

xx/xx/xxxx
Proposed
C231**SCHEDULE 16 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT
OVERLAY**Shown on the planning scheme map as **DDO16**.**QUEENS PARADE****1.0 ~~General~~ Design objectives**xx/xx/xxxx
Proposed C231

- To ~~ensure development recognise and responds to the distinct heritage character and~~ ~~heritage streetscapes~~ and varying development opportunities ~~defined by the five precincts along Queens Parade, and supports:~~
 - ~~the existing low-rise character in Precincts 1, 3B, 4 and 5A~~
 - ~~To support~~ a new mid rise character behind a consistent street wall in ~~precincts Precincts 2, 3A and 5B-5.~~
 - ~~higher rise development in Precinct 5C.~~
- ~~To protect the integrity of historical streetscapes and clusters of heritage buildings of a similar scale and materiality.~~
- ~~To ensure development respects the architectural form and qualities of heritage buildings and streetscapes and maintains the visual prominence of the St John the Baptist church belfry and spire, the former ANZ Bank building, the former United Kingdom Hotel and the former Clifton Motors garage.~~
- To ~~promote design excellence that~~ ensures new development ~~responds to the grand, tree lined respects the wide, open~~ boulevard character of Queens Parade, ~~including where existing historic trees are key elements in the streetscape, they remain the dominant visual feature.~~
- To ensure ~~development responds to sensitive interfaces by ensuring~~ that the overall scale and form of new buildings provides a suitable transition to low scale residential areas and protects these properties from unreasonable loss of amenity through visual bulk, overlooking and overshadowing.

2.0 Buildings and works~~A permit is required to construct a building or construct or carry out works.~~**2.1 Definitions**~~**1:1 ratio heritage street wall to new built form** is where the height of the heritage street wall equals the height of the new development above street wall when viewed from the opposite side of the street from the centre of the footpath at a height of 1.6 metres above ground level~~~~**Street wall** is the façade of a building at the street boundary. Street wall height is measured at the vertical distance between the footpath at the centre of the frontage and the highest point of the building, parapet, balustrade or eaves at the street edge, with the exception of architectural features and building services.~~~~**Building height** is the vertical distance from *natural ground level* to the roof or parapet at any point.~~~~**Heritage building** means any building subject to a Heritage Overlay, on the Victorian Heritage Register or any building graded as either Contributory or Individually Significant.~~~~**Laneway** means a road reserve of a public highway 9 metres or less in width. This does not include Dummett Crescent.~~~~Building height does not include non structural elements that project above the building height and service equipment including plant rooms, lift overruns, structures associated with~~

~~green roof areas, screens to service areas or other such equipment provided that all of the following criteria are met:~~

- ~~The total roof area occupied by the service equipment (other than solar panels) is minimised;~~
- ~~The service equipment is located in a position on the roof so as to minimise its visibility;~~
- ~~The non structural elements and service equipment do not cause additional overshadowing of neighbouring properties and public spaces;~~
- ~~The non structural elements and service equipment do not extend higher than 3.6 metres above the maximum building height; and~~
- ~~The non structural elements and service equipment are integrated into the design of the building to the satisfaction of the responsible authority.~~

Parapet height does not include features such as brackets, pediments, urns, finials or other decorative elements.

Public realm means all streets (including Dummett Crescent) and spaces open to the public but does not include laneways.

Street wall means the façade of a building at the street boundary, or if the existing heritage building is set back from the street boundary, the front of the existing building.

Street wall height means the height of the street wall measured by the vertical distance between the footpath at the centre of the frontage and the highest point of the building, parapet, balustrade or eaves at the street edge or in the case of a heritage building if it is set back from the street from the centre of the building frontage to the highest point of the building, parapet, balustrade or eaves.

Setback is the shortest horizontal distance from a building, including projections such as balconies, building services and architectural features, to the boundary.

Upper level ~~is means~~ development above the height of the street wall.

Upper level setback means the setback of the upper level measured from the street wall of the building.

2.2 General ~~design~~ requirements

The following requirements apply to an application to construct a building or carry out works and must be read in conjunction with the relevant precinct design requirements.

- A permit ~~cannot must not~~ be granted or amended (unless the amendment would not increase the extent of non-compliance) to construct a building or carry out works which exceed the mandatory maximum building height, mandatory maximum street wall height or mandatory maximum street wall setback or are less than the mandatory minimum street wall height or mandatory minimum upper level setbacks ~~are not in accordance with the mandatory requirements~~ specified in the relevant Precinct Tables.
- A permit ~~cannot must not~~ be granted or amended (unless the amendment would not increase the extent of non-compliance) to construct a building or carry out works which exceeds the preferred building height and setbacks shown in the relevant Precinct Tables unless the following requirements are met, to the satisfaction of the responsible authority:
 - The built form outcome as a result of the proposed variation satisfies the general design objectives in Clause 1.0; ~~and~~
 - ~~The built form outcome as a result of the proposed variation satisfies the~~ All other relevant requirements specified in this schedule.

Architectural features may exceed the preferred or mandatory height.

Building height does not include non structural elements that project above the building height and ~~S~~service equipment/ structures including plant rooms, lift overruns, structures associated with green roof areas, screens to service areas ~~or~~ and other such equipment

may exceed the mandatory or preferred height provided that all each of the following criteria are met for the equipment or structure:

- ~~- The total~~Less than 50 per cent of roof area is occupied by the service equipment (other than solar panels) is minimised;
- ~~— The service equipment is located in a position on the roof so as to minimise its visibility;~~
- ~~- The non structural elements and service equipment does not cause additional overshadowing of neighbouring properties and public spaces~~private open space, Napier Reserve and Queens Parade ;
- ~~— The non structural elements and service~~The equipment does not extend higher than 3.6 metres above the maximum building height ; and
- ~~— The non structural elements and service equipment are integrated into the design of the building to the satisfaction of the responsible authority.~~

Projections such as balconies and building services should not intrude into a setback or upper level setback.

2.3 Street wall height requirements

- Except in Precinct 4, the street wall height should be no higher than the parapet height of a abutting heritage building/s for a minimum length of 6 metres measured from the edge of the heritage building/s.

2.4 Upper level requirements

- Upper level development should:
 - ~~Development must p~~Provide setbacks which to ensure that upper level additions seen from the public realm are high quality and do not diminish the appreciation of the heritage building and streetscape.
 - ~~Development must a~~Avoid repetitive stepped built form at upper levels of development.
 - Be visually recessive.
 - ~~u~~Use materials at upper levels that are recessive in finish and colour.
 - ~~Include articulated be designed so that side walls are articulated, where visible from the public realm, which are designed to reduce the visual impact of the wall and read as part of the overall building design.~~
 - ~~a~~Avoids continuous built form at upper levels.
 - Ensure balconies at upper levels do not dominate the solid façades of heritage street walls
 - Minimise the visual intrusion of equipment and services.
 - Protect the contribution made by chimneys, parapets and other architectural features to the fine grained character of the area.
- ~~Facades at ground level must be designed with floor to floor ceiling heights suitable to accommodate commercial activity in the Commercial 1 Zone and the Mixed Use Zone.~~
- ~~Development must create a consistent street wall height along the streetscapes.~~
- ~~Future vehicle access and services must be provided from a rear laneway or side street where possible.~~
- ~~Development must provide setbacks which ensure that upper level additions seen from the public realm are high quality and do not diminish the appreciation of the heritage building and streetscape.~~
- ~~Development must avoid repetitive stepped built form at upper levels of development.~~

- ~~Unless specified in another table in this schedule, any part of a building adjacent to land in a residential zone must comply with the following:~~

Table to Clause 2.2 boundary wall height and setback requirements for development adjoining a residential zone

	boundary wall height	setback
Common boundary	5 metres	45 degrees above boundary wall height
Laneway interface	8 metres	45 degrees above boundary wall height

2.5 Corner site requirements

- New development on a corner site with a frontage to Queens Parade should continue the Queens Parade street wall height along the side street, with a transition in height to match the rear interface where required. This requirement does not apply to Napier Street in Precinct 2C, Precinct 5C or to a laneway except where specified. This requirement applies to the laneway abutting 215 Queens Parade in Precinct 5B to a height of 11m.

2.6 Ground floor design requirements

- Facades at ground level ~~must~~ should be designed with floor to floor ceiling heights suitable to accommodate commercial activity in the Commercial 1 Zone, ~~and the Mixed Use Zone and Commercial 2 Zone.~~
- Building services and service cabinets should be located away from the street frontage of heritage facades and they should be designed and located so they complement the street frontage and character and appearance of the heritage building.
- Windows of commercial premises, habitable rooms, and principal pedestrian entrances should be orientated towards the public realm and contribute to the safety of the adjoining public realm.

2.7 Vehicular access, car parking, and loading areas requirements

- New vehicle crossovers onto Queens Parade, Brunswick Street and Napier Street should be avoided.
- Future vehicle access and services must be provided ~~from~~ by a rear laneway or side street where possible.
- Vehicle ingress and egress into development, including loading facilities and building servicing, should ensure a high standard of pedestrian amenity and limit potential conflict between vehicle movements and pedestrian activity.
- Development on a laneway should include a rear/side setback or a corner splay at ground floor, to facilitate the ongoing functionality of the laneway and allow for building services and car park access.
- Permanent obstructions within a rear/side setback or splay to a laneway should be avoided.

2.38 Heritage design requirements

Design requirements for development on land affected by a Heritage Overlay or immediately adjacent to a heritage building

The following requirements apply to ~~an application to construct a building or carry out works and must be read in conjunction with the relevant precinct design requirements affected by a Heritage Overlay or immediately adjacent to a heritage building.~~

Element	Design Requirement
<p>Building facades and street frontages</p>	<p>Infill buildings and development adjoining a heritage building</p> <p>Facade treatments and the articulation of infill buildings on land affected by a heritage overlay or immediately adjoining a heritage building must<u>should</u>:</p> <ul style="list-style-type: none"> • ensure facade treatments and the articulation of new development arebe simple and donot compete with the more elaborate detailing of nineteenth century buildings • <u>respect the vertical proportions of the nineteenth and twentieth century facades in the heritage streetscape and/or the adjoining heritage building(s)</u> • avoid large expanses of glazing with a horizontal emphasis except to ground floor shopfronts • avoid large expanses of <u>unarticulated curtain glazing, glazing with a horizontal emphasis except for ground floor shopfronts</u>avoid the use of unarticulated curtain glazing and highly reflective glass and glazing with a horizontal emphasis except for ground floor shopfronts • reflect the existing canopy/verandah height of the heritage streetscape and/or adjoining heritage building(s) <p>Adaption of cContributory or individually significant buildings must:</p> <p><u>Adaption and reuse of contributory or individually significant buildings should:</u></p> <ul style="list-style-type: none"> • <u>maintain existing openings and</u> avoid highly reflective glazing in historic openings • encourage the retention of solid built form behind retained facades and avoid balconies behind existing openings • maintain the inter-floor height of the existing building and avoid new floor plates and walls cutting through historic openings
<p>Upper level behind heritage street wall</p> <p><u>Design of upper levels</u></p>	<p>Upper level development on land within a heritage overlay and on land immediately adjoining a heritage building must<u>should</u>:</p> <ul style="list-style-type: none"> • be visually recessive and not visually dominate the heritage building and the heritage streetscape • retain the primacy of the three-dimensional form of the heritage building as viewed from the public realm to avoid 'facadism' • utilise visually lightweight materials and finishes that are recessive in texture and colour and provide a juxtaposition with the heavier masonry of the heritage facades • incorporate simple architectural detailing that does not detract from significant elements of the heritage building and the heritage streetscape

Element	Design Requirement
	<ul style="list-style-type: none"> • be articulated to reflect the rhythm of the wider streetscape, the fine grained character and subdivision pattern of the streetscape, especially on larger sites.
<u>Upper level setbacks</u>	<p>Upper level setbacks in excess of the minimum mandatory upper level setback should be provided where:</p> <ul style="list-style-type: none"> • it would facilitate the retention of a roof form and chimneys that are visible from the public realm, or a roof or any feature that the relevant statement of significance identifies as contributing to the significance of the heritage building or streetscape • it would maintain the perception of the three-dimensional form and depth of the building • a lesser setback would detract from the character of the streetscape when viewed directly or obliquely along Queens Parade.

2.9 Interface to residential properties in NRZ or GRZ requirements

- Development should respond to the low scale form of existing development through an appropriate transition in building height and setbacks to ensure reasonable standards of amenity.
- In Precincts 3 and 4, where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9 am and 3 pm on 22 September. If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced.

2.410 Precinct design requirements

The following precinct specific design requirements apply in addition to the general design requirements outlined in Clause 2.2-2.9.

2.410.1 Precinct 1 – Brunswick Street

Shown on the planning scheme map as **DDO16-1**

Preferred character statement

Buildings and works should deliver:

- Properties fronting Brunswick Street and turning the corner to Queens Parade defined by fine grained low scaled heritage buildings with moderate low rise future infill behind the main heritage frontage, accessed by rear laneways.
- Visual prominence of the individually significant heritage building on the corner of Brunswick Street and Queens Parade retained.

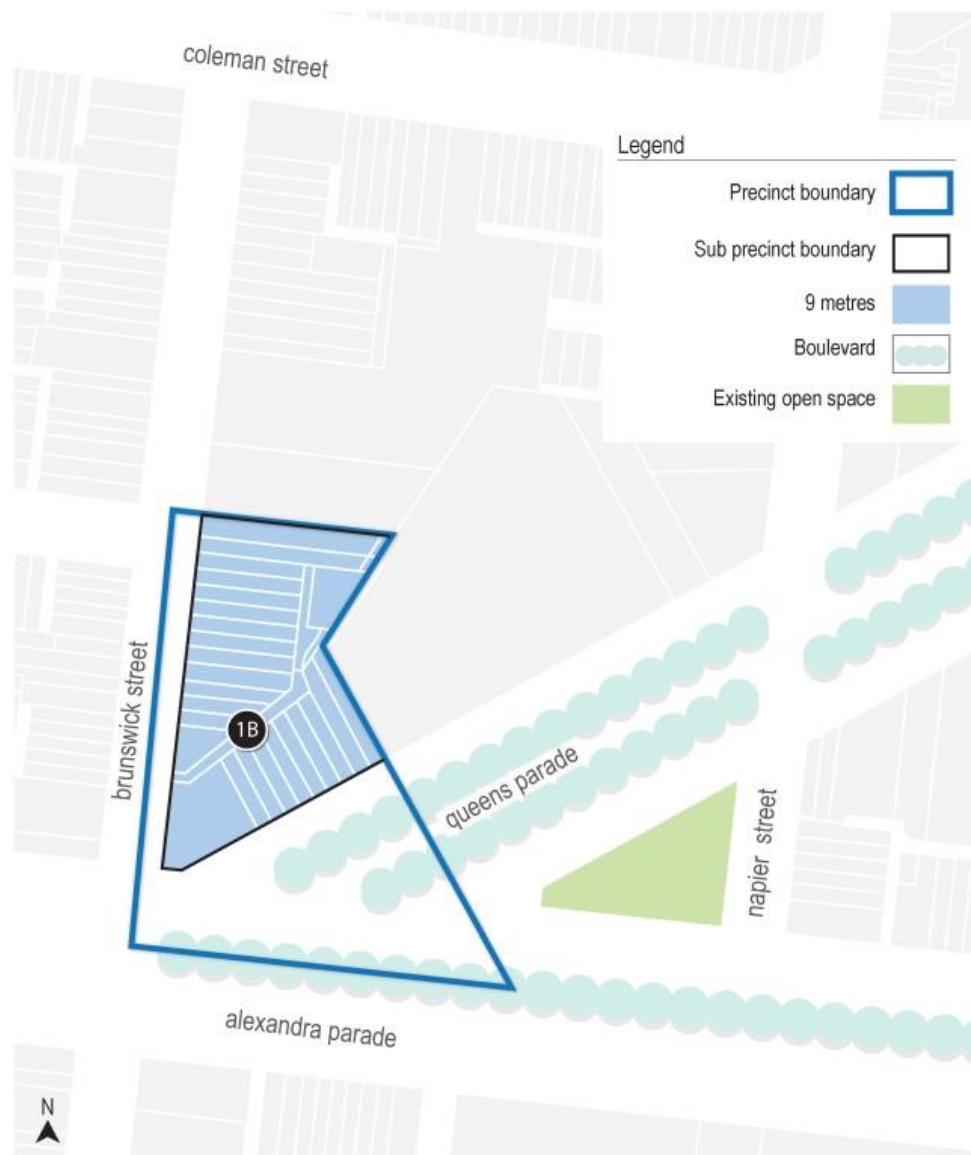
Design requirements

The design requirements for Precinct 1 are as follows:-

Development ~~must~~ in Precinct 1 should:-

- Ensure low rise additions behind the front sections of the terraced houses of Brunswick Street and Queens Parade respect the prevailing streetscape character and subdivision grain which retain and conserve its heritage values.
- ensure Ensure that upper level elevations are high quality, development is visually recessive and enhance the appreciation of the heritage building at 460 Brunswick Street.
- retain the visual prominence of the individually significant corner building that forms the southern gateway to Queens Parade and to Fitzroy North more broadly
- be low rise
- reinforce the heritage values of the precinct
- provide for vehicular access off the laneway

Map 1 – Precinct 1



Map of Precinct 1

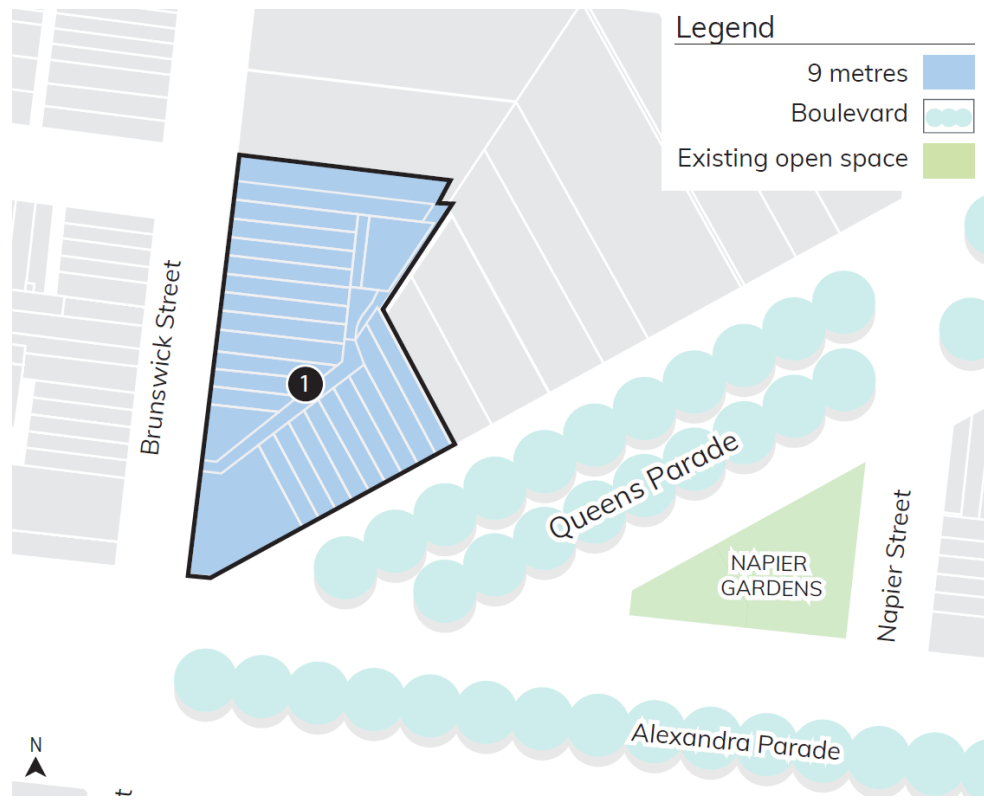


Table 1B – Front Street wall height, building height and setbacks for Precinct 1B

Built Form	Mandatory Control Requirement	Preferred Control Requirement
Development at and adjoining 460 Brunswick Street		
Maximum Building height	460 Brunswick Street and Lot 1 on Title Plan TP806921 - Maximum 9 metres	Elsewhere – 9 metres
Maximum Street wall height and front setback	460 Brunswick Street - match the tallest parapet height of the existing heritage building of 460 Brunswick Street Elsewhere - Retain the height of the existing heritage street wall	None specified Built to boundary at ground level
Maximum street setback	460 Brunswick Street – Match the setback of the existing heritage building	Elsewhere – Should not be less than the setback of an adjacent heritage building
Minimum Upper level setback	Minimum 56 metres	None specified
Minimum Setbacks from side and	None specified	Res Code Standard B17

rear boundary		
Development on Brunswick Street, Queens Parade and land fronting the laneway known as Lot 1 on Title Plan TP806921 (apart from land at and adjoining 460 Brunswick Street)		
Building height	Maximum 9 metres on Lot 1 on Title Plan TP806921	Maximum 9 metres elsewhere
Street wall or façade height and setback	Retain existing	Match the parapet or eaves height of taller adjacent heritage building
Setbacks from side and rear boundary and a laneway		Res Code B17
Upper level setback		6 metres from the facade

2.410.12 Precinct 2 – Boulevard Precinct

Shown on the planning scheme map as **DDO16-2**

Preferred character statement

Buildings and works should deliver:

- A preferred location for housing and employment growth with well designed mid-rise development that complements the Queens Parade through a transition in scale to the Gas Works site.
- Development that complements the visual contribution of the double avenue of trees along the south western part of Queens Parade.
- Precinct 2A – Mid rise infill behind a distinct moderne heritage frontage that addresses Queens Parade and its heritage context and responds to the sensitivity of the interface with abutting low scale fine grained residential uses to the north and west.
- Precincts 2B and 2C – A vibrant and attractive mid-rise business area that addresses Napier Street, Queens Parade and George Street with a mix of innovative new architecture and heritage buildings to accommodate a wide range of commercial development and employment opportunities.

Design requirements

The design requirements for Precinct 2 are as follows:

Development in Precinct 2 should must:

- not diminish or detract from Respect the heritage values of the boulevard streetscape, the heritage street wall and the heritage trees along Queens Parade and deliver an appropriate interface arrangement to neighbouring properties and that minimises visual bulk and mass when viewed from the adjoining properties.
- Orientate active frontages and provide passive surveillance to the surrounding streets.
- Ensure adequate solar access is provided to the Queens Parade boulevard and Napier Street Reserve at the equinox from 9am- to 3pm.

Development in Precinct 2A must also should:

- ensure projections above the street wall are not dominant in the skyline when viewed from the north side of Newry Street and of Coleman Street and the WT Peterson Oval, the Fitzroy Grandstand and other locations in the southern part of Edinburgh Gardens.

- ~~ensure adequate solar access is provided to the Queens Parade boulevard and Napier Street Reserve at the equinox from 9am-3pm.~~
- Provide an interface to neighbouring residential properties maintain-Maintain the prominence and significance of the art deco facade.
- Retain, enhance and incorporate the existing heritage façade into the redevelopment of the site and to create a consistent parapet height along the streetscape.
- Recognise the low scale, buildings and fine grain subdivision pattern of existing development to the north and west.
- ~~encourage-Encourage~~ pedestrian permeability within and through the precinct.
- a~~A~~void a repetitive stepped form within the 45 degree angle profile.
- Ensure development above the street wall is designed as a series of separate development parts with building separation to enable views to the sky.
- ~~Development in Precincts 2B and 2C and 2D must also~~should:
 - Provide an appropriate transition in scale from the heritage buildings in Precinct 2B to new built form in Precinct 2C and the higher development form of the Gas Works site.
 - Create a new commercial frontage to George Street to form an active edge complementary to the proposed Gasworks redevelopment.
 - ~~maintain the prominence of heritage buildings along Napier Street when viewed from Napier Reserve.~~
 - ~~be appropriately setback at upper levels from the heritage buildings along Napier Street.~~
 - ~~provide an appropriate transition in scale from the heritage buildings along Napier Street and Alexandra Parade.~~
 - ~~provide vehicular access from laneways~~
 - ~~provide building separation to reduce visual bulk~~

Map 2 – Precinct 2



Table 2 – Street wall height, building height and setbacks for Precincts 2A, ~~2C-2B~~ and ~~2D2C~~

Built form	Mandatory requirement	Preferred requirement
Precinct 2A		
Built Form	Mandatory requirement	Preferred requirement
Maximum Building height	Maximum of 31m	None specified
Front Maximum street wall height	Retain height of existing heritage façade. Maximum of 10 metres where no heritage façade exists.	None specified Street wall of development adjoining the individually significant building must not exceed the parapet height of the taller adjoining heritage building
Front setback Maximum and Minimum setback to Queens Parade	None specified	0 metres to maximum 10 metres
Minimum Upper level setback from front of building	None specified	Above existing heritage façade: <ul style="list-style-type: none"> Minimum 8 metre setback from 10 metres to 16 metres Minimum 10 metre setback from 16 metres Above new street wall (where no existing heritage façade): <ul style="list-style-type: none"> Minimum of 5 metre setback from 10 metres to 16 metres Minimum of 8 metres setback from 16 metres
Minimum Setback setback(s) from rear boundaries - north and west adjacent to NRZ and GRZ	None specified	ResCode Standard B17 from rear boundary of adjoining properties to 10 metres Setback within 45 degree angle measured from 10- to 25 metres ↵
Minnum sSetbacks from side boundary - east adjacent to NRZ	None specified	0 metre setback to match party wall of existing adjoining development to 10 metres -Setback within 45 degree angle measured from 10- to 25 metres
Minimum sSetbacks from side boundary -	None specified	0 metre setback to match party wall of existing adjoining development, or

<p>east adjacent to MUZ</p>		<p>10 metre where no party wall exists. Minimum of 9 metre setback from the windows/ balconies of adjoining apartments up to 16 metres Minimum of 15 metre setback above 16 metres</p>
<p><u>Minimum s</u>Setbacks from side and rear boundaries west and north-west adjacent to MUZ</p>	<p><u>None specified</u></p>	<p>0 metre setback to match party wall of existing adjoining development, or 10 metre where no party wall exists. Setback within 45 degree angle measured from 10- <u>to</u> 25 metres</p>
<p>Precinct 2C</p>		
<p><u>Built Form</u></p>	<p><u>Mandatory requirement</u></p>	<p><u>Preferred requirement</u></p>
<p><u>Maximum b</u>Building height</p>	<p><u>None specified</u></p>	<p>Maximum of 28 metres</p>
<p><u>Maximum Front</u> street wall height</p>	<p><u>Napier Street – 10 metres</u></p>	<p><u>Queens Parade, George Street and Alexandra Parade</u> Maximum - 18 metres for development on <u>Queens Parade, George Street and Alexandra Parade</u> Development on <u>Napier Street</u> should not exceed the parapet height of the adjoining heritage buildings.</p>
<p><u>Minium u</u>pper level setback</p>	<p><u>Napier Street – 6 metres</u></p>	<p><u>Elsewhere -</u> 65 metres minimum</p>
<p><u>Setback(s) from boundary of 472 to 484 Napier Street</u></p>	<p>=</p>	<p><u>Setback within a 45 degree angle line measured from</u> 12 metres</p>
<p><u>Minimum s</u>ide and rear setbacks</p>	<p><u>None specified</u></p>	<p><u>Rear setback:</u> 4.5m from <u>centreline of laneway for height of the entire building</u> <u>Side setbacks:</u> For upper levels, where a <u>habitable room window is proposed:</u></p> <ul style="list-style-type: none"> • <u>4.5 metres from the common boundary or from the centre line of the laneway.</u>

		<p>For upper levels, where a non-habitable room window or commercial window is proposed: 3 metres from the common boundary or the centre line of the laneway ResCode B17</p>
Precinct 2D-2B		
Built Form	Mandatory requirement	Preferred requirement
<u>Maximum</u> bBuilding height	<u>None specified</u>	18 metres
<u>Front</u> Maximum street wall height	<u>Napier Street - Retain existing parapet height</u>	<u>None specified</u>
<u>Maximum</u> uUpper level setback	<u>Minimum 6 metres from facade</u>	<u>None specified</u>
<u>Minimum</u> rear setback	<u>None specified</u>	<u>4.5m from centreline of laneway for height of the entire building</u>

2.4-210.3 Precinct 3 – St John’s Precinct

Shown on the planning scheme map as **DDO16-3**

Preferred character statement

Buildings and works should deliver:

- An attractive mixed use area comprising residential and commercial uses with active frontages to the street that retains the primacy of the St John’s Church landmark and views to its belfry and spire.
- New development that articulates the higher profile of the corner of Queens Parade and Smith Street, relative to its immediate surroundings.
- Intact streetscape on Smith Street retained with new development set back from the facade and designed to complement the Victorian era buildings and street wall.
- Provide an effective transition provided to the residential areas to the south and east.

Design requirements

Development in Precinct 3 should ~~must~~:

- Create ~~achieve~~ a consistent street wall that maintains the prominence of the heritage street wall in the streetscape ~~height along Queens Parade, extending along Smith Street.~~
- ~~respond to the low scale form of existing development outside Precinct 3 on Hodgkinson Street through an appropriate transition in building height.~~
- ~~recognise~~ Reflect the fine grain character of heritage streetscapes and minimise the dominance of wide building frontages.
- ~~deliver~~ Deliver high quality architectural detailing that respects the heritage qualities and rhythms of Queens Parade and Smith Street.
- ~~maintain the prominence of the heritage street wall in the streetscape and the vista along Queens Parade.~~
- Provide an interface with neighbouring residential properties on Hodgkinson Street that minimises visual bulk and mass and provides building separation along side and rear boundaries abutting existing properties.

The design requirements for Development in Precinct 3A are as follows:

- Development must maintain views of the belfry and spire of St John's church and maintain clear sky between the belfry and spire and new development when viewed from the pedestrian refuge on the south-west corner of the intersection with the centre of the footpath on the south-east corner of the intersection with Queens Parade and Smith Street (as indicated on Map 3). A permit cannot be granted to construct a building or carry out works if it does not meet this requirement.

Development in Precinct 3A should:

- Emphasise the corner of Queens Parade and Smith Street with a higher street wall and distinct architectural treatments.

Development in Precinct 3B should:

- Reinforce the traditional street wall on Smith Street.
- Ensure that upper level development is visually recessive and does not detract to complement the heritage streetscape.
- use materials at upper levels that are recessive in finish and colour.
- be designed so that side walls are articulated and read as part of the overall building design.
- avoids continuous built form at upper levels.

Map 3 - Precinct 3



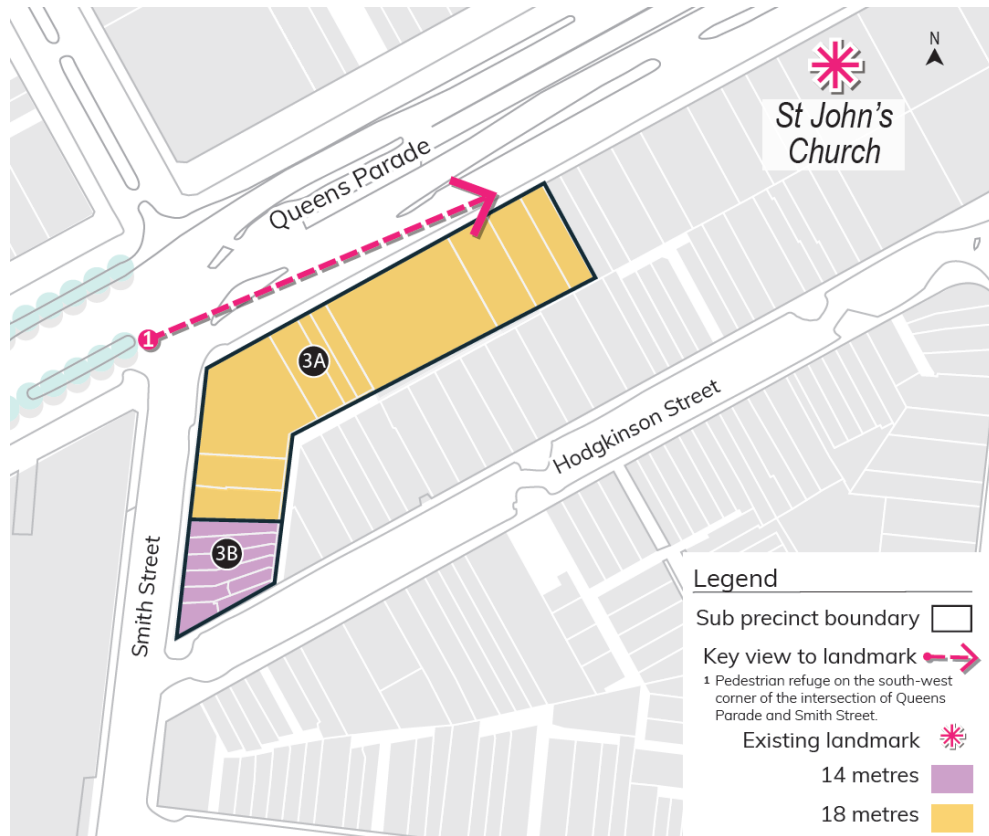


Table 3 – Street wall height, building height and setbacks for Precincts 3A and 3B

Built Form	Mandatory requirement	Discretionary-Preferred requirement
Precinct 3A		
Maximum Building height	18 metres	Maximum of 18m-None specified
Front Maximum street wall height	<p>15-33 & 41 Queens Parade - Maximum 11 metres for 15-33 Queens Parade</p> <p>35-37 Queens Parade - Retain height of existing heritage façade.</p> <p>Development adjoining a heritage building must match the parapet height of adjacent taller heritage building.</p> <p>6 metres on either side of the corner of Smith Street and Queens Parade – 17 metres</p> <p>Elsewhere - Maximum of 14 metres elsewhere</p>	None specified

<u>Minimum upper level setback</u>	<u>Minimum of 6 metres at 664 Smith Street (former Fire Station) and Minimum 6 metres at 15-41 Queens Parade</u>	<u>Non specified 6 metres elsewhere</u>
<u>Maximum Street wall setback</u>	<u>None specified</u>	<u>0 metres - built to front boundary at ground level</u>
<u>Minimum Rear setback</u>	<u>None specified</u>	<u>Where there is a laneway:</u> <ul style="list-style-type: none">• <u>Height and setbacks as shown in Figure 1</u> <u>Where there is no laneway:</u> <ul style="list-style-type: none">• <u>Height and setbacks as shown in Figure 2</u> <u>45° above 8 metres from rear boundary to a laneway</u> <u>45° above 5 metres from rear boundary (no laneway)</u>
<u>Minimum Side setback</u>	<u>None specified</u>	<u>If side boundary adjoins NRZ and abuts an existing boundary wall, 0 metre to a height of 8 metres and a setback with a 45 degree angle above a height of 8 metres.</u> <u>Elsewhere - 0 metres</u> <u>If adjoins NRZ, ResCode B17</u> <u>0 metres elsewhere</u>
<u>Precinct 3B</u>		
<u>Maximum building height</u>	<u>14 metres</u>	<u>None specified</u>
<u>Maximum street wall height</u>	<u>Retain height of existing heritage façade.</u>	<u>None specified</u>
<u>Minimum upper level setback</u>	<u>6 metres</u>	<u>None specified</u>
<u>Maximum street wall setback</u>	<u>None specified</u>	<u>0 metres - built to front boundary at ground level</u>
<u>Minimum rear setback</u>	<u>None specified</u>	<u>Where there is a laneway:</u> <ul style="list-style-type: none">• <u>Height and setbacks as shown in Figure 1</u> <u>Where there is no laneway:</u> <ul style="list-style-type: none">• <u>Height and setbacks as shown in Figure 2.</u>

2.4.310.4 Precinct 4 – Activity Centre Precinct

Shown on the planning scheme map as **DDO16-4**

Preferred character statement

Buildings and works should deliver:

- A unique and vibrant Victorian era shopping strip which forms the retail and activity focus of Queens Parade building on its distinctive heritage qualities.
- Development that complements the scale of heritage buildings and the patterns and rhythms of heritage features.
- Upper level infill that reinforces the prevailing street wall and subdivision grain of significant streetscapes and transitions to residential abutments to the rear.
- Well designed building frontages and public realm that reinforce the pedestrian experience of this part of Queens Parade as and the central hub for the local community
- Development that retains the prominence of the former ANZ Building.

Design requirements

The design requirements for Development in Precinct 4 are as follows must:

- ~~P~~Development ~~must~~ protect and maintain key view ~~lines and visual prominence~~ of the former ANZ Building from the south-west and north-east, in particular to the upper floor, roof form and chimneys (as indicated on Map 4). A permit cannot be granted to ~~construct a building or carry out works if it does not meet~~ vary this requirement.

Development ~~must~~in Precinct 4 should:

- Respect the consistent scale, grain, rhythm and architectural quality of the highly intact heritage streetscapes and the heritage buildings in the precinct.
- ~~retain~~Retain the visual prominence of heritage buildings, their street wall and ~~significant~~ ‘High Street’ heritage streetscapes when viewed from the opposite side of Queens Parade.
- ~~facilitate~~Facilitate the appropriate ~~mid-low~~ rise infill of the sites located to the rear of commercial properties fronting Queens Parade.
- Ensure that any upper level development is set back from the heritage façade, is visually recessive and does not detract from the heritage streetscape.
- ~~retain~~Retain the visual prominence and heritage fabric of the return facades of heritage buildings that front Queens Parade, Delbridge, Gold, ~~and~~ Michael and Wellington Streets.
- ~~ensure~~Ensure that facades at ground floor incorporate verandahs which are consistent with the form and scale of adjoining verandahs.
- ~~retain~~Retain chimneys visible from the public realm.
- ~~enhance~~Enhance the amenity and safety of laneways that provide pedestrian and vehicular access to buildings.
- Maintain service access from the laneways to facilitate commercial use of the properties fronting Queens Parade.
- Ensure shopfront widths are not reduced to the extent they become commercially unviable.

Map 4 - Precinct 4

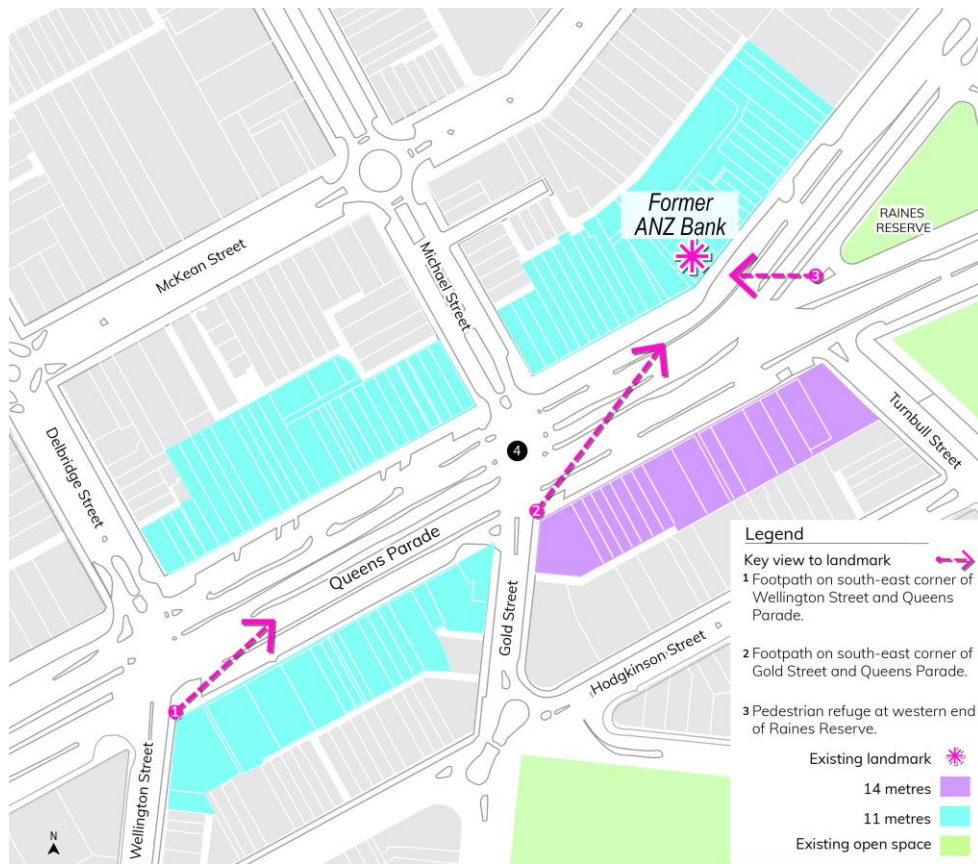


Table 4 – Street wall height, building height and setbacks for Precinct 4

Built Form	Mandatory requirement	Preferred requirement
Maximum Building building height	21.5 metres South side of <u>Queens Parade between Gold and Turnbull Streets - 14 metres</u> Elsewhere - 11 metres	<u>None specified</u>
Maximum and minimum Front street wall height - on Queens Parade	<p><u>For existing heritage facades:</u></p> <ul style="list-style-type: none"> <u>Retain height of the existing heritage façade.</u> <p><u>Where no heritage façade exists and there is no adjacent heritage building/s:</u></p> <ul style="list-style-type: none"> <u>at least 8 metres in height and no higher than 11 metres in height.</u> <p><u>Where no heritage façade exists and there is an adjacent heritage building/s:</u></p> <ul style="list-style-type: none"> <u>at least 8 metres in height and no higher than 11 metres unless an adjacent heritage building has a parapet height of more than 11 metres, in which case no higher than the adjacent heritage parapet height.</u> <p>Retain height of existing heritage façade.</p> <p>Where no heritage façade exists, development must be:</p> <p>a minimum of 8 metres a maximum of 11 metres or where there is an adjacent heritage building, the parapet height of that building if taller than 11 metres.</p>	<u>None specified</u>
Front Maximum and minimum street wall height - in side streets.	-None specified	<p><u>For existing heritage facades:</u></p> <ul style="list-style-type: none"> <u>Retain height of the existing heritage façade.</u> <p><u>Where no heritage façade exists and there is no adjacent heritage building/s:</u></p>

Built Form	Mandatory requirement	Preferred requirement
		<ul style="list-style-type: none"> at least 8 metres in height and no higher than 11 metres in height. <p>Where no heritage façade exists and there is an adjacent heritage building/s:</p> <ul style="list-style-type: none"> at least 8 metres in height and no higher than 11 metres unless an adjacent heritage building has a parapet height of more than 11 metres, in which case no higher than the adjacent heritage parapet height. <p>Retain height of existing heritage façade.</p> <p>Where no heritage façade exists development should be: a minimum of 8 metres a maximum of 11 metres or where there is an adjacent heritage building, the parapet height of that building if taller than 11 metres</p>
Maximum <u>u</u>Upper level setback Queens Parade	Minimum 6 metres in significant heritage streetscape area Minimum 8 metres at 364 Queens Parade	None specified Minimum 6 metres at 167-197 Queens Parade
Minimum <u>u</u>Upper level setback in side streets	<u>None specified</u>	Minimum 6 metres
Maximum and minimum <u>s</u>Street wall setback	0 metres - built to front boundary at ground level (except for 181, 189-191 and 193 Queens Parade)	181, 189-191 and 193 Queens Parade – Retain existing setback
Minimum setback to a <u>NRZ</u> interface <u>Side</u> and rear setback (NRZ interface)	<u>None specified</u>	<p>Where there is a laneway:</p> <ul style="list-style-type: none"> Height and setbacks as shown in Figure 1 <p>Where there is no laneway:</p> <ul style="list-style-type: none"> Height and setbacks as shown in Figure 2 <p>45 degree angle above 8 metres from rear boundary to laneway</p> <p>45 degree angle above 5 metres where no laneway</p>

Built Form	Mandatory requirement	Preferred requirement
Minimum rear setback to a C1Z interface	None specified	3 metres above 11 metres

2.4.410.5 Precinct 5 – North Eastern Precinct

Shown on the planning scheme map as **DDO16-5**

Preferred character statement

Buildings and works should deliver:

- An area of contemporary higher rise development in a preferred location for housing growth where the significant heritage fabric (the Former UK Hotel and the former Clifton Motors garage) remains the prominent precinct feature.
- Steps up in distinct increments from the significant heritage buildings (the Former Clifton Motors and UK Hotel buildings) to the north-east.
- Separation between buildings to enable equitable development and amenity and to diminish the bulk of the built form, while contributing to a safe and legible walking environment that offers visual interest and encourages passive surveillance throughout the Precinct.

Design requirements

The design requirements for Precinct 5 are as follows:

Development in Precinct 5 should~~must~~:

- ~~retain~~Retain the visual prominence ~~and not visually dominate the three dimensional forms~~ of the former United Kingdom Hotel when viewed from key viewpoints (as indicated on Map 5) - Raines Reserve and the former Clifton Motors Garage when viewed from the opposite side of Queens Parade.
- ~~retain~~Retain, conserve and incorporate the ~~moderne façade of the~~ former Clifton Motor Garage (205-211 Queens Parade) in any redevelopment of the site and ensure that the three dimensional form ~~of the façade~~ remains prominent and the decorative vertical fin remains a ~~prominent~~ freestanding element when viewed from the public realm.
- Adopt a street wall height for new development adjacent to the former United Kingdom Hotel that respects the façade height of the former hotel.
- ~~be designed above street wall~~Ensure buildings in Precincts 5B and 5C read as a series of separate development parts with building separation above the street wall.
- ~~e~~Establish a transition and gradual stepping down of building heights from taller forms in Precinct 5C to existing heritage form in Precinct 5A.
- Ensure that adverse wind effects on the public realm are avoided.

Development in Precinct 5C should:

- Reinforce the scale of existing high-rise buildings in the precinct trending higher to the north east.
- Ensure high quality development enhances the prominent corner of Queens Parade and Hoddle Street creating a strong address to each street frontage that encourages active pedestrian movement and accessibility through the Precinct.
- Ensure that the height and design of the street wall creates and reinforces a ‘human scale’ to diminish the perceived bulk of the buildings and provide visual interest at street level along Queens Parade and Hoddle Street.

Map 5 - Precinct 5



Map of Precinct 5

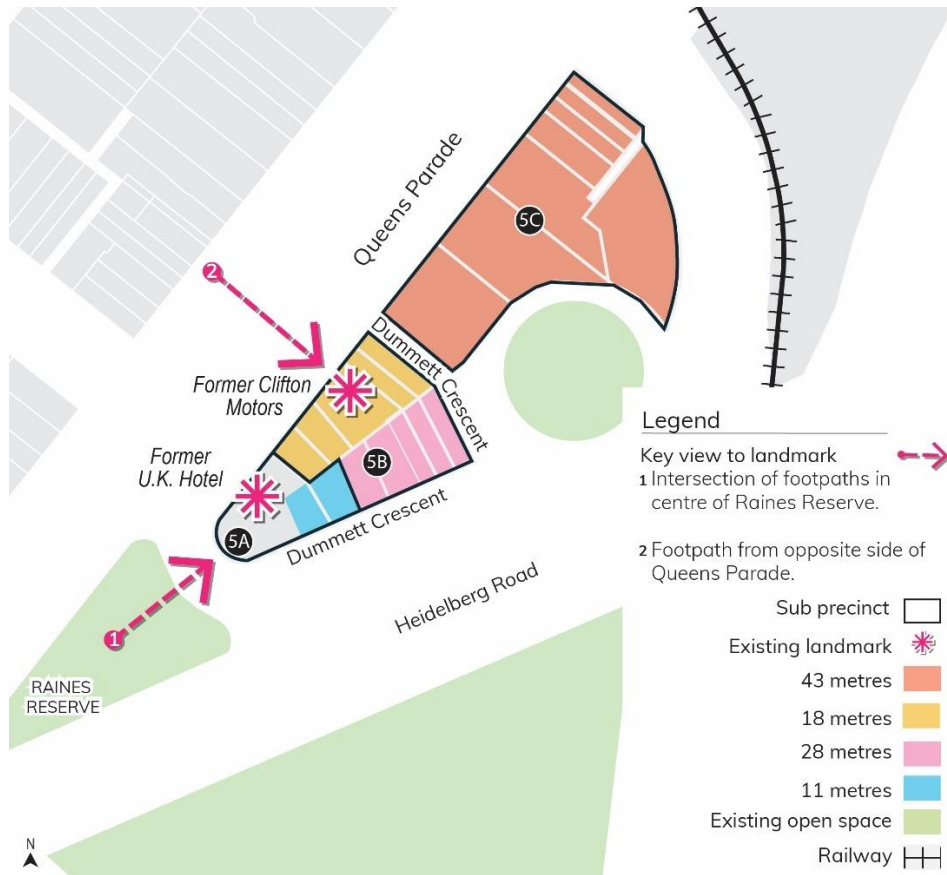


Table 5 – Street wall height, building height and setbacks for Precincts 5A, 5B and 5C

Built form	Mandatory requirement	Preferred requirement
Precinct 5A		
Maximum Building height	<u>11 metres</u>	48 metres <u>None specified</u>
Maximum Street wall height	<u>No higher than the height of the existing eaves of the former UK Hotel</u> Match existing parapet or eaves height	<u>None specified</u>
Minimum Upper level setback	<u>None specified</u>	Minimum 56 <u>metres</u>
Precinct 5B		
Maximum Building height	<u>201-215 Queens Parade - 18 metres</u>	1:1 heritage street wall to new built form behind Clifton Motors and 203 Queens Parade visible from the opposite side of Queens Parade <u>Elsewhere - 28 metres elsewhere</u>
Front Maximum street wall height	<u>201-215 Queens Parade (including the frontage to north-east boundary to Dummett Crescent for distance of 8m) - no higher than the parapet height of the former Clifton Motor Garage and the eaves line of the former UK Hotel</u> <u>Beyond a distance of 8m from the corner of Queens Parade, the street wall along the north-east boundary of 215 Queens Parade - no higher than 11m</u> Match parapet height of former Clifton Motor Garage and eaves line of former UK Hotel	<u>4-10 Dummett Crescent (including the frontage to north-east boundary to Dummett Crescent) - 11 metres for non contributory buildings facing Queens Parade and Dummett Crescent</u>
Minimum Street wall setback	<u>0 metres – built to the boundary</u>	<u>None specified</u>
Minimum upper level setback	<u>201-215 Queens Parade - 8 metres from Queens Parade</u> <u>6 metres for development at former Clifton Motor Garage</u>	<u>Elsewhere - 6 metres elsewhere</u>

Minimum from side and rear boundary <u>Setback</u> setbacks	0 metres <u>None specified</u>	<p>For upper levels, where a habitable room window is proposed:</p> <ul style="list-style-type: none"> 4.5 metres from the common boundary or from the centre line of the laneway. <p>For upper levels, where a non-habitable room window or commercial window is proposed:</p> <ul style="list-style-type: none"> 3 metres from the common boundary or from the centre line of the laneway.
Precinct 5C		
<u>Built Form</u>	<u>Mandatory requirement</u>	<u>Preferred requirement</u>
<u>Maximum</u> b <u>Building height</u>	<u>None specified</u>	49 <u>43</u> metres
<u>Front</u> <u>Maximum</u> <u>street wall height</u>	<u>None specified</u>	35 <u>18</u> metres
<u>Minimum</u> <u>u</u> <u>Upper level setback</u>	<u>None specified</u>	40 <u>6</u> metres
<u>Minimum side and rear setbacks</u>	<u>None specified</u>	<p><u>For upper levels, where a habitable room window is proposed:</u></p> <ul style="list-style-type: none"> <u>4.5 metres from the common boundary or from the centre line of the laneway.</u> <p><u>For upper levels, where a non-habitable room window or commercial window is proposed:</u></p> <p><u>3 metres from the common boundary or from the centre line of the laneway.</u></p>

3.0

Subdivision

xx/xx/xxxx
Proposed
C231

None specified.

4.0

Advertising

xx/xx/xxxx
Proposed
C231

None specified.

5.0

Application requirements

xx/xx/xxxx
Proposed
C231

The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and should accompany an application, as appropriate, to the satisfaction of the responsible authority:

- A site analysis and urban design context report which demonstrates how the proposal achieves the Design Objectives, Preferred Character Statements and Design Requirements of this schedule.
- For development proposals for buildings over 20 metres in height, a wind study analysis to assess the impact of wind on the safety and comfort of the pedestrian environment on footpaths and other public spaces while walking, sitting and standing.
- A Traffic and Parking Assessment Report which includes an assessment of the cumulative impacts of traffic and parking in the Precinct including an assessment of the ongoing functionality of laneway/s.

56.0

Decision guidelines

xx/xx/xxxx
Proposed
C231

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- ~~Whether the General Design Requirements, Heritage Design Requirements and the Precinct Design Requirements in Clauses 2.2, 2.3 and 2.4 are met.~~
- Whether the proposal delivers design excellence.
 - If roof decks are proposed, whether they are set back from lower levels and are recessive in appearance.
 - The profile and impact of development along Queens Parade when viewed from ~~from~~ the north side of McKean Street and the south side of Hodgkinson Street.
- ~~The design response at the interface with existing, low scale residential properties.~~
 - The design of the streetscape interface along the primary street frontage.
 - Whether side and rear setbacks and controls on light spillage and noise are sufficient to limit the impact on the amenity of existing dwellings.
 - ~~How any proposed buildings and works will~~ The impact on solar access to Queens Parade and Napier Street Reserve.
 - Whether heritage buildings on street corners retain their prominence when viewed from both streets.
 - Whether heritage buildings retain their three-dimensional form when viewed from the public realm.
 - Whether upper level development above the heritage street wall is visually recessive and does not dominate or visually overwhelm the heritage buildings.
 - Whether the proposal contributes to and improves the pedestrian environment and other areas of the public realm.
 - The impact of development on views to:
 - the former ANZ Bank building’s tower, roof, chimney and upper level
 - the St John the Baptist Church belfry and spire
 - the former Clifton Motor Garage’s Moderne façade and fin.
- The wind effects created by the development.
- The cumulative impact of traffic and parking in the Precinct including on the functionality of laneway/s.

Reference Documents

~~Queens Parade, Clifton Hill Built Form Review prepared by Hansen Partnership – December 2017.~~

Figure 1 - Setback where there is a laneway to the side or rear

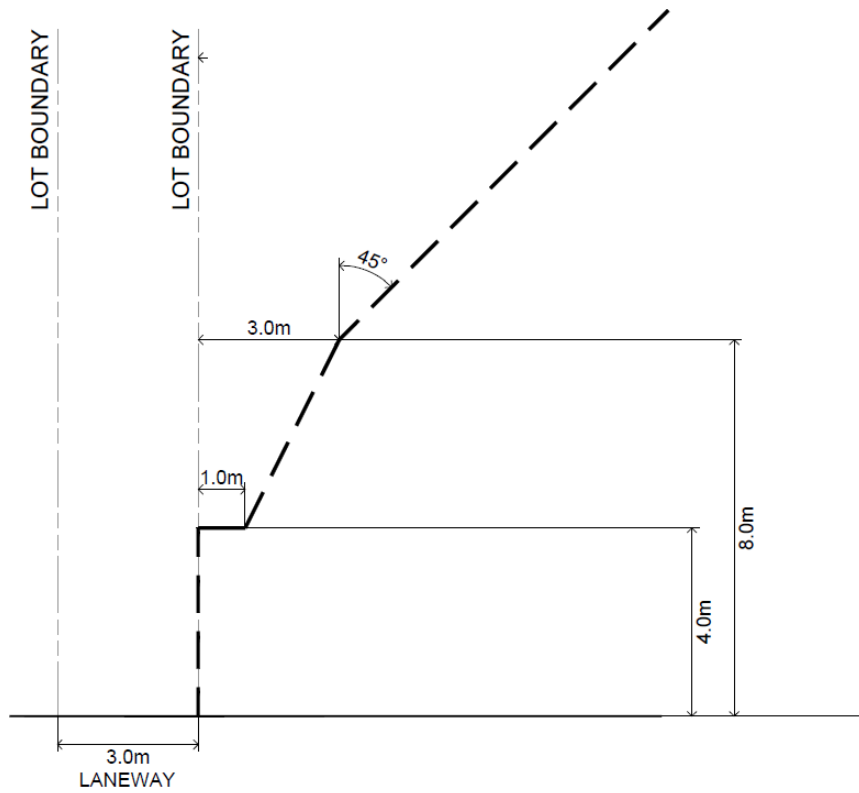


Figure 2 – Setback where there is no laneway to the side or rear

