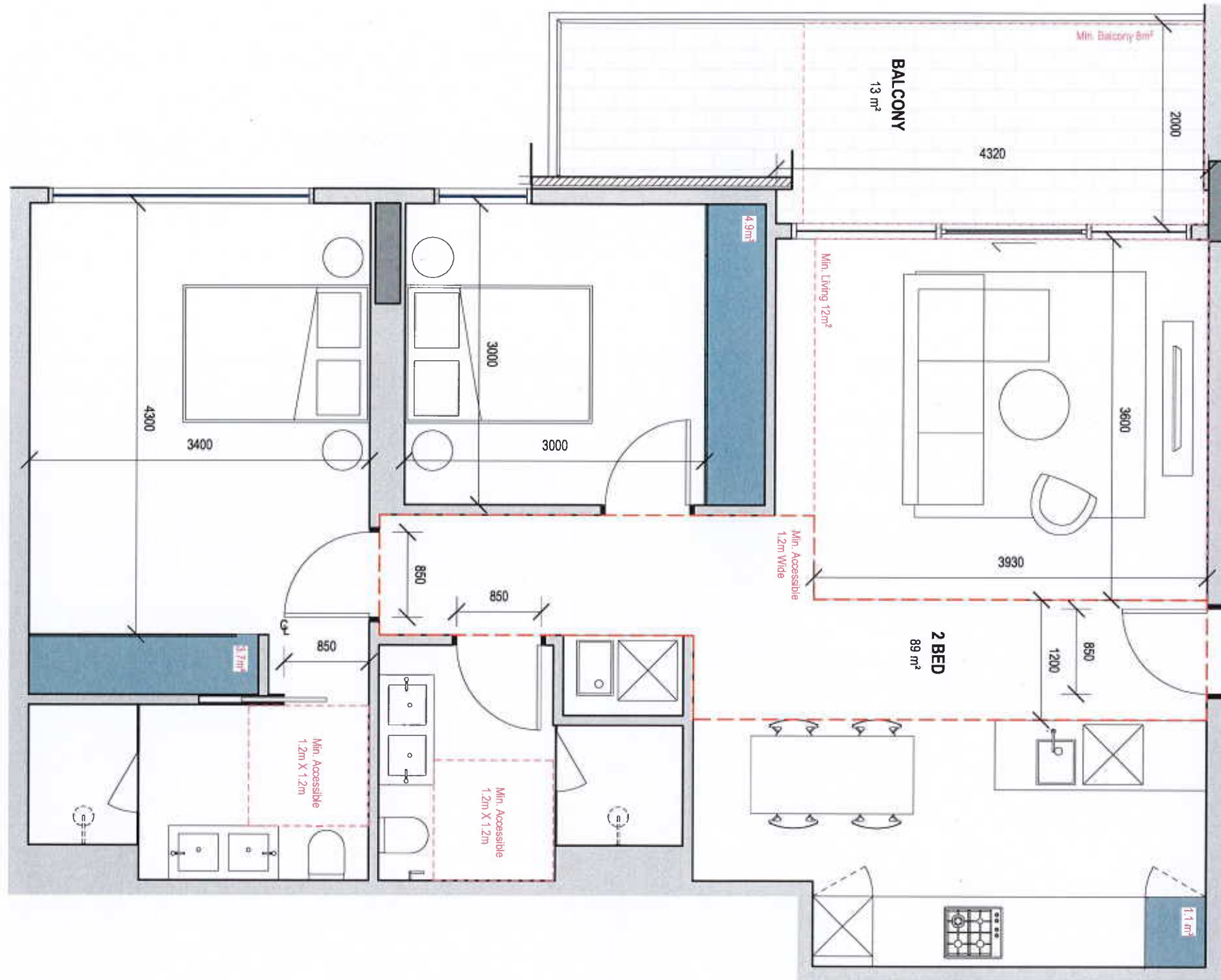
PROJECT #	DATE
18-038	18/12/2018



PROJECT
PIEDIMONTE'S SUPERMARKET
 27-45 BEST STREET FITZROY NORTH
 STATUS
 TOWN PLANNING

DRAWING TITLE
BADS ASSESSMENT
 DRAWING NUMBER
 A-TP9-110
 REVISION
 04

Jackson
 Clements
 Burrows
 Architects



Legend

- 2700H Robe storage unit
- 920H Kitchen storage unit
- 900H Overhead storage unit

Internal Storage Requirements:

- 1 bed: 6m²
- 2 bed: 9m²
- 3 bed: 12m²

APT TOTAL STORAGE - 9.7m²

- L = Living Room
(3.0x3.3 10m²) 1 bed
(3.0x3.6 12m²) 2 bed +
- MB = Main Bedroom
(3.0x3.4m²)
- B = Standard Bedroom
(3.0x3.0m²)

APARTMENT TYPE 2J

01 No. Apartment
Apt 5.09

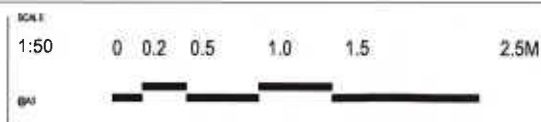
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ASSESSMENT MATRIX
190613

ROOM/DWELLING REQUIREMENTS																			
FUNCTIONAL LAYOUT				ROOM DEPTH		WINDOWS	STORAGE			NATURAL VENTILATION	PRIVATE OPEN SPACE			DOA COMPLIANCE					
MAIN BEDROOM	OTHER BEDROOM	LAND AREA	LIVING AREA	Ceiling Height	APT DEPTH	COMPLIANT WINDOWS	1 BEDROOM DWELLING	2 BEDROOM DWELLING	3 BEDROOM DWELLING		1 BEDROOM DWELLING	2 BEDROOM DWELLING	3 BEDROOM DWELLING	ACCESSIBILITY COMPLIANCE	FRONT DOOR OPENING	CLEAR PATH TO MAIN BEDROOM, ADAPTABLE BATHROOM AND LIVING	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATHROOM	ADAPTABLE BATHROOM TYPE A OR TYPE B	
MB	OB	3.3 W/ 3.0M	3.6 W/ 3.2M	2.3m	8M	2.3 L/3.4 W	MP INTERNAL	OMP TOTAL	MP INTERNAL	OMP TOTAL	MP INTERNAL	OMP TOTAL	CRACK OPEN	1.8M x 0.9M	2M x 0.9M	2.4M x 1.2M	BSU/MP	1.00/MP	0.2A
						N/A													A/B

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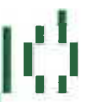
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DATE
18/12/2018

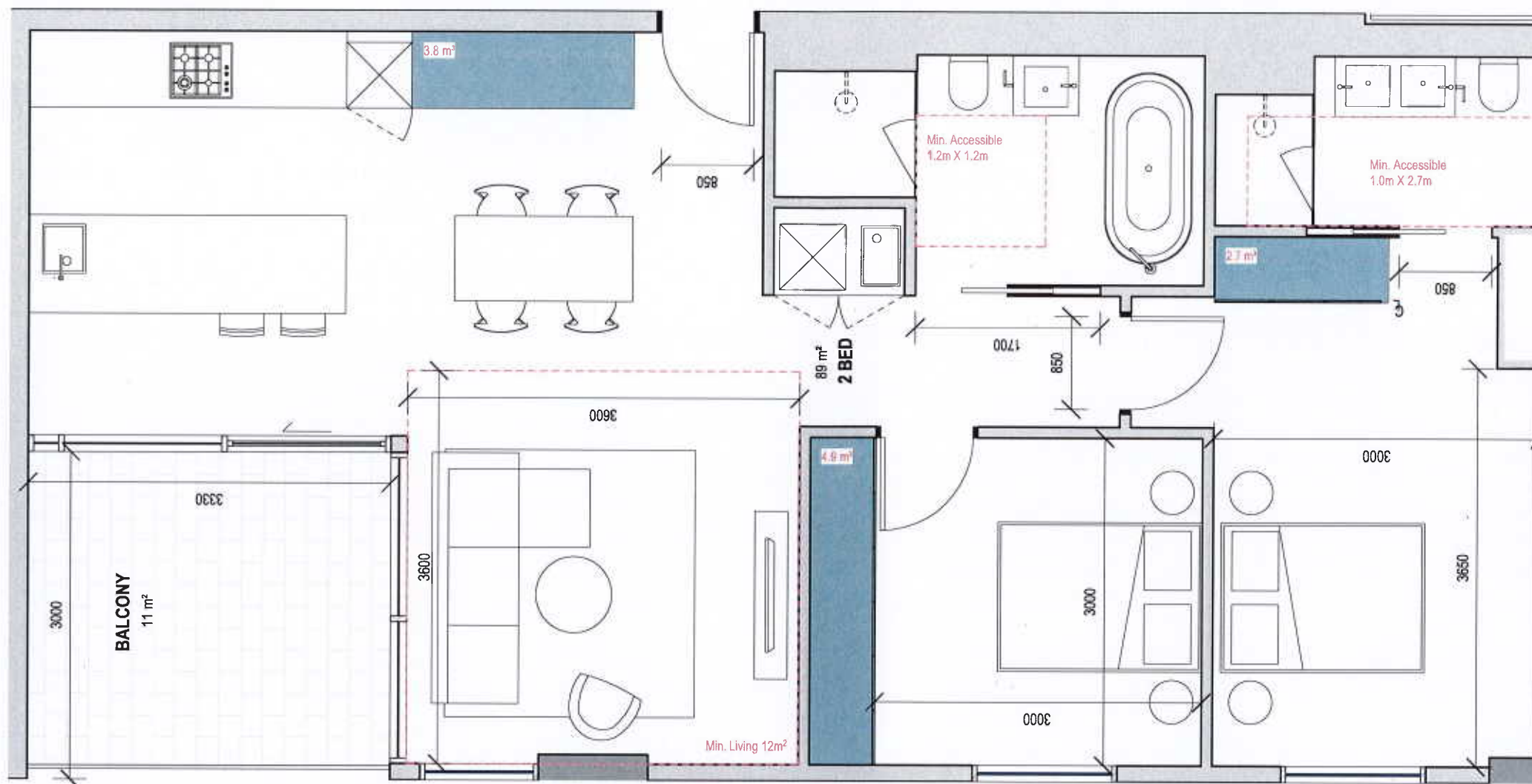


PROJECT
**PIEDIMONTE'S SUPERMARKET
27-45 BEST STREET FITZROY NORTH**
STATUS
TOWN PLANNING

DRAWING TITLE
BADS ASSESSMENT
DRAWING NUMBER
A-TP9-111
REVISION
04

Jackson
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Burrows
Architects





Legend

- 2700H Robe storage unit
- 920H Kitchen storage unit
- 900H Overhead storage unit

Internal Storage Requirements:
 1 bed: 6m²
 2 bed: 9m²
 3 bed: 12m²
APT TOTAL STORAGE - 11.4m³

L = Living Room
 (3.0x3.3 10m²) 1 bed
 (3.0x3.6 12m²) 2 bed +
 MB = Main Bedroom
 (3.0x3.4m²)
 B = Standard Bedroom
 (3.0x3.0m²)

APARTMENT TYPE 2K

02 No. Apartment
 Apt 5.07, 6.04

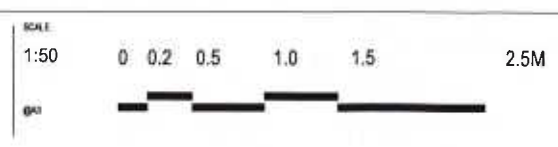
18-038 PIEDIMONTE'S - BADS
 ASSESSMENT MATRIX
 190613

ROOM/DWELLING REQUIREMENTS																						
FUNCTIONAL LAYOUT				ROOM DEPTH		WINDOWS	STORAGE						NATURAL VENTILATION	PRIVATE OPEN SPACE			DDA COMPLIANCE					
MAIN BEDROOM	OTHER BEDROOM	LIVING AREA	DINING AREA	Ceiling Height	MP DEPTH	COMPLIANT SMOKE	L BEDROOM DWELLING		M BEDROOM DWELLING		S BEDROOM DWELLING		CROSS FLOW	3 BEDROOM DWELLING	2 BEDROOM DWELLING	2 BEDROOM DWELLING	ACCESSIBILITY COMPLIANCE	FRONT DOOR OPENING	CLEAR PATH TO MAIN BEDROOM ADAPTABLE BATHROOM FACILITIES	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATHROOM	ADAPTABLE BATHROOM TYPE A OR TYPE B	
OK	OK	3.7 x 4.0M	3.6 x 3.7M	2.7m	5M	1.8 x 1.8M	MP: 4.0M x 2.0M	MP: 3.0M x 2.0M	MP: 3.0M x 2.0M	MP: 3.0M x 2.0M	MP: 3.0M x 2.0M	MP: 3.0M x 2.0M	OK	OK	OK	OK	OK	OK	OK	OK	OK	OK
						N/A																

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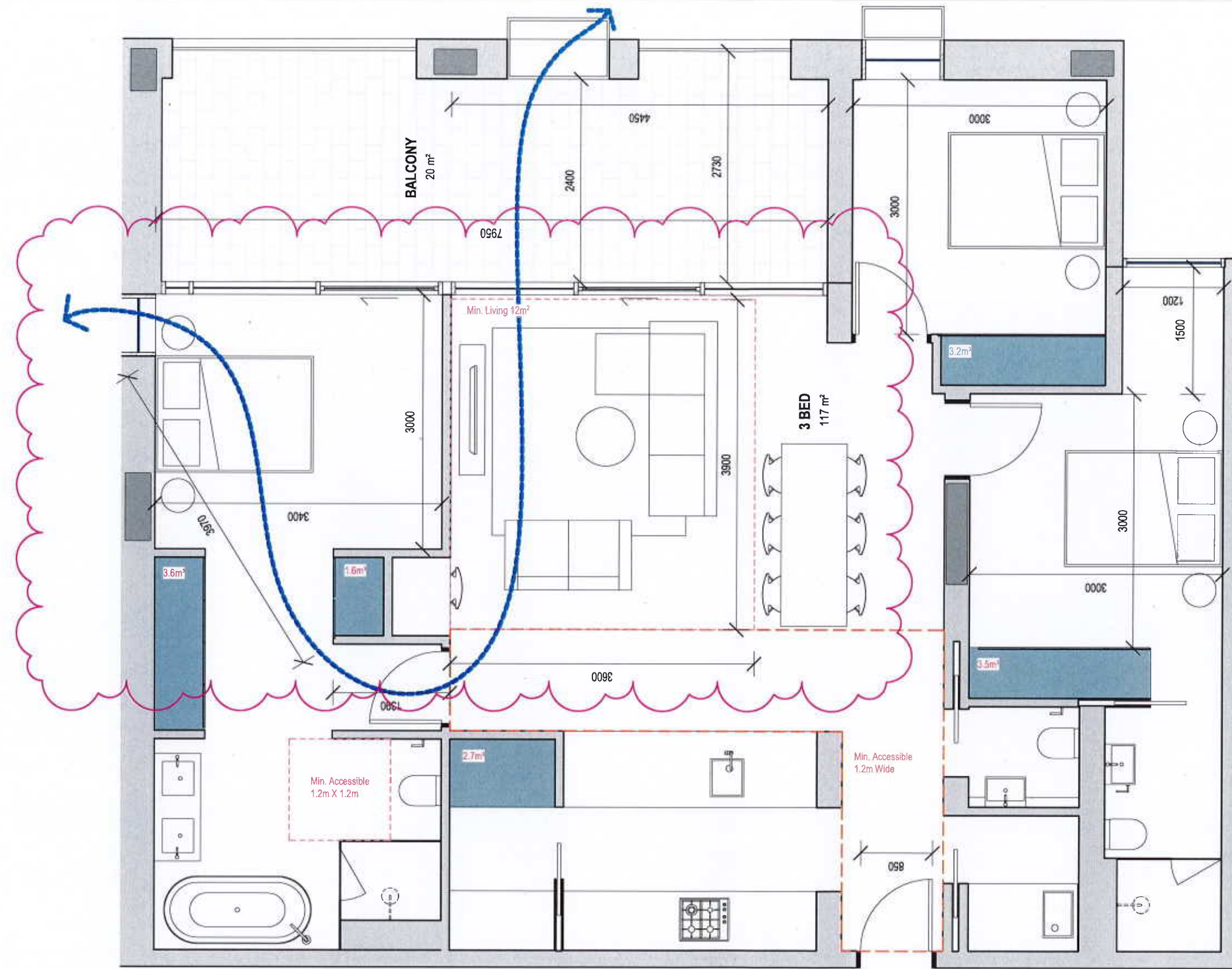
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18-038
 DATE
18/12/2018



PROJECT
PIEDIMONTE'S SUPERMARKET
27-45 BEST STREET FITZROY NORTH
 STATUS
TOWN PLANNING

DRAWING TITLE
BADS ASSESSMENT
 DRAWING NUMBER
A-TP9-112
 REVISION
04

Jackson
 Clements
 Burrows
 Architects



Legend

- 2700H Robe storage unit
- 920H Kitchen storage unit
- 900H Overhead storage unit

Internal Storage Requirements:
 1 bed: 6m³
 2 bed: 9m³
 3 bed: 12m³
APT TOTAL STORAGE - 14.6m³

L = Living Room
 (3.0x3.3 10m²) 1 bed
 (3.0x3.6 12m²) 2 bed +
 MB = Main Bedroom
 (3.0x3.4m²)
 B = Standard Bedroom
 (3.0x3.0m²)

APARTMENT TYPE 3A

06 No. Apartment
 Apt 2.04, 2.05, 3.04, 3.05, 4.04, 4.05

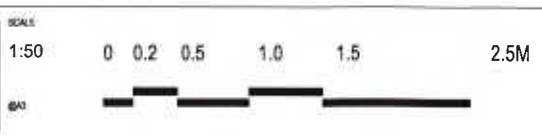
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ROOM/DWELLING REQUIREMENTS																			
FUNCTIONAL LAYOUT				ROOM DEPTH		WINDOWS	STORAGE				NATURAL VENTILATION	PRIVATE OPEN SPACE			DDA COMPLIANCE				
MAIN BEDROOM	OTHER BEDROOM	LIVING AREA	DINING AREA	CORRIDOR HEIGHT	APT DEPTH	COMPLIANT TOILETS	1 BEDROOM DWELLING	2 BEDROOM DWELLING	3 BEDROOM DWELLING		1 BEDROOM DWELLING	2 BEDROOM DWELLING	3 BEDROOM DWELLING	ACCESSIBILITY COMPLIANCE	FRONT DOOR OPENING	CLEAR PATH TO MAIN BEDROOM ADAPTABLE BATHROOM AND LIVING	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATHROOM	ADAPTABLE BATHROOM TYPE A OR TYPE B	
3.0x3.4	3.0x3.0	3.3x3.0x3.0m	3.0x3.0x3.0m	2.7m	3.6m	1, 1.5, 1.8m	8M² INTERNAL, 10M² TOTAL	8M² INTERNAL, 11M² TOTAL	12M² INTERNAL, 15M² TOTAL	0.0x2.2/1.2m	1.8M x 0.9M	2.0M x 0.9M	2.0M x 1.2M	2.0M	2.0M	1.20M	1.20M	1.20M	1.20M

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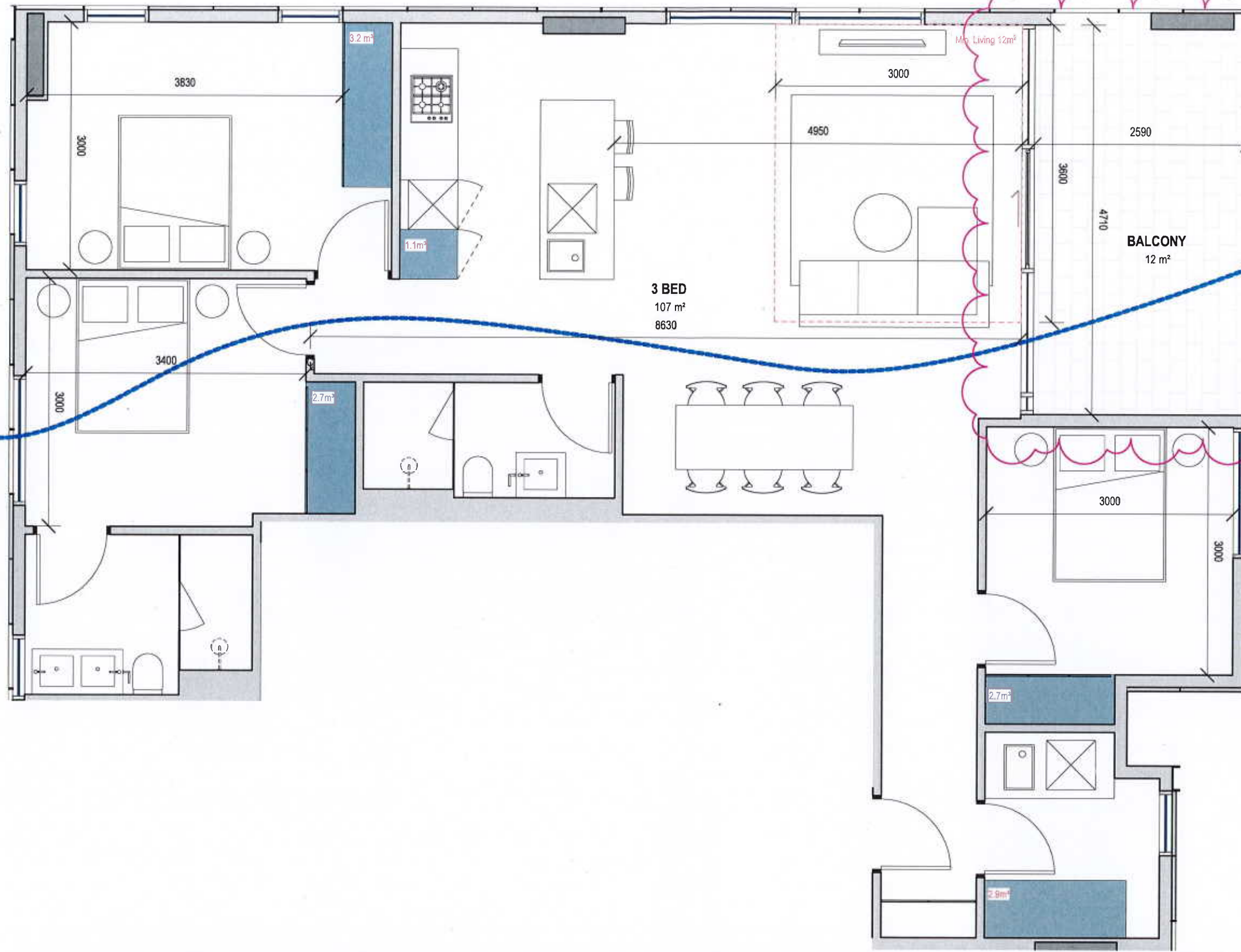
PROJECT #
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 DATE
18/12/2018



PROJECT
PIEDIMONTE'S SUPERMARKET
27-45 BEST STREET FITZROY NORTH
 STATUS
TOWN PLANNING

DRAWING TITLE
BADS ASSESSMENT
 DRAWING NUMBER
A-TP9-113
 REVISION
04





Legend

- 2700H Robe storage unit
- 920H Kitchen storage unit
- 900H Overhead storage unit

Internal Storage Requirements:
 1 bed: 6m²
 2 bed: 9m²
 3 bed: 12m²
APT TOTAL STORAGE - 12.6m³

L = Living Room
 (3.0x3.3 10m²) 1 bed
 (3.0x3.6 12m²) 2 bed +
 MB = Main Bedroom
 (3.0x3.4m²)
 B = Standard Bedroom
 (3.0x3.0m²)

APARTMENT TYPE 3B

02 No. Apartment
 Apt 3.14, 4.14

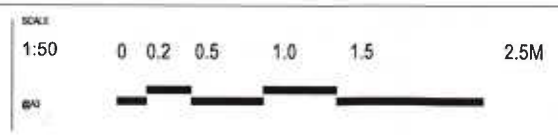
18-038 PIEDIMONTE'S - BADS
 ASSESSMENT MATRIX
 180613

ROOM/DWELLING REQUIREMENTS																						
FUNCTIONAL LAYOUT				ROOM DEPTH		WINDOWS	STORAGE						NATURAL VENTILATION	PRIVATE OPEN SPACE			DDA COMPLIANCE					
MAIN BEDROOM	OTHER BEDROOM	LIVING AREA	KITCHEN AREA	CORNER HEIGHT	APT DEPTH	COMMON VENTILATION	1 BEDROOM DWELLING		2 BEDROOM DWELLING		3 BEDROOM DWELLING			1 BEDROOM DWELLING	2 BEDROOM DWELLING	3 BEDROOM DWELLING	ACCESSIBILITY COMPLIANCE	FRONT DOOR OPENING	GLASS PATH TO MAIN BEDROOM ADAPTABLE BATHROOM AND LIVING	MAIN BEDROOM VMC ACCESS TO ADAPTABLE BATHROOM	ADAPTABLE BATHROOM TYPE A OR TYPE B	
3.0x3.4	3.0	2.2 W/ 2.0H	2.6 W/ 2.7H	2.34	3M	1.5.1.6.10	APT INTERNAL	2.0M TOTAL	APT INTERNAL	1.4M TOTAL	2.0M INTERNAL	2.0M TOTAL	CRUISE LOW	1.8M / 1.8M	2.0M / 1.8M	2.4M / 2.2M		3.0M	1.200MM	N/A	N/A	N/A

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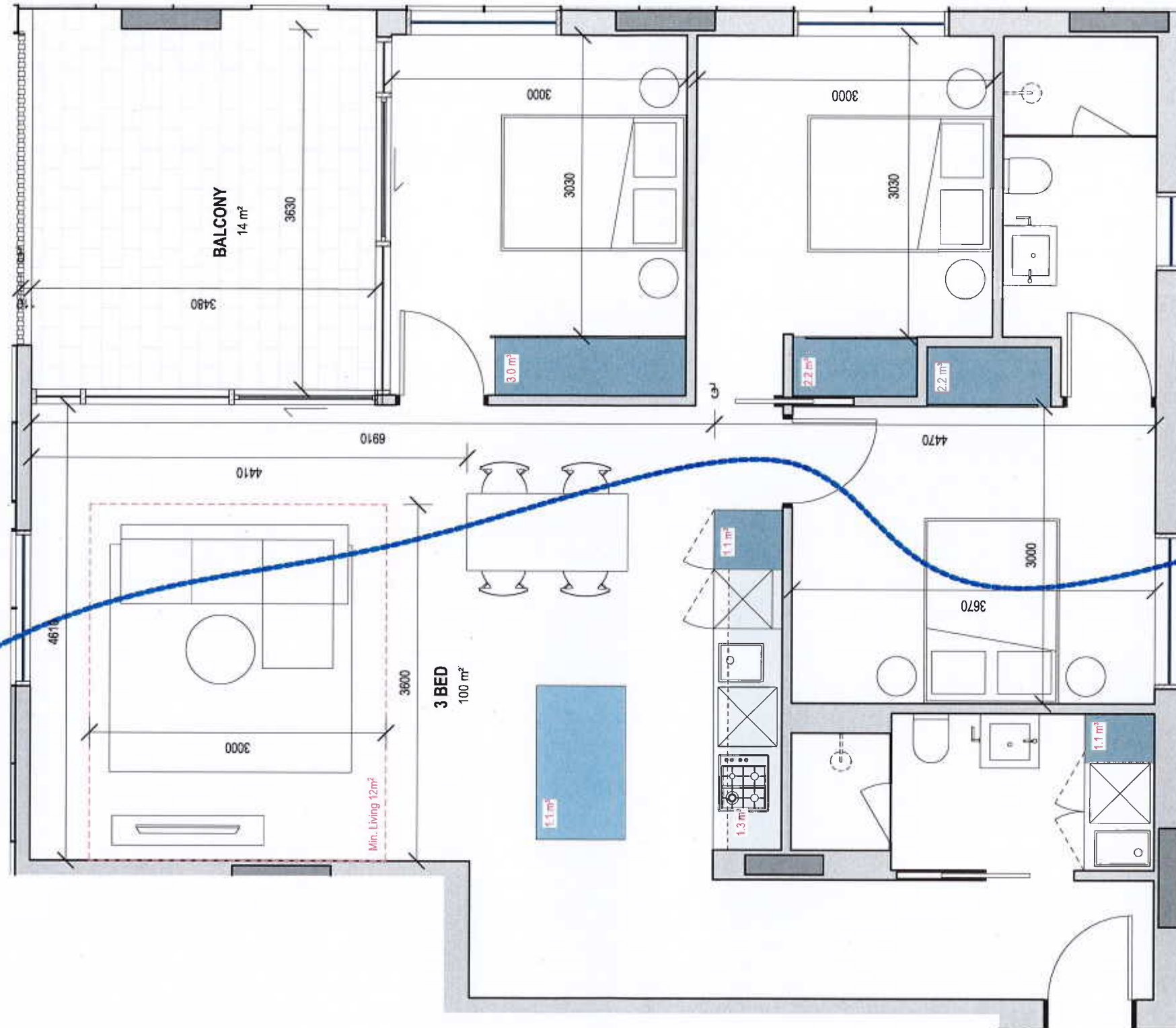
PROJECT #
18-038
 DATE
18/12/2018



PROJECT
PIEDIMONTE'S SUPERMARKET
27-45 BEST STREET FITZROY NORTH
 STATUS
TOWN PLANNING

DRAWING TITLE
BADS ASSESSMENT
 DRAWING NUMBER
A-TP9-114 REVISION
04





Legend

- 2700H Robe storage unit
- 920H Kitchen storage unit
- 900H Overhead storage unit

Internal Storage Requirements:
 1 bed: 6m²
 2 bed: 9m²
 3 bed: 12m²
APT TOTAL STORAGE - 12m³

L = Living Room
 (3.0x3.3 10m²) 1 bed
 (3.0x3.6 12m²) 2 bed +
 MB = Main Bedroom
 (3.0x3.4m²)
 B = Standard Bedroom
 (3.0x3.0m²)

APARTMENT TYPE 3C

02 No. Apartment
 Apt 3.16, 4.16

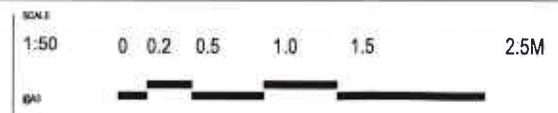
18-038 PIEDIMONTE'S - BADS
 ASSESSMENT MATRIX
 190613

ROOM/DWELLING REQUIREMENTS																				
FUNCTIONAL LAYOUT				ROOM DEPTH		WINDOWS	STORAGE				NATURAL VENTILATION	PRIVATE OPEN SPACE			DDA COMPLIANCE					
MAIN BEDROOM	OTHER BEDROOM	LIVING AREA	KITCHEN AREA	Ceiling Height	Rm Depth	Compliant Surface	1 BEDROOM DWELLING		2 BEDROOM DWELLING		3 BEDROOM DWELLING	Natural Ventilation	1 Bedroom Dwelling	2 Bedroom Dwelling	3 Bedroom Dwelling	Accessibility Compliance	Front Side Opening	Clear Path to Main Bedroom, Suitable Bathroom and Land	Main Bedroom has Access to Adaptable Bathroom	Adaptable Bathroom Type A or Type B
3.0x3.4	3.0	3.3 W/ 10M	3.6 W/ 12M	2.2M	3M	1.0 (N/A)	RM INTERNAL	RM TOTAL	RM INTERNAL	RM TOTAL	RM INTERNAL	RM TOTAL	CRACK/LEAK	1.0M / 1.0M	2M / 1.5M	2.0M / 1.5M	550MM	1.500MM	510	
3C						N/A											N/A	N/A	N/A	N/A

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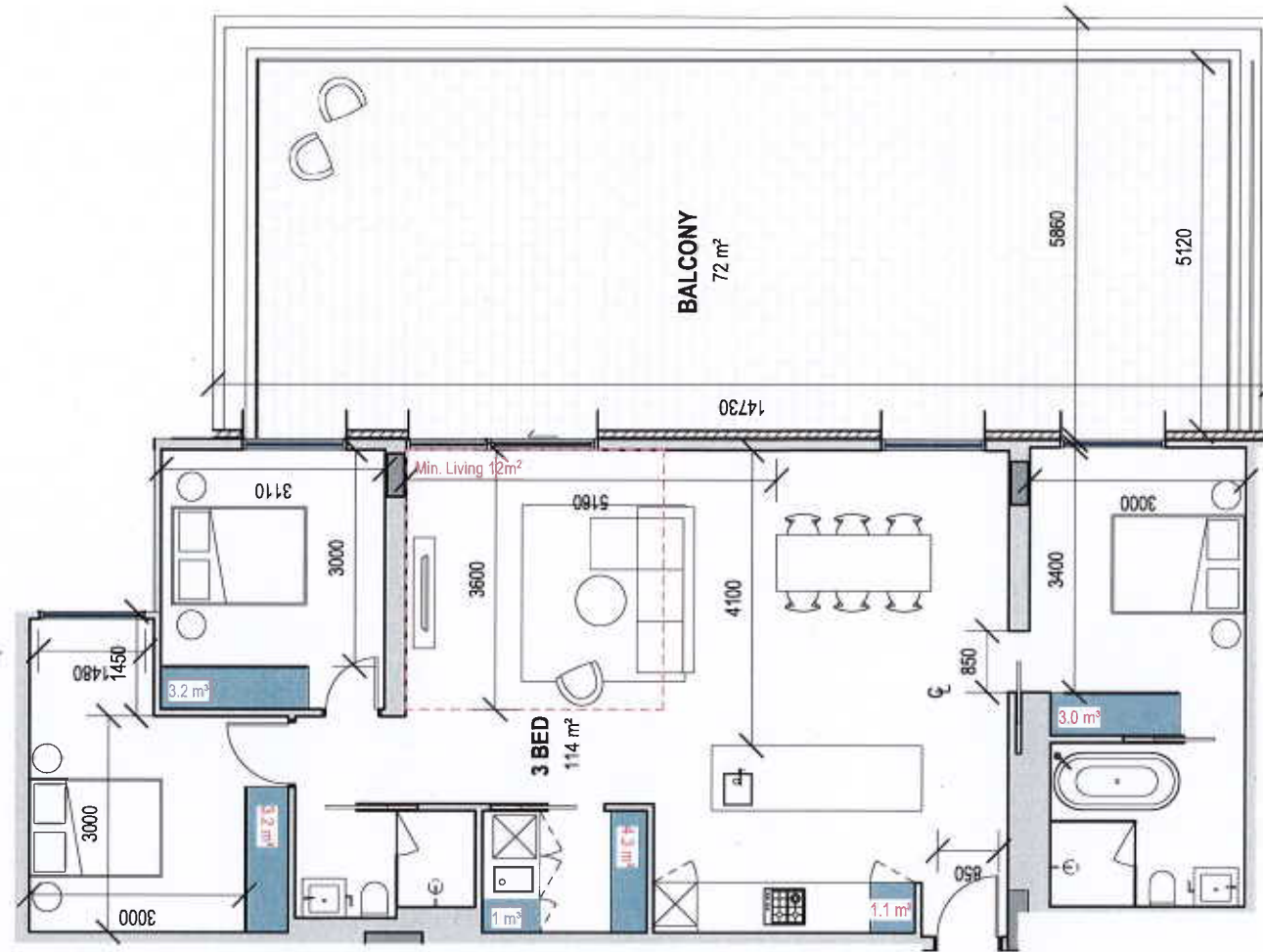
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18-038
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18/12/2018



PROJECT
PIEDIMONTE'S SUPERMARKET
27-45 BEST STREET FITZROY NORTH
 STATUS
TOWN PLANNING

DRAWING TITLE
BADS ASSESSMENT
 DRAWING NUMBER
A-TP9-115
 REVISION
04

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Legend

- 2700H Robe storage unit
- 920H Kitchen storage unit
- 900H Overhead storage unit

Internal Storage Requirements:
 1 bed: 8m²
 2 bed: 9m²
 3 bed: 12m²
APT TOTAL STORAGE - 15.8m³

L = Living Room
 (3.0x3.3 10m²) 1 bed
 (3.0x3.6 12m²) 2 bed +
 MB = Main Bedroom
 (3.0x3.4m²)
 B = Standard Bedroom
 (3.0x3.0m²)

APARTMENT TYPE 3D

01 No. Apartment
 Apt 5.05

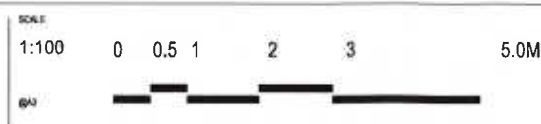
18-038 PIEDIMONTE'S - BADS
 ASSESSMENT MATRIX
 100613

ROOM/DWELLING REQUIREMENTS																						
FUNCTIONAL LAYOUT				ROOM DEPTH		WINDOWS	STORAGE						NATURAL VENTILATION	PRIVATE OPEN SPACE			BDA COMPLIANCE					
MAIN BEDROOM	OTHER BEDROOM	LIVING AREA	KITCHEN AREA	CEILING HEIGHT	MIN DEPTH	COMPLIANT WINDOW	1 BEDROOM DWELLING		2 BEDROOM DWELLING		3 BEDROOM DWELLING			1 BEDROOM DWELLING	2 BEDROOM DWELLING	3 BEDROOM DWELLING	ACCESSIBILITY COMPLIANCE	FRONT DOOR OPENING	CLEAR PATH TO MAIN BEDROOM ADAPTABLE BATHROOM AND LAMB	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATHROOM	ADAPTABLE BATHROOM TYPE FOR TYPE B	
MB	B	L	K	2.70	3M	L3 L/BATH	MB INTERNAL	MB TOTAL	MB INTERNAL	MB TOTAL	MB INTERNAL	MB TOTAL	SCREEN LOW	1.8M / 6M	2M / 6M	2.4M / 12M		600MM	1200MM	N/A	N/A	
✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓

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 DATE
18/12/2018

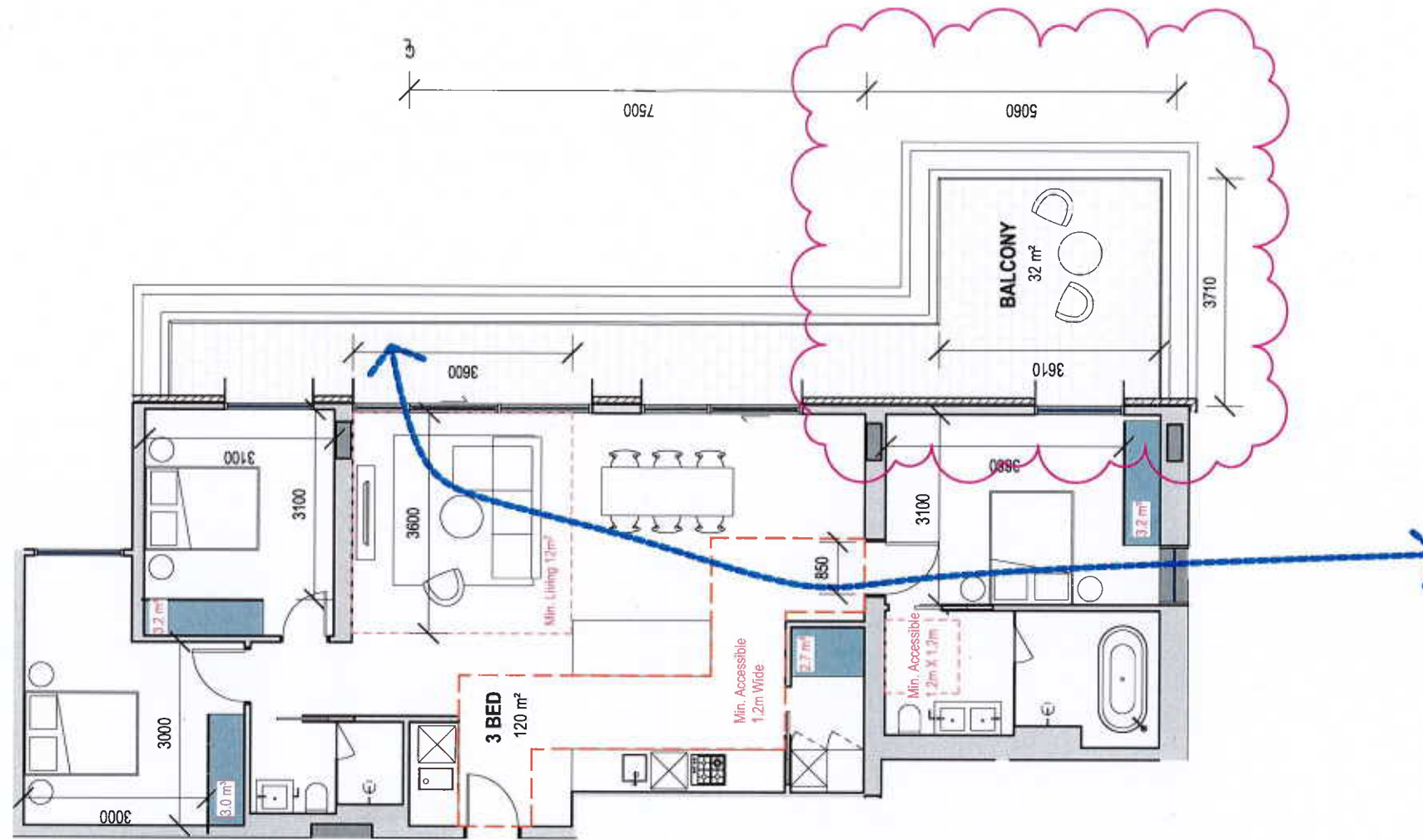


PROJECT
PIEDIMONTE'S SUPERMARKET
27-45 BEST STREET FITZROY NORTH
 STATUS
TOWN PLANNING

DRAWING TITLE
BADS ASSESSMENT
 DRAWING NUMBER
A-TP9-116
 REVISION
04

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 Architects





Legend

- 2700H Robe storage unit
- 920H Kitchen storage unit
- 900H Overhead storage unit

Internal Storage Requirements:

- 1 bed: 6m²
- 2 bed: 9m²
- 3 bed: 12m²

APT TOTAL STORAGE - 12.1m³

- L = Living Room
(3.0x3.3 10m²) 1 bed +
(3.0x3.6 12m²) 2 bed +
- MB = Main Bedroom
(3.0x3.4m²)
- B = Standard Bedroom
(3.0x3.0m²)

APARTMENT TYPE 3E

01 No. Apartment
Apt 5.06

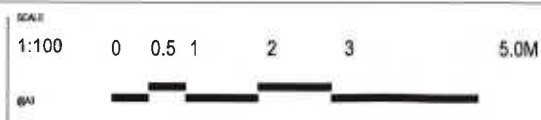
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ASSESSMENT MATRIX
190613

ROOM/DWELLING REQUIREMENTS																					
FUNCTIONAL LAYOUT				ROOM DEPTH		WINDOWS	STORAGE				NATURAL VENTILATION	PRIVATE OPEN SPACE			DDA COMPLIANCE						
MAIN BEDROOM	OTHER BEDROOM	LIVING AREA	KITCHEN AREA	Ceiling Height	APT DEPTH	20MP LANT/ SINK/EL	1 BEDROOM DWELLING		2 BEDROOM DWELLING		3 BEDROOM DWELLING			2 BEDROOM DWELLING	2 BEDROOM DWELLING	3 BEDROOM DWELLING	422 SURF/TEI/ CORR/ BAL	FRONT DOOR OPENING	CLEAR PATH TO MAIN BED ROOM/ ADAPTABLE BATHROOM AND LIVING	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATHROOM	ADAPTABLE BATHROOM TYPE A OR TYPE B
YES/NO	OK	3.700/2.800	3.0 W/ 2.8 W	2.7M	5M	1.5 LANTO	0M ² INTERNAL	20M ² TOTAL	0M ² INTERNAL	14M ² TOTAL	20M ² INTERNAL	20M ² TOTAL	CROSSFLOW	1.8M/2.8M	2M/1.8M	2.4M/1.2M		800MM	2.200MM	N/A	

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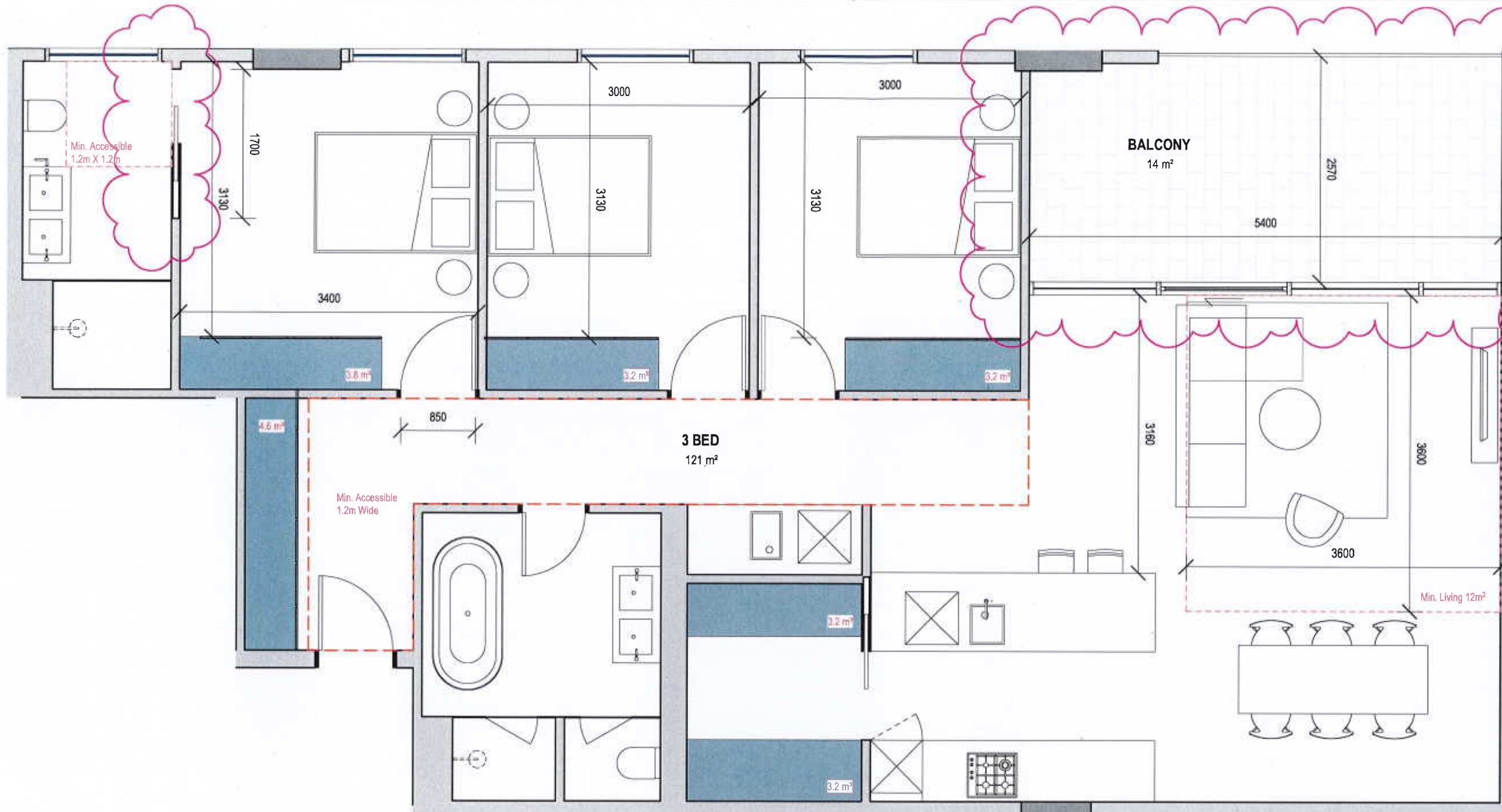


PROJECT
PIEDIMONTE'S SUPERMARKET
27-45 BEST STREET FITZROY NORTH
STATUS
TOWN PLANNING

DRAWING TITLE
BADS ASSESSMENT
DRAWING NUMBER
A-TP9-117
REVISION
04

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Legend

- 2700H Robe storage unit
- 920H Kitchen storage unit
- 900H Overhead storage unit

Internal Storage Requirements:
 1 bed: 8m²
 2 bed: 9m²
 3 bed: 12m²
APT TOTAL STORAGE - 21.2m³

L = Living Room
 (3.0x3.3 10m²) 1 bed
 (3.0x3.6 12m²) 2 bed +
 MB = Main Bedroom
 (3.0x3.4m²)
 B = Standard Bedroom
 (3.0x3.0m²)

APARTMENT TYPE 3F

01 No. Apartment
 Apt 5.08

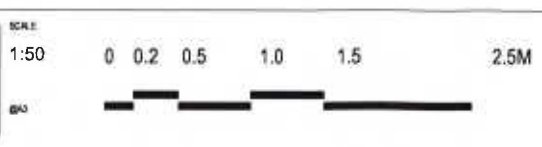
18-038 PIEDIMONTE'S - BADS
 ASSESSMENT MATRIX
 190613

ROOM/DWELLING REQUIREMENTS																					
FUNCTIONAL LAYOUT				ROOM DEPTH		WINDOWS	STORAGE				NATURAL VENTILATION	PRIVATE OPEN SPACE			DDA COMPLIANCE						
MAIN BEDROOM	2ND BEDROOM	LIVING AREA	KITCHEN AREA	Ceiling Height	Rf Depth	COMPLIANT WINDOW	1 BEDROOM DWELLING		2 BEDROOM DWELLING		3 BEDROOM DWELLING		1 BEDROOM DWELLING	2 BEDROOM DWELLING	3 BEDROOM DWELLING	ACCESSIBILITY CORR. WALLS	FRONT DOOR OPENING	CLEAR PATH TO MAIN BEDROOM ADAPTABLE BATHROOM AND L.V.M.	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATHROOM	ADAPTABLE BATHROOM TYPE A OR TYPE B	
ONE	TWO	3.0 W/ 2.0M	3.6 W/ 2.0M	2.2M	3M	L.L. RATE	RF INTERNAL	RF TOTAL	RF INTERNAL	RF TOTAL	RF INTERNAL	RF TOTAL	CRACK LOW	1.8M / 8M	2M / 8M	2.4M / 12M	80MM	1200MM	N/A	N/A	
✓	✓	✓	✓	✓	✓	N/A							✓	✓	✓	✓	✓	✓	✓	✓	B

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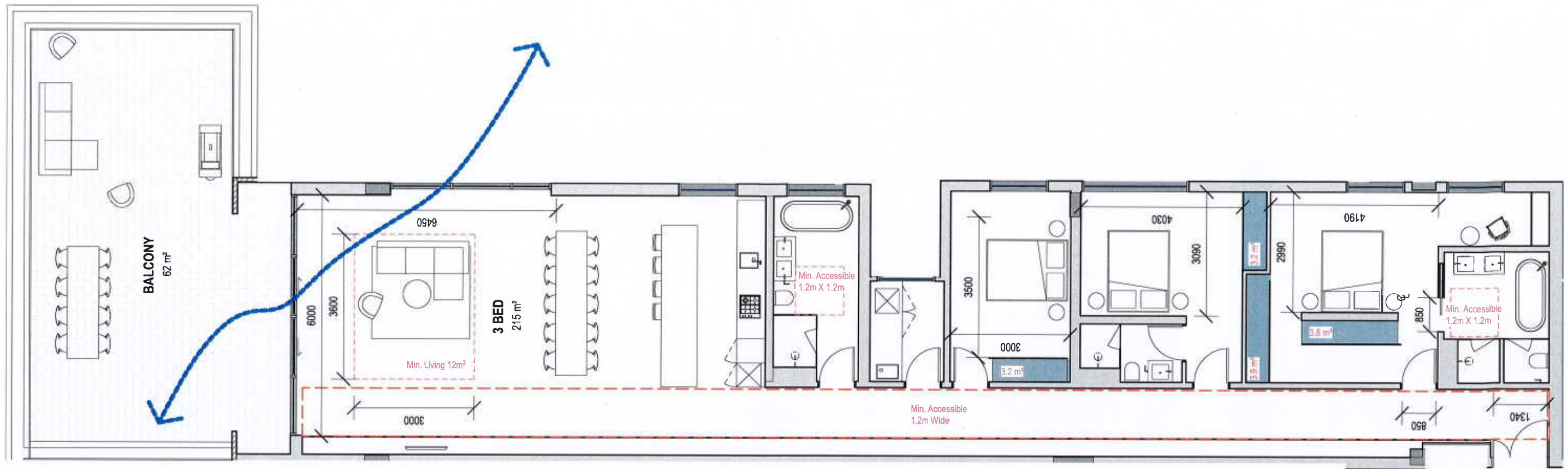
PROJECT #
18-038
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PROJECT
PIEDIMONTE'S SUPERMARKET
27-45 BEST STREET FITZROY NORTH
 STATUS
TOWN PLANNING

DRAWING TITLE
BADS ASSESSMENT
 DRAWING NUMBER
A-TP9-118
 REVISION
04

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 Architects



Legend

- 2700H Robe storage unit
- 920H Kitchen storage unit
- 900H Overhead storage unit

APARTMENT TYPE 3G

01 No. Apartment
Apt 6.02

Internal Storage Requirements:

- 1 bed: 6m²
- 2 bed: 9m²
- 3 bed: 12m²

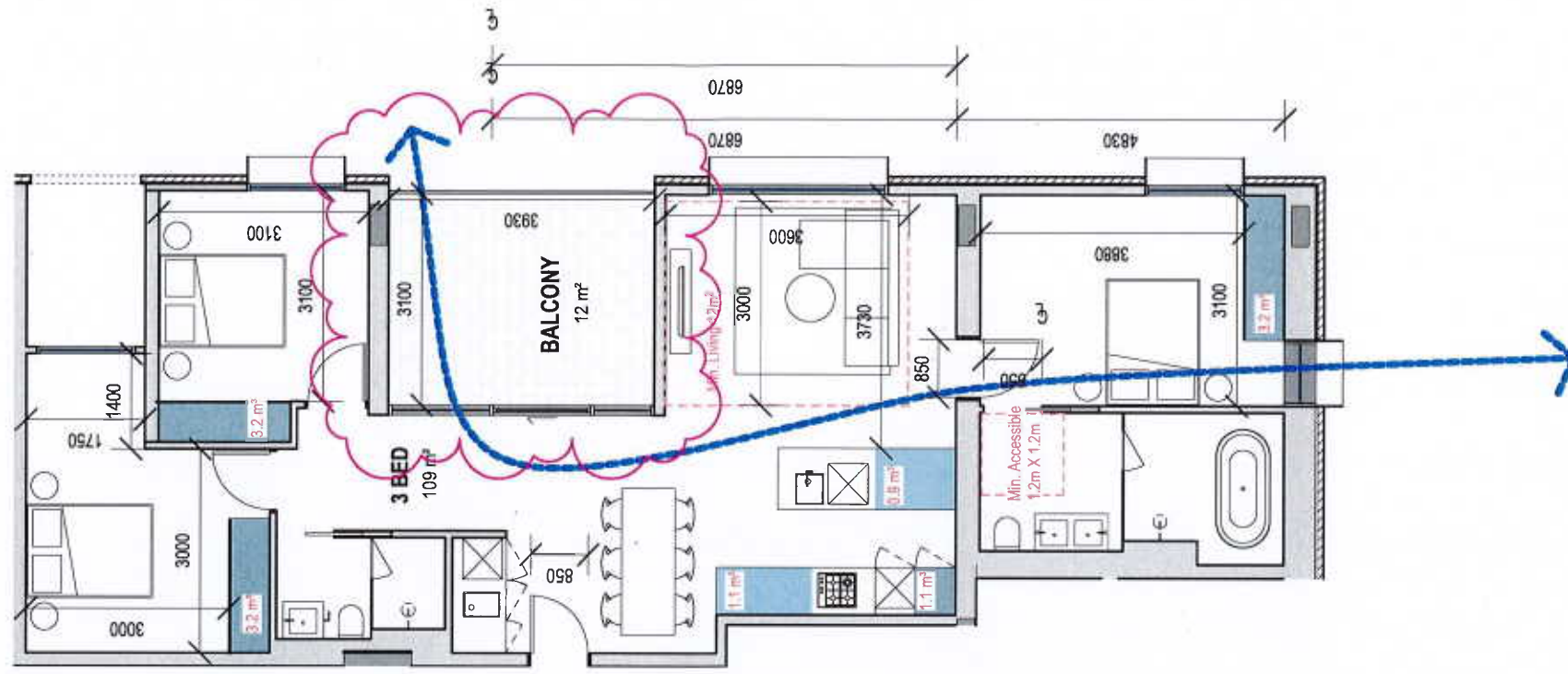
APT TOTAL STORAGE - 14.1m³

- L = Living Room
(3.0x3.3 10m²) 1 bed
(3.0x3.6 12m²) 2 bed +
- MB = Main Bedroom
(3.0x3.4m²)
- B = Standard Bedroom
(3.0x3.0m²)

18-038 PIEDIMONTE'S - BADS
ASSESSMENT MATRIX
180613

ROOM/DWELLING REQUIREMENTS																		
FUNCTIONAL LAYOUT				ROOM DEPTH		WINDOWS	STORAGE			NATURAL VENTILATION	PRIVATE OPEN SPACE			DOA COMPLIANCE				
MAIN BEDROOM	OTHER BEDROOM	LIVING AREA	DINING AREA	CEILING HEIGHT	#1 LEVEL	OVERLOOK YARDING	1 BEDROOM DWELLING	2 BEDROOM DWELLING	3 BEDROOM DWELLING	OVERLOOK	1 BEDROOM DWELLING	2 BEDROOM DWELLING	3 BEDROOM DWELLING	ACCESSIBILITY COMPLIANCE	FRONT DOOR OPENING	CLEAR PATH TO MAIN ENTRANCE, ADAPTABLE BATHROOM AND LIVING	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATHROOM	ADAPTABLE BATHROOM TYPE 4 OR TYPE 6
OK/N	3.0	3.0x3.3/10M²	3.0x3.6/12M²	2.3	3B	3.5 TERRACE	3B INTERNAL	3B TOTAL	3B INTERNAL	3B TOTAL	3B INTERNAL	3B TOTAL	3B INTERNAL	3B TOTAL	3.0M	3.0M	3B	A
3B3B	39	✓	✓	✓	✓	✓	N/A				✓	✓	✓	✓	✓	✓	✓	A





Legend

- 2700H Robe storage unit
- 920H Kitchen storage unit
- 900H Overhead storage unit

Internal Storage Requirements:
 1 bed: 6m²
 2 bed: 9m²
 3 bed: 12m²
APT TOTAL STORAGE - 12.7m³

L = Living Room
 (3.0x3.3 10m²) 1 bed
 (3.0x3.6 12m²) 2 bed +

MB = Main Bedroom
 (3.0x3.4m²)

B = Standard Bedroom
 (3.0x3.0m²)

APARTMENT TYPE 3H

01 No. Apartment
 Apt 6.03

18-038 PIEDIMONTE'S - BADS
 ASSESSMENT MATRIX
 180613

ROOM/DWELLING REQUIREMENTS																						
FUNCTIONAL LAYOUT				ROOM DEPTH		WINDOWS	STORAGE						NATURAL VENTILATION	PRIVATE OPEN SPACE			DOA COMPLIANCE					
MAIN BEDROOM	OTHER BEDROOM	LIVING AREA	DINING AREA	Ceiling Height	APT DEPTH	COMPLIANT WINDOW	1 BEDROOM DWELLING		2 BEDROOM DWELLING		3 BEDROOM DWELLING			1 BEDROOM DWELLING	2 BEDROOM DWELLING	3 BEDROOM DWELLING	ACCESSIBILITY COMPLIANCE	FRONT DEEP OPENING	CLEAR PATH TO MAIN BEDROOM ADAPTABLE BATHROOM AND LIVING	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATHROOM	ADAPTABLE BATHROOM TYPE 4 OR TYPE 6	
SEE 4	SEE 3	SEE 1, 2, 3, 4, 5	SEE 1, 2, 3, 4, 5	2.3m	3M	SEE 1, 2, 3, 4, 5	INT. TOTAL	EXT. TOTAL	INT. TOTAL	EXT. TOTAL	INT. TOTAL	EXT. TOTAL	DOUBLE LOW	2.0M x 0.8M	2M x 0.8M	2.4M x 1.2M	SEE 1, 2, 3, 4, 5	SEE 1, 2, 3, 4, 5	SEE 1, 2, 3, 4, 5	SEE 1, 2, 3, 4, 5	SEE 1, 2, 3, 4, 5	
3H	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	A

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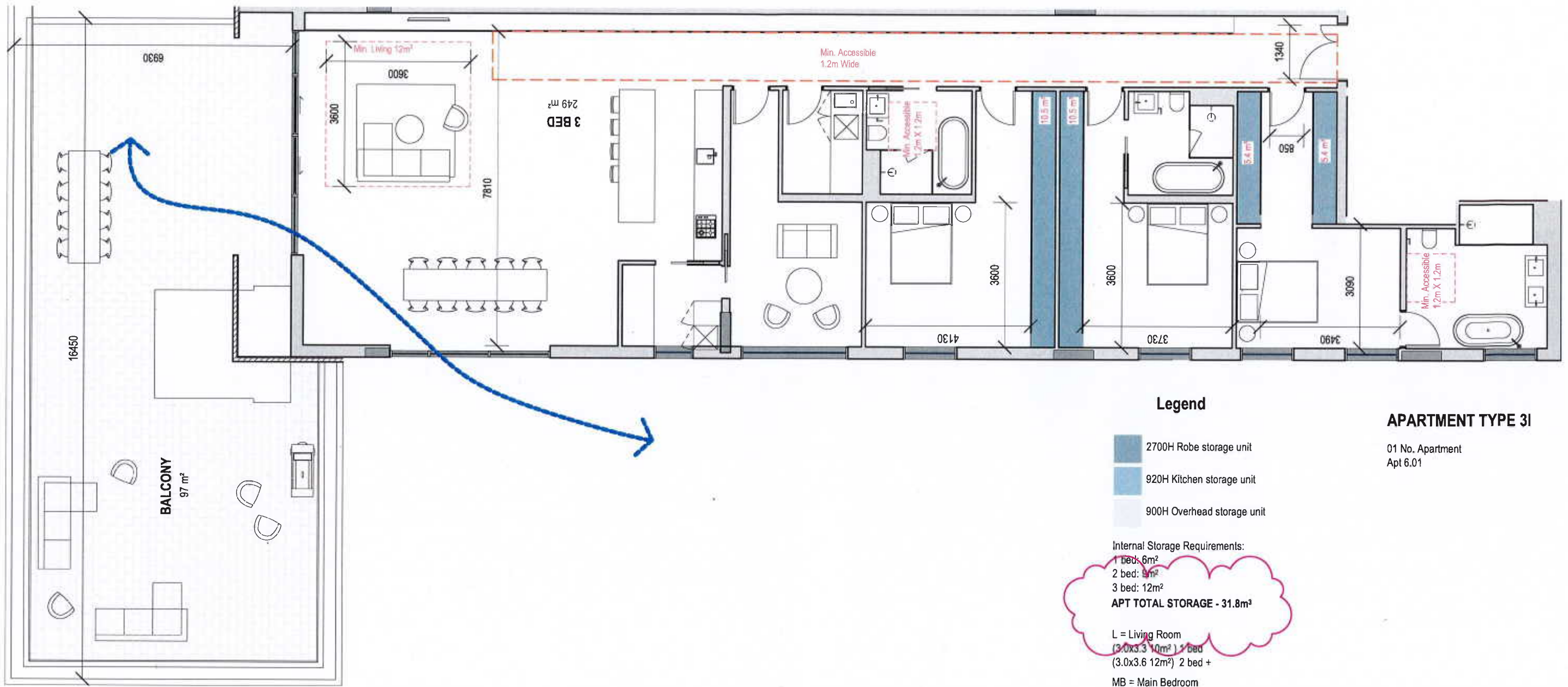
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18/12/2018



PROJECT
PIEDIMONTE'S SUPERMARKET
27-45 BEST STREET FITZROY NORTH
 STATUS
TOWN PLANNING

DRAWING FILE
BADS ASSESSMENT
 DRAWING NUMBER
A-TP9-120
 REVISION
04

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 Architects



Legend

- 2700H Robe storage unit
- 920H Kitchen storage unit
- 900H Overhead storage unit

Internal Storage Requirements:
 1 bed: 6m²
 2 bed: 8m²
 3 bed: 12m²
APT TOTAL STORAGE - 31.8m²

L = Living Room
 (3.0x3.3 10m²) 1 bed
 (3.0x3.6 12m²) 2 bed +

MB = Main Bedroom
 (3.0x3.4m²)

B = Standard Bedroom
 (3.0x3.0m²)

APARTMENT TYPE 31

01 No. Apartment
 Apt 6.01

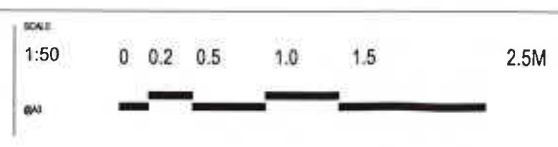
18-038 PIEDIMONTE'S - BADS
 ASSESSMENT MATRIX
 18/06/18

ROOM/DWELLING REQUIREMENTS																						
FUNCTIONAL LAYOUT				ROOM DEPTH		WINDOWS	STORAGE						NATURAL VENTILATION	PRIVATE OPEN SPACE			DDA COMPLIANCE					
MAIN BEDROOM	OTHER BEDROOM	LIVING AREA	DINING AREA	TOILET HEIGHT	APT DEPTH	COMPLIANT SLOPE	1 BEDROOM DWELLING		2 BEDROOM DWELLING		3 BEDROOM DWELLING			1 BEDROOM DWELLING	2 BEDROOM DWELLING	3 BEDROOM DWELLING	ACCESSIBILITY CORRIDOR	FRONT DOOR (PTW)	CLEAR PATH TO MAIN BEDROOM, ADAPTABLE BATHROOM AND LIVING	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATHROOM	ADAPTABLE BATHROOM TYPE 1 OR TYPE 2	
2.0 x 3.0	2.0 x 3.0	3.3 x 3.3 (10m ²)	3.0 x 3.6 (12m ²)	1.2m	3.6m	2.5% SLOPE	6M ² INTERNAL	8M ² TOTAL	12M ² INTERNAL	14M ² TOTAL	18M ² INTERNAL	20M ² TOTAL	CRACKS LOW	1.8m x 0.9m	2.0m x 1.2m	2.4m x 1.2m	1.8m	2.0m	2.4m	1.8m	2.0m	2.4m
						N/A																A

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18/12/2018



PROJECT
PIEDIMONTE'S SUPERMARKET
27-45 BEST STREET FITZROY NORTH
 STATUS
TOWN PLANNING

DRAWING TITLE
BADS ASSESSMENT
 DRAWING NUMBER
A-TP9-121
 REVISION
04

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Legend

- 2700H Robe storage unit
- 920H Kitchen storage unit
- 900H Overhead storage unit

Internal Storage Requirements:
 1 bed: 6m²
 2 bed: 9m²
 3 bed: 12m²
APT TOTAL STORAGE - 17.8m³

L = Living Room
 (3.0x3.3 10m²) 1 bed
 (3.0x3.6 12m²) 2 bed +
 MB = Main Bedroom
 (3.0x3.4m²)
 B = Standard Bedroom
 (3.0x3.0m²)

TOWNHOUSE 1 TYPE 1

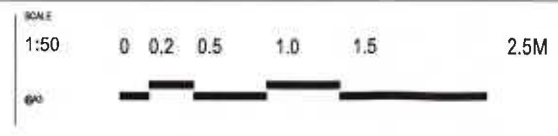
18-038 PIEDIMONTE'S - BADS
 ASSESSMENT MATRIX
 190613

ROOM/DWELLING REQUIREMENTS																				
FUNCTIONAL LAYOUT				ROOM DEPTH		WINDOWS	STORAGE					NATURAL VENTILATION	PRIVATE OPEN SPACE			DDA COMPLIANCE				
MAIN BEDROOM	OTHER BEDROOM	LIVING AREA	KITCHEN AREA	CEILING HEIGHT	APT DEPTH	DOORWAY SWIRKEL	1 BEDROOM DWELLING		2 BEDROOM DWELLING		3 BEDROOM DWELLING		1 BEDROOM DWELLING	2 BEDROOM DWELLING	3 BEDROOM DWELLING	ACCESSIBILITY COMPLIANCE	FRONT YARD OPENING	CLEAR PATH TO MAIN BEDROOM ADAPTABLE BATHROOM FACILITIES	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATHROOM	ADAPTABLE BATHROOM COMPLIANCE TYPE B
300A	300	2.2 W/ 2.0M	3.6 W/ 2.2M	2.7m	5M	1.5 LEANS	0M ² INTERNAL	0M ² TOTAL	0M ² INTERNAL	0M ² TOTAL	0M ² INTERNAL	0M ² TOTAL	CROSS FLOW	1.0M ² / 0M ²	2.0M ² / 0M ²	2.0M ² / 2.0M ²	0M ² / 0M ²	0.0M ² / 0M ²	0.0M ² / 0M ²	0.0M ² / 0M ²

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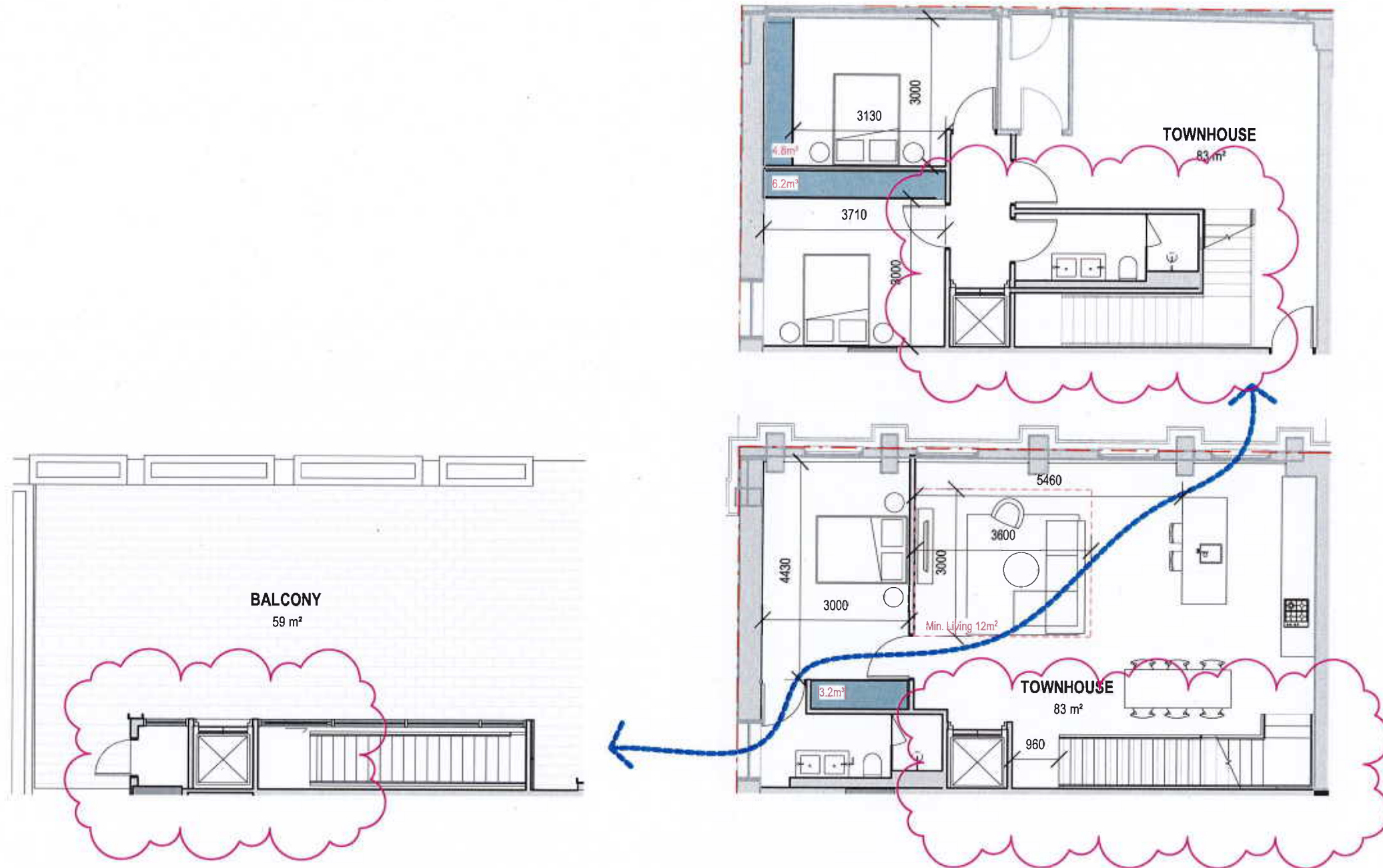
PROJECT #
18-038
 DATE
18/12/2018



PROJECT
PIEDIMONTE'S SUPERMARKET
27-45 BEST STREET FITZROY NORTH
 STATUS
TOWN PLANNING

DRAWING FILE
BADS ASSESSMENT
 DRAWING NUMBER
A-TP9-122
 REVISION
04

Jackson
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Legend

- 2700H Robe storage unit
- 920H Kitchen storage unit
- 900H Overhead storage unit

Internal Storage Requirements:

- 1 bed: 6m²
- 2 bed: 9m²
- 3 bed: 12m²

APT TOTAL STORAGE - 14.2m³

L = Living Room
(3.0x3.3 10m²) 1 bed
(3.0x3.6 12m²) 2 bed +

MB = Main Bedroom
(3.0x3.4m²)

B = Standard Bedroom
(3.0x3.0m²)

TOWNHOUSE 8

01 No. Apartment
TH8

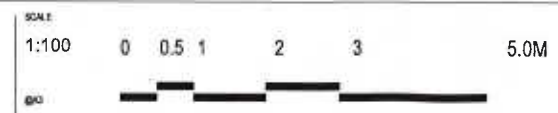
18-038 PIEDIMONTE'S - BADS
ASSESSMENT MATRIX
190813

ROOM/DWELLING REQUIREMENTS																					
FUNCTIONAL LAYOUT				ROOM DEPTH		WINDOWS	STORAGE						NATURAL VENTILATION	PRIVATE OPEN SPACE			DDA COMPLIANCE				
MIN. BEDROOM	OTHER BEDROOM	LIVING AREA	LOBBY AREA	CEILING HEIGHT	APT DEPTH	COMPLIANT WINDOW	1 BEDROOM DWELLING		2 BEDROOM DWELLING		3 BEDROOM DWELLING		CROSS FLOW	1 BEDROOM DWELLING	2 BEDROOM DWELLING	3 BEDROOM DWELLING	ACCESSIBILITY COMPLIANCE	FRONT DOOR OPENING	CLIFF PATH TO MAIN BEDROOM ADAPTABLE BATHROOM ENTRY	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATHROOM	ADAPTABLE BATHROOM TYPE B OR TYPE B'
OK/N	3.3	2.7x3.33M ²	3.6x3.12M ²	2.7M	3M	1:1.1x1.1M ²	IMP. INTERNAL	IMP. TOTAL	IMP. INTERNAL	IMP. TOTAL	IMP. INTERNAL	IMP. TOTAL	OK/CROSS FLOW	1.8x1.8M ²	2M ²	2.8M ²		YES/NO	YES/NO	YES/NO	YES/NO
TH8	✓	✓	✓	✓	✓	N/A							✓				✗	N/A	N/A	N/A	N/A

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04	12/12/19	COUNCIL ENDORSEMENT REVISION

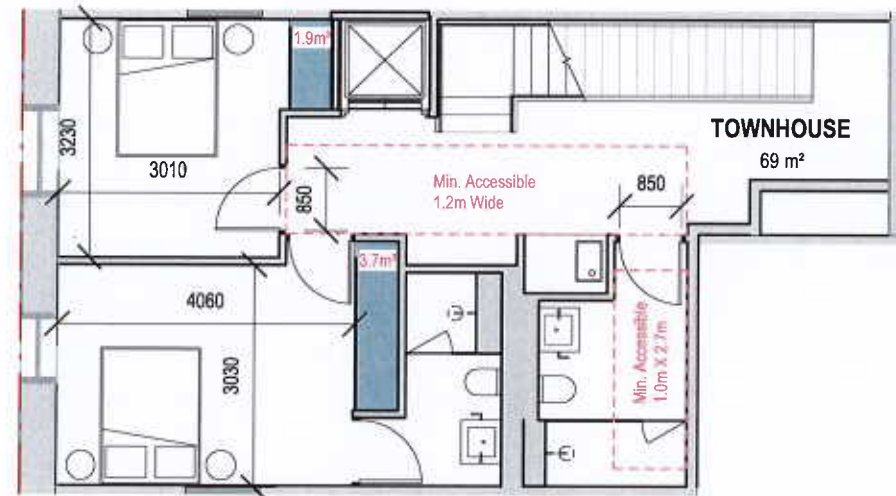
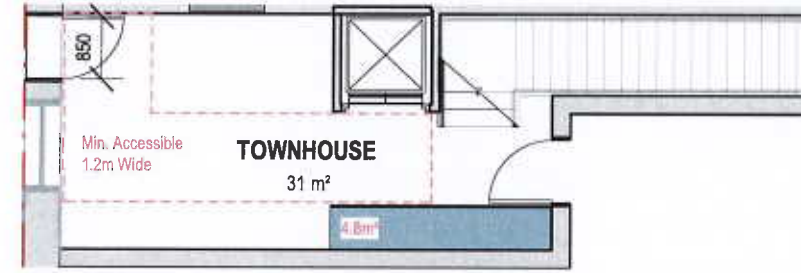
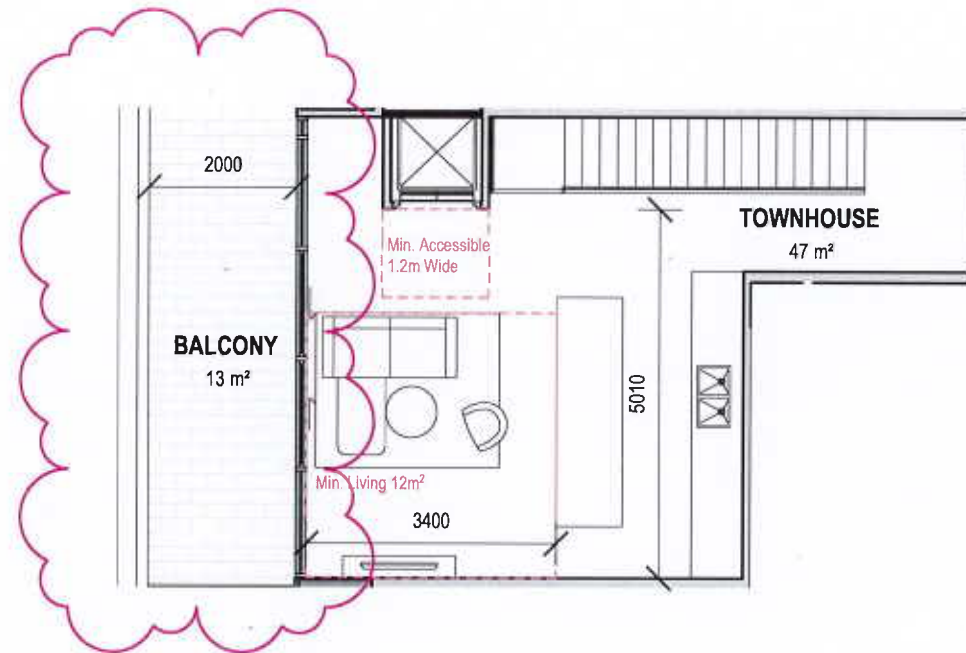
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DATE
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PROJECT
PIEDIMONTE'S SUPERMARKET
27-45 BEST STREET FITZROY NORTH
STATUS
TOWN PLANNING

DRAWING TITLE
BADS ASSESSMENT
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A-TP9-123
REVISION
04

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Legend

- 2700H Robe storage unit
- 920H Kitchen storage unit
- 900H Overhead storage unit

Internal Storage Requirements:

- 1 bed: 6m³
- 2 bed: 9m³
- 3 bed: 12m³

APT TOTAL STORAGE - 10.7m³

L = Living Room
(3.0x3.3 10m²) 1 bed
(3.0x3.6 12m²) 2 bed +

MB = Main Bedroom
(3.0x3.4m²)

B = Standard Bedroom
(3.0x3.0m²)

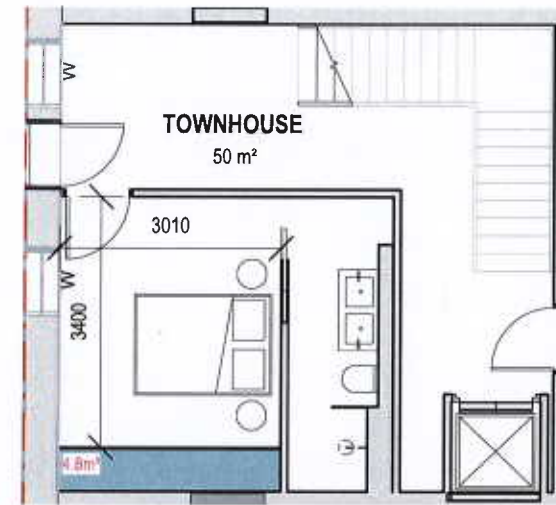
TOWNHOUSE 7

01 No. Apartment
TH7

18-038 PIEDIMONTE'S - BADS
ASSESSMENT MATRIX
190613

ROOM/DWELLING REQUIREMENTS																					
FUNCTIONAL LAYOUT				ROOM DEPTH		WINDOWS	STORAGE			NATURAL VENTILATION	PRIVATE OPEN SPACE			DBA COMPLIANCE							
MAIN BEDROOM	OTHER BEDROOM	LIVING AREA	KITCHEN AREA	TOTAL HEIGHT	W1 TO FPN	COMPLIANT WINDOW	1 BEDROOM DWELLING		2 BEDROOM DWELLING		3 BEDROOM DWELLING		1 BEDROOM DWELLING	2 BEDROOM DWELLING	3 BEDROOM DWELLING	ACCESSIBILITY COMPLIANCE	FRONT DOOR OPENING	CLEAR PATH TO MAIN BEDROOM, ADAPTABLE BATHROOM AND LIVING	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATHROOM	ADAPTABLE BATHROOM TYPE A OR TYPE B	
OK	OK	OK	OK	2.2M	SP	LS / BATH	RM INTERNAL	DBM TOTAL	RM INTERNAL	DBM TOTAL	DBM INTERNAL	DBM TOTAL	CROSS LOW	2.0M / 2.0M	2.0M / 2.0M	2.0M / 2.0M	850MM	2200MM	N/A		
						N/A															



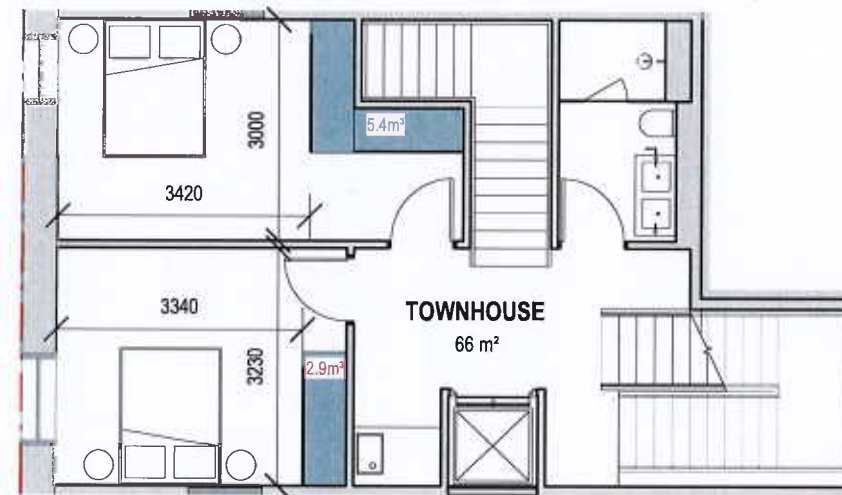
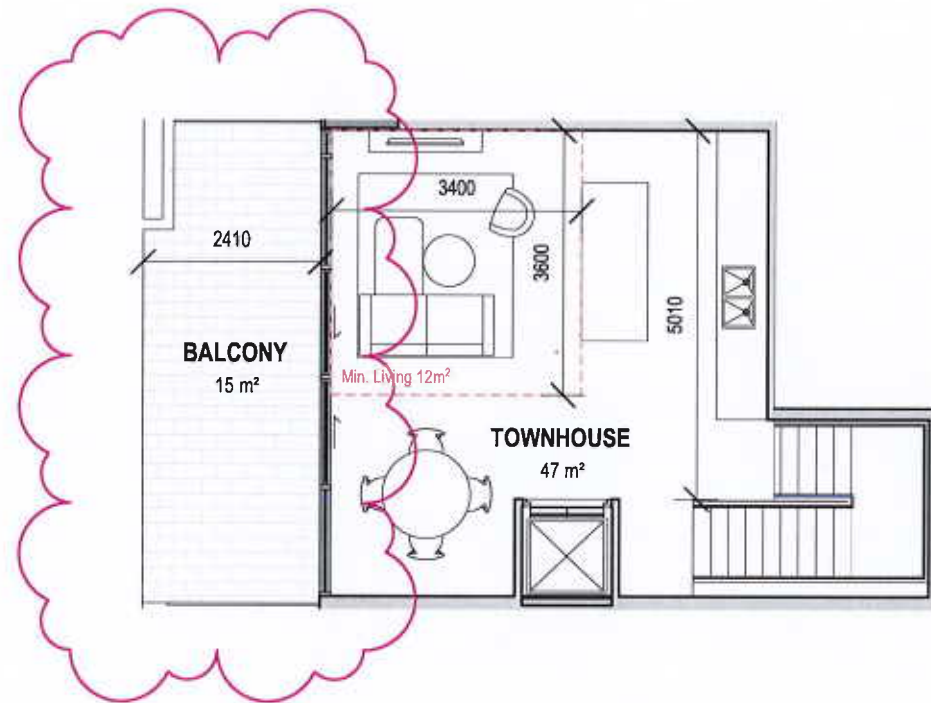


Legend

- 2700H Robe storage unit
- 920H Kitchen storage unit
- 900H Overhead storage unit

Internal Storage Requirements:
 1 bed: 6m²
 2 bed: 9m²
 3 bed: 12m²
APT TOTAL STORAGE - 13.1m³

L = Living Room
 (3.0x3.3 10m²) 1 bed
 (3.0x3.6 12m²) 2 bed +
 MB = Main Bedroom
 (3.0x3.4m²)
 B = Standard Bedroom
 (3.0x3.0m²)



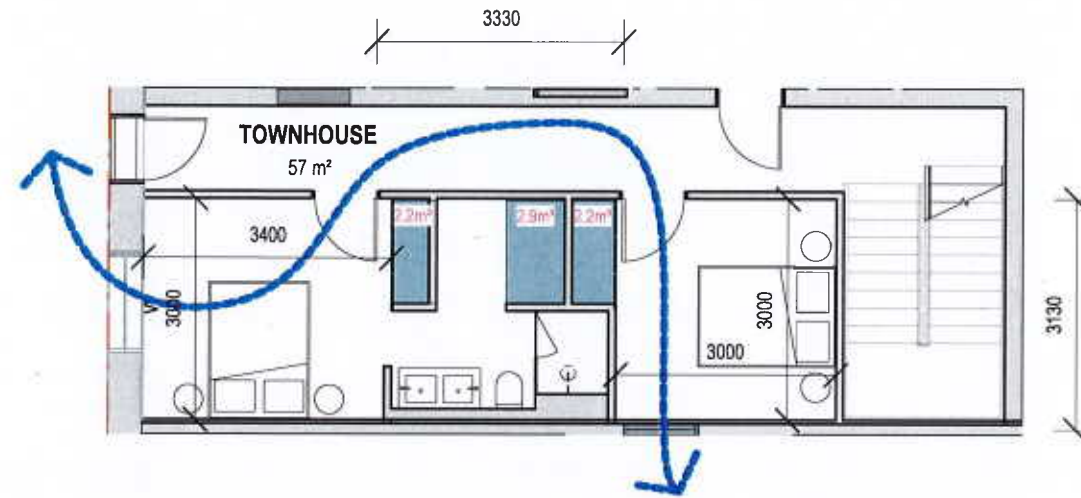
TOWNHOUSE 6

01 No. Apartment
 TH6

18-038 PIEDMONTE'S - BADS
 ASSESSMENT MATRIX
 190613

ROOM/DWELLING REQUIREMENTS																					
FUNCTIONAL LAYOUT				ROOM DEPTH		WINDOWS	STORAGE			NATURAL VENTILATION	PRIVATE OPEN SPACE			DDA COMPLIANCE							
MAIN BEDROOM	OTHER BEDROOM	LIVING AREA	DINING AREA	CEILING HEIGHT	APT DEPTH	(COMPLIANT SMOKE)	1 BEDROOM DWELLING		2 BEDROOM DWELLING		3 BEDROOM DWELLING		1 BEDROOM DWELLING	2 BEDROOM DWELLING	3 BEDROOM DWELLING	ACCESSIBILITY (COMPL. SPACE)	FRONT DOOR OPENING	CLEAR PATH TO MAIN BED ROOM (ADAPTABLE BATHROOM AND LIVING)	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATHROOM	ADAPTABLE BATHROOM TYPE A OR TYPE B	
3.3 x 4	3.3	3.7 x 3.0 x 3.6	3.0 x 3.6 x 3.6	2.7m	5M	3.3 x 1.475	MB INTERNAL	MB TOTAL	MB INTERNAL	MB TOTAL	MB INTERNAL	MB TOTAL	0.9 x 2.9	1.8 x 3.0	2.9 x 3.0	0.9 x 2.9	0.9 x 2.9	1.2 x 2.1	0.9	0.9	0.9
TH6	✓	✓	✓	✓	✓	N/A							✓	✓	✓	✓	✓	✓	✓	✓	✓



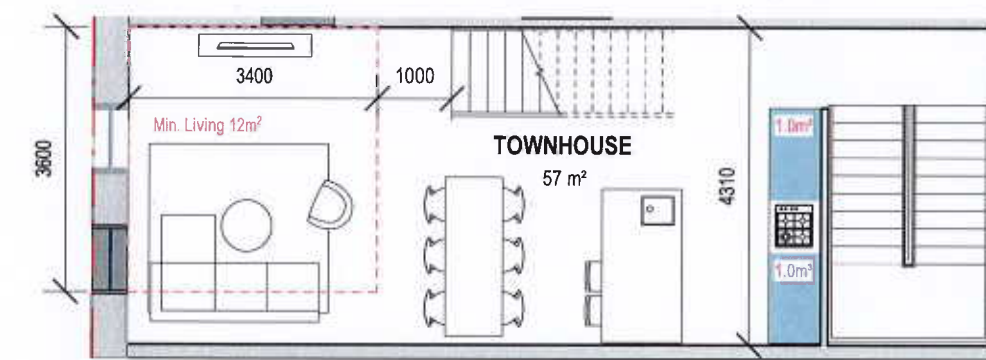
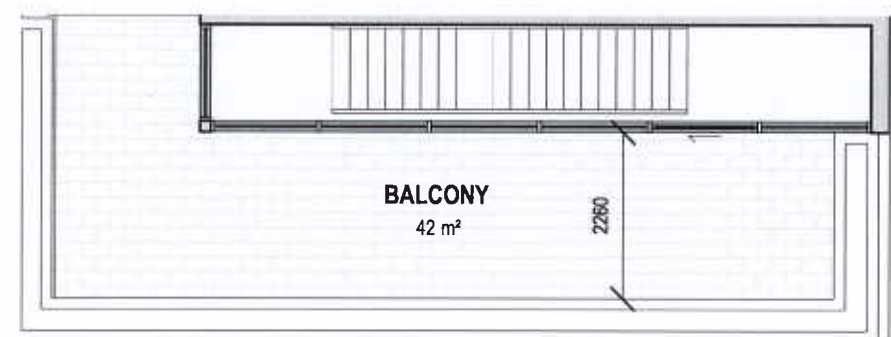


Legend

- 2700H Robe storage unit
- 920H Kitchen storage unit
- 900H Overhead storage unit

Internal Storage Requirements:
 1 bed: 6m²
 2 bed: 9m²
 3 bed: 12m²
APT TOTAL STORAGE - 9.3m³

L = Living Room
 (3.0x3.3 10m²) 1 bed
 (3.0x3.6 12m²) 2 bed +
 MB = Main Bedroom
 (3.0x3.4m²)
 B = Standard Bedroom
 (3.0x3.0m²)



TOWNHOUSE 5

01 No. Apartment
 TH5

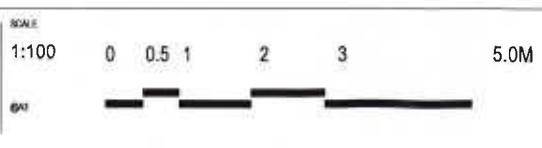
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 ASSESSMENT MATRIX
 180613

ROOM/DWELLING REQUIREMENTS																				
FUNCTIONAL LAYOUT				ROOM DEPTH		WINDOWS	STORAGE				NATURAL VENTILATION	PRIVATE OPEN SPACE			ODA COMPLIANCE					
MAIN BEDROOM	OTHER BEDROOM	LIVING AREA	KITCHEN AREA	CEILING HEIGHT	APT DEPTH	COMPLIANT WINDOWS	2 BEDROOM DWELLING		3 BEDROOM DWELLING		4 BEDROOM DWELLING		1 BEDROOM DWELLING	2 BEDROOM DWELLING	3 BEDROOM DWELLING	ACCESSIBILITY CORRIDOR	FRONT DOOR (SWING)	CLEAR PATH TO MAIN BEDROOM (APT NO. 2 BY TOWNHOUSE AND LIVING)	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATHROOM	ADAPTABLE BATHROOM TYPE A OR TYPE B
REQ A	REQ B	ST W/ 2200	1.6 W/ 2200	2.4m	3M	1.5 (1.8x7.0)	INT. TOTAL	EXT. TOTAL	INT. TOTAL	EXT. TOTAL	INT. TOTAL	EXT. TOTAL	1.0M x 2.0M	2.0M x 2.0M	2.0M x 2.2M	NO	NO	NO	NO	NO
TH5						N/A														

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27-45 BEST STREET FITZROY NORTH
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