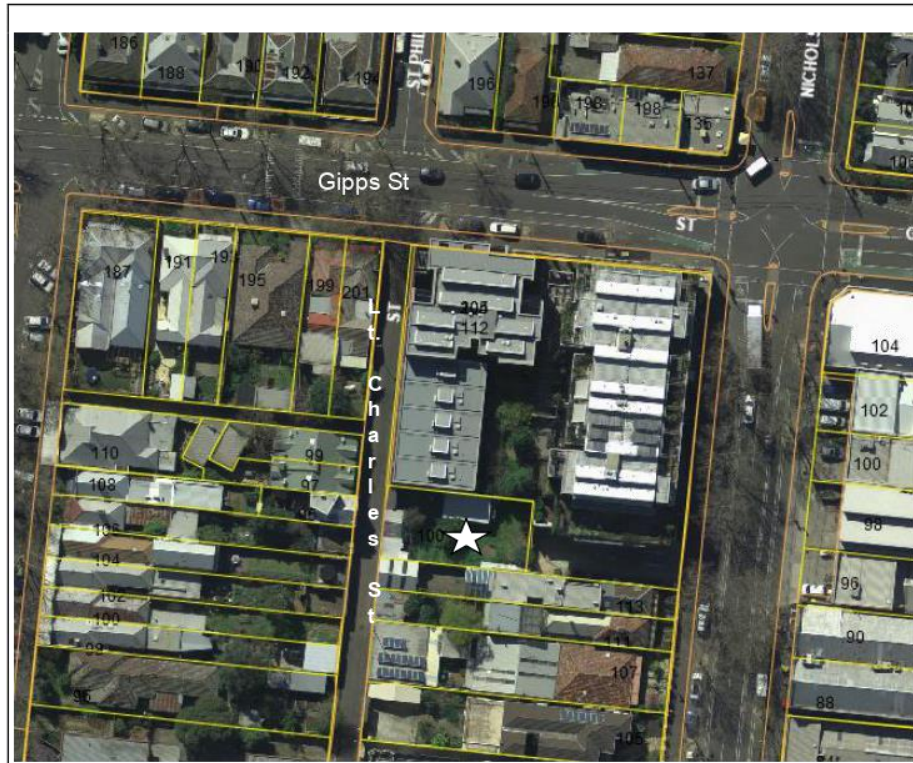


Attachment 1 - PLN19/0178 - 100 Little Charles Street Abbotsford - Subject Land

SUBJECT LAND: 100 Little Charles Street, Abbotsford



↑ North

★ Subject Site

Attachment 2 - PLN19/0178 - 100 Little Charles Street Abbotsford - Decision (advertised) Plans

Proposed Dwelling

at

100 Little Charles Street Abbotsford



DRAWING INDEX

	Drawing Name	Scale	Revision
TP00	Cover Page		D
TP01	Project Summary		A
TP02	Neighbourhood + Site Description	1:500	A
TP03	Existing Cond. + Demolition Plan	1:100	D
TP04	Ground Floor Plan	1:100	D
TP05	First Floor Plan	1:100	D
TP06	Site + Roof Plan	1:100	D
TP07	Design Response	1:500	C
TP08	Elevations 1	1:100	C
TP09	Elevations 2	1:100	C
TP10	Elevations 3	1:100	D
TP11	Sections	1:100	C
TP12	Existing Shadows - 9AM Sep. 22	1:150	B
TP13	Shadow Diagram - 9AM Sep. 22	1:150	D
TP14	Shadow Diagram - 10AM Sep. 22	1:150	C
TP15	Shadow Diagram - 11AM Sep. 22	1:150	C
TP16	Shadow Diagram - 12PM Sep. 22	1:150	D
TP17	Shadow Diagram - 1PM Sep. 22	1:150	C
TP18	Shadow Diagram - 2PM Sep. 22	1:150	C
TP19	Shadow Diagram - 3PM Sep. 22	1:150	D

WATER SENSITIVE URBAN DESIGN

FOR STORM RATING AND ASSOCIATED REQUIREMENTS FOR THE PROPOSED DEVELOPMENT, REFER TO THE WATER SENSITIVE URBAN (WSUD) REPORT PREPARED BY:

PASSIVENERGY

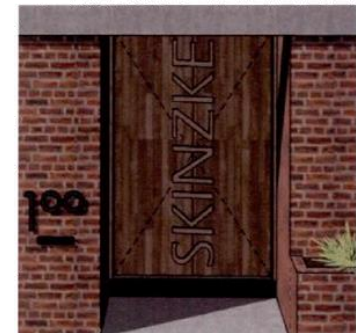
JOB No: 190423

6 STAR ENERGY RATING

FOR THE 6 STAR ENERGY RATING AND ASSOCIATED REQUIREMENTS FOR THE PROPOSED DEVELOPMENT, REFER TO THE REPORT PREPARED BY:

PASSIVENERGY

JOB No: 190424



<div><div>JTD</div><div>JUSTIN THYER DESIGN</div></div> <div>Suite 5, 171 Black Road Abbotsford VIC 3112 03 9377 0282, 0434 443 120 info@jtdesign.com.au jtdesign.com.au</div> <div>19-0103 SKINZKE</div>	<div>Justin Thyer Design is the owner of these plans. Designed as a concept drawing only. They are not to be used, reproduced or copied, in whole or part, nor the information, data and concepts herein contained be disclosed to any person without the Designer's written consent.</div> <div>Do not scale drawings.</div> <div>Further alterations to this presentation are void.</div> <div>Clearly any discrepancies shall commence with.</div>	<div>DATE: 25/08/2019 BY: JTD CHECKED: 25/08/2019 BY: JTD REVISION: 19-0103 BY: JTD</div>	<div>PROJECT DETAILS</div> <div>Proposed Dwelling</div> <div>100 Little Charles Street, Abbotsford</div> <div>Andrew + Luisa</div>	<div>TOWN PLANNING</div> <div>Not for Construction</div>	<div>TP00</div> <div>Project Information</div> <div>Cover Page</div>	<div>ISSUE</div> <div>D</div> <div>16/08/2019</div>
		<div>SCALE: of A3 DESIGNED: JT DRAWN: JT CHECKED: JT</div>				

Attachment 2 - PLN19/0178 - 100 Little Charles Street Abbotsford - Decision (advertised) Plans

SITE DETAILS

Address: 100 Little Charles Street Abbotsford
 Lot / Plan: Lot 1 TP702352
 SPI (Standard Parcel Identifier): 1\TP702352
 Local Government (Council): Yarra
 Council Property Number: 376560
 Directory Reference: Melway 2C K11

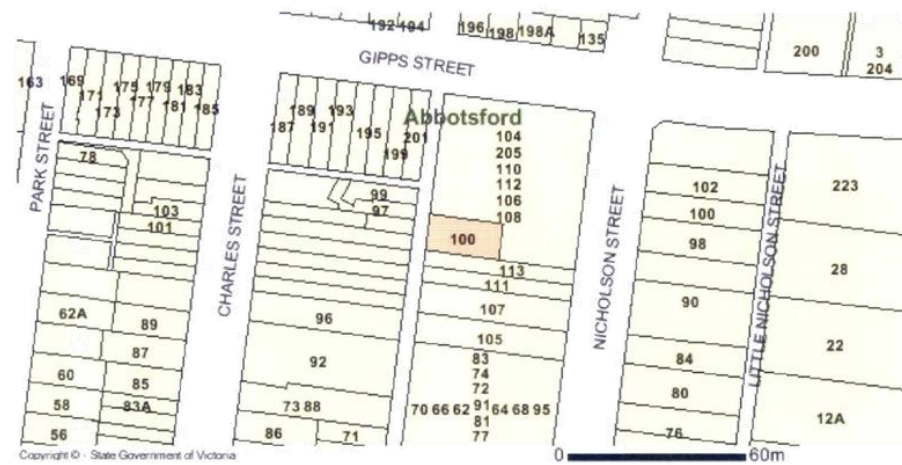
Bushfire Prone Area: No

Utilities

Rural Water Business: Southern Rural Water
 Melbourne Water Retailer: City West Water
 Melbourne Water: inside drainage boundary
 Power Distributor: CIPPOWER

Planning Zone Summary

Planning Zone: Neighbourhood Residential Zone - Schedule 1 (NRZ1)
 Planning Overlays: Heritage Overlay Schedule (HO313)



APPROVALS

Legal Point of Discharge

Council Reference: TBC
 Summary: TBC
 Notes: TBC

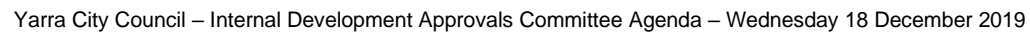
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Attachment 2 - PLN19/0178 - 100 Little Charles Street Abbotsford - Decision (advertised) Plans

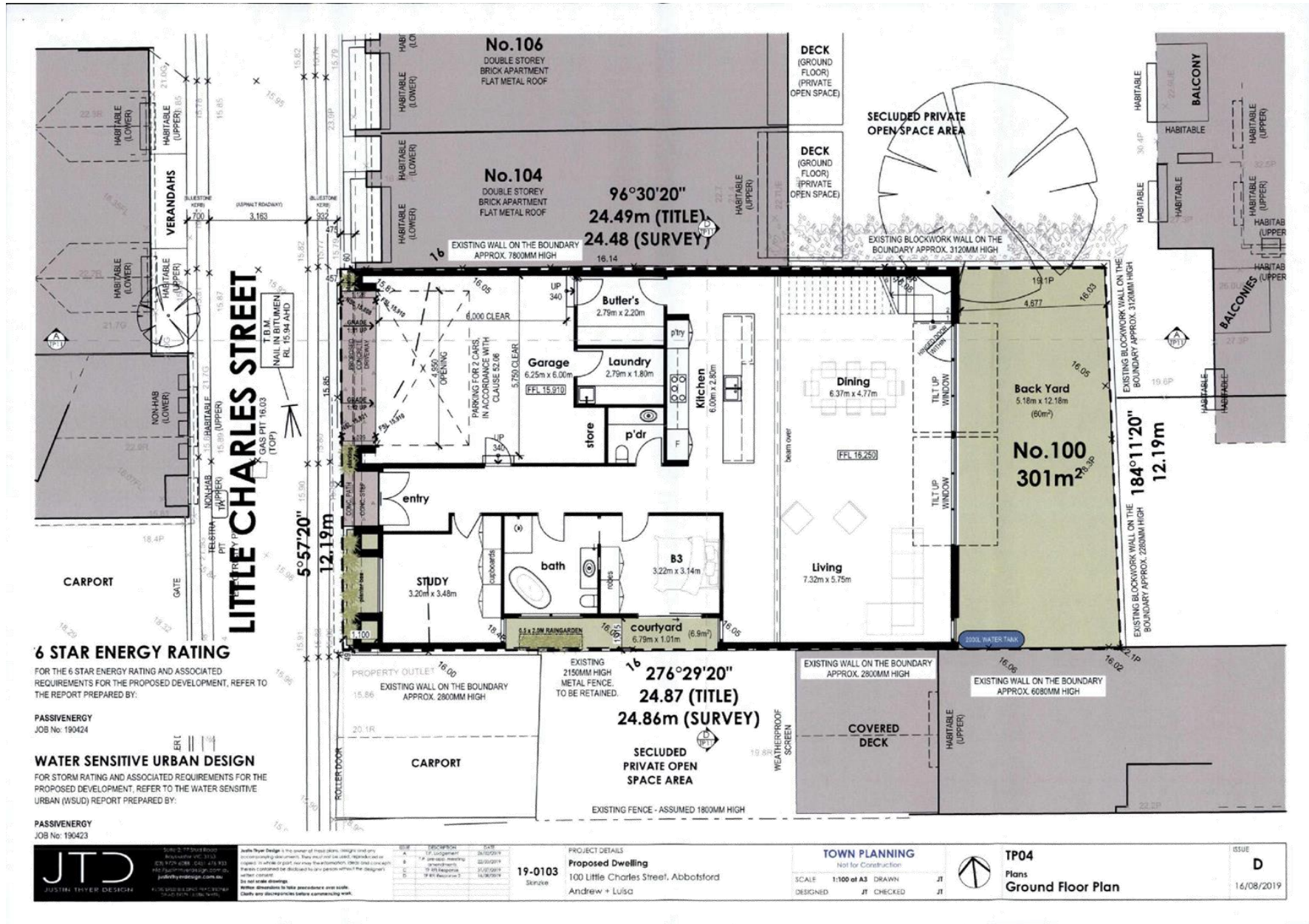


LEGEND	
SS	DWELLING MATERIALS
B/V	ABBREVIATIONS:
TILES	SS = SINGLE STOREY
	DS = DOUBLE STOREY
	B/V = BRICK VENEER
	W/B = WEATHERBOARD
	REND. = RENDERED
	TILES = TILED ROOF
	SH. = SHEET ROOF
S.P.O.S.	NEIGHBOUR SECLUDED PRIVATE OPEN SPACE AREA
1800H T/P	FRONT FENCE STYLE (HEIGHT IN MILLIMETRES)
	(NO FENCE IF NOTHING NOTED)
	ABBREVIATIONS:
	TIM = TIMBER
	T/P = TIMBER PALING
	T/PICK = TIMBER PICKET
	MET = METAL
	R/W = RETAINING WALL
	VEG. = VEGETATION (MOD.-DENSE)
	REND. = RENDERED
	HORIZ. = HORIZONTAL

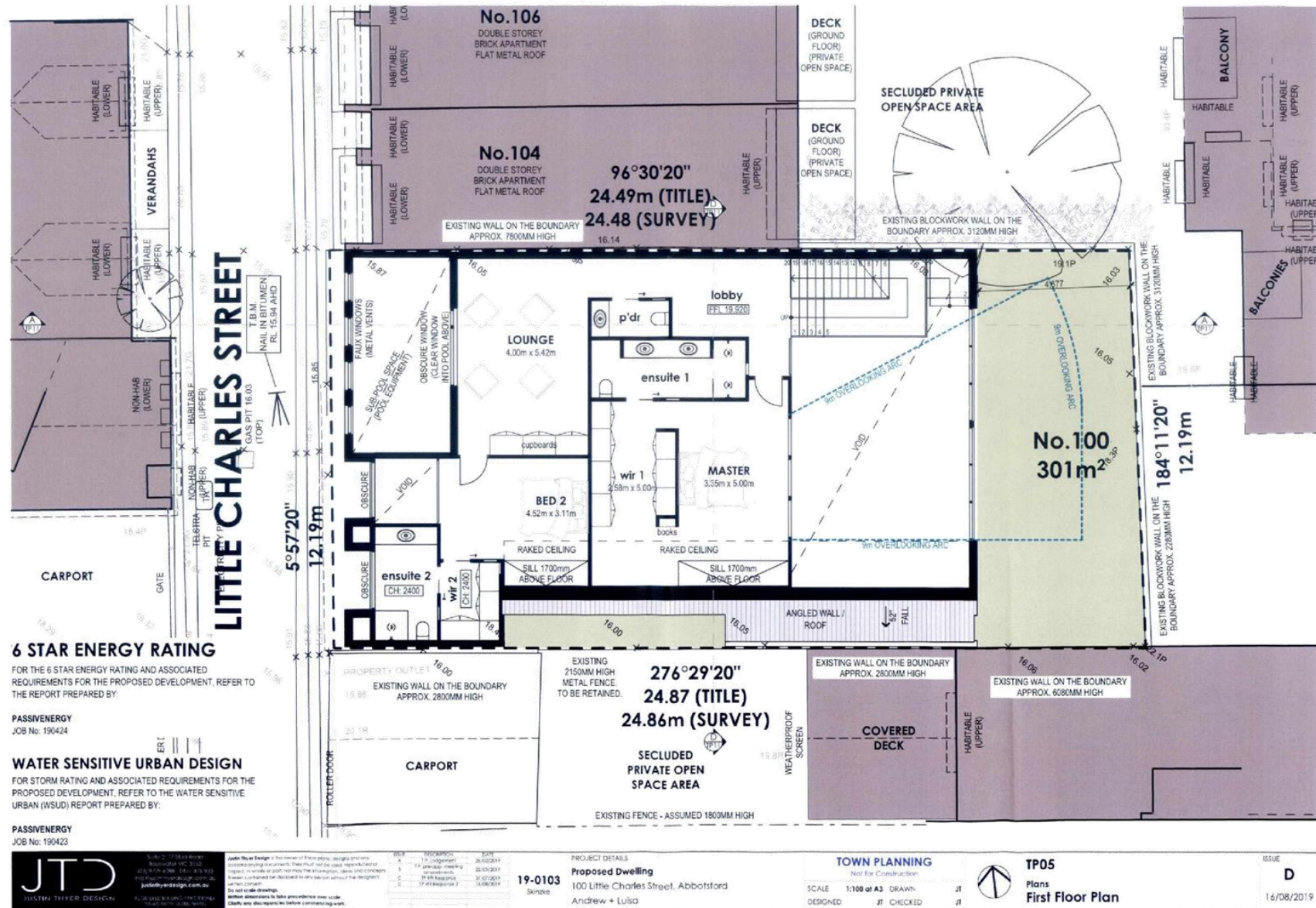
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				SCALE 1:500 of A3 DESIGNED JT CHECKED JT			



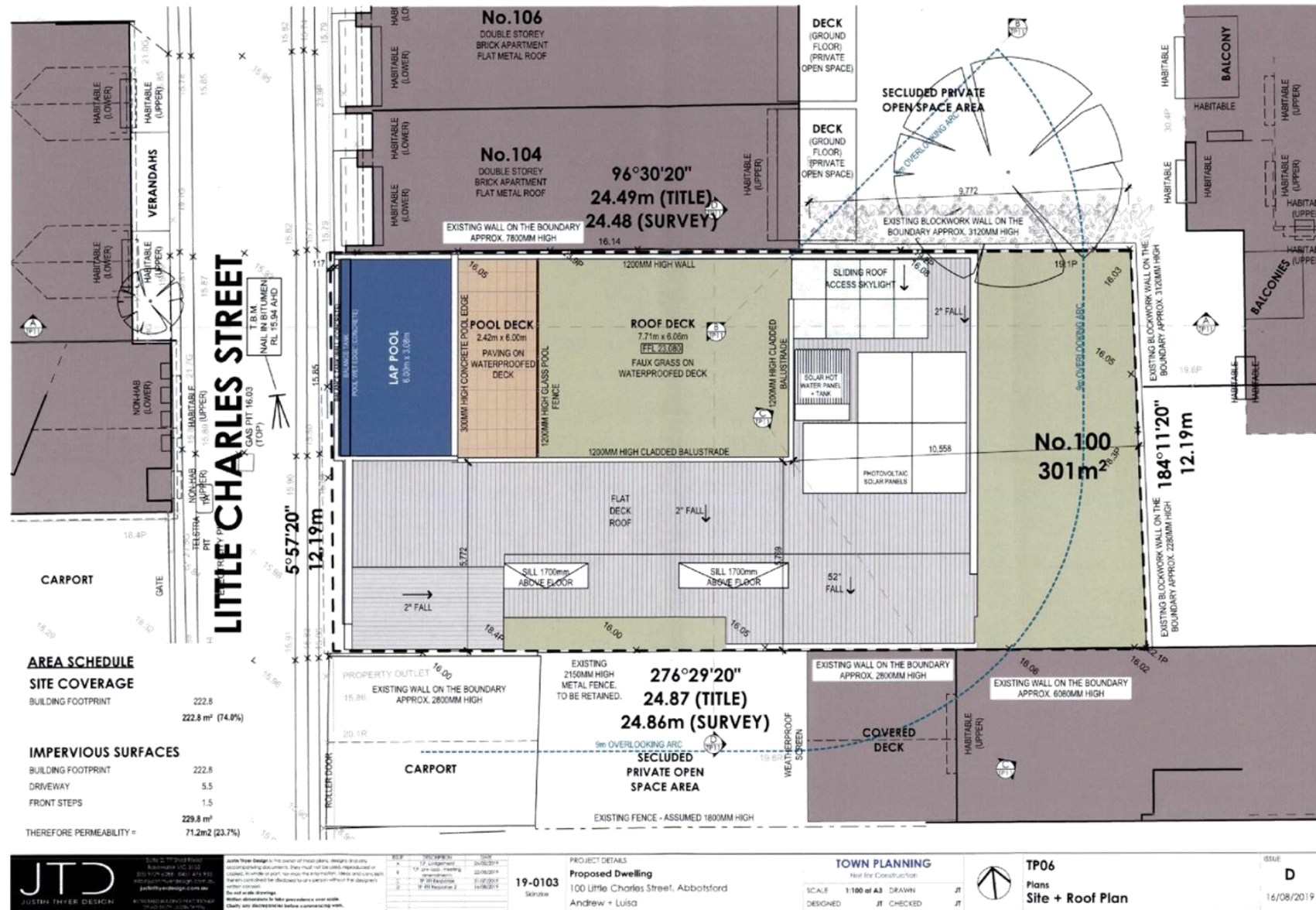
Attachment 2 - PLN19/0178 - 100 Little Charles Street Abbotsford - Decision (advertised) Plans



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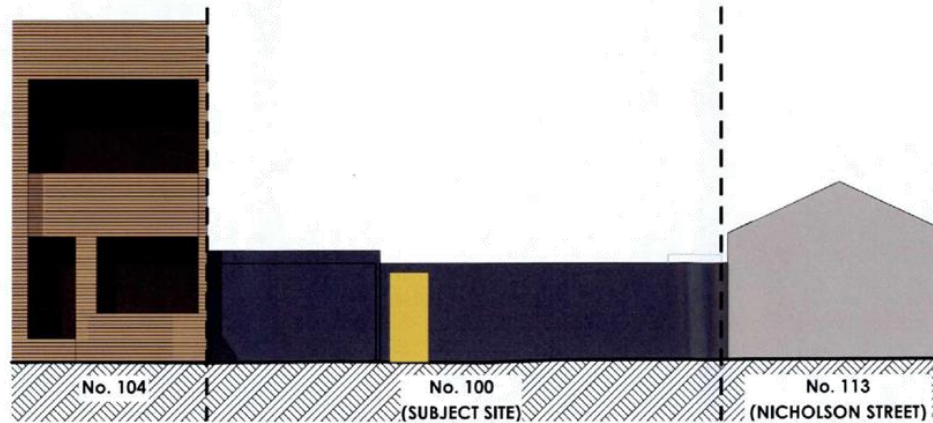
Attachment 2 - PLN19/0178 - 100 Little Charles Street Abbotsford - Decision (advertised) Plans



LEGEND	
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		19-0103 Skanska Proposed Dwelling 100 Little Charles Street, Abbotsford Andrew + Luisa	SCALE 1:500 of A3 DESIGNED JT CHECKED JT	TP07 Plans Design Response	ISSUE C 31/07/2019

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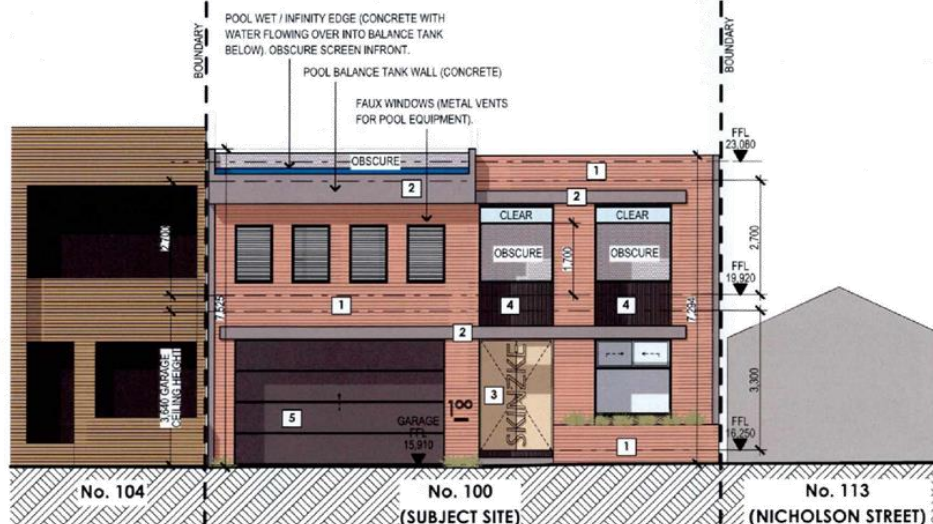


LITTLE CHARLES STREET ELEVATION (existing)
SCALE 1:100

EXTERNAL COLOUR SCHEDULE

COLOURS AND FINISHES SPECIFIED ARE TO BE USED OR SUBSTITUTED WITH A SIMILAR ALTERNATIVE

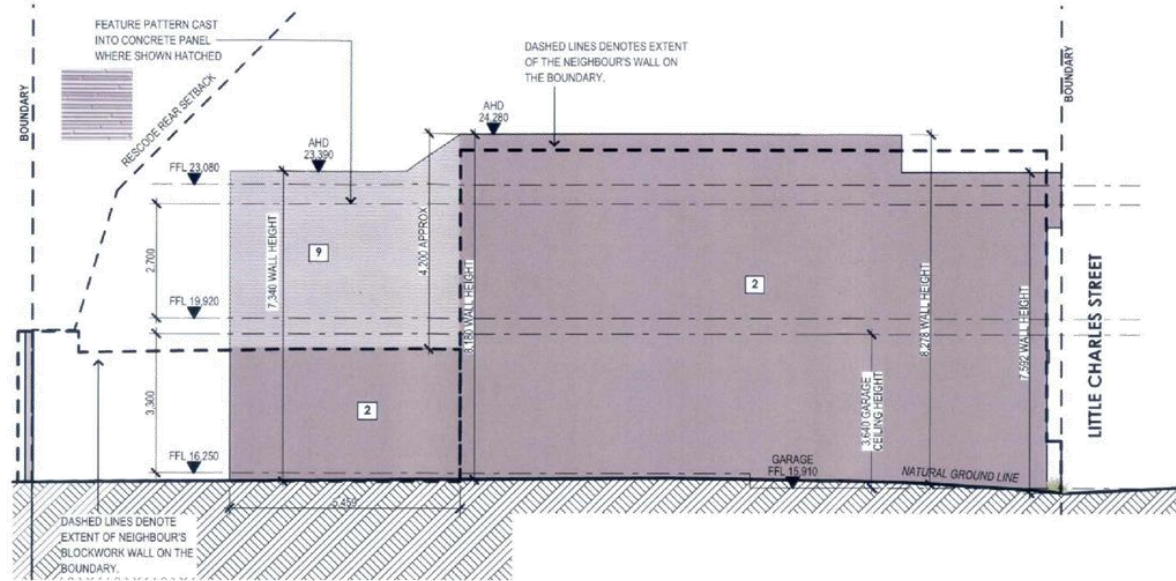
- 1 FACE BRICKWORK - SELECTED RED BRICKS WITH OFF WHITE MORTAR
- 2 PLAIN CONCRETE FINISH
- 3 FRONT DOOR - SELECTED HARDWOOD
- 4 CLADDING - VERTICAL 'CUSTOM ORB' (CORRUGATED) IN COLORBOND 'MONUMENT' (DARK GREY)
- 5 SECTIONAL GARAGE DOOR - COLORBOND 'MONUMENT'
- 6 SELECTED VERTICAL TIMBER CLADDING IN NATURAL STAIN FINISH
- 7 WINDOW AND DOOR FRAMES - COLORBOND 'NIGHT SKY' (BLACK)
- 8 FLAT DECK ROOF - COLORBOND 'SHALE GREY' (LIGHT GREY)
- 9 PRECAST CONCRETE PANEL WITH CAST IN FEATURE TEXTURE



LITTLE CHARLES STREET ELEVATION (proposed)
SCALE 1:100

<div><div>JTD</div><div>JUSTIN THYER DESIGN</div></div> <div>Suite 2, 77 Maud Road, Abbotsford VIC 3066 (03) 9729 4388, (03) 9729 4333 jtd@justinthyerdesign.com.au justinthyerdesign.com.au</div> <div>19-0103 - 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Attachment 2 - PLN19/0178 - 100 Little Charles Street Abbotsford - Decision (advertised) Plans



NORTH ELEVATION
SCALE 1:100

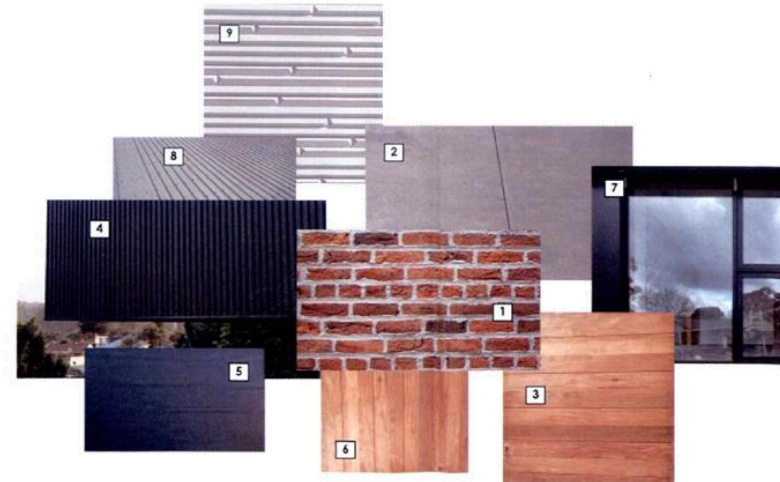


EAST ELEVATION
SCALE 1:100

EXTERNAL COLOUR SCHEDULE

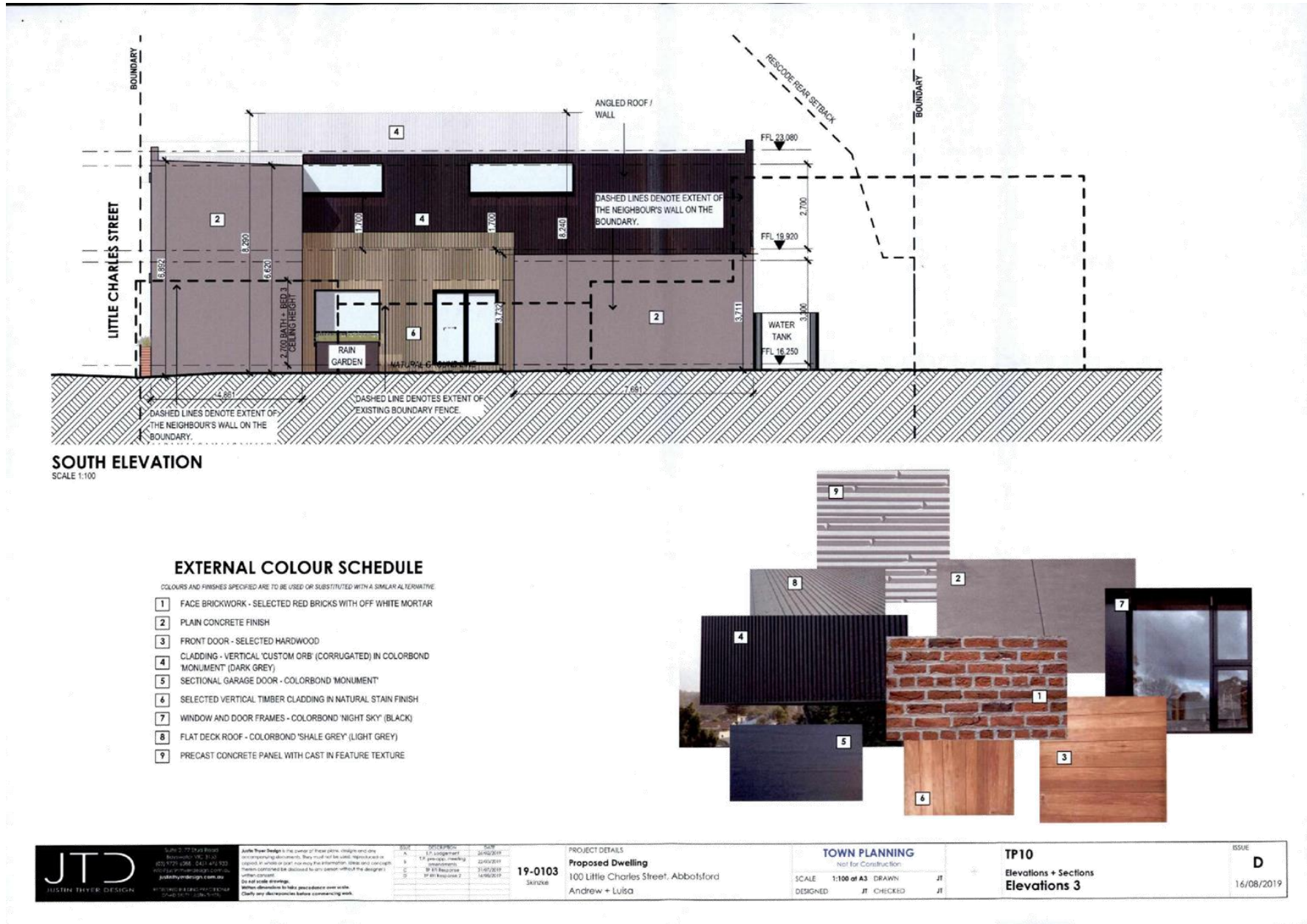
COLOURS AND FINISHES SPECIFIED ARE TO BE USED OR SUBSTITUTED WITH A SIMILAR ALTERNATIVE.

- 1 FACE BRICKWORK - SELECTED RED BRICKS WITH OFF-WHITE MORTAR
- 2 PLAIN CONCRETE FINISH
- 3 FRONT DOOR - SELECTED HARDWOOD
- 4 CLADDING - VERTICAL 'CUSTOM ORB' (CORRUGATED) IN COLORBOND 'MONUMENT' (DARK GREY)
- 5 SECTIONAL GARAGE DOOR - COLORBOND 'MONUMENT'
- 6 SELECTED VERTICAL TIMBER CLADDING IN NATURAL STAIN FINISH
- 7 WINDOW AND DOOR FRAMES - COLORBOND 'NIGHT SKY' (BLACK)
- 8 FLAT DECK ROOF - COLORBOND 'SHALE GREY' (LIGHT GREY)
- 9 PRECAST CONCRETE PANEL WITH CAST IN FEATURE TEXTURE

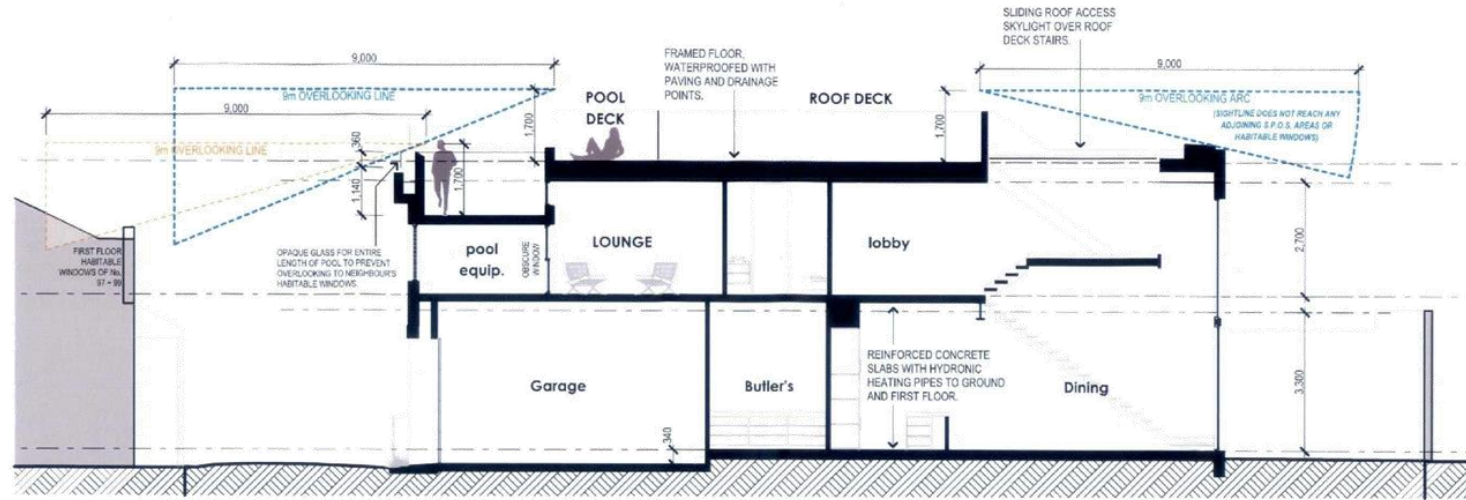


JTD JULIAN THAYER DESIGN	Suite 2, 77 The Road Abbotsford VIC 3113 03 9519 4100 (Call 03 9519 4101) 03 9519 4102 (Fax) jtd@jtdesign.com.au	Julian Thayer Design is the author of these plans, designs and drawings. Any person who uses these plans, designs and drawings without the written consent of Julian Thayer Design is liable to the author of these plans, designs and drawings for any loss or damage suffered by them as a result of such use.	PROJECT DETAILS 19-0103 Proposed Dwelling 100 Little Charles Street, Abbotsford Andrew + Luisa	TOWN PLANNING Not for Construction SCALE 1:100 of A3 DRAWN JT DESIGNED JT CHECKED JT	TP09 Elevations + Sections Elevations 2 ISSUE C 31/07/2019
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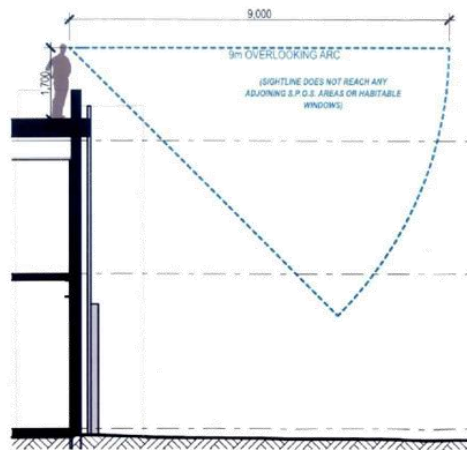
Attachment 2 - PLN19/0178 - 100 Little Charles Street Abbotsford - Decision (advertised) Plans



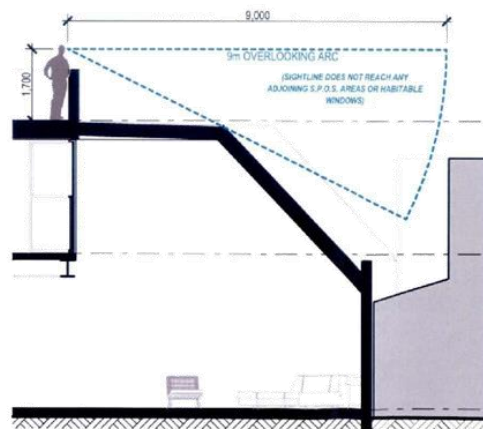
Attachment 2 - PLN19/0178 - 100 Little Charles Street Abbotsford - Decision (advertised) Plans



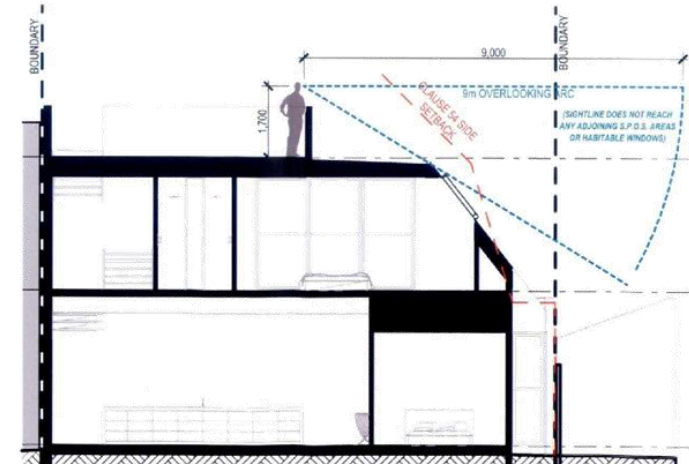
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SCALE 1:100



SECTION B-B
SCALE 1:100

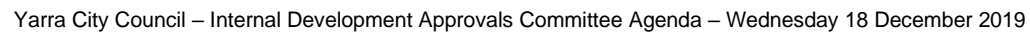


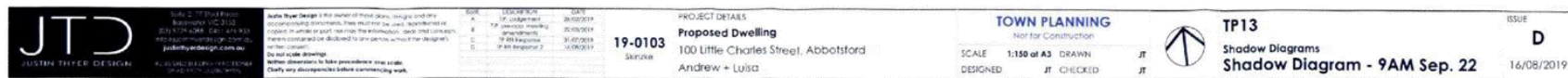
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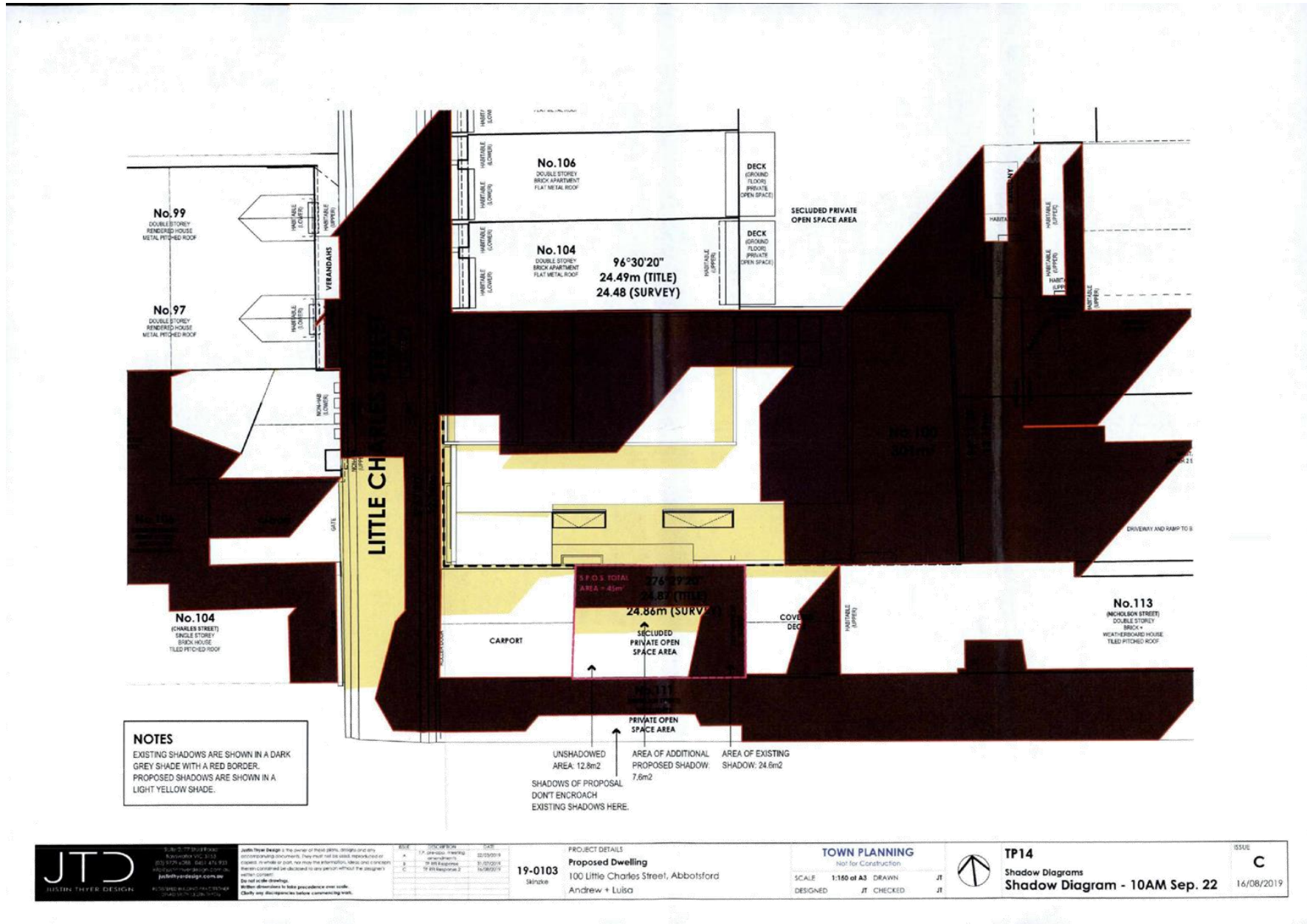
SECTION D-D
SCALE 1:100

<div><div>JTD</div><div>JUSTIN THYER DESIGN</div></div> <div>100 Little Charles Street Abbotsford VIC 3113 03 9479 4080 (M-F 9-5) 1800 600 000 (weekends) justin@jtdesign.com.au</div> <div>ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED</div>	<div>Justin Thyer Design is the owner of these plans, designs and any accompanying documents. They must not be used, reproduced or copied in whole or part, without the information, design and drawings, without the consent of Justin Thyer Design.</div> <div>Do not scale drawings.</div> <div>Refer dimensions to face, perpendicular, unless noted.</div> <div>Clarify any discrepancies before commencing work.</div>	<table><tr><th>REV</th><th>DESCRIPTION</th><th>DATE</th></tr><tr><td>A</td><td>1st design</td><td>04/07/2019</td></tr><tr><td>B</td><td>1st design - meeting</td><td>22/08/2019</td></tr><tr><td>C</td><td>1st design</td><td>27/09/2019</td></tr></table>	REV	DESCRIPTION	DATE	A	1st design	04/07/2019	B	1st design - meeting	22/08/2019	C	1st design	27/09/2019	<div>PROJECT DETAILS</div> <div><div>19-0103</div><div>Sketch</div></div> <div><div>Proposed Dwelling</div><div>100 Little Charles Street, Abbotsford</div><div>Andrew + Luisa</div></div>	<div><div>TOWN PLANNING</div><div>Not for Construction</div></div> <div>SCALE: 1:100 or A3 DRAWN: JT</div> <div>DESIGNED: JT CHECKED: JT</div>	<div><div>TP11</div><div>Elevations + Sections</div><div>Sections</div></div> <div>ISSUE C 31/07/2019</div>
	REV	DESCRIPTION	DATE														
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B	1st design - meeting	22/08/2019															
C	1st design	27/09/2019															

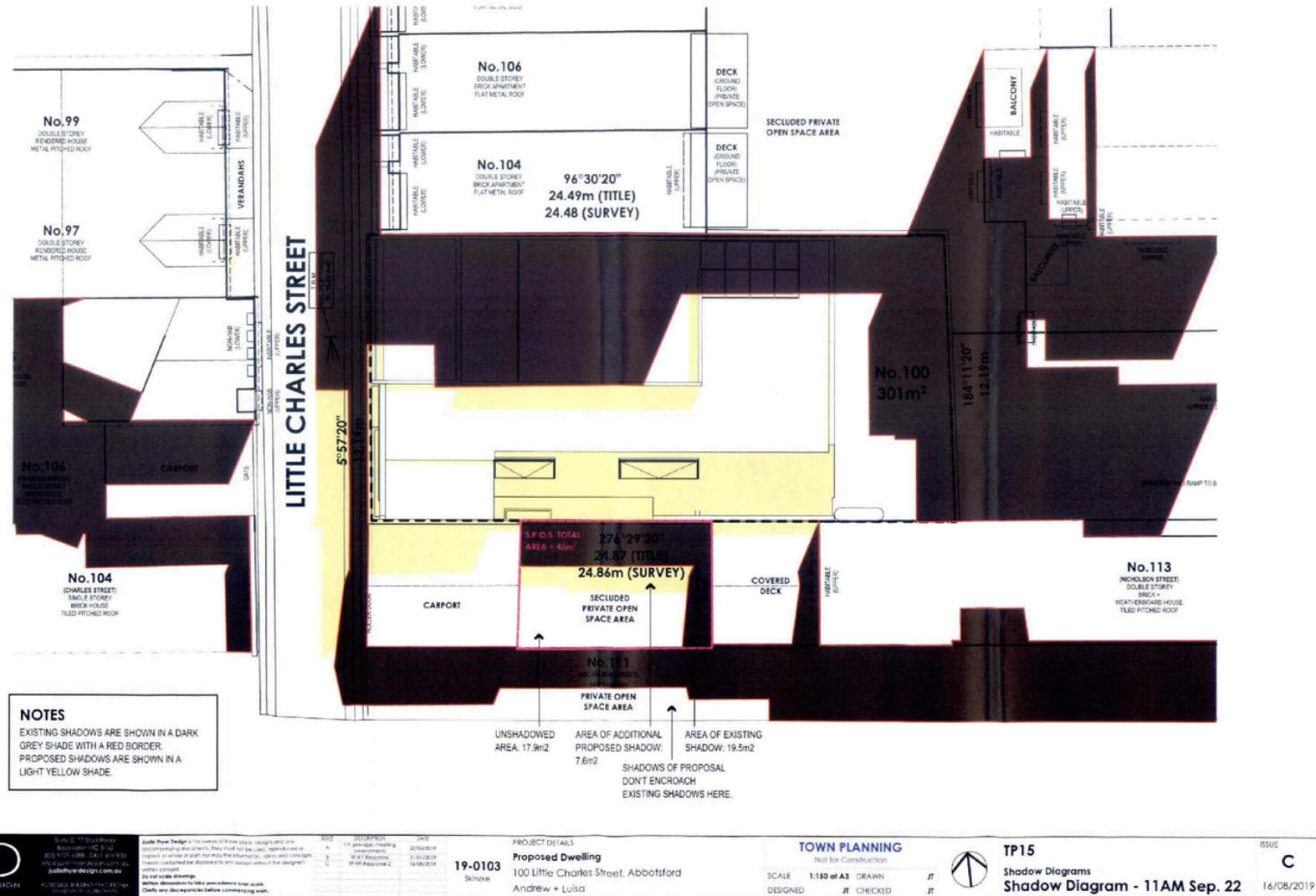




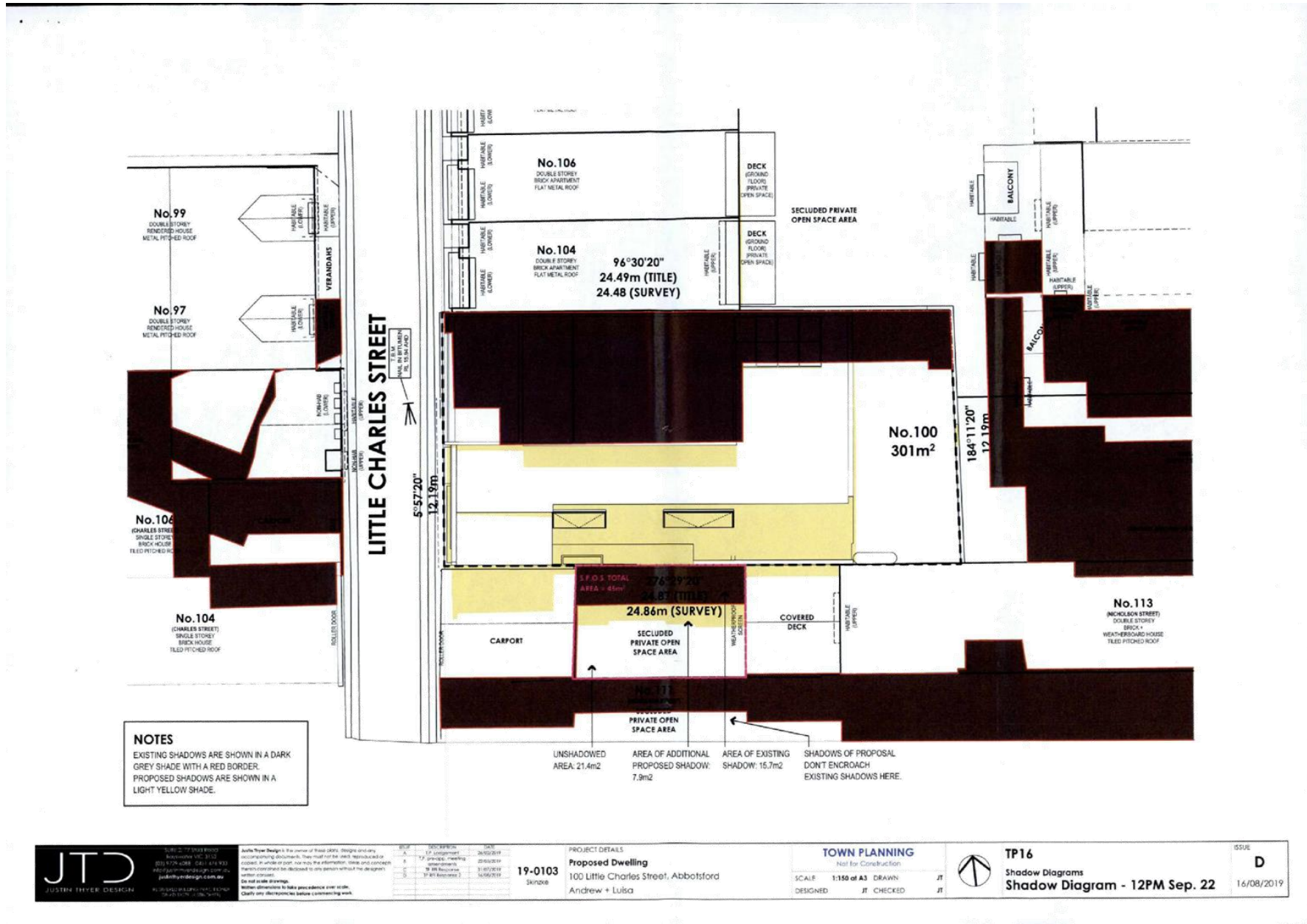
Attachment 2 - PLN19/0178 - 100 Little Charles Street Abbotsford - Decision (advertised) Plans



Attachment 2 - PLN19/0178 - 100 Little Charles Street Abbotsford - Decision (advertised) Plans

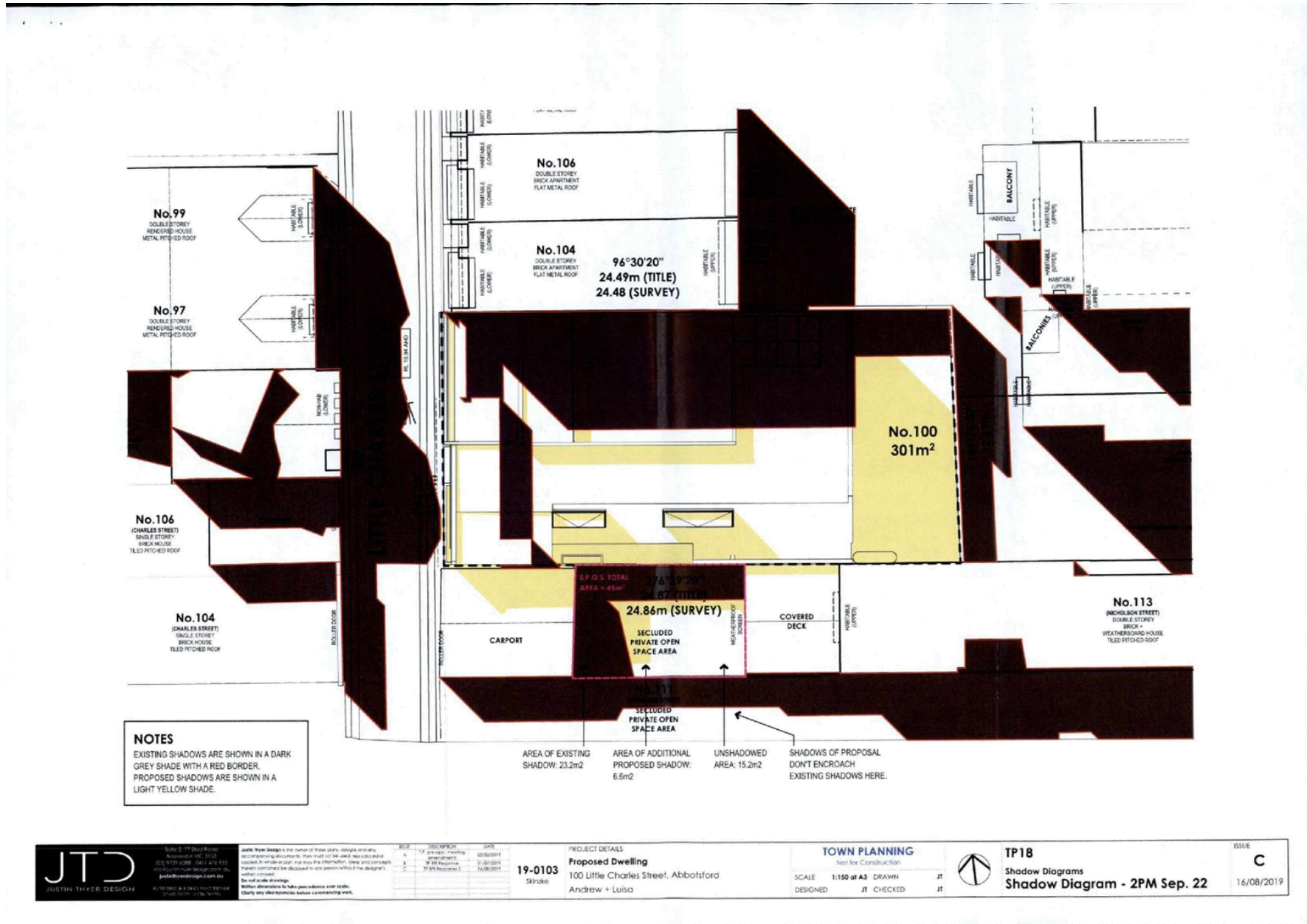


Attachment 2 - PLN19/0178 - 100 Little Charles Street Abbotsford - Decision (advertised) Plans

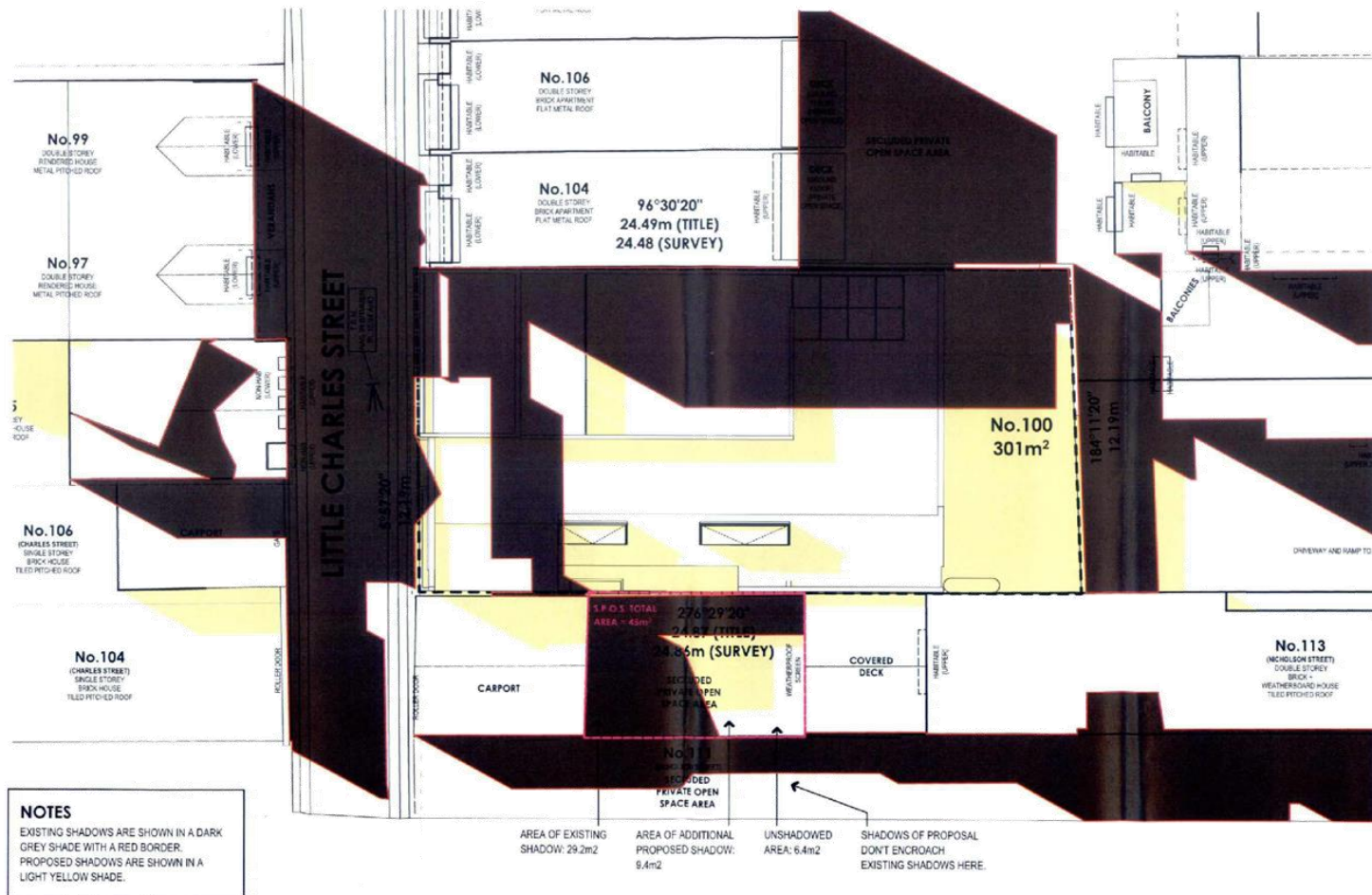


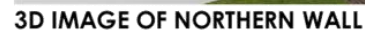


Attachment 2 - PLN19/0178 - 100 Little Charles Street Abbotsford - Decision (advertised) Plans



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REGENERO BUILDING, PEACHES & HERB
DIPLOMA, 10/11/12 JUSTIN THYER

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Do not scale drawings.
Written dimensions to take precedence over scale.
Clarify any discrepancies before commencing work.

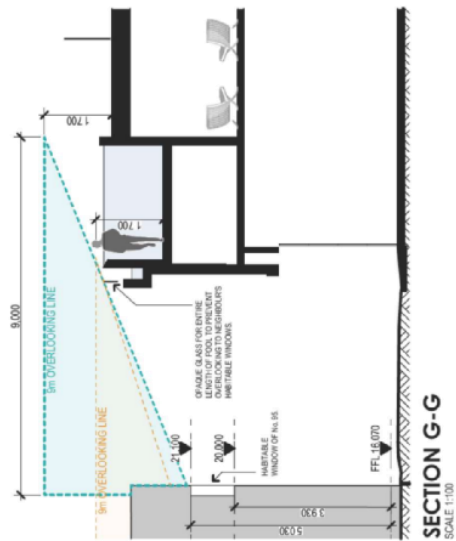
ID#	DESCRIPTION	DATE
A	1 st Judgement	24/05/2019
B	1 st pre-app. meeting on amendments	22/08/2019
C	1 st RFI Response	31/07/2019
D	1 st Amendment	1/12/2019
E	1 st Amendment	3/12/2019
F	1 st Amendment	4/12/2019

PROJECT DETAILS
Proposed Dwelling
100 Little Charles Street, Abbotsford
Andrew + Luisa

COLOURS AND FINISHES SPECIFIED ARE TO BE USED OR SUBSTITUTED WITH A SIMILAR ALTERNATIVE

- | | |
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| 8 | FLAT DECK ROOF - COLORBOND 'SHALE GREY' (LIGHT GREY) |
| 9 | OMITTED |



[illegible]

Attachment 5 - PLN19/0178 - 100 Little Charles Street Abbotsford - Engineering comments



MEMO

To: Madeleine Moloney
From: Artemis Bacani
Date: 17 October 2019
Subject: Application No: PLN19/0178
 Description: Double Storey Dwelling
 Site Address: 100 Little Charles Street, Abbotsford

I refer to the above Planning Application received on 23 September 2019 in relation to the proposed development at 100 Little Charles Street, Abbotsford. Council's Civil Engineering unit provides the following information:

DEVELOPMENT LAYOUT DESIGN

Juston Thyer Design Drawing No.TP04 Revision D dated 16 August 2019

Layout Design Assessment

Item	Assessment
Access Arrangements	
Width of Little Charles Street	According to the submitted drawings, Little Charles Street is comprised of an asphalt carriageway with a bluestone channel on either side of the carriageway. The carriageway and the channels have a combined width of 4.79 metres.
Width of Garage Doorway	The garage doorway is 4.95 metres in width.
	Off an apron width of 4.79 metres, the doorway width is considered adequate to allow two B85 design vehicles to enter and exit the garage off Little Charles Street.
Car Parking Modules	
Double Garage	The internal dimensions of the garage of 5.75 metres by 6.0 metres satisfies <i>Design standard 2 – Car parking spaces</i> .
Other	
Ramp Grade for the first 1.07 metres and 1.12 metres inside the Property	A ramp grade of 1 in 12 and 1 in 11 respectively have been provided at the entrance of the garage.

Attachment 5 - PLN19/0178 - 100 Little Charles Street Abbotsford - Engineering comments**Design Items to be Addressed**

Item	Details
Ramp Grade for the first 1.07 metres and 1.12 metres inside the Property	The applicant is to ensure that the proposed ramp grades at the entrance of the garage is designed to allow vehicles to enter and exit the garage without scraping or bottoming-out.
Internal Concrete Slab	For any new internal concrete works, the finished floor levels along the edge of the slab must be set 40 mm above the edge of Little Charles Street – Council Infrastructure requirement.

ENGINEERING CONDITIONS**Road Asset Protection**

- Any damaged roads, footpaths and other road related infrastructure adjacent to the development site as a result of the construction works, including trenching and excavation for utility service connections, must be reconstructed to Council's satisfaction and at the developer's expense.

Impact of Assets on Proposed Development

- Any services poles, structures or pits that interfere with the proposal must be adjusted, removed or relocated at the owner's expense after seeking approval from the relevant authority.
- Areas must be provided inside the property line and adjacent to the footpath to accommodate pits and meters. No private pits, valves or meters on Council property will be accepted.

Public Lighting

- Lighting for pedestrian access at the property's Little Charles Street frontage must comply with the minimum lighting level of P4 as per the Australian Standard AS/NZS 1158.3.1:2005 *Lighting for roads and public spaces - Pedestrian area (Category P) lighting - Performance and design requirements*. The lighting levels of all existing public lights near the site must be measured and checked against the AS/NZS 1158.3.1:2005 to determine whether new or upgraded public lights are required. The supply and installation of any additional or upgraded lighting, poles or other fixtures shall be funded by the Permit Holder and to the satisfaction of the Responsible Authority.
- The developer must ensure that lighting from any existing or new lights does not spill into the windows of any new residences or any existing nearby residences. Any light shielding that may be required shall be funded by the Permit Holder.

ADDITIONAL ENGINEERING ADVICE FOR THE APPLICANT

Item	Details
Legal Point of Discharge	The applicant must apply for a Legal Point of Discharge under Regulation 133 – Stormwater Drainage of the <i>Building Regulations</i> 2018 from Yarra Building Services unit. Any storm water drainage within the property must be provided and be connected to the nearest Council pit of adequate depth and capacity (legal point of discharge), or to Council's satisfaction under Section 200 of the <i>Local Government Act</i> 1989 and Regulation 133.

Attachment 5 - PLN19/0178 - 100 Little Charles Street Abbotsford - Engineering comments

Attachment 5 - PLN19/0178 - 100 Little Charles Street Abbotsford - Engineering comments

Moloney, Madeleine

From: McIntosh, Diahn
Sent: Wednesday, 25 September 2019 8:24 AM
To: Moloney, Madeleine
Subject: 100 Lt Charles St

Dear Madeleine

In response to presented plans and photographs of the above mentioned property, I wish to advise the following:

Demolition of existing structures

- The existing structures (comprising of various outbuildings and some fencing) do not appear to be of any heritage significance and their removal is supported from a heritage perspective.

Proposed new double storey dwelling with roof terrace

- The proposed new dwelling will be of an industrial character and appearance based on its form, materials and detailing.
- Little Charles Street is essentially a named rear laneway. Its character is derived by the rears of properties fronting Charles Street and Nicholson Street and a couple of more recent residential developments (that are not representative of the architectural style or period protected by the Charles Street heritage precinct).
- The design of the proposed new dwelling is appropriate from a heritage perspective as it is in keeping with the historically non-residential character of the laneway as well as the immediately adjoining development. The new building will also have limited visibility from the nearby main streets of Gipps Street and Mollison Street.

Please don't hesitate to contact me should you have any queries regarding this advice.

Kind regards,

DIAHNN McINTOSH
Heritage Advisor, Yarra City Council
Mon, Tues & Wed