

Amendment C231 to the Yarra Planning Scheme
Comparison of *exhibited version* and the *version for adoption* and reasons for the change

Design and Development Overlay 16 (DDO16)

The information in this table is based on the exhibited version of the DDO and the version of the DDO supported by officers for adoption. This table should be read in conjunction with Attachment 4 which provides a track change version of DDO16 showing the changes from the exhibited version to the version for adoption.

This table only highlights aspects of the DDO where changes are proposed to the exhibition version of the DDO. Elements of the amendment where no changes are proposed or very minor changes such as spelling mistakes or punctuation where there are no other changes are not included in this table.

General requirements

Clause & DDO element	Exhibited DDO	Version of DDO for Adoption	Reason for change
1.0 Design objectives	<p>Included five objectives:</p> <ul style="list-style-type: none"> • <i>To recognise and respond to the distinct character, heritage streetscape and varying development opportunities defined by the five precincts along Queens Parade,</i> • <i>To support a new mid rise character behind a consistent street wall in precincts 2-5.</i> • <i>To ensure development respects the architectural form and qualities of heritage buildings and streetscapes and maintains the visual prominence of the St John the Baptist church belfry and spire, the former ANZ Bank building, the former United Kingdom Hotel and the former Clifton Motors garage.</i> • <i>To ensure new development responds to the grand, tree-lined boulevard character of Queens Parade.</i> • <i>To ensure that the overall scale and form of new buildings provides a suitable transition to low scale residential areas and protects these</i> 	<p>Five objectives redrafted:</p> <ul style="list-style-type: none"> • <i>To ensure development responds to the heritage character and streetscapes and varying development opportunities and supports:</i> <ul style="list-style-type: none"> – <i>the existing low-rise character in Precincts 1, 3B, 4 and 5A</i> – <i>a new mid rise character behind a consistent street wall in Precincts 2, 3A and 5B</i> – <i>higher rise development in Precinct 5C.</i> • <i>To protect the integrity of historical streetscapes and clusters of heritage buildings of a similar scale and materiality.</i> • <i>To ensure development respects the architectural form and qualities of heritage buildings and streetscapes and maintains the visual prominence of the St John the Baptist church belfry and spire, the former</i> 	<p>Title of Clause 1.0 was amended from General Design Objectives to Design Objectives. Given there are no other objectives in the DDO eg for Precincts, the word ‘General’ is redundant.</p> <p>Objectives have been re-written to make clearer what built form outcomes the DDO seeks to deliver. These changes were supported by Panel. Minor edits recommended by the Panel have been accepted.</p> <p>Objective 1 (version for adoption) – amalgamates the first and second exhibited objectives into one. It provides additional detail around scale and distinguishes the low-rise character of Precincts 1, 3B, 4 and 5A; the mid-rise character and consistent street wall of Precincts 2, 3A and 5B; and the higher rise development of Precinct 5C.</p> <p>Objective 2 (version for adoption) – New objective added to emphasise heritage streetscapes and buildings – a key element of Queens Parade.</p>

Attachment 3

Underlined text signifies a mandatory control

Clause & DDO element	Exhibited DDO	Version of DDO for Adoption	Reason for change
	<p><i>properties from unreasonable loss of amenity through visual bulk, overlooking and overshadowing.</i></p>	<p><i>ANZ Bank building, the former United Kingdom Hotel and the former Clifton Motors garage.</i></p> <ul style="list-style-type: none"> <i>To promote design excellence that ensures new development respects the wide, open boulevard character of Queens Parade, including where existing historic trees are key elements in the streetscape, they remain the dominant visual feature.</i> <i>To ensure development responds to sensitive interfaces by ensuring the overall scale and form of new buildings provides a suitable transition to low scale residential areas and protects these properties from an unreasonable loss of amenity through visual bulk, overlooking and overshadowing.</i> 	<p>Objective 3 (version for adoption) – minor changes.</p> <p>Objective 4 (version for adoption) – rewritten to include concept of design excellence (recommendation of the Panel) and emphasis on trees as a key feature of the boulevard.</p> <p>Objective 5 (version for adoption) – some rewording and inclusion of concept of sensitive interfaces but focus remains on residential amenity and transition to low scale areas.</p>
<p>2.0 Buildings and works</p>	<p>Included permit trigger:</p> <p><i>A permit is required to construct a building or construct or carry out works.</i></p>	<p>Permit trigger deleted</p>	<p>Change recommended by the Panel.</p> <p>Permit trigger included in the head clause. No need to repeat it in the schedule.</p>
<p>2.1 Definitions</p>	<p>Included:</p> <ul style="list-style-type: none"> 1:1 ratio heritage street wall to new built form is where the height of the heritage street wall equals the height of the new development above street wall when viewed from the opposite side of the street from the centre of the footpath at a height of 1.6 metres above ground level Street wall is the façade of a building at the street boundary. Street wall height is measured at the vertical distance between the footpath at the centre of the frontage and the highest point of the building, parapet, balustrade or eaves at the street edge, with the exception of architectural features and building services. 	<p>Includes:</p> <ul style="list-style-type: none"> Heritage building means any building subject to a Heritage Overlay, on the Victorian Heritage Register or any building graded as either Contributory or Individually Significant. Laneway means a road reserve of a public highway 9 metres or less in width. This does not include Dummett Crescent. Parapet does not include features such as brackets, pediments, urns, finials or other decorative elements. Public realm means all streets (including Dummett Crescent) and spaces open to the public but does not include laneways. 	<p>Revised definitions in the <i>version for adoption</i> provide a more relevant list of the terms used in DDO.</p> <p>The version for adoption deletes the following terms:</p> <ul style="list-style-type: none"> 1:1 ratio heritage street wall Street wall Building height Setback <p>It includes the following definitions:</p> <ul style="list-style-type: none"> Heritage building (new) Laneway (new) Parapet (no change from exhibited) Public realm (new) Street wall (amended)

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<p>2.1 Definitions (cont.)</p>	<ul style="list-style-type: none"> • Building height is the vertical distance from natural ground level to the roof or parapet at any point. <ul style="list-style-type: none"> – Building height does not include non structural elements that project above the building height and service equipment including plant rooms, lift overruns, structures associated with green roof areas, screens to service areas or other such equipment provided that all of the following criteria are met: <ul style="list-style-type: none"> – The total roof area occupied by the service equipment (other than solar panels) is minimised; – The service equipment is located in a position on the roof so as to minimise its visibility; – The non structural elements and service equipment do not cause additional overshadowing of neighbouring properties and public spaces; – The non structural elements and service equipment do not extend higher than 3.6 metres above the maximum building height; and – The non structural elements and service equipment are integrated into the design of the building to the satisfaction of the responsible authority. • Parapet height does not include features such as brackets, pediments, urns, finials or other decorative elements. 	<ul style="list-style-type: none"> • Street wall means the façade of a building at the street boundary, or if the existing heritage building is set back from the street boundary, the front of the existing building. • Street wall height means the height of the street wall measured by the vertical distance between the footpath at the centre of the frontage and the highest point of the building, parapet, balustrade or eaves at the street edge or in the case of a heritage building if it is set back from the street from the centre of the building frontage to the highest point of the building, parapet, balustrade or eaves. • Upper level means development above the height of the street wall. • Upper level setback means the setback of the upper level measured from the street wall of the building. 	<ul style="list-style-type: none"> • Street wall height (new) • Upper level (no change from exhibited) • Upper level setback (new) <p>Exemptions to building heights relocated to 2.2 General Requirements.</p> <p>The concept of a 1:1 street ratio has been removed from the DDO. Consequently, there is no need to define a term that is not used.</p> <p>Building height and setback were removed as they are defined elsewhere in the planning scheme.</p> <p>Public realm added to specifically define public realm in the Queens Parade context.</p> <p>Heritage building, Laneway, Upper level setback and Parapet were added. They are terms used in the DDO but were not defined. They assist in understanding the requirements. (The same definitions as the adopted Johnston Street DDO, DDO15 were used.)</p>

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Clause & DDO element	Exhibited DDO	Version of DDO for Adoption	Reason for change
<p>2.1 Definitions (cont.)</p>	<ul style="list-style-type: none"> <i>Setback is the shortest horizontal distance from a building, including projections such as balconies, building services and architectural features, to the boundary.</i> <i>Upper level is development above the height of the street wall.</i> 		
<p>2.2 General requirements</p>	<p>Included explanation of mandatory and preferred requirements:</p> <p><i>The following requirements apply to an application to construct a building or carry out works and must be read in conjunction with the relevant precinct design requirements.</i></p> <ul style="list-style-type: none"> <i>A permit cannot be granted to construct a building or carry out works which are not in accordance with the mandatory requirements specified in the relevant Precinct Tables.</i> <i>A permit cannot be granted to construct a building or carry out works which exceeds the preferred building height and setbacks shown in the relevant Precinct Tables unless the following requirements are met, to the satisfaction of the responsible authority:</i> <ul style="list-style-type: none"> <i>The built form outcome as a result of the proposed variation satisfies the general design objectives in Clause 1.0; and</i> <i>The built form outcome as a result of the proposed variation satisfies the relevant requirements specified in this schedule.</i> <p>Also included requirements to retain commercial height ground floors and for street wall heights, vehicle access and upper level setbacks:</p> <ul style="list-style-type: none"> <i>Facades at ground level must be designed with floor to floor ceiling heights suitable to accommodate commercial activity in the Commercial 1 Zone and the Mixed Use Zone.</i> 	<p>Requirements relating to mandatory provisions have been made more explicit and it includes exemptions to building heights (relocated from Definitions), setbacks and upper level setbacks:</p> <p><i>The following requirements apply to an application to construct a building or carry out works and must be read in conjunction with the relevant precinct design requirements.</i></p> <ul style="list-style-type: none"> <i>A permit must not be granted or amended (unless the amendment would not increase the extent of non-compliance) to construct a building or carry out works which exceed the mandatory maximum building height, mandatory maximum street wall height or mandatory maximum street wall setback or are less than the mandatory minimum street wall height or mandatory minimum upper level setbacks specified in the relevant Precinct Tables.</i> <i>A permit must not be granted or amended (unless the amendment would not increase the extent of non-compliance) to construct a building or carry out works which exceeds the preferred building height and setbacks shown in the relevant Precinct Tables unless the following requirements are met, to the satisfaction of the responsible authority:</i> 	<p>Title of the clause</p> <p>Title of Clause 2.2 was amended from General Design Requirements to General Requirements. The word 'Design' is redundant.</p> <p>Operation of mandatory and preferred requirements</p> <p>The clause explaining how the mandatory provisions operate was expanded to better describe the mandatory elements of the amendment eg mandatory maximum building heights, mandatory maximum street walls etc.</p> <p>Compliance of amendments to permits</p> <p>Amendments to permits was added to prevent situations where a person could obtain a permit that complies with the mandatory provisions, and then seek to amend that permit to exceed the mandatory controls (arguing that they do not apply to a permit amendment). The outcome would undermine the mandatory provisions.</p> <p>Must and should</p> <p>The exhibited DDO16 used the word must in relation to both mandatory and preferred controls. However, where the control was intended to be mandatory, the words 'A permit cannot be granted to construct a building or carry out works if it does not meet this requirement' were included.</p> <p style="text-align: right;">Cont.</p>

Clause & DDO element	Exhibited DDO	Version of DDO for Adoption	Reason for change									
<p>2.2 General requirements (cont.)</p>	<ul style="list-style-type: none"> Development must create a consistent street wall height along the streetscapes. Future vehicle access and services must be provided from a rear laneway or side street where possible. Development must provide setbacks which ensure that upper level additions seen from the public realm are high quality and do not diminish the appreciation of the heritage building and streetscape. Development must avoid repetitive stepped built form at upper levels of development. Unless specified in another table in this schedule, any part of a building adjacent to land in a residential zone must comply with the following: Table to Clause 2.2 boundary wall height and setback requirements for development adjoining a residential zone <table border="1" data-bbox="427 898 936 1262"> <thead> <tr> <th></th> <th>boundary wall height</th> <th>setback</th> </tr> </thead> <tbody> <tr> <td>Common boundary</td> <td>5 metres</td> <td>45 degrees above boundary wall height</td> </tr> <tr> <td>Laneway interface</td> <td>8 metres</td> <td>45 degrees above boundary wall height</td> </tr> </tbody> </table> <p>NB - DDO used <i>must</i> throughout, even for preferred requirements. Mandatory denoted by <i>must</i> plus the following wording - <i>A permit cannot be granted to construct a building or carry out works if it does not meet this requirement.</i></p>		boundary wall height	setback	Common boundary	5 metres	45 degrees above boundary wall height	Laneway interface	8 metres	45 degrees above boundary wall height	<ul style="list-style-type: none"> The built form outcome as a result of the proposed variation satisfies the general design objectives in Clause 1.0. All other relevant requirements specified in this schedule. <p>Architectural features may exceed the preferred or mandatory height.</p> <p>Service equipment / structures including plant rooms, lift overruns, structures associated with green roof areas, screens to service areas or other such equipment may exceed the mandatory or preferred height provided that all of the following criteria are met for the equipment or structure:</p> <ul style="list-style-type: none"> Less than 50 per cent of roof area is occupied by the service equipment (other than solar panels). The equipment does not cause additional overshadowing of private open space, Napier Reserve and Queens Parade. The equipment does not extend higher than 3.6 metres above the maximum building height. <p>Projections such as balconies and building services should not intrude into a setback or upper level setback.</p> <p>Specific requirements relating to floor to floor heights, street wall height, vehicle access and upper level setbacks given their own sub-headings in the version of the DDO for adoption (see below).</p> <p style="text-align: right;">Cont.</p>	<p>This approach was taken in response to advice received by Council, which was based on the way the head clause of the Design and Development Overlay is drafted. However, in practice this made the DDO more difficult to understand.</p> <p>DDO16 has been updated and uses <i>must</i> and <i>should</i> to distinguish between mandatory and preferred controls respectively. While there are different opinions on the proper approach, the use of the words <i>must</i> and <i>should</i> in DDO16 was supported by the Panel. Where a clause is mandatory it is followed by the clause, 'A permit cannot be granted to vary this requirement.'</p> <p>Relocation and changes to exemptions to building heights</p> <p>Requirement for service equipment relocated from Definitions, its location in the exhibited version, to this section for clarity.</p> <p>A total roof area was specified to help minimise impact of equipment on roof tops of new buildings.</p> <p>The subjective requirements in the exhibited clause were removed (eg <i>to the satisfaction of the responsible authority</i>) and only measurable parameters included to aid with assessment of compliance.</p> <p>Requirements on ground floors and for street wall heights, vehicle access and upper level setbacks</p> <p>More specific requirements have been removed in the version of DDO for adoption and given their own sub-headings to assist in making the DDO clearer and easier to navigate.</p> <p>Table to Clause 2.2 (Boundary Wall Height and Setback Requirements) was removed, relocated or replaced by updated side and rear setback requirements in each Precinct.</p>
	boundary wall height	setback										
Common boundary	5 metres	45 degrees above boundary wall height										
Laneway interface	8 metres	45 degrees above boundary wall height										

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2.2 General requirements (cont.)		NB - <i>Must</i> used for mandatory requirements and <i>should</i> used for preferred requirements. Where a clause is mandatory it uses <i>must</i> and is followed by the words, 'A permit cannot be granted to vary this requirement.'	
2.3 Street wall height requirements	Not included in the <i>exhibition version</i> .	New sub-clause and heading added New requirement added to guide street wall transition to heritage buildings: <i>Except in Precinct 4, the street wall height should be no higher than the parapet height of a abutting heritage building/s for a minimum length of 6 metres measured from the edge of the heritage building/s.</i>	This requirement was added to deal with situations where the abutting heritage building was lower than the street wall required in the Design Requirements and was seeking a step up or down from the new wall to the abutting heritage wall. The issue was not addressed in <i>exhibited version of the DDO</i> . Panel recommended the addition of the word 'taller', however this is not supported by officers (see Attachment 1 for the reason why this is not supported by officers.)
2.4 Upper levels requirements	Heading not included in the <i>exhibition version</i> . Two requirements addressed upper level development: <ul style="list-style-type: none"> <i>Development must provide setbacks which ensure that upper level additions seen from the public realm are high quality and do not diminish the appreciation of the heritage building and streetscape.</i> <i>Development must avoid repetitive stepped built form at upper levels of development</i> 	New sub-clause and heading added. Combination of relocated requirements and new requirements which address recessive upper levels; ensure side walls are articulated and avoiding a continuous built form at upper levels and recognising contribution made by chimneys, parapets and other architectural features. Requirements now read: <i>Upper level development should:</i> <ul style="list-style-type: none"> <i>Provide setbacks to ensure that upper level additions seen from the public realm do not diminish the appreciation of the heritage building and streetscape.</i> <i>Avoid repetitive stepped built form at upper levels.</i> <i>Be visually recessive.</i> <i>Use materials that are recessive in finish and colour.</i> 	Requirements 1 and 2 (version for adoption) were relocated from 2.2 General Design Requirements. Requirements 4, 5 and 6 (version for adoption) were relocated from Precinct 3 as they are relevant across all precincts, not just Precinct 3. Requirements 7 and 8 (version for adoption) added in response to submissions and expert evidence given at the Panel Hearing on the impacts of balconies and equipment and services. Requirement 3 (version for adoption) was added to require visually recessive upper levels. This was not addressed in the General Requirements of the <i>exhibited DDO</i> . Requirement 9 (version for adoption) was recommended by the Panel to ensure heritage elements such as chimneys and the like are retained through upper level setbacks. This addition is supported by officers and has been included.

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2.4 Upper levels requirements (cont.)		<ul style="list-style-type: none"> – <i>Include articulated side walls, where visible from the public realm, which are designed to reduce the visual impact of the wall and read as part of the overall building design.</i> – <i>Avoid continuous built form at upper levels.</i> – <i>Ensure balconies at upper levels do not dominate the solid façades of heritage street walls</i> – <i>Minimise the visual intrusion of equipment and services.</i> – <i>Protect the contribution made by chimneys, parapets and other architectural features to the fine grained character of the area.</i> 	
2.5 Corner site requirements	Not included in the <i>exhibition version</i> .	<p>New sub-clause and heading added.</p> <p>New requirement added to address street wall on corner sites:</p> <p><i>New development on a corner site with a frontage to Queens Parade should continue the Queens Parade street wall height along the side street, with a transition in height to match the rear interface where required. This requirement does not apply to Napier Street in Precinct 2C, Precinct 5C or to a laneway except where specified. This requirement applies to the laneway abutting 215 Queens Parade in Precinct 5B to a height of 11m.</i></p>	<p>New requirement which addresses gap in the <i>exhibited version</i>.</p> <p>Added in response to submissions about corner sites and expert evidence at the Panel Hearing to address the transition of new development on corner sites and ensure development ‘turns’ the corner appropriately. Supported by Panel.</p>
2.6 Ground floor requirements	<p>Heading not included in the <i>exhibition version</i>.</p> <p>Requirement ensuring floor to floor heights are suitable for commercial uses:</p> <ul style="list-style-type: none"> ▪ <i>Facades at ground level must be designed with floor to floor ceiling heights suitable to accommodate commercial activity in the Commercial 1 Zone and the Mixed Use Zone.</i> 	<p>New sub-clause and heading added.</p> <p>Retains exhibited requirement about ensuring floor to floor heights are suitable for commercial uses but adds ‘Commercial 2 Zone’ so it now reads:</p> <ul style="list-style-type: none"> • <i>Facades at ground level should be designed with floor to floor ceiling heights suitable to accommodate commercial activity in the</i> 	<p>Requirement 1 ensuring ground floor development accommodates floor to ceiling heights appropriate for commercial development was amended to address the CZ2. Exhibited version only included MUZ and CZ1. Commercial floor to floor heights are equally relevant in this zone.</p> <p style="text-align: right;">Cont</p>

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<p>2.6 Ground floor requirements (cont.)</p>		<p><i>Commercial 1 Zone, Mixed Use Zone and Commercial 2 Zone.</i></p> <p>Includes the following new requirements on building services at street level and orienting windows, habitable rooms and pedestrian entrances towards the public realm:</p> <ul style="list-style-type: none"> • <i>Building services and service cabinets should be located away from the street frontage of heritage facades and they should be designed and located so they complement the street frontage and character and appearance of the heritage building.</i> • <i>Windows of commercial premises, habitable rooms, and principal pedestrian entrances should be orientated towards the public realm and contribute to the safety of the adjoining public realm.</i> 	<p>Requirement 2 was added to ensure services do not dominate the street frontage. This was identified during the Panel hearing. Change supported by Panel.</p> <p>Requirement 3 is a new requirement recommended by the Panel around windows and entrances being oriented to the public realm, which addresses a gap in the DDO and will strengthen the interface of development with the public realm.</p>
<p>2.7 Vehicular access, car parking and loading areas requirements</p>	<p>Heading not included in the <i>exhibition version</i>.</p> <p>The following requirement addressed vehicle access:</p> <ul style="list-style-type: none"> ▪ <i>Future vehicle access and services must be provided from a rear laneway or side street where possible.</i> 	<p>New sub-clause and heading added.</p> <p>Four new requirements added, in addition to exhibited requirement:</p> <ul style="list-style-type: none"> • <i>New vehicle crossovers onto Queens Parade, Brunswick Street and Napier Street should be avoided.</i> • <i>Future vehicle access and services must be provided from a rear laneway or side street where possible.</i> • <i>Vehicle ingress and egress into development, including loading facilities and building servicing, should ensure a high standard of pedestrian amenity and limit potential conflict between vehicle movements and pedestrian activity.</i> <p style="text-align: right;">Cont.</p>	<p>Requirement 2, which required future vehicle access and services off a rear laneway or side street where possible, was included in the <i>exhibited version of the DDO</i>.</p> <p>Requirement 1 was proposed in response to urban design advice which noted the exhibited version of the DDO sought to focus access off laneways or side streets but was not explicit about the use of Queens Parade for access.</p> <p>In the Council preferred version of DDO16 presented to Panel, a design requirement which sought the following was added: '<i>New vehicle crossovers onto Queens Parade must be avoided</i>'. This was partly to maximise the efficiency and safety of the arterial roads e.g. Queens Parade and to ensure the historic Queens Parade shopping strip is not dominated by car access points (and further</p>

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<p>2.7 Vehicular access, car parking and loading areas requirements (cont.)</p>		<ul style="list-style-type: none"> <i>Development on a laneway should include a rear/side setback or a corner splay at ground floor, to facilitate the ongoing functionality of the laneway and allow for building services and car park access.</i> <i>Permanent obstructions within a rear/side setback or splay to a laneway should be avoided.</i> 	<p>promoting a safe and friendly walking environment, reducing conflict points and retaining the historic streetscape).</p> <p>The Panel proposed the addition of Brunswick Street and Napier Street to Design Requirement 1 which seeks to avoid crossovers on Queens Parade. Officers support these additions as Brunswick and Napier Streets are both intact heritage streetscapes and should not be dominated by car access points.</p> <p>Requirement 3 was added in response to submissions concerned about protecting pedestrian amenity and reducing conflicts between cars and people (eg in laneways, side streets and along Queens Parade).</p> <p>Requirements 4 and 5 were added to address issues raised by Council’s traffic expert at the Panel hearing.</p> <p>The requirements require a corner splay and that setbacks and splays should be unobstructed. The change will see improved visibility for vehicles to improve safety and access for vehicles, pedestrians and cyclists.</p>
<p>2.8 Heritage design requirements</p>	<p>Included heritage design requirements which apply to:</p> <ul style="list-style-type: none"> Contributory and individually significant buildings Infill buildings and development adjoining a heritage building <p>Requirements addressed <i>Building facades and street frontages</i> and <i>Upper levels behind a heritage street wall</i>:</p> <p><i>Building facades and street frontages</i></p> <p><i>Infill buildings and development adjoining a heritage building</i></p> <ul style="list-style-type: none"> <i>Façade treatments and the articulation of infill buildings on land affected by a heritage overlay</i> 	<p>Retains <i>Building facades and street frontages</i> and <i>Upper level behind heritage street wall</i> in an amended form and adds new requirements to address ‘<i>Upper level setbacks</i>’ so it now reads:</p> <p><i>Building facades and street frontages</i></p> <p><i>Infill buildings and development adjoining a heritage building:</i></p> <ul style="list-style-type: none"> <i>Façade treatments and the articulation of infill buildings should:</i> <i>be simple and not compete with the more elaborate detailing of nineteenth century buildings</i> 	<p>Changes include:</p> <ul style="list-style-type: none"> Removing superfluous words (eg when the following requirement applies....) and errors (eg repetition of glazing in Design Requirements 3 and 4 in the exhibited version) Renaming <i>Upper level behind heritage street wall</i> to <i>Design of upper levels</i> to make what it covers clearer. <p>Further guidance was added to Heritage Design Requirements following submissions which were concerned that the proposed upper level setbacks, particularly in Precinct 4 would result in the loss of primary roofs and features such as chimneys.</p>

Clause & DDO element	Exhibited DDO	Version of DDO for Adoption	Reason for change
<p>2.8 Heritage design requirements (cont.)</p>	<p><i>or immediately adjoining a heritage building must:</i></p> <ul style="list-style-type: none"> • <i>ensure façade treatments and the articulation of new development are simple and do not compete with the more elaborate detailing of nineteenth century buildings</i> • <i>respect the vertical proportions of the nineteenth and twentieth century facades in the heritage streetscape and/or the adjoining heritage building(s) avoid large expanses of glazing with a horizontal emphasis except to ground floor shopfronts</i> • <i>avoid large expanses of glazing with a horizontal emphasis except for ground floor shopfronts avoid the use of unarticulated curtain glazing and highly reflective glass</i> • <i>reflect the existing canopy/verandah height of the heritage streetscape and/or adjoining heritage building(s)</i> <p><i>Adaption of contributory or individually significant buildings must:</i></p> <ul style="list-style-type: none"> • <i>avoid highly reflective glazing in historic openings</i> • <i>encourage the retention of solid built form behind retained facades and avoid balconies behind existing openings</i> • <i>maintain the inter-floor height of the existing building and avoid new floor plates and walls cutting through historic openings</i> <p>Upper level behind heritage street wall</p> <p><i>Upper level development on land within a heritage overlay and on land immediately adjoining a heritage building must:</i></p>	<ul style="list-style-type: none"> • <i>respect the vertical proportions of the nineteenth and twentieth century facades in the heritage streetscape and/or the adjoining heritage building(s)</i> • <i>avoid large expanses of unarticulated curtain glazing, highly reflective glass and glazing with a horizontal emphasis except for ground floor shopfronts</i> • <i>reflect the existing canopy/verandah height of the heritage streetscape and/or adjoining heritage building(s)</i> <p><i>Contributory or individually significant buildings must:</i></p> <ul style="list-style-type: none"> • <i>maintain existing openings and avoid highly reflective glazing in historic openings</i> • <i>encourage the retention of solid built form behind retained facades and avoid balconies behind existing openings</i> • <i>maintain the inter-floor height of the existing building and avoid new floor plates and walls cutting through historic openings</i> <p>Design of upper levels</p> <p><i>Upper level development on land within a heritage overlay and on land immediately adjoining a heritage building should:</i></p> <ul style="list-style-type: none"> • <i>be visually recessive and not visually dominate the heritage building and the heritage streetscape</i> • <i>retain the primacy of the three-dimensional form of the heritage building as viewed from the public realm to avoid ‘facadism’</i> <p style="text-align: right;">Cont.</p>	<p>The new requirements were added to address situations when upper level setbacks beyond the minimum might be required (eg to retain the roof of an individually significant building which is visible from the public realm).</p> <p>The Panel considered the Heritage Design Requirements were not required and repeated policy in Clause 22.02, the decision guidelines in the Heritage Overlay and the Preferred Character Statements in the preferred version of the DDO.</p> <p>The requirements address a gap in the scheme provisions and should be included until such time Clause 22.02 is amended to more comprehensively address industrial, commercial and retail places.</p> <p>Officers recommend the Heritage Design Requirements are retained.</p> <p>Clause 22.02 will be amended by Amendment C269 (Planning Scheme Local Policy rewrite). Officers propose that after Amendment C269 is gazetted, an administrative amendment would be undertaken and the Heritage Design Requirements in this (and other) DDO(s) would be removed.</p>

Attachment 3

Underlined text signifies a mandatory control

Clause & DDO element	Exhibited DDO	Version of DDO for Adoption	Reason for change
<p>2.8 Heritage design requirements (cont.)</p>	<ul style="list-style-type: none"> • <i>be visually recessive and not visually dominate the heritage building and the heritage streetscape</i> • <i>retain the primacy of the three-dimensional form of the heritage building as viewed from the public realm to avoid ‘facadism’</i> • <i>utilise visually lightweight materials and finishes that are recessive in texture and colour and provide a juxtaposition with the heavier masonry of the heritage facades</i> • <i>incorporate simple architectural detailing that does not detract from significant elements of the heritage building and the heritage streetscape</i> • <i>be articulated to reflect the fine grained character of the streetscape</i> 	<ul style="list-style-type: none"> • <i>utilise visually lightweight materials and finishes that are recessive in texture and colour and provide a juxtaposition with the heavier masonry of the heritage facades</i> • <i>incorporate simple architectural detailing that does not detract from significant elements of the heritage building and the heritage streetscape</i> • <i>reflect the fine grained character of the streetscape, fine grained character and subdivision pattern of the streetscape, especially on larger sites.</i> <p>Upper level setbacks</p> <p><i>Upper level setbacks in excess of the minimum mandatory upper level setback should be provided where:</i></p> <ul style="list-style-type: none"> • <i>it would facilitate the retention of a roof form and chimneys that are visible from the public realm, or a roof or any feature that the relevant statement of significance identifies as contributing to the significance of the heritage building or streetscape</i> • <i>it would maintain the perception of the three-dimensional form and depth of the building</i> • <i>a lesser setback would detract from the character of the streetscape when viewed directly or obliquely along Queens Parade.</i> 	

Attachment 3

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Clause & DDO element	Exhibited DDO	Version of DDO for Adoption	Reason for change
<p>2.9 Interface to residential properties in NRZ or GRZ</p>	<p>Heading not included in the <i>exhibition version</i>.</p>	<p>New sub-clause and heading added.</p> <p>The following new requirements are included:</p> <ul style="list-style-type: none"> • <i>Development should respond to the low scale form of existing development through an appropriate transition in building height and setbacks to ensure reasonable standards of amenity.</i> • <i>In Precincts 3 and 4, where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9 am and 3 pm on 22 September.</i> <p><i>If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced.</i></p>	<p>In addition to changes to the side and rear setbacks, specific overshadowing controls were proposed in Precincts 3 and 4 in response to submissions.</p> <p>Submitters were concerned about the impacts of 4, 5 and 6 storey developments on the amenity of their properties to the south of the centre.</p> <p>Both requirements were relocated from Precincts 3 and 4 at the suggestion of the Panel – to reduce repetition.</p> <p>Requirement 1 which requires an ‘<i>appropriate transition to low adjoining low scale residential development</i>’ was supported by the Panel to address the interface with neighbouring residential properties.</p> <p>The purpose of the Requirement 2 is to protect adjoining residential properties from additional overshadowing at the equinox (the accepted urban design standard to apply when assessing overshadowing). The overshadowing requirements mirror ResCode Standards A14 and B21.</p>


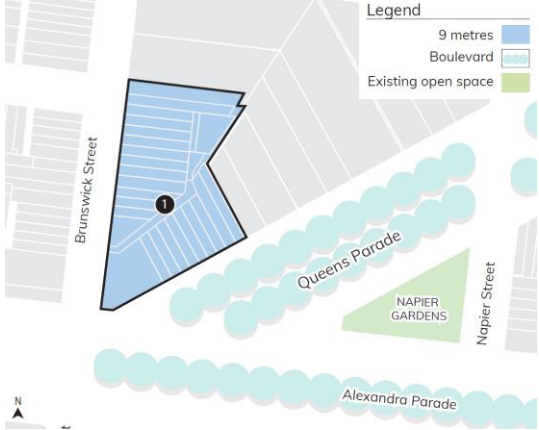
Precinct specific requirements

Requirement ¹	Exhibited DDO	Version of DDO for adoption	Reason for change
Precinct 1			
Preferred character statement	Not included	<p>Preferred character statement inserted:</p> <p><i>Buildings and works should deliver:</i></p> <ul style="list-style-type: none"> <i>Properties fronting Brunswick Street and turning the corner to Queens Parade defined by fine grained low scaled heritage buildings with moderate low rise future infill behind the main heritage frontage, accessed by rear laneways.</i> <i>Visual prominence of the individually significant heritage building on the corner of Brunswick Street and Queens Parade retained.</i> 	<p>Council’s preferred version of DDO16 included preferred character statements (a change proposed in response to submissions). They were added to better define the future character sought by the controls.</p> <p>The Panel supported their inclusion but recommended some redrafting to make their intent clearer, read as more positive outcomes and remove repetition. The wording suggested by the Panel has been accepted by officers.</p> <p>Preferred character statement for Precinct 1 seeks to retain the precinct’s fine grain low scale heritage buildings and visually prominent corner building at 460 Brunswick Street.</p>
Design requirements	<p>Included:</p> <p><i>Development must:</i></p> <ul style="list-style-type: none"> <i>ensure that upper level development is visually recessive</i> <i>retain the visual prominence of the individually significant corner building that forms the southern gateway to Queens Parade and to Fitzroy North more broadly</i> <i>be low rise</i> <i>reinforce the heritage values of the precinct</i> <i>provide for vehicular access off the laneway</i> 	<p>Design requirements amended and expanded as follows:</p> <p><i>Development in Precinct 1 should:</i></p> <ul style="list-style-type: none"> <i>Ensure low rise additions behind the front sections of the terraced houses of Brunswick Street and Queens Parade respect the prevailing streetscape character and subdivision grain which retain and conserve its heritage values.</i> <p style="text-align: right;">Cont.</p>	<p>Amended to more clearly define expectations for the design of future buildings.</p> <p>Combines a number of the exhibited requirements in Design Requirements 1 and 2 (ie low rise scale, reinforcing heritage values.</p> <p>The exhibited version did not describe the fine grain character of the heritage buildings either side of the prominent corner building. This concept has been added.</p> <p>The gateway concept was deleted. Was potentially in conflict with low scale heritage character.</p>

¹ Requirements in Table 1 have been amended in the version for adoption to specify whether the requirement is for a maximum or minimum or both eg Maximum street wall height, Minimum upper level setback etc. In addition, the format of the table has also been standardised eg removing the word maximum / minimum for most metrics and describing specific locations or sites eg 460 Brunswick Street – 6m.

Attachment 3

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Requirement ¹	Exhibited DDO	Version of DDO for adoption	Reason for change
Design requirements (cont.)		<ul style="list-style-type: none"> Ensure that upper level elevations are high quality, visually recessive and enhance the appreciation of the heritage building at 460 Brunswick Street. <p>Removed references to limiting amenity impacts and requiring vehicular access off the laneway.</p>	<p>The Panel considered requiring vehicular access off the laneway is dealt with by the Design Objectives and General Requirements. This has been deleted.</p>
Map 1	<p>Included</p> 	<p>Included but amended: Precinct number changed from 1B to 1</p> 	<p>Precinct number was confusing. 1A was outside the DDO area. Renumbered to make clearer.</p>
Table 1	<p>Table separated requirements into:</p> <ul style="list-style-type: none"> Development at and adjoining 460 Brunswick Street Lot 1 on Title plan TP806921 (a lot on the laneway to the rear) and remainder of the Precinct. 	<p>The two tables have been amalgamated into one and now include the requirements for 460 Brunswick Street, Lot 1 on Title plan TP806921 and remainder of the Precinct.</p>	<p>Table amalgamated in version for adoption for ease of reading.</p> <p>Term 'Development at and adjoining 460 Brunswick Street' was potentially confusing as the whole corner lot is known as 460 Brunswick Street (land including the heritage building and vacant sites which abut it.)</p>
Maximum street wall height	<p>Requirement stated: <u>460 Brunswick Street & adjoining development - Match parapet height of 460 Brunswick Street</u> <u>Elsewhere – Retain existing, match the parapet or eaves height of taller adjacent heritage building</u></p>	<p>Requirement amended to state: <u>460 Brunswick Street - Match the tallest parapet height of the existing heritage building</u> <u>Elsewhere – Retain the height of the existing heritage street wall</u></p>	<p>460 Brunswick Street - Requirements amended to clarify that the taller part of the building is the height which should be matched. Building has both a two storey and single street wall.</p> <p>Elsewhere – Simplified based on heritage advice. Exhibited version was confusing.</p>

Attachment 3

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Requirement ¹	Exhibited DDO	Version of DDO for adoption	Reason for change
Maximum and minimum street setback	Requirement (described as 'Maximum street setback') stated: <i>460 Brunswick Street & adjoining development - Built to boundary at ground level</i> <i>Elsewhere – <u>Retain existing</u>, match the parapet or eaves height of taller adjacent heritage building</i>	Requirement now described as 'maximum and minimum street setback' and amended to state: <i><u>460 Brunswick - Match the setback of the existing heritage building</u></i> <i>Elsewhere - should not be less than the setback of an adjacent heritage building</i>	460 Brunswick Street – Changed to ensure any new building on the site matches the existing setback. Made mandatory as building alignment to the street is a key element of this important corner and building. Elsewhere – Exhibited requirement was not clear. Requirements for street wall height and front setback were grouped together in exhibited version of the DDO making the controls difficult to understand. Separated to make the requirements easier to read. Supported by Panel.
Minimum upper level setback	Requirement stated: <i><u>460 Brunswick Street - 5m</u></i> Elsewhere – 6m from facade	Requirement amended to 6m mandatory for entire precinct	The increase from 5 to 6 metres makes the setback consistent with the rest of the precinct and other upper level setbacks along Queens Parade. Requirement made mandatory for entire precinct to achieve consistency and a clear visual separation between the heritage street wall and building behind. Supported by Panel.

Requirement ²	Exhibited DDO	Version of DDO for adoption	Reason for change
Precinct 2			
Preferred character statement	Not included	Preferred character statement inserted: <i>Buildings and works should deliver:</i> <ul style="list-style-type: none"> <i>A preferred location for housing and employment growth with well designed mid-rise development that complements the Queens Parade through a transition in scale to the Gas Works site.</i> 	Council's preferred version of DDO16 included preferred character statements (a change proposed in response to submissions). They were added to better define the future character sought by the controls. The Panel supported their inclusion but recommended some redrafting to make their intent clearer, read as more positive outcomes and remove

² Requirements in the Table 2 were amended in the version for adoption to specify whether the requirement was for a maximum or minimum or both eg Maximum street wall height, Minimum upper level setback etc. In addition the format of the table has also been standardised eg removing the word maximum / minimum for most metrics and describing specific locations or sites eg Napier Street – 10m.

Attachment 3



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Requirement ²	Exhibited DDO	Version of DDO for adoption	Reason for change
<p>Preferred character statement (cont.)</p>		<ul style="list-style-type: none"> <i>Development that complements the visual contribution of the double avenue of trees along the south western part of Queens Parade.</i> <i>Precinct 2A – Mid rise infill behind a distinct moderne heritage frontage that addresses Queens Parade and its heritage context and responds to the sensitivity of the interface with abutting low scale fine grained residential uses to the north and west.</i> <i>Precincts 2B and 2C – A vibrant and attractive mid-rise business area that addresses Napier Street, Queens Parade and George Street with a mix of innovative new architecture and heritage buildings to accommodate a wide range of commercial development and employment opportunities.</i> 	<p>repetition. The wording suggested by the Panel has been accepted by officers.</p> <p>Preferred character statement for Precinct 2 seeks to:</p> <ul style="list-style-type: none"> Recognise the sub-precinct’s role in terms of growth Emphasise the presence of the avenue of trees within Queens Parade Describe the distinct character / outcomes sought for the three sub-precincts.
<p>Design requirements</p>	<p>Included:</p> <p><i>The design requirements for Precinct 2 are as follows:</i></p> <p><i>Development must:</i></p> <ul style="list-style-type: none"> <i>not diminish or detract from the heritage values of the boulevard streetscape, the heritage street wall and the heritage trees along Queens Parade.</i> <i>deliver an appropriate interface arrangement to neighbouring properties and minimise visual bulk and mass when viewed from the adjoining properties.</i> <i>avoid a repetitive stepped form within the 45 degree angle profile.</i> <p><i>Development in Precinct 2A must also:</i></p> <ul style="list-style-type: none"> <i>ensure projections above the street wall are not dominant in the skyline when viewed</i> 	<p>Sub-Precinct 2D renumbered to Sub-Precinct ‘2B’.</p> <p>Design requirements amended and expanded as follows:</p> <p><i>Development in Precinct 2 should:</i></p> <ul style="list-style-type: none"> <i>Respect the heritage values of the boulevard streetscape, the heritage street wall and the heritage trees along Queens Parade.</i> <i>Ensure adequate solar access is provided to Queens Parade and Napier Street Reserve at the equinox from 9am to 3pm.</i> <p><i>Development in Precinct 2A should:</i></p> <ul style="list-style-type: none"> <i>Provide an interface to neighbouring residential properties that minimises visual bulk and mass and provides building separation along side and rear boundaries abutting existing properties.</i> 	<p>Amended to more clearly define expectations for the design of future buildings.</p> <p>Precinct 2</p> <p>Panel recommended rewording Design Requirement 1 to frame it in positive language.</p> <p>Design Requirement 2 (in the version for adoption) seeking to retain solar access to Queens Parade and Napier Street was relocated from solely applying to Precinct 2A. It applies to all three sub-precincts as they all have the potential to overshadow.</p> <p>Precinct 2A</p> <p>The Panel also recommended moving Design Requirements 2 and 3 (in the exhibited version) to apply only to Precinct 2A. Both these recommendations are supported by officers.</p> <p>The Panel proposed the deletion of Design Requirement 4 to ensure projections above the street wall do not dominate the skyline when viewed from</p>

Requirement ²	Exhibited DDO	Version of DDO for adoption	Reason for change
<p>Design requirements (cont.)</p>	<p><i>from the north side of Newry Street and of Coleman Street and the WT Peterson Oval, the Fitzroy Grandstand and other locations in the southern part of Edinburgh Gardens.</i></p> <ul style="list-style-type: none"> • <i>ensure adequate solar access is provided to the Queens Parade boulevard and Napier Street Reserve at the equinox from 9am-3pm.</i> • <i>maintain the prominence and significance of the art deco facade.</i> • <i>recognise the low scale, buildings and fine grain subdivision pattern of existing development to the north and west.</i> • <i>encourage pedestrian permeability within and through the precinct.</i> <p><i>Development in Precincts 2C and 2D must also:</i></p> <ul style="list-style-type: none"> • <i>maintain the prominence of heritage buildings along Napier Street when viewed from Napier Reserve.</i> • <i>be appropriately setback at upper levels from the heritage buildings along Napier Street.</i> • <i>provide an appropriate transition in scale from the heritage buildings along Napier Street and Alexandra Parade.</i> • <i>provide vehicular access from laneways</i> • <i>provide building separation to reduce visual bulk</i> 	<ul style="list-style-type: none"> • <i>Maintain the prominence and significance of the art deco facade.</i> • <i>Retain, enhance and incorporate the existing heritage façade into the redevelopment of the site and to create a consistent parapet height along the streetscape.</i> • <i>Recognise the low scale, buildings and fine grain subdivision pattern of existing development to the north and west.</i> • <i>Encourage pedestrian permeability within and through the precinct.</i> • <i>Avoid a repetitive stepped form within the 45 degree angle profile.</i> • <i>Ensure development above the street wall is designed as a series of separate development parts with building separation to enable views to the sky.</i> <p><i>Development in Precincts 2B and 2C should:</i></p> <ul style="list-style-type: none"> • <i>Provide an appropriate transition in scale from the heritage buildings in Precinct 2B to new built form in Precinct 2C and the higher development form of the Gas Works site.</i> • <i>Create a new commercial frontage to George Street to form an active edge complementary to the proposed Gasworks redevelopment.</i> 	<p>Edinburgh Gardens and other surrounding locations in the exhibited version. The Panel noted the matter had been considered by VCAT (P2079/2016), where the Tribunal noted that a building less than 31 metres tall would not interfere with long range views to the Edinburgh Gardens. Officers note this is a mandatory height control which cannot be exceeded. The requirement is therefore redundant.</p> <p>Relocates the building separation requirement from General Requirements for Precinct 2 to Precinct 2A.</p> <p>Precincts 2B and 2C (Sub-Precinct 2D in the exhibited version was renumbered 2B)</p> <p>The exhibited design requirements did not provide explicit guidance on the built form of these sub-precincts. They instead focused on the heritage buildings fronting Napier Street. New requirements were added providing guidance on the transition in scale across the site and also on creating a new commercial frontage George Street reflecting the pattern of development proposed on the Gasworks site opposite.</p> <p>The other changes clarify requirements and remove repetition that repeats general and vehicular access requirements.</p> <p>Access and separation between buildings is addressed in the Design Objectives and General Requirements and also the specific sub-precinct Design Requirements.</p> <p>The transition in scale is addressed in the Preferred Character Statement and through the street wall and overall building heights.</p> <p>The prominence of heritage buildings on Napier Street is addressed in the Design Objectives and General Design Requirements.</p>

Attachment 3

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Requirement ²	Exhibited DDO	Version of DDO for adoption	Reason for change
<p>Map 2</p>	<p>Included</p> 	<p>Amended: Renumbered Sub-Precincts</p> 	<p>Precinct 2D was included in the <i>exhibited DDO</i> but was renamed Precinct 2B in later versions of the DDO.</p> <p>To ensure the map in the version of the <i>DDO for adoption</i> included sub-precincts with sequential names (ie A, B C rather than A, C, D) Precinct 2D has been renamed Precinct 2B.</p> <p>Hansen’s work which informed the DDO referred to a Precinct 2B but it covered areas that were not included in the DDO.</p>
Precinct 2A			
<p>Maximum street wall height</p>	<p>Requirement stated: <u>Retain height of existing heritage façade</u> <u>10 m where no heritage façade exists</u> Street wall of development adjoining the individually significant building must not exceed the parapet height of the taller adjoining heritage building</p>	<p>Requirement amended to delete text relating to street wall of development adjoining individually significant building, and now reads: <u>Retain height of existing heritage façade</u> <u>10 m where no heritage façade exists</u></p>	<p>The text relating to street wall height of development adjoining individually significant heritage building has been removed because new text at Clause 2.3 addresses this issue.</p>

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Requirement ²	Exhibited DDO	Version of DDO for adoption	Reason for change
Precinct 2B			
Maximum street wall height	Requirement stated: <u>Retain existing parapet height</u>	Requirement amended to read: <u>Napier Street - Retain existing parapet height</u>	Revised to apply just to Napier Street because the street wall of the double storey terraces is the element that should remain prominent and it only fronts Napier Street.
Minimum rear setback	Not specified	The following requirement inserted: <u>4.5m from centreline of laneway for height of the entire building</u>	Rear setbacks introduced to address a gap in the <i>exhibited DDO</i> . Separation distances were provided for on the adjoining sub-precinct, Sub-Precinct 2C but in 2B. A 4.5m separation distance from the centreline of the laneway in the version for adoption will help to provide building separation and amenity and provide additional land at ground level for access. Panel supported the option above proposed by Council's urban design expert.
Precinct 2C			
Maximum street wall height	Requirement stated: <i>Queens Parade, George Street and Alexandra Parade - 18m</i> <i>Napier Street - should not exceed the parapet height of the adjoining heritage buildings</i>	Requirement relating to Napier Street amended and made mandatory so it now reads: <i>Queens Parade, George Street and Alexandra Parade - 18m</i> <u>Napier Street - 10m</u>	The <i>exhibited DDO</i> required the street wall in Napier Street to match the two storey heritage terraces on Napier Street. However, a higher height and poor transition could have undermined the heritage values of Napier street streetscape and the terraces. To provide more certainty and strengthen the heritage outcomes, a mandatory maximum street wall height of 10m (down from 18m) is proposed in the <i>version of DDO for adoption</i> . This was supported by the Panel. There is no change proposed to remainder of precinct.
Minimum upper level setback	Requirement stated: <i>5m</i>	Requirement amended and made mandatory so it now reads: <u>Napier Street - 6m</u> <i>Elsewhere - 6m</i>	Changed to 6 metres to be consistent with other upper level setbacks applied across the DDO (excepting Precinct 4). The mandatory control on Napier Street ensures consistency with the mandatory upper level setback that applies to 2B and the Napier Street heritage buildings. This was supported by the Panel.

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Requirement ²	Exhibited DDO	Version of DDO for adoption	Reason for change
Minimum side and rear setbacks	Requirement stated: <i>Setback(s) from boundary of 472-484 Napier St – Setback within a 45° line measured from 12m Elsewhere - ResCode B17</i>	Requirement amended to read: <u>Rear setback:</u> <i>4.5m from centreline of laneway for height of the entire building</i> <u>Side setback:</u> <i>For upper levels, where a habitable room window is proposed:</i> <ul style="list-style-type: none"> 4.5 metres from the common boundary or from the centre line of the laneway. <i>For upper levels, where a non-habitable room window or commercial window is proposed:</i> <ul style="list-style-type: none"> 3 metres from the common boundary or the centre line of the laneway 	The <i>exhibited DDO</i> includes a side and rear setback according to B17 and at 45° above a 12m height behind the Precinct 2B heritage terraces. This is unnecessarily restrictive, especially in a non-residential area. Side and rear setback requirements amended to provide building separation (to align with Precinct 2B – see above) and to provide a level of amenity for office workers in the commercial building. Approach was supported by the Panel.

Requirement ³	Exhibited DDO	Version of DDO for adoption	Reason for change
Precinct 3			
Preferred character statement	Not included	Preferred character statement inserted: <i>Buildings and works should deliver:</i> <ul style="list-style-type: none"> <i>An attractive mixed use area comprising residential and commercial uses with active frontages to the street that retains the primacy of the St John's Church landmark and views to its belfry and spire.</i> <i>New development that articulates the higher profile of the corner of Queens Parade and Smith Street, relative to its immediate surroundings.</i> <i>Intact streetscape on Smith Street retained with new development set back from the</i> 	Council's preferred version of DDO16 included preferred character statements (a change proposed in response to submissions). They were added to better define the future character sought by the controls. The Panel supported their inclusion but recommended some redrafting to make their intent clearer, read as more positive outcomes and remove repetition. The wording suggested by the Panel has been accepted by officers. Preferred character statement for Precinct 3 seeks to: <ul style="list-style-type: none"> Describe the built form and land uses sought for the precinct – including reinforcing the

³ Requirements in Table 3 were amended in the version for adoption to specify whether the requirement was for a maximum or minimum or both eg Maximum street wall height, Minimum upper level setback etc. In addition the format of the table has also been standardised eg removing the word maximum / minimum for most metrics and describing specific locations or sites eg 41 Queens Parade – 11m.

Attachment 3


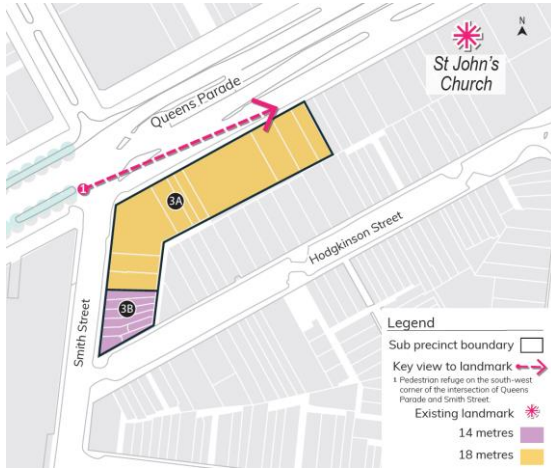
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Requirement ³	Exhibited DDO	Version of DDO for adoption	Reason for change
<p>Preferred character statement (cont.)</p>		<p><i>façade and designed to complement the Victorian era buildings and street wall.</i></p> <ul style="list-style-type: none"> <i>Provide an effective transition provided to the residential areas to the south and east.</i> 	<p>important corner and retaining the intact streetscape on Smith Street</p> <ul style="list-style-type: none"> Reinforce views to the significant landmark of St John’s Church Recognise the sensitive residential interfaces to the south and the east. Describe the distinct character / outcomes sought for the two sub-precincts.
<p>Design requirements</p>	<p>Included:</p> <p><i>The design requirements for Precinct 3A are as follows:</i></p> <ul style="list-style-type: none"> <i>Development must maintain views of the belfry and spire of St John’s church and maintain clear sky between the belfry and spire and new development when viewed from the centre of the footpath on the south-east corner of the intersection with Queens Parade and Smith Street. A permit cannot be granted to construct a building or carry out works if it does not meet this requirement.</i> <p><i>Development must</i></p> <ul style="list-style-type: none"> <i>achieve a consistent street wall height along Queens Parade, extending along Smith Street.</i> <i>respond to the low scale form of existing development outside Precinct 3 on Hodgkinson Street through an appropriate transition in building height.</i> <i>recognise the fine grain character of heritage streetscapes and minimise the dominance of wide building frontages.</i> <i>deliver high quality architectural detailing that respects the heritage qualities of Queens Parade and Smith Street.</i> 	<p>Design requirements amended and expanded as follows:</p> <p><i>Development in Precinct 3 should:</i></p> <ul style="list-style-type: none"> <i>Create a consistent street wall that maintains the prominence of the heritage street wall in the streetscape.</i> <i>Reflect the fine grain character of heritage streetscapes and minimise the dominance of wide building frontages.</i> <i>Deliver high quality architectural detailing that respects the heritage qualities and rhythms of Queens Parade and Smith Street.</i> <i>Provide an interface with neighbouring residential properties on Hodgkinson Street that minimises visual bulk and mass and provides building separation along side and rear boundaries abutting existing properties.</i> <p><u><i>Development in Precinct 3A must:</i></u></p> <ul style="list-style-type: none"> <u><i>Maintain views of the belfry and spire of St John’s church and maintain clear sky between the belfry and spire and new development when viewed from the pedestrian refuge on the south-west corner of the intersection with (see Map 3). A permit cannot be granted to vary this requirement.</i></u> 	<p>Precinct 3</p> <p>Design Requirement 1 (version for adoption) – Based on Design Requirement 2 in the exhibited version. Added in the concept of maintaining the prominence of the heritage street wall.</p> <p>Design Requirements 2 and 3 (version for adoption) – Minor changes – addition of words and ‘rhythms’ recommended by the Panel for Design Requirement 3.</p> <p>Design Requirement 4 was an addition recommended by the Panel to ensure development responds appropriately to the sensitive interface with neighbouring residential properties on Hodgkinson Street by minimising visual bulk and mass and providing adequate building separation for side and rear boundaries abutting existing properties. Noting Design Requirement 2 in the exhibited version which requires development to transition and respond to the low scale of development in Hodgkinson Street was relocated to new <i>Clause 2.9 – Interface to residential properties in NRZ and GRZ.</i></p> <p>The remaining Design Requirements in the exhibited version which deal with upper level setbacks have been relocated to <i>Clause 2.4 Upper level setbacks</i> (refer to Clause 2.4 above).</p>

Requirement ³	Exhibited DDO	Version of DDO for adoption	Reason for change
	<ul style="list-style-type: none"> • <i>maintain the prominence of the heritage street wall in the streetscape and the vista along Queens Parade.</i> • <i>ensure that upper level development is visually recessive and does not detract from the heritage streetscape.</i> • <i>use materials at upper levels that are recessive in finish and colour.</i> • <i>be designed so that side walls are articulated and read as part of the overall building design.</i> • <i>avoids continuous built form at upper levels.</i> 	<p><i>Development in Precinct 3A should:</i></p> <ul style="list-style-type: none"> • <i>Emphasise the corner of Queens Parade and Smith Street with a higher street wall and distinct architectural treatments.</i> <p><i>Development in Precinct 3B should:</i></p> <ul style="list-style-type: none"> • <i>Reinforce the traditional street wall on Smith Street.</i> • <i>Ensure that upper level development is visually recessive to complement the heritage streetscape.</i> 	<p style="text-align: right;">Cont.</p> <p>Precinct 3A</p> <p>Design Requirement 5 (in the adopted version) was updated during the Panel hearing. Retaining the key views of the spire and belfry of St Johns Church was supported by the Panel however discrepancies were found in the viewing points between Council’s exhibited version, the preferred version recommended to Panel and photos in the GJM Heritage Report. This was the subject of an accompanied site visit during the Panel hearing. The Panel agreed with Council’s revised viewing point. The Panel recommended the interpretation of the key view point should not rely on a written description of the key viewpoint, instead specifying the viewpoint shown on Map 3 as defined by Council within tolerances of one metre. The map has been updated to show footpath and traffic islands to assist in locating the viewing point.</p> <p>Design Requirement 6 (in the adopted version) was added as the concept of higher built form reinforcing on the corner of Queens Parade and Smith Street was a gap in the requirements (It was implemented in the street wall heights via a higher street wall for that corner). Noting the Panel recommended an increase in height for the corner building will facilitate a taller element on the corner of Queens Parade and Smith Street). This is accepted by officers (see below). The Panel recommended the addition of ‘<i>and distinct architectural treatments</i>’.</p> <p>Precinct 3B</p> <p>Design Requirements 7 and 8 (in the adopted version) were proposed following submissions and recommended by Council in its preferred version of the DDO.</p>

Attachment 3

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Requirement ³	Exhibited DDO	Version of DDO for adoption	Reason for change
			<p style="text-align: right;">Cont.</p> <p>The changes reinforce the heritage street wall and seek to ensure upper level development is recessive and reflect the changes to building heights proposed through the splitting of Precinct 3 to recognize the intact heritage streetscape along Smith Street. Design Requirement 8 was rewritten at the recommendation of the Panel to frame the requirement in the positive.</p>
<p>Map 3</p>	<p>Included</p> 	<p>Amended to:</p> <ul style="list-style-type: none"> • Only show area affected by DDO • Split Precinct 3 into two sub-precincts • Reduce heights in new Precinct 3B • Update viewing position to St Johns Church 	<p>Precinct 3 was split into two sub-precincts. This reflects the difference in character between the two areas. Precinct 3A includes the Queens Parade and Smith Street corner and other properties fronting Queens Parade. Precinct 3B is comprised of the heritage shops that face Smith Street. The map was also amended to show the reduced height in Precinct 3B (reduced from 18 metres to 14 metres) (refer below to Precinct 3B – Maximum building heights).</p> <p>The map in the <i>exhibited DDO</i> included the wider precinct identified by Hansen in the background work which informed the DDO but it included land not affected by the DDO. The precinct shown now only includes land in the DDO.</p> <p>The map also updates and clarifies the viewing point for view to the spire and belfry of St John's (refer above to Design Requirements.)</p>
<p>Precinct 3A</p>			
<p>Maximum building height</p>	<p>Requirement stated: <i>18 metres</i></p>	<p>Requirement remains <u>18 metres</u> but made mandatory</p>	<p>Mandatory control introduced to respond to the heritage characteristics of this precinct and provide greater certainty for residents to the south in Hodgkinson Street whose properties would be</p>

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Requirement ³	Exhibited DDO	Version of DDO for adoption	Reason for change
			<p>affected by any redevelopment of properties in Precinct 3.</p> <p>Mandatory provisions are an important tool that will assist in limiting visual bulk for abutting neighbours while recognising the capacity of Precinct 3A to accommodate intensification. This was supported by the Panel.</p>
<p>Maximum street wall height</p>	<p>Requirement stated: <u>15-33 Queens Parade – 11m</u> <u>Retain height of existing heritage façade</u> <u>Development adjoining a heritage building must match the parapet height of adjacent taller heritage building</u> <u>Elsewhere – 14m</u></p>	<p>Requirement amended to read: <u>15-33 & 41 Queens Parade - 11m</u> <u>35-37 Queens Parade - retain height of existing heritage façade</u> <u>Elsewhere 14m</u> <u>For 6m either side of Smith Street and Queens Parade – 17m</u></p>	<p>Street wall heights were redrafted for greater clarity. The requirements provide for a variation in street wall heights which reflect the varying conditions and greater development potential on some of the larger sites.</p> <p>The Panel recommended a taller element of 17m be introduced on the corner of Smith Street and Queens Parade and the street wall should continue for a length of 6m either side of the corner.</p> <p>The taller element will make the corner more prominent in the streetscape.</p> <p>The street wall height of 41 Queens Parade has been reduced as a 14-metre street wall that extended to the northern edge of the Precinct would not create an effective transition to the adjoining residential area.</p> <p>The issue of matching heights has been relocated to Clause 2.3 Street wall height, noting it does not refer to matching heights to the taller building (refer to Clause 2.3 Street wall height).</p>
<p>Minimum upper level setback</p>	<p>Requirement stated: <u>15-41 Queens Parade - 6m</u> <u>Elsewhere - 6m</u></p>	<p>Requirement amended to <u>6m</u> (mandatory) for the entire Sub-Precinct</p>	<p>As exhibited, the mandatory control did not apply to the corner sites 1-15 Queens Parade or 664-670 Smith Street. (Noting the corner site now has a higher street wall height than exhibited – see above.)</p> <p>The setback is now mandatory across the precinct. It provides an appropriate separation between the street wall and the new development above and behind it.</p> <p>This was supported by the Panel.</p>

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Requirement ³	Exhibited DDO	Version of DDO for adoption	Reason for change
<p>Minimum rear setback</p>	<p>Requirement stated: <i>45° above 8m from rear boundary to a laneway</i> <i>45° above 5m from rear boundary (no laneway)</i></p>	<p>Requirement amended to read: <i>Where there is a laneway - height and setbacks as shown in Figure 1</i> <i>Where there is no laneway - height and setbacks as shown in Figure 2</i> NB – Figures 1 and 2 are located at the end of the DDO following <i>Decision Guidelines</i>.</p>	<p>The amended rear setbacks in the version for adoption are similar to ResCode B17 but modified to accommodate commercial height ground floors. They offer a better amenity outcome at the rear interface with adjoining residential properties. Where there is no laneway, Figure 2 effectively provides a setback at ground level that offers the separation that a laneway would otherwise provide. The Panel accepted that potential privacy and overshadowing issues are of greater concern where there is no laneway. The Panel considers the provision of three-metre separation as envisaged in the final DDO16 will assist reducing the additional sensitivity. The Panel notes this has been applied in other municipalities (Stonnington, Darebin and Moreland).</p>
<p>Minimum side setback</p>	<p>Requirement stated: <i>If adjoins NRZ - ResCode B17</i> <i>Elsewhere - 0m</i></p>	<p>Requirement amended to read: <i>If side boundary adjoins NRZ and abuts an existing boundary wall:</i> – <i>0m to a height of 8m</i> – <i>45° above 8m</i> <i>Elsewhere - 0m</i></p>	<p>Council’s urban design expert identified the B17 side setback (in the <i>exhibited DDO</i>) only affects 41 Queens Parade and would produce a gap in the frontage between the neighbouring two storey dwelling. The requirement was amended based on this urban design advice and supported by the Panel.</p>

Attachment 3

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Requirement ³	Exhibited DDO	Version of DDO for adoption	Reason for change
Precinct 3B			
Maximum building height	Requirement stated: <i>18m</i>	Requirement amended to 14m (mandatory)	Height in Precinct 3B reduced to reflect the intact heritage streetscape and heritage fabric in the precinct. The reduction in height and the application of a mandatory height was supported by the Panel. The Panel considered this approach should ensure development fronting Smith Street (in Precinct 3B) responds to the consistent two-storey terrace of the largely heritage buildings.
Maximum street wall height	Requirement stated: <u><i>Retain height of existing heritage façade.</i></u> <u><i>Development adjoining a heritage building must match the parapet height of adjacent taller heritage building.</i></u>	Requirement amended to delete the text relating to development adjoining a heritage building, so it now reads: <u><i>Retain height of existing heritage façade</i></u>	Text relating to adjoining a heritage building removed because the new text at Clause 2.3 addresses this issue (refer to Clause 2.3 Street wall height).
Minimum upper level setback	Requirement stated: <u><i>664 Smith Street (former Fire Station) - 6m</i></u> <i>Elsewhere - 6m</i>	Requirement amended to <u>6m</u> (mandatory) for the entire Sub-Precinct	The setback is now mandatory across the precinct. It provides an appropriate separation between the heritage streetscape and the new development above and behind it. This was supported by Panel. This approach, coupled with a 14 metre mandatory height and retention of the heritage street wall seeks to ensure development fronting Smith Street (in Precinct 3B) responds to the consistent two-storey terrace of the largely heritage buildings.
Minimum rear setback	Requirement stated: <i>45° above 8m from rear boundary to a laneway</i> <i>45° above 5m from rear boundary (no laneway)</i>	Requirement amended to read: <i>Where there is a laneway - height and setbacks as shown in Figure 1</i> <i>Where there is no laneway - height and setbacks as shown in Figure 2</i> NB – Figures 1 and 2 are located at the end of the DDO following <i>Decision Guidelines</i> .	The amended rear setbacks are similar to ResCode B17 but modified to accommodate commercial height ground floors. They were amended in response to submissions to offer a better amenity outcome at the rear interface with adjoining residential properties.

Cont.

Attachment 3

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Requirement ³	Exhibited DDO	Version of DDO for adoption	Reason for change
			Where there is no laneway, Figure 2 effectively provides a setback at ground level that offers the separation that a laneway would otherwise provide (refer to <i>2.9 Interface to residential properties in NRZ or GRZ</i>).
Minimum side setback	Requirement stated: <i>If adjoins NRZ, ResCode B17</i> <i>Om elsewhere</i>	Requirement deleted	Side setback requirement not required in this precinct as there are no side boundaries to residential properties – only rear boundaries.

Requirement ⁴	Exhibited DDO	Version of DDO for adoption	Reason for change
Precinct 4			
Preferred character statement	Not included	Preferred character statement inserted: <i>Buildings and works should deliver:</i> <ul style="list-style-type: none"> <i>A unique and vibrant Victorian era shopping strip which forms the retail and activity focus of Queens Parade building on its distinctive heritage qualities.</i> <i>Development that complements the scale of heritage buildings and the patterns and rhythms of heritage features.</i> <i>Upper level infill that reinforces the prevailing street wall and subdivision grain of significant streetscapes and transitions to residential abutments to the rear.</i> <i>Well designed building frontages and public realm that reinforce the pedestrian</i> 	Council's preferred version of DDO16 included preferred character statements (a change proposed in response to submissions). They were added to better define the future character sought by the controls. The Panel supported their inclusion but recommended some redrafting to make their intent clearer, read as more positive outcomes and remove repetition. The wording suggested by the Panel has been accepted by officers. Preferred character statement for Precinct 4 seeks to: <ul style="list-style-type: none"> Recognise the centre as a vibrant retail shopping strip

⁴ Design requirements in Table 4 were amended in the version for adoption to specify whether the requirement was for a maximum or minimum or both eg Maximum street wall height, Minimum upper level setback etc. In addition the format of the table has also been standardised eg removing the word maximum / minimum for most metrics and describing specific locations or sites eg south side of Queens Parade between Gold and Turnbull Streets - 14 metres.

Attachment 3


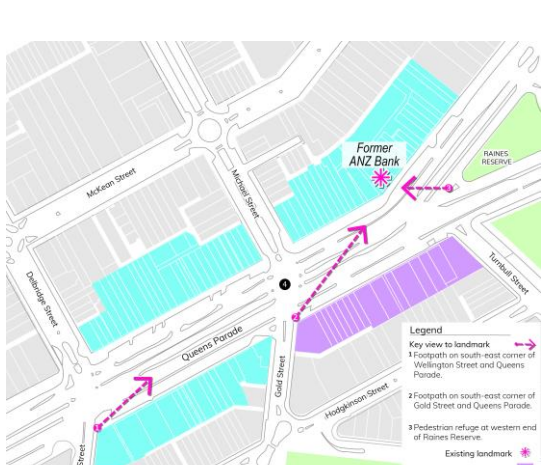
Underlined text signifies a mandatory control

Requirement ⁴	Exhibited DDO	Version of DDO for adoption	Reason for change
		<p><i>experience of this part of Queens Parade as and the central hub for the local community</i></p> <ul style="list-style-type: none"> <i>Development that retains the prominence of the former ANZ Building.</i> 	<ul style="list-style-type: none"> Recognise its heritage qualities and ensure development complements this Ensure development creates a high quality public realm and pedestrian experience Recognise the prominence of the ANZ Building.
<p>Design requirements</p>	<p>Included:</p> <p><i>The design requirements for Precinct 4 are as follows:</i></p> <ul style="list-style-type: none"> <i><u>Development must protect and maintain key view lines and visual prominence of the former ANZ Building from the south-west and north-east, in particular to the upper floor, roof form and chimneys. A permit cannot be granted to construct a building or carry out works if it does not meet this requirement.</u></i> <p><i>Development must:</i></p> <ul style="list-style-type: none"> <i>retain the visual prominence of heritage buildings, their street wall and significant 'High Street' streetscapes when viewed from the opposite side of Queens Parade.</i> <i>facilitate the appropriate mid rise infill of the sites located to the rear of commercial properties fronting Queens Parade.</i> <i>retain the visual prominence of the return facades of buildings that front Queens Parade, Delbridge, Gold and Michael Streets.</i> <i>ensure that facades at ground floor incorporate verandahs which are consistent with the form and scale of adjoining verandahs.</i> <i>retain chimneys visible from the public realm.</i> 	<p>Design requirements amended and expanded as follows:</p> <p><i><u>Development in Precinct 4 must:</u></i></p> <ul style="list-style-type: none"> <i><u>Protect and maintain key view of the former ANZ Building from the south-west and north-east, in particular to the upper floor, roof form and chimneys. A permit cannot be granted to vary this requirement.</u></i> <p><i>Development in Precinct 4 should:</i></p> <ul style="list-style-type: none"> <i>Respect the consistent scale, grain, rhythm and architectural quality of the highly intact heritage streetscapes and the heritage buildings in the precinct.</i> <i>Retain the visual prominence of heritage buildings, their street wall and heritage streetscapes when viewed from the opposite side of Queens Parade.</i> <i>Facilitate the appropriate low rise infill of the sites located to the rear of commercial properties fronting Queens Parade.</i> <i>Ensure that any upper level development is set back from the heritage façade, is visually recessive and does not detract from the heritage streetscape.</i> <i>Retain the visual prominence and heritage fabric of the return facades of buildings that front Queens Parade, Delbridge, Gold, Michael and Wellington Streets.</i> <i>Ensure that facades at ground floor incorporate verandahs which are consistent</i> 	<p>Design Requirement 1 (version for adoption) – Minor changes made to clause which makes the requirement mandatory.</p> <p>Design Requirement 2 (version for adoption) – New requirement added in response to submissions to recognize the intact streetscape and its buildings. Panel recommended the addition of the concept of 'rhythm' – an important element of the street.</p> <p>Design Requirement 3 (version for adoption) – Removes concept of significant high street streetscape. (Refer to <i>Minimum upper level setback - Queens Parade</i> below for further details.)</p> <p>Design Requirement 4 – Mid rise scale was changed to low rise scale to recognize the change in heights in this precinct from six storeys as exhibited to the three and four storeys recommended for adoption.</p> <p>Design Requirement 5 (version for adoption) – Added in response to submissions concerned about the impacts of development on heritage fabric and the streetscape. Upper level setbacks were also increased from 6 metres to 8 metres in response to this issue.</p> <p>Design Requirement 6 (version for adoption) – Wellington Street (a key corner of the centre) was omitted in the exhibition version.</p> <p>Added to correct this. Panel recommended the addition of '<i>heritage fabric</i>' to this requirement. This is supported as these are corner sites house key heritage buildings.</p>

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Requirement ⁴	Exhibited DDO	Version of DDO for adoption	Reason for change
	<ul style="list-style-type: none"> enhance the amenity and safety of laneways that provide pedestrian and vehicular access to buildings. respect the low scale, fine grain subdivision pattern of existing development on Hodgkinson Street and McKean Street. 	<p>with the form and scale of adjoining verandahs.</p> <ul style="list-style-type: none"> Retain chimneys visible from the public realm. Enhance the amenity and safety of laneways that provide pedestrian and vehicular access to buildings. Maintain service access from the laneways to facilitate commercial use of the properties fronting Queens Parade. Ensure shopfront widths are not reduced to the extent they become commercially unviable. 	<p>Design Requirements 7, 8, and 9 (version for adoption) – Minor wording changes.</p> <p style="text-align: right;">Cont.</p> <p>Design Requirement 10 (version for adoption) – Added in response to submissions from traders who were concerned that redevelopment would prevent the use of rear laneways for the servicing of their businesses.</p> <p>Design Requirement 11 (version for adoption) – New. Recommended for inclusion by the Panel to address an issue raised by submitters about the impacts of redevelopment on shop spaces at ground floor. This change is supported by officers.</p>
<p>Map 4</p>	<p>Included:</p>	<p>Amended as follows:</p> <ul style="list-style-type: none"> Significant heritage streetscape removed Heights reduced View from Raines Reserve shown More detail provided in base map 245 Gold Street removed from map 	<p>The <i>exhibited DDO</i> included a reference to a significant streetscape which was removed in the <i>adoption</i> version. (Refer to <i>Minimum upper level setback - Queens Parade</i> below for further details.)</p> <p>The map in the <i>adoption</i> version includes a third key view to the former ANZ Bank identified in the GJM work that was not shown in the <i>exhibited DDO</i>. The map’s legend in the <i>adoption</i> version more precisely identifies viewing points.</p> <p>The property at 245 Gold Street was included in the Precinct 4 map to Schedule 16 to the DDO. The map has been amended to align the planning scheme maps with the DDO maps as it is not within the DDO.</p> <p>The map in the <i>adoption</i> version has also been modified to reflect the change in building heights recommended for adoption. Refer below for details.</p> <p style="text-align: right;">Cont.</p>

Requirement ⁴	Exhibited DDO	Version of DDO for adoption	Reason for change
<p>Map 4 (cont.)</p>			
<p>Maximum building height</p>	<p>Requirement stated: <u>21.5 metres</u></p>	<p>Requirement amended to read: <u>South side of Queens Parade between Gold and Turnbull Streets - 14 metres</u> <u>Elsewhere - 11 metres</u></p>	<p>A reduction in heights from a mandatory six storey height in the <i>exhibited DDO</i> to three storeys in three of four quadrants and four storeys in the remaining quadrant (in the <i>version for adoption</i>) is a result of community feedback to the <i>exhibited DDO</i>, extensive 3D modelling by Ethos Urban and the Panel's recommendations.</p> <p>Many community submitters expressed concern about the six storey height proposed in the exhibited DDO. They submitted it would have a negative impact on the valued heritage character of Queens Parade and on the amenity of adjoining residential properties.</p> <p>The Panel recommended a mandatory height limit of 10.5 metres (3 storeys) in three of four quadrants of Precinct 4. The Panel recognised the value of the heritage in this precinct and prioritised its protection over facilitating development.</p> <p style="text-align: right;">Cont.</p>

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Requirement ⁴	Exhibited DDO	Version of DDO for adoption	Reason for change
<p>Maximum building height (cont.)</p>			<p>The Panel found that a 14 metre (4 storeys) mandatory height is appropriate in the fourth quadrant of Precinct 4 (bound by Gold and Turnbull Streets and Queens Parade).</p> <p>It noted that the heritage in this quadrant is less consistent and the lots are wider, consequently it is less sensitive and has greater development capacity.</p> <p>Officers support the position of Panel, but recommend the 10.5m height in three of the four quadrants is increased to 11m to ensure heritage floor plates can be carried through into the new development and provide for residential amenity.</p> <p>Officers consider that lower heights in three of the four quadrants are appropriate given:</p> <ul style="list-style-type: none"> • Queens Parade is unusually wide at 60 metres. This means that any new development in Queens Parade will be more visible than in other high streets. • Higher levels of growth can be accommodated elsewhere within the centre or nearby. • Queens Parade is an activity centre is that the heritage streetscape in Precinct 4 is highly intact and consistent and features a fine grain subdivision pattern and narrow allotments which give it a greater sensitivity to redevelopment. <p>Officers support four storeys in Quadrant Four recognising the physical characteristics of lot sizes, fine grain architectural features, and streetscape consistency in this quadrant do vary from the other parts of Precinct 4. In addition, the DDO includes requirements that address residential interfaces to the rear in terms of building bulk and overshadowing.</p>

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Requirement ⁴	Exhibited DDO	Version of DDO for adoption	Reason for change
<p>Maximum and minimum street wall height - Queens Parade</p>	<p>Requirement stated: <u>Retain height of existing heritage façade</u> <u>Where no heritage façade exists:</u></p> <ul style="list-style-type: none"> <u>min 8m</u> <u>max 11m or where there is an adjacent heritage building, the parapet height of that building if taller than 11m.</u> 	<p>Requirement amended to read: <u>For existing heritage façades:</u></p> <ul style="list-style-type: none"> <u>Retain height of existing heritage façade</u> <p><u>Where no heritage façade exists and there is no adjacent heritage building/s:</u></p> <ul style="list-style-type: none"> <u>At least 8m in height and no higher than 11m in height</u> <p><u>Where no heritage façade exists and there is an adjacent heritage building/s:</u></p> <ul style="list-style-type: none"> <u>At least 8m in height and no higher than 11m unless an adjacent heritage building has a parapet height of more than 11m, in which case no higher than the adjacent heritage parapet height</u> 	<p>This requirement was modified to better clarify what street wall height would apply in various circumstances ie:</p> <ul style="list-style-type: none"> where there is an existing heritage façade there is no heritage façade but there is an adjacent heritage building there is no heritage façade and no adjacent heritage building. <p>As drafted, the <i>exhibited DDO</i> would have allowed for any height between 8m and 11m without reference to adjacent heritage buildings.</p>
<p>Maximum and minimum street wall height – Side streets</p>	<p>Requirement stated: <u>Retain height of existing heritage facade</u> <u>Where no heritage façade exists, development should be a minimum of 8 metres a maximum of 11 metres or where there is an adjacent heritage building, the parapet height of that building if taller than 11 metres</u></p>	<p>Requirement amended to read: <u>For existing heritage façades:</u></p> <ul style="list-style-type: none"> <u>No higher than the existing heritage façade</u> <p><u>Where there is no heritage façade and there is no adjacent heritage building/s:</u></p> <ul style="list-style-type: none"> <u>At least 8m in height and no higher than 11m in height</u> <p><u>Where no heritage façade exists and there is an adjacent heritage building/s:</u></p> <ul style="list-style-type: none"> <u>At least 8m in height and no higher than 11m in height unless there is an adjacent heritage building with a parapet height of more than 11m, in which case no higher than the adjacent heritage parapet.</u> 	<p>This requirement was modified to better clarify what street wall height would apply in various circumstances ie:</p> <ul style="list-style-type: none"> where there is an existing heritage façade there is no heritage façade but there is an adjacent heritage building there is no heritage façade and no adjacent heritage building. <p>As drafted, the <i>exhibited DDO</i> would have allowed for any height between 8m and 11m without reference to adjacent heritage buildings.</p>
<p>Minimum upper level setback - Queens Parade</p>	<p>Requirement stated: <u>Significant heritage streetscape area – 6m</u> <u>364 Queens Parade – 8m</u> <u>167-197 Queens Parade – 6m</u></p>	<p>Requirement amended to <u>8m</u> (mandatory) for the entire Precinct</p>	<p>In subsequent versions of the DDO post-exhibition, Council recommended deletion of the significant heritage streetscape area. The concept of a <i>significant heritage streetscape area</i> has been deleted.</p>

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Requirement ⁴	Exhibited DDO	Version of DDO for adoption	Reason for change
<p>Minimum upper level setback - Queens Parade (cont.)</p>			<p>The entire centre is within a Heritage Overlay and therefore has heritage values. It is also noted this concept of differentiating between different gradings of heritage buildings was not supported by the Panel reviewing Amendment C220 relating to Johnston Street. For this and reason above, the delineation was removed.</p> <p>The minimum upper level setback was increased from a combination of 6 metres / 8 metres at exhibition to 8 metres across the entire precinct in response to submissions to better reflect the significance of the heritage streetscape.</p> <p>The mandatory 8 metre requirement is required across the entire Precinct to create better urban design and heritage outcomes, protect the unique heritage values of the precinct, and preserve viewlines to the ANZ Building.</p> <p>The increased setback and mandatory nature of the control was supported by Panel.</p>
<p>Maximum and minimum street wall setback</p>	<p>Requirement stated: <u>0m - built to front boundary at ground level</u></p>	<p>Requirement amended to read: <u>0m - built to front boundary at ground level (except for 181 and 193 Queens Parade)</u> 181 and 193 Queens Parade – Retain existing setback</p>	<p>This requirement was modified to accommodate the varying circumstances of the ground level setbacks. There are two (former) dwellings that are set back from the street. They are significant heritage buildings which are to be retained but if they were to see additions, it is important to retain the front setback. In all other circumstances, the buildings should be built to the front boundary recognising the current pattern of development.</p>

Attachment 3

Underlined text signifies a mandatory control

Requirement ⁴	Exhibited DDO	Version of DDO for adoption	Reason for change
Minimum setback (NRZ interface)	Requirement stated and was named <i>Rear setback (NRZ interface)</i> : <i>45° above 8m from rear boundary to a laneway</i> <i>45° above 5m from rear boundary (no laneway)</i>	Requirement renamed 'minimum setback (NRZ interface)' and amended to read: <i>Where there is a laneway - height and setbacks as shown in Figure 1</i> <i>Where there is no laneway - height and setbacks as shown in Figure 2</i>	The setbacks were amended in response to submissions expressing concerns about impacts on the amenity of the low scale residential properties which about the centre (refer to Clause 2.9 <i>Interfaces to residential properties in NRZ or GRZ.</i>) The requirements are similar to ResCode B17 but modified to accommodate commercial height ground floors. They offer a better amenity outcome at the rear interface with adjoining residential properties. Where there is no laneway, Figure 2 effectively provides a setback at ground level that offers the separation that a laneway would otherwise provide. The Panel supported this change to the DDO.
Minimum rear setback (C1Z interface)	Not specified	The following requirement inserted: <i>3m above 11m</i>	The exhibited version of the DDO did not include this requirement, however it was included in the interim controls which apply to Queens Parade. It was reinstated to establish a setback for sites that have an interface to the Commercial 1 Zone ie island sites behind the Queens Parade commercial properties. The Panel supported this addition.

Requirement ⁵	Exhibited DDO	Version of DDO for adoption	Reason for change
Precinct 5			
Preferred character statement	Not included	Preferred character statement inserted: <i>Buildings and works should deliver:</i> <ul style="list-style-type: none"> <i>An area of contemporary higher rise development in a preferred location for housing growth within the activity centre where the significant heritage fabric (the Former UK Hotel and the former Clifton</i> 	Council's preferred version of DDO16 included preferred character statements (a change proposed in response to submissions). They were added to better define the future character sought by the controls. Cont.

⁵ Design requirements in Table 5 were amended in the version for adoption to specify whether the requirement was for a maximum or minimum or both eg Maximum street wall height, Minimum upper level setback etc. In addition the format of the table has also been standardised eg removing the word maximum / minimum for most metrics and describing specific locations or sites eg 201-215 Queens Parade - 18m

Attachment 3

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Requirement ⁵	Exhibited DDO	Version of DDO for adoption	Reason for change
<p>Preferred character statement (cont.)</p>		<p><i>Motors garage) remains the prominent precinct feature.</i></p> <ul style="list-style-type: none"> <i>Steps up in distinct increments from the significant heritage buildings (the Former Clifton Motors and UK Hotel buildings) to the north-east.</i> <i>Separation between buildings to enable equitable development equity and amenity and to diminish the bulk of the built form while contributing to a safe and legible walking environment that offers visual interest and encourages passive surveillance throughout the Precinct.</i> 	<p>The Panel supported their inclusion but recommended some redrafting to make their intent clearer, read as more positive outcomes and remove repetition. The wording suggested by the Panel has been accepted by officers.</p> <p>Preferred character statement for Precinct 5 seeks to:</p> <ul style="list-style-type: none"> Recognise the role of the Precinct in accommodating housing growth alongside the presence of significant heritage buildings Reinforce the stepping up of heights in the Precinct from the low scale heritage buildings Promote separation between buildings to address amenity and reduce bulk of the higher built forms Ensure development creates a high quality public realm and pedestrian experience and enhances walkability within and around the Precinct.
<p>Design requirements</p>	<p>Included:</p> <p><i>The design requirements for Precinct 5 are as follows:</i></p> <p><i>Development must</i></p> <ul style="list-style-type: none"> <i>retain the visual prominence and not visually dominate the three dimensional forms of the former United Kingdom Hotel when viewed from Raines Reserve and the former Clifton Motors Garage when viewed from the opposite side of Queens Parade.</i> <i>retain, conserve and incorporate the moderne façade of the former Clifton Motor Garage (205-211 Queens Parade) in any redevelopment of the site and ensure that the three dimensional form of the façade remains prominent and the decorative vertical fin remains a prominent</i> 	<p>Design requirements amended and expanded as follows:</p> <p><i>Development in Precinct 5 should:</i></p> <ul style="list-style-type: none"> <i>Retain the visual prominence when viewed from key viewpoints (Map 5) - Raines Reserve and the former Clifton Motors Garage when viewed from the opposite side of Queens Parade.</i> <i>Retain and incorporate the former Clifton Motor Garage (205-211 Queens Parade) in any redevelopment of the site and ensure that the three dimensional form of the façade remains prominent and the decorative vertical fin remains a freestanding element when viewed from the public realm.</i> 	<p>Design Requirement 1 (in version for adoption) – Panel recommended deletion to the reference to the United Kingdom Hotel and inclusion of the reference to the map. Both these changes are supported.</p> <p>Design Requirement 2 (in version for adoption) – Minor edits to delete repetition of words ‘<i>moderne facade</i>’.</p> <p>Design Requirement 3 (in version for adoption) – Added to address a gap in the requirements. Also needed as Precinct 5A was amended to include the drive through at McDonalds which could be redeveloped.</p> <p>Design Requirements 4 and 5 (in version for adoption) – Minor edits.</p> <p>Design Requirement 6 (in version for adoption) – Addition of new requirement on wind. This was a gap in the exhibited control.</p> <p style="text-align: right;">Cont.</p>

Attachment 3

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Requirement ⁵	Exhibited DDO	Version of DDO for adoption	Reason for change
<p>Design requirements (cont.)</p>	<p><i>freestanding element when viewed from the public realm.</i></p> <ul style="list-style-type: none"> <i>be designed above street wall in Precincts 5B and 5C as a series of separate development parts with building separation.</i> <i>establish a transition and gradual stepping down of building heights from taller forms in Precinct 5C to existing heritage form in Precinct 5A.</i> 	<ul style="list-style-type: none"> <i>Adopt a street wall height for new development adjacent to the former United Kingdom Hotel that respects the façade height of the former hotel.</i> <i>Ensure buildings in Precincts 5B and 5C read as a series of separate development parts with building separation above the street wall.</i> <i>Establish a transition and gradual stepping down of building heights from taller forms in Precinct 5C to existing heritage form in Precinct 5A.</i> <i>Ensure that adverse wind effects on the public realm are avoided.</i> <p><i>Development in Precinct 5C should:</i></p> <ul style="list-style-type: none"> <i>Reinforce the scale of existing high-rise buildings in the precinct trending higher to the north east.</i> <i>Ensure high quality development enhances the prominent corner of Queens Parade and Hoddle Street creating a strong address to each street frontage that encourages active pedestrian movement and accessibility through the Precinct.</i> <i>Ensure that the height and design of the street wall creates and reinforces a ‘human scale’ to diminish the perceived bulk of the buildings and provide visual interest at street level along Queens Parade and Hoddle Street.</i> 	<p>Added in response to the identification of this issue by Council’s urban design expert. Reflects the addition of application requirement requiring wind report for buildings of 6 storeys or over.</p> <p><i>Precinct 5C</i></p> <p>Design Requirement 7, 8 and 9 (in version for adoption) were added in response to submissions and urban design advice.</p> <p>The <i>exhibited DDO</i> provided little guidance about the form of development in this sub-precinct given it provides for the tallest buildings in Queens Parade.</p> <p>The new requirements 7 and 8 seek to provide guidance on the scale of development given a preferred height applies. It recognises the prominent corner and the need for a high quality urban design outcome.</p> <p>Design Requirement 9 reflects changes to the street wall setback requirements which was lowered from the exhibited requirement to create a more human scale at street level.</p> <p>The Panel supported the addition of these requirements.</p>
<p>Map 5</p>	<p>Included:</p>	<p>Amended:</p> <ul style="list-style-type: none"> Boundary in Precinct 5A Changes to heights in Precincts 5A, 5B and 5C Inclusion of viewing points to Clifton Motors and Former UK Hotel and rest of the Precinct 	<p>The boundaries of Precinct 5A and 5B were inaccurately shown in the <i>exhibited DDO</i>. It did not include the drive through which is also part of the site. Its boundary has been corrected in the <i>adoption</i> version.</p>

Requirement ⁵	Exhibited DDO	Version of DDO for adoption	Reason for change
<p>Map 5 (cont.)</p>		<ul style="list-style-type: none"> Dummett Crescent has been labelled. 	<p>Cont.</p> <p>The building heights were amended in all three sub-precincts in response to submissions (see below). The map has been amended to show the revised heights. Viewing points were also included on the map.</p> <p>Dummett Crescent has also been marked on the map. It was missing from the exhibited version.</p>
<p>Precinct 5A</p>			
<p>Maximum building height</p>	<p>Requirement stated: <i>18m</i></p>	<p>Requirement amended to <u>11m</u> (mandatory)</p>	<p>The height was reduced and made mandatory to better reflect the significance of the low scale VHR heritage building on the site. It also reinforces the step-down in heights within Precinct 5, with higher form at the far north-eastern falling to lower heights at Precinct 5A which is adjacent to the lower scale heritage in Precinct 4. This change was supported by the Panel.</p>
<p>Maximum street wall height</p>	<p>Requirement stated: <u><i>Match existing parapet or eaves height</i></u></p>	<p>Requirement amended to read: <u><i>No higher than the height of the existing eaves of the former UK Hotel.</i></u></p>	<p>This requirement was changed to reflect heritage advice that the street wall height should be <i>no higher than</i> rather <i>match</i> the existing eaves height of the former UK Hotel.</p>
<p>Minimum upper level setback</p>	<p>Requirement stated: <i>5m</i></p>	<p>Requirement amended to 6m</p>	<p>Setback increased to make it consistent with other upper level setbacks in Precincts 1, 2 and 3.</p>

Attachment 3

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Requirement ⁵	Exhibited DDO	Version of DDO for adoption	Reason for change
Precinct 5B			
Maximum building height	Requirement stated: <i>1:1 heritage street wall to new built form behind Clifton Motors and 203 Queens Parade visible from the opposite side of Queens Parade</i> <i>28 metres elsewhere (9 storeys)</i>	Requirement amended as follows: <u>201-215 Queens Parade - 18m</u> <i>Elsewhere - 28m</i>	<p>The 1:1 ratio was a difficult control to understand. The 1:1 ratio was converted to building heights, street wall heights and upper level setbacks for ease of understanding and to provide consistency with other controls in the DDO16.</p> <p>Further modelling of the streetscape by Council's urban design witness and review by Council's heritage witness confirmed that an 18 metre height was equivalent to the application of the 1:1 ratio and was appropriate at the former Clifton Motors Garage.</p> <p>The requirement was expanded to apply to all sites fronting Queens Parade to protect the setting of the VHR registered Clifton Motors. (The exhibited 1:1 ratio did not apply to 215 Queens Parade on the corner of Dummett Crescent.)</p> <p>The 28 metre height that applied in the exhibited version was retained as a preferred height for the rear sites fronting Dummett Crescent.</p> <p>The 18m height fronting Queens Parade was made mandatory in response to the Clifton Motors building and the adjoining VHR listed Former UK Hotel and as well as the need to protect the views to, and the setting of, Clifton Motors.</p> <p>The Panel supported these changes.</p>

Attachment 3

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Requirement ⁵	Exhibited DDO	Version of DDO for adoption	Reason for change
Maximum street wall height	Requirement stated: <u>Match parapet height of former Clifton Motor Garage and eaves line of former UK Hotel</u> 11m for non-contributory buildings facing Queens Parade and Dummett Crescent	Requirement amended to read: <u>201-215 Queens Parade (including the frontage to north-east boundary to the laneway/Dummett Crescent for distance of 8m) - must be no higher than the parapet height of the former Clifton Motor Garage and the eaves line of the former UK Hotel</u> <u>Beyond a distance of 8m from the corner of Queens Parade, the street wall along the north-east boundary of 215 Queens Parade -must be no higher than 11m</u> 4-10 Dummett Crescent (including the NE boundary to Dummett Cres) - 11m	This requirement was modified to address a gap in the controls. It did not provide clear guidance about street wall heights along Dummett Crescent. The street wall heights were amended to be mandatory. The mandatory application of street wall heights for buildings on the VHR reinforces the heritage significance of the buildings and ensures development is appropriate in terms of the streetscape and views to these buildings. This was supported by the Panel. The Panel agreed that establishing a street wall height for Dummett Crescent, in conjunction with the recommended setbacks will ensure this designated laneway will have a stronger visual presence and will not be overwhelmed by the adjacent buildings.
Minimum upper level setback	Requirement stated: <u>Former Clifton Motor Garage - 6m</u> Elsewhere – 6 metres	Requirement amended to read: <u>201-215 Queens Pde – 8 metres</u> Elsewhere – 6 metres	The upper level setback to the former Clifton Motor Garage was increased from 6 metres to 8 metres to ensure adequate separation between existing VHR heritage and new built form. Elsewhere the preferred setback of 6 metres would be retained. This was supported by the Panel.
Minimum setback from side and rear boundaries	Requirement stated: <u>0m</u>	Requirement amended to read: <u>For upper levels, where a habitable room window is proposed - 4.5 metres from the common boundary or from the centre line of the laneway.</u> <u>For upper levels, where a non-habitable room window or commercial window is proposed - 3 metres from the common boundary or the centre line of the laneway.</u>	Minimum side and rear setbacks were introduced to address a shortcoming of the <i>exhibited DDO</i> that included a 0 metre setback. This would enable tall buildings to be built to the side and rear boundary with no breaks. It has been replaced by a building separation requirement proposed by Council's urban design expert to provide spacing between buildings to break up massing, provide for a high level of amenity and ensure sky views between separate buildings. It was supported by the Panel.

Attachment 3

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Requirement ⁵	Exhibited DDO	Version of DDO for adoption	Reason for change
Precinct 5C			
Maximum building height	Requirement stated: <i>49 metres</i>	Requirement amended to 43 metres	The overall height of the sub-precinct was also reduced to 43m to facilitate a progressive transition across Precinct 5C from the constructed buildings in the west to the application site in the west.
Maximum street wall height	Requirement stated: <i>35 metres</i>	Requirement amended to 18 metres	The street wall height of 35 metres was high in the context of Queens Parade. It was reduced from 35m to 18m in the <i>version of DDO for adoption</i> , principally to achieve a more pedestrian scale in the street wall and to reduce the significant risk of adverse wind impacts. It was supported by the Panel.
Minimum upper level setback	Requirement stated: <i>10 metres</i>	Requirement amended to 6 metres	The exhibited upper setback was 10m. The upper level setback was reduced to the standard 6m in response to the reduction in street wall height. This was supported by the Panel.
Minimum setback from side and rear boundaries	Not specified	The following requirement inserted: <i>For upper levels, where a habitable room window is proposed - 4.5 metres from the common boundary or from the centre line of the laneway.</i> <i>For upper levels, where a non-habitable room window or commercial window is proposed - 3 metres from the common boundary or the centre line of the laneway.</i>	The exhibited DDO did not include separation distances between buildings in this sub-precinct. Council's Urban Design Expert recommended setbacks between buildings / sites to protect occupant amenity and ensure sky views between separate buildings. This was supported by the Panel.

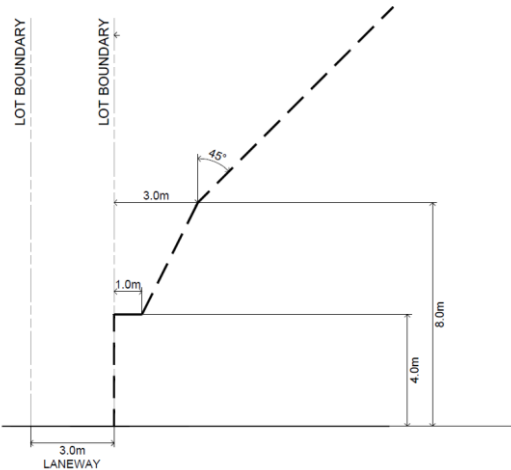
Application requirements, Decision guidelines & Reference documents

Requirement	Exhibited DDO	Version of DDO for adoption	Reason for change
<p>Application requirements</p>	<p>Not included</p>	<p>Requirements inserted for:</p> <ul style="list-style-type: none"> • Site analysis and urban context report • Wind study analysis • Traffic and Parking Assessment Report. <p>The Application requirements read:</p> <p><i>The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and should accompany an application, as appropriate, to the satisfaction of the responsible authority:</i></p> <ul style="list-style-type: none"> • <i>A site analysis and urban design context report which demonstrates how the proposal achieves the Design Objectives, Preferred Character Statements and Design Requirements of this schedule.</i> • <i>For development proposals for buildings over 20 metres in height, a wind study analysis to assess the impact of wind on the safety and comfort of the pedestrian environment on footpaths and other public spaces while walking, sitting and standing.</i> • <i>A Traffic and Parking Assessment Report which includes an assessment of the cumulative impacts of traffic and parking in the Precinct including an assessment of the ongoing functionality of laneway/s.</i> 	<p>The exhibited version of the DDO did not include application requirements.</p> <p>Application requirements were proposed in Council’s preferred version of the DDO to ensure the consideration of wind impacts (identified as an issue by Council’s urban design expert), cumulative traffic and parking impacts and the functionality of laneways (raised by submissions and Council’s traffic expert during the hearing).</p> <p>Additionally, a requirement for a site analysis and urban context report was included.</p> <p>The Panel supported the inclusion of the requirements albeit with minor edits. Officers accept these changes and they have been included in the version for adoption.</p>

Requirement	Exhibited DDO	Version of DDO for adoption	Reason for change
<p>Decision guidelines</p>	<p>Included the following list of decision guidelines:</p> <p><i>The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:</i></p> <ul style="list-style-type: none"> • <i>Whether the General Design Requirements, Heritage Design Requirements and the Precinct Design Requirements in Clauses 2.2, 2.3 and 2.4 are met.</i> • <i>If roof decks are proposed, whether they are set back from lower levels and are recessive in appearance.</i> • <i>The profile and impact of development along Queens Parade when viewed from the north side of McKean Street and the south side of Hodgkinson Street.</i> • <i>The design response at the interface with existing, low scale residential properties.</i> • <i>The design of the streetscape interface along the primary street frontage.</i> • <i>Whether side and rear setbacks are sufficient to limit the impact on the amenity of existing dwellings.</i> • <i>How any proposed buildings and works will impact on solar access to Queens Parade and Napier Street Reserve.</i> • <i>Whether heritage buildings on street corners retain their prominence when viewed from both streets.</i> • <i>Whether heritage buildings retain their three-dimensional form when viewed from the public realm.</i> 	<p>Modified to remove references to:</p> <ul style="list-style-type: none"> • General, Heritage and Precinct Design Requirements • Design response at low-scale residential interface <p>Modified to add reference to:</p> <ul style="list-style-type: none"> • Controls on light spillage and noise added to guideline addressing impact on adjoining dwellings • Cumulative impact of traffic and parking in the precincts including functionality of laneways • Design excellence. <p>The Decision Guidelines now read:</p> <p><i>The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:</i></p> <ul style="list-style-type: none"> • <i>Whether the proposal delivers design excellence.</i> • <i>If roof decks are proposed, whether they are set back from lower levels and are recessive in appearance.</i> • <i>The profile and impact of development along Queens Parade when viewed from the north side of McKean Street and the south side of Hodgkinson Street.</i> • <i>The design of the streetscape interface along the primary street frontage.</i> • <i>Whether side and rear setbacks and controls on light spillage and noise are sufficient to limit the impact on the amenity of existing dwellings.</i> 	<p>Changes to the decision guidelines were made in response to submissions and through minor recommendations of the Panel.</p> <p>The Panel recommended deletion of the reference to General, Heritage and Precinct Design Requirements (Decision Guideline 1 in the exhibited DDO). The DDO already requires these elements to be taken into account.</p> <p>The Panel recommended deletion of Decision Guideline 4 in the <i>exhibited DDO</i> as it referenced the low-scale residential interface which is already addressed elsewhere in the Decision guidelines and Design requirements.</p> <p>Decision Guideline 1 (in the version for adoption) - was added to address issue of design excellence raised by submissions.</p> <p>Decision Guideline 5 (in the version for adoption) – A reference to light spillage and noise was added in response to a recommendation by Panel in response to submissions made at the hearing.</p> <p>Decision Guideline 13 (in the version for adoption) was added to address concerns raised by submitters about the impact of additional traffic and parking brought about by increased development. This was supported by the Panel.</p>

Attachment 3

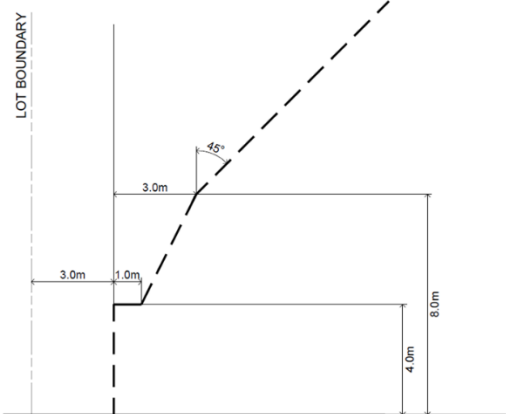
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Requirement	Exhibited DDO	Version of DDO for adoption	Reason for change
Reference documents (cont.)			<p>The Panel agreed that the Built Form Review provided a catalyst and background for the amendment but not to the extent of being included as a Reference Document and recommended its deletion.</p> <p>The inclusion of the report as a Reference Document could create confusion in the future. Its deletion avoids that confusion.</p>
Figures 1 and 2	Not included	<p>Added:</p> <p>Figure 1 - Setback where there is a laneway to the side or rear</p> 	<p>As discussed above, side and rear setback requirements were amended for Precincts 3 and 4. Submissions received during exhibition were concerned about residential amenity and suggested that the ResCode B17 setback was a better alternative.</p> <p>Amended controls based on B17 were proposed. Figures 1 and 2 illustrate the side and rear setbacks. They are a modified version of the ResCode B17 standard, amended to accommodate a 4 metre ground floor.</p> <p>Figure 1 applies where there is a laneway at the rear and Figure 2 applies where there is no laneway – it requires an additional 3 metre setback to provide the separation offered by a laneway.</p> <p>The Panel supported this change to the DDO.</p>

Cont.

Attachment 3

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Requirement	Exhibited DDO	Version of DDO for adoption	Reason for change
<p>Figures 1 and 2 (cont.)</p>		<p><i>Figure 2– Setback where there is no laneway to the side or rear</i></p>  <p>The diagram illustrates a setback scenario. A vertical dashed line on the left is labeled 'LOT BOUNDARY'. A solid horizontal line extends 3.0m from the boundary. From the end of this line, a solid line goes down 1.0m, then right 3.0m, then up 4.0m. A dashed line starts at the top of the 3.0m horizontal line and goes up and right at a 45-degree angle. A vertical dimension of 8.0m is shown from the ground level to the top of the 4.0m vertical line.</p>	

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Schedule to the Heritage Overlay

HO Precinct	Exhibited	Version for adoption	Reason for change																																																															
HO317 - Clifton Hill Western Precinct	Reference to the Statement of Significance was not included in the Schedule to the HO. It was exhibited as Appendix H of the GJM Built Form Heritage Analysis.	Added a reference to the updated Precinct Statement of Significance <table border="1"> <thead> <tr> <th>PS map ref</th> <th>Heritage Place</th> <th>External Paint Controls Apply?</th> <th>Internal Alteration Controls Apply?</th> <th>Tree Controls Apply?</th> <th>Outbuildings or fences which are not exempt under Clause 43.01-4</th> <th>Included on the Victorian Heritage Register under the Heritage Act 2017?</th> <th>Prohibited uses may be permitted?</th> <th>Aboriginal heritage place?</th> </tr> </thead> <tbody> <tr> <td></td> <td>Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>HO314</td> <td>Yarra Falls Precinct Abbotsford Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014</td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> </tr> <tr> <td>HO315</td> <td>Church Street Precinct, Richmond Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014</td> <td>Yes</td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> </tr> <tr> <td>HO316</td> <td>Clifton Hill Eastern Precinct Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014</td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> </tr> <tr> <td>HO317</td> <td>Clifton Hill Western Precinct Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014 Statement of significance: Yarra High Streets: Statements of Significance October 2017 (updated November 2017)</td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> </tr> <tr> <td>HO318</td> <td>Collingwood Slope Precinct</td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> </tr> </tbody> </table>	PS map ref	Heritage Place	External Paint Controls Apply?	Internal Alteration Controls Apply?	Tree Controls Apply?	Outbuildings or fences which are not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?		Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014								HO314	Yarra Falls Precinct Abbotsford Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	No	No	No	No	No	No	No	HO315	Church Street Precinct, Richmond Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	Yes	No	No	No	No	No	No	HO316	Clifton Hill Eastern Precinct Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	No	No	No	No	No	No	No	HO317	Clifton Hill Western Precinct Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014 Statement of significance: Yarra High Streets: Statements of Significance October 2017 (updated November 2017)	No	No	No	No	No	No	No	HO318	Collingwood Slope Precinct	No	No	No	No	No	No	No	State-wide Amendment VC148 which updated the format of the Schedule to the Heritage Overlay was approved on 31 July 2018. Amendment C231 was authorised for exhibition on 30 July 2018 (prior to the approval of this amendment). Consequently Amendment C231 did not include changes to the Schedule required by VC148 at exhibition. New Clause 43.01-5 in the Heritage Overlay now requires that a schedule to the overlay must specify a statement of significance for each heritage place included in the schedule after the commencement of Amendment VC148. To ensure the amendment complies with <i>Ministerial Direction 1 – Format and Content of a Planning Scheme</i> , an administrative update has now been made and the <i>Yarra High Streets: Statements of Significance</i> , has been referenced in the Schedule. The effect of VC148 is that the Statements of Significance become an incorporated document rather than a reference document as exhibited.
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HO315	Church Street Precinct, Richmond Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	Yes	No	No	No	No	No	No																																																										
HO316	Clifton Hill Eastern Precinct Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	No	No	No	No	No	No	No																																																										
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HO318	Collingwood Slope Precinct	No	No	No	No	No	No	No																																																										
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HO Precinct	Exhibited	Version for adoption	Reason for change																																													
<p>HO0327 – North Fitzroy Precinct</p>	<p>Reference to the Statement of Significance was not included in the Schedule to the HO.</p> <p>It was exhibited as Appendix H of the GJM Built Form Heritage Analysis</p>	<p>Added a reference to the updated Precinct Statement of Significance</p> <table border="1" data-bbox="775 320 1581 715"> <thead> <tr> <th>PS map ref</th> <th>Heritage Place</th> <th>External Paint Controls Apply?</th> <th>Internal Alteration Controls Apply?</th> <th>Tree Controls Apply?</th> <th>Outbuildings or fences which are not exempt under Clause 43.01-4</th> <th>Included on the Victorian Heritage Register under the Heritage Act 2017?</th> <th>Prohibited uses may be permitted?</th> <th>Aboriginal heritage place?</th> </tr> </thead> <tbody> <tr> <td></td> <td>Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>HO326</td> <td>North Carlton Precinct Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014</td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> </tr> <tr> <td>HO327</td> <td>North Fitzroy Precinct Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014 Statement of significance: Yarra High Streets: Statements of Significance October 2017 (updated November 2017)</td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> </tr> <tr> <td>HO328</td> <td>Park Crescent Precinct, Alphington</td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> </tr> </tbody> </table> <p>HO327 North Fitzroy Precinct Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014 Statement of significance: Yarra High Streets: Statements of Significance October 2017 (updated November 2017)</p>	PS map ref	Heritage Place	External Paint Controls Apply?	Internal Alteration Controls Apply?	Tree Controls Apply?	Outbuildings or fences which are not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?		Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014								HO326	North Carlton Precinct Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	No	No	No	No	No	No	No	HO327	North Fitzroy Precinct Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014 Statement of significance: Yarra High Streets: Statements of Significance October 2017 (updated November 2017)	No	No	No	No	No	No	No	HO328	Park Crescent Precinct, Alphington	No	No	No	No	No	No	No	<p>State-wide Amendment VC148 which updated the format of the Schedule to the Heritage Overlay was approved on 31 July 2018.</p> <p>Amendment C231 was authorised for exhibition on 30 July 2018 (prior to the approval of this amendment). Consequently Amendment C231 did not include changes to the Schedule required by VC148 at exhibition. New Clause 43.01-5 in the Heritage Overlay now requires that a schedule to the overlay must specify a statement of significance for each heritage place included in the schedule after the commencement of Amendment VC148.</p> <p>To ensure the amendment complies with <i>Ministerial Direction 1 – Format and Content of a Planning Scheme</i>, an administrative update has now been made and the <i>Yarra High Streets: Statements of Significance</i>, has been referenced in the Schedule.</p> <p>The effect of VC148 is that the Statements of Significance become an incorporated document rather than a reference document as exhibited.</p>
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HO328	Park Crescent Precinct, Alphington	No	No	No	No	No	No	No																																								

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HO Precinct	Exhibited	Version for adoption	Reason for change																											
<p>HO330 – Queens Parade Precinct, North Fitzroy / Clifton Hill</p>	<p>Reference to the Statement of Significance was not included in the Schedule to the HO.</p> <p>It was exhibited as Appendix H of the GJM Built Form Heritage Analysis</p>	<p>Added a reference to the updated Precinct Statement of Significance</p> <table border="1" data-bbox="779 320 1585 392"> <tr> <td>HO330</td> <td>Queens Parade Precinct, North Fitzroy/Clifton Hill</td> <td>Yes</td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> </tr> </table> <p><small>Incorporated plan: Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014</small></p> <p style="text-align: right;"><small>Page 56 of 158</small></p> <hr/> <p style="text-align: center;"><small>AMENDMENT C231YARA</small></p> <table border="1" data-bbox="779 528 1585 707"> <thead> <tr> <th>PS map ref</th> <th>Heritage Place</th> <th>External Paint Controls Apply?</th> <th>Internal Alteration Controls Apply?</th> <th>Tree Controls Apply?</th> <th>Outbuildings or fences which are not exempt under Clause 43.01-4</th> <th>Included on the Victorian Heritage Register under the Heritage Act 2017?</th> <th>Prohibited uses may be permitted?</th> <th>Aboriginal heritage place?</th> </tr> </thead> <tbody> <tr> <td></td> <td><u>Statement of significance:</u> Yarra High Streets: Statements of Significance October 2017 (updated November 2017)</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	HO330	Queens Parade Precinct, North Fitzroy/Clifton Hill	Yes	No	No	No	No	No	No	PS map ref	Heritage Place	External Paint Controls Apply?	Internal Alteration Controls Apply?	Tree Controls Apply?	Outbuildings or fences which are not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?		<u>Statement of significance:</u> Yarra High Streets: Statements of Significance October 2017 (updated November 2017)								<p>State-wide Amendment VC148 which updated the format of the Schedule to the Heritage Overlay was approved on 31 July 2018.</p> <p>Amendment C231 was authorised for exhibition on 30 July 2018 (prior to the approval of this amendment). Consequently Amendment C231 did not include changes to the Schedule required by VC148 at exhibition.</p> <p>New Clause 43.01-5 in the Heritage Overlay now requires that a schedule to the overlay must specify a statement of significance for each heritage place included in the schedule after the commencement of Amendment VC148.</p> <p>To ensure the amendment complies with <i>Ministerial Direction 1 – Format and Content of a Planning Scheme</i>, an administrative update has now been made and the <i>Yarra High Streets: Statements of Significance</i>, has been referenced in the Schedule.</p> <p>The effect of VC148 is that the Statements of Significance become an incorporated document rather than a reference document as exhibited.</p>
HO330	Queens Parade Precinct, North Fitzroy/Clifton Hill	Yes	No	No	No	No	No	No																						
PS map ref	Heritage Place	External Paint Controls Apply?	Internal Alteration Controls Apply?	Tree Controls Apply?	Outbuildings or fences which are not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?																						
	<u>Statement of significance:</u> Yarra High Streets: Statements of Significance October 2017 (updated November 2017)																													

Yarra High Streets: Statement of Significance

Exhibited	Version for adoption	Reason for change
<p>Included Statements of Significance for the following:</p> <p>Precincts</p> <ol style="list-style-type: none"> 1. HO309 Bendigo Street Precinct, Richmond 2. HO315 Church Street Precinct, Richmond 3. HO317 Clifton Hill Western Precinct 4. HO327 North Fitzroy Precinct 5. HO330 Queens Parade Precinct, North Fitzroy/Clifton Hill 6. HO332 Richmond Hill Precinct 7. HO335 Swan Street Precinct, Richmond 8. HO364 Wellington Street Precinct 9. HO474 Burnley Street Precinct, Richmond 10. HO524 Swan Street West Precinct <p>Individually Significant Places</p> <ol style="list-style-type: none"> 1. HO92 & VHR H0684 Former United Kingdom Hotel (now McDonald's) 199 Queens Parade, Clifton Hill 2. HO93 Street Trees Queens Parade, Between Alexandra Parade & Delbridge Street Clifton Hill/ North Fitzroy 3. HO216 VHR H0163 Haselmere 96 Mckean Street, Fitzroy North 4. HO221 & VHR H0892 Former ANZ Bank 370-374 Queens Parade, North Fitzroy 5. HO245 House 234 Coppin Street, Richmond 6. HO285 Former Central Club Hotel 291 Swan Street, Richmond 7. HO286 Former Burnley Theatre 365 Swan Street, Richmond 8. HO288 VHR H732 Former State Bank 214-216 Swan Street, Richmond 9. HO294 House 15 Wellington Street, Cremorne 10. HO357 VHR H48 Former Richmond South Post Office 90-92 Swan Street, Richmond 11. HO360 & VHR H2184 Dimmays 140-160 Swan Street, Richmond 	<p>Statements of Significance for Precincts and individually significant places in Richmond removed. The Yarra High Streets reference document will contain the following:</p> <p>Precincts</p> <ol style="list-style-type: none"> 1. HO317 Clifton Hill Western Precinct 2. HO327 North Fitzroy Precinct 3. HO330 Queens Parade Precinct, North Fitzroy/Clifton Hill <p>Individually Significant Places</p> <ol style="list-style-type: none"> 1. HO92 & VHR H0684 Former United Kingdom Hotel (now McDonald's) 199 Queens Parade, Clifton Hill 2. HO93 Street Trees Queens Parade, Between Alexandra Parade & Delbridge Street Clifton Hill/ North Fitzroy 3. HO216 VHR H0163 Haselmere 96 Mckean Street, Fitzroy North 4. HO221 & VHR H0892 Former ANZ Bank 370-374 Queens Parade, North Fitzroy 5. HO496 St Johns Church Complex 61-87 Queens Parade, Clifton Hill 6. HO498 Row of houses, Elizabeth Terrace 472-484 Napier Street, Fitzroy North 7. HO504 Clifton Motors (former) 205-211 Queens Parade, Fitzroy North <p>Individually Significant Places within a Precinct</p> <ol style="list-style-type: none"> 1. HO317 12 Hodgkinson Street, Clifton Hill 2. HO317 William B Fox House, later House of Gentle Bunyip 94 Hodgkinson Street, Clifton Hill 3. HO317 Baptist Church & Hall 100 Hodgkinson Street, Clifton Hill 4. HO317 Residence 122 Hodgkinson Street, Clifton Hill 5. HO317 Fire Station No. 11 (former) 662 Smith Street, Clifton Hill 	<p>The exhibited Amendment sought to add <i>Yarra High Streets: Statements of Significance</i> by GJM Heritage, October 2017 (updated November 2017) (Appendix H) as a new reference document to Clause 22.02.</p> <p>However changes to Clause 43.01-5 (via Amendment VC148) now means that the document should become an incorporated document (refer above).</p> <p>This document is 51 pages long and addresses 10 precincts of which Queens Parade Precinct, North Fitzroy/Clifton Hill (HO330) is the fifth.</p> <p>In the context of this Amendment, the purpose of this document is to update the statement of significance for HO330 (Queens Parade) and to provide individual statements of significance for the properties within HO330 that are graded individually significant. It also includes statements of significance for individually significant properties within the study area that are included in HO330, HO317 (Clifton Hill West) and HO327 (North Fitzroy).</p> <p>Neither of the statements of significance for HO317 and HO327 have been updated as part of this Amendment.</p> <p>Procedurally, whilst the whole document was exhibited with the Amendment, Appendix H includes Statements of Significance for not just Queens Parade but many other high streets in Yarra.</p> <p>The Richmond references were included because it was assumed that as Amendment C191 which applies to Swan Street had been sent for authorisation prior to Queens Parade, the Swan Street amendment would proceed ahead of Amendment C231. However the Queens Parade Amendment has proceeded ahead of Swan Street.</p> <p>The changes to Clause 22.02 proposed as part of the exhibited amendment will be abandoned.</p> <p style="text-align: right;">Cont.</p>

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Exhibited	Version for adoption	Reason for change
<p>(Cremorne)</p> <p>12. HO405 The Greyhound Hotel, later Depot Hotel, now Precinct Hotel 60-62 Swan Street, Richmond</p> <p>13. HO429 - 400-402 Burnley Street, Richmond</p> <p>14. HO440 Swan Street Drill Hall 309 Swan Street, Richmond</p> <p>15. HO441 - 319 Swan Street, Richmond</p> <p>16. HO496 St Johns Church Complex 61-87 Queens Parade, Clifton Hill</p> <p>17. HO498 Row of houses, Elizabeth Terrace 472-484 Napier Street, Fitzroy North</p> <p>18. HO504 Clifton Motors (former) 205-211 Queens Parade, Fitzroy North</p> <p>19. HO522 Shop and Residence 273A Swan Street, Richmond</p> <p>20. HO523 Pair of Shops 323-325 Swan Street, Richmond</p> <p>Individually Significant Places within a Precinct</p> <p>1. HO317 - 12 Hodgkinson Street, Clifton Hill</p> <p>2. HO317 William B Fox House, later House of Gentle Bunyip 94 Hodgkinson Street, Clifton Hill</p> <p>3. HO317 Baptist Church & Hall 100 Hodgkinson Street, Clifton Hill</p> <p>4. HO317 Residence 122 Hodgkinson Street, Clifton Hill</p> <p>5. HO317 Fire Station No. 11 (former) 662 Smith Street, Clifton Hill</p> <p>6. HO327 National Bank, former 460 Brunswick Street, Fitzroy North</p> <p>7. HO327 House 17 Delbridge Street, Fitzroy North</p> <p>8. HO327 - 218 McKean Street, Fitzroy North</p> <p>9. HO327 - 220 McKean Street, Fitzroy North</p> <p>10. HO327 Hatherlie 224 McKean Street, Fitzroy North</p> <p>11. HO327 K. G. Luke Pty Ltd factory (former) 26-52 Queens Parade, Fitzroy North</p> <p>12. HO327 Selotta Shoes Pty Ltd factory (former) 122 Queens Parade, Fitzroy North</p>	<p>6. HO327 National Bank, former 460 Brunswick Street, Fitzroy North</p> <p>7. HO327 House 17 Delbridge Street, Fitzroy North</p> <p>8. HO327 - 218 McKean Street, Fitzroy North</p> <p>9. HO327 - 220 McKean Street, Fitzroy North</p> <p>10. HO327 Hatherlie 224 McKean Street, Fitzroy North</p> <p>11. HO327 K. G. Luke Pty Ltd factory (former) 26-52 Queens Parade, Fitzroy North</p> <p>12. HO327 Selotta Shoes Pty Ltd factory (former) 122 Queens Parade, Fitzroy North</p> <p>13. HO327 Christian Brothers Monastery, later units, G Maher House 256-262 Queens Parade, Fitzroy North</p> <p>14. HO330 Clifton Hill Hotel 89 Queens Parade, Clifton Hill</p> <p>15. HO330 Melbourne Savings Bank, later State Savings Bank 97-99 Queens Parade, Clifton Hill</p> <p>16. HO330 Doctor's surgery and house (former) 105 Queens Parade, Clifton Hill</p> <p>17. HO330 Albert Hall, also Masonic Hall, later Samian Social Club 127-129 Queens Parade, Clifton Hill</p> <p>18. HO330 Daintons Family Hotel, later Normanby Hotel 139 Queens Parade, Clifton Hill</p> <p>19. HO330 Clifton Hill Post Office, former 141 Queens Parade, Clifton Hill</p> <p>20. HO330 National Bank of Australasia, former 270 Queens Parade, Fitzroy North</p>	<p>The version for adoption will consist of the statements of significance for the HO330 and for individually significant places within HO330, HO317 and HO327 Statements of Significance for Queens Parade Precinct, North Fitzroy/Clifton Hill (HO330) and individually significant places within HO330, HO317 and HO327: as contained within the Yarra High Streets: Statements of Significance by GJM Heritage, October 2017 (updated November 2017).</p>

Attachment 3

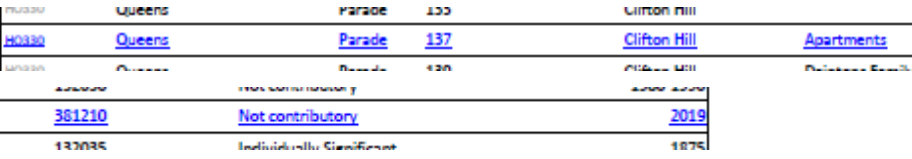
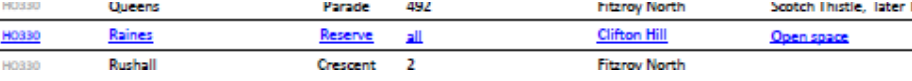
Underlined text signifies a mandatory control

Exhibited	Version for adoption	Reason for change
<p>13. HO327 Christian Brothers Monastery, later units, G Maher House 256-262 Queens Parade, Fitzroy North</p> <p>14. HO330 Clifton Hill Hotel 89 Queens Parade, Clifton Hill</p> <p>15. HO330 Melbourne Savings Bank, later State Savings Bank 97-99 Queens Parade, Clifton Hill</p> <p>16. HO330 Doctor's surgery and house (former) 105 Queens Parade, Clifton Hill</p> <p>17. HO330 Albert Hall, also Masonic Hall, later Samian Social Club 127-129 Queens Parade, Clifton Hill</p> <p>18. HO330 Daintons Family Hotel, later Normanby Hotel 139 Queens Parade, Clifton Hill</p> <p>19. HO330 Clifton Hill Post Office, former 141 Queens Parade, Clifton Hill</p> <p>20. HO330 National Bank of Australasia, former 270 Queens Parade, Fitzroy North</p> <p>21. HO335 Shops and Residences 454-456 Church Street, Cremorne</p> <p>22. HO335 Corner Hotel 57-61 Swan Street, Richmond</p> <p>23. HO335 H. E. McNaughton ironmongery & residence, former 69 Swan Street, Richmond</p> <p>24. HO335 National Bank of Australasia 105 Swan Street, Richmond</p> <p>25. HO335 Shops and residences 232-234 Swan Street, Richmond</p> <p>26. HO335 M. Ball & Co, former 236-240 Swan Street, Richmond</p> <p>27. HO335 Whitehorse Hotel, former 250-252 Swan Street, Richmond</p> <p>28. HO474 Shops and Residences 413-415 Swan Street, Richmond</p>		

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City of Yarra: Review of Heritage Overlay Areas 2007 - Appendix 8 (Incorporated Document)

Property	Exhibited	Version for adoption	Reason for change
137 Queens Parade	The entry in Appendix 8 read: 	Entry updated to delete 'vacant' and replace with 'Apartments'.	It is proposed to change the description of the land at 137 Queens Parade in Appendix 8. When exhibited, Appendix 8 showed land at 137 Queens Parade as vacant. Since that time, apartments have been constructed on the land. Appendix 8 has been updated to reflect that change.
Raines Reserve	The entry in Appendix 8 read: 	Spelling of Raines Reserve corrected.	The third recommendation from the Panel was to correct the spelling of Raines Reserve (from 'Rains' to 'Raines'). Officers have corrected the spelling of it in Appendix 8.

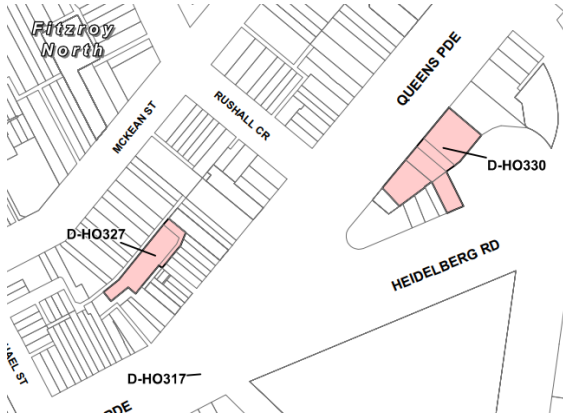

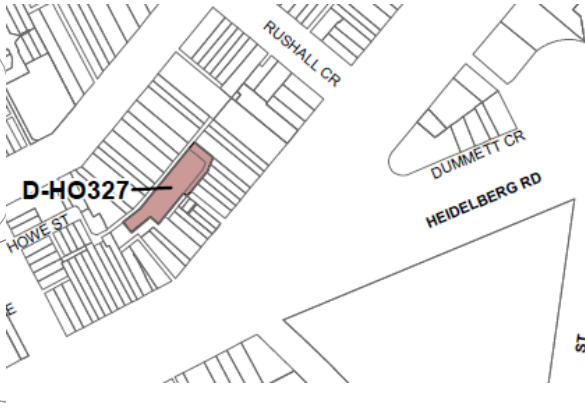
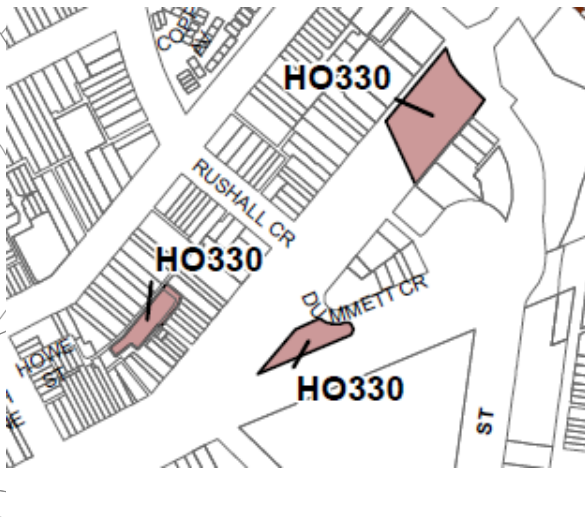
Schedule to Clause 72.04 – Schedule to documents incorporated in this Planning Scheme

Exhibited	Version for adoption	Reason for change
Reference to the Statement of Significance was not included in the Schedule to the Incorporated Document. The Statements of Significance, exhibited as part of the GJM Built Form Heritage Analysis, were exhibited as 'reference documents'.	Reference added to the Statements of Significance: <i>Yarra High Streets: Statements of Significance</i> March 2020.	As outlined above, the exhibited Amendment sought to add <i>Yarra High Streets: Statements of Significance</i> by GJM Heritage, October 2017 (updated November 2017) (Appendix H) as a new reference document to Clause 22.02. However changes to Clause 43.01-5 (via Amendment VC148) now means that the document should become an incorporated document.

Attachment 3

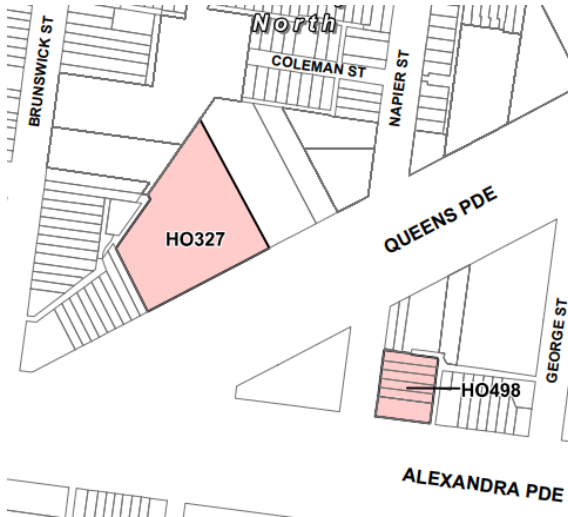
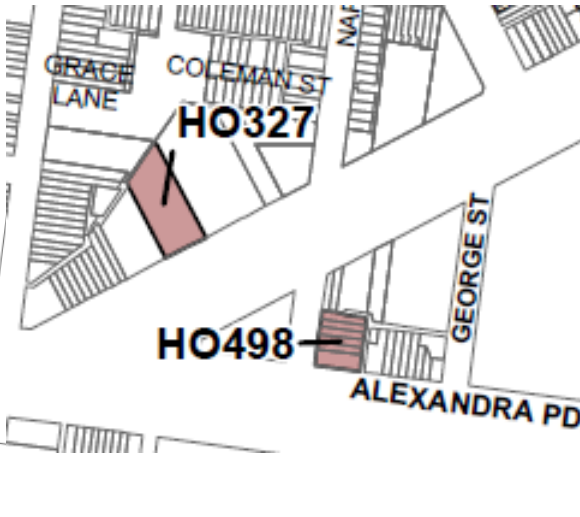
Underlined text signifies a mandatory control

Planning Scheme Maps

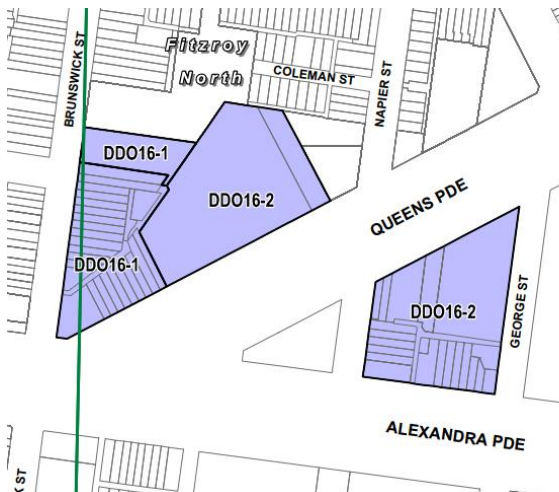
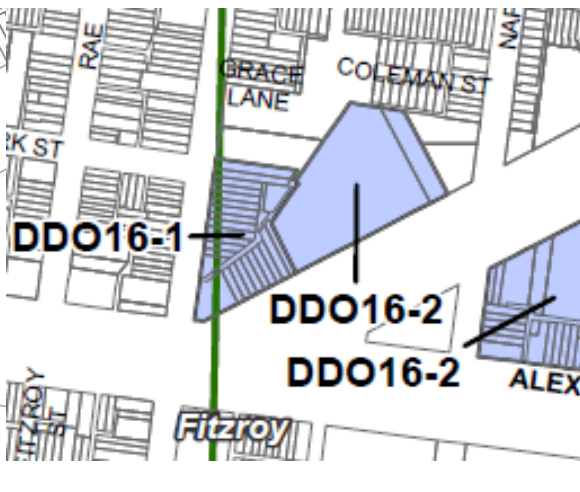
Property	Exhibited	Version for adoption	Reason for change
Heritage Overlay Maps			
<p>Clifton Motors (205-211 Queens Parade), 201-203 and 213-215 Queens Parade and 10-12 Dummett Crescent</p>	<p>Deletions:</p>  <p>Additions / changes:</p> 	<p>Deletions:</p>  <p>Additions / changes:</p> 	<p>Since exhibition of Amendment C231, the Minister for Planning has approved Amendment C267 to the Yarra Planning Scheme which was prepared by Heritage Victoria (to reflect the place's inclusion on the Victorian Heritage Register – VHR).</p> <p>Amendment C267 removed the Former Clifton Motor Garage from HO330 and included it in its own Heritage Overlay HO480.</p> <p>The exhibited version of C231 had proposed to include the Former Clifton Motors in its own Heritage Overlay but that is no longer required and accordingly will not now form part of the Amendment.</p> <p>The other issue arising in relation to the Former Clifton Motor Garage is that Heritage Victoria only included the land at 205-211 Queens Parade in HO480.</p> <p>The land at 10-12 Dummett Crescent, 201-203 and 213-215 Queens Parade is in the same ownership but was not included in HO480.</p> <p>The exhibited Amendment proposed to delete land at 10-12 Dummett Crescent from HO330 and give it its own Heritage Overlay. However, this change will not be progressed as it is no longer necessary.</p> <p>The site will therefore remain in HO330 along with the land at 201-203 and 213-215 Queens Parade. The Heritage Overlay map has been amended to reflect this change.</p>

Attachment 3

Underlined text signifies a mandatory control

Property	Exhibited	Version for adoption	Reason for change
<p>KG Luke Building – 26-52 Queens Parade</p>	<p>Additions / changes:</p> 	<p>Additions / changes:</p> 	<p>The purpose of the amendment was to include the remainder of the KG Luke building at 26-52 Queens Parade which was not included in HO327 in this HO. HO327 currently applies to part of the building and significant façade but not all of it.</p> <p>Exhibited version showed the HO applying to the area already within HO327 and the additional section sought to be included.</p> <p>The version for adoption corrects this error and applies HO327 to the portion of the site not currently covered by the HO.</p>

Design and Development Overlay Maps

<p>500 Brunswick Street</p>	<p>Additions / changes:</p> 	<p>Additions / changes:</p> 	<p>The exhibited planning scheme maps for DDO16, which show which land is affected by the DDO, shows the Aquila apartments at 500 Brunswick Street as included in the DDO.</p> <p>This property was included in the maps in error. The land is occupied by a relatively recent apartment development and is unlikely to be redeveloped in the foreseeable future.</p> <p>The DDO is not required over this property. The maps have been amended to remove this property from the DDO.</p>
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