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Proposed
C231**SCHEDULE 16 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY**Shown on the planning scheme map as **DDO16**.**QUEENS PARADE****1.0****Design objectives**

NB – This track change version of the DDO accepts the Panel’s recommendations as outlined in Attachment 1. The track changes show any officer recommended changes to the Panel’s recommendations and other fix-ups eg typos.
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- To ensure development responds to the heritage character and streetscapes and varying development opportunities and supports:
 - the existing low-rise character in Precincts 1, 3B, 4 and 5A
 - a new mid rise character behind a consistent street wall in Precincts 2, 3A and 5B
 - higher rise development in Precinct 5C.
- To protect the integrity of historical streetscapes and clusters of heritage buildings of a similar scale and materiality.
- To ensure development respects the architectural form and qualities of heritage buildings and streetscapes and maintains the visual prominence of the St John the Baptist church belfry and spire, the former ANZ Bank building, the former United Kingdom Hotel and the former Clifton Motors garage.
- To promote design excellence that ensures new development respects the wide, open boulevard character of Queens Parade including where existing historic trees are key elements in the streetscape, they remain the dominant visual feature.
- To ensure development responds to sensitive interfaces by ensuring the overall scale and form of new buildings provides a suitable transition to low scale residential areas and protects these properties from an unreasonable loss of amenity through visual bulk, overlooking and overshadowing.

2.0**Buildings and works****2.1****Definitions**xx/xx/xxxx
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Heritage building means any building subject to a Heritage Overlay, on the Victorian Heritage Register or any building graded as either Contributory or Individually Significant.

Laneway means a road reserve of a public highway 9 metres or less in width. This does not include Dummett Crescent.

Parapet does not include features such as brackets, pediments, urns, finials or other decorative elements.

Public realm means all streets (including Dummett Crescent) and spaces open to the public but does not include laneways.

Street wall means the façade of a building at the street boundary, or if the existing heritage building is set back from the street boundary, the front of the existing building.

Street wall height means the height of the street wall measured by the vertical distance between the footpath at the centre of the frontage and the highest point of the building, parapet, balustrade or eaves at the street edge or in the case of a heritage building if it is set back from the street from the centre of the building frontage to the highest point of the building, parapet, balustrade or eaves.

Upper level means development above the height of the street wall.

Upper level setback means the setback of the upper level measured from the street wall of the building.

2.2 General Requirements

The following requirements apply to an application to construct a building or carry out works and must be read in conjunction with the relevant precinct design requirements.

- A permit must not be granted or amended (unless the amendment would not increase the extent of non-compliance) to construct a building or construct or carry out works which exceed the mandatory maximum building height, mandatory maximum street wall height or mandatory maximum street wall setback or are less than the mandatory minimum street wall height or mandatory minimum upper level setbacks specified in the relevant Precinct Tables. A permit cannot be granted to vary these requirements.
- A permit must not be granted or amended (unless the amendment would not increase the extent of non-compliance) to construct a building or carry out works which exceeds the preferred building height and setbacks specified in the relevant Precinct Tables unless all the following requirements are met, to the satisfaction of the responsible authority:
 - The built form outcome as a result of the proposed variation satisfies the design objectives in Clause 1.0.
 - All other relevant requirements specified in this schedule.

Architectural features may exceed the preferred or mandatory height.

Service equipment/structures including plant rooms, lift overruns, structures associated with green roof areas and other such equipment may exceed the preferred or mandatory height provided that each of the following criteria are met for the equipment or structure:

- Less than 50 per cent of the roof area is occupied by the equipment (other than solar panels).
- The equipment does not cause additional overshadowing of private open space, Napier Reserve and Queens Parade.
- The equipment does not extend higher than 3.6 metres above the maximum building height.

Projections such as balconies and building services should not intrude into a setback or upper level setback.

2.3 Street wall height requirements

- Except in Precinct 4, the street wall height should be no higher than the parapet height of an abutting heritage building/s for a minimum length of 6 metres measured from the edge of the heritage building/s.

2.4 Upper level requirements

- Upper level development should:
 - Provide setbacks to ensure that upper level additions seen from the public realm do not diminish the appreciation of the heritage building and streetscape.
 - Avoid repetitive stepped built form at upper levels.
 - ~~Ensure that upper level development is~~ Be visually recessive.
 - Use materials that are recessive in finish and colour.
 - Include articulated side walls, where visible from the public realm, which are designed to reduce the visual impact of the wall and read as part of the overall building design.
 - Avoid continuous built form at upper levels.
 - Ensure balconies at upper levels do not dominate the solid façades of heritage street walls

- Minimise the visual intrusion of equipment and services.
- Protect the contribution made by chimneys, parapets and other architectural features to the fine grained character of the area.

2.5 Corner site requirements

- New development on a corner site with a frontage to Queens Parade should continue the Queens Parade street wall height along the side street, with a transition in height to match the rear interface where required. This requirement does not apply to Napier Street in Precinct 2C, Precinct 5C or to a laneway except where specified. This requirement applies to the laneway abutting 215 Queens Parade in Precinct 5B to a height of 11m.

2.6 Ground floor design requirements

- Facades at ground level should be designed with floor to floor ceiling heights suitable to accommodate commercial activity in the Commercial 1 Zone, Mixed Use Zone and the Commercial 2 Zone.
- Building services and service cabinets should be located away from the street frontage of heritage facades. They should be designed and located so they complement the street frontage and character and appearance of the heritage building.
- Windows of commercial premises, habitable rooms, and principal pedestrian entrances should be orientated towards the public realm and contribute to the safety of the adjoining public realm.

2.7 Vehicular access, car parking, and loading areas requirements

- New vehicle crossovers onto Queens Parade, Brunswick Street and Napier Street should be avoided.
- Future vehicle access and services must be provided by a rear laneway or side street, where possible.
- Vehicle ingress and egress into development, including loading facilities and building servicing, should ensure a high standard of pedestrian amenity and limit potential conflict between vehicle movements and pedestrian activity.
- Development on a laneway should include a rear/side setback or a corner splay at ground floor, to facilitate the ongoing functionality of the laneway and allow for building services and car park access.
- Permanent obstructions within a rear/side setback or splay to a laneway should be avoided.

2.8 Heritage design requirements

[The following design requirements apply to development on land affected by a Heritage Overlay or immediately adjacent to a heritage building.](#)

<u>Element</u>	<u>Design Requirement</u>
<u>Building facades and street frontages</u>	<p><u>Infill buildings and development adjoining a heritage building</u></p> <p><u>Facade treatments and the articulation of infill buildings should:</u></p> <ul style="list-style-type: none"> <u>be simple and not compete with the more elaborate detailing of nineteenth century buildings</u> <u>respect the vertical proportions of the nineteenth and twentieth century facades in the heritage streetscape and/or the adjoining heritage building(s)</u> <u>avoid large expanses of unarticulated curtain glazing, highly reflective glass and glazing with a horizontal emphasis, except for ground floor shopfronts</u> <u>reflect the existing canopy/verandah height of the heritage streetscape and/or adjoining heritage building(s).</u> <p><u>Contributory or individually significant buildings</u></p> <p><u>Adaption and reuse of contributory or individually significant buildings should:</u></p> <ul style="list-style-type: none"> <u>maintain existing openings and avoid highly reflective glazing in historic openings</u> <u>encourage the retention of solid built form behind retained facades and avoid balconies behind existing openings</u> <u>maintain the inter-floor height of the existing building and avoid new floor plates and walls cutting through historic openings.</u>
<u>Design of upper levels</u>	<p><u>Upper level development on land within a heritage overlay and on land immediately adjoining a heritage building should:</u></p> <ul style="list-style-type: none"> <u>be visually recessive and not visually dominate the heritage building and the heritage streetscape</u> <u>retain the primacy of the three-dimensional form of the heritage building as viewed from the public realm to avoid ‘facadism’</u> <u>utilise visually lightweight materials and finishes that are recessive in texture and colour and provide a juxtaposition with the heavier masonry of the heritage facades</u> <u>incorporate simple architectural detailing that does not detract from significant elements of the heritage building and the heritage streetscape</u> <u>reflect the rhythm of the wider streetscape, fine grained character and subdivision pattern of the streetscape, especially on larger sites.</u>
<u>Upper level setbacks</u>	<p><u>Upper level setbacks in excess of the minimum mandatory upper level setback should be provided where:</u></p> <ul style="list-style-type: none"> <u>it would facilitate the retention of a roof form and chimneys that are visible from the public realm, or a roof or any feature that the relevant statement of significance identifies as contributing to the significance of the heritage building or streetscape</u> <u>it would maintain the perception of the three-dimensional form and depth of the building</u> <u>a lesser setback would detract from the character of the streetscape when viewed directly or obliquely along Queens Parade.</u>

2.9 Interface to residential properties in NRZ or GRZ requirements

- Development should respond to the low scale form of existing development through an appropriate transition in building height and setbacks to ensure reasonable standards of amenity.

- [In Precincts 3 and 4](#), ~~Where~~ where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9 am and 3 pm on 22 September.

If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced.

2.910 Precinct design requirements

The following precinct specific design requirements apply in addition to the General [Design Requirements](#) outlined in Clauses 2.2-2.9.

2.910.1 Precinct 1 – Brunswick Street

Shown on the planning scheme map as **DDO16-1**

Preferred character statement

Buildings and works should deliver:

- Properties fronting Brunswick Street and turning the corner to Queens Parade defined by fine grained low scaled heritage buildings with moderate low rise future infill behind the main heritage frontage, accessed by rear laneways.
- Visual prominence of the individually significant heritage building on the corner of Brunswick Street and Queens Parade retained.

Design requirements

Development in Precinct 1 should:

- Ensure low rise additions behind the front sections of the terraced houses of Brunswick Street and Queens Parade respect the prevailing streetscape character and subdivision grain which retain and conserve its heritage values.
- Ensure upper level elevations are high quality, visually recessive and enhance the appreciation of the heritage building at 460 Brunswick Street.

Map 1 – Precinct 1

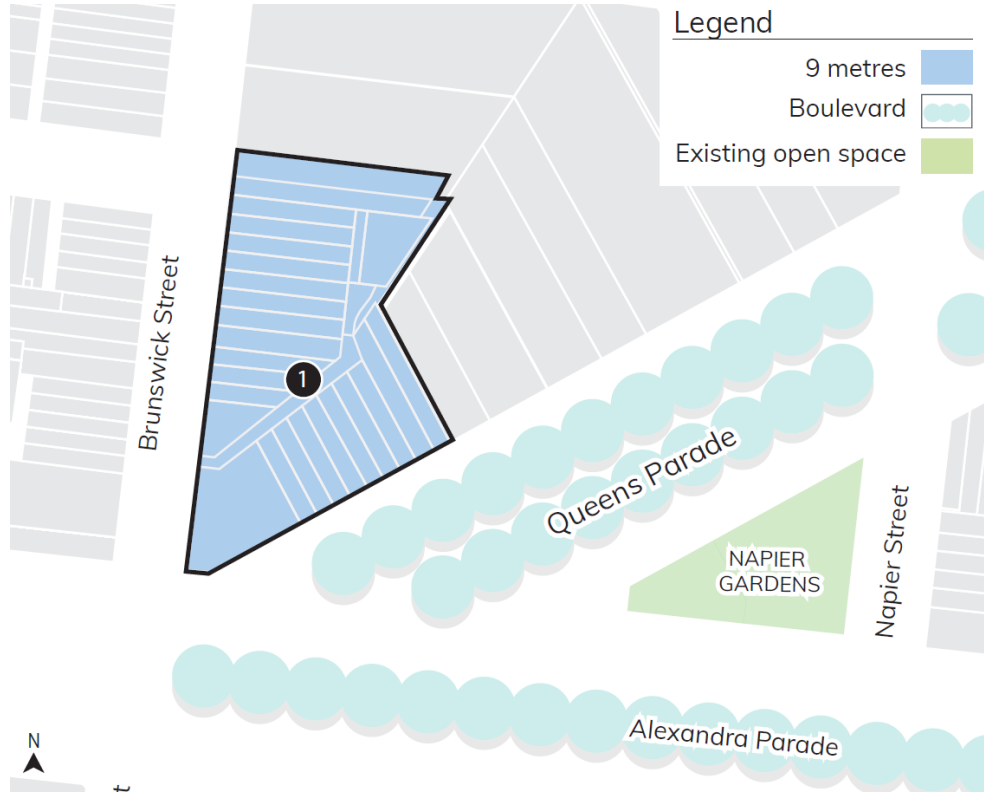


Table 1 – Street wall height, building height and setbacks for Precinct 1

Built Form	Mandatory Requirement	Preferred Requirement
Maximum building height	460 Brunswick Street and Lot 1 on Title Plan TP806921 - 9 metres	Elsewhere – 9 metres
Maximum street wall height	460 Brunswick Street - match the tallest parapet height of the existing heritage building Elsewhere - Retain the height of the existing heritage street wall	None specified
Maximum and minimum street setback	460 Brunswick Street – Match the setback of the existing heritage building	Elsewhere – Should not be less than the setback of an adjacent heritage building
Minimum upper level setback	6 metres	None specified
Minimum setbacks from side and rear boundary	None specified	ResCode Standard B17

2.910.2 Precinct 2 – Boulevard Precinct

Shown on the planning scheme map as **DDO16-2**

Preferred character statement

Buildings and works should deliver:

- A preferred location for housing and employment growth with well designed mid-rise development that complements the Queens Parade through a transition in scale to the Gas Works site.
- Development that complements the visual contribution of the double avenue of trees along the south western part of Queens Parade.
- Precinct 2A – Mid rise infill behind a distinct moderne heritage frontage that addresses Queens Parade and its heritage context and responds to the sensitivity of the interface with abutting low scale fine grained residential uses to the north and west.
- Precincts 2B and 2C – A vibrant and attractive mid-rise business area that addresses Napier Street, Queens Parade and George Street with a mix of innovative new architecture and heritage buildings to accommodate a wide range of commercial development and employment opportunities.

Design requirements

Development in Precinct 2 should:

- Respect heritage values of the Queens Parade streetscape and deliver an appropriate interface to neighbouring properties that minimises visual bulk and mass.
- Orientate active frontages and provide passive surveillance to the surrounding streets.
- Ensure solar access is provided to Queens Parade and Napier Street Reserve at the equinox from 9am to 3pm.

Development in Precinct 2A should:

- Provide an interface to neighbouring residential properties that minimises visual bulk and mass and provides building separation along side and rear boundaries abutting existing properties.
- Maintain the prominence and significance of the art deco facade.
- Retain, enhance and incorporate the existing heritage façade into the redevelopment of the site and to create a consistent parapet height along the streetscape.
- Recognise the low scale, buildings and fine grain subdivision pattern of existing development to the north and west.
- Encourage pedestrian permeability within and through the precinct.
- Avoid a repetitive stepped form within the 45 degree angle profile.
- Ensure development above the street wall is designed as a series of separate development parts with building separation to enable views to the sky.

Development in Precincts 2B and 2C should:

- Provide an appropriate transition in scale from the heritage buildings in Precinct 2B to new built form in Precinct 2C and the higher development form of the Gas Works site.
- Create a new commercial frontage to George Street to form an active edge complementary to the proposed Gasworks redevelopment.

Map 2 – Precinct 2



Table 2 – Street wall height, building height and setbacks for Precincts 2A, 2B and 2C

Built form	Mandatory requirement	Preferred requirement
Precinct 2A		
Maximum building height	31 metres	None specified
Maximum street wall height	Retain height of existing heritage façade 10 metres where no heritage façade exists	None specified
Minimum & maximum setback to Queens Parade	None specified	0 metres to maximum 10 metres
Minimum upper level setback	None specified	Above existing heritage façade: <ul style="list-style-type: none"> 8 metre setback from 10 metres to 16 metres 10 metre setback from 16 metres Above new street wall (where no existing heritage façade): <ul style="list-style-type: none"> 5 metre setback from 10 metres to 16 metres 8 metres setback from 16 metres
Minimum setback(s) from rear boundaries	None specified	ResCode Standard B17 from rear boundary of adjoining properties to 10 metres

Built form	Mandatory requirement	Preferred requirement
- north and west adjacent to NRZ and GRZ		Setback within 45 degree angle measured from 10 to 25 metres
Minimum setbacks from side boundary - east adjacent to NRZ	None specified	0 metre setback to match party wall of existing adjoining development to 10 metres Setback within 45 degree angle measured from 10 to 25 metres
Minimum setbacks from side boundary - east adjacent to MUZ	None specified	0 metre setback to match party wall of existing adjoining development, or 10 metre where no party wall exists. 9 metre setback from the windows / balconies of adjoining apartments up to 16 metres 15 metre setback above 16 metres
Minimum setbacks from side and rear boundaries west and north-west adjacent to MUZ	None specified	0 metre setback to match party wall of existing adjoining development, or 10 metre where no party wall exists. Setback within 45 degree angle measured from 10 to 25 metres
Precinct 2B		
Maximum building height	None specified	18 metres
Maximum street wall height	Napier Street - Retain existing parapet height	None specified
Minimum upper level setback	6 metres	None specified
Minimum rear setback	None specified	4.5m from centreline of laneway for height of the entire building
Precinct 2C		
Maximum building height	None specified	28 metres
Maximum street wall height	Napier Street – 10 metres	Queens Parade, George Street and Alexandra Parade - 18 metres
Minimum upper level setback	Napier Street – 6 metres	Elsewhere - 6 metres
Minimum side and rear setbacks	None specified	Rear setback: 4.5m from centreline of laneway for height of the entire building Side setbacks: For upper levels, where a habitable room window is proposed: <ul style="list-style-type: none"> 4.5 metres from the common boundary or from the centre

Built form	Mandatory requirement	Preferred requirement
		<p>line of the laneway.</p> <p>For upper levels, where a non-habitable room window or commercial window is proposed:</p> <ul style="list-style-type: none"> 3 metres from the common boundary or the centre line of the laneway

2.910.3 Precinct 3 – St John’s Precinct

Shown on the planning scheme map as **DDO16-3**

Preferred character statement

Buildings and works should deliver:

- An attractive mixed use area comprising residential and commercial uses with active frontages to the street that retains the primacy of the St John’s Church landmark and views to its belfry and spire.
- New development that articulates the higher profile of the corner of Queens Parade and Smith Street, relative to its immediate surroundings.
- Intact streetscape on Smith Street retained with new development set back from the façade and designed to complement the Victorian era buildings and street wall.
- Provide an effective transition provided to the residential areas to the south and east.

Design requirements

Development in Precinct 3 should:

- Reflect the fine grain character of heritage streetscapes and minimise the dominance of wide building frontages.
- Deliver high quality architectural detailing that respects the heritage qualities and rhythms of Queens Parade and Smith Street.
- Create a consistent street wall that maintains the prominence of the heritage street wall in the streetscape.
- Provide an interface with neighbouring residential properties on Hodgkinson Street that minimises visual bulk and mass and provides building separation along side and rear boundaries abutting existing properties.

Development in Precinct 3A must:

- Maintain views of the belfry and spire of St John’s church and maintain clear sky between the belfry and spire and new development when viewed from the pedestrian refuge on the south-west corner of the intersection with Queens Parade and Smith Street [\(as indicated on Map 3\)](#). A permit cannot be granted to vary this requirement.

Development in Precinct 3A should:

- Emphasise the corner of Queens Parade and Smith Street with a higher street wall and distinct architectural treatments.

Development in Precinct 3B should:

- Reinforce the traditional street wall on Smith Street.
- Ensure that upper level development is visually recessive to complement the heritage streetscape.

Map 3 - Precinct 3

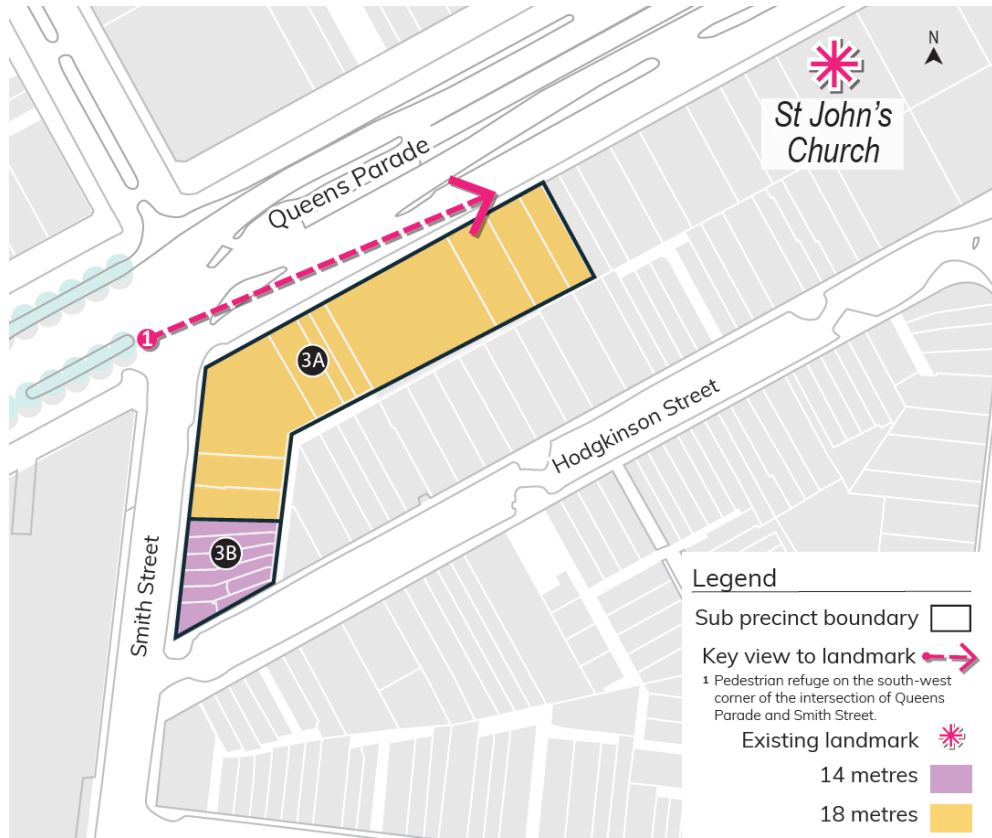


Table 3 – Street wall height, building height and setbacks for Precincts 3A and 3B

Built Form	Mandatory requirement	Preferred requirement
Precinct 3A		
Maximum building height	18 metres	None specified
Maximum street wall height	15-33 & 41 Queens Parade - 11 metres 35-37 Queens Parade - retain the height of the existing heritage façade 6 metres on either side of the corner of Smith Street and Queens Parade – 17 metres Elsewhere - 14 metres	None specified
Minimum upper level setback	6 metres	None specified
Maximum street wall setback	None specified	0 metres - built to front boundary at ground level
Minimum rear setback	None specified	Where there is a laneway: <ul style="list-style-type: none"> Height and setbacks as shown in Figure 1

Built Form	Mandatory requirement	Preferred requirement
		Where there is no laneway: <ul style="list-style-type: none"> Height and setbacks as shown in Figure 2
Minimum side setback	None specified	If side boundary adjoins NRZ and abuts an existing boundary wall, 0 metre to a height of 8 metres and a setback with a 45 degree angle above a height of 8 metres. Elsewhere - 0 metres
Precinct 3B		
Maximum building height	14 metres	None specified
Maximum street wall height	Retain height of existing heritage façade	None specified
Minimum upper level setback	6 metres	None specified
Maximum street wall setback	None specified	0 metres - built to front boundary at ground level
Minimum rear setback	None specified	Where there is a laneway: <ul style="list-style-type: none"> Height and setbacks as shown in Figure 1 Where there is no laneway: <ul style="list-style-type: none"> Height and setbacks as shown in Figure 2.

2.910.4 Precinct 4 – Activity Centre Precinct

Shown on the planning scheme map as **DDO16-4**

Preferred character statement

Buildings and works should deliver:

- A unique and vibrant Victorian era shopping strip which forms the retail and activity focus of Queens Parade building on its distinctive heritage qualities.
- Development that complements the scale of heritage buildings and the patterns and rhythms of heritage features.
- Upper level infill that reinforces the prevailing street wall and subdivision grain of significant streetscapes and transitions to residential abuttals to the rear.
- Well designed building frontages and public realm that reinforce the pedestrian experience of this part of Queens Parade as and the central hub for the local community
- Development that retains the prominence of the former ANZ Building.

Design requirements

Development in Precinct 4 must:

- Protect and maintain key views of the former ANZ Building from the south-west and north-east ([as indicated on Map 4](#)), in particular to the upper floor, roof form and chimneys. A permit cannot be granted to vary this requirement.

Development in Precinct 4 should:

- Respect the consistent scale, grain, rhythm and architectural quality of the highly intact heritage streetscapes and the heritage buildings in the precinct.
- Retain the visual prominence of heritage buildings, their street wall and heritage streetscape when viewed from the opposite side of Queens Parade.
- Facilitate the appropriate low rise infill of the sites located to the rear of commercial properties fronting Queens Parade.
- Ensure that any upper level development is set back from the heritage façade, is visually recessive and does not detract from the heritage streetscape.
- Retain the visual prominence and heritage fabric of the return facades of heritage buildings that front Queens Parade, Delbridge, Gold, Michael and Wellington Streets.
- Ensure that facades at ground floor incorporate verandahs which are consistent with the form and scale of adjoining verandahs.
- Retain chimneys visible from the public realm.
- Enhance the amenity and safety of laneways that provide pedestrian and vehicular access to buildings.
- Maintain service access from the laneways to facilitate commercial use of the properties fronting Queens Parade.
- Ensure shopfront widths are not reduced to the extent they become commercially unviable.

Map 4 - Precinct 4



Table 4 – Street wall height, building height and setbacks for Precinct 4

Built Form	Mandatory requirement	Preferred requirement
Maximum building height	South side of Queens Parade between Gold and Turnbull Streets - 14 metres Elsewhere - 10.5 <u>11</u> metres	None specified
Maximum and minimum street wall height on Queens Parade	For existing heritage façades: <ul style="list-style-type: none"> Retain height of the existing heritage façade. Where no heritage façade exists and there is no adjacent heritage building/s: <ul style="list-style-type: none"> at least 8 metres in height and no higher than 11 metres in height. Where no heritage façade exists and there is an adjacent heritage building/s: <ul style="list-style-type: none"> at least 8 metres in height and no higher than 11 metres unless an adjacent heritage building has a parapet height of more than 11 metres, in which case no higher than the adjacent heritage parapet height. 	None specified
Maximum and minimum street wall height in side streets	None specified	For existing heritage façades: <ul style="list-style-type: none"> No higher than the existing heritage façade Where there is no heritage façade and there is no adjacent heritage building/s: <ul style="list-style-type: none"> at least 8m in height and no higher than 11m in height. Where no heritage façade exists and there is an adjacent heritage building/s: <ul style="list-style-type: none"> at least 8 metres in height and no higher than 11 metres unless there is an adjacent heritage building with a parapet height of more than 11 metres, in which case no higher than the adjacent heritage parapet.
Minimum upper level setback on Queens Parade	8 metres	None specified
Minimum upper level setback in side streets	None specified	6 metres
Maximum and minimum street wall setback	0 metres - built to front boundary at ground level (except for 181, 189-191 and 193 Queens Parade)	181, 189-191 and 193 Queens Parade – Retain existing setback

Built Form	Mandatory requirement	Preferred requirement
Minimum setback to a NRZ interface	None specified	Where there is a laneway: <ul style="list-style-type: none"> Height and setbacks as shown in Figure 1 Where there is no laneway: <ul style="list-style-type: none"> Height and setbacks as shown in Figure 2
Minimum rear setback to a C1Z interface	None specified	3 metres above 11 metres

2.910.5 Precinct 5 – North Eastern Precinct

Shown on the planning scheme map as **DDO16-5**

Preferred character statement

Buildings and works should deliver:

- An area of contemporary higher rise development in a preferred location for housing growth within the activity centre where the significant heritage fabric (the Former UK Hotel and the former Clifton Motors garage) remains the prominent precinct feature.
- Steps up in distinct increments from the significant heritage buildings (the Former Clifton Motors and UK Hotel buildings) to the north-east.
- Separation between buildings to enable equitable development equity and amenity and to diminish the bulk of the built form while contributing to a safe and legible walking environment that offers visual interest and encourages passive surveillance throughout the Precinct.

Design requirements

Development in Precinct 5 should:

- Retain the visual prominence of the former United Kingdom Hotel when viewed from key viewpoints ([as indicated on Map 5](#)) - Raines Reserve and the former Clifton Motors Garage when viewed from the opposite side of Queens Parade.
- Retain and incorporate the former Clifton Motor Garage (205-211 Queens Parade) in any redevelopment of the site and ensure that the three dimensional form remains prominent and the decorative vertical fin remains as a freestanding element when viewed from the public realm.
- Adopt a street wall height for new development adjacent to the former United Kingdom Hotel that respects the façade height of the former hotel.
- Ensure buildings in Precincts 5B and 5C read as a series of separate development parts with building separation above the street wall.
- Establish a transition and gradual stepping down of building heights from taller forms in Precinct 5C to existing heritage form in Precinct 5A.
- Ensure that adverse wind effects on the public realm are avoided.

Development in Precinct 5C should:

- Reinforce the scale of existing high-rise buildings in the precinct trending higher to the north east.
- Ensure high quality development enhances the prominent corner of Queens Parade and Hoddle Street creating a strong address to each street frontage that encourages active pedestrian movement and accessibility through the Precinct.

- Ensure that the height and design of the street wall creates and reinforces a ‘human scale’ to diminish the perceived bulk of the buildings and provide visual interest at street level along Queens Parade and Hoddle Street.

Map 5 - Precinct 5

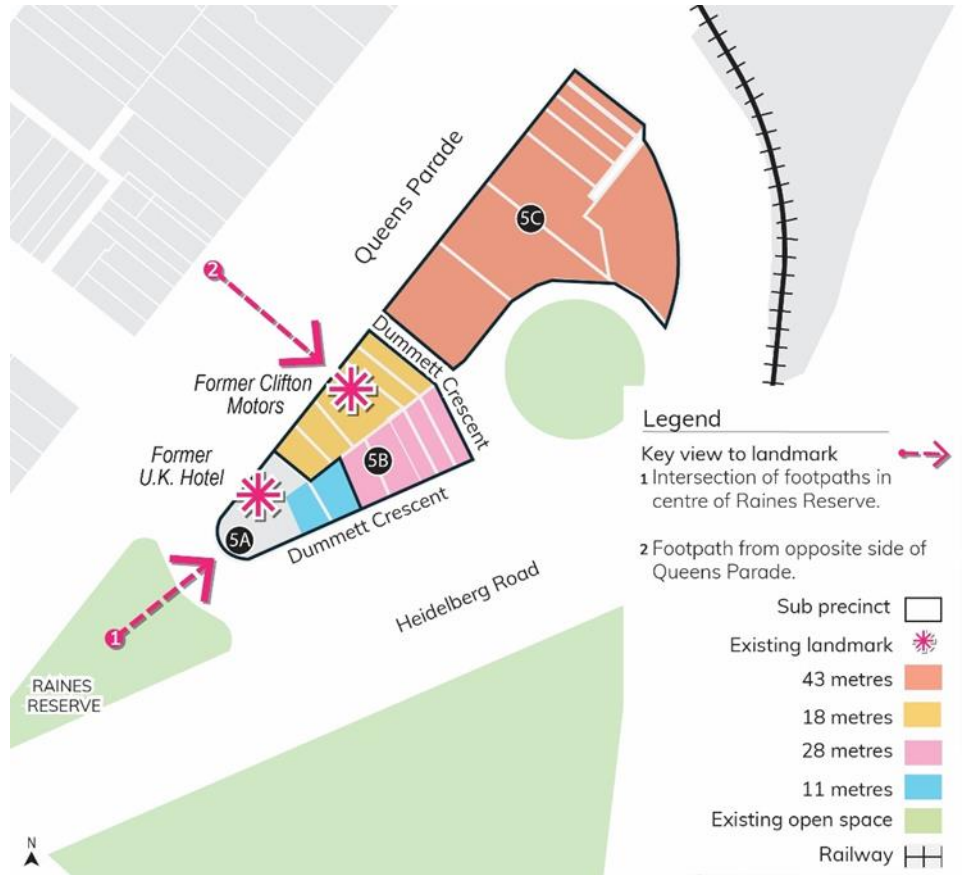


Table 5 – Street wall height, building height and setbacks for Precincts 5A, 5B and 5C

Built form	Mandatory requirement	Preferred requirement
Precinct 5A		
Maximum building height	11 metres	None specified
Maximum street wall height	No higher than the height of the existing eaves of the former UK Hotel	None specified
Minimum upper level setback	None specified	6 metres
Precinct 5B		
Maximum building height	201-215 Queens Parade - 18 metres	Elsewhere - 28 metres
Maximum street wall height	201-215 Queens Parade (including the frontage to north-east boundary to Dummett Crescent for distance of 8m) - no higher than the parapet height of	4-10 Dummett Crescent (including the frontage to north-east boundary to Dummett Crescent) - 11 metres

Built form	Mandatory requirement	Preferred requirement
	<p>the former Clifton Motor Garage and the eaves line of the former UK Hotel</p> <p>Beyond a distance of 8m from the corner of Queens Parade, the street wall along the north-east boundary of 215 Queens Parade - no higher than 11m</p>	
Maximum street wall setback	0 metres – built to the boundary	None specified
Minimum upper level setback	201-215 Queens Parade - 8 metres from Queens Parade	Elsewhere - 6 metres
Minimum side and rear setbacks	None specified	<p>For upper levels, where a habitable room window is proposed:</p> <ul style="list-style-type: none"> 4.5 metres from the common boundary or from the centre line of the laneway. <p>For upper levels, where a non-habitable room window or commercial window is proposed:</p> <ul style="list-style-type: none"> 3 metres from the common boundary or from the centre line of the laneway.
Precinct 5C		
Maximum building height	None specified	49 43 metres
Maximum street wall height	None specified	18 metres
Minimum upper level setback	None specified	6 metres
Minimum side and rear setbacks	None specified	<p>For upper levels, where a habitable room window is proposed:</p> <ul style="list-style-type: none"> 4.5 metres from the common boundary or from the centre line of the laneway. <p>For upper levels, where a non-habitable room window or commercial window is proposed:</p> <ul style="list-style-type: none"> 3 metres from the common boundary or from the centre line of the laneway.

3.0 Subdivision

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None specified.

4.0 Advertising

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None specified.

5.0 Application requirements

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The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and should accompany an application, as appropriate, to the satisfaction of the responsible authority:

- A site analysis and urban design context report which demonstrates how the proposal achieves the Design Objectives, Preferred Character Statements and Design Requirements of this schedule.
- For development proposals for buildings over 20 metres in height, a wind study analysis to assess the impact of wind on the safety and comfort of the pedestrian environment on footpaths and other public spaces while walking, sitting and standing.
- A Traffic and Parking Assessment Report which includes an assessment of the cumulative impacts of traffic and parking in the Precinct including an assessment of the ongoing functionality of laneway/s.

6.0 Decision guidelines

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The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Whether the proposal delivers design excellence.
- If roof decks are proposed, whether they are set back from lower levels and are recessive in appearance.
- The profile and impact of development along Queens Parade when viewed from ~~from~~ the north side of McKean Street and the south side of Hodgkinson Street.
- The design of the streetscape interface along the primary street frontage.
- Whether side and rear setbacks and controls on light spillage and noise are sufficient to limit the impact on the amenity of existing dwellings.
- The impact on solar access to Queens Parade and Napier Street Reserve.
- Whether heritage buildings on street corners retain their prominence when viewed from both streets.
- Whether heritage buildings retain their three-dimensional form when viewed from the public realm.
- Whether upper level development above the heritage street wall is visually recessive and does not dominate or visually overwhelm the heritage buildings.
- Whether the proposal contributes to and improves the pedestrian environment -and other areas of the public realm.
- The impact of development on views to:
 - the former ANZ Bank building’s tower, roof, chimney and upper level
 - the St John the Baptist Church belfry and spire
 - the former Clifton Motor Garage’s Moderne façade and fin_{is}.
- The wind effects created by the development.
- The cumulative impact of traffic and parking in the Precinct including on the functionality of laneway/s.

Figure 1 - Setback where there is a laneway to the side or rear

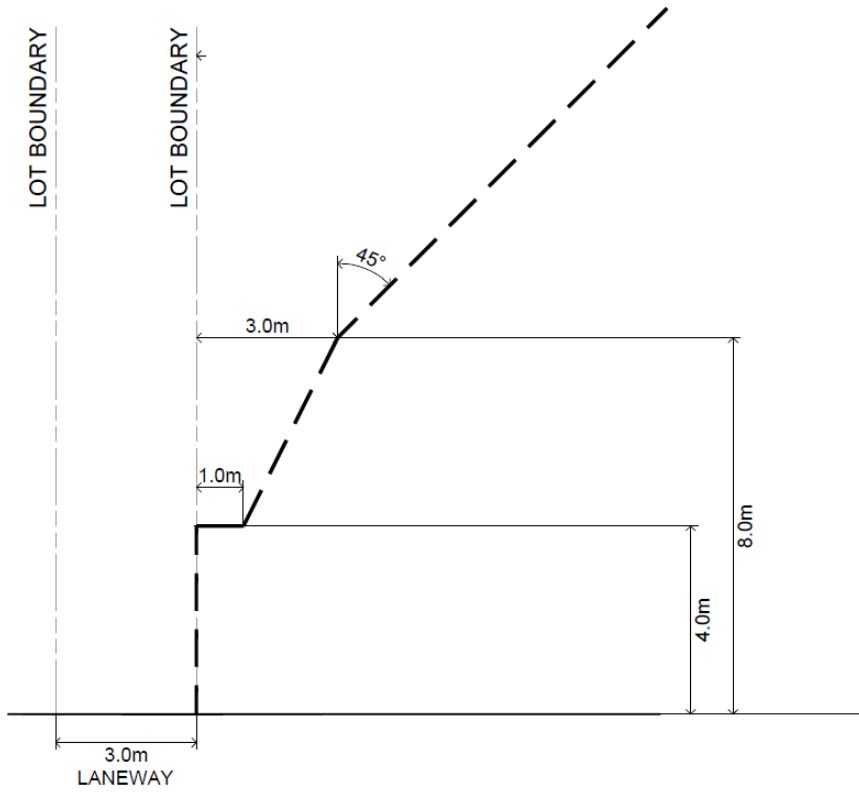
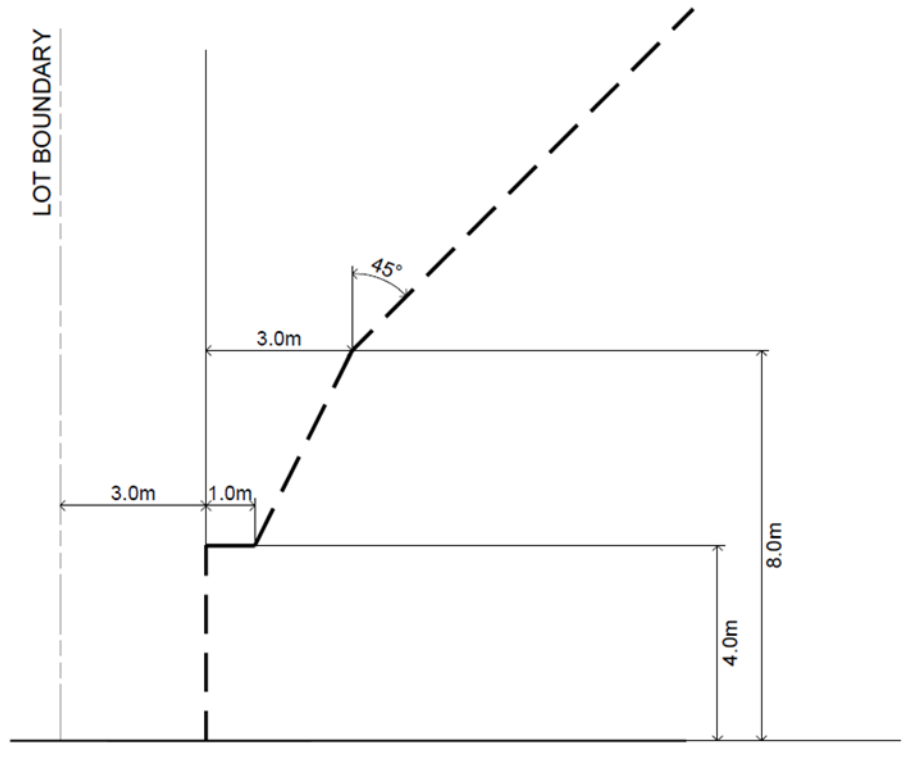


Figure 2– Setback where there is no laneway to the side or rear



YARRA PLANNING SCHEME

AMENDMENT C231

EXPLANATORY REPORT – EXHIBITED VERSION

Who is the planning authority?

This amendment has been prepared by the Yarra City Council is the planning authority for this amendment.

The Amendment has been made at the request of Yarra City Council.

Land affected by the Amendment

The Amendment applies to land in five precincts along Brunswick Street and Queens Parade, Fitzroy North and Clifton Hill between Alexandra Parade and Hoddle Street. Refer to Map 1.

Precinct one	460-498 Brunswick Street 8-24 Queens Parade
Precinct two	26-88 Queens Parade 67-81 Queens Parade 472-484 Napier Street 157-177 Alexandra Parade 537-541 George Street
Precinct three	1-87 Queens Parade 652-668 Smith Street
Precinct four	89-197 Queens Parade 272-428 Queens Parade
Precinct five	199-271 Queens Parade 2-12 Dummett Crescent 501-513 Hoddle Street

Map 1: Land generally included in the amendment (marked purple and pink)



What the amendment does

The Amendment:

1. Introduces a Design and Development Overlay DDO16 to provide permanent built form controls along Queens Parade. These would replace the two interim controls that are currently in place along Queens Parade (DDO16 and DDO20);
2. Rezones land at 660-668 Smith Street and 1-41 Queens Parade from Commercial 2 Zone (C2Z) to Commercial 1 Zone (C1Z)
3. Applies the Environmental Audit Overlay to land at 660-668 Smith Street and 1-41 Queens Parade
4. Introduces a new reference document into Clause 22.02 of the Yarra Planning Scheme called *Yarra High Streets: Statements of Significance* by GJM Heritage October 2017 (updated November 2017)
5. Makes a number of updates to the Heritage Overlay which are detailed below
6. Updates the Incorporated Document called Appendix 8 (which is the list of heritage gradings) to reflect the changes made to the heritage overlay.

Changes to the heritage overlay

- i. Applies a site specific heritage overlay (HO496) to 61-87 Queens Parade (the St John's Church complex) to provide for internal heritage controls on the organ
- ii. Applies the Heritage Overlay (HO498) to 472-484 Napier Street, Fitzroy North
- iii. Applies Heritage Overlay HO327 to the full extent of the Moderne façade of the former K.G. Luke factory site at 26 Queens Parade
- iv. Applies the Heritage Overlay HO330 to include all of Raines Reserve
- v. Deletes 390A Queens Parade and the rear of 304, 312 and 316 Queens Parade from HO327 (North Fitzroy Precinct), includes them in HO330 (Queens Parade Precinct) and gives them a heritage grading
- vi. Amends the heritage grading of the following properties:
 - a. 662 Smith Street (former Fire Station) from contributory to individually significant
 - b. 7-11 Queens Parade from contributory to not contributory
 - c. 137 Queens Parade from contributory to not contributory
 - d. Rear of 304 Queens Parade from ungraded to not contributory
 - e. Rear of 312 Queens Parade from ungraded to contributory
 - f. Rear of 316 Queens Parade from ungraded to not contributory
 - g. 350 Queens Parade from ungraded to contributory
 - h. 380 Queens Parade from ungraded to not contributory
 - i. 390A Queens Parade (two storey building in north-east corner) from ungraded to contributory
 - j. 390A Queens Parade (all other buildings except two storey building in NE corner) from ungraded to not contributory
 - k. 402 Queens Parade from contributory to not contributory
 - l. 88 Queens Parade from ungraded to not contributory
 - m. 32, 33 and 34 Jamieson Street from ungraded to not contributory

Splitting of the Amendment

Legal proceedings involving an application under Section 39 of the *Planning and Environment Act 1987* have been lodged at VCAT. The proceedings relate to a property at 390A Queens Parade.

The matter was heard at VCAT on 10 February 2020. At the time of preparing for Council to make a decision about whether to adopt the Amendment, no decision has been received from VCAT.

To enable that part of the Amendment not subject to legal challenge to proceed and enable its adoption, officers recommend splitting Amendment C231 into two parts as shown on Map 1 above:

- Part 1 would comprise the part of the Amendment that is not subject to legal challenge.
- Part 2 would comprise the part of the Amendment relating to the land at 390A Queens Parade.

This enables the two parts of the Amendment to be considered together or separately depending on the timing and outcome of the VCAT decision.

Strategic assessment of the Amendment

Why is the Amendment required?

Council engaged Hansen Partnership (Urban Designers) and GJM (Heritage Consultants) to assist in the preparation of the controls. This amendment is required to implement the recommendations of the *Queens Parade Clifton Hill Built Form Review* prepared by Hansen Partnership and *Queens Parade Built Form Heritage Analysis and Recommendations* prepared by GJM.

The scale and density of development approved and currently being proposed along Queens Parade has increased significantly in recent years and Council wants to introduce built form controls to manage change along Queens Parade and guide the scale of future buildings to provide certainty about development outcomes.

The built form controls will be introduced through a Design and Development Overlay DDO16 to be included in the Yarra Planning Scheme. There will be minor changes to the Heritage Overlay including some changes to the heritage grading of some buildings which will be reflected in changes to the incorporated document in the planning scheme (Appendix 8).

Heritage buildings along Queens Parade are an important part of the character of the area and the controls have been designed to protect views to key historic landmarks and protect significant and intact streetscapes. There has been a detailed heritage review of Queens Parade undertaken by GJM Heritage Consultants which is one of the strategic documents that underpins the amendment. The GJM review has resulted in heritage being a significant driver of the planning controls.

The Environmental Audit Overlay (EAO) is required in order to address any site contamination issues to meet the requirements of Ministerial Direction No. 1 – Potentially Contaminated Land. The potential for contamination results from past industrial activities in the area. The rezoning of the land at 660-668 Smith Street and 1-41 Queens Parade from C2Z to C1Z would allow residential uses which are defined as sensitive uses by the Ministerial direction.

The introduction of an EAO would require an environmental audit to be undertaken on the land and for certificate or statement to be obtained from an environmental auditor in accordance with the *Environment Protection Act 1970*. The audit is carried out prior to the construction of the buildings and works in association with a dwelling or other sensitive use.

The rezoning of the land at 660-668 Smith Street and 1-41 Queens Parade is proposed facilitate renewal of that part of Queens Parade and Smith Street by providing opportunities for new housing and commercial development.

The controls will benefit the community because they provide certainty about future development outcomes.

How does the Amendment implement the objectives of planning in Victoria?

The amendment implements the objectives of planning in Victoria by establishing planning controls along Queens Parade that provide for the fair and orderly use and development of land as they seek to facilitate future development demands while maintaining the heritage character of the street. They will provide an efficient and safe built environment for those that currently live, work and visit the area and for those that will do so in the future. Heritage has been an important consideration in preparing the

planning controls which will ensure that those buildings which are of aesthetic, architectural and historical interest are conserved.

How does the Amendment address any environmental, social and economic effects?

The Amendment is consistent with the overarching goal in the planning scheme to:

Integrate relevant environmental, social and economic factors in the interests of net community benefit and sustainable development.

The Amendment is expected to generate positive social and economic benefits as it will facilitate development within a neighbourhood activity centre, providing opportunities for economic development, housing and employment growth. The Amendment will also respond to the local demand for housing and provide housing and employment in a location which has a good access to public transport infrastructure and community services.

It proposes to protect key views to landmark buildings and ensures that heritage is one of the key drivers of future built form.

Does the Amendment address relevant bushfire risk?

The land affected by the amendment is not located in an area of identified bushfire risk.

Does the Amendment comply with the requirements of any Minister's Direction applicable to the amendment?

The Amendment complies with Ministerial Direction No. 1 in addressing the risk from Potentially Contaminated Land.

The amendment complies with the requirements of the Ministerial Direction on the Form and Content of Planning Schemes in section 7(5) of the *Planning and Environment Act 1987*. It has also been prepared in accordance with other relevant Ministerial directions.

The amendment has been prepared with regard to Ministerial Direction No. 9 Metropolitan Planning Strategy (which refers to *Plan Melbourne 2017-2050*). *Plan Melbourne 2017-2050* identifies a vision for the future of Melbourne and objectives and outcomes sought for the city, with directions identified to achieve the vision.

The Amendment is consistent with the following Directions contained in *Plan Melbourne 2017-2050*:

Direction 1.1 – Create a city structure that strengthens Melbourne's competitiveness for jobs and investment seeks to strengthen the competitiveness of Melbourne's employment land. The amendment provides appropriate policy direction for the planning and development of the Queens Parade Neighbourhood Activity Centre to ensure that the activity centre continues to meet community needs.

Direction 5.1- Create a city of 20-minute neighbourhoods which aims to cluster new housing in activity centres and other places that offer good access to jobs, services and public transport. The amendment will facilitate development within the Activity Centre which will improve local employment, housing and commercial opportunities.

How does the Amendment support or implement the Planning Policy Framework and any adopted State policy?

The amendment supports and implements relevant objectives of the Planning Policy Framework (PPF) including:

Clause 11 – Settlement implements the key principles of *Plan Melbourne 2017-2050* which include providing housing choice by planning for expected housing needs and making that housing more affordable. It also provides for reduced ongoing living costs by increasing housing supply near public transport and services. It encourages consolidation of residential activities within existing urban areas and development in existing residential areas. The amendment provides a framework for the orderly

planning and high quality development of the Queens Parade Neighbourhood Activity Centre in a manner constant with the directions of *Plan Melbourne 2017-2050*.

Clause 15 – Built Environment and Heritage seeks to create urban environments that are safe, functional and provide good quality environments with a sense of place and cultural identity. This clause also highlights the importance of ensuring the conservation of places which have identified heritage significance. The amendment supports this clause by developing planning controls which have heritage as one of their primary considerations. The controls will see views to key heritage landmarks and intact streetscapes protected.

Clause 16 – Housing emphasises the importance of providing enough quality housing that meets the growing and diverse needs of Victorians in locations in or around activity centres. The location of this housing needs to offer good access to jobs, services and transport. It requires councils to identify areas that offer opportunities for more medium and high-density housing near employment and transport in metropolitan Melbourne. The amendment provides strategic guidance about how to accommodate future housing growth at an appropriate scale in the activity centre.

Clause 17 – Economic Development seeks to encourage development which meets the community's needs for retail, entertainment, office and other commercial services and provides a net community benefit in relation to accessibility, efficient infrastructure use and sustainability of commercial facilities. The amendment supports this clause by facilitating opportunities for a mix of office, retail, and residential uses throughout the centre.

Clause 18 – Transport promotes the creation of a safe and sustainable transport system and promotes the use of sustainable personal transport. The amendment implements the objectives of this clause by facilitating development in this activity centre which is well serviced by public transport.

How does the Amendment support or implement the Local Planning Policy Framework, and specifically the Municipal Strategic Statement?

The amendment will assist decision making in relation to development applications by council and will help people better understand what scale and type of development is appropriate in the activity centre. There are no changes to the Municipal Strategic Statement proposed by this amendment, but it nevertheless supports and implements the Local Planning Policy Framework (LPPF) by being consistent with the following clauses of the LPPF:

21.04-1 Accommodation and housing

Objective 1 - To accommodate forecast increases in population.

Strategy 1.2 Direct higher density residential development to Strategic Redevelopment Sites identified at clause 21.08 and other sites identified through any structure plans or urban design frameworks.

21.04-2 Activity centres

Objective 4 - To maintain a balance between local convenience and regional retail roles in Yarra's activity centres.

Strategy 4.1 Increase the range of retail, personal and business services, community facilities, and recreation activities, within individual centres.

Strategy 4.3 Support the role of all activity centres, including Neighbourhood Activity Centres, in providing local day-to-day needs of residents of all abilities.

Objective 5 - To maintain the long term viability of activity centres.

Strategy 5.2 Support land use change and development that contributes to the adaptation, redevelopment and economic growth of existing activity centres.

Strategy 5.3 Discourage uses at street level in activity centres which create dead frontages during the day.

Strategy 5.4 Permit residential development that does not compromise the business function of activity centres.

Objective 7 - To encourage the arts and arts venues.

Strategy 7.1 Support a diversity of arts uses such as live music venues, performance spaces, galleries and artist studios in appropriate and accessible locations.

21.05-1 Heritage

Objective 14 - To protect and enhance Yarra's heritage places.

Strategy 14.1 Conserve, protect and enhance identified sites and areas of heritage significance including pre-settlement ecological heritage.

Strategy 14.2 Support the restoration of heritage places.

Strategy 14.3 Protect the heritage skyline of heritage precincts.

Strategy 14.6 Protect buildings, streetscapes and precincts of heritage significance from the visual intrusion of built form both within places and from adjoining areas.

21.05-2 Urban design

Objective 16 - To reinforce the existing urban framework of Yarra.

Strategy 16.2 Maintain and strengthen the preferred character of each Built Form Character Type within Yarra.

Objective 19 - To create an inner-city environment with landscaped beauty.

Strategy 19.1 Require well resolved landscape plans for all new development.

Strategy 19.2 Encourage opportunities for planting suitable trees and landscape areas in new development.

Objective 20 - To ensure that new development contributes positively to Yarra's urban fabric.

Strategy 20.1 Ensure development is designed having particular regard to its urban context and specifically designed following a thorough analysis of the site, the neighbouring properties and its environs.

Objective 21 - To enhance the built form character of Yarra's activity centres.

Strategy 21.1 Require development within Yarra's activity centres to respect and not dominate existing built form.

Strategy 21.2 Require new development within an activity centre to consider the context of the whole centre recognising that activity centres may consist of sub-precincts, each of which may have a different land use and built form character.

Strategy 21.3 Support new development that contributes to the consolidation and viability of existing activity centres.

21.08 Neighbourhoods

The neighbourhood map for Clifton Hill identifies the spire of St John's Church as a landmark which should be protected. The planning controls in this amendment seek to protect the view of the St John's spire from relevant vantage points.

The land at 26-56 Queens Parade is identified as a site that should be developed in a way that contributes positively to the urban fabric and public domain of Yarra, and where it is subject to the Heritage Overlay, it should protect the heritage of the site and of the area. This amendment proposes controls for this site that allow redevelopment while protecting the heritage fabric.

Does the Amendment make proper use of the Victoria Planning Provisions?

The amendment uses the most appropriate VPP tool to achieve its objectives. A Design and Development Overlay (DDO) is the best tool to control future built form. The amendment introduces a DDO which has been tested extensively to determine the most appropriate building and street wall heights and setbacks along Queens Parade. The Heritage Overlay (HO) is the best tool to manage and protect heritage. The HO in the area was implemented many years ago and the strategic work that underpins this amendment has re-examined the HO and made changes that include properties that were previously excluded, deleted properties that should not be included and made changes to the heritage grading of some properties.

The use of these tools by this amendment is consistent with the direction on the form and content of planning schemes.

How does the Amendment address the views of any relevant agency?

Council has not sought the views of any government agencies such as Vic Roads or Yarra Trams as the amendment will not substantially affect the road network or the public transport network.

Does the Amendment address relevant requirements of the Transport Integration Act 2010?

The Amendment is consistent with the requirements of the *Transport Integration Act 2010* and will facilitate development outcomes along a tram route.

Particular consideration has been given to ensuring that vehicular movements do not impact on the Principal Public Transport Network.

Resource and administrative costs

- **What impact will the new planning provisions have on the resource and administrative costs of the responsible authority?**

The new planning provisions will assist council as responsible authority in deciding development applications as they provide greater certainty as to the scale of future built form along Queens Parade. Council does not anticipate that there will be an increased number of applications as a result of the new controls; rather the controls will provide a more consistent assessment of planning permit applications.

Consequently, council does not anticipate that there will be higher administrative costs associated with implementing the new provisions or that there will be an impost on planning or heritage staff resources.

Where you may inspect this Amendment

The Amendment is available for public inspection, free of charge, during office hours at the following places:

Planning Counter Richmond Town Hall 333 Bridge Road Richmond	Bargoonga Ngangin Fitzroy North Library 182 St Georges Road Fitzroy North
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The Amendment can also be inspected free of charge at the Department of Environment, Land, Water and Planning website at www.delwp.vic.gov.au/public-inspection or on the City of Yarra website at www.yarracity.vic.gov.au/c231

Submissions

Any person who may be affected by the amendment may make a submission to the planning authority. Submissions about the amendment must be received by Friday 16 November 2018.

A submission must be sent to:

Strategic Planning Unit
Yarra City Council
PO Box 168
Richmond VIC 3121

Or via email: info@yarracity.vic.gov.au (please use Amendment C231 in the subject header)

Panel hearing dates

- directions hearing: 16 July 2019
- panel hearing: Week commencing 12 August 2019

Planning and Environment Act 1987

YARRA PLANNING SCHEME

AMENDMENT C231

INSTRUCTION SHEET

The planning authority for this amendment is the Yarra City Council.

The Yarra Planning Scheme is amended as follows:

Planning Scheme Maps

The Planning Scheme Maps are amended by a total of 9 attached map sheets.

Zoning Maps

1. Amend Planning Scheme Map No. 2 in the manner shown on the 1 attached map.

Overlay Maps

2. Amend Planning Scheme Map No. 2HO in the manner shown on the 2 attached maps.
3. Amend Planning Scheme Map No. 2EAO in the manner shown on the 1 attached maps.
4. Amend Planning Scheme Map Nos. 1DDO and 2DDO in the manner shown on the 1 attached map.

Planning Scheme Ordinance

The Planning Scheme Ordinance is amended as follows:

5. In Overlays – Clause 43.01, replace the Schedule with a new Schedule in the form of the attached document.
6. In Overlays – Clause 43.02, replace Schedule 16 and Schedule 20 with a new Schedule 16 in the form of the attached document.
7. In Incorporated Documents – Clause 72.04, replace the Schedule with a new Schedule in the form of the attached document.

End of document

AMENDMENT C231YARA

2.0

C231yara

Heritage places

The requirements of this overlay apply to both the heritage place and its associated land.

PS map ref	Heritage Place	External Paint Controls Apply?	Internal Alteration Controls Apply?	Tree Controls Apply?	Outbuildings or fences which are not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
HO1	40 ABBOTSFORD STREET ABBOTSFORD Timber Cottage Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	Yes	No	No	No	No	No	No
HO2	42 ABBOTSFORD STREET ABBOTSFORD Gothick House Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	Yes	No	No	No	No	No	No
HO3	2-4 BOND STREET ABBOTSFORD Former Grosvenor Common School	-	-	-	-	Yes Ref No H654	No	No
HO4	31-35 CHURCH STREET ABBOTSFORD Terrace Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	Yes	No	No	No	No	No	No
HO5	67 CHURCH STREET ABBOTSFORD River House Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	Yes	No	No	No	No	No	No

AMENDMENT C231YARA

PS map ref	Heritage Place	External Paint Controls Apply?	Internal Alteration Controls Apply?	Tree Controls Apply?	Outbuildings or fences which are not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
	<p>Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014</p>							
HO314	<p>Yarra Falls Precinct Abbotsford</p> <p>Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014</p>	No	No	No	No	No	No	No
HO315	<p>Church Street Precinct, Richmond</p> <p>Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014</p>	Yes	No	No	No	No	No	No
HO316	<p>Clifton Hill Eastern Precinct</p> <p>Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014</p>	No	No	No	No	No	No	No
HO317	<p>Clifton Hill Western Precinct</p> <p>Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014</p> <p>Statement of significance: Yarra High Streets: Statements of Significance October 2017 (updated November 2017)</p>	No	No	No	No	No	No	No
HO318	<p>Collingwood Slope Precinct</p> <p>Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014</p>	No	No	No	No	No	No	No

AMENDMENT C231YARA

PS map ref	Heritage Place	External Paint Controls Apply?	Internal Alteration Controls Apply?	Tree Controls Apply?	Outbuildings or fences which are not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
	<p>Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014</p>							
HO326	<p>North Carlton Precinct</p> <p>Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014</p>	No	No	No	No	No	No	No
HO327	<p>North Fitzroy Precinct</p> <p>Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014</p> <p>Statement of significance: Yarra High Streets: Statements of Significance October 2017 (updated November 2017)</p>	No	No	No	No	No	No	No
HO328	<p>Park Crescent Precinct, Alphington</p> <p>Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014</p>	No	No	No	No	No	No	No
HO329	<p>Princes Hill Precinct</p> <p>Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014</p>	No	No	No	No	No	No	No
HO330	<p>Queens Parade Precinct, North Fitzroy/Clifton Hill</p> <p>Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014</p>	Yes	No	No	No	No	No	No

AMENDMENT C231YARA

PS map ref	Heritage Place	External Paint Controls Apply?	Internal Alteration Controls Apply?	Tree Controls Apply?	Outbuildings or fences which are not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
	<p>Statement of significance: Yarra High Streets: Statements of Significance October 2017 (updated November 2017)</p>							
HO331	<p>Racecourse Precinct, Richmond</p> <p>Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014</p>	No	No	No	No	No	No	No
HO332	<p>Richmond Hill Precinct</p> <p>Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014</p>	No	No	No	No	No	No	No
HO333	<p>Smith Street Precinct, Fitzroy/Collingwood</p> <p>Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014</p>	Yes	No	No	No	No	No	No
HO334	<p>South Fitzroy Precinct</p> <p>Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014</p>	No	No	No	No	No	No	No
HO335	<p>Swan Street Precinct, Richmond</p> <p>Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014</p>	Yes	No	No	No	No	No	No
HO336	<p>Victoria Parade Precinct, Collingwood</p> <p>Incorporated plan:</p>	No	No	No	No	No	No	No

System Note: The following ordinance will be modified in Sub-Clause:72.04 DOCUMENTS INCORPORATED IN THIS PLANNING SCHEME, Schedule:SCHEDULE TO CLAUSE 72.04 DOCUMENTS INCORPORATED IN THIS PLANNING SCHEME


1.0

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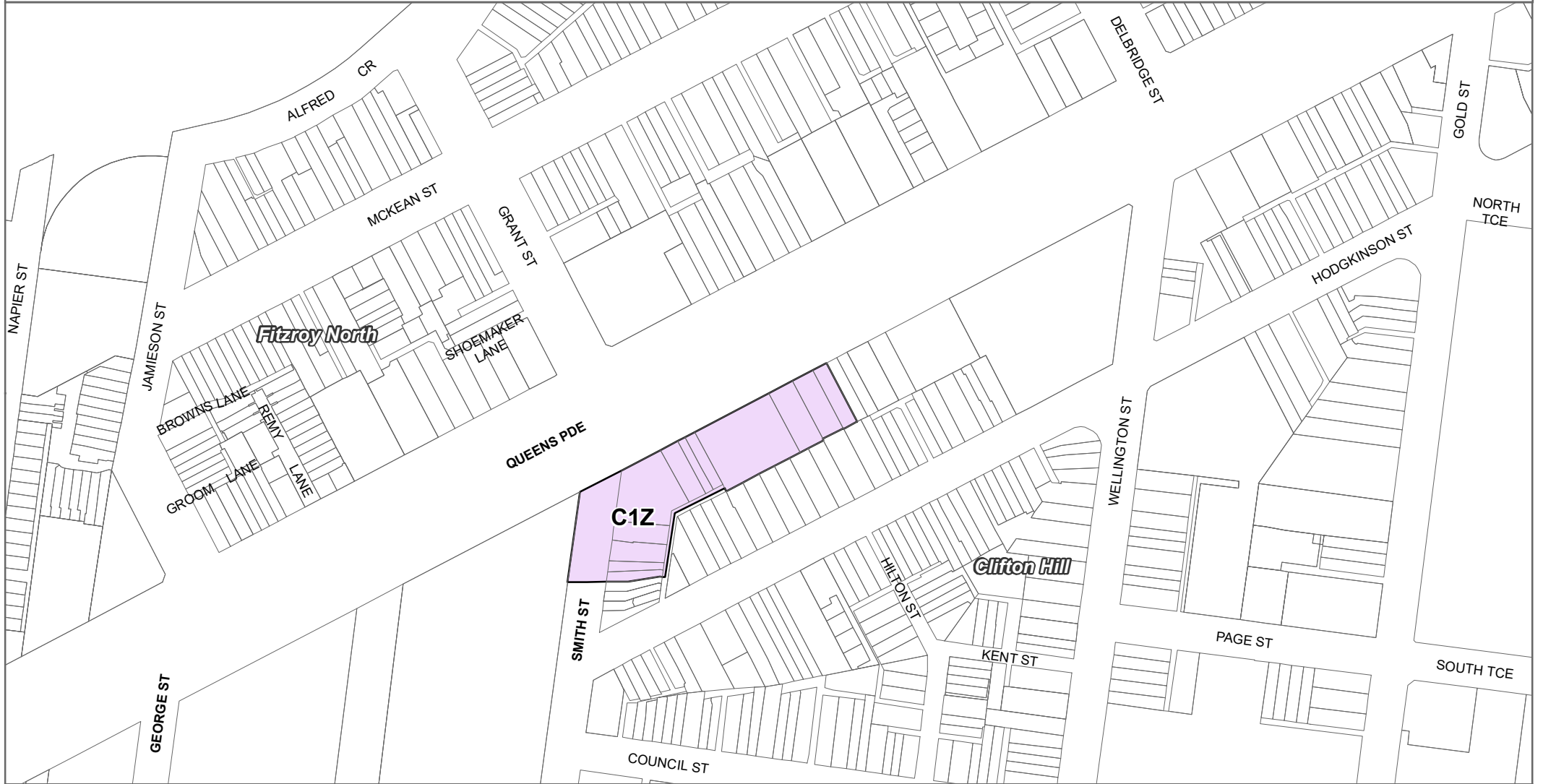
Incorporated documents

Name of document	Introduced by:
5-15 Mayfield Street, Abbotsford, Incorporated Document, October, 2018	C188
10 Bromham Place, Richmond Incorporated Document, February 2013	C171
18-62 Trenerry Crescent, Abbotsford (Incorporated Plan, May 2018)	C218
32-68 Mollison Street and 61-69 William Street, Abbotsford July 2013	C170
351-353 Church Street, Richmond – Incorporated Document, February 2019	C225
520 Victoria Street, 2A Burnley Street, and 2 – 30 Burnley Street, Richmond, Burnley Street West Precinct - Incorporated Plan, 2012	C150
Ampcor Alphington Paper Mill Site Preparation – Incorporated Document, September 2012	C161
Atherton Gardens – Fitzroy, September 2010	C136
Caulfield Dandenong Rail Upgrade Project, Incorporated Document, April 2016	GC37
Chandler Highway Upgrade Incorporated Document, March 2016 (Amended December 2017)	GC80
City of Yarra Review of Heritage Overlay Areas 2007 Appendix 8, revised September 2019 March 2020	C267yaraC231yara
Cremorne Balmain Dover Street Project	NPS1
Crown Land Car Park Works, Burnley, August 2005	C92
Fitzroy Former Gasworks Site, Incorporated Document, February 2018	C242
Flying Fox Campsite, Yarra Bend Park, December 2004	C90
Hurstbridge Rail Line Upgrade 2017 Incorporated Document, January 2017	GC60
Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	C178
Local Policy “Protection of Biodiversity” Sites of Remnant Vegetation (Biosis 2001)	C49
M1 Redevelopment Project, October 2006	C86
Melbourne City Link Project – Advertising Sign Locations, November 2003	VC20
Melbourne Metro Rail Project: Upgrades to the Rail Network Incorporated Document, May 2018	GC96
North East Link Project Incorporated Document, December 2019	GC98
Planning and Design Principles for the Richmond Maltings Site, Cremorne – November 2007	C101
Richmond Walk Up Estate Redevelopment, September 2010	C136
Social housing redevelopment; Atherton Gardens Estate, Fitzroy, and Richmond Public Housing Estate, Richmond, for which the Minister for Planning is the Responsible Authority, May 2010	C135
Specific Site and Exclusion – Lot 2 on PS433628L (452 Johnston Street, Abbotsford)	C56
Swan Street Works, Burnley, June 2005	C91
Tramway Infrastructure Upgrades Incorporated Document, May 2017	GC68

AMENDMENT C231YARA

Name of document	Introduced by:
Victoria Gardens Building Envelope and Precinct Plan and Precinct 3 Plan – Warehouse Area	C7
Victoria Gardens Urban Design Guidelines	NPS1
Victorian Institute of Forensic Psychiatry Concept Plan (January 1997)	NPS1
Yarra Gardens Precinct Plan, December 2009	C128
Yarra High Streets: Statements of Significance October 2017 (updated November 2017)	C231 C231yara 

YARRA PLANNING SCHEME - LOCAL PROVISION AMENDMENT C231



LEGEND

- C1Z - Commercial 1 Zone
- Local Government Area

Disclaimer

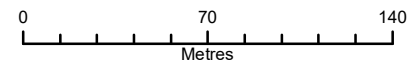
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Planning Group

Print Date: 5/03/2020

Amendment Version: 3

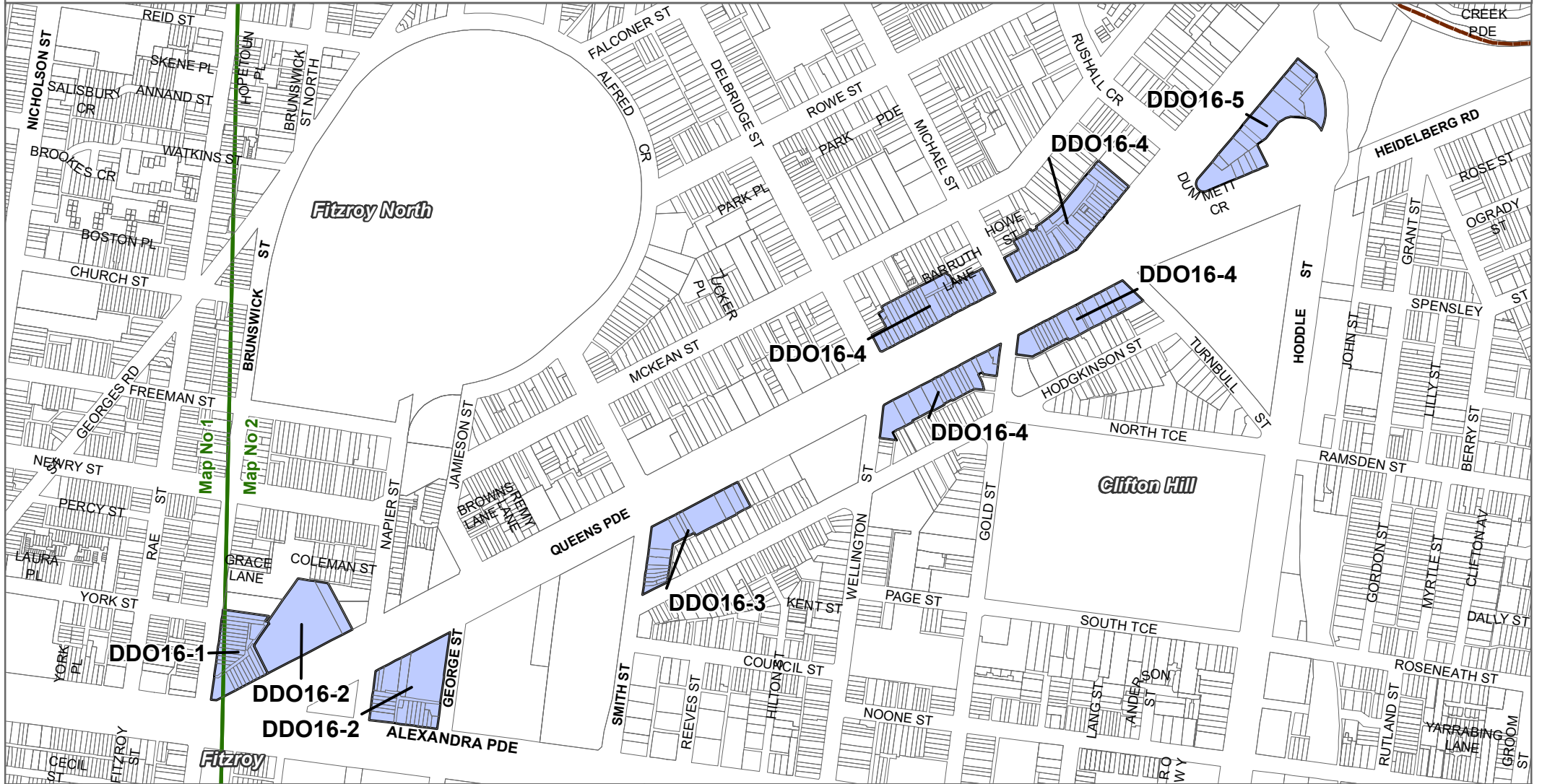


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Part of Planning Scheme Map 2



YARRA PLANNING SCHEME - LOCAL PROVISION AMENDMENT C231



LEGEND

-  DDO - Design and Development Overlay
-  Local Government Area

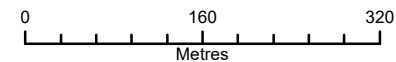
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Part of Planning Scheme Maps 1DDO & 2DDO



YARRA PLANNING SCHEME - LOCAL PROVISION AMENDMENT C231



LEGEND

-  D-HO - Area to be deleted from a Heritage Overlay
-  Local Government Area

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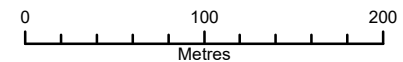
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YARRA PLANNING SCHEME - LOCAL PROVISION AMENDMENT C231



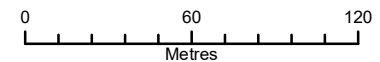
LEGEND

-  EAO - Environmental Audit Overlay
-  Local Government Area

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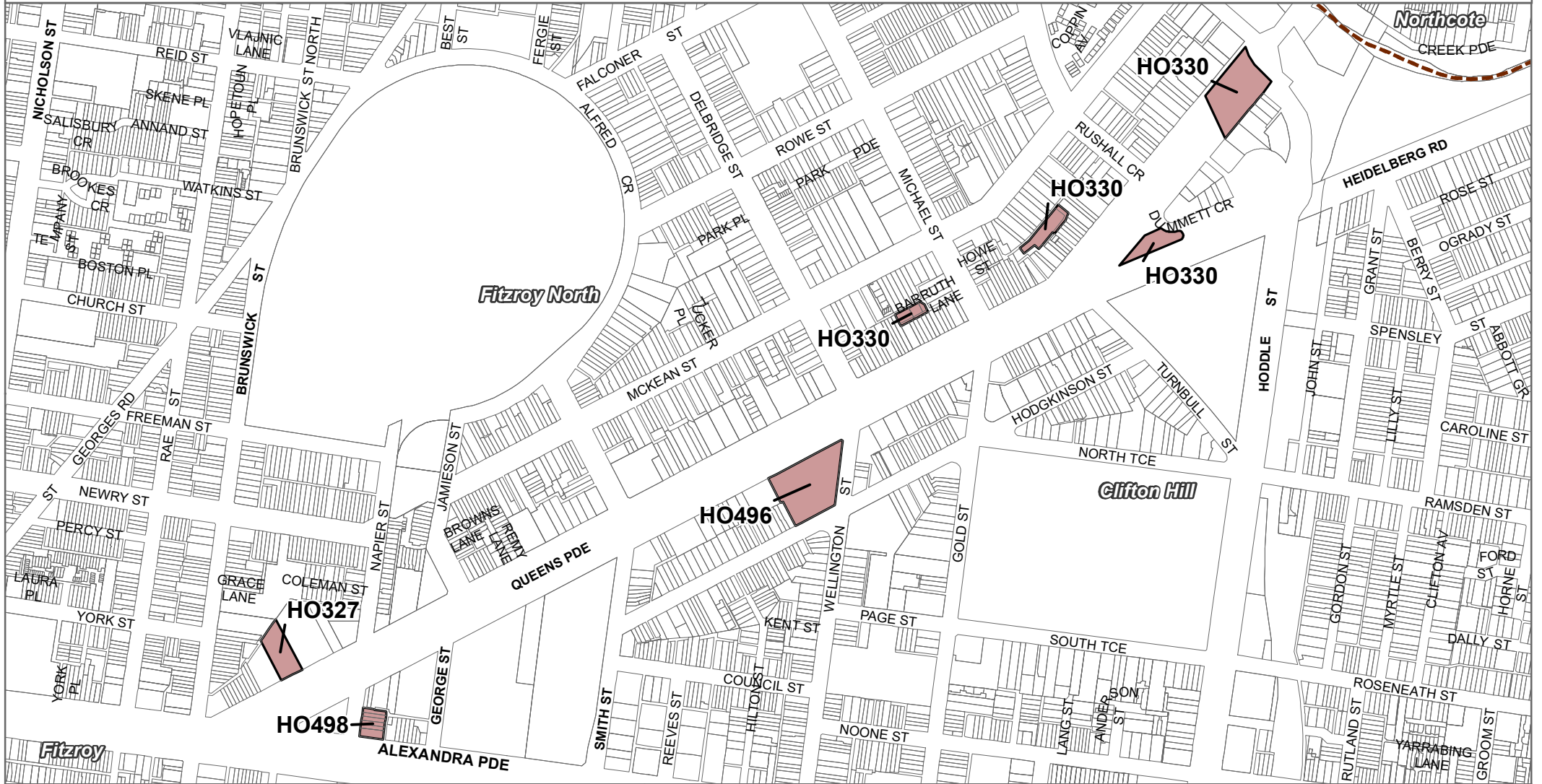


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YARRA PLANNING SCHEME - LOCAL PROVISION AMENDMENT C231



LEGEND

- HO - Heritage Overlay
- Local Government Area

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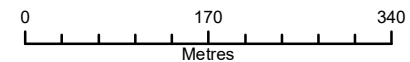
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Yarra High Streets: Statements of Significance

October 2017 (updated November 2017)

This reference document contains the Statement of Significance for all Heritage Precincts and Individually Significant Places (where a Statement of Significance has been prepared) within:

- Queens Parade Built Form Heritage Analysis and Recommendations Report (GJM Heritage, Nov 2017)

Ordered by Heritage Overlay number

Precinct no.	Precinct name	Page
HO317	Clifton Hill Western Precinct	4
HO327	North Fitzroy Precinct	8
HO330	Queens Parade Precinct, North Fitzroy/Clifton Hill	15

Precinct number VHR number	Name	Address	Page
HO92 VHR H0684	Former United Kingdom Hotel (now McDonalds)	199 Queens Parade, Clifton Hill	18
HO93	Street Trees	Queens Parade, Between Alexandra Parade & Delbridge Street Clifton Hill/ North Fitzroy	19
HO216 VHR H0163	Haselmere	96 McKean Street, Fitzroy North	20
HO221 VHR H0892	Former ANZ Bank	370-374 Queens Parade, North Fitzroy	21
HO496	St Johns Church Complex	61-87 Queens Parade, Clifton Hill	22
HO498	Row of houses Elizabeth Terrace	472-484 pier Street, Fitzroy North	23
HO504	Clifton Motors (former)	205-211 Queens Parade, Fitzroy North	24

YARRA PLANNING SCHEME

Individually Significant Places within a Precinct

HO number	Name/description	Address	Page
HO317	House	12 Hodgkinson Street, Clifton Hill	25
HO317	William B Fox House, later House of Gentle Bunyip	94 Hodgkinson Street, Clifton Hill	26
HO317	Baptist Church & Hall	100 Hodgkinson Street, Clifton Hill	27
HO317	Residence	122 Hodgkinson Street, Clifton Hill	28
HO317	Fire Station No. 11 (former)	662 Smith Street, Clifton Hill	29
HO327	National Bank, former	460 Brunswick Street, Fitzroy North	30
HO327	House	17 Delbridge Street, Fitzroy North	31
HO327	House	218 McKean Street, Fitzroy North	32
HO327	House	220 McKean Street, Fitzroy North	33
HO327	Hatherlie	224 McKean Street, Fitzroy North	34
HO327	K. G. Luke Pty Ltd factory (former)	26-52 Queens Parade, Fitzroy North	35
HO327	Selotta Shoes Pty Ltd factory (former)	122 Queens Parade, Fitzroy North	36
HO327	Christian Brothers Monastery, later units, Maher House	256-262 Queens Parade, Fitzroy North	37
HO330	Clifton Hill Hotel	89 Queens Parade, Clifton Hill	38
HO330	Melbourne Savings Bank, later State Savings Bank	97-99 Queens Parade, Clifton Hill	39
HO330	Doctor's surgery and house former	105 Queens Parade, Clifton Hill	40
HO330	Albert Hall, also Masonic Hall, later Samian Social Club	127-129 Queens Parade, Clifton Hill	41
HO330	Daintons Family Hotel, later Normanby Hotel	139 Queens Parade, Clifton Hill	42
HO330	Clifton Hill Post Office, former	141 Queens Parade, Clifton Hill	43
HO330	National Bank of Australasia, former	270 Queens Parade, Fitzroy North	44

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Heritage Place	Clifton Hill West Precinct	PS ref no:	HO317
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Source: Graeme Butler & Associates (2007, 2013), *City of Yarra Review of Heritage Overlay Areas* [see Study for footnote references]

What is significant?

Survey

Following the establishment of the East Collingwood Council in 1855, The East Collingwood Local Committee successfully sought permission for East Collingwood to annex what is now Clifton Hill. East Collingwood wanted to extend East Collingwood’s north south streets (Smith, Wellington and Hoddle) northwards to the Heidelberg Road (today’s Queens Parade) to tap the traffic and trade coming from country areas such as Heidelberg; to gain access to the quarrying area for street making materials; and for space to erect public buildings, such as a town hall and market.

Distinguished naturalist and engineer, Clement Hodgkinson, as Victorian Assistant-Commissioner of Crown Lands and Survey 1861-74, was responsible for the government subdivisions of Carlton (south of Princes St, 1860), North Carlton, North Fitzroy and Clifton Hill (1865-9), Hotham Hill (1866), South and North Parkville (1868-9). Under his supervision, suburban planning employed the cost-efficient grid system used by Hoddle. Hodgkinson’s predecessor.

The P. M. Goldbrick’s 1864 *Plan of Allotments in the Boroughs of East Collingwood and Fitzroy* shows the distinctive geometric forms of Darling Gardens and Mayor’s Park in Clifton Hill and Edinburgh Gardens in North Fitzroy.³⁵ The streets of Clifton Hill, North Fitzroy and North Carlton, as set out by the Colonial Government, were broader and better ordered than those created privately in Richmond, South Fitzroy and Collingwood, with the added distinction of the curved street forms in Fitzroy North.

Sale of land commenced in the 1860s with ample reserves for public purposes, the Darling Gardens and Mayors Park, a Market Reserve in Smith Street extending from Alexandra Parade to Council Street, a Public Baths Reserve in Smith Street from Council Street to Hodgkinson Street, a School Reserve in Gold Street and five Church Reserves throughout the area. By way of contrast, all the land sold in East Clifton Hill between 1871-1874 had no provision for public reserves.

Early Residential Development

In the three years from the first land sales in 1864 only six houses were built and in the next five years to 1872, 58 houses, four commercial premises (Queens Parade) and one industrial building (in Hoddle Street) were built. Early residential concentrations were at the west end of Alexandra Parade and the west end of Hodgkinson and Council Streets. These were near the horse drawn omnibuses to Northcote along Smith Street and Queens Parade (started in 1869) and employment opportunities at the Collingwood Gas Works in Smith Street, opened in 1861.

Amenity protection

Members of the public, including councils and organised pressure groups, wrote annually in relation to crown land reserves. In 1862-62 a petition from the 'Municipal District of East Collingwood' was presented to the Legislative Assembly citing the good work of the local Vigilance Committee towards improving Clifton Hill.³⁶

The level of community involvement engaged in 'articulating public interest priorities' can be gauged by the level and nature of the correspondence of which there was a great deal.³⁷ Demands for public parks, recreation areas, sporting grounds and botanic gardens increased.³⁸

More recently, The House of the Gentle Bunyip, constructed in three phases by two families between 1867 and the 1920s was the subject of controversy in the late 1990s when the local community successfully saved the building from demolition, after staging a picket lasting over 400 days.

Early public gardens

Preparations for planting the two Reserves (Darling Gardens and Mayors Park) proceeded with an application made in 1864 to Dr. Mueller FRS, Botanical Gardens Melbourne, for an assortment of trees, plants and shrubs and a liberal supply of Victorian *Hakea*, for the planting of Darling Gardens.³⁹ Many significant trees in Mayors Park and Darling Gardens have been identified as significant, including elm groups, cotton and Canary Island palms, and oaks.⁴⁰ The National Trust of Australia (Vic) has identified a *Quercus ilex* and *Ulmus procera* as significant trees in the Darling Gardens.

Trees

The 1897 MMBW Record Plan 29 shows that Hoddle Street had a double avenue of trees in Clifton Hill, Wellington Street was fully planted both sides with street trees from one end to the other, and Noone Street had trees at the east end. North Terrace had ten trees planted by local identity, George Langridge, MLA and former Mayor.

Boom era

During the metropolitan boom of 1881-91, the population of Collingwood increased by half, from 23,829 to 35,070, and the number of dwellings rose from nearly 5,000 to 7,000, mostly reflecting the development of Clifton Hill.⁴¹ The character of the area, as later described in *Victoria and its Metropolis*, was of a residential suburb "... that has of late years been extensively built on with a good class of houses and numerous handsome shops. It has an elevated position, and commands an excellent view of the metropolis."⁴² Local politicians and business figures (such as George Langridge) promoted development and aided in home ownership via building societies.

By the end of the boom in 1891, West Clifton Hill was almost fully developed. The 1897 MMBW record plan shows few vacant blocks. Most of this development took place between 1881 and 1891, more quickly and more completely than in East Clifton Hill, North Fitzroy or North Carlton, the other government planned suburbs. This growth was due to Clifton Hill's closer proximity to employment and commerce in the south, with industries in Collingwood and Abbotsford being within walking distance of Clifton Hill, and aided by cable trams running along Queens Parade and down Smith Street.

Victorian-era industrial development

Industries such as the Clifton Hill Brewery, Ridgeway's Tannery and Stacey's Boot Factory, continued to be located in the south east of the area fronting Alexandra Parade and Hoddle Street, adjacent to the former Reilly Street drain that was essential for effluent disposal. There was also Richard Hodgson's distinctive shot manufacturer's tower.

Post Boom

The early years of the 20th century saw some reinvigoration of industry after the financial trials of the 1890s. Comparatively little residential development took place after the Boom, except for development in two small subdivisions of the original Crown allotments in streets around the Darling Gardens.

Main development period

The main development period evident in the heritage overlay is that of the Victorian-era with a substantial contribution from the Edwardian-period. There is also a contribution from some well-preserved inter-war buildings and individually significant places of all eras.

Contributory elements

Contributory buildings are typically (but not exclusively) detached and attached Victorian-era and Edwardian-era mainly one-storey houses having:

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- Expressed pitched gabled or hipped roofs, with some façade parapets;
- Mainly one storey wall heights but with some two storey house rows;
- Weatherboard, face brick (red, bichrome and polychrome), or stucco walls;
- Corrugated iron roof cladding, Marseilles pattern terra-cotta tiles, with some slate roofing;
- Chimneys of either stucco finish (with moulded caps) or of matching face brickwork with corbelled capping courses;
- Typically with post-supported verandah elements facing the street, set out on two levels as required with cast-iron detailing;
- Less than 40% of the street wall face comprised with openings such as windows and doors; and
- Front gardens, originally bordered by typically timber picket front fences of around 1m height; and
- Corner shops and residences with display windows and zero boundary setbacks. And
- Well preserved buildings, including one storey houses plus one and two storey industrial buildings from the pre Second World War era;
- The Darling Gardens as a typical Victorian-era Garden Square, with mature exotic formally arranged planting;
- Significant and mature park, street and private tree plantings (including plane, oak and elm trees, palms in Mayors Park, and National Trust of Australia (Vic) significant trees);
- Provision of public and church reserves in the town plan; and
- Public infrastructure, expressive of the Victorian and Edwardian-eras such as bluestone pitched road paving, crossings, stone kerbs, and channels, and asphalt paved footpaths.

How is it significant?

HO317 Clifton Hill Western Heritage Overlay Area is aesthetically, socially and historically significant to the City of Yarra (National Estate Register [NER] Criteria E1, A4)

Why is it significant?

Clifton Hill Western Heritage Overlay Area annexed by East Collingwood Council in 1855 and substantially developed by World War One is significant:

- As an expression, in the history of its creation as part of Collingwood East, of the aspirations of tradesmen of the Collingwood Slope for improved urban development and the provision of public facilities;
- For the role of local politicians and business figures in social, physical and industrial improvement and home ownership in the area;
- As the focus of community sentiment and resident protest from its initial development in the 1860s, from the actions of the Victorian-era Vigilance Committee to the preservation movements of the 20th Century, specifically the House of the Gentle Bunyip conservation campaign;
- For the distinctive street and allotment layout created under Government surveyor, Clement Hodgkinson⁴³, and the liberal allowance for garden squares and reserves for a market, public baths, a school, a recreation reserve and five churches, contrasting with private surveys in the City of Yarra;
- For Hoddle's provision of boulevards (Hoddle Street and Queen's Parade) skilfully merged with wide streets on a north south grid, with unusual five way intersections and triangular public spaces at each end of Queen's Parade;

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- For the unique series of vistas from the crest of the hill at the end of Hoddle street that includes views of significant landmarks like the shot tower, spires of St. Johns and the former Wesleyan Church, Town Hall towers at Collingwood and Fitzroy, the Exhibition Buildings, and long vistas to the Kew hill and Studley Park, plus those to and from the Darling Gardens;
- For the area's fine representation of Victorian-era life, as expressed by the street and public reserves, along with the dominantly Victorian-era building stock including churches, a State school, factories, early houses, a large number of late Victorian terrace houses, attached and freestanding, and key house designs such as 12 North Terrace.
- For its focus on a representative and intact example of a residential garden square (Darling Gardens) based on British and European precedents, with associated significant trees;
- For the mature, largely exotic trees, including those planted by George David Langridge, MLA and former Mayor, bluestone kerbs, gutters, drains, channelling, and laneways from the area's major period of development;
- For the strong industrial theme, seen in the south of the area with several 19th Century industrial buildings including former boot factories, and a carriage factory, that links the area with the City's other creek and riverside industrial localities such as Clifton Hill East, Abbotsford and Collingwood;
- For well-preserved Edwardian housing estates and individual houses as complements to the dominant Victorian-era residences; and
- For good examples of the Californian Bungalow style and other well preserved interwar houses.

Heritage Place	North Fitzroy Precinct	PS ref no:	HO327
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Source: Graeme Butler & Associates (2007, 2013), City of Yarra Review of Heritage Overlay Areas [see Study for footnote references]

North Fitzroy has two sub-areas:

- (A) The Government planned section south of Holden St
- (B) The privately planned section north of Holden St

(A) NORTH FITZROY HERITAGE OVERLAY AREA (SOUTH OF HOLDEN ST)

What is significant?

Early subdivision

The south section of North Fitzroy (south of Holden Street) was retained in Crown ownership until 1865, as part of the Melbourne township reserve. This was a ring of land extending 5 miles from Hoddle's original Melbourne town plan that was set aside in 1844 for 'orderly' development in government-planned subdivisions.⁷⁵

North of Holden Street, large agricultural allotments had been sold in 1839, their boundaries surviving in the east-west streets of Miller, Barkly and Clausen Streets. There was also an area, bounded by (approximately) Nicholson, Church, Rae and Scotchmer Sts, that was sold as private quarry allotments in 1851 to encourage production of building stone.⁷⁶

The future suburb was bordered by a road to Heidelberg and the Plenty districts (later Queen's Parade) that ran diagonally to Hoddle's survey grid through the North Fitzroy's Crown reserve. It was proclaimed in 1850 as one of Melbourne's 3 chain (60 metre) government roads, now called 'Hoddle boulevards'.

To the north, the township of Northcote on the Merri-Merri Creek (later Westgarth) was laid out by Hoddle in 1852 with some allotments extending south of the Merri Creek to Rushall Crescent in North Fitzroy. These allotments now have substantial buildings dating from the 1850s and 1860s (see Queen's Parade Heritage Area, HO331).

St. George's Rd was another diagonal route, on the western flank of the area, used to transport construction materials to the 1854-8 Yan Yean water supply scheme near Whittlesea.⁷⁷ By 1860, Fitzroy Council annexed the 480 acres now comprising North Fitzroy.

Distinguished naturalist and engineer, Clement Hodgkinson, as Victorian Assistant-Commissioner of Crown Lands and Survey 1861-74, was responsible for the government subdivisions of Carlton (south of Princes St, 1860), North Carlton, North Fitzroy and Clifton Hill (1865-9), Hotham Hill (1866), South Parkville and North Parkville (1868-9). Under his supervision, suburban planning employed the cost-efficient grid system used by Hoddle. A model town design⁷⁸ in the area by Hodgkinson's predecessor, Andrew Clarke (the designer of St Vincent's Place, South Melbourne), is thought to have inspired the curved streets of Alfred and Rushall Crescents in North Fitzroy, although both streets were laid out under Hodgkinson.⁷⁹

Edinburgh Gardens

YARRA PLANNING SCHEME

Lacking a public recreation reserve, the new Fitzroy Council was temporarily granted 7 acres in 1858 bounded by Reilly Street (Alexandra Parade), Queens Parade and Smith St.⁸⁰ The 1858 reserve was for a future Anglican parish church and the Collingwood (later the Metropolitan) Gas Company which commenced production in 1861. In 1862, Fitzroy Council requested an oval-shaped 50 acre public reserve flanking the Yan Yean tramway (St. George's Road). The oval reserve was laid out under Hodgkinson and extended south in 1863, as a squared-off addition to the reserve to the line of Freeman St, to provide the Prince of Wales Cricket Club an extra playing ground.⁸¹ In 1882-3, Edinburgh Gardens was permanently granted to the Council and planting of its avenues commenced.

Land sales and development

Sale of North Fitzroy's $\frac{1}{4}$ - $\frac{1}{2}$ acre allotments commenced in 1865, extending west from Rushall Crescent. Further east, lots between Brunswick and Nicholson Street were sold between 1867 and 1875.⁸² Settlement increased after 1869 when horse-drawn omnibuses began running from North Fitzroy along Nicholson St and Queen's Parade to the city. Development concentrated around the established quarry route (Nicholson Street) and the road to the Yan Yean Reservoir (St. George's Road).

St. Brigid's Catholic Church in Nicholson Street was commenced in 1869 and the Methodist Church, further north, in 1874. In the pre-Boom years (before 1883) this was North Fitzroy's most established area, characterised by modestly scaled brick and wood houses, shops, hotels, and commercial premises, the latter prevailing on main routes such as Rae, Reid, Brunswick Sts and St Georges Rd.

North Fitzroy Primary School was built in Alfred Crescent (HO212) overlooking Edinburgh Gardens. This was typical of 19th century government-planned suburbs where public schools were located on or near public recreation reserves. A police station was established west of the school, giving the north-west corner of the gardens a civic character, embellished by an ornamental fountain after the turn of the century.⁸³ St Luke's Church of England in St Georges Rd was commenced in 1879.

Suburban development was rare east of St Georges Road prior to the Boom, but in 1869 philanthropist George Coppin created the Old Actor's Association village overlooking Merri Creek close to Northcote, later the site of the Old Colonists' Association (HO218). Nearby land was granted to the Licensed Victuallers' Association for asylum homes and a school (site of Fitzroy Secondary School since 1915).⁸⁴

Transport

When cable tram routes along Queen's Parade, Nicholson Street and St. Georges Road commenced construction in 1883, North Fitzroy landowners began subdividing their allotments. On the Nicholson Street tram route, owners of the 1850s stone quarries and the 1839 farm allotments north of Holden St, followed suit.

When tram services began in 1887 many new houses were ready for sale or under construction. North Fitzroy emerged as a late-Victorian commuter suburb with local shopping strips along the cable tram routes, the commercial strip of St Georges Road extending east and west along Scotchmer Street.

Convenience shops were built on pedestrian street corners as households multiplied. The Inner Circle Railway running via Royal Park, North Carlton, Nicholson St, and Clifton Hill was completed in 1888 with a spur line dividing the Edinburgh Gardens into two, and terminating at the 'Fitzroy' station, Queen's Parade. A new rail link direct to the city (the Clifton Hill to Princes Bridge line) opened in 1901 and saw Edwardian buildings filling out the suburban streets east of St. Georges Road and the revitalising of the main shopping strips.⁸⁵ Public transport continued to support North Fitzroy as a commuter suburb during the 1920s with the opening of Rushall railway station and the electrification and extension of the St Georges Rd and Nicholson St tramways.

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North Fitzroy's suburban development, especially east of St George's Road to Rushall Crescent, was far from complete when the Boom collapsed in 1893. However its good access to public transport led to a rapid recovery. A number of small factories were built in or near the 19th century commercial strip of Scotchmer St, the best architectural examples being of the late 1930s. Main development era, south of Holden St.

The main development period evident in the heritage overlay south of Holden St is that of the Victorian era with a substantial contribution from the Edwardian-period. There is also a contribution from some well-preserved inter-war buildings and individually significant places of all eras.

Contributory elements, south of Holden St

The North Fitzroy Heritage Overlay Area (south of Holden St) contributory elements include (but not exclusively) generally detached and attached Victorian-era and Edwardian-era houses having:

- Pitched gabled or hipped roofs, with some façade parapets, many elaborate;
- One storey wall heights but with many two storey house rows,
- Rectilinear floor plans, with many bayed room projections on the plans of large houses;
- Face brick (red, bichrome and polychrome) or stucco walls, some weatherboard;
- Corrugated iron and slate roof cladding, some Marseilles pattern terra-cotta tiles;
- Chimneys of either stucco finish (with moulded caps) or of face brickwork with corbelled or cemented capping courses;
- Post-supported verandah elements facing the street, set out on two levels as required with cast-iron and timber detailing, and many curved verandah wing-walls;
- Less than 40% of the street wall face comprised with openings such as windows and doors; and
- Front gardens, originally bordered by timber or iron picket front fences of around 1m height; often set between brick or cemented pillars and curved brick garden wing walls.
- Face brick (typically red) privies set on rear lanes, with some stables and lofts to the larger houses;
- Shops and residences sited on corners with display windows and zero boundary setbacks;

Contributory elements also include attached Victorian and Edwardian-era shops, and residences over, with

- Façade parapets and pitched roofs behind,
- Two storey wall heights,
- Post-supported street verandahs as shown on the MMBW Detail Plans,⁸⁶
- No front or side setbacks; also
- Timber framed display windows and entry recesses.

Contributory elements also include:

- Well preserved buildings from the pre Second War era, that are visually related to the dominant scale, siting and form of the area;
- Service buildings, like pre WW2 electric substations;

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- The distinctive suburban plan, enhanced by curving street forms, and defined by boulevards;
- Edinburgh Gardens as a Victorian-era residential circus, and for the other garden, boulevard and median reserves (such as Queens Parade), with mature exotic and formally arranged planting;
- Mature street tree plantings (such as plane and elm tree rows, Queensland brush box);
- The provision of public and church reserves in the town plan, including the Inner Circle Railway reserve;
- The rectilinear Victorian-era allotment plans and street layout with wide main streets, rear service lanes, all counter posed with circular parkland reserves, major angled streets and boulevards;
- The dominance of spires and towers of public buildings, churches and some large houses in the skyline; and
- Public infrastructure, expressive of the Victorian and Edwardian-eras such as bluestone pitched road paving, crossings, stone kerbs, and channels, and asphalt paved footpaths.

How is it significant?

HO327 North Fitzroy Heritage Overlay Area (south of Holden St) is aesthetically and historically significant to the City of Yarra (National Estate Register [NER] Criteria E1, A4)

Why is it significant?

The Government planned section of Fitzroy North (south of Holden St) is significant

- As a demonstration of the earliest stages in the development of North Fitzroy, commencing with the 1850s Yan Yean tramway and the quarry route of Nicholson St, the establishment of North Fitzroy's first churches and its pre-Boom suburban mixture of small residential and commercial buildings coinciding with provision of horse drawn public transport.;
- For its late 19th century buildings that represent rapid growth and change in the character of the relatively remote suburb to an established residential and business area with a range of commercial and institutional buildings serving the wider population of North Fitzroy;
- For the aesthetic value of its suburban planning, with the combination of curving streets and garden reserves, and the vistas created by the intersections of standard rectilinear subdivision with the strong diagonals formed by St Georges Road and Queens Parade, the exceptionally wide streets and crescents, the triangular garden reserves, and focal views to buildings and parkland. This aesthetic is underscored by the built form seen in the construction of commercial and institutional buildings to the property alignment along a number of streets and on corners;
- The generous public domain, with street plantings of historic elms and 20th century plane trees,
- For its low rise streetscapes of intact Victorian and Edwardian buildings one and two-storey terrace and villa housing;
- For the range of Victorian and Edwardian-era building form and finish, from the modestly decorated timber cottages and stuccoed Italianate style houses, simply designed corner hotels and shops, to the rich variety of decorative buildings including an extraordinary concentration of decorative bichrome and polychrome brickwork and flamboyantly decorated Italianate residential and commercial terraces, banks and hotels, interspersed very occasionally with dominating narrow spire and tower elements of religious, commercial and institutional buildings.
- As one of Melbourne's early residential commuter suburbs served by train and cable tram
- services linking it to the city by 1888, with extensive Boom era terrace buildings and closely built row housing within this sub-area providing evidence of the effects of public transport on early development;
- As essentially a well preserved Boom-era suburb that, despite the abrupt economic collapse of the early 1890s, continued developing during the Great Depression years and into the first decades of the 20th century due to the amenity of its planning, parkland, local schools and shops and extensive public transport. This yielded both the

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generous frontages and sizes of the post-Depression villa houses and the row house forms and narrow frontages of the Boom era;

- For its traditional Victorian-era residential character, evoked by the formal presentation of the decorated façade to the street with its small ornamental front garden, low front fence, pedestrian gateway and front path, with the functional necessities of delivering coal, removal of nightsoil and occasional stabling provided by the back lanes;
- For landmark buildings and sites that formed key meeting places in the area during the main development era of the 1860s to the 1930s, including religious institutions, schools, monasteries and churches, and the buildings associated with charitable bodies such as the Salvation Army, Church of Christ Bible School, and the temperance movement. Also the former Nth Fitzroy Police Station, the former Licensed Victualler's School and Asylum site and complexes such as the Old Colonists Homes;
- For the asphalt footpaths, pitched lanes, gutters and lane crossovers and mature street and individual plantings (such as mature elms, planes, palms, and Kurrajongs) that reinforce the unified character of the dense, relatively low-rise residential development;
- The 19th century landscape of Edinburgh Gardens and its representation of Fitzroy's cultural history in its plantings, memorials, recreation sports club grounds and pavilion buildings, plus the Inner Circle Railway reserve as a cultural landscape strip across the north of the area;
- For the outstanding Victorian and Edwardian-era streetscapes such as those surrounding the Edinburgh Gardens (Alfred Crescent, St Georges Road, Brunswick and Freeman Streets) that include a rich collection of Victorian-era Gothic and Italianate style buildings interspersed with fine buildings from the Edwardian period;
- For the important views and vistas within the area, including those of the Edinburgh Gardens, its mature trees and historic structures, as seen from many parts of the Heritage Overlay Area, and views obtained from Edinburgh Gardens to the many significant buildings at its curtilage and the city skyline, the vista from the elevated position of the Cricket Club grandstand toward the upper façades of buildings in Freeman and Brunswick Streets, and the Brunswick Street vistas (south to the spire of St Patrick's Cathedral, and north to St Luke's spire)
- For the contribution of well-preserved inter-war buildings, particularly the small intact inter-war houses where the building design has adapted to the prevailing built character of the area in siting, scale, decorative quality and stylistic variety.

(B) NORTH FITZROY HERITAGE OVERLAY AREA (NORTH OF AND INCLUDING HOLDEN ST)

What is significant?

Development north of Holden St
(Refer also to Development south of Holden St)

North of Holden St, the 1839 farm allotments closest to Nicholson St were subdivided for row-housing during the late Victorian-era Boom years but remained empty until after 1900. Suburban development followed in the years to 1920 with timber villas on relatively wide (approximately 10 metre frontages). Some empty sites were developed in the 1930s and 1940s with medium density, duplex and estate housing development, some of these being architecturally distinctive. Mature street tree planting includes plane trees, typical of Edwardian-era and inter-war planting. The Merri State (now Primary) School 3110 and landscaping, in Miller St, is a key early non-residential building in this part of the Heritage Overlay Area.

Main development era, north of Holden St

The main development period evident in the heritage overlay is that of the Edwardian-period with a contribution from the Victorian era. There is also a contribution from some well-preserved inter-war buildings and individually significant places of all eras.

Contributory elements, north of Holden St

The North Fitzroy Heritage Overlay Area (north of and including Holden St) contributory elements include (but not exclusively) generally detached (and some attached) Victorian-era and Edwardian-era mainly one-storey houses having typically:

- Pitched gabled or hipped roofs, with few façade parapets;
- One storey wall heights but with some two storey house rows;
- Weatherboard or block fronted wall cladding, with face brick (red, bichrome and polychrome), or stucco walls;
- Corrugated iron roof cladding, with some Marseilles pattern terra-cotta tiles, with some slate roofing;
- Chimneys of either stucco finish (with moulded caps) or of matching face brickwork with corbelled capping courses;
- Post-supported verandah elements facing the street, with timber (Edwardian-era) or cast-iron detailing;
- Less than 40% of the street wall face comprised with openings such as windows and doors; and
- Front gardens, originally bordered by timber picket front fences of around 1m height.

Contributory elements also include:

- Corner shops and residences, with display windows and zero boundary setbacks;
- One and two storey commercial strips (i.e. St Georges Road) with some key corner Victorian and Edwardian-era buildings and well preserved inter-war examples;
- Well preserved buildings, including visually related one and two storey residential buildings from the pre Second War era, are contributory to the heritage overlay;
- Long east-west streets as former rural allotment boundaries, with repeating allotment sizes and rectilinear allotment forms;
- The inner circle railway reserve, with associated railway infrastructure;
- Mature street tree plantings (typically plane trees) and reserve planting (typically palms), and
- Public infrastructure, expressive of the Victorian and Edwardian-eras such as bluestone pitched road paving, crossings, stone kerbs and channels, and asphalt paved footpaths.

How is it significant?

HO327 North Fitzroy Heritage Overlay Area (NORTH OF AND INCLUDING HOLDEN ST) is aesthetically and historically significant to the City of Yarra (National Estate Register [NER] Criteria E1, A4)

Why is it significant

North Fitzroy Heritage Overlay Area (NORTH OF AND INCLUDING HOLDEN ST) is important:

- For the clear indication of important early land development phases in the suburb as follows:
 - East-west, relatively long and narrow streets originating from private subdivision of the 1839 agricultural allotments that originally fronted Merri Creek;
 - The evident effect of the 19th century Boom era when aggressive subdivision coincided with provision of public transport, creating dense late-Victorian development near the Nicholson St cable tram terminus;

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- The more generous post-1906 subdivisions (suited the construction of detached timber villas) representing changed values in land prices, and the relatively new suburban ideal of affordable house and garden lifestyle;
- The slow transformation into a completed residential suburb by WW2, with the last few vacant sites accommodating interwar dwellings, some developed with medium- density housing, duplexes and flats.
- For the consistent and intact streetscapes of late Victorian terrace and row housing in the south-west corner of the area, and Italianate style and Edwardian timber villas, interspersed occasionally with inter-war houses, in the balance of the area;
- For the visual consistency and good period expression of streets in the north and east parts of the area, consistently one-storey, timber construction, decorative detail, and detached siting with consistent garden setbacks;
- For the interwar medium density development pockets, including those contained within Pilkington St and parts of Barkly St, King and Miller Streets, significant for its intactness, form and high quality design.
- For the shopping strip streetscape of St Georges Rd, significant for its landmark Victorian-era buildings, plus intact early 20th century and interwar buildings in both Classical Revival and Moderne styles; and
- For important landscape and vistas, including the view of Merri Creek Bridge framed by palms and mature elms in the Merri Primary School reserve, and mature street plantings of plane trees.

Heritage Place Queens Parade Precinct, North Fitzroy/Clifton Hill	PS ref no: HO330
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Source: GJM Heritage (2017), Queens Parade Built Form Heritage Analysis & Recommendations Report

What is significant?

Queens Parade, North Fitzroy from south-west of Delbridge Street to Brennand Street (nos. 264-492); Queens Parade, Clifton Hill from Wellington Street to Turnbull Street (nos. 61-197), Queens Parade Road Reserve from St John the Baptist Church Presbytery to the railway overpass, and Raines Reserve. NOTE: 12 and 14 Brennand Street (not contributory) are included in HO330 in Appendix 8 but mapped in HO327.

History

First established as a track linking Melbourne and Heidelberg in the late 1830s, Queens Parade was one of Melbourne’s first major roads. Originally extending from the top of Bourke Street, the route followed an irregular course to the north-east and continued across Merri Creek. The road was surveyed by Hoddle as a substantial three chain (60 metre) wide boulevard, reserved in 1853, and known as Heidelberg Road at the south-west end and Plenty Road further to the north-east and crossing Merri Creek. This thoroughfare to Northcote and Heidelberg formed part of the boundary between Clifton Hill and North Fitzroy and was renamed Queens Parade in the early twentieth century.

Allotments were sold in Queens Parade from 1853, on the northern side, south of Merri Creek as part of the Northcote township reserve. The Scotch Thistle Hotel, the present Terminus Hotel, had been built as part of this township by 1854 and some early bluestone terrace houses remain nearby at the corner of Rushall Crescent. Allotments fronting both sides of Queens Parade sold from 1864, however the street remained largely undeveloped until the construction of buildings such as the Daintons Family Hotel at the corner of Gold Street in 1875 and St John’s Roman Catholic Church (now St John the Baptist Church), in 1876.

This thoroughfare between Melbourne and the northern districts experienced a development boom in the 1880s, with commercial functions serving local residents as well as those travelling through, and much of the present building stock in the precinct was constructed at this time. Development on the North Fitzroy (northern) side was predominantly two-storeys, including shops with residences above, such as the building at the corner of Michael Street (336-338 Queens Parade, 1870-1890) and banks, including the National Bank of Australasia (1886) and the three-storey landmark building, the former London Chartered Bank (later the ANZ Bank, 1889). The Clifton Hill (southern) side of the street developed with some shops, large commercial enterprises and some public buildings, including the Post and Telegraph Office (1893), a row of seven shops and residences known as Campi’s Buildings (1880s), the State Savings Bank (1889), and the Clifton Hill Hotel (1884) on the south-east corner of Wellington Street.

Public transport was established in the area during the Boom years of the 1880s. A cable tram service was provided along the developing Queens Parade commercial strip in 1887, terminating at the Merri Creek and this was extended to Northcote in 1889. Increasing demand for public transport resulted in the opening of the Royal Park to Clifton Hill railway in 1888.

Development in Queens Parade decreased during the depression years of the 1890s, however a 1904 Melbourne and Metropolitan Board of Works detail plan indicates it was a tree lined commercial street with verandahs over the footpaths on both sides of Queens Parade by that time. Commercial development re-commenced in the early twentieth century, adding an Edwardian presence to the existing Victorian character of the precinct. Edwardian buildings include the Clifton Hill & Northcote United Friendly Societies Dispensary (1914), the Clifton Hill Post Office (c1915-20) and the former doctor’s surgery and residence (c1915). Additionally, a substantial group of detached Edwardian houses were built on the North Fitzroy side of Queens Parade, at the north-east end.

By the close of the Edwardian period (c1918) the streetscape, that continues today to mark the entrance to Melbourne’s northern suburbs, had largely been established. Notable Interwar buildings were added to the streetscape in the 1930s including a pair of landmark Moderne buildings at the north-east end - the former United Kingdom Hotel (1937-38),

located on the prominent intersection of Queens Parade and Heidelberg Road, and the nearby Clifton Motors Garage (1938 façade).

Extensive beautification took place in the inter-war period in the form of landscaping and further street tree plantings. Grassed median strips were planted with plane and elm trees at the western end and a triangular garden (Raines Reserve, originally Rain's Reserve) was created at the junction with Heidelberg Road.

Description

The main development period of the Queens Parade Precinct is from the 1870s to c1920 and the streetscape largely dates to this period. A small number of buildings from both earlier and later periods make a contribution to the precinct. A number of individually significant buildings are contained within the precinct, dating predominantly from the 1870s-1920 period.

Buildings are predominantly attached Victorian and Edwardian shops and residences. They are predominantly two-storey with some single-storey shops interspersed. Towards the north-eastern end of the precinct are a row of detached single and two-storey residences, predominantly from the Edwardian period.

Elements that contribute to the significance of the place include (but are not limited to):

- The wide, open boulevard character with associated landscaping (including Raines Reserve, the planted medians, bluestone pitched road paving, crossings, stone kerbs and channels, and asphalt paved footpaths).
- Views afforded to significant buildings in and beyond the precinct (St John the Baptist Church, former ANZ Bank building, and former United Kingdom Hotel)
- The consistent Victorian and Edwardian commercial character of the precinct, which includes:
 - A consistent two-storey scale with some single-storey buildings
 - A variety of simple and some highly decorative façade parapets, with pitched roofs behind
 - No front or side setbacks
 - Face red brick or rendered walls
 - Rendered window frames, sills and hoods to upper stories
 - Rendered ornament to upper stories
 - Brickwork with corbelled capping courses
 - Strong horizontal lines formed by parapets, cornices, string courses
 - Repetitive upper floor fenestration patterns
 - Corrugated iron, slate and terracotta tiled roof cladding
 - Decorative chimneys (some with pots)
 - Original post-supported street verandahs
 - Shop fronts with display windows, timber or tiled plinths, and entry recesses.
- The predominantly Edwardian residential character at the north-eastern end, which includes:
 - Steeply pitched gabled or hipped roofs, predominantly with terracotta tiles and terracotta ridge capping and/or finials

- Prominent, often highly decorative brick chimneys
- Prominent gable ends
- Predominantly red brick construction
- Front gardens

How is it significant?

Queens Parade, North Fitzroy/Clifton Hill is of local historical, architectural and aesthetic significance to the City of Yarra.

Why is it significant?

The Queens Parade Precinct is located on a major thoroughfare that has linked Melbourne to the northern suburbs since the 1830s. It is centred on one of Melbourne's early reserved boulevards, having been surveyed by Hoddle and reserved in 1853. The wide boulevard retains distinctive median strip landscaping from the twentieth century, including Raines Reserve. The Queens Parade Precinct is an intact turn of the century 'High Street' that has functioned continuously as a key commercial centre since the 1870s. It contains a substantial collection of intact commercial buildings, predominantly from the Victorian and Edwardian periods, including shops and associated residences, hotels and other commercial and civic buildings, as well as a group of detached Edwardian residences at the north-eastern end. Together these buildings demonstrate the development of this 'High Street', particularly from the 1870s to c1920 when substantial growth along the boulevard occurred, and are illustrative of the enduring role the street has played in the economic and social life of North Fitzroy and Clifton Hill since the establishment of the suburbs [Criterion A].

The highly intact streetscape of the Queens Parade Precinct clearly demonstrates the principal characteristics of a major turn of the century 'High Street' in the City of Yarra. Typical characteristics – including predominantly two-storey Victorian and Edwardian wall heights, parapeted rendered or red brick facades with repetitive upper floor fenestration, ground floor shopfronts and original verandahs – are displayed in the original forms, fabric and detailing of many of the buildings. The streetscapes on the northern side of Queens Parade from Delbridge Street to 410 Queens Parade and on the southern side of Queens Parade from Wellington Street to 169 Queens Parade are particularly intact and are highly consistent in their architectural form and expression, forming a cohesive and significant streetscape. A group of detached houses at the north-eastern end of the precinct are intact and consistent in their Edwardian character and form [Criterion D].

The Queens Parade Precinct contains a number of landmark and individually significant buildings which are well considered and carefully detailed examples of commercial and civic buildings. These include, among others, the prominent three-storey Former London Chartered Bank of Australia Ltd (later ANZ Bank building), 370-374 Queens Parade, the former Daintons Family Hotel (139 Queens Parade, built 1875), the former Melbourne Savings Bank (97-99 Queens Parade, built 1889), former National Bank of Australasia (270 Queens Parade, built 1886), Ryans Building (314 Queens Parade, built 1884), Campi's Buildings (149-167 Queens Parade, built c1880-c1890) and the corner shop at 336-338 Queens Parade, North Fitzroy (c1870-c1890). Key views to the local landmarks of the St John the Baptist Church complex and the Former United Kingdom Hotel, 199 Queens Parade, which bookend the precinct are afforded from within the precinct [Criterion E].

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Heritage Place	Former United Kingdom Hotel (now McDonalds) 199 Queens Parade, Clifton Hill	PS ref no: HO92
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Refer to Victorian Heritage Database for Statement of Significance – VHR HO684

YARRA PLANNING SCHEME

	Street Trees		
Heritage Place	Queens Parade, Between Alexandra Parade & Delbridge Street, Clifton Hill, North Fitzroy	PS ref no:	H093

Source: Allom Lovell & Associates and John Patrick Landscape Architects Pty Ltd (1998), *City of Yarra Heritage Review*

Statement of Significance

The double avenue of trees on Queens Parade is locally significant as an extensive and intact avenue planting in the City of Yarra. The trees provide a significant contribution to the heritage character of the precinct, and to the amenity of the local neighbourhood generally.

YARRA PLANNING SCHEME

Heritage Place	Haselmere 96 McKean Street, Fitzroy North	PS ref no:	HO216
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Refer to Victorian Heritage Database for Statement of Significance – VHR HO163

YARRA PLANNING SCHEME

Heritage Place	Former ANZ Bank 370-374 Queens Parade, North Fitzroy	PS ref no:	HO221
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Refer to Victorian Heritage Database for Statement of Significance – VHR HO892

Heritage Place	St Johns Church Complex 61-87 Queens Parade, Clifton Hill	PS ref no:	HO496
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Source: GJM Heritage (2017), Queens Parade Built Form Heritage Analysis & Recommendations Report

What is significant?

St John the Baptist Roman Catholic Church Complex, 61-87 Queens Parade, Clifton Hill, built from 1876 to 1918, comprising the church, school, presbytery, former hall/shops, former presbytery and the Queens Parade boundary fence to the church and presbytery.

Elements that contribute to the significance of the place include (but are not limited to):

- The original external form, materials and detailing of the buildings
- The high level of integrity to their original design
- The Queens Parade fence to the church and presbytery.

Later alterations and additions, particularly the recent addition to the rear of the shops and school, are not significant.

How is it significant?

St John the Baptist Roman Catholic Church Complex, 61-87 Queens Parade, Clifton Hill, is of local historical, architectural and aesthetic significance to the City of Yarra.

Why is it significant?

St John the Baptist Roman Catholic Church Complex, 61-87 Queens Parade, Clifton Hill is a large and intact group of religious buildings, including a church, school, presbytery, hall/shops and former presbytery. This group of buildings is illustrative of a large suburban parish, with place of worship and associated educational and community facilities, established from the late nineteenth century through to the twenty-first century (Criterion A).

St John the Baptist Roman Catholic Church Complex, 61-87 Queens Parade, Clifton Hill is a fine, intact and representative example of a religious complex. It contains buildings from the Victorian and Federation periods which display typical characteristics of a range of styles, including the Victorian Decorated Gothic style of the late nineteenth century (church) and the Gothic Tudor (school), Bungalow (presbytery) and Free Style (hall) of the Federation period (Criterion D).

St John the Baptist Roman Catholic Church Complex, 61-87 Queens Parade, Clifton Hill is a well- considered and carefully detailed complex of church buildings. The church is a richly composed bluestone building with freestone dressings, designed in a Decorated Gothic style. The soaring church spire is a prominent landmark in the Clifton Hill/Fitzroy North area. The church contains several important stained glass windows including works by Ferguson and Urie and Hardman of Birmingham. The school building is an imposing two-storey red brick building, designed in a Gothic Tudor style, and the former Church Hall is a carefully composed two-storey red brick triangular building, designed in a Federation Free Style. (Criterion E).

Heritage Place	Row of houses, Elizabeth Terrace 472-484 Napier Street, Fitzroy North	PS ref no:	HO498
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Source: GJM Heritage (2017), Queens Parade Built Form Heritage Analysis & Recommendations Report

What is significant?

Elizabeth Terrace, 476-484 Napier Street and the terrace house at 472 Napier Street, Fitzroy North, built in 1885 and 1889 respectively.

Elements that contribute to the significance of the place include (but are not limited to):

- The houses’ original external form, materials and detailing
- The houses’ high level of integrity to its original design
- The original front fences and gates.

Later alterations and additions to the rear of the terraces and the addition to the north of 472 Napier Street, are not significant.

How is it significant?

Elizabeth Terrace, 476-484 Napier Street and the terrace house at 472 Napier Street, Fitzroy North are of local architectural and aesthetic significance to the City of Yarra.

Why is it significant?

Elizabeth Terrace, 476-484 Napier Street and the terrace house at 472 Napier Street, Fitzroy North are fine and representative examples of terrace housing from the Victorian period. They display typical features of the Victorian Italianate architectural style popular in the 1880s boom period in Fitzroy North and across Melbourne more broadly, including a two-storey form with front verandahs and balconies, polychromatic brickwork, decorative cast iron, rendered decorative elements including balustrading and cast iron palisade fencing (Criterion D).

Elizabeth Terrace, 476-484 Napier Street and the terrace house at 472 Napier Street, Fitzroy North are well-considered and carefully detailed examples of Victorian Italianate terrace housing. The row of polychromatic terraces, with repetitive decorative elements across the facades, presents a picturesque composition of this architectural style (Criterion E).

Heritage Place	Clifton Motors (Former) 205-211 Queens parade, Fitzroy North	PS ref no: HO504
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Source: GJM Heritage (2017), Queens Parade Built Form Heritage Analysis & Recommendations Report

What is significant?

The Former Clifton Motors Garage, Showroom and Residence, 205-211 Queens Parade, Fitzroy North. Elements that contribute to the significance of the place include (but are not limited to):

- The building’s 1938-39 external form, materials and detailing
- The building’s high level of integrity to its 1938-39 design.

How is it significant?

The Former Clifton Motors Garage, Showroom and Residence, Fitzroy North is of local historical and architectural significance to the City of Yarra.

Why is it significant?

The Former Clifton Motors Garage, Showroom and Residence, Fitzroy North is of significance as an early motor garage constructed in a prominent location in Queens Parade, Fitzroy North. Operating as a garage and vehicle-related facility from at least the 1920s until the late twentieth century, the place demonstrates the increasing use of motor vehicles in Melbourne and suburbs, and their need for repair and service, for much of the twentieth century. The Moderne façade in particular illustrates the motoring age of the 1930s (Criterion A).

The Former Clifton Motors Garage, Showroom and Residence, Fitzroy North is a fine and intact example of a distinctive Moderne style motor garage, designed by noted architect James H Wardrop. The building displays typical features of the Moderne architectural style popular in the 1930s, including a dominant central element comprising a series of vertical fins and contrasting decorative horizontal treatment (Criterion E).

INDIVIDUALLY SIGNIFICANT PLACES WITHIN PRECINCTS

Some 'Individually Significant' places within heritage precincts have a Statements of Significance. Those places that have one are listed below.

Within HO317

12 Hodgkinson Street, Clifton Hill

Heritage Place	12 Hodgkinson Street, Clifton Hill	PS ref no:	Within HO317
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Source: Andrew Ward (May 1995), Collingwood Conservation Study Review

Significance

Of local significance as a very early house in Clifton Hill, erected whilst crown land sales were proceeding. The architectural detail and general lack of enrichment are typical of its period and contrast with the majority of Clifton Hill's houses.

William B Fox House - 94 Hodgkinson Street, Clifton Hill (later 'house of the Gentle Bunyip')

Heritage Place	William B Fox House, later 'house of the Gentle Bunyip' 94 Hodgkinson Street, Clifton Hill	PS ref no: Within HO317
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Source: Andrew Ward (May 1995), Collingwood Conservation Study Review

Significance

Important at the local level as a very early house in Clifton Hill, erected whilst the crown land sales were proceeding. The architectural details and lack of enrichment is representative of the mid Victorian years.

Baptist Church & Hall – 100 Hodgkinson Street, Clifton Hill

Heritage Place	Baptist Church & Hall 100 Hodgkinson Street, Clifton Hill	PS ref no:	Within HO317
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Source: Andrew Ward (May 1995), Collingwood Conservation Study Review

Significance

Church: The Baptist Church, Clifton Hill, is of local importance as a substantially intact church designed along non-conformist lines with a distinctive bell tower. Its role as a prototype for the design of the Northcote Baptist Church is of interest.

Former Baptist Sunday School Hall: This building forms a visual unit with the adjoining Church and is an important supportive element.

Residence – 112 Hodgkinson Street, Clifton Hill

Heritage Place	Residence 112 Hodgkinson Street, Clifton Hill	PS ref no: Within HO317
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Source: Andrew Ward (May 1995), Collingwood Conservation Study Review

Significance

No. 122 Hodgkinson Street is important as a substantial arcaded villa of which there are few in the municipality.

Fire Station No. 11 (former) – 662 Smith Street, Clifton Hill

Heritage Place	Fire Station No. 11 (former) 662 Smith Street, Clifton Hill	PS ref no: Within HO317
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Source: GJM Heritage (2017), Queens Parade Built Form Heritage Analysis & Recommendations Report

What is significant?

The Former Fire Station, 662 Smith Street, Clifton Hill, built in 1884 as the Clifton Hill **Temperance Fire** Brigade.

Elements that contribute to the significance of the place include (but are not limited to):

- The building’s original external form, materials and detailing
- The building’s high level of integrity to its original design.

Later alterations and additions are not significant.

How is it significant?

The Former Fire Station, 662 Smith Street, Clifton Hill is of local historical and architectural significance to the City of Yarra.

Why is it significant?

The Former Fire Station, Clifton Hill is of historic significance as an early and rare example of a suburban fire station which pre-dated the establishment of the Metropolitan Fire Brigade (created through the *Fire Brigades Act 1890*). The building demonstrates the period of voluntary fire brigades established prior to the formalisation of the metropolitan fire service (Criterion A & B).

The Former Fire Station, Clifton Hill is a fine and representative example of a suburban fire station. The large arch-headed driveway entrance with panelled doors, and adjacent office entry at street level, are features that clearly demonstrate the use of the building as a nineteenth century fire station (Criterion D).

Within HO327

National Bank, former – 460 Brunswick Street, Fitzroy North

Heritage Place	National Bank, former 460 Brunswick Street, Fitzroy North	PS ref no: Within HO327
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Source: Jacobs Lewis Vines Architects (July 1978), *North Fitzroy Conservation Study*

‘Building citation’

This bank, built in 1884, (Architects Smith & Johnson) is an important, conservative, classical, corner bank building. The upper storey with Ionic pilasters surmounts a lower storey with Tuscan pilasters. The whole is surmounted by a dentillated cornice with a recessed splayed panel on the corner. The exterior is largely intact - the corner door has been modernised, and a door to the south face has been filled in to make a window. In this corner position, it is an important streetscape element, and is worthy of addition to the Historic Buildings Register.

House – 17 Delbridge Street, Fitzroy North

Heritage Place	House 17 Delbridge Street, Fitzroy North	PS ref no: Within HO327
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Source: Jacobs Lewis Vines Architects (July 1978), *North Fitzroy Conservation Study*

‘Building citation’

This two storey house was constructed in 1890 for Mark Allen, a photographer. It has an arcaded front with the gable running out over the balcony level and the parapet at the front line. It is possibly the best example of this type in North Fitzroy, although the present paint colours are not appropriate. The most distinctive feature of the house is the frieze band of tiles surmounting the upper arcade.

The parapet, supported on a dentillated cornice, consists of an interlocking balustrade, square name plate framed by large scrolls and balls. The composition is pleasing and the arcading at both levels is finely detailed.

218 McKean Street, Fitzroy North

Heritage Place	218 McKean Street, Fitzroy North	PS ref no:	Within HO327
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Source: Jacobs Lewis Vines Architects (July 1978), *North Fitzroy Conservation Study*

Significance

See entry below for Hatherlie - 224 McKean Street, Fitzroy North (within HO327)

220 McKean Street, Fitzroy North

Heritage Place	220 McKean Street, Fitzroy North	PS ref no:	Within HO327
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Source: Jacobs Lewis Vines Architects (July 1978), North Fitzroy Conservation Study [addressed as 222 McKean Street in 1978 Study]

Significance

See entry below for Hatherlie - 224 McKean Street, Fitzroy North (within HO327)

Hatherlie – 224 McKean Street, Fitzroy North

Heritage Place	Hatherlie 224 McKean Street, Fitzroy North	PS ref no:	Within HO327
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Source: Jacobs Lewis Vines Architects (July 1978), North Fitzroy Conservation Study [addressed as 222 McKean Street in 1978 Study]

‘Building citation’

This building constructed in 1888 for Samuel Lazarus, a financier, is a two storey polychrome brick terrace house with a small polychrome attachment at the side. The detailing as a whole is not very remarkable. This terrace is best appreciated in conjunction with 218 and 220 McKean Street. These are also largely intact two storey polychrome terraces. The three terraces together combine to create an imposing streetscape element.

K.G. Luke Pty Ltd factory (former) – 26-52 Queens Parade, Fitzroy North

Heritage Place	K.G. Luke Pty Ltd factory (former) 26-52 Queens Parade, Fitzroy North	PS ref no:	Within HO327
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Source: GJM Heritage (2017), Queens Parade Built Form Heritage Analysis & Recommendations Report

What is significant?

The K G Luke Pty Ltd Factory and Showrooms, 26-52 Queens Parade, Fitzroy North, built from 1933 - 1965.

Elements that contribute to the significance of the place include the form, materials and detailing of the Art Deco façade and the ability to understand the place as a former factory and showroom complex.

Alterations and additions to the factory and showrooms after 1965 do not contribute to the significance of the place.

How is it significant?

The K G Luke Pty Ltd Factory and Showrooms is of local historical and architectural significance to the City of Yarra.

Why is it significant?

The K G Luke Pty Ltd Factory and Showrooms is of historical significance as a large industrial complex in Fitzroy North, which was established close to the Collingwood Gas Company gasworks and the Inner Circle Railway branch line. It is a remnant example of industrial development that occurred in this area from the 1860s through to the post-war period (Criterion A).

The K G Luke Pty Ltd Factory and Showrooms is of aesthetic significance for its particularly unusual and distinctive Art Deco façade which utilises a complex arrangement of castellated and hexagonal decorative elements (Criterion E).

The K G Luke Pty Ltd Factory and Showrooms is of historical significance for its association with Victorian manufacturer and sporting administrator, Kenneth G Luke, who moved his fledgling business to this site in 1929 and subsequently developed a successful business enterprise. Knighted in 1962, Luke was a highly successful businessman, with a range of interests and involvements in various committees and clubs (Criterion H).

Selotta Shoes Pty Ltd factory (former) – 122 Queens Parade, Fitzroy North

Heritage Place	Selotta Shoes Pty Ltd factory (former) 122 Queens Parade, Fitzroy North	PS ref no: Within HO327
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Source: Graeme Butler & Associates (2007, 2013), City of Yarra Review of Heritage Overlay Areas

What is significant?

The Selotta Shoes Pty Ltd Factory at 122 Queens Parade, Fitzroy North was created in 1934 for Selotta Shoes Pty Ltd. The place has a good integrity to its creation date. It was designed by architect, H V Gillespie. Fabric from the creation date at the Selotta Shoes Pty Ltd Factory, former is locally significant within the City of Yarra, compared to other similar places from a similar era.

How is it significant?

The Selotta Shoes Pty Ltd Factory at 122 Queens Parade, Fitzroy North is historically and architecturally significant to the locality of Fitzroy North and the City of Yarra

Why is it significant?

The Selotta Shoes Pty Ltd Factory is significant as a distinctive two-storey brick and render Moderne factory design example, with Spanish revival ornament and steel-framed windows.

‘An unusual 1930s large interwar Spanish styled industrial façade that retains a high degree of architectural integrity and recalls Harry Norris’s St. Kilda Rd Motor Garage and Showroom in a similar boulevard location. The status of this part of Queens Parade as a showpiece for modern industry relied on the Edinburgh Gardens spur railway to the Queens Parade Fitzroy Station which ran as a goods line, from 1891 to c1980’ (Wight 2001).

Christian Brothers Monastery, later units, G Maher House – 256-262 Queens Parade, Fitzroy North

Heritage Place	Christian Brothers Monastery, later units, G Maher House 256-262 Queens Parade, Fitzroy North	PS ref no: Within HO327
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Source: Graeme Butler & Associates (2007, 2013), City of Yarra Review of Heritage Overlay Areas

What is significant?

The Christian Brothers Monastery (later G Maher House) at 256-262 Queens Parade, Fitzroy North, was created in 1929 for the St Patrick’s Cathedral Melbourne Roman Catholic Trust and has historical associations with the Christian Brothers Monastery. The place has a good integrity to its creation date.

Fabric from the creation date at the Christian Brothers Monastery is locally significant within the City of Yarra, compared to other similar places from a similar era.

How is it significant?

The Christian Brothers Monastery at 256-262 Queens Parade, Fitzroy North, is historically and architecturally significant to the locality of Fitzroy North and the City of Yarra.

Why is it significant?

The Christian Brothers Monastery, later Units, G Maher House is significant as a large two-storey tile, red brick and render hipped roof monastery with a parapeted entry porch, faceted window bays, cement detailing, an early fence and tall chimneys.

Historically and socially important locally as an uncommon building type and associated with local community uses.

Within HO330

Clifton Hill Hotel – 89 Queens Parade, Clifton Hill

Heritage Place	Clifton Hill Hotel 89 Queens Parade, Clifton Hill	PS ref no:	Within HO330
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Source: Andrew Ward (May 1995), Collingwood Conservation Study Review

Significance

The Clifton Hill Hotel is a prominent and substantially intact late Victorian hotel.

Melbourne Savings Bank, later State Savings Bank – 97-99 Queens Parade, Clifton Hill

Heritage Place	Melbourne Savings Bank, later State Savings Bank 97-99 Queens Parade, Clifton Hill	PS ref no: Within HO330
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Source: Andrew Ward (May 1995), Collingwood Conservation Study Review

Significance

This former bank is an important public building in Collingwood for its prominence and free expression and rich detailing in the late Victorian Italianate mode.

Doctor’s surgery and house (former) – 105 Queens Parade, Clifton Hill

Heritage Place	Doctor’s surgery and house (former) 105 Queens Parade, Clifton Hill	PS ref no:	Within HO330
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Source: GJM Heritage (2017), Queens Parade Built Form Heritage Analysis & Recommendations Report

What is significant?

The Former Doctor’s Surgery and House, 105 Queens Parade, Clifton Hill, built c1915. Elements that contribute to the significance of the place include (but are not limited to):

- The building’s original external form, materials and detailing
- The building’s high level of integrity to its original design.

Later alterations and additions to the rear are not significant.

What is significant?

The Former Doctor’s Surgery and House, 105 Queens Parade, Clifton Hill is of local architectural and aesthetic significance to the City of Yarra.

What is significant?

The Former Doctor’s Surgery and House, 105 Queens Parade, Clifton Hill is a fine and representative example of a Federation house with combined use as a doctor’s surgery. It displays typical features of the Federation Arts and Crafts architectural style popular in the first decades of the twentieth century in Clifton Hill and across Melbourne more broadly, including roughcast walls and chimney, both hip and gable roofs, prominent exposed rafters and projecting window bay with fishscale shingle cladding (Criterion D).

The Former Doctor’s Surgery and House, 105 Queens Parade, Clifton Hill is a well-considered and carefully detailed example of a Federation Arts and Crafts house. The design, with main hipped roof, prominent front bay and central chimney, presents a picturesque composition of this architectural style, particularly within the commercial context of Queens Parade (Criterion E).

Albert Hall (former), also Masonic Hall, later Samian Social Club – 127-129 Queens Parade, Clifton Hill

Heritage Place	Albert Hall (former), also Masonic Hall, later Samian Social Club 127-129 Queens Parade, Clifton Hill	PS ref no: Within HO330
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Source: Andrew Ward (May 1995), Collingwood Conservation Study Review

Significance

The former "Albert Hall" was an important social venue in the locality throughout the late nineteenth and early-mid twentieth century, its architectural form in the Queens Parade streetscape being expressive of this role.

Daintons Family Hotel, later Normanby Hotel – 139 Queens Parade, Clifton Hill

Heritage Place	Daintons Family Hotel, later Normanby Hotel 139 Queens Parade, Clifton Hill	PS ref no: Within HO330
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Source: Andrew Ward (May 1995), Collingwood Conservation Study Review

Significance

A prominent and comparatively early hotel forming part of the Queens Parade Streetscape. Ornamentation is typical of the period.

Clifton Hill Post Office, former – 141 Queens Parade, Clifton Hill

Heritage Place	Clifton Hill Post Office, former 141 Queens Parade, Clifton Hill	PS ref no: Within HO330
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Source: Andrew Ward (May 1995), Collingwood Conservation Study Review

Significance

The former Clifton Hill post office is of local importance on account of the buildings initial use as well as for its prominence and late Victorian architecture.

National Bank of Australasia, former – 270 Queens Parade, Fitzroy North

Heritage Place	National Bank of Australasia, former 270 Queens Parade, Fitzroy North	PS ref no:	Within HO330
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Source: Jacobs Lewis Vines Architects (July 1978), *North Fitzroy Conservation Study*

‘Building citation’

This bank, constructed in 1886, provides an excellent example of transitional boom classicism bank architecture.

It is a two storey corner bank with a recessed loggia to the upper floor. The lower floor has a bluestone rough dressed piece on the splayed corner. This is a significant corner building, and the ornate design and composition combine to make this building of considerable merit and streetscape importance.

CITY OF YARRA
REVIEW OF HERITAGE OVERLAY AREAS 2007

Appendix 8

Revised [March 2020](#)



Appendix 8: City of Yarra Heritage Database extract: Heritage Overlays

The following is an extract from the City of Yarra Heritage Database listing the heritage status of properties within each Heritage Overlay. As requested by the City of Yarra, the table is arranged in heritage overlay number order and then in address order within that group. Victorian Heritage Register properties have a second listing within Heritage Overlay Areas as recognition of their contribution to each area.

Data fields in City of Yarra Heritage Database extract

Name

Typically as place type only i.e. *Shop and Residence*, if not a house/residence or with no known historical name

Address

Street name and number, suburb

City of Yarra property number

The City of Yarra property number as at 2005-2006

Significance

(From given range as below)

Significance	definition
Not assessed	Insufficient data to allow an assessment from the public domain
Contributory	Contributory to identified cultural values of heritage overlay area as stated in the Statement of Significance
Not Contributory	Not contributory to identified cultural values of heritage overlay area as stated in the Statement of Significance
Individually Significant	Aesthetically, historically, scientifically, and/or socially significant at the Local level and contributory or complementary to the Heritage Overlay Area
Victorian Heritage Register	On the Victorian Heritage Register ¹⁵⁷ as aesthetically, historically, scientifically, and/or socially significant at the State level and contributory or complementary to the Heritage Overlay Area

Date range

Estimated primary creation date of typically publicly visible fabric only.

HO317	Peckville	Street	8	Clifton Hill		128690	Not contributory	1950-1960
HO317	Peckville	Street	10	Clifton Hill		128695	Contributory	1880-1890
HO317	Peckville	Street	11	Clifton Hill		128720	Contributory	1880-1890
HO317	Peckville	Street	12	Clifton Hill		128700	Contributory	1880-1890
HO317	Peckville	Street	13	Clifton Hill		128715	Not contributory	1970-1980
HO317	Peckville	Street	14	Clifton Hill		128705	Contributory	1880-1890
HO317	Peckville	Street	16	Clifton Hill		128710	Not contributory	1970-1980
HO317	Queens	Parade	1	Clifton Hill		131870	Not contributory	Unknown
HO317	Queens	Parade	7	Clifton Hill	Factory	131875	Not Contributory	1915-1925
HO317	Queens	Parade	9	Clifton Hill	Shop & residence, former	131880	Not Contributory	1880-1890
HO317	Queens	Parade	11	Clifton Hill	Shop & residence	131885	Not Contributory	1880-1890
HO317	Queens	Parade	33	Clifton Hill	Mitre 10	131890	Not contributory	1980-1990?
HO317	Queens	Parade	35	Clifton Hill		131895	Contributory	1880-1890
HO317	Queens	Parade	37	Clifton Hill	Factory/warehouse	131900	Contributory	1900-1915
HO317	Queens	Parade	41	Clifton Hill	House	131905	Not contributory	1850-1890
HO317	Queens	Parade	43	Clifton Hill		131910	Contributory	1880-1890
HO317	Queens	Parade	45	Clifton Hill		131915	Contributory	1880-1890
HO317	Queens	Parade	47	Clifton Hill		131920	Contributory	1880-1890
HO317	Queens	Parade	51	Clifton Hill		131940	Contributory	1885-1905
HO317	Queens	Parade	55-57	Clifton Hill	Grounds, St John The Baptist Catholic Church residence, part complex-	131945	Not contributory	1870-1890
HO317	Queens	Parade	57-59	Clifton Hill	St John The Baptist Catholic Church residence	131945	Individually Significant-	1876-1907
HO317	Queens	Parade	61	Clifton Hill	St John The Baptist Catholic Church Presbytery	131950	Individually Significant-	1914
HO317	Smith	Street	612-614	Clifton Hill	Factory	130695	Contributory	1900-1915?
HO317	Smith	Street	616-622	Clifton Hill	Factory, former	130690	Contributory	1900-1925
HO317	Smith	Street	628-632	Clifton Hill	Factory, former Spry Bros. Boot Factory Site	130685	Contributory	1910
HO317	Smith	Street	628-632A	Clifton Hill	Factory & Offices (Cantarella)	130685	Not contributory	1960-1970
HO317	Smith	Street	650	Clifton Hill	Vacant land	130680	Not contributory	Unknown
HO317	Smith	Street	652	Clifton Hill	Shop & residence	294000	Contributory	1888
HO317	Smith	Street	654	Clifton Hill	Shop & residence	295730	Contributory	1888
HO317	Smith	Street	654 (rear)	Clifton Hill		130670	Not contributory	1990-2000
HO317	Smith	Street	656	Clifton Hill	Shop & residence	130665	Contributory	1888
HO317	Smith	Street	658	Clifton Hill	Shop & residence	130660	Contributory	1888
HO317	Smith	Street	660	Clifton Hill	Shop & residence	130655	Contributory	1888
HO317	Smith	Street	662	Clifton Hill	Clifton Hill fire brigade station	130650	Contributory Individually Significant	1880-1890
HO317	Smith	Street	664	Clifton Hill		130645	Not contributory	1970-1980
HO317	Smith	Street	668-670	Clifton Hill	Factory/workshop/offices	138835	Not contributory	1970-1980
HO317	South	Terrace	1	Clifton Hill	Flats	129420	Not contributory	1970-1980
HO317	South	Terrace	1A	Clifton Hill	Flats	129810	Not contributory	1970-1980
HO317	South	Terrace	2	Clifton Hill		129425	Contributory	1850-1890
HO317	South	Terrace	3	Clifton Hill		129430	Contributory	1900-1915
HO317	South	Terrace	4	Clifton Hill		129435	Contributory	1880-1890
HO317	South	Terrace	5	Clifton Hill		129440	Contributory	1930-1940
HO317	South	Terrace	6	Clifton Hill		323560	Individually Significant	1892
HO317	South	Terrace	7	Clifton Hill		129450	Contributory	1880-1890
HO317	South	Terrace	8	Clifton Hill		129455	Contributory	1900-1915
HO317	South	Terrace	9	Clifton Hill	Flats	129460	Not contributory	1970-1980

H0327	Brunswick	Street	468	Fitzroy North	House	239735	Contributory	1900-1915
H0327	Brunswick	Street	469	Fitzroy North	Holden's Buildings 1891, shop & residence	225815	Contributory	1891
H0327	Brunswick	Street	470	Fitzroy North		239740	Contributory	1880-1890
H0327	Brunswick	Street	471	Fitzroy North	Holden's Buildings 1891, shop & residence	225820	Contributory	1891
H0327	Brunswick	Street	472	Fitzroy North		239745	Contributory	1850-1890
H0327	Brunswick	Street	473	Fitzroy North	Holden's Buildings 1891, shop & residence	225825	Contributory	1891
H0327	Brunswick	Street	474	Fitzroy North		239750	Contributory	1850-1890
H0327	Brunswick	Street	475	Fitzroy North	Holden's Buildings 1891, shop & residence	225830	Contributory	1891
H0327	Brunswick	Street	476	Fitzroy North		239755	Contributory	1850-1890
H0327	Brunswick	Street	477	Fitzroy North	Holden's Buildings 1891, shop & residence	225835	Contributory	1891
H0327	Brunswick	Street	478	Fitzroy North		239760	Contributory	1850-1890
H0327	Brunswick	Street	479	Fitzroy North	Shop & residence	225840	Contributory	1850-1890
H0327	Brunswick	Street	480	Fitzroy North		239765	Contributory	1850-1890
H0327	Brunswick	Street	481	Fitzroy North		225845	Contributory	1880-1890
H0327	Brunswick	Street	482	Fitzroy North		239770	Contributory	1850-1890
H0327	Brunswick	Street	483	Fitzroy North		225850	Contributory	1880-1890
H0327	Brunswick	Street	484	Fitzroy North		239775	Contributory	1880-1890
H0327	Brunswick	Street	485	Fitzroy North	Clara	225855	Contributory	1880-1890
H0327	Brunswick	Street	487	Fitzroy North		225860	Contributory	1850-1890
H0327	Brunswick	Street	488	Fitzroy North		239785	Contributory	1880-1890
H0327	Brunswick	Street	489	Fitzroy North	Shop & residence	225865	Contributory	1900-1915
H0327	Brunswick	Street	490	Fitzroy North		239790	Contributory	1880-1890
H0327	Brunswick	Street	491	Fitzroy North	Shop & residence	225870	Contributory	1900-1915
H0327	Brunswick	Street	492	Fitzroy North		239795	Contributory	1880-1890
H0327	Brunswick	Street	493	Fitzroy North	Shop & residence	225875	Contributory	1900-1915
H0327	Brunswick	Street	494	Fitzroy North		239800	Contributory	1900-1915
H0327	Brunswick	Street	495	Fitzroy North	Shop & residence	225880	Contributory	1900-1915
H0327	Brunswick	Street	496-500	Fitzroy North	Showroom-offices	239805	Not contributory	1970-1980
H0327	Brunswick	Street	497	Fitzroy North		225885	Individually Significant	1880-1890
H0327	Brunswick	Street	498	Fitzroy North	Factory	239805	Not contributory	1970-1980
H0327	Brunswick	Street	499	Fitzroy North		225890	Contributory	1900-1915
H0327	Brunswick	Street	501	Fitzroy North	Shop & residence	225895	Contributory	1900-1915
H0327	Brunswick	Street	503	Fitzroy North	Shop & residence	225900	Contributory	1880-1890
H0327	Brunswick	Street	505	Fitzroy North	Shop & residence	225905	Contributory	1880-1890
H0327	Brunswick	Street	507	Fitzroy North	Shop & residence	225910	Contributory	1880-1890
H0327	Brunswick	Street	511	Fitzroy North	Shop & residence, wall sign	225915	Contributory	1880-1890
H0327	Brunswick	Street	513	Fitzroy North	House, fence, fountains	225920	Individually Significant	1880-1890
H0327	Brunswick	Street	517	Fitzroy North	Shop & residence	225925	Contributory	1850-1890
H0327	Brunswick	Street	519	Fitzroy North	Shop & residence	225930	Contributory	1850-1890
H0327	Brunswick	Street	520	Fitzroy North		239830	Contributory	1900-1915
H0327	Brunswick	Street	521	Fitzroy North	Shop & residence	225935	Contributory	1850-1890
H0327	Brunswick	Street	522	Fitzroy North		239835	Contributory	1880-1890
H0327	Brunswick	Street	523	Fitzroy North		225940	Contributory	1850-1890
H0327	Brunswick	Street	524	Fitzroy North		239840	Contributory	1850-1890
H0327	Brunswick	Street	525	Fitzroy North		225945	Contributory	1850-1890
H0327	Brunswick	Street	526	Fitzroy North		239845	Contributory	1850-1890

H0327	Ivan	Street	19	Fitzroy North	243060	Not contributory	Unknown	
H0327	Ivan	Street	20	Fitzroy North	243160	Contributory	1880-1890	
H0327	Ivan	Street	21	Fitzroy North	243065	Contributory	1880-1890	
H0327	Ivan	Street	22	Fitzroy North	243165	Not contributory	Unknown	
H0327	Ivan	Street	23	Fitzroy North	243070	Contributory	1880-1890	
H0327	Ivan	Street	24	Fitzroy North	243170	Not contributory	Unknown	
H0327	Ivan	Street	25	Fitzroy North	243075	Contributory	1880-1890	
H0327	Ivan	Street	26	Fitzroy North	243175	Contributory	1880-1890	
H0327	Ivan	Street	27	Fitzroy North	243080	Contributory	1880-1890	
H0327	Ivan	Street	28	Fitzroy North	243175	Contributory	1880-1890	
H0327	Ivan	Street	29	Fitzroy North	243085	Contributory	1880-1890	
H0327	Ivan	Street	30	Fitzroy North	243185	Not contributory	1880-1890	
H0327	Ivan	Street	31	Fitzroy North	243090	Not contributory	1960-1970	
H0327	Ivan	Street	32	Fitzroy North	243190	Contributory	1880-1890	
H0327	Ivan	Street	34	Fitzroy North	243195	Contributory	1880-1890	
H0327	Ivan	Street	35	Fitzroy North	243095	Contributory	1850-1890	
H0327	Ivan	Street	36	Fitzroy North	243200	Contributory	1880-1890	
H0327	Ivan	Street	37	Fitzroy North	243100	Contributory	1900-1915	
H0327	Ivan	Street	38	Fitzroy North	243205	Contributory	1900-1915?	
H0327	Ivan	Street	39	Fitzroy North	243105	Contributory	1900-1915	
H0327	Ivan	Street	40	Fitzroy North	243210	Contributory	1880-1890	
H0327	Ivan	Street	41	Fitzroy North	243110	Contributory	1880-1890	
H0327	Ivan	Street	42	Fitzroy North	243215	Contributory	1850-1890	
H0327	Ivan	Street	44	Fitzroy North	243220	Contributory	1870-1890	
H0327	Jamieson	Street	1	Fitzroy North	243230	Contributory	1870-1890	
H0327	Jamieson	Street	2	Fitzroy North	243235	Contributory	1870-1890	
H0327	Jamieson	Street	3	Fitzroy North	243240	Contributory	1870-1890	
H0327	Jamieson	Street	4	Fitzroy North	243245	Contributory	1870-1890	
H0327	Jamieson	Street	5	Fitzroy North	243250	Contributory	1870-1890	
H0327	Jamieson	Street	6	Fitzroy North	243255	Contributory	1870-1890	
H0327	Jamieson	Street	7	Fitzroy North	243260	Contributory	1870-1890	
H0327	Jamieson	Street	8	Fitzroy North	243265	Contributory	1900-1915	
H0327	Jamieson	Street	9	Fitzroy North	243270	Contributory	1900-1915	
H0327	Jamieson	Street 32	Fitzroy North	384470	Not contributory	early 2000s		
H0327	Jamieson	Street 33	Fitzroy North	384480	Not contributory	early 2000s		
H0327	Jamieson	Street 34	Fitzroy North	384490	Not contributory	early 2000s		
H0327	Jamieson	Street	35	Fitzroy North	Townhouses	301990	Not contributory	1990-2000
H0327	King	Street	1	Fitzroy North	229715	Contributory	1925-1930	
H0327	King	Street	3	Fitzroy North	229725	Contributory	1925-1930	
H0327	King	Street	5	Fitzroy North	229730	Contributory	1925-1930	
H0327	King	Street	7	Fitzroy North	229735	Not contributory	1925-1930	
H0327	King	Street	8	Fitzroy North	229755	Not contributory	1950-1960	
H0327	King	Street	9	Fitzroy North	229740	Contributory	1925-1930	
H0327	King	Street	11	Fitzroy North	229745	Contributory	1925-1930	
H0327	King	Street	12	Fitzroy North	229760	Contributory	1880-1890	
H0327	King	Street	13	Fitzroy North	229750	Contributory	1925-1930	

H0327	Percy	Street	2	Fitzroy North	232680	Contributory	1850-1890
H0327	Percy	Street	4	Fitzroy North	232685	Not contributory	1980-1990?
H0327	Percy	Street	6	Fitzroy North	232690	Contributory	1850-1890
H0327	Percy	Street	8	Fitzroy North	232695	Contributory	1890-1900
H0327	Percy	Street	10	Fitzroy North	232700	Contributory	1900-1915
H0327	Percy	Street	12	Fitzroy North	232705	Contributory	1900-1915
H0327	Percy	Street	14	Fitzroy North	232710	Contributory	1900-1915
H0327	Percy	Street	16	Fitzroy North	232715	Contributory	1850-1890
H0327	Percy	Street	18	Fitzroy North	232720	Not contributory	1970-1980
H0327	Percy	Street	20	Fitzroy North	232725	Contributory	1850-1890
H0327	Percy	Street	22	Fitzroy North	232730	Contributory	1850-1890
H0327	Percy	Street	24	Fitzroy North	232735	Contributory	1850-1890
H0327	Percy	Street	26	Fitzroy North	232740	Contributory	1850-1890
H0327	Percy	Street	28	Fitzroy North	232745	Contributory	1850-1890
H0327	Percy	Street	30	Fitzroy North	232750	Contributory	1850-1890
H0327	Percy	Street	32	Fitzroy North	232755	Contributory	1850-1890
H0327	Percy	Street	34	Fitzroy North	290755	Not contributory	1990-2000
H0327	Percy	Street	36	Fitzroy North	290760	Not contributory	1990-2000
H0327	Percy	Street	38	Fitzroy North	232765	Not contributory	1970-1980
H0327	Percy	Street	40	Fitzroy North	232770	Not contributory	1970-1980
H0327	Pilkington	Street	2	Fitzroy North	232775	Not contributory	1950-1960
H0327	Pilkington	Street	6	Fitzroy North	232780	Individually Significant	1940
H0327	Pilkington	Street	8	Fitzroy North	232795	Individually Significant	1940
H0327	Pilkington	Street	10	Fitzroy North	232795	Individually Significant	1940
H0327	Pilkington	Street	20	Fitzroy North	232825	Individually Significant	1935-1955
H0327	Porter	Street	115	Fitzroy North	232835	Not contributory	1925-1930
H0327	Porter	Street	117	Fitzroy North	232840	Not contributory	1925-1930?
H0327	Queen	Street	1	Fitzroy North	232845	Not contributory	1950-1960
H0327	Queen	Street	9	Fitzroy North	232850	Contributory	1870-1890
H0327	Queen	Street	11	Fitzroy North	232855	Contributory	1870-1890
H0327	Queen	Street	13	Fitzroy North	232860	Not contributory	1850-1890?
H0327	Queen	Street	15	Fitzroy North	232865	Contributory	1850-1890
H0327	Queen	Street	17	Fitzroy North	232870	Contributory	1850-1890
H0327	Queen	Street	19	Fitzroy North	232875	Not contributory	1940-1955
H0327	Queens	Parade	8	Fitzroy North	247620	Contributory	1870-1890
H0327	Queens	Parade	10	Fitzroy North	247625	Contributory	1870-1890
H0327	Queens	Parade	12	Fitzroy North	247630	Contributory	1870-1890
H0327	Queens	Parade	14	Fitzroy North	247635	Contributory	1870-1890
H0327	Queens	Parade	16	Fitzroy North	247640	Contributory	1870-1890
H0327	Queens	Parade	18	Fitzroy North	247645	Contributory	1880-1900
H0327	Queens	Parade	20	Fitzroy North	247650	Contributory	1880-1900
H0327	Queens	Parade	22	Fitzroy North	247655	Contributory	1870-1890
H0327	Queens	Parade	24	Fitzroy North	247660	Contributory	1870-1890
H0327	Queens	Parade	26-52	Fitzroy North	247665	Individually Significant	1938
H0327	Queens	Parade	rear 26-52	Fitzroy North	356160	not contributory	unknown
H0327	Queens	Parade	28-58	Fitzroy North	247670	Individually Significant	1937

H0327	Queens	Parade	80-82	Fitzroy North	Building site, former railways coal shed, later units	323000	Not contributory	2000-2010
H0327	Queens	Parade	86	Fitzroy North	Town houses	302190	Not contributory	2000-2010
H0327	Queens	Parade	88	Fitzroy North	Multi-unit residence	2012210	Not contributory	2000s
H0327	Queens	Parade	104	Fitzroy North		247690	Not contributory	1900-1915
H0327	Queens	Parade	106	Fitzroy North		247695	Contributory	1900-1915
H0327	Queens	Parade	108	Fitzroy North		247700	Contributory	1900-1915
H0327	Queens	Parade	110	Fitzroy North		247705	Contributory	1870-1890
H0327	Queens	Parade	112	Fitzroy North		247710	Contributory	1870-1890
H0327	Queens	Parade	114	Fitzroy North		247715	Contributory	1870-1890
H0327	Queens	Parade	116	Fitzroy North		247720	Contributory	1870-1890
H0327	Queens	Parade	118	Fitzroy North		247725	Individually Significant	1860-1890
H0327	Queens	Parade	120	Fitzroy North	Units at rear	280635	Not contributory	1990-2000
H0327	Queens	Parade	122	Fitzroy North	Selotta Shoes Pty Ltd Factory, former	280600	Individually Significant	1934
H0327	Queens	Parade	140	Fitzroy North	Townhouses	292120	Not contributory	2000-2010
H0327	Queens	Parade	142-146	Fitzroy North	Factory/warehouse	297155	Contributory	1915-1925
H0327	Queens	Parade	148	Fitzroy North		247740	Contributory	1900-1915
H0327	Queens	Parade	150	Fitzroy North		247745	Contributory	1900-1915
H0327	Queens	Parade	152	Fitzroy North		247750	Contributory	1900-1915
H0327	Queens	Parade	156	Fitzroy North		247755	Contributory	1900-1915
H0327	Queens	Parade	158	Fitzroy North		247760	Not contributory	1970-1985
H0327	Queens	Parade	162-170	Fitzroy North	Recreation Hotel, later Old Homestead Inn	247765	Contributory	1870-1935
H0327	Queens	Parade	186-192	Fitzroy North	Factory/warehouse	247770	Not contributory	1980-1990
H0327	Queens	Parade	196	Fitzroy North	Clayton House	247775	Contributory	1870-1890
H0327	Queens	Parade	198	Fitzroy North	Shop & residence, former?	247780	Contributory	1870-1890
H0327	Queens	Parade	200	Fitzroy North	Shop & residence, former?	247785	Contributory	1870-1890
H0327	Queens	Parade	202	Fitzroy North	Shop & residence, former?	247790	Contributory	1870-1890
H0327	Queens	Parade	204	Fitzroy North	Shop & residence, former?	247795	Contributory	1870-1890
H0327	Queens	Parade	208	Fitzroy North		247800	Contributory	1890-1915
H0327	Queens	Parade	210	Fitzroy North		247805	Contributory	1900-1915
H0327	Queens	Parade	216	Fitzroy North		247810	Individually Significant	1900-1915
H0327	Queens	Parade	218	Fitzroy North	House	247815	Contributory	1900-1915
H0327	Queens	Parade	220	Fitzroy North		247820	Contributory	1900-1915
H0327	Queens	Parade	222	Fitzroy North	Flats, later units	247825	Not contributory	1978
H0327	Queens	Parade	230	Fitzroy North	Clifton Court flats	247875	Individually Significant	1930-1940
H0327	Queens	Parade	236	Fitzroy North	House, later flats	247920	Not contributory	1850-1890
H0327	Queens	Parade	240/1	Fitzroy North		291140	Individually Significant	1900-1915
H0327	Queens	Parade	240/2	Fitzroy North	Unit at rear	291145	Not contributory	1990-2000
H0327	Queens	Parade	240/3	Fitzroy North	Unit	291150	Not contributory	1990-2000
H0327	Queens	Parade	240/4	Fitzroy North	Unit	291155	Not contributory	1990-2000
H0327	Queens	Parade	240/5	Fitzroy North	Unit	291160	Not contributory	1990-2000
H0327	Queens	Parade	240/6	Fitzroy North	Unit rear	291165	Not contributory	1990-2000
H0327	Queens	Parade	240/7	Fitzroy North	Unit	291170	Not contributory	1990-2000
H0327	Queens	Parade	240/8	Fitzroy North	Unit	291175	Not contributory	1990-2000
H0327	Queens	Parade	248	Fitzroy North		247955	Contributory	1900-1915
H0327	Queens	Parade	256-262	Fitzroy North	Christian Brothers Monastery, later Units, G Maher House	247960	Individually Significant	1929
H0327	Queens	Parade	380-378	Fitzroy North	Shops & residences	248230	Contributory	1870-1890

HO329	Wilson	Street	102	Princes Hill		223005	Contributory	1900-1915
HO329	Wilson	Street	103	Princes Hill		222730	Contributory	1870-1890
HO329	Wilson	Street	104	Princes Hill		223000	Contributory	1900-1915
HO329	Wilson	Street	105	Princes Hill	Rockhester	222735	Contributory	1870-1890
HO329	Wilson	Street	106	Princes Hill	Flats	222970	Not contributory	1970-1980
HO329	Wilson	Street	107	Princes Hill		292650	Not contributory	1990-2000?
HO329	Wilson	Street	109	Princes Hill	Princes Lodge, Flats	222740	Not contributory	1970-1980
HO329	Wilson	Street	110	Princes Hill		222965	Contributory	1900-1915
HO329	Wilson	Street	112	Princes Hill		222960	Contributory	1870-1890
HO329	Wilson	Street	117	Princes Hill		222815	Contributory	1880-1890
HO329	Wilson	Street	121	Princes Hill		222820	Contributory	1900-1915
HO329	Wilson	Street	125	Princes Hill		222825	Individually Significant	1870-1890
HO329	Wilson	Street	151	Princes Hill	Housing Commission Flats	222830	Not contributory	1950-1960
HO329	Wilson	Street	161	Princes Hill	Housing Commission Flats	222890	Not contributory	1950-1960
HO329	Wilson	Street	167	Princes Hill	Housing Commission Flats	222895	Not contributory	1960-1970
HO329	Wilson	Street	175	Princes Hill	Housing Commission Flats	222955	Not contributory	1960-1970
HO329	Wilson	Street	200	Princes Hill	Townhouse	288225	Not contributory	1990-2000
HO329	Wilson	Street	202	Princes Hill	Townhouse	288230	Not contributory	1990-2000
HO329	Wilson	Street	204	Princes Hill	Townhouse	288235	Not contributory	1990-2000
HO329	Wilson	Street	206	Princes Hill	Townhouse	288240	Not contributory	1990-2000

HO330 - Queens Parade Precinct, North Fitzroy/Clifton Hill

HO330	Brennand	Street	12	Fitzroy North	Sherwood Flats	238970	Not contributory	1960-1970
HO330	Brennand	Street	14	Fitzroy North	Flats, now units	239030	Not contributory	1960-1970
HO330	Dummett	Crescent	10-12	Clifton Hill	Factory/warehouse	132215	Not contributory	1950-1960
HO330	Queens	Parade	65	Clifton Hill	St John The Baptist Catholic Church	131950	Individually Significant	1876-1907
HO330	Queens	Parade	65	Clifton Hill	St John's Catholic Primary School, part St John The Baptist Catholic Church complex	131950	Individually Significant	1903
HO330	Queens	Parade	83-87	Clifton Hill	Clifton Hall & Clifton Picture Theatre, later Cinema Italia	131965	Individually Significant	1918
HO330	Queens	Parade	89	Clifton Hill	Clifton Hill Hotel	131970	Individually Significant	1884
HO330	Queens	Parade	97-99	Clifton Hill	Melbourne Savings Bank, later State Savings Bank	131975	Individually Significant	1889
HO330	Queens	Parade	101	Clifton Hill	Shop	131980	Contributory	1915-1925
HO330	Queens	Parade	105	Clifton Hill	House, also doctor's surgery	131985	Individually Significant	1900-1915
HO330	Queens	Parade	107	Clifton Hill		131990	Contributory	1900-1915
HO330	Queens	Parade	109	Clifton Hill		131995	Contributory	1880-1890
HO330	Queens	Parade	111	Clifton Hill	Shop & residence	247615	Contributory	1870-1890
HO330	Queens	Parade	113-115	Clifton Hill	Factory/warehouse	132005	Contributory	1850-1890
HO330	Queens	Parade	117	Clifton Hill	Shop & residence	132010	Contributory	1850-1890
HO330	Queens	Parade	121	Clifton Hill	Shop & residence	132015	Contributory	1850-1890
HO330	Queens	Parade	123	Clifton Hill	Shop & residence	132020	Contributory	1850-1890
HO330	Queens	Parade	127-129	Clifton Hill	Albert Hall, also Masonic Hall, later Samian Social Club	132025	Individually Significant	1885, 1927
HO330	Queens	Parade	133	Clifton Hill		132030	Not contributory	1980-1990
HO330	Queens	Parade	137	Clifton Hill	Apartments	381210	Not contributory	2019
HO330	Queens	Parade	139	Clifton Hill	Daintons Family Hotel, later Normanby Hotel	132035	Individually Significant	1875
HO330	Queens	Parade	141	Clifton Hill	Clifton Hill Post Office, former	132040	Individually Significant	1870-1890
HO330	Queens	Parade	149	Clifton Hill	Campi's Buildings shop & residence	132045	Individually Significant	1880-1890
HO330	Queens	Parade	151	Clifton Hill	Campi's Buildings shop & residence	132050	Individually Significant	1880-1890

HO330	Queens	Parade	153	Clifton Hill	Campi's Buildings shop & residence	132055	Individually Significant	1880-1890
HO330	Queens	Parade	157	Clifton Hill	Campi's Buildings shop & residence	132060	Individually Significant	1880-1890
HO330	Queens	Parade	159	Clifton Hill	Campi's Buildings shop & residence	132065	Individually Significant	1880-1890
HO330	Queens	Parade	163	Clifton Hill	Campi's Buildings shop & residence	132070	Individually Significant	1880-1890
HO330	Queens	Parade	167	Clifton Hill	Campi's Buildings shop & residence	132075	Individually Significant	1880-1890
HO330	Queens	Parade	169	Clifton Hill		310540	Not contributory	2000-2010
HO330	Queens	Parade	171	Clifton Hill		310560	Not contributory	2000-2010
HO330	Queens	Parade	173-175	Clifton Hill	Office/Shop	138305	Not contributory	2000-2010
HO330	Queens	Parade	177	Clifton Hill		132100	Contributory	1890-1900
HO330	Queens	Parade	181	Clifton Hill	Clifton Hill Post Office (2nd?)	132105	Contributory	1900-1915
HO330	Queens	Parade	187-185	Clifton Hill	Raven, WG Undertaker, later Raven's Funerals	132110	Individually Significant	1915-1920
HO330	Queens	Parade	191	Clifton Hill		132120	Contributory	1850-1890
HO330	Queens	Parade	193	Clifton Hill		132130	Contributory	1850-1890
HO330	Queens	Parade	197	Clifton Hill	Garage	132135	Not contributory	1950-1960
HO330	Queens	Parade	201-203	Clifton Hill		132150	Not contributory	1925-35
HO330	Queens	Parade	205-211	Clifton Hill	Clifton Motors Pty Ltd., Motor Engineers, Show Room and Garage, later Bayford Motors	132155	Individually Significant	1938 facade, 1921
HO330	Queens	Parade	213-215	Clifton Hill	Factory/warehouse	132160	Not contributory	Unknown
HO330	Queens	Parade	217	Clifton Hill	Factory/warehouse	132165	Not contributory	1950-1960
HO330	Queens	Parade	264	Fitzroy North	Surgery & residence	247965	Individually Significant	1900-1915
HO330	Queens	Parade	266	Fitzroy North	Medical Centre	247975	Not contributory	1925-1935
HO330	Queens	Parade	270	Fitzroy North	National Bank of Australasia, former	247980	Individually Significant	1886
HO330	Queens	Parade	274	Fitzroy North	Shop & residence	247985	Individually Significant	1915-1925
HO330	Queens	Parade	276	Fitzroy North	Shop & residence	247995	Individually Significant	1915-1925
HO330	Queens	Parade	278	Fitzroy North	Shop & residence	248000	Contributory	1870-1890
HO330	Queens	Parade	280	Fitzroy North	Shop & residence	248005	Contributory	1870-1890
HO330	Queens	Parade	282	Fitzroy North	Shop & residence	248010	Contributory	1883
HO330	Queens	Parade	284	Fitzroy North	Shop & residence	248015	Contributory	1880-1890
HO330	Queens	Parade	286	Fitzroy North	Shop & residence	248020	Contributory	1900-1915?
HO330	Queens	Parade	288	Fitzroy North	Shop & residence	248025	Contributory	1900-1915
HO330	Queens	Parade	290	Fitzroy North	Shop & residence	248030	Contributory	1880-1900
HO330	Queens	Parade	294-292	Fitzroy North	Shop & residence	248035	Contributory	1870-1890
HO330	Queens	Parade	296	Fitzroy North	Shop & residence	248040	Contributory	1870-1890
HO330	Queens	Parade	298	Fitzroy North	Shop & residence	248045	Contributory	1870-1890
HO330	Queens	Parade	300	Fitzroy North	Shop, offices	248050	Not contributory	1980-1990
HO330	Queens	Parade	302	Fitzroy North	Shop, offices	248055	Not contributory	1970-1980
HO330	Queens	Parade	302A	Fitzroy North	Office	248060	Not contributory	1970-1980
HO330	Queens	Parade	304	Fitzroy North	Shop	248070	Not contributory	1970-1980
HO330	Queens	Parade	rear 304	Fitzroy North	outbuilding	248065	Not contributory	Unknown
HO330	Queens	Parade	306	Fitzroy North	Shop	248075	Not contributory	1970-1980
HO330	Queens	Parade	308	Fitzroy North	Shop & residence	248080	Contributory	1870-1890
HO330	Queens	Parade	310	Fitzroy North	Shop & residence	248085	Contributory	1870-1890
HO330	Queens	Parade	312	Fitzroy North	Shop & residence	248090	Contributory	1870-1890
HO330	Queens	Parade	rear 312	Fitzroy North	outbuilding	248100	Not contributory	Unknown
HO330	Queens	Parade	314	Fitzroy North	Ryans Buildings, Shop & residence	248095	Individually Significant	1884
HO330	Queens	Parade	316	Fitzroy North	Shop & residence	248100	Contributory	1870-1890
HO330	Queens	Parade	rear 316	Fitzroy North	outbuilding	248100	Not contributory	Unknown

H0330	Queens	Parade	318	Fitzroy North	Shop & residence	248115	Contributory	1870-1890
H0330	Queens	Parade	320	Fitzroy North	Shop & residence	248120	Contributory	1870-1890
H0330	Queens	Parade	322	Fitzroy North	Shop & residence	248125	Contributory	1870-1890
H0330	Queens	Parade	324	Fitzroy North	Shop	248130	Not contributory	Unknown
H0330	Queens	Parade	326-328	Fitzroy North	Commonwealth Bank	248135	Not contributory	1970-1980
H0330	Queens	Parade	330	Fitzroy North	Shop & residence	248140	Contributory	1870-1890
H0330	Queens	Parade	336	Fitzroy North	Shop & residence	248145	Individually Significant	1870-1890
H0330	Queens	Parade	338	Fitzroy North	Shop & residence	248150	Individually Significant	1870-1890
H0330	Queens	Parade	340	Fitzroy North	Shop & residence	248155	Contributory	1870-1890
H0330	Queens	Parade	342	Fitzroy North	Shop & residence	248160	Contributory	1880-1900
H0330	Queens	Parade	344	Fitzroy North	Shop & residence	248165	Contributory	1870-1890
H0330	Queens	Parade	346	Fitzroy North	Shop & residence	248170	Contributory	1870-1890
H0330	Queens	Parade	348	Fitzroy North	Shop & residence	248175	Contributory	1870-1890
H0330	Queens	Parade	350	Fitzroy North	Shop & residence	248180	Contributory	1870-1890
H0330	Queens	Parade	352	Fitzroy North	Shop & residence	248185	Contributory	1870-1890
H0330	Queens	Parade	354	Fitzroy North	Shop & residence	248190	Contributory	1870-1890
H0330	Queens	Parade	356	Fitzroy North	Shop & residence	248195	Contributory	1870-1890
H0330	Queens	Parade	360	Fitzroy North	Shop	248200	Not contributory	1950-1960
H0330	Queens	Parade	362	Fitzroy North	Shop & residence	248205	Contributory	1870-1890
H0330	Queens	Parade	364-366	Fitzroy North	Shop	248210	Not contributory	1950-1960
H0330	Queens	Parade	370-374	Fitzroy North	London Bank of Australasia, later the ANZ Bank, later shop & residence	248215	Victorian Heritage Register	1889
H0330	Queens	Parade	376	Fitzroy North	Kingdom Cycle Works & residence	248220	Contributory	1904
H0330	Queens	Parade	380	Fitzroy North	Shop & residence	248230	Ungraded Not contributory	1870-1890
H0330	Queens	Parade	rear 380	Fitzroy North		248230	Not contributory	Unknown
H0330	Queens	Parade	382	Fitzroy North	Shop & residence	248235	Contributory	1870-1890
H0330	Queens	Parade	386	Fitzroy North	Shop & residence	248255	Contributory	1900-1915
H0330	Queens	Parade	388	Fitzroy North	Shop & residence	248250	Contributory	1900-1915
H0330	Queens	Parade	390	Fitzroy North	Shop & residence	248225	Contributory	1900-1915
H0330	Queens	Parade	390A	Fitzroy North	2 storey building in NE corner	248225	Contributory	Unknown
H0330	Queens	Parade	390A	Fitzroy North	All buildings except 2 storey building in NE corner	248225	Not contributory	Unknown
H0330	Queens	Parade	392	Fitzroy North	Shop & residence	248260	Contributory	1870-1890
H0330	Queens	Parade	394	Fitzroy North	Shop & residence	248265	Contributory	1900-1915
H0330	Queens	Parade	396	Fitzroy North	Shop & residence	248270	Contributory	1900-1915
H0330	Queens	Parade	398	Fitzroy North	Thomas J Dowd & Co Tailors	248275	Contributory	1900-1915
H0330	Queens	Parade	402	Fitzroy North	Shop & residence	248280	Contributory Not contributory	1925-1935
H0330	Queens	Parade	404	Fitzroy North	Brooks Buildings	248285	Contributory	1870-1890
H0330	Queens	Parade	406	Fitzroy North	Brooks Buildings	248290	Contributory	1870-1890
H0330	Queens	Parade	408	Fitzroy North	Shop	248295	Not contributory	Unknown
H0330	Queens	Parade	410	Fitzroy North	Shop & residence	248300	Contributory	1870-1890
H0330	Queens	Parade	416-418	Fitzroy North		248305	Contributory	1870-1890
H0330	Queens	Parade	420	Fitzroy North	House	248310	Individually Significant	1905-1920
H0330	Queens	Parade	424	Fitzroy North		248320	Individually Significant	1915-1925
H0330	Queens	Parade	426	Fitzroy North		248325	Contributory	1900-1915
H0330	Queens	Parade	428	Fitzroy North		248330	Individually Significant	1900-1915
H0330	Queens	Parade	434	Fitzroy North	Shop & residence	248335	Individually Significant	1857-
H0330	Queens	Parade	436	Fitzroy North	Shop & residence	248340	Individually Significant	1857-

HO330	Queens	Parade	438	Fitzroy North		248345	Individually Significant	1857-
HO330	Queens	Parade	440	Fitzroy North	Shop & residence	248350	Individually Significant	1870-1890
HO330	Queens	Parade	442	Fitzroy North	Shop & residence	248355	Individually Significant	1870-1890
HO330	Queens	Parade	446	Fitzroy North		248360	Contributory	1915-1925
HO330	Queens	Parade	450	Fitzroy North		248365	Contributory	1870-1890
HO330	Queens	Parade	452	Fitzroy North		248370	Contributory	1870-1890
HO330	Queens	Parade	454-456	Fitzroy North		248375	Individually Significant	1900-1915
HO330	Queens	Parade	460	Fitzroy North		248380	Individually Significant	1900-1915
HO330	Queens	Parade	462	Fitzroy North		248385	Contributory	1900-1915
HO330	Queens	Parade	464	Fitzroy North		248390	Contributory	1900-1915
HO330	Queens	Parade	468	Fitzroy North		248395	Contributory	1900-1915
HO330	Queens	Parade	470-474	Fitzroy North	Clifton Hill & Northcote United Friendly Societies Dispensary	248400	Individually Significant	1914
HO330	Queens	Parade	476-476A	Fitzroy North	Melbourne Tramways & Omnibus & Company Office, part	269195	Individually Significant	1887-
HO330	Queens	Parade	486	Fitzroy North	Shop	248410	Contributory	1915-1925
HO330	Queens	Parade	488	Fitzroy North	Shop	248415	Contributory	1915-1925
HO330	Queens	Parade	492	Fitzroy North	Scotch Thistle, later Terminus Hotel (two-storey stone section only)	248420	Individually Significant	1854
HO330	Raines	Reserve	all	Clifton Hill	Open space	0	Contributory	Unknown
HO330	Rushall	Crescent	2	Fitzroy North		249500	Contributory	1900-1915
HO331 - Racecourse Precinct, Richmond								
HO331	Bridge	Road	618	Burnley		169025	Contributory	1941
HO331	Bridge	Road	620	Burnley		169020	Contributory	1941
HO331	Bridge	Road	622	Burnley		169015	Contributory	1941
HO331	Bridge	Road	624	Burnley		169010	Contributory	1941
HO331	Bridge	Road	626	Burnley		169005	Contributory	1941
HO331	Bridge	Road	628	Burnley		169000	Contributory	1941
HO331	Bridge	Road	630	Burnley		168995	Contributory	1941
HO331	Bridge	Road	632	Burnley		168990	Contributory	1941
HO331	Bridge	Road	634	Burnley		168985	Contributory	1941
HO331	Bridge	Road	636	Burnley		168980	Contributory	1941
HO331	Bridge	Road	638	Burnley		168975	Contributory	1941
HO331	Bridge	Road	640	Burnley		168970	Contributory	1941
HO331	Jackson	Street	1	Burnley		172450	Contributory	1941
HO331	Jackson	Street	2	Burnley		172455	Contributory	1941
HO331	Jackson	Street	3	Burnley		172445	Contributory	1941
HO331	Jackson	Street	4	Burnley		172460	Contributory	1941
HO331	Jackson	Street	5	Burnley		172440	Contributory	1941
HO331	Jackson	Street	6	Burnley		172465	Contributory	1941
HO331	Jackson	Street	7	Burnley		172435	Contributory	1941
HO331	Jackson	Street	8	Burnley		172470	Contributory	1941
HO331	Jackson	Street	9	Burnley		172430	Contributory	1941
HO331	Jackson	Street	10	Burnley		172475	Contributory	1941
HO331	Jackson	Street	11	Burnley		172425	Contributory	1941
HO331	Jackson	Street	12	Burnley		172480	Contributory	1941
HO331	Lightfoot	Street	1	Burnley		172390	Contributory	1941
HO331	Lightfoot	Street	2	Burnley		172395	Not contributory	1990-2000

HO490	Stawell	Street	74	Richmond	Houses	171390	Individually Significant	1911
HO490	Stawell	Street	76	Richmond	Houses	171395	Individually Significant	1911
HO490	Stawell	Street	78	Richmond	Houses	171400	Individually Significant	1911
HO490	Stawell	Street	80	Richmond	Houses	171405	Individually Significant	1911

HO491

HO491	Type	Street	69	Richmond	Floyd Green & Co. Glassworks (Former)	171045	Individually Significant	C.1895
HO491	Type	Street	89	Richmond	Floyd Green & Co. Glassworks (Former)	419930	Individually Significant	C.1895

HO492

HO492	Wall	Street	33	Richmond	Terrace	198030	Individually Significant	1885-1887
HO492	Wall	Street	35	Richmond	Terrace	198025	Individually Significant	1885-1888
HO492	Wall	Street	37	Richmond	Terrace	198020	Individually Significant	1885-1889
HO492	Wall	Street	39	Richmond	Terrace	198015	Individually Significant	1885-1890

HO496

HO496	Queens	Parade	61-87	Clifton Hill	St John the Baptist Church complex comprises, church, school, presbytery, former hall/shops and Queens Parade boundary fence to the church and presbytery	131950	Individually Significant	1882-1903
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HO498

HO498	Napier	Street	472-474	Fitzroy North	Terrace	246845	Individually Significant	1885
HO498	Napier	Street	476	Fitzroy North	Elizabeth Terrace	247595	Individually Significant	1889
HO498	Napier	Street	478	Fitzroy North	Elizabeth Terrace	246855	Individually Significant	1889
HO498	Napier	Street	480	Fitzroy North	Elizabeth Terrace	246860	Individually Significant	1889
HO498	Napier	Street	482	Fitzroy North	Elizabeth Terrace	246865	Individually Significant	1889
HO498	Napier	Street	484	Fitzroy North	Elizabeth Terrace	246870	Individually Significant	1889

HO503

HO503	James	Street	2	Abbotsford	Stables (former)	104475	Individually Significant	1895
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HO505

HO505	Johnston		219	Abbotsford	Shop & Residence	112985	Individually significant	1885-1890
HO505	Johnston		221	Abbotsford	Shop & Residence	112995	Individually significant	1885-1890
HO505	Johnston		223	Abbotsford	Shop & Residence	113000	Individually significant	1885-1890
HO505	Johnston		225	Abbotsford	Shop & Residence	113005	Not contributory	c.1960
HO505	Johnston		227	Abbotsford	Shop & Residence	113010	Not contributory	c.1960
HO505	Johnston		229	Abbotsford	Shop & Residence	113015	Contributory	1885-1890
HO505	Johnston		231	Abbotsford	Shop & Residence	113020	Contributory	1885-1890
HO505	Johnston		233	Abbotsford	Shop & Residence	113030	Contributory	1885-1890
HO505	Johnston		235	Abbotsford	Shop & Residence	113035	Contributory	1885-1890
HO505	Johnston		237	Abbotsford	Shop & Residence	113040	Contributory	1885-1890
HO505	Johnston		239	Abbotsford	Shop & Residence	405430	Contributory	1885-1890
HO505	Johnston		241	Abbotsford	Railway bridge & abutments	113055	Individually Significant	1901
HO505	Johnston		246	Abbotsford	Shop & Residence	113630	Contributory	1900-1910
HO505	Johnston		248	Abbotsford	Shop & Residence	113625	Contributory	1900-1910