

xx/xx/xxxx
Proposed
C231 Pt2**SCHEDULE 16 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT
OVERLAY**Shown on the planning scheme map as **DDO16**.**390A QUEENS PARADE, FITZROY NORTH****1.0**xx/xx/xxxx
Proposed
C231 Pt2**General Design objectives**

- To ensure development recognise and responds to the distinct heritage character and heritage streetscapes and varying development opportunities defined by the five precincts along Queens Parade, and supports the existing low-rise character in Precinct 4
- To support a new mid-rise character behind a consistent street wall in precincts 2-5.
- To protect the integrity of historical streetscapes and clusters of heritage buildings of a similar scale and materiality.
- To ensure development respects the architectural form and qualities of heritage buildings and streetscapes and maintains the visual prominence of the St John the Baptist church belfry and spire, the former ANZ Bank building, the former United Kingdom Hotel and the former Clifton Motors garage.
- To promote design excellence that ensures new development responds to the grand, tree-lined respects the wide, open boulevard character of Queens Parade, including where existing historic trees are key elements in the streetscape, they remain the dominant visual feature.
- To ensure development responds to sensitive interfaces by ensuring that the overall scale and form of new buildings provides a suitable transition to low scale residential areas and protects these properties from unreasonable loss of amenity through visual bulk, overlooking and overshadowing.

2.0xx/xx/xxxx
Proposed C231
Pt2**Buildings and works**~~A permit is required to construct a building or construct or carry out works.~~**2.1****Definitions**~~**1:1 ratio heritage street wall to new built form** is where the height of the heritage street wall equals the height of the new development above street wall when viewed from the opposite side of the street from the centre of the footpath at a height of 1.6 metres above ground level~~~~**Street wall** is the façade of a building at the street boundary. Street wall height is measured at the vertical distance between the footpath at the centre of the frontage and the highest point of the building, parapet, balustrade or eaves at the street edge, with the exception of architectural features and building services.~~~~**Building height** is the vertical distance from natural ground level to the roof or parapet at any point.~~~~**Heritage building** means any building subject to a Heritage Overlay, on the Victorian Heritage Register or any building graded as either Contributory or Individually Significant.~~~~**Laneway** means a road reserve of a public highway 9 metres or less in width.~~~~**Building height** does not include non structural elements that project above the building height and service equipment including plant rooms, lift overruns, structures associated with green roof areas, screens to service areas or other such equipment provided that all of the following criteria are met:~~

- ~~The total roof area occupied by the service equipment (other than solar panels) is minimised;~~
- ~~The service equipment is located in a position on the roof so as to minimise its visibility;~~
- ~~The non structural elements and service equipment do not cause additional overshadowing of neighbouring properties and public spaces;~~
- ~~The non structural elements and service equipment do not extend higher than 3.6 metres above the maximum building height; and~~
- ~~The non structural elements and service equipment are integrated into the design of the building to the satisfaction of the responsible authority;~~

Parapet height does not include features such as brackets, pediments, urns, finials or other decorative elements.

Public realm means all streets and spaces open to the public but does not include laneways.

Street wall means the façade of a building at the street boundary, or if the existing heritage building is set back from the street boundary, the front of the existing building.

Street wall height means the height of the street wall measured by the vertical distance between the footpath at the centre of the frontage and the highest point of the building, parapet, balustrade or eaves at the street edge or in the case of a heritage building if it is set back from the street from the centre of the building frontage to the highest point of the building, parapet, balustrade or eaves.

~~Setback is the shortest horizontal distance from a building, including projections such as balconies, building services and architectural features, to the boundary.~~

~~Upper level~~ is means development above the height of the street wall.

Upper level setback means the setback of the upper level measured from the street wall of the building.

2.2 General ~~design~~ requirements

The following requirements apply to an application to construct a building or carry out works and must be read in conjunction with the relevant precinct design requirements.

- A permit ~~cannot~~ must not be granted or amended (unless the amendment would not increase the extent of non-compliance) to construct a building or carry out works which exceed the mandatory maximum building height, mandatory maximum street wall height or mandatory maximum street wall setback or are less than the mandatory minimum street wall height or mandatory minimum upper level setbacks ~~are not in accordance with the mandatory requirements~~ specified in the relevant Precinct Tables.
- A permit ~~cannot~~ must not be granted or amended (unless the amendment would not increase the extent of non-compliance) to construct a building or carry out works which exceeds the preferred building height and setbacks shown in the relevant Precinct Tables unless the following requirements are met, to the satisfaction of the responsible authority:
 - The built form outcome as a result of the proposed variation satisfies the general design objectives in Clause 1.0; ~~and~~
 - The built form outcome as a result of the proposed variation satisfies the All other relevant requirements specified in this schedule.

Architectural features may exceed the preferred or mandatory height.

~~Building height does not include non structural elements that project above the building height and~~ Service equipment / structures including plant rooms, lift overruns, structures associated with green roof areas, screens to service areas or ~~and other such equipment~~ may exceed the mandatory or preferred height provided that all each of the following criteria are met for the equipment or structure:

- ~~The total~~ Less than 50 per cent of roof area is occupied by the service equipment (other than solar panels) is minimised;

- ~~— The service equipment is located in a position on the roof so as to minimise its visibility;~~
 - ~~The non structural elements and service equipment does not cause additional overshadowing of neighbouring properties and public spaces~~ private open space, Napier Reserve and Queens Parade.;
 - ~~— The non structural elements and service-~~The equipment does not extend higher than 3.6 metres above the maximum building height.;
 - ~~— The non structural elements and service equipment are integrated into the design of the building to the satisfaction of the responsible authority.~~
- Projections such as balconies and building services should not intrude into a setback or upper level setback.

2.3 Street wall height requirements

- Except in Precinct 4, the street wall height should be no higher than the parapet height of an abutting heritage building/s for a minimum length of 6 metres measured from the edge of the heritage building/s.

2.4 Upper level requirements

- Upper level development should:
 - ~~Development must p~~Provide setbacks whichto ensure that upper level additions seen from the public realm are high quality and do not diminish the appreciation of the heritage building and streetscape.
 - ~~Development must a~~Avoid repetitive stepped built form at upper levels—of development.
 - Be visually recessive.
 - ~~u~~Use materials at upper levels that are recessive in finish and colour.
 - Include articulated ~~be designed so that side walls are articulated.~~ where visible from the public realm, which are designed to reduce the visual impact of the wall and read as part of the overall building design.
 - ~~a~~Avoids continuous built form at upper levels.
 - Ensure balconies at upper levels do not dominate the solid façades of heritage street walls
 - Minimise the visual intrusion of equipment and services.
 - Protect the contribution made by chimneys, parapets and other architectural features to the fine grained character of the area.
- ~~Facades at ground level must be designed with floor to floor ceiling heights suitable to accommodate commercial activity in the Commercial 1 Zone and the Mixed Use Zone.~~
- ~~Development must create a consistent street wall height along the streetscapes.~~
- ~~Future vehicle access and services must be provided from a rear laneway or side street where possible.~~
- ~~Development must provide setbacks which ensure that upper level additions seen from the public realm are high quality and do not diminish the appreciation of the heritage building and streetscape.~~
- ~~Development must avoid repetitive stepped built form at upper levels of development.~~
- ~~Unless specified in another table in this schedule, any part of a building adjacent to land in a residential zone must comply with the following:~~

Table to Clause 2.2 boundary wall height and setback requirements for development adjoining a residential zone

| | boundary wall height | setback |
|--------------------------|-----------------------------|---------------------------------------|
| Common boundary | 5 metres | 45 degrees above boundary wall height |
| Laneway interface | 8 metres | 45 degrees above boundary wall height |

2.5 Corner site requirements

- New development on a corner site with a frontage to Queens Parade should continue the Queens Parade street wall height along the side street, with a transition in height to match the rear interface where required. This requirement does not apply to a laneway except where specified.

2.6 Ground floor design requirements

- Facades at ground level ~~must~~ should be designed with floor to floor ceiling heights suitable to accommodate commercial activity in the Commercial 1 Zone and the Mixed Use Zone.
- Building services and service cabinets should be located away from the street frontage of heritage facades and they should be designed and located so they complement the street frontage and character and appearance of the heritage building.
- Windows of commercial premises, habitable rooms, and principal pedestrian entrances should be orientated towards the public realm and contribute to the safety of the adjoining public realm.

2.7 Vehicular access, car parking, and loading areas requirements

- New vehicle crossovers onto Queens Parade should be avoided.
- Future vehicle access and services must be provided ~~from~~ by a rear laneway or side street where possible.
- Vehicle ingress and egress into development, including loading facilities and building servicing, should ensure a high standard of pedestrian amenity and limit potential conflict between vehicle movements and pedestrian activity.
- Development on a laneway should include a rear/side setback or a corner splay at ground floor, to facilitate the ongoing functionality of the laneway and allow for building services and car park access.
- Permanent obstructions within a rear/side setback or splay to a laneway should be avoided.

2.38 Heritage design requirements

Design requirements for development on land affected by a Heritage Overlay or immediately adjacent to a heritage building

The following requirements apply to an application to construct a building or carry out works and must be read in conjunction with the relevant precinct design requirements development on land affected by a Heritage Overlay or immediately adjacent to a heritage building.

| Element | Design Requirement |
|--|--|
| <p>Building facades and street frontages</p> | <p>Infill buildings and development adjoining a heritage building</p> <p>Façade treatments and the articulation of infill buildings on land affected by a heritage overlay or immediately adjoining a heritage building must<u>should</u>:</p> <ul style="list-style-type: none"> • ensure façade treatments and the articulation of new development are<u>be</u> simple and do not compete with the more elaborate detailing of nineteenth century buildings <u>• respect the vertical proportions of the nineteenth and twentieth century facades in the heritage streetscape and/or the adjoining heritage building(s)</u> • avoid large expanses of glazing with a horizontal emphasis except to ground floor shopfronts • avoid large expanses of unarticulated curtain glazing, glazing with a horizontal emphasis except for ground floor shopfronts<u>avoid the use of unarticulated curtain glazing and highly reflective glass and glazing with a horizontal emphasis except for ground floor shopfronts</u> • reflect the existing canopy/verandah height of the heritage streetscape and/or adjoining heritage building(s) <p>Adaption of cContributory or individually significant buildings must</p> <p><u>Adaption and reuse of contributory or individually significant buildings should:</u></p> <ul style="list-style-type: none"> <u>• maintain existing openings and</u> avoid highly reflective glazing in historic openings • encourage the retention of solid built form behind retained facades and avoid balconies behind existing openings • maintain the inter-floor height of the existing building and avoid new floor plates and walls cutting through historic openings |
| <p><u>Upper level behind heritage street wall</u></p> <p><u>Design of upper levels</u></p> | <p>Upper level development on land within a heritage overlay and on land immediately adjoining a heritage building must<u>should</u>:</p> <ul style="list-style-type: none"> • be visually recessive and not visually dominate the heritage building and the heritage streetscape • retain the primacy of the three-dimensional form of the heritage building as viewed from the public realm to avoid 'facadism' • utilise visually lightweight materials and finishes that are recessive in texture and colour and provide a juxtaposition with the heavier masonry of the heritage facades • incorporate simple architectural detailing that does not detract from significant elements of the heritage building and the heritage streetscape • be articulated to reflect <u>the rhythm of the wider streetscape, the fine grained character and subdivision pattern</u> of the streetscape, <u>especially on larger sites.</u> |
| <p><u>Upper level setbacks</u></p> | <p><u>Upper level setbacks in excess of the minimum mandatory upper level setback should be provided where:</u></p> |

| Element | Design Requirement |
|---------|---|
| | <ul style="list-style-type: none"> • <u>it would facilitate the retention of a roof form and chimneys that are visible from the public realm, or a roof or any feature that the relevant statement of significance identifies as contributing to the significance of the heritage building or streetscape</u> • <u>it would maintain the perception of the three-dimensional form and depth of the building</u> • <u>a lesser setback would detract from the character of the streetscape when viewed directly or obliquely along Queens Parade.</u> |

2.9 Interface to residential properties in NRZ or GRZ requirements

- Development should respond to the low scale form of existing development through an appropriate transition in building height and setbacks to ensure reasonable standards of amenity.
- In Precinct 4, where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9 am and 3 pm on 22 September. If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced.

2.410 Precinct design requirements

The following precinct specific design requirements apply in addition to the general design requirements outlined in Clause 2.2-2.9.

2.4.1 Precinct 1 – Brunswick Street

~~Shown on the planning scheme map as **DDO16-1**~~

~~The design requirements for Precinct 1 are as follows:~~

~~Development must:~~

- ~~ensure that upper level development is visually recessive retain the visual prominence of the individually significant corner building that forms the southern gateway to Queens Parade and to Fitzroy North more broadly~~
- ~~be low rise~~
- ~~reinforce the heritage values of the precinct~~
- ~~provide for vehicular access off the laneway~~



Map of Precinct 1

Table 1B – Front street wall height, building height setbacks for Precinct 1B

| Built Form | Mandatory Control | Preferred Control |
|--|--|-----------------------------------|
| Development at and adjoining 460 Brunswick Street | | |
| Maximum Building building height | Maximum 9 metres | |
| Street wall height and front setback | match the parapet height of 460 Brunswick Street | Built to boundary at ground level |
| Upper level setback | Minimum 5 metres | |
| Setbacks from side and rear boundary | | Res Code B17 |

| Development on Brunswick Street, Queens Parade and land fronting the laneway known as Lot 1 on Title Plan TP806921 (apart from land at and adjoining 460 Brunswick Street) | | |
|---|--|--|
| Building height | Maximum 9 metres on Lot 1 on Title Plan TP806921 | Maximum 9 metres elsewhere |
| Street wall or façade height and setback | Retain existing | Match the parapet or eaves height of taller adjacent heritage building |
| Setbacks from side and rear boundary and a laneway | | Res Code B17 |
| Upper level setback | | 6 metres from the facade |

2.4.1 Precinct 2 – Boulevard Precinct

Shown on the planning scheme map as **DDO16-2**

The design requirements for Precinct 2 are as follows:

Development must:

- not diminish or detract from the heritage values of the boulevard streetscape, the heritage street wall and the heritage trees along Queens Parade and deliver an appropriate interface arrangement to neighbouring properties and that minimises visual bulk and mass when viewed from the adjoining properties.

•

- ~~ensure adequate solar access is provided to the Queens Parade boulevard and Napier Street Reserve at the equinox from 9am-3pm.~~

Development in Precinct 2A must also:

- ~~ensure projections above the street wall are not dominant in the skyline when viewed from the north side of Newry Street and of Coleman Street and the WT Peterson Oval, the Fitzroy Grandstand and other locations in the southern part of Edinburgh Gardens.~~
- ~~ensure adequate solar access is provided to the Queens Parade boulevard and Napier Street Reserve at the equinox from 9am-3pm.~~
- maintain the prominence and significance of the art deco facade.
- the low scale, buildings and fine grain subdivision pattern of existing development to the north and west.
- encourage pedestrian permeability within and through the precinct. avoid a repetitive stepped form within the 45 degree angle profile.
- Development in Precincts 2C and 2D must also:
 - maintain the prominence of heritage buildings along Napier Street when viewed from Napier Reserve.
 - be appropriately setback at upper levels from the heritage buildings along Napier Street.
 - provide an appropriate transition in scale from the heritage buildings along Napier Street and Alexandra Parade.
 - provide vehicular access from laneways
 - provide building separation to reduce visual bulk



Table 2— Street wall height, building height and setbacks for Precincts 2A, 2C and 2D

| Built form | Mandatory requirement | Preferred requirement |
|---|---|---|
| Precinct 2A | | |
| Built Form | Mandatory requirement | Preferred requirement |
| Building height | Maximum of 31m | |
| Front street wall height | Retain height of existing heritage façade. Maximum of 10 metres where no heritage façade exists. | <u>None specified</u> Street wall of development adjoining the individually significant building must not exceed the parapet height of the taller adjoining heritage building |
| Front setback | | 0 metres to maximum 10 metres |
| Upper level setback from front of building | | Above existing heritage façade: <ul style="list-style-type: none"> Minimum 8 metre setback from 10 metres to 16 metres Minimum 10 metre setback from 16 metres |

| | | |
|---|------------------------------|--|
| | | <p>Above new street wall (where no existing heritage façade):</p> <ul style="list-style-type: none"> ● Minimum of 5 metre setback from 10 metres to 16 metres ● Minimum of 8 metres setback from 16 metres |
| Setback(s) from rear boundaries north and west adjacent to NRZ and GRZ | | <p>ResCode B17 from rear boundary of adjoining properties to 10 metres</p> <p>Setback within 45-degree angle measured from 10-25 metres (</p> |
| Setbacks from side boundary east adjacent to NRZ | | <p>0 metre setback to match party wall of existing adjoining development to 10 metres</p> <p>Setback within 45 degree angle measured from 10-25 metres</p> |
| Setbacks from side boundary east adjacent to MUZ | | <p>0 metre setback to match party wall of existing adjoining development, or 10 metre where no party wall exists.</p> <p>Minimum of 9 metre setback from the windows/ balconies of adjoining apartments up to 16 metres</p> <p>Minimum of 15 metre setback above 16 metres</p> |
| Setbacks from side and rear boundaries west and north-west adjacent to MUZ | | <p>0 metre setback to match party wall of existing adjoining development, or 10 metre where no party wall exists.</p> <p>Setback within 45-degree angle measured from 10-25 metres</p> |
| Precinct 2C | | |
| Built Form | Mandatory requirement | Preferred requirement |
| Building height | | Maximum of 28 metres |
| Front street wall height | | <p>Maximum 18 metres for development on Queens Parade, George Street and Alexandra Parade</p> <p>Development on Napier Street should not exceed the parapet height of the adjoining heritage buildings.</p> |
| Upper level setback | | 5 metres minimum |

| | | |
|---|--------------------------------|---|
| Setback(s) from boundary of 472 to 484 Napier Street | | Setback within a 45-degree angle line measured from 12 metres |
| Minimum Side and rear setbacks | | <u>Rear setback:</u> <u>4.5m from centreline of laneway for height of the entire building</u> <u>Side setbacks:</u> <u>For upper levels, where a habitable room window is proposed:</u> <u>— 4.5 metres from the common boundary or from the centre line of the laneway.</u> <u>For upper levels, where a non-habitable room window or commercial window is proposed:</u> <u>3 metres from the common boundary or the centre line of the laneway</u> ResCode B17 |
| Precinct 2D | | |
| Built Form | Mandatory requirement | Preferred requirement |
| Building height | | 18 metres |
| Front street wall height | Retain existing parapet height | |
| Upper level setback | Minimum 6 metres from facade | |

4.5m from centreline of laneway for height of the entire building

2.4.2 Precinct 3 – St John’s Precinct

Shown on the planning scheme map as **DDO16-3**

Development must

- ~~achieve a consistent street wall height along Queens Parade, extending along Smith Street.~~
- ~~respond to the low scale form of existing development outside Precinct 3 on Hodgkinson Street through an appropriate transition in building height.~~
- ~~recognise the fine grain character of heritage streetscapes and minimise the dominance of wide building frontages.~~
- ~~deliver high quality architectural detailing that respects the heritage qualities of Queens Parade and Smith Street.~~
- ~~maintain the prominence of the heritage street wall in the streetscape and the vista along Queens Parade.~~

The design requirements for Precinct 3A are as follows:

- ~~▪ Development must maintain views of the belfry and spire of St John’s church and maintain clear sky between the belfry and spire and new development when viewed from the centre of the footpath on the south east corner of the intersection with Queens Parade and Smith Street (as indicated on Map 3). A permit cannot be granted to construct a building or carry out works if it does not meet this requirement.~~
- ~~▪ that upper level development is visually recessive and does not detract from the heritage streetscape.~~
- ~~▪ use materials at upper levels that are recessive in finish and colour.~~
- ~~▪ be designed so that side walls are articulated and read as part of the overall building design.~~
- ~~▪ avoids continuous built form at upper levels.~~

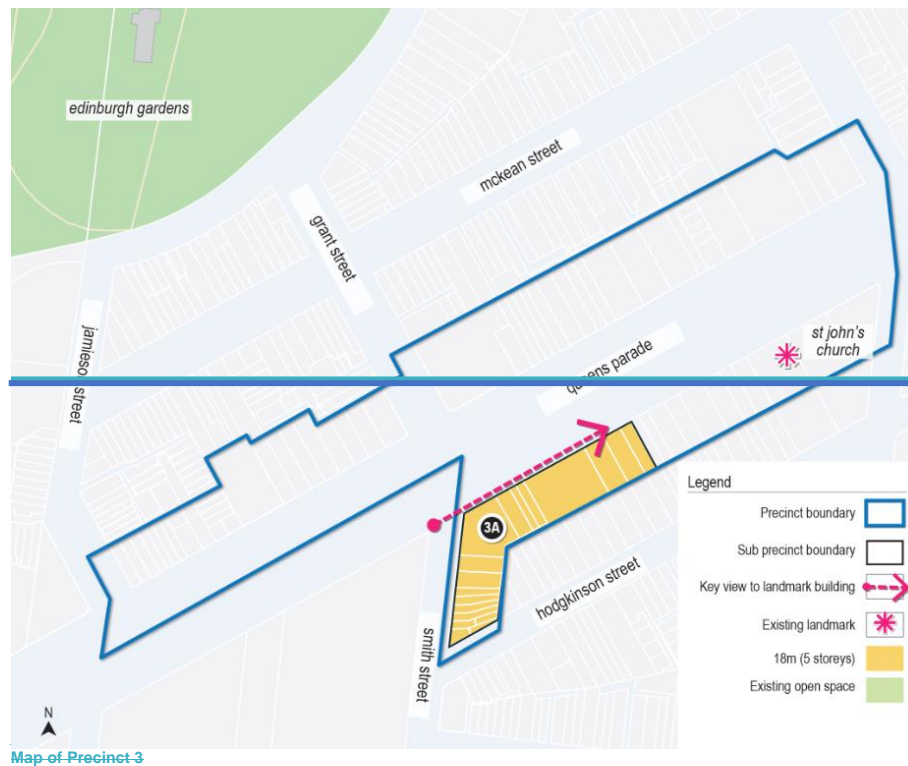


Table 3 – Street wall height, building height and setbacks for Precinct 3A

| Built Form | Mandatory requirement | Discretionary requirement |
|---------------------------------|--|---------------------------|
| Building height | | Maximum of 18m |
| Front street wall height | Maximum 11 metres for 15-33 Queens Parade Retain height of existing heritage façade. Development adjoining a heritage building must match the parapet height of adjacent taller heritage building. Maximum of 14m elsewhere | |

| | | |
|---|---|--|
| <u>Minimum upper level setback</u> | Minimum of 6 metres at 664 Smith Street (former Fire Station) and Minimum 6 metres at 15-41 Queens Parade | 6 metres elsewhere |
| <u>Street wall setback</u> | | 0 metres – built to front boundary at ground level |
| <u>Rear setback</u> | | 45° above 8 metres from rear boundary to a laneway 45° above 5 metres from rear boundary (no laneway) |
| <u>Side setback</u> | <u>None specified</u> | If adjoins NRZ, ResCode B17 0 metres elsewhere |
| | | |
| <u>Maximum building height</u> | | |
| <u>Maximum street wall height</u> | <u>Retain height of existing heritage façade.</u> | |
| <u>Minimum upper level setback</u> | <u>6 metres</u> | |
| <u>Maximum street wall setback</u> | | <u>0 metres – built to front boundary at ground level</u> |
| <u>Minimum rear setback</u> | | |

2.4.310.4 390A Queens Parade (part of Precinct 4 – Activity Centre Precinct)

Shown on the planning scheme map as **DDO16-4**

Preferred character statement

Buildings and works should deliver:

- A unique and vibrant Victorian era shopping strip which forms the retail and activity focus of Queens Parade building on its distinctive heritage qualities.
- Development that complements the scale of heritage buildings and the patterns and rhythms of heritage features.
- Upper level infill that reinforces the prevailing street wall and subdivision grain of significant streetscapes and transitions to residential abutments to the rear.
- Well designed building frontages and public realm that reinforce the pedestrian experience of this part of Queens Parade as and the central hub for the local community
- Development that retains the prominence of the former ANZ Building.

Design requirements

The design requirements for Development Precinct 4 are as follows must:

- Development must protect and maintain key view lines and visual prominence of the former ANZ Building from the south-west and north-east, in particular to the upper floor,

roof form and chimneys (as indicated on Map 41). A permit cannot be granted to ~~construct a building or carry out works if it does not meet~~ vary this requirement.

Development ~~must~~ should:

- Respect the consistent scale, grain, rhythm and architectural quality of the highly intact heritage streetscapes and the heritage buildings in the precinct.
- ~~retain~~ Retain the visual prominence of heritage buildings, their street wall and ~~significant~~ 'High Street' heritage streetscapes when viewed from the opposite side of Queens Parade.
- ~~facilitate~~ Facilitate the appropriate ~~mid-low~~ rise infill of the sites located to the rear of commercial properties fronting Queens Parade.
- Ensure that any upper level development is set back from the heritage façade, is visually recessive and does not detract from the heritage streetscape.
- ~~retain~~ Retain the visual prominence and heritage fabric of the return facades of heritage buildings that front Queens Parade, Delbridge, Gold, ~~and~~ Michael and Wellington Streets.
- ~~ensure~~ Ensure that facades at ground floor incorporate verandahs which are consistent with the form and scale of adjoining verandahs.
- ~~retain~~ Retain chimneys visible from the public realm.
- ~~enhance~~ Enhance the amenity and safety of laneways that provide pedestrian and vehicular access to buildings.
- Maintain service access from the laneways to facilitate commercial use of the properties fronting Queens Parade.
- Ensure shopfront widths are not reduced to the extent they become commercially unviable.

Map 1 - 390A Queens Parade

Map of Precinct 4



Table 4-1 – Street wall height, building height and setbacks for Precinct 4

| Built Form | Mandatory requirement | Preferred requirement |
|--|---|--|
| Maximum Building building height | 21.5 metres-11 metres | <u>None specified</u> |
| Maximum and minimum Front street wall height - on Queens Parade | <p><u>For existing heritage facades:</u></p> <ul style="list-style-type: none"> <u>Retain height of the existing heritage façade.</u> <p><u>Where no heritage façade exists and there is no adjacent heritage building/s:</u></p> <ul style="list-style-type: none"> <u>at least 8 metres in height and no higher than 11 metres in height.</u> <p><u>Where no heritage façade exists and there is an adjacent heritage building/s:</u></p> <ul style="list-style-type: none"> <u>at least 8 metres in height and no higher than 11 metres unless an adjacent heritage building has a parapet height of more than 11 metres, in which case no higher than the adjacent heritage parapet height.</u> <p>Retain height of existing heritage façade.</p> <p>Where no heritage façade exists, development must be:</p> <p>a minimum of 8 metres a maximum of 11 metres or where there is an adjacent heritage building, the parapet height of that building if taller than 11 metres.</p> | <u>None specified</u> |
| Front Maximum and minimum street wall height - in side streets. | -None specified | <p><u>For existing heritage facades:</u></p> <ul style="list-style-type: none"> <u>Retain height of the existing heritage façade.</u> <p><u>Where no heritage façade exists and there is no adjacent heritage building/s:</u></p> |

| Built Form | Mandatory requirement | Preferred requirement |
|---|--|---|
| | | <ul style="list-style-type: none"> at least 8 metres in height and no higher than 11 metres in height. <p>Where no heritage façade exists and there is an adjacent heritage building/s:</p> <ul style="list-style-type: none"> at least 8 metres in height and no higher than 11 metres unless an adjacent heritage building has a parapet height of more than 11 metres, in which case no higher than the adjacent heritage parapet height. <p>Retain height of existing heritage façade.</p> <p>Where no heritage façade exists development should be: a minimum of 8 metres a maximum of 11 metres or where there is an adjacent heritage building, the parapet height of that building if taller than 11 metres</p> |
| Minimum <u>u</u>Upper level setback Queens Parade | Minimum 6 metres in significant heritage streetscape area Minimum 8 metres at 364 Queens Parade | None specified Minimum 6 metres at 167-197 Queens Parade |
| Minimum <u>u</u>Upper level setback in side streets | <u>None specified</u> | Minimum 6 metres |
| Maximum and minimum <u>s</u>Street wall setback | 0 metres - built to front boundary at ground level | <u>None specified</u> |
| Minimum setback to a <u>NRZ</u> interface <u>Side and rear setback (NRZ interface)</u> | <u>None specified</u> | <p><u>Where there is a laneway:</u></p> <ul style="list-style-type: none"> Height and setbacks as shown in Figure 1 <p><u>Where there is no laneway:</u></p> <ul style="list-style-type: none"> Height and setbacks as shown in Figure 2 <p>45 degree angle above 8 metres from rear boundary to laneway</p> <p>45 degree angle above 5 metres where no laneway</p> |

| Built Form | Mandatory requirement | Preferred requirement |
|---|--------------------------------|--|
| Minimum rear setback to a C1Z interface | None specified | 3 metres above 11 metres |

2.4.4 Precinct 5 – North Eastern Precinct

Shown on the planning scheme map as **DDO16-5**

The design requirements for Precinct 5 are as follows:

Development must

- retain the visual prominence and not visually dominate the three dimensional forms of the former United Kingdom Hotel when viewed from as indicated on Raines Reserve and the former Clifton Motors Garage when viewed from the opposite side of Queens Parade.
- retain, conserve and incorporate the moderne façade of the former Clifton Motor Garage (205-211 Queens Parade) in any redevelopment of the site and ensure that the three dimensional form of the façade remains prominent and the decorative vertical fin remains a prominent freestanding element when viewed from the public realm.
- be designed above street wall in Precincts 5B and 5C as a series of separate development parts with building separation.
- establish a transition and gradual stepping down of building heights from taller forms in Precinct 5C to existing heritage form in Precinct 5A.



Map of Precinct 5

Table 5 – Street wall height, building height and setbacks for Precincts 5A, 5B and 5C

| Built form | Mandatory requirement | Preferred requirement |
|--|---|--|
| Precinct 5A | | |
| Building height | | 48 metres |
| Street wall height | Match existing parapet or eaves height | |
| Upper level setback | | Minimum 5 metres |
| Precinct 5B | | |
| Building height | | 1:1 heritage street wall to new built form behind Clifton Motors and 203 Queens Parade visible from the opposite side of Queens Parade 28 metres elsewhere |
| Front street wall height | Match parapet height of former Clifton Motor Garage and eaves line of former UK Hotel | 11 metres for non contributory buildings facing Queens Parade and Dummett Crescent |
| Street wall setback | 0 metres | |
| Minimum upper level setback | 6 metres for development at former Clifton Motor Garage | 6 metres elsewhere |
| Minimum Setback from side and rear boundary setbacks | 0 metres | For upper levels, where a habitable room window is proposed: <ul style="list-style-type: none"> • 4.5 metres from the common boundary or from the centre line of the laneway. For upper levels, where a non-habitable room window or commercial window is proposed: <ul style="list-style-type: none"> • 3 metres from the common boundary or from the centre line of the laneway. |
| Precinct 5C | | |
| Built Form | Mandatory requirement | Preferred requirement |
| Building height | | 49 metres |
| Front street wall height | | 35 metres |

| | | |
|---------------------|--|-----------|
| Upper level setback | | 10 metres |
|---------------------|--|-----------|

3.0

Subdivision

xx/xx/xxxx
Proposed
C231 Pt2

None specified.

4.0

Advertising

xx/xx/xxxx
Proposed
C231 Pt2

None specified.

5.0

Application requirements

xx/xx/xxxx
Proposed
C231 Pt2

The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and should accompany an application, as appropriate, to the satisfaction of the responsible authority:

- A site analysis and urban design context report which demonstrates how the proposal achieves the Design Objectives, Preferred Character Statements and Design Requirements of this schedule.
- For development proposals for buildings over 20 metres in height, a wind study analysis to assess the impact of wind on the safety and comfort of the pedestrian environment on footpaths and other public spaces while walking, sitting and standing.
- A Traffic and Parking Assessment Report which includes an assessment of the cumulative impacts of traffic and parking in the Precinct including an assessment of the ongoing functionality of laneway/s.

56.0

Decision guidelines

xx/xx/xxxx
Proposed
C231 Pt2

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- ~~Whether the General Design Requirements, Heritage Design Requirements and the Precinct Design Requirements in Clauses 2.2, 2.3 and 2.4 are met.~~
- Whether the proposal delivers design excellence.
- If roof decks are proposed, whether they are set back from lower levels and are recessive in appearance.
- The profile and impact of development along Queens Parade when viewed from ~~from~~ the north side of McKean Street ~~and the south side of Hodgkinson Street.~~
- ~~The design response at the interface with existing, low scale residential properties.~~
- The design of the streetscape interface along the primary street frontage.
- Whether side and rear setbacks and controls on light spillage and noise are sufficient to limit the impact on the amenity of existing dwellings.
- ~~How any proposed buildings and works will~~ The impact on solar access to Queens Parade ~~and Napier Street Reserve.~~
- Whether heritage buildings on street corners retain their prominence when viewed from both streets.
- Whether heritage buildings retain their three-dimensional form when viewed from the public realm.
- Whether upper level development above the heritage street wall is visually recessive and does not dominate or visually overwhelm the heritage buildings.
- Whether the proposal contributes to and improves the pedestrian environment and other areas of the public realm.

- ~~The impact of development on views to:~~
 - ~~the former ANZ Bank building’s tower, roof, chimney and upper level~~
 - ~~the St John the Baptist Church belfry and spire~~
 - ~~the former Clifton Motor Garage’s Moderne façade and fin~~
- The wind effects created by the development.
- The cumulative impact of traffic and parking in the Precinct including on the functionality of laneway/s.

Reference Documents

Queens Parade, Clifton Hill Built Form Review prepared by Hansen Partnership – December 2017.

Figure 1 - Setback where there is a laneway to the side or rear

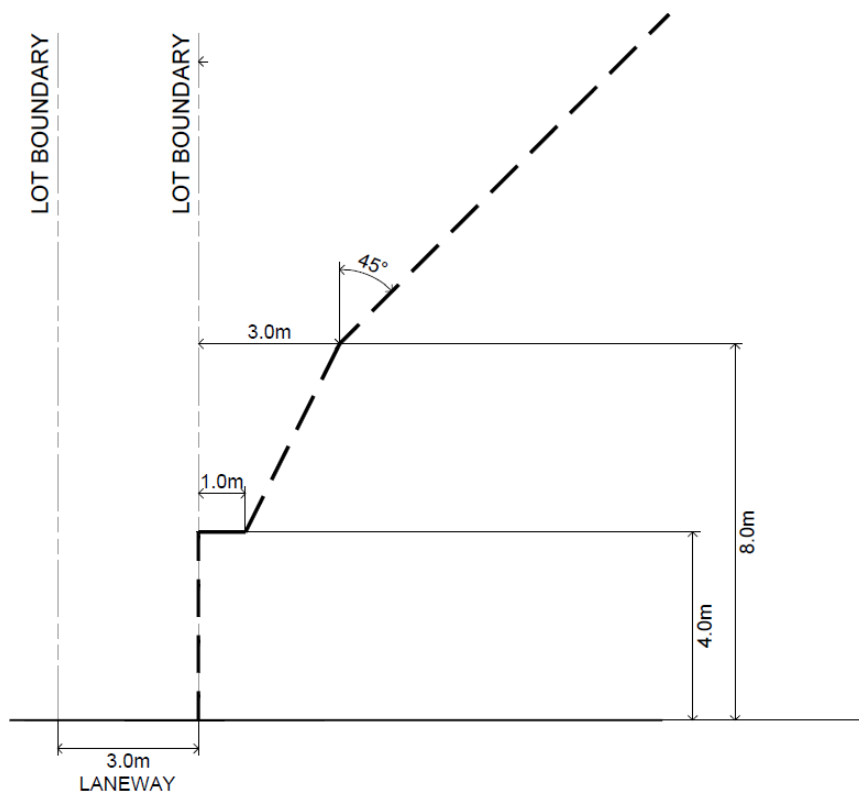


Figure 2 – Setback where there is no laneway to the side or rear

