

Attachment 1 - SUBJECT LAND - 104 Mary Street, Richmond - Aerial

SUBJECT LAND: 104 Mary Street, Richmond



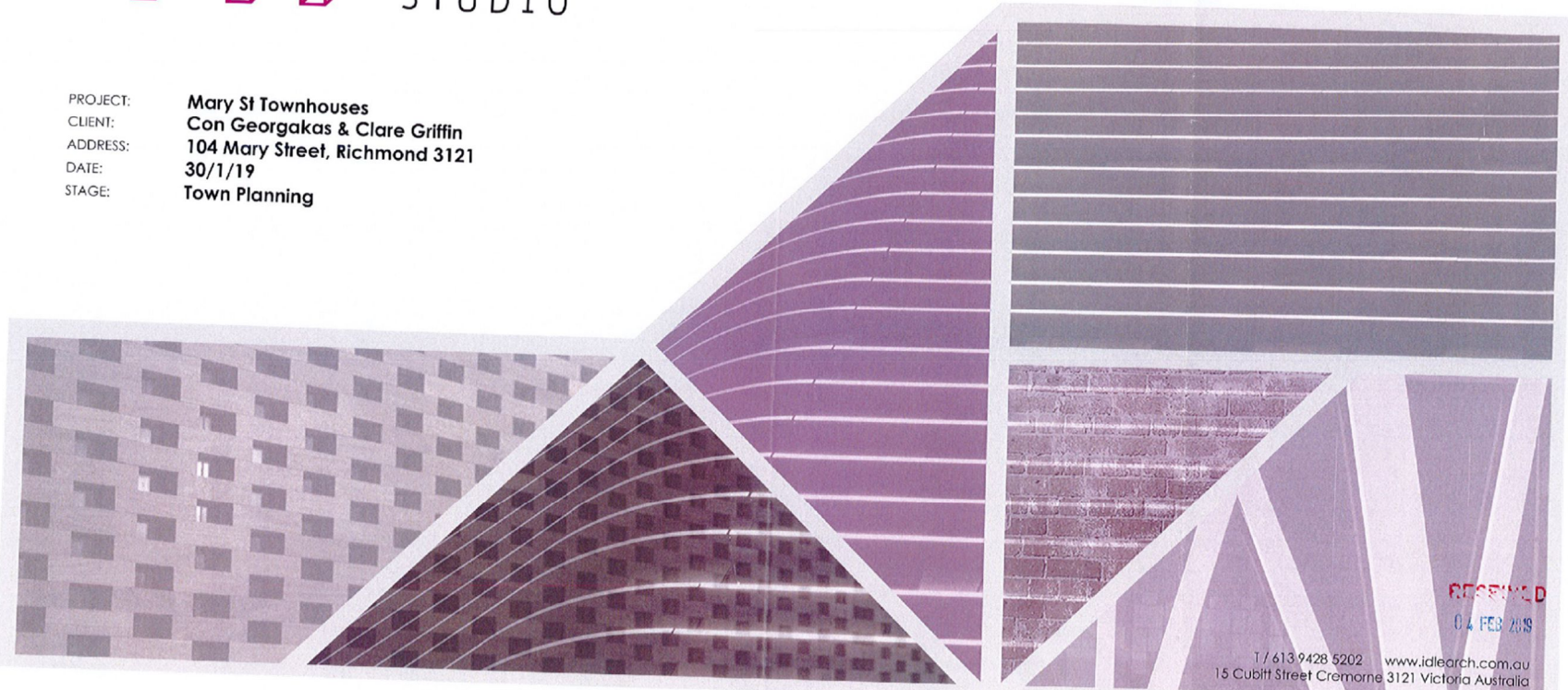
↑ North

★ Subject Site

Attachment 2 - Amended Plans - 104 Mary Street, Richmond - Section 57(a) of the Planning and Environment Act, 1987



PROJECT: **Mary St Townhouses**
CLIENT: **Con Georgakas & Clare Griffin**
ADDRESS: **104 Mary Street, Richmond 3121**
DATE: **30/1/19**
STAGE: **Town Planning**



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15 Cubitt Street Cremorne 3121 Victoria Australia

104 Mary Street, Richmond 3121

TOWN PLANNING APPLICATION // JANUARY 2019



PROJECT OVERVIEW	
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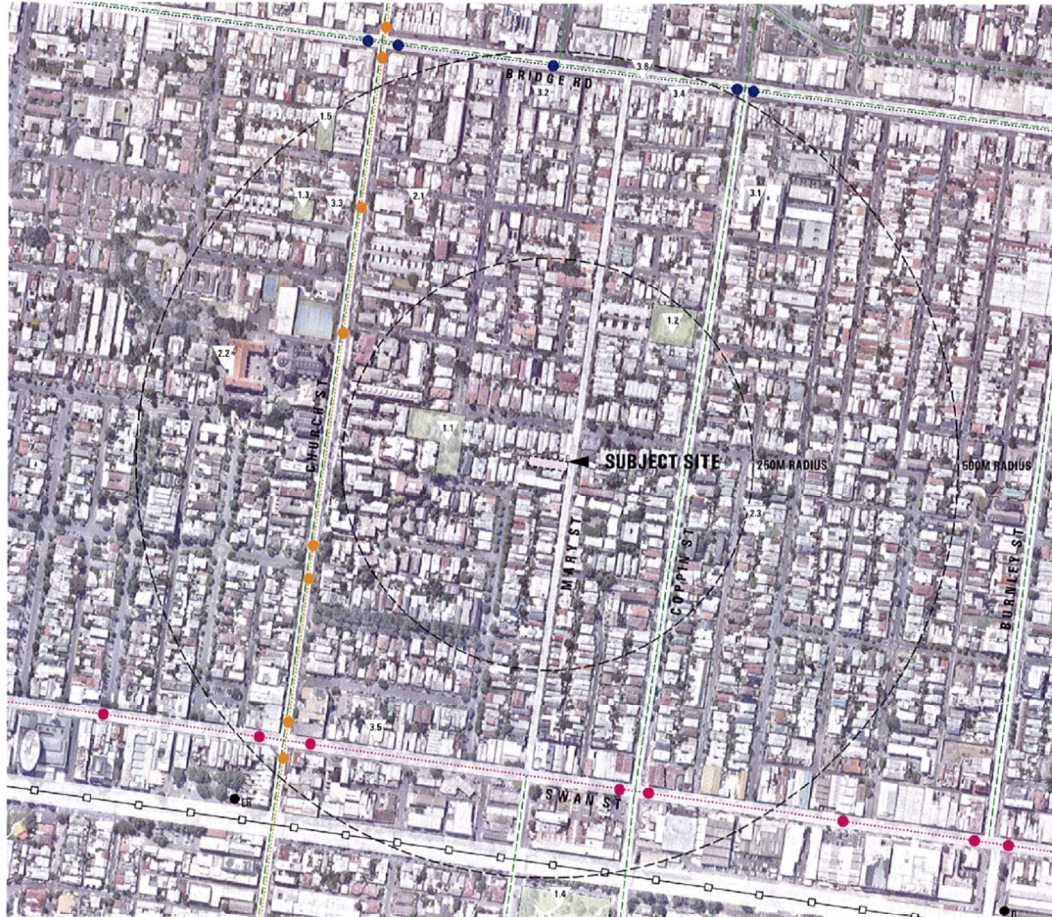
PLANNING CONSULTANT BY:

Fulcrum URBAN PLANNING

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Attachment 2 - Amended Plans - 104 Mary Street, Richmond - Section 57(a) of the Planning and Environment Act, 1987

1.01 Location Plan



LOCAL AREA ANALYSIS

THE SUBJECT SITE IS LOCATED WITHIN A RESIDENTIAL AREA (R2Z).

THE AREA IS WELL SERVED BY LOCAL FOOD STORES, DINING, ENTERTAINMENT, FASHION AND CLOTHING DESTINATIONS LOCATED WITHIN THE SWAN STREET RETAIL PRECINCT AND BRIDGE ROAD ACTIVITY CENTRE.

SEVERAL PRESCHOOLS, 1 CHILD CARE FACILITIES, A LOCAL PRIMARY SCHOOL AND TWO LARGE HIGH SCHOOLS ARE LOCATED WITHIN WALKING DISTANCE OF THE SITE.

A NUMBER OF PARKS & RESERVES CAN BE FOUND IN WALKING DISTANCE. RICHMOND RECREATION CENTRE THAT INCLUDES SWIMMING, GYM & CHILD CARE FACILITIES IS LOCATED APPROX. 700M NORTH OF THE SITE.

MELBOURNE CBD IS LOCATED APPROX. 4.0KM WEST OF THE SITE.

PARKS AND RECREATIONAL FACILITIES

1.1 CARONS RESERVE	0.2KM
1.2 DAME NELLIE MELBA MEMORIAL PARK	0.5KM
1.3 PEPPER CORN PARK	0.5KM
1.4 BARKLY GARDENS	0.5KM
1.5 BEN ALEXANDER RESERVE	0.6KM
.... RICHMOND RECREATION CENTRE	0.7KM

EDUCATIONAL FACILITIES

2.1 RICHMOND CRECHE	0.5KM
2.2 MELBOURNE INDIGENOUS TRANSITION SCHOOL	0.6KM
2.3 RICHMOND KINDERGARTEN	0.5KM
.... RICHMOND PRIMARY SCHOOL	1.0KM
.... MELBOURNE GIRLS' COLLEGE	1.9KM
.... MELBOURNE HIGH SCHOOL	2.1KM

AMENITIES

3.1 RICHMOND MEDICAL	0.5KM
3.2 CHEMIST WAREHOUSE RICHMOND	0.6KM
3.3 CHURCH STREET MEDICAL CENTRE	0.5KM
3.4 BRIDGE ROAD DENTAL	0.5KM
3.5 SWAN STREET RETAIL PRECINCT	0.5KM
3.6 BRIDGE ROAD ACTIVITY CENTRE	0.5KM
.... EPWORTH HOSPITAL, RICHMOND	1.5KM

LOCAL TRANSPORT ANALYSIS

THE SUBJECT SITE HAS EXCELLENT ACCESS TO PUBLIC TRANSPORT WITH TRAINS, TRAMS & BUSES AVAILABLE IN THE NEARBY AREA.

● ER	EAST RICHMOND TRAIN STATION	0.8KM
● B	BURNLEY TRAIN STATION	1.1KM
—	DEDICATED BICYCLE ROUTES	
●	TRAM 78 - NORTH RICHMOND - BALACLAVA VIA PIRRIER	0.4KM
●	TRAM 70 - WATERHOLE CITY DOCKLANDS - WAITLE PARK	0.5KM
●	TRAM 18 - NORTH BALWYN - VICTORIA HARBOUR DOCKLANDS & TRAM 75 - ETHAD STADIUM DOCKLANDS - VERMONT SOUTH	0.5KM



NO	DATE	REVISION	BY



PROJECT
 Mary St Townhouses
 104 Mary Street, Richmond 3121
 CLIENT
 Con Georgias & Clare Griffin

DRAWING
 LOCATION PLAN
 SCALE
 1:2500 @A1
 DATE
 2014-09-30/1/19

DETAILED NUMBER
 TP 1.01
 REVISIONS
 04 FEB 2019

Attachment 2 - Amended Plans - 104 Mary Street, Richmond - Section 57(a) of the Planning and Environment Act, 1987

ADJOINING WINDOW KEY:
 HW HABITABLE WINDOW
 W NON HABITABLE WINDOW
 D DOOR
 GD GLASS DOOR

1.02 Existing Site Analysis Plan



EXISTING CONDITIONS

EXISTING SITE DETAILS

104 MARY STREET RICHMOND IS CURRENTLY OCCUPIED BY A SINGLE STORY BRICK HOUSE WITH ATTACHED CARPORT AND DETACHED SHED AND STOREROOM IN THE REAR YARD. THE SUBJECT SITE IS LOCATED MIDWAY BETWEEN BRIDGE ROAD AND SWAN STREET IN A GENERAL RESIDENTIAL ZONE - SCHEDULE 2 (RZ2).

LOCATION

RICHMOND OFFERS A VIBRANT MIX OF ACTIVITIES. A RANGE OF RESTAURANTS, CAFE, RETAIL & COMMERCIAL OUTLETS AND SERVICES ARE ALL LOCATED CLOSE BY. THE AREA IS WELL SERVED BY SCHOOLS, PUBLIC TRANSPORT, COMMUNITY OPEN SPACE AND SPORTS FACILITIES.

TRANSPORT

THE SUBJECT SITE HAS EXCELLENT ACCESS TO PUBLIC TRANSPORT WITH TRAINS AND TRAMS AVAILABLE WITHIN THE NEARBY AREA. THE SUBJECT SITE HAS EXCELLENT ACCESS TO BICYCLE INFRASTRUCTURE. (REFER TO LOCATION PLAN FOR EXTENT)

NEIGHBOURHOOD FEATURES

THE NEIGHBOURHOOD IS PRECIPUANTLY RESIDENTIAL. THE BUILT FORM COMPRISES OF MID-VICTORIAN COTTAGES AND TERRACES, EDWARDIAN DWELLINGS, A NUMBER OF MIN LEVEL UNITS, FLATS AND CONTEMPORARY VEH. HOUSING.

STREETSCAPE

MARY STREET IS A LOCAL STREET WITH DUES RUNNING IN A NORTH-SOUTH DIRECTION. IT EXTENDS FROM BRIDGE ROAD TO THE NORTH TO SWAN STREET IN THE SOUTH BEFORE COMING TO A DEAD END AT THE MURRAY FREEWAY. FOR THE MAJORITY OF ITS LENGTH MARY STREET IS A ONE WAY ROAD. IN THE VICINITY OF THE SUBJECT SITE, MARY STREET HAS AN APPROXIMATE STREET PAVEMENT WIDTH OF 10 METRES, ALLOWING FOR VEHICLE MOVEMENTS IN A SOUTHERN DIRECTION. KERBSIDE PARKING AND FOOTPATHS ON BOTH SIDES OF THE STREET. THE PARKING ON THE WESTERN SIDE OF THE STREET IS 2 HOURS (7 AM - 7 PM MON-FRI) AND PERMIT ZONE OF THE EASTERN SIDE.

TREES/VEGETATION ON ADJOINING PROPERTIES



MANUCELLA TREE ON SOUTHERN BOUNDARY



LEYLAND CYPRESS ON NORTHERN BOUNDARY



LEYLAND CYPRESS ON SOUTHERN BOUNDARY

GLIVE TREES ON SOUTHERN BOUNDARY



ARCHITECTURE STUDIO

NO.	DATE	REVISION	BY
A	13/04/19	FOR SUBMISSION TO COUNCIL	AS

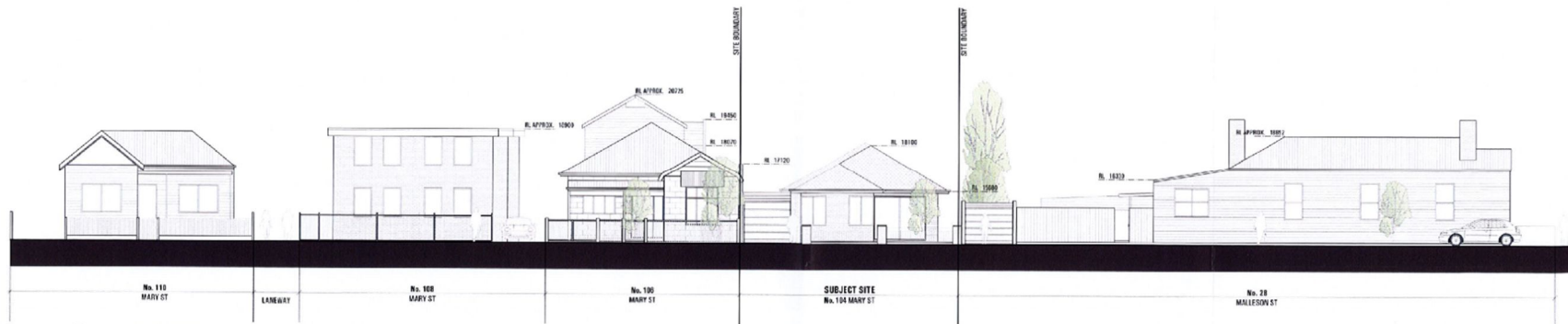
PROJECT: Mary St Townhouses
 ADDRESS: 104 Mary Street, Richmond 3121
 CLIENT: Con Georgoulas & Clare Griffin

DRAWING NUMBER: EXISTING SITE ANALYSIS PLAN
 SCALE: 1:200 @ A1
 DATE: 2016-09
 DRAWN BY: AS
 CHECKED BY: AS

DRAWING NUMBER: TP 1.02
 SCALE: A
 DATE: 04 FEB 2019

Attachment 2 - Amended Plans - 104 Mary Street, Richmond - Section 57(a) of the Planning and Environment Act, 1987

1.03 Existing Streetscape Elevation



1 EXISTING STREET ELEVATION
1.03



110 Mary St 1 STOREY RES LANEWAY 108 Mary St 2 STOREY MULTI RES 106 Mary St 2 STOREY RES SUBJECT SITE No. 104 MARY ST 28 Mallesov St 1 STOREY RES

2 STREETSCAPE PANORAMA
1.03



NO.	DATE	REVISION	BY

T:\A1\18128-8333-01\18128-8333-01.dwg 15/03/2019 10:00:00 AM

PROJECT:
Mary St Townhouses
ADDRESS:
104 Mary Street, Richmond 3121
CLIENT:
Cory Georgakos & Clare Griffin 2016-09

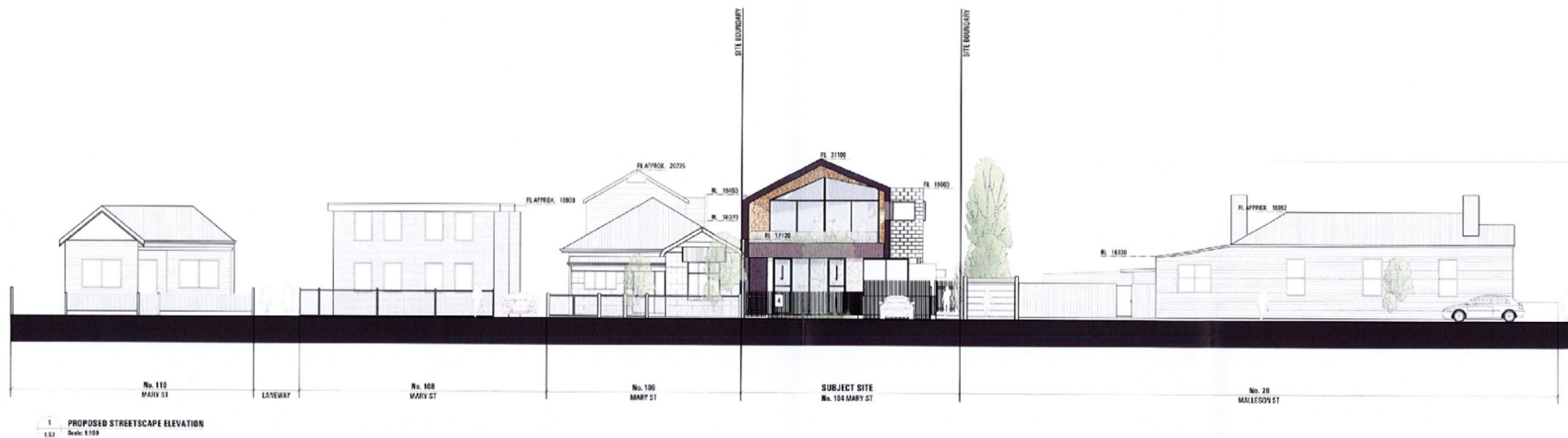
DRAWING NO:
EXTG STREETScape ELEVATION
SCALE:
1:100 @A1
PLOT DATE:
30/1/19

DRAWN BY:
JAS
CHECKED BY:
JAS

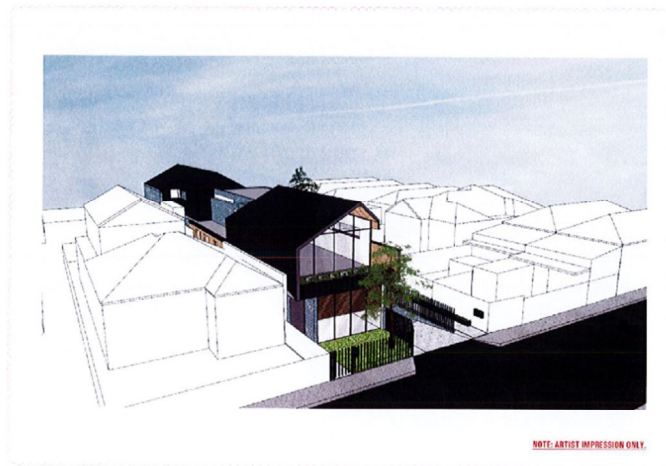
RECEIVED
DRAWING NUMBER:
TP 1.03
FEB 2019
REVISION:
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P:\Users\11016\2019-09-04\MARY ST - EXTG STREETScape ELEVATION.dwg
DATE: 2019-02-19 10:00:00 AM

Attachment 2 - Amended Plans - 104 Mary Street, Richmond - Section 57(a) of the Planning and Environment Act, 1987

1.52 Proposed Streetscape



1 PROPOSED STREETSCAPE ELEVATION
Scale: 1:100



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NO.	DATE	REVISION	BY
A	03/10/18	Initial set out on council plan	IAS
B	01/12/18	20m setback to front boundary	IAS
C	09/11/19	Design revision, changed to 100m	IAS

T: 03 9488 2022 F: 03 9488 2021 13 Dalm Street Glenmore 3103 VIC 3103

PROJECT:
Mary St Townhouses
ADDRESS:
104 Mary Street, Richmond 3121
CLIENT:
Con Georgatos & Cate Griffin

DRAWING NO:
PROP STREETSCAPE
SCALE:
1:100 (A1)
PRINT DATE:
2018-09 30/1/19

DRAWING NUMBER:
TP 1.52
REVISION:
C
GENERAL DRAWING AT A1
SITE AND REFLECTIONS ONLY
DRAWN BY:
CHECKED BY:
IAS IAS
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Printing: 01/09/2019 10:41 AM by IAS
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Arch: 05/09/19 11:31

Attachment 2 - Amended Plans - 104 Mary Street, Richmond - Section 57(a) of the Planning and Environment Act, 1987

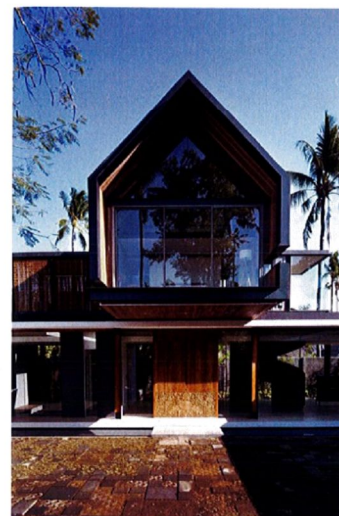
1.53 Materiality & Form



INSET WINDOWS ON UPPER LEVEL



INSET WINDOWS ON UPPER LEVEL



PITCHED FORM WITH GLAZED WALL



FIXED LOUVRE PRIVACY SCREENS



PITCHED FORM ADJOINING FLAT ROOFED SECTION



STANDING SEAM CLADDING & ROOF



STANDING SEAM CLADDING & ROOF



PITCHED CEILING & TIMBER LINING

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04 FEB 2019



NO.	DATE	REVISION	BY

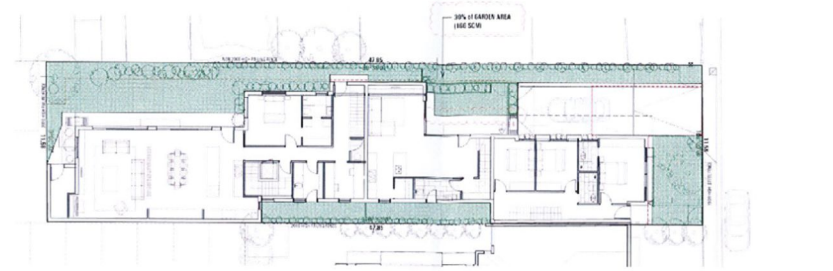
PROJECT: **Mary St Townhouses**
 ADDRESS: 104 Mary Street, Richmond 3121
 CLIENT: Cox Georgalos & Cloe Griffin

DRAWING NUMBER: **MATERIALITY & FORM**
 SCALE: 1:100 @ A1
 PROJECT DATE: 30/1/19
 2016-09

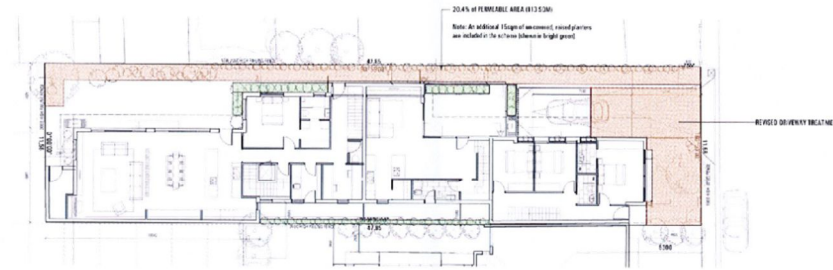
DESIGNED BY: IAS
 DRAWING DATE: 11/02/19
 CHECKED BY: IAS
TP 1.53
 7:10pm 12/02/2019 4:09 PM 104 MARY ST 1:53 Drawing 1.53 Town Planning - CLAUDIUM - 104 Mary St.vdw
 Date: 04 Feb 2019, 4:09 PM
 Date: 04 Feb 2019, 4:09 PM

Attachment 2 - Amended Plans - 104 Mary Street, Richmond - Section 57(a) of the Planning and Environment Act, 1987

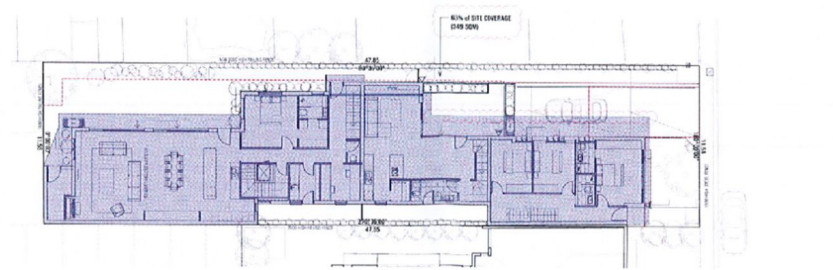
1.61 Garden Area, Permeable & Site Coverage Areas



1 GARDEN AREA PLAN
Scale: 1:150



2 PERMEABLE AREA PLAN
Scale: 1:150



3 SITE COVERAGE PLAN
Scale: 1:150

DEVELOPMENT SUMMARY	
SITE AREA	556m ²
TOTAL ROOFED AREA	246m ²
% TOTAL SITE COVERAGE	82 %
TOTAL GARDEN AREA	100m ²
% TOTAL SITE AREA	20 %
TOTAL PERMEABLE AREA (SHOWN PEACH)	112m ²
% TOTAL SITE AREA	20 %
TOTAL TOWNHOUSES	3
TOTAL CAR PARKING SPACES	6
TOWNHOUSE 1	2
TOWNHOUSE 2	1
TOWNHOUSE 3	3

- RAISED PLANTER
- GARDEN AREA
- PERMEABLE AREA
- SITE COVERAGE

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04 FEB 2019



NO.	DATE	REVISION	BY
1	20/11/18	Information required by Council on	AS
2	20/11/18	Information on site layout	AS
3	20/11/18	Design Review, including planning process on	AS
		Reference to 104 & 106	

PROJECT: Mary St Townhouses
ADDRESS: 104 Mary Street, Richmond 3121
CLIENT: Con Georgakios & Clare Gillin

2016-09

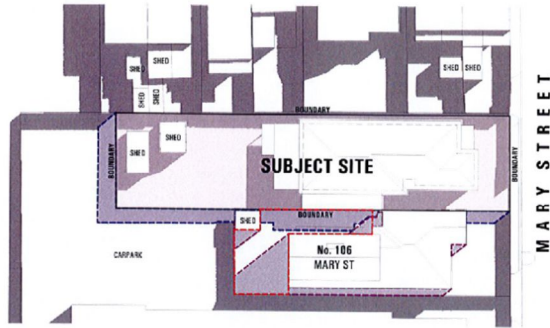
TITLE: GARDEN, PERMEABLE AREAS & SITE COVERAGE
SCALE: 1:150 (A1)
DATE: 20/11/18

DRAWING NUMBER: TP 1.61
REVISION: C
 7:10pm 03/02/2019 09:45 AM BY SP, BE Drawing 3.0 E Team
 PROJECT: CLUNY VILLAGE 104 Mary St
 DATE: 04/02/2019 09:45 AM BY SP, BE Drawing 3.0 E Team
 DATE: 04/02/2019 09:45 AM BY SP, BE Drawing 3.0 E Team

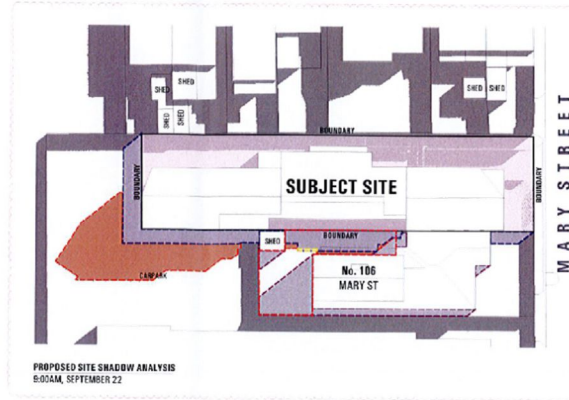
Attachment 2 - Amended Plans - 104 Mary Street, Richmond - Section 57(a) of the Planning and Environment Act, 1987

KEY
 [] SUBJECT SITE [] SPDS [] SUBJECT SITE EXISTING SHADOW OUTLINE [] EXISTING SHADOW TO NEIGHBOURING SPDS [] ADDITIONAL SHADOW DUE TO PROPOSED DEVELOPMENT [] REDUCED SHADOW DUE TO PROPOSED DEVELOPMENT

1.71 Site Shadow Analysis



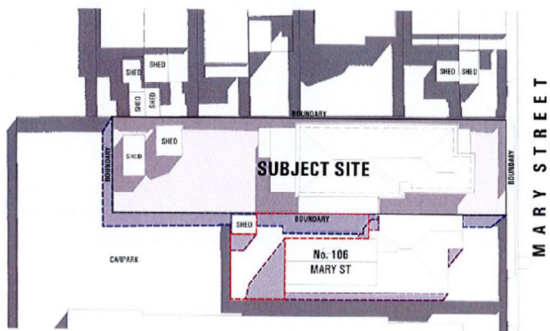
EXISTING SITE SHADOW ANALYSIS
 9:00AM, SEPTEMBER 22



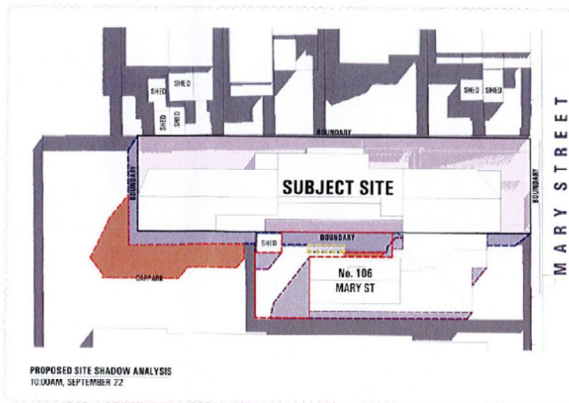
PROPOSED SITE SHADOW ANALYSIS
 9:00AM, SEPTEMBER 22

106 MARY ST SHADOW ANALYSIS STATISTICS
 SEPTEMBER EQUINOX (22 SEPT)

9AM	TOTAL SPDS (MINIMUM WIDTH OF 3M)	90M ²
	EXISTING SHADOWED SPDS	68M ²
	EXISTING UNSHADOWED SPDS	22M ²
	ADDITIONAL SHADOWED SPDS	5M ²
	REDUCED SHADOW TO SPDS	-1M ²
	FINAL CHANGE TO UNSHADOWED SPDS	1M ²
POST DEVELOPMENT UNSHADOWED SPDS		18M ²



EXISTING SITE SHADOW ANALYSIS
 10:00AM, SEPTEMBER 22



PROPOSED SITE SHADOW ANALYSIS
 10:00AM, SEPTEMBER 22

106 MARY ST SHADOW ANALYSIS STATISTICS
 SEPTEMBER EQUINOX (22 SEPT)

10AM	TOTAL SPDS (MINIMUM WIDTH OF 3M)	90M ²
	EXISTING SHADOWED SPDS	55M ²
	EXISTING UNSHADOWED SPDS	35M ²
	ADDITIONAL SHADOWED SPDS	2M ²
	REDUCED SHADOW TO SPDS	3M ²
	FINAL CHANGE TO UNSHADOWED SPDS	-1M ²
POST DEVELOPMENT UNSHADOWED SPDS		36M ²

10AM COMPLIES WITH STANDARD B11
 THE AMOUNT OF SUNLIGHT TO SPDS POST DEVELOPMENT HAS NOT BEEN REDUCED.



NO. DATE REVISION
 A 201902 Design Revision: amended shadow to 104 Mary St
 1/ 411 3408 8002 2/ 19/09/2019 1/ 12/ 2019/09/2019 1/ 12/ 2019/09/2019

PROJECT:
 Mary St Townhouses
 ADDRESS:
 104 Mary Street, Richmond 3121
 CLIENT:
 Con Georgakios & Clare Griffin

DRAWING NO:
 SITE SHADOW ANALYSIS
 SCALE:
 1:250 @A1
 PRINT DATE:
 30/1/19

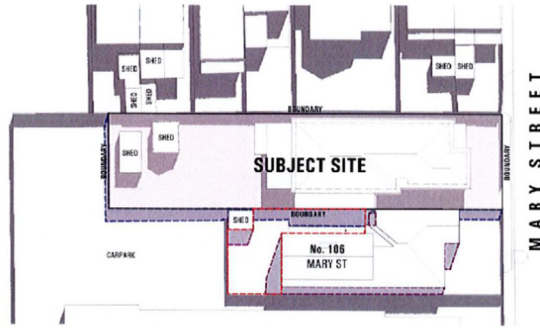
DRAWING NUMBER:
 TP 1.71
 REVISION:
 A

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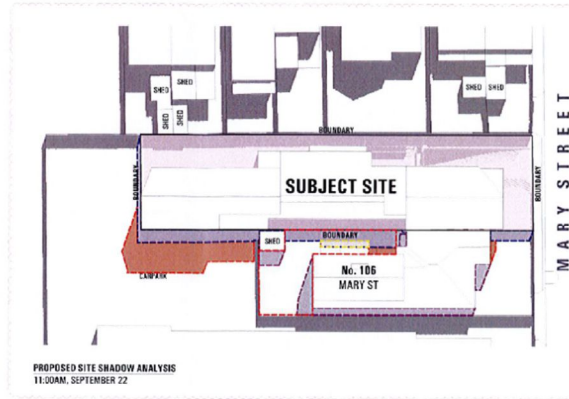
Attachment 2 - Amended Plans - 104 Mary Street, Richmond - Section 57(a) of the Planning and Environment Act, 1987

1.72 Site Shadow Analysis

KEY
 [] SUBJECT SITE [] SPOS [] SUBJECT SITE EXISTING SHADOW OUTLINE [] EXISTING SHADOW TO NEIGHBOURING SPOS [] ADDITIONAL SHADOW DUE TO PROPOSED DEVELOPMENT [] REDUCED SHADOW DUE TO PROPOSED DEVELOPMENT



EXISTING SITE SHADOW ANALYSIS
11:00AM, SEPTEMBER 22

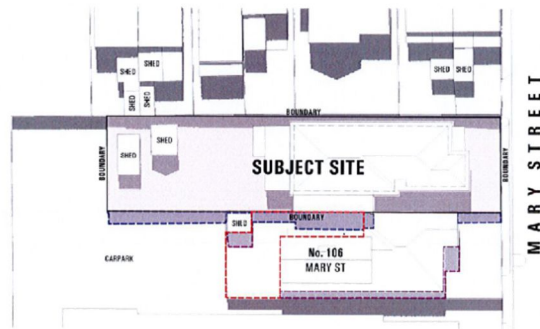


PROPOSED SITE SHADOW ANALYSIS
11:00AM, SEPTEMBER 22

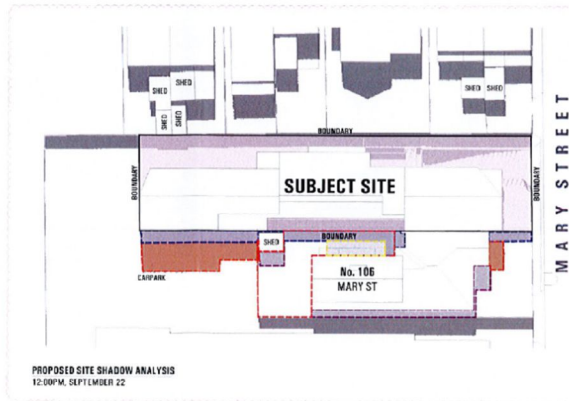
106 MARY ST SHADOW ANALYSIS STATISTICS
SEPTEMBER EQUINOX (22 SEPT)

11AM	TOTAL SPOS (MINIMUM WIDTH OF 3M)	90M ²
	EXISTING SHADOWED SPOS	39M ²
	EXISTING UNSHADOWED SPOS	51M ²
	ADDITIONAL SHADOWED SPOS	3M ²
	REDUCED SHADOW TO SPOS	4M ²
	FINAL CHANGE TO OVERSHADOWED SPOS	-1M ²
	POST DEVELOPMENT UNSHADOWED SPOS	62M ²

11AM COMPLIES WITH STANDARD B11.
MINIMUM 40% OF SPOS RECEIVES SUNLIGHT POST DEVELOPMENT.



EXISTING SITE SHADOW ANALYSIS
12:00PM, SEPTEMBER 22



PROPOSED SITE SHADOW ANALYSIS
12:00PM, SEPTEMBER 22

106 MARY ST SHADOW ANALYSIS STATISTICS
SEPTEMBER EQUINOX (22 SEPT)

12PM	TOTAL SPOS (MINIMUM WIDTH OF 3M)	90M ²
	EXISTING SHADOWED SPOS	36M ²
	EXISTING UNSHADOWED SPOS	54M ²
	ADDITIONAL SHADOWED SPOS	0M ²
	REDUCED SHADOW TO SPOS	12M ²
	FINAL CHANGE TO OVERSHADOWED SPOS	-12M ²
	POST DEVELOPMENT UNSHADOWED SPOS	66M ²

12PM COMPLIES WITH STANDARD B11.
MINIMUM 40% OF SPOS RECEIVES SUNLIGHT POST DEVELOPMENT.

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04 FEB 2019



NO. DATE REVISION BY
 A 30/1/19 Design Revision, overlooking to 106 Mary St
 1:1:19 MUR 2022 @ www.architecturestudio.com.au / 13 CLARE Street Richmond VIC 3121 Victoria

PROJECT: Mary St Townhouses
 104 Mary Street, Richmond 3121
 CLIENT: Con' Georgakos & Clare Griffin

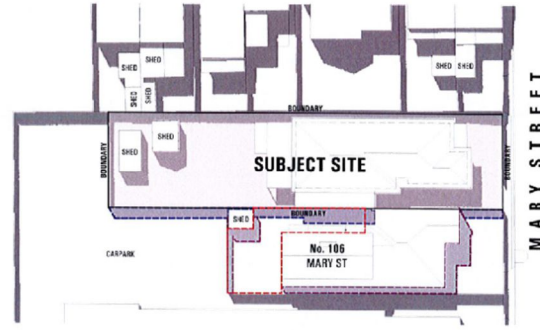
DRAWING NO: SITE SHADOW ANALYSIS
 SCALE: 1:250 @A1
 DATE: 30/1/19
 2014-09

DRAWING NUMBER: TP 1.72
 A
 CHECKED BY: IAS
 IAS

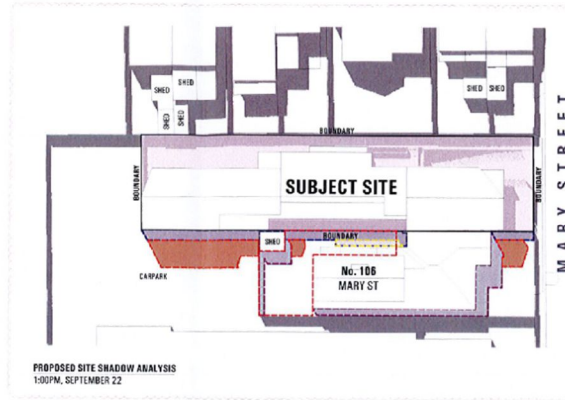
Attachment 2 - Amended Plans - 104 Mary Street, Richmond - Section 57(a) of the Planning and Environment Act, 1987

1.73 Site Shadow Analysis

KEY
 [White Box] SUBJECT SITE [Red Dashed Box] SPOS [Purple Dashed Box] SUBJECT SITE EXISTING SHADOW OUTLINE [Pink Dashed Box] EXISTING SHADOW TO NEIGHBOURING SPOS [Red Solid Box] ADDITIONAL SHADOW DUE TO PROPOSED DEVELOPMENT [Yellow Solid Box] REDUCED SHADOW DUE TO PROPOSED DEVELOPMENT



EXISTING SITE SHADOW ANALYSIS
1:00PM, SEPTEMBER 22

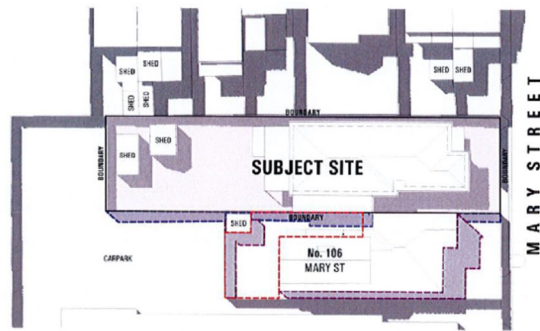


PROPOSED SITE SHADOW ANALYSIS
1:00PM, SEPTEMBER 22

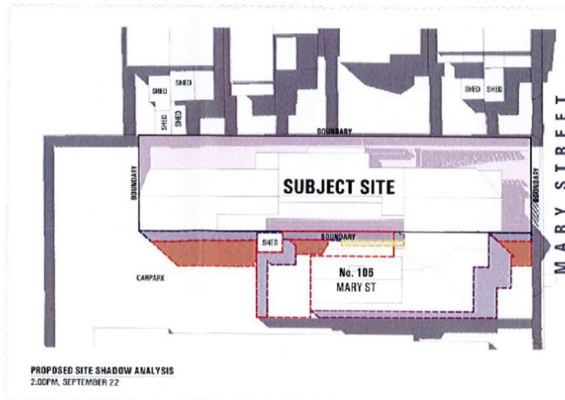
106 MARY ST SHADOW ANALYSIS STATISTICS
SEPTEMBER EQUINOX (22 SEPT)

1PM	TOTAL SPOS (MINIMUM WIDTH OF 3M)	90M ²
	EXISTING SHADOWED SPOS	32M ²
	EXISTING UNSHADOWED SPOS	58M ²
	ADDITIONAL SHADOWED SPOS	3M ²
	REDUCED SHADOW TO SPOS	5M ²
	FINAL CHANGE TO OVERSHADOWED SPOS	-2M ²
POST DEVELOPMENT UNSHADOWED SPOS	60M ²	

1PM COMPLIES WITH STANDARD B2L
MINIMUM 400MM OF SPOS RECEIVES SUNLIGHT POST DEVELOPMENT.



EXISTING SITE SHADOW ANALYSIS
2:00PM, SEPTEMBER 22



PROPOSED SITE SHADOW ANALYSIS
2:00PM, SEPTEMBER 22

106 MARY ST SHADOW ANALYSIS STATISTICS
SEPTEMBER EQUINOX (22 SEPT)

2PM	TOTAL SPOS (MINIMUM WIDTH OF 3M)	90M ²
	EXISTING SHADOWED SPOS	38M ²
	EXISTING UNSHADOWED SPOS	52M ²
	ADDITIONAL SHADOWED SPOS	7M ²
	REDUCED SHADOW TO SPOS	4M ²
	FINAL CHANGE TO OVERSHADOWED SPOS	3M ²
POST DEVELOPMENT UNSHADOWED SPOS	52M ²	

2PM COMPLIES WITH STANDARD B2L
MINIMUM 400MM OF SPOS RECEIVES SUNLIGHT POST DEVELOPMENT.



NO DATE REVISION
 A 08/17/18 Design Review - overhauling to 105 copy of
 1:1 (1) 10461 5202 01 www.architect.com.au / 111 DASH Street / Melbourne VIC 3000



PROJECT
 Mary St Townhouses
 ADDRESS
 104 Mary Street, Richmond 3121
 CLIENT
 Cox Georgatos & Cole Griffin

DATE OF
 SITE SHADOW ANALYSIS
 2014-09
 30/1/19

DRAWING NUMBER
 TP 1.73
 ORIGINAL DRAWING AT 1:1
 DATE: 04/02/2019
 DRAWN BY: JAS
 CHECKED BY: JAS

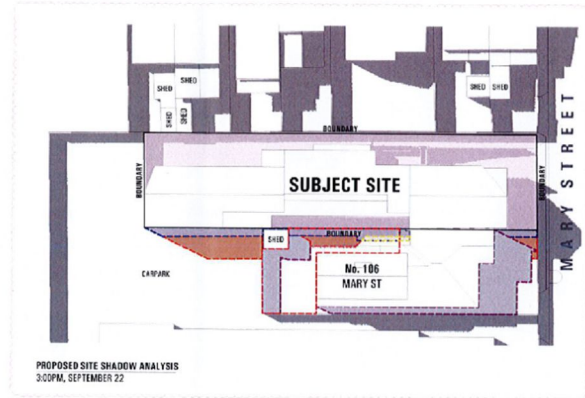
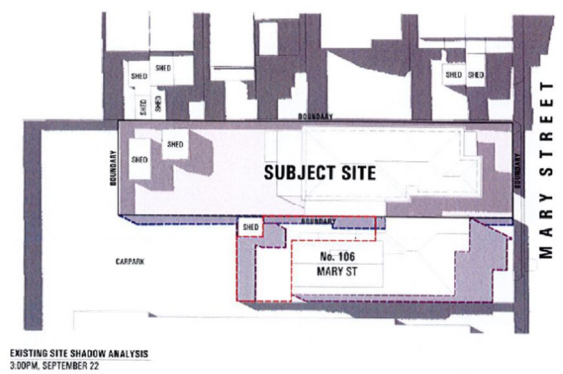
KEYS ON
 A
 2:1 (Project No. 10461 5202 01) 104 MARY ST, BLDG DRAWING 1.73 - Final
 Planning, CLM/RT/PLP/19 - 104 Mary St
 Date: 04/02/2019, 09:40:17 AM
 A/C: 10461 5202 01

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 04 FEB 2019

Attachment 2 - Amended Plans - 104 Mary Street, Richmond - Section 57(a) of the Planning and Environment Act, 1987

1.74 Site Shadow Analysis

KEY
 [] SUBJECT SITE [] SPDS [] SUBJECT SITE EXISTING SHADOW OUTLINE [] EXISTING SHADOW TO NEIGHBOURING SPDS [] ADDITIONAL SHADOW DUE TO PROPOSED DEVELOPMENT [] REDUCED SHADOW DUE TO PROPOSED DEVELOPMENT



106 MARY ST SHADOW ANALYSIS STATISTICS
 SEPTEMBER EQUINOX (22 SEPT)

TOTAL SPDS (MINIMUM WIDTH OF 3M)	93M ²
EXISTING SHADOWED SPDS	41M ²
EXISTING UNSHADOWED SPDS	49M ²
ADDITIONAL SHADOWED SPDS	8M ²
REDUCED SHADOW TO SPDS	2M ²
FINAL CHANGE TO OVERSHADOWED SPDS	8M ²
POST DEVELOPMENT UNSHADOWED SPDS	43M ²

3PM COMPLIES WITH STANDARD B2L
 MINIMUM AMOUNT OF SPDS RECEIVES SUNLIGHT POST DEVELOPMENT.



NO.	DATE	REVISION	BY
A	20/11/19	Change Revision, overhauled to 104 Mary St	IAJ



PROJECT: Mary St Townhouses
 ADDRESS: 104 Mary Street, Richmond 3121
 CLIENT: Coi Georgakos & Clare Griffin

2016-09

30/1/19

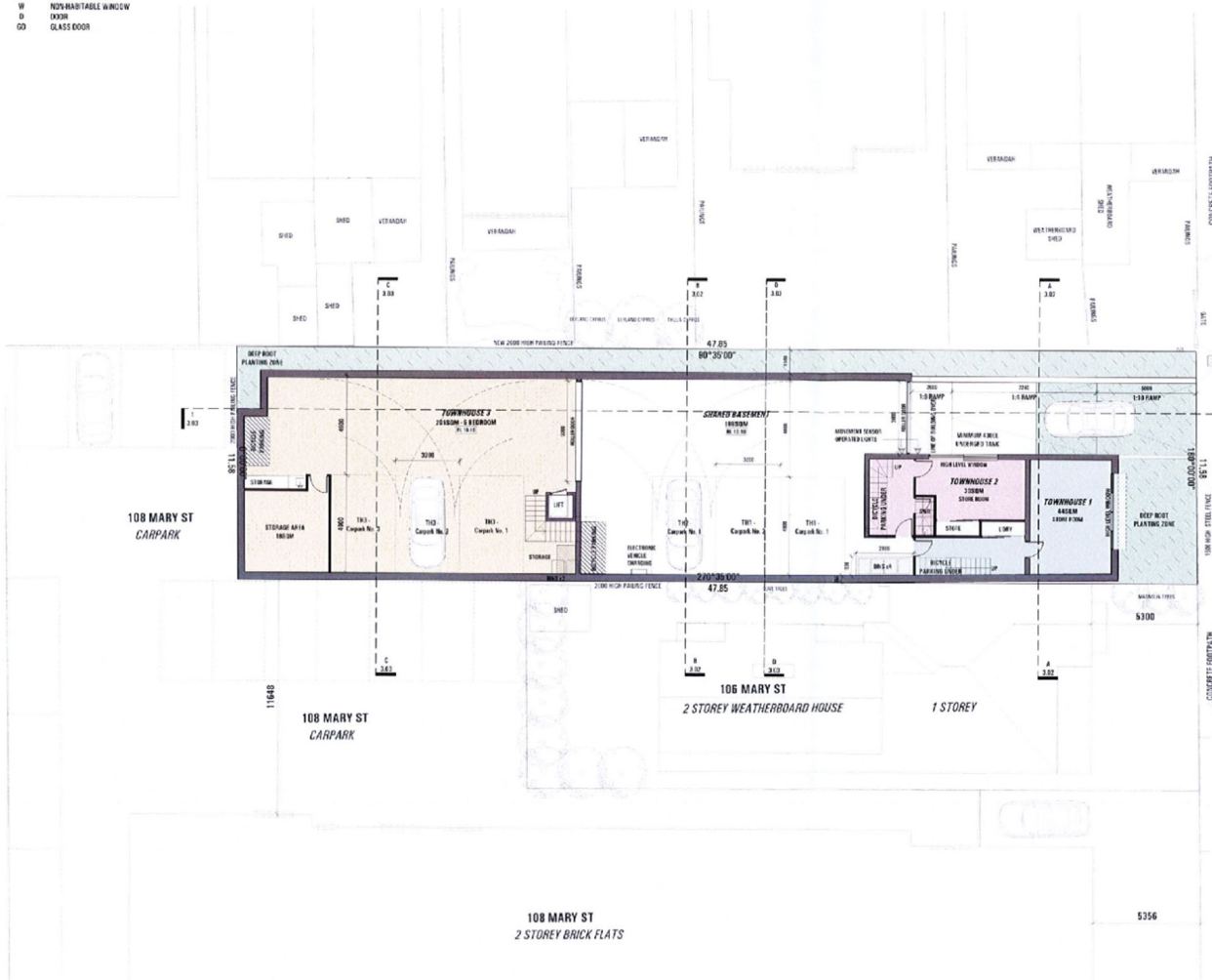
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 SCALE: 1:250 @A1
 DATE: 30/1/19

DRAWING NUMBER: TP 1.74
 REVISION: A
 ORIGINAL DRAWING AT A1
 PREP. BY: ARCHITECTURE STUDIO
 DRAWN BY: IAS
 CHECKED BY: IAS

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 04 FEB 2019

Attachment 2 - Amended Plans - 104 Mary Street, Richmond - Section 57(a) of the Planning and Environment Act, 1987

ADJOINING WINDOW KEY:
 HW HABITABLE WINDOW
 WH NON-HABITABLE WINDOW
 D DOOR
 GD GLASS DOOR



2.01 Basement Floor Plan

DEVELOPMENT SUMMARY

SITE AREA	556m ²
TOTAL ROOFED AREA	244m ²
% TOTAL SITE COVERAGE	82 %
TOTAL GARDEN AREA	106m ²
% TOTAL SITE AREA	30 %
TOTAL PERMEABLE AREA (SHOWN PEACH)	113m ²
% TOTAL SITE AREA	20 %
TOTAL TOWNHOUSES	3
TOTAL CAR PARKING SPACES	6
TOWNHOUSE 1	1
TOWNHOUSE 2	1
TOWNHOUSE 3	3

BESS REPORT COMMITMENTS

SHOWER HEAD	3 STAR WELS
KITCHEN TAPS	4 STAR WELS
BATHROOM TAPS	5 STAR WELS
DISHWASHERS	4 STAR WELS
WC	4 STAR WELS
RAINFALL CONNECTED TO	TOILETS
TOTAL ROOF AREA TO RAINWATER TANK	379 SQUARE METRES
TANK SIZE	4300 LITRES
TH 1 & TH 2 HEATING SYSTEM	D REVERSE CYCLE SPACE
TH 3 HEATING SYSTEM	C GAS CENTRAL HYDRONIC
COOKING SYSTEM	REFRIGERATIVE SPACE
HOT WATER SYSTEM	GAS INSTANTANEOUS 5 STAR
BICYCLE SPACES	3
ELECTRONIC VEHICLES CHARGING FACILITIES	
LIVING AREAS ORIENTATED TO NORTH	MIN 50 %
DOUBLE GLAZING (OR BETTER)	ALL LIVING AREAS AND BEDROOMS
APPROPRIATE EXTERNAL SHADING	EAST, WEST & NORTH FACING GLAZING
EXTERNAL LIGHTING	CONTROLLED BY MOTION SENSOR
TH 1 CLOTHES LINE	PRIVATE OUTDOORS CLOTHESLINE PROTECTED FROM RAIN
TH 2 & 3 CLOTHES LINE	PRIVATE OUTDOORS CLOTHESLINE
TH 3 CLOTHES DRYER	2 STARS
MAXIMUM ILLUMINATION POWER DENSITY	4W/SDM OR LESS
TAP AND FLOOR WASTE	EVERY BALCONY AND COURTYARD
FOOD AND GARDEN WASTE FACILITIES PROVIDED	



NO.	DATE	REVISION	BY
A	2018/08	Submission required by council	AS
B	2018/10	Submitted and in how northern boundary	AS
C	2019/01	Submitted and in how northern boundary	AS

PROJECT: Mary St Townhouses
 ADDRESS: 104 Mary Street, Richmond 3121
 CLIENT: Con Georgakos & Clare Griffin

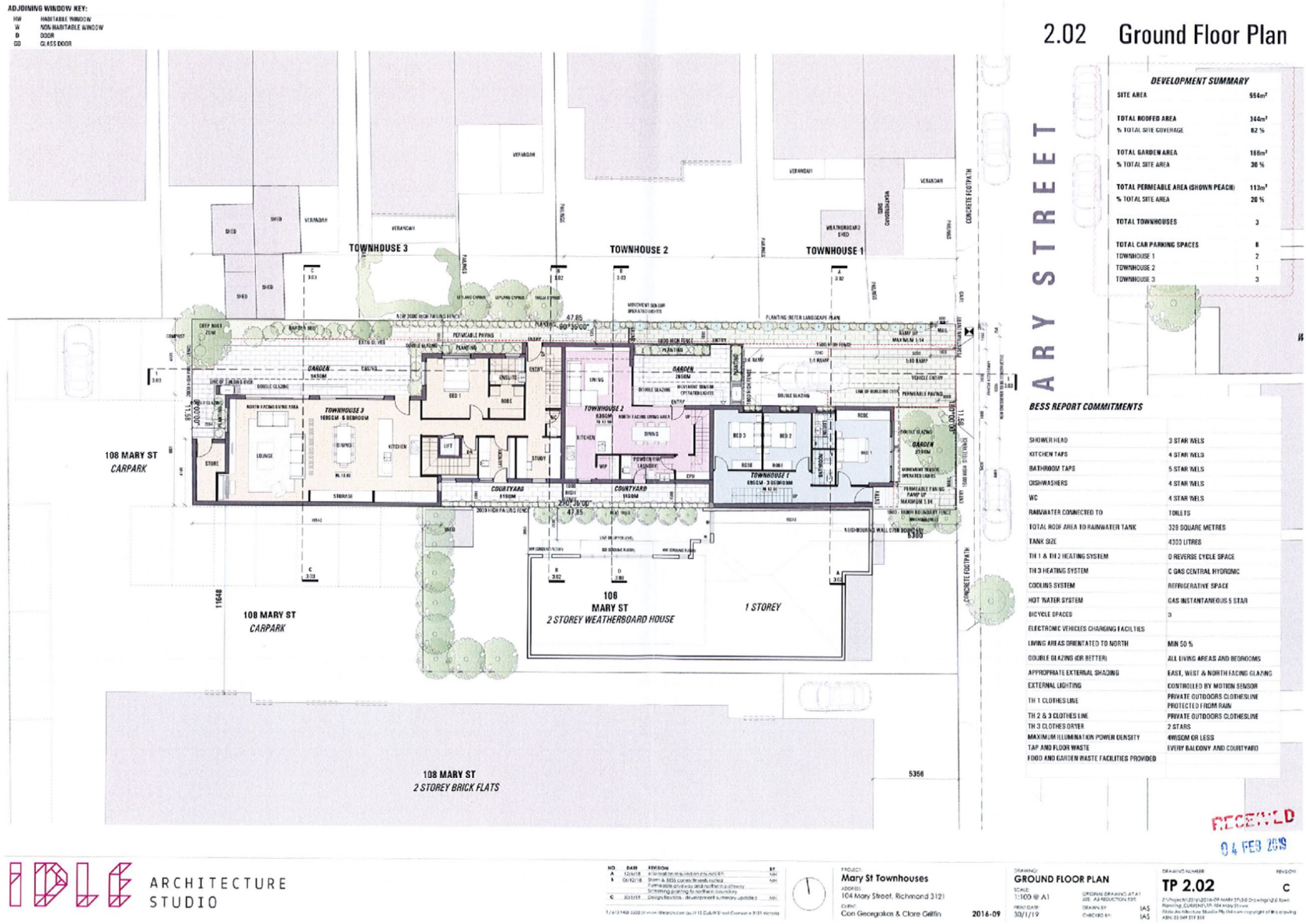
2016-09 30/1/19

DRAWING: BASEMENT FLOOR PLAN
 SCALE: 1:100 (W/ A1)
 ORIGINAL DRAWING AT A1
 DATE: 30/1/19

DRAWING NUMBER: TP 2.01
 REVISION: C
 DRAWN BY: JAS
 CHECKED BY: JAS

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Attachment 2 - Amended Plans - 104 Mary Street, Richmond - Section 57(a) of the Planning and Environment Act, 1987



NO. DATE REVISION
 1 04/12/18 30mm A 3000 Curved Bricks, noised
 2 05/11/19 30mm A 3000 Curved Bricks, noised
 3 05/11/19 30mm A 3000 Curved Bricks, noised
 4 05/11/19 30mm A 3000 Curved Bricks, noised

PROJECT: Mary St Townhouses
 ADDRESS: 104 Mary Street, Richmond 3121
 CLIENT: Con Georgakios & Clare Griffin

DATE: 2014-09

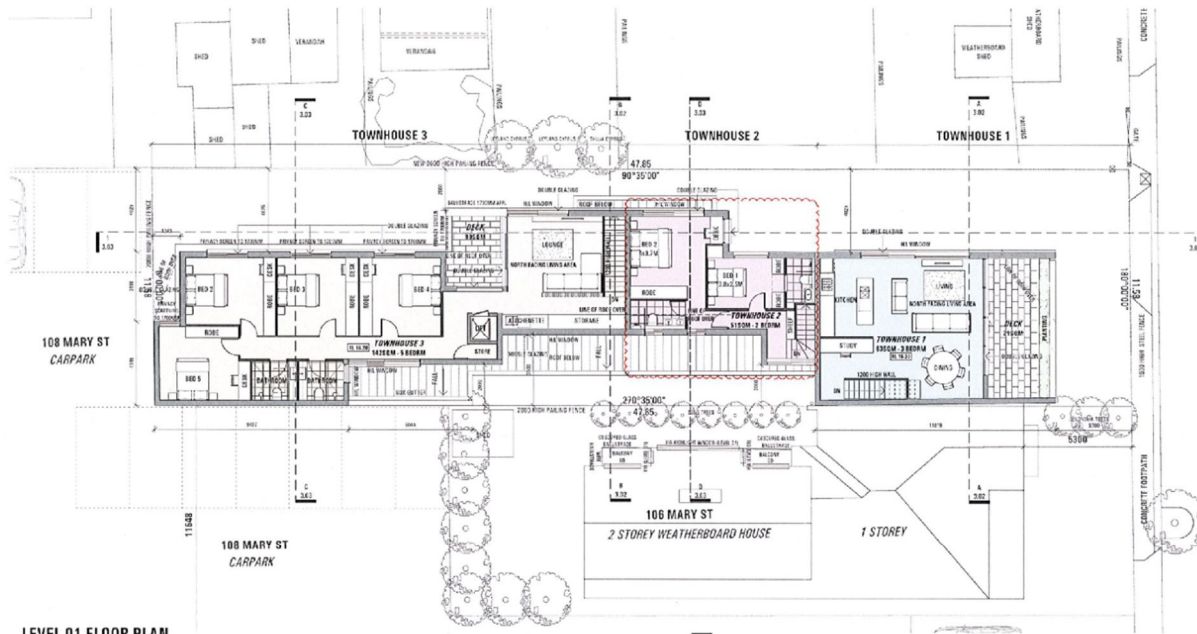
DRAWING: GROUND FLOOR PLAN
 SCALE: 1:100 @ A1
 DATE: 30/1/19

DESIGNER: ASHLEY AT A1
 CHECKED BY: IAS

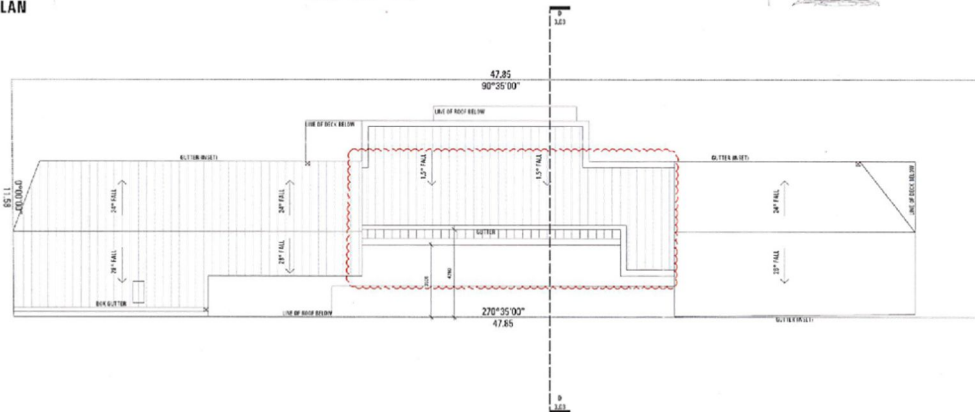
DEVELOPMENT NUMBER: TP 2.02

REVISION: C

Attachment 2 - Amended Plans - 104 Mary Street, Richmond - Section 57(a) of the Planning and Environment Act, 1987



LEVEL 01 FLOOR PLAN



ROOF PLAN

2.03 Level 01 Floor Plan & Roof Plan

DEVELOPMENT SUMMARY	
SITE AREA	554m ²
TOTAL ROOFED AREA	344m ²
% TOTAL SITE COVERAGE	62 %
TOTAL GARDEN AREA	186m ²
% TOTAL SITE AREA	30 %
TOTAL PERMEABLE AREA (GROWN PEACH)	113m ²
% TOTAL SITE AREA	20 %
TOTAL TOWNHOUSES	3
TOTAL CAR PARKING SPACES	8
TOWNHOUSE 1	2
TOWNHOUSE 2	1
TOWNHOUSE 3	3

BESS REPORT COMMITMENTS

SHOWER HEAD	3 STAR WELS
KITCHEN TAPS	4 STAR WELS
BATH-ROOM TAPS	5 STAR WELS
DEHWASHERS	4 STAR WELS
WC	4 STAR WELS
RAINWATER CONNECTED TO	TOILETS
TOTAL ROOF AREA TO RAINWATER TANK	320 SQUARE METRES
TANK SIZE	4300 LITRES
TH 1 & TH 2 HEATING SYSTEM	D REVERSE CYCLE SPACE
TH 3 HEATING SYSTEM	C GAS CENTRAL HYDRONIC
COOLING SYSTEM	REFRIGERATIVE SPACE
HOT WATER SYSTEM	GAS INSTANTANEOUS 5 STAR
BICYCLE SPACES	3
ELECTRIC VEHICLES CHARGING FACILITIES	
LIVING AREAS ORIENTATED TO NORTH	MIN 50 %
DOUBLE GLAZING (FOR BETTER)	ALL LIVING AREAS AND BEDROOMS
APPROPRIATE EXTERNAL SHADING	EAST, WEST & NORTH FACING GLAZING
EXTERNAL LIGHTING	CONTROLLED BY MOTION SENSING
TH 1 CLOTHES LINE	PRIVATE OUTDOORS CLOTHESLINE PROTECTED FROM RAIN
TH 2 & 3 CLOTHES LINE	PRIVATE OUTDOORS CLOTHESLINE
TH 3 CLOTHES DRYER	2 STARS
TAP AND FLOOR WASTE	MAXIMUM ILLUMINATION POWER DENSITY 400LUM OR LESS
FOOD AND GARDEN WASTE FACILITIES PROVIDED	EVERY BALCONY AND COURTYARD

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18 FEB 2019

ADJOINING WINDOW KEY:
HW HABITABLE WINDOW
W NON-HABITABLE WINDOW
D DOOR
G3 GLASS DOOR



NO.	DATE	REVISION	BY
1	18/2/19	ISSUED FOR PERMIT	IA5
2	18/2/19	REVISED PER PLANING AND ENVIRONMENT ACT, 1987	IA5
3	18/2/19	REVISED PER PLANING AND ENVIRONMENT ACT, 1987	IA5

PROJECT:
Mary St Townhouses
ADDRESS:
104 Mary Street, Richmond 3121
CLIENT:
Con Georgakias & Clare Gillin

2016-69

DRAWING:
LEVEL 01 & ROOF PLAN
SCALE:
1:100 @ A1
DATE:
18/2/19

DESIGNED BY:
IA5

CHECKED BY:
IA5

TP 2.03

DRAWING NUMBER:
C

Attachment 2 - Amended Plans - 104 Mary Street, Richmond - Section 57(a) of the Planning and Environment Act, 1987

2.04 Landscape Plan



4 GROUND FLOOR
Scale: 1:100

PLANT LEGEND - SCHEDULE

PLANT TYPE	CODE	BOTANICAL NAME	COMMON NAME	SIZE AT MATURITY HEIGHT X SPREAD
TREES	BPMW	<i>Banksia pendula</i> 'Miss White'	Miss White Silver Birch	10 x 5 m
	DEK	<i>Olea europaea</i> 'Kalamata'	Kalamata Olive	5 x 2 m
	LM	<i>Crataegus</i> 'Meyer'	Meyer Lamona	repeated
	SP	<i>Syringa</i> 'Peaches'	Lily Pilly Peasack	ground to 2.4 x 1.5m
SHRUBS + TUFTING	DSF	<i>Gentiana</i> 'Silver Falls'	Silver Kidney Weed	ground cover
	PA	<i>Panicum oligosperum</i>	Fourtail Grass	1 m x 1 m
	RH	<i>Rhus subaeriana</i>	Rhaleb	30 cm x 20 cm
	ACMB	<i>Antigonon leptopus</i> 'Matupua'	Pumpkin Lily	60 cm x 1 m
	CT	<i>Catalpa baccata</i> 'Silver'	Fig Ears	50 cm x 60 cm
CUMBERS + TRAILING 'ROP'		<i>Rosa rugosa</i> 'Frostkiss'	Trailing Rosemary	50 cm x 2 m
	PP	<i>Parthenocissura</i>	Wonga Wonga Vine	3 m x 1 m
	PE	<i>Pachira aquatica</i>	Peacocktail 'Nelly Kelly'	20 cm x 2 m

SOFT LANDSCAPE SPECIFICATIONS

ITEM	NOTE
GARDEN BEDS	Soil will be insured to 200mm depth before application of systems as recommended rates. Add 150mm loam 5-way mix, mix through existing sub soil without disturbing existing root zones and dress in preparation for planting. Get fabriced soil level 50mm below surrounding edging for face to ensure much layer sits flush. Slope garden beds evenly and batter where necessary to work with level of edges.
IRRIGATION	Poly automated drip-line irrigation system installed to all landscaped areas and battery powered.
MULCH	100mm layer of organic black fine mulch to all prepared garden beds over irrigation layer. Ensure mulch is pulled away from base of plant.
PLANTING	Install drainage layer to base of planter, connected to stormwater outlet. Fill planter with perlite growing mix. Finish with 50mm mulch layer.
ROOT BALL	For all plants, root ball to be tested out and pruned if required prior to planting.
WATERING IN	To be completed same day as planting, sufficiently to consolidate back fill around roots.

DRAINAGE + SERVICES

ITEM	NOTE
DRAINAGE - SUB SURFACE	Install 60mm agricultural drainage to garden beds connected to storm water system.
DRAINAGE - SURFACE	All surface water to fall away from building to drainage pits. All pits connected to existing storm water system. Silt filters installed in pits. Contractor to ensure no surface water pools or finished paving or gravel surfaces.
GARDEN BEDS	Ensure garden beds drain away from building.
LEGAL POINT OF DISCHARGE	All pits work directed to legal point of discharge.
RETAINING WALLS	Apply waterprooing membrane to the back of retaining walls, inside garden bed. Install 60mm agricultural drainage behind walls and backfill. Connect to storm water outlet.
SERVICES	Verify location and depth of all underground services prior to excavation, and protect during construction works.

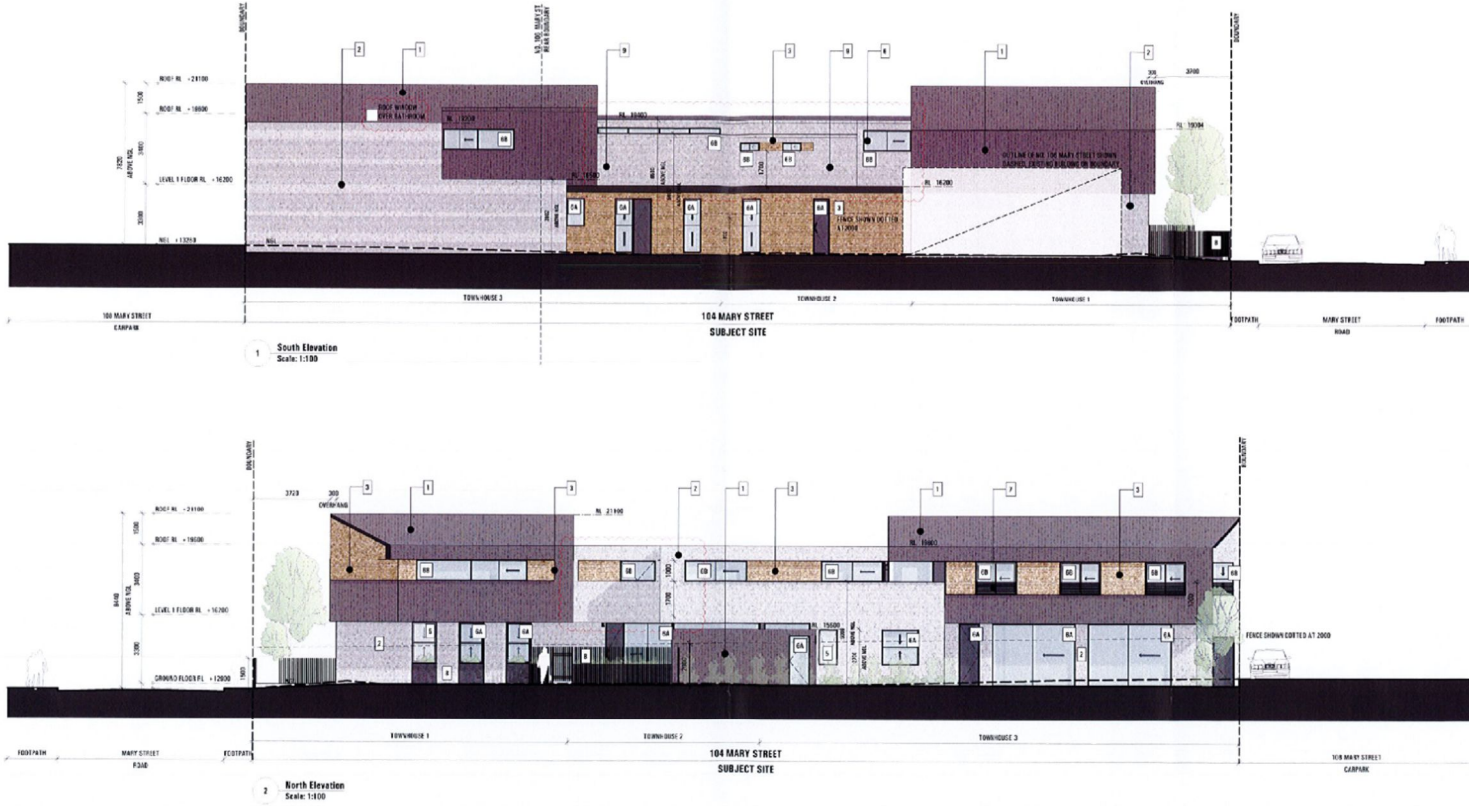


APPROVED
04 FEB 2019

		NO. 027218 DATE 04/12/18 REVISION 1: 04/12/18 BY: [Signature] DESCRIPTION: [Description]	PROJECT: Mary St Townhouses ADDRESS: 104 Mary Street, Richmond 3121 CLIENT: Con Georgakos & Clare Griffin	DRAWING: Landscape Plan SCALE: 1:100 @ A1 DATE: 30/1/19	DRAWING NUMBER: TP 2.04 REVISION: B
		1/11/2018 3002 of www.idlearch.com.au or 11 Gable Street, Geelong VIC 3216 www.idlearch.com.au www.peachygreen.com.au phone: 0438 654 799	2/1/2018 3002 of www.idlearch.com.au or 11 Gable Street, Geelong VIC 3216 www.idlearch.com.au www.peachygreen.com.au phone: 0438 654 799	ORIGINAL DRAWING AT A1 SEE ARCHITECTURAL PLAN DRAWN BY: IAS CHECKED BY: IAS	2/1/2018 3002 of www.idlearch.com.au or 11 Gable Street, Geelong VIC 3216 www.idlearch.com.au www.peachygreen.com.au phone: 0438 654 799

Attachment 2 - Amended Plans - 104 Mary Street, Richmond - Section 57(a) of the Planning and Environment Act, 1987

3.01 Elevations



- 1. COLOURBOND STANDING SEAM
- 2. MASONRY BLOCKS (BRICK)
- 3. TIMBER OR COMPOSITE LINING BOARDS
- 4. STEEL, BLACK OR SIMILAR
- 5. GLASS, FROSTED, BLACK WINDOW FRAMES
- 6A. GLASS, CLEAR, BLACK WINDOW FRAMES
- 6B. GLASS, CLEAR, BLACK WINDOW FRAMES (DEEPSLT IN OPENING TO ACHIEVE SHADE)
- 7. STEEL LOUVRES, BLACK OR SIMILAR, MAXIMUM 25% TRANSPARENCY.
- 8. VERTICAL STEEL, SLIM FENCE, BLACK, 40% TRANSPARENCY.
- 9. FIBRE CEMENT SHEET

MATERIAL PALETTE



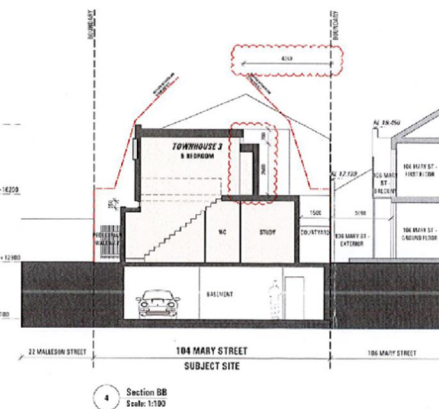
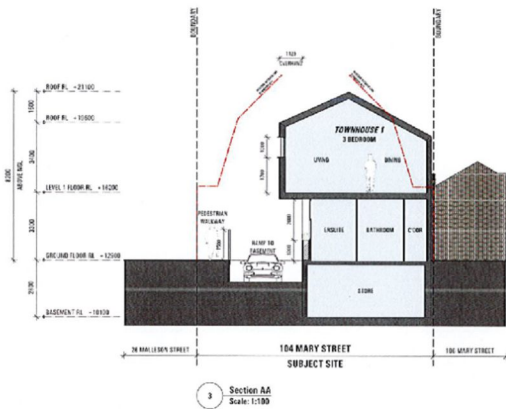
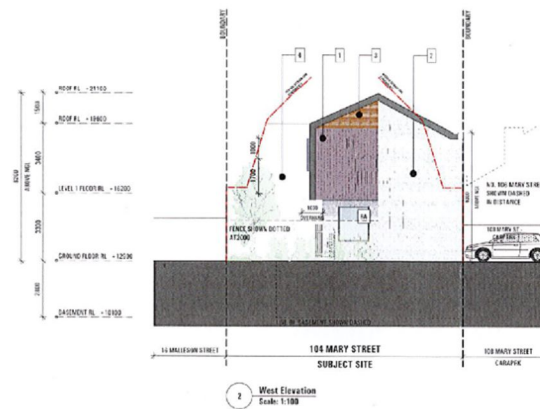
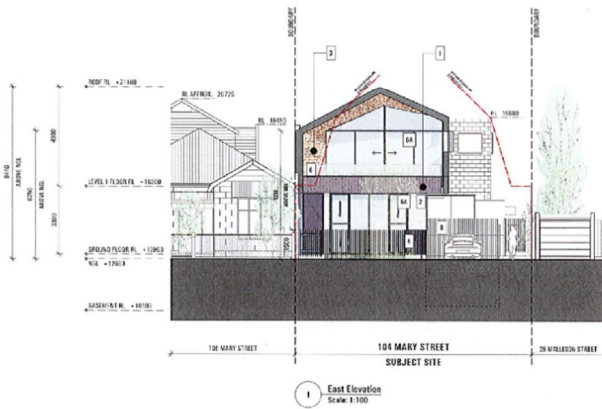
NO.	DATE	REVISION	BY
A	10/02/18	Informational (not for construction)	ML
B	02/12/18	SCREENING TREES ADDED TO ADDRESS BOUNDARY	ML
C	02/02/19	Design for construction and installation to wall schedule and pool shed	ML

PROJECT: **Mary St Townhouses**
 ADDRESS: 104 Mary Street, Richmond 3121
 CLIENT: Con Georgalos & Clare Griffin
 DATE: 2018-09
 DRAWING NO: **ELEVATIONS**
 SCALE: 1:100
 DATE: 30/1/19

DRAWING NUMBER: **TP 3.01**
 REVISION: **C**
 CHECKED BY: IAS
 DRAWN BY: IAS
 DATE: 04 FEB 2019

Attachment 2 - Amended Plans - 104 Mary Street, Richmond - Section 57(a) of the Planning and Environment Act, 1987

3.02 Elevations & Sections



MATERIAL PALETTE



ARCHITECTURE
STUDIO

NO.	DATE	REVISION	BY
1	17/01/19	Initial design and plan	CG
2	17/01/19	Final design and plan	CG
3	17/01/19	Final design and plan	CG

PROJECT
Mary St Townhouses
Address
104 Mary Street, Richmond 3121
CLIENT
Con Georgatos & Clare Griffin

DRAWING
ELEVATIONS & SECTIONS
SCALE
1:100
DATE
18/2/19

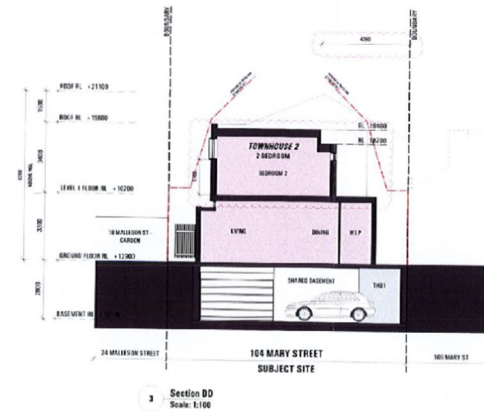
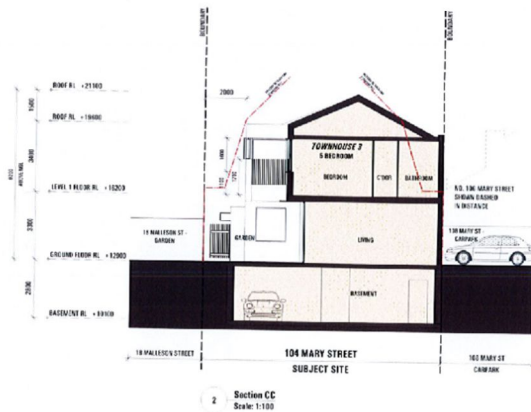
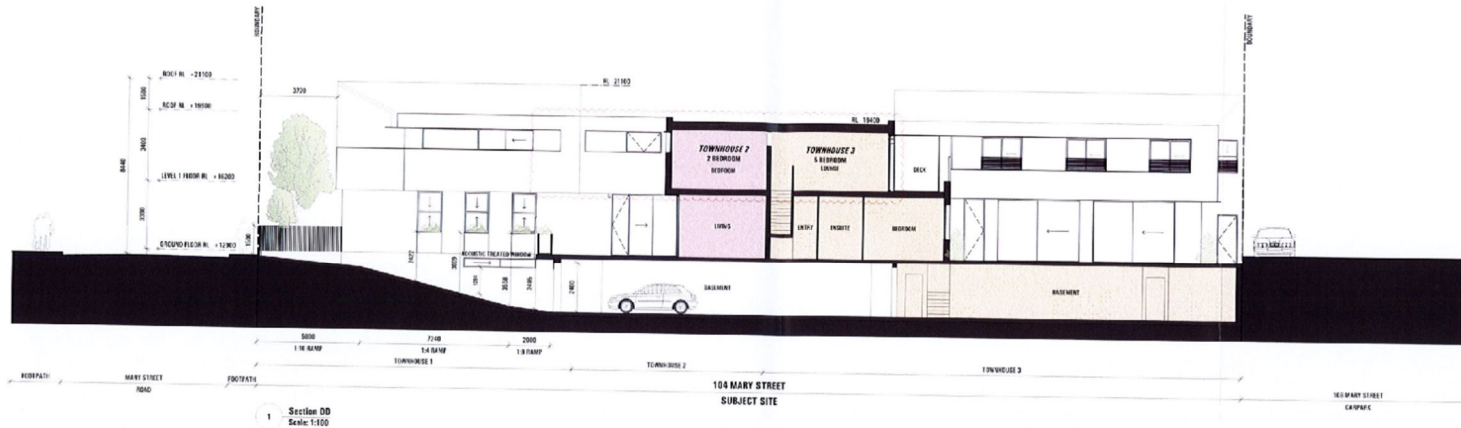
DESIGNER/NAME
TP 3.02
REVISION
C

- 1. COLOURBOND STANDING SEAM
- 2. MASONRY BLOCKS / BRICK
- 3. TIMBER OR COMPOSITE LAMING BOARDS
- 4. STEEL, BLACK OR SIMILAR
- 5. GLASS, FROTTED, BLACK WINDOW FRAMES
- 6A. GLASS, CLEAR, BLACK WINDOW FRAMES
- 6B. GLASS, CLEAR, BLACK WINDOW FRAMES (DEEPSE 1 IN OPENINGS TO ACHIEVE SHADE)
- 7. STEEL LOUVRES, BLACK OR SIMILAR, MAXIMUM 25% TRANSPARENCY.
- 8. VERTICAL STEEL FIN FENCE, BLACK, 40% TRANSPARENCY.
- 9. FINE CEMENT SHEET

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18 FEB 2019

Attachment 2 - Amended Plans - 104 Mary Street, Richmond - Section 57(a) of the Planning and Environment Act, 1987

3.03 Section



NO.	DATE	REVISION	BY
A	12/12/18	Informational - see section DD page 38	AS
B	20/12/18	Section CC, incorporated from TP 3.03	AS
C	30/1/19	Drawings Resubmitted - amended to show the car ramp and garden area	AS
		TP 3.03	

PROJECT:
Mary St Townhouses
ADDRESS:
104 Mary Street, Richmond 3121
CLIENT:
Carl Georgakos & Clare Griffin

DATE:
2016-09

SCALE:
1:100

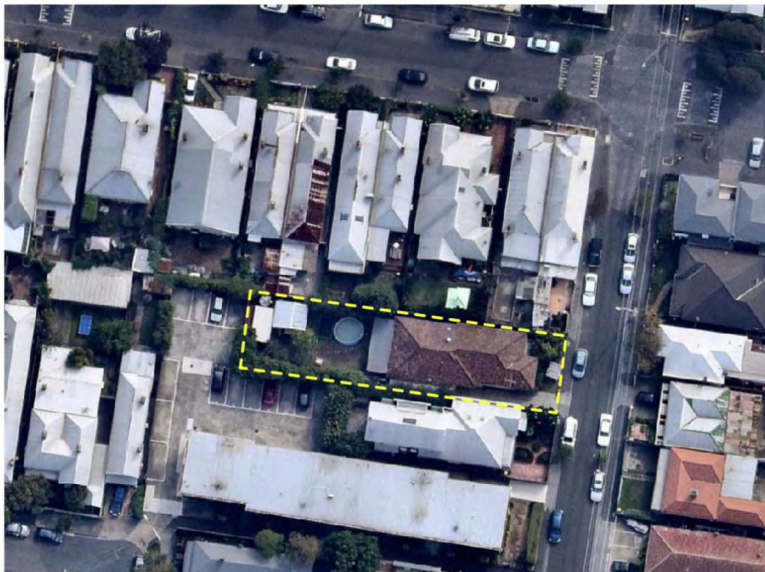
SECTION:
TP 3.03

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04 FEB 2019

Attachment 3 - Original - Advertising S52 Plans (for information purposes only) - 104 Mary Street, Richmond

104 Mary Street, Richmond 3121

TOWN PLANNING APPLICATION // MARCH 2018



	PROJECT OVERVIEW
TP-0.01	A Cover Page / Contents
	EXISTING CONDITIONS ANALYSIS
TP-1.01	A Location Plan
TP-1.02	A Existing Site Analysis Plan
TP-1.03	A Existing Streetscape Elevations
	DESIGN RESPONSE
TP-1.51	A Proposed Site Analysis & Development Summary
TP-1.52	A Proposed Streetscape Elevation & Materials
TP-1.53	A Proposed Materiality & Form
TP-1.61	A Garden Area, Permeable & Site Coverage Areas
TP-1.71	A Site Shadow Analysis 9am & 10am
TP-1.72	A Site Shadow Analysis 11am & 12pm
TP-1.73	A Site Shadow Analysis 1pm & 2pm
TP-1.74	A Site Shadow Analysis 3pm
	ARCHITECTURAL DRAWINGS
TP-2.01	A Basement Floor Plan
TP-2.02	A Ground Floor Plan
TP-2.03	A Level 01 Floor Plan & Roof Plan
TP-3.01	A Elevations
TP-3.02	A Elevations & Sections
TP-3.03	A Section

ARCHITECT BY:



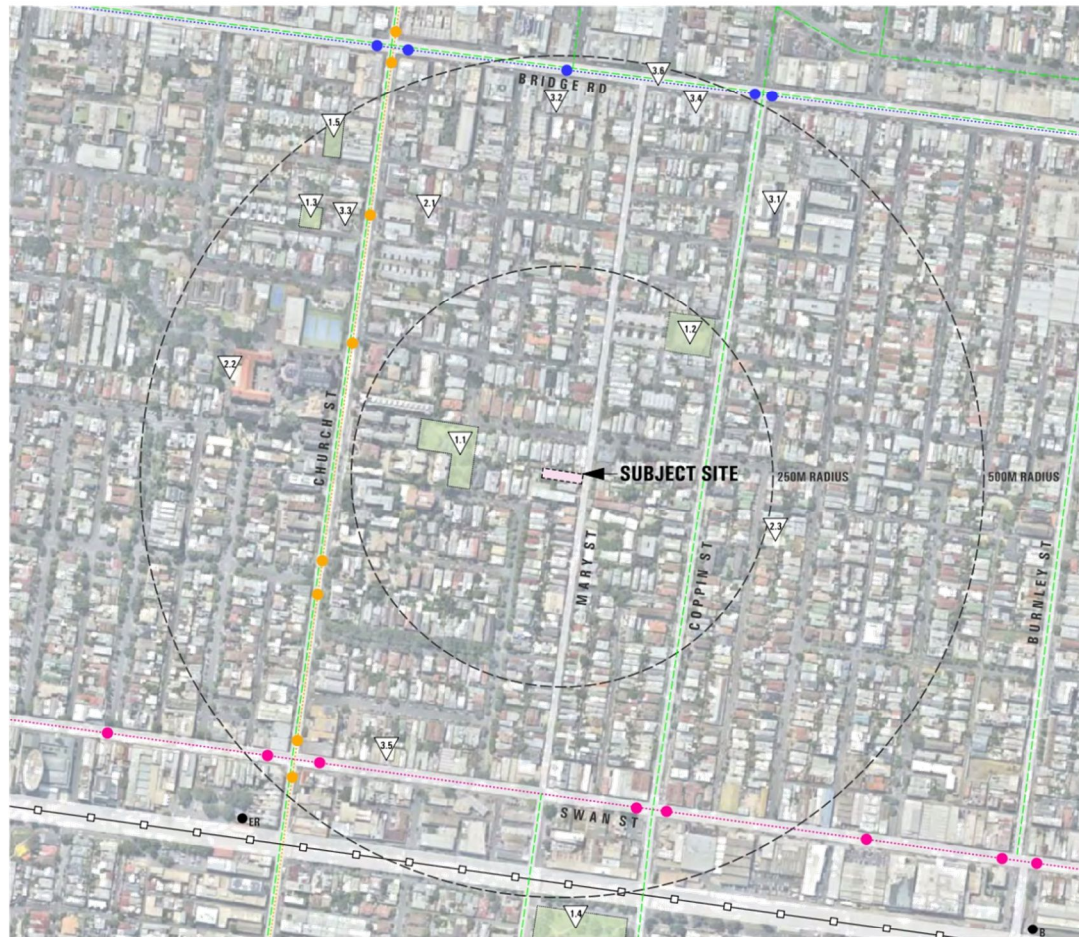
T / 613 9428 5202 www.idlearch.com.au
15 Cubitt Street Cremorne 3121 Victoria Australia

PLANNING CONSULTANT BY:



Attachment 3 - Original - Advertising S52 Plans (for information purposes only) - 104 Mary Street, Richmond

1.01 Location Plan



SITE PLAN KEY

- SUBJECT SITE, 104 MARY ST, RICHMOND
- PARKLANDS AND RECREATIONAL FACILITIES

LOCAL AREA ANALYSIS

THE SUBJECT SITE IS LOCATED WITHIN A RESIDENTIAL AREA (GRZ2).
 THE AREA IS WELL SERVED BY LOCAL FOOD STORES, DINING, ENTERTAINMENT, FASHION AND CLOTHING DESTINATIONS LOCATED WITHIN THE SWAN STREET RETAIL PRECINCT AND BRIDGE ROAD ACTIVITY CENTRE.
 SEVERAL PRE-SCHOOLS / CHILD CARE FACILITIES, A LOCAL PRIMARY SCHOOL AND TWO LARGE HIGH SCHOOLS ARE LOCATED WITHIN WALKING DISTANCE OF THE SITE.
 A NUMBER OF PARKS & RESERVES CAN BE FOUND IN WALKING DISTANCE. RICHMOND RECREATION CENTRE THAT INCLUDES SWIMMING, GYM & CHILD CARE FACILITIES IS LOCATED APPROX. 700M NORTH OF THE SITE.
 MELBOURNE CBD IS LOCATED APPROX. 4.0KM WEST OF THE SITE.

PARKS AND RECREATIONAL FACILITIES

1.1 CAIRNS RESERVE	0.2KM
1.2 DAME NELLIE MELBA MEMORIAL PARK	0.3KM
1.3 PEPPERCORN PARK	0.5KM
1.4 BARKLY GARDENS	0.5KM
1.5 BEN ALEXANDER RESERVE	0.8KM
..... RICHMOND RECREATION CENTRE	0.7KM

EDUCATIONAL FACILITIES

2.1 RICHMOND CRECHE	0.5KM
2.2 MELBOURNE INDIGENOUS TRANSITION SCHOOL	0.6KM
2.3 RICHMOND KINDERGARTEN	0.3KM
..... RICHMOND PRIMARY SCHOOL	1.0KM
..... MELBOURNE GIRLS' COLLEGE	1.5KM
..... MELBOURNE HIGH SCHOOL	2.1KM

AMENITIES

3.1 RICHMOND MEDICAL	0.5KM
3.2 CHEMIST WAREHOUSE RICHMOND	0.8KM
3.3 CHURCH STREET MEDICAL CENTRE	0.5KM
3.4 BRIDGE ROAD DENTAL	0.5KM
3.5 SWAN STREET RETAIL PRECINCT	0.5KM
3.6 BRIDGE ROAD ACTIVITY CENTRE	0.5KM
..... EPWORTH HOSPITAL, RICHMOND	1.5KM

LOCAL TRANSPORT ANALYSIS

THE SUBJECT SITE HAS EXCELLENT ACCESS TO PUBLIC TRANSPORT WITH TRAINS, TRAMS & BUSES AVAILABLE IN THE NEARBY AREA.

● ER	EAST RICHMOND TRAIN STATION	0.8KM
● B	BURNLEY TRAIN STATION	1.1KM
DEDICATED BICYCLE ROUTES		
●	TRAM 78 - NORTH RICHMOND - BALACLAVA VIA PRAHRAN	0.4KM
●	TRAM 70 - WATERFRONT CITY DOCKLANDS - WATTLE PARK	0.5KM
●	TRAM 48 - NORTH BALWYN - VICTORIA HARBOUR DOCKLANDS & TRAM 75 - ETHAD STADIUM DOCKLANDS - VERMONT SOUTH	0.5KM



NO.	DATE	REVISION	BY

T:\13\1408\880\www\ibearch.com.au\13 CLMPT Street Clarence 3021 - 943636

PROJECT
 Mary St Townhouses
 ADDRESS:
 104 Mary Street, Richmond 3121
 CLIENT:
 Con Georgakos & Clare Griffin

DRAWING
 LOCATION PLAN
 SCALE:
 1:2500 @A1
 ORIGINAL DRAWING AT A1
 USE AS INSTRUCTION SHEET
 DRAWN BY:
 2016-09 21/6/18
 CHECKED BY:

DRAWING NUMBER
 TP 1.01
 REVISION:
 1: Project: 130110-130110-0000-0000 (P) 13.03 Drawing: 1.01 Town Planning - CURRENT: TP 104 Mary St v01
 (This Architecture Studio Pty Ltd own copyright of the drawing) 48N 55 54W 314 314

Attachment 3 - Original - Advertising S52 Plans (for information purposes only) - 104 Mary Street, Richmond

ADJOINING WINDOW KEY:
 HW HABITABLE WINDOW
 W NON HABITABLE WINDOW
 D DOOR
 GD GLASS DOOR

1.02 Existing Site Analysis Plan



EXISTING CONDITIONS

EXISTING SITE DETAILS

104 MARY STREET RICHMOND IS CURRENTLY OCCUPIED BY A SINGLE STOREY BRICK HOUSE, WITH ATTACHED CARPORT AND DETACHED SHED AND STOREROOM IN THE REAR YARD. THE SUBJECT SITE IS LOCATED MIDWAY BETWEEN BRIDGE ROAD AND SWAN STREET IN A GENERAL RESIDENTIAL ZONE - SCHEDULE 2 (GR2)

LOCATION

RICHMOND OFFERS A VIBRANT MIX OF ACTIVITIES. A RANGE OF RESTAURANTS/CAFES, RETAIL & COMMERCIAL OUTLETS AND SERVICES ARE ALL LOCATED CLOSE BY. THE AREA IS WELL SERVED BY SCHOOLS, PUBLIC TRANSPORT, COMMUNITY OPEN SPACE AND SPORTS FACILITIES.

TRANSPORT

THE SUBJECT SITE HAS EXCELLENT ACCESS TO PUBLIC TRANSPORT WITH TRAINS AND TRAMS AVAILABLE WITHIN THE NEARBY AREA. THE SUBJECT SITE HAS EXCELLENT ACCESS TO BICYCLE INFRASTRUCTURE. (REFER TO LOCATION PLAN FOR EXTENT)

NEIGHBOURHOOD FEATURES

THE NEIGHBOURHOOD IS PREDOMINANTLY RESIDENTIAL. THE BUILT FORM COMPRISES OF MID-VICTORIAN COTTAGES AND TERRACES, EDWARDIAN DWELLINGS, A NUMBER OF MULTI-LEVEL UNITS / FLATS AND CONTEMPORARY INFIL HOUSING.

STREETScape

MARY STREET IS A LOCAL STREET RUNNING IN A NORTH-SOUTH DIRECTION. IT EXTENDS FROM BRIDGE ROAD IN THE NORTH TO SWAN STREET IN THE SOUTH BEFORE COMING TO A DEAD END AT THE MONASH FREEWAY. FOR THE MAJORITY OF ITS LENGTH MARY STREET IS A ONE-WAY ROAD. IN THE VICINITY OF THE SUBJECT SITE, MARY STREET HAS AN APPROXIMATE STREET/PAVEMENT WIDTH OF 12METRES, ALLOWING FOR VEHICLE MOVEMENTS IN A SOUTHERN DIRECTION. KERBSIDE PARKING AND FOOTPATH ON BOTH SIDES OF THE STREET. THE PARKING ON THE WESTERN SIDE OF THE STREET IS 2 HOURS (7AM - 7PM MON - FRI) AND PERMIT ZONE OF THE EASTERN SIDE.

TREES/VEGETATION ON ADJOINING PROPERTIES



MAGNOLIA TREE ON SOUTHERN BOUNDARY

LEYLAND CYPRESS ON NORTHERN BOUNDARY



LEYLAND CYPRESS ON NORTHERN BOUNDARY



OLIVE TREES ON SOUTHERN BOUNDARY



NO.	DATE	REVISION	BY
1	19/11/18	Submission required on council BR	IAS



PROJECT
 Mary St Townhouses
 ADDRESS:
 104 Mary Street, Richmond 3121
 CLIENT:
 Con Georgakas & Clare Griffin

2016-09

DRAWING:
 EXISTING SITE ANALYSIS PLAN
 SCALE:
 1:200 @A1
 FREE DATE:
 21/6/18

DRAWING NUMBER:
 TP 1.02
 ORIGINAL DRAWING AT A1
 SHE: A3 REDUCTION @A1
 PLOT FILE: C:\PROJECTS\104 MARY ST.dwg
 DRAWN BY:
 IAS
 CHECKED BY:
 IAS

REVISION:
 A

Attachment 3 - Original - Advertising S52 Plans (for information purposes only) - 104 Mary Street, Richmond

1.03 Existing Streetscape Elevation



NO.	DATE	REVISION	BY

1 / 413 948 880 / www.iidearch.com.au / 15 Clarendon Street, Melbourne 3121, Victoria

PROJECT
Mary St Townhouses
ADDRESS:
104 Mary Street, Richmond 3121
CLIENT:
Con Georgakas & Clare Griffin

2016-09

DRAWING
EXTG STREETSCAPE ELEVATION
SCALE:
1:100 @A1
DATE:
21/6/18
DRAWN BY:
IAS
CHECKED BY:
IAS

DRAWING NUMBER
TP 1.03
REVISION:
1. Project 104 Mary St 2016-09 (Rev 1) (Drawing) 10/1 Town Planning / CLIENT: Con Georgakas & Clare Griffin
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Attachment 3 - Original - Advertising S52 Plans (for information purposes only) - 104 Mary Street, Richmond

1.51 Proposed Site Analysis Plan & Development Summary

ADJOINING WINDOW KEY:

HW	HABITABLE WINDOW
W	NON HABITABLE WINDOW
D	DOOR
GD	GLASS DOOR



DESIGN RESPONSE

PROPOSED DEVELOPMENT
 THE PROPOSED RESIDENTIAL DEVELOPMENT CONSISTS OF 3 TOWNHOUSES: 1-3 BEDROOM TOWNHOUSE, 1-1 BEDROOM TOWNHOUSE AND 1-1 BEDROOM TOWNHOUSE.
 EACH TOWNHOUSE CONSISTS OF SECURE, ENCLOSED CARPORT PARKING AND STORAGE. ALL TOWNHOUSES ARE DIRECTLY ACCESSIBLE THROUGH A SEPARATE, ENCLOSED STAIRCASE LOCATED IN THE BASEMENT AND INDIVIDUAL GROUND LEVEL ENTRIES.
 THE TOWNHOUSES HAVE MULTIPLE ORIENTATIONS AND PROFILES AND VARIATION IN ROOF FORMS AND HEIGHTS TO BREAK OF THE OVERALL BLOCK. EACH TOWNHOUSE HAS ACCESS TO PRIVATE GARDEN/OUTDOOR SPACES.
 ON-SITE CAR PARKING HAS BEEN PROVIDED IN ACCORDANCE WITH THE RELEVANT STANDARDS AND ARE AS FOLLOWS:
 RESIDENT CAR PARKING: 2
 RECYCLE PARKING HAS BEEN PROVIDED IN THE BASEMENT.
 TOWNHOUSE 1 WILL BE ACCESSED VIA A PRIVATE FRONT GARDEN FROM A GATE ON THE STREET, WHILE TOWNHOUSES 2 & 3 WILL HAVE PEDESTRIAN ACCESS RE VIA A WALKWAY ALONG THE NORTHERN BOUNDARY, WHICH ALSO ACTS AS A BUFFER TO THE NORTHERN NEIGHBOURS. TOWNHOUSES ARE ALSO ACCESSIBLE VIA THE BASEMENT.
BUILDING ENVELOPE & SETBACK
 THE STREET FRONTAGE IS ALIGNED AND CONSISTENT WITH THAT OF BUILDINGS WITHIN THIS LOCALITY.
 THE BASEMENT CARPORT ENTRY IS RECESSED 13.3M FROM THE STREET BOUNDARY.
 SET BACKS OF OUTDOOR LIVING SPACES AND WINDOW PLACEMENT RESPECT THE HABITABLE AND PRIVATE OPEN SPACES OF NEIGHBOURING RESIDENCES.
 THE BUILDING SETS WITHIN THE 817 BUILDING ENVELOPE FOR THE MAJORITY OF THE SITE, HOWEVER WHERE THE SITE ALONGS A NEIGHBOURING BOUNDARY WALL OR CAR PARKING AREA THIS SETBACK HAS BEEN DISREGARDED.
 THE BUILDING COMPLEX WITH 810 DAVENPORT TO EXISTING WINDOWS THROUGH USE OF A LIGHTWELL ON THE PROPOSED SITE.
BUILDING FORM
 THE PROPOSED BUILDING FORM IS CONTEMPORARY AND INTRODUCES A DYNAMIC & INTERESTING VISUAL ANEMITY TO THE AREA.
 THE PROPOSAL PROVIDES A SYMPHONIC STREETSCAPE FACADE RELATIVE TO ITS SURROUNDING CONTEXT.
 EACH TOWNHOUSE PROVIDES MULTIPLE WINDOW AND OUTDOOR LIVING AREAS WITH GREAT SOLAR ACCESS, WINDOWS PERFORM VARIOUS NATURAL LIGHT AND CROSS VENTILATION BUT ARE LOCATED, SIZED OR ADJUSTED TO AVOID OVERSHADING.
 THE STREET FRONTAGE INCORPORATED A MEDIUM HEIGHT STEEL FIN FENCE, WHICH IS CONSISTENT WITH THE STREET CHARACTER. LANDSCAPING IS INCORPORATED TO SOFTEN THE FORM AND INCLUDE PRIVACY FOR THE GROUND FLOOR RESIDENCE.
 THE FRONT SETBACK ALLOWS AREA FOR SOFT LANDSCAPING AND MEDIUM AND LARGE CANOPY TREES.
 THE BUILDING CONSISTS OF TWO STOREY PITCHED ROOF FORMS WITH A CENTRAL VISUAL BREAK. THE PITCHED FORM IS CONSISTENT WITH THE NEIGHBOURHOOD CHARACTER.
 BASEMENT CAR PARKING IS PROVIDED TO ELIMINATE THE NEED FOR CAR PARKING STRUCTURES ABOVE GROUND. THE ENTRY IS LOCATED TO THE NORTHERN BOUNDARY, AND SET BACK FROM THE STREET BOUNDARY BY 13.3M. THE ENTRY IS BELOW NATURAL GROUND LINE.
MATERIALITY
 THE BUILDING IS BUILT WITH SEPARATE ELEMENTS THAT INTEGRATE WITH SURROUNDING BUILDINGS AND WILL ENHANCE THE MARY STREET STREETSCAPE AND PROVIDE A POSITIVE CONTRIBUTION TO THE NEIGHBOURING RESIDENTIAL PROPERTIES.
 THE BUILDING INCORPORATES A HIGH STANDARD OF MATERIAL FINISH WITH A MIX OF NATURAL AND PRE-FINISHED MATERIALS. THEY ARE SYMPHONIC TO THE VARIOUS MATERIAL EXPRESSIONS WITHIN THE LOCALITY.

ENVIRONMENTALLY SUSTAINABLE DESIGN
 THE PROPOSED DEVELOPMENT IS DESIGNED TO BE RESPECTFUL OF THE ENVIRONMENT DURING BOTH CONSTRUCTION AND ITS CONTINUED USE. THE PROPOSAL EXPECTS TO INTEGRATE MEASURES THAT SUPPORT SOCIAL, ENVIRONMENTAL AND ECONOMIC SUCCESS.
 ALL LIVING ROOMS AND BEDROOMS FEATURE LARGE WINDOWS FOR NATURAL VENTILATION. THIS SUPPORTS A FRESH AIR BRIZE PATH THROUGHOUT WHICH CONTRIBUTES TO A HEALTHY BUILDING. THE BUILDING SHAPE REDUCES AIR FLOW AROUND THE PERIMETER OF THE BUILDING WHICH ULTIMATELY HAS A COOLING EFFECT. EACH APARTMENT HAS WALL TYPING ORIENTATION WHICH ALLOWS FOR GREAT CROSS-FLOW VENTILATION. THE IMPROVED RESIDENTIAL COMFORT OF BUILDINGS HELPS USES AND TO MOVE THROUGH THE HEAVY, REDUCING THE BUILDING ON AIRFLOW, SOUNDING AND CIRCULATING METHODS AND ASSISTING IN THE REMOVAL OF ROOM POLLUTANTS. EACH TOWNHOUSE FEATURES THE MAIN LIVING ROOM DIRECTED OUTWARD WITH GLAZED SLIDING DOOR TO PRIVATE GARDEN AREA TO ALLOW FOR MAXIMUM DAYLIGHT TO FILTER THROUGH THE GARDEN OCCUPIED ROOMS.

DEVELOPMENT SUMMARY	
SITE AREA	554m ²
TOTAL ROOFED AREA	344m ²
% TOTAL SITE COVERAGE	62%
TOTAL GARDEN AREA	168m ²
% TOTAL SITE AREA	30%
TOTAL TOWNHOUSES	3
TOWNHOUSE 1	2
TOWNHOUSE 2	1
TOWNHOUSE 3	3
TOTAL CAR PARKING SPACES	6

DEVELOPMENT SCHEDULE	
TOWNHOUSE 1 - 3 BEDROOM	
Total Area	132m ²
Total Garden / Balcony	48m ²
TOWNHOUSE 2 - 2 BEDROOM	
Total Area	125m ²
Total Garden / Balcony	28m ²
TOWNHOUSE 3 - 5 BEDROOM	
Total Area	311m ²
Total Garden / Balcony	104m ²
ROOF	
Total Area (external)	294m ²

NOTE 1: ALL FIGURES ARE APPROXIMATE AND SUBJECT TO CHANGE DURING DESIGN DEVELOPMENT.
 NOTE 2: ALL APARTMENT FLOOR AREAS MEASURED TO OUTSIDE FACE OF EXTERNAL WALLS AND CENTRE LINE OF PARTY WALLS.



NO.	DATE	REVISION	BY
A	19/07/18	Information requested on council plan	IAAS

PROJECT
 Mary St Townhouses
 ADDRESS:
 104 Mary Street, Richmond 3121
 CLIENT:
 Con Georgakas & Clare Griffin

DRAWING:
 PROPOSED SITE ANALYSIS
 SCALE:
 1:200 @A1
 DATE:
 21/6/18

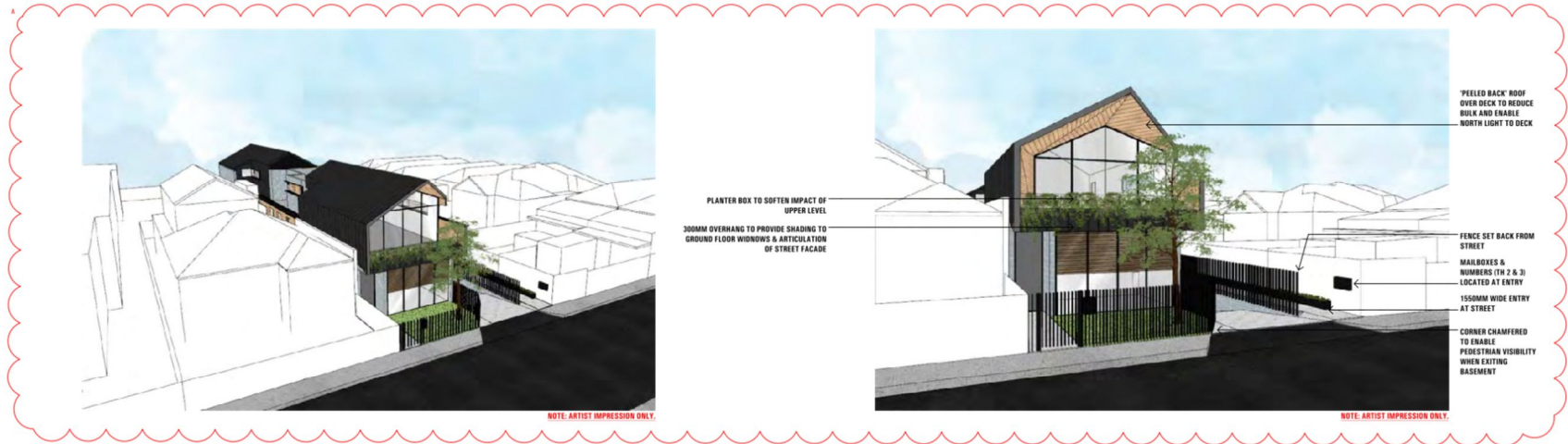
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 TP 1.51
 REVISION:
 A

Attachment 3 - Original - Advertising S52 Plans (for information purposes only) - 104 Mary Street, Richmond

1.52 Proposed Streetscape



1 PROPOSED STREETScape ELEVATION
Scale: 1:100



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PROJECT
Mary St Townhouses
ADDRESS:
104 Mary Street, Richmond 3121
CLIENT:
Con Georgakas & Clare Griffin

2016-09

DRAWING
PROP STREETScape
SCALE:
1:100 @A1
DATE:
21/6/18
DRAWN BY:
IAS
CHECKED BY:
IAS

DRAWING NUMBER
TP 1.52
REVISION:
A
2 / Project 15210 - 104 Mary St (Drawing) 1/2 Town
Planning Application - 104 Mary St only
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Attachment 3 - Original - Advertising S52 Plans (for information purposes only) - 104 Mary Street, Richmond

1.53 Materiality & Form



INSET WINDOWS ON UPPER LEVEL



INSET WINDOWS ON UPPER LEVEL



PITCHED FORM WITH GLAZED WALL



FIXED LOUVRE PRIVACY SCREENS



PITCHED FORM ADJOINING FLAT ROOFED SECTION



STANDING SEAM CLADDING & ROOF



STANDING SEAM CLADDING & ROOF



PITCHED CEILING & TIMBER LINING



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T: 03 9428 5802 or www.idlarch.com.au / 15 CLARKE Street, Cheltenham 3127, VIC 3127

PROJECT
Mary St Townhouses
 ADDRESS:
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 Con Georgakos & Clare Griffin

2016-09

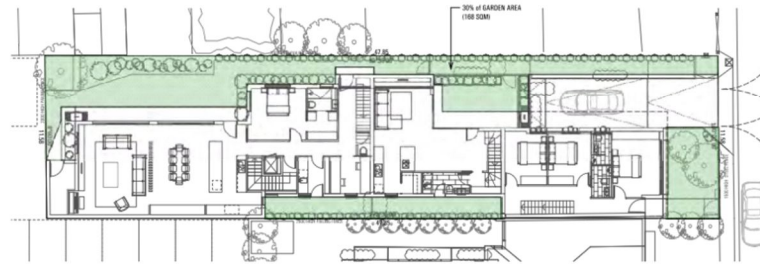
DRAWING
MATERIALITY & FORM
 SCALE:
 1:100 @A1
 DATE:
 21/6/18

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 DRAWN BY:
 IAS
 CHECKED BY:
 IAS

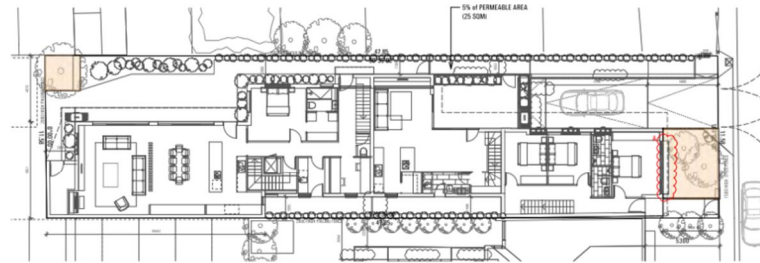
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 Planning, CURRENT TP 104 Mary St only
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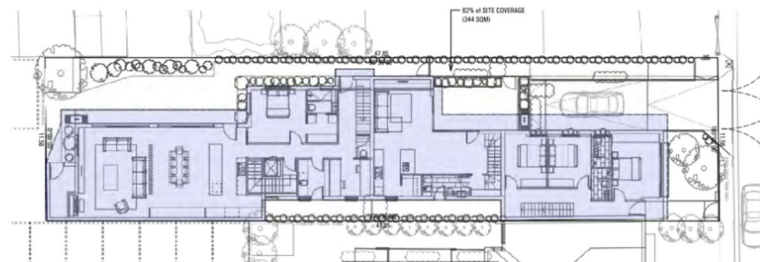
1.61 Garden Area, Permeable & Site Coverage Areas



1 GARDEN AREA PLAN
Scale: 1:150



2 PERMEABLE AREA PLAN
Scale: 1:150



3 SITE COVERAGE PLAN
Scale: 1:150

DEVELOPMENT SUMMARY	
SITE AREA	554m ²
TOTAL ROOFED AREA	344m ²
% TOTAL SITE COVERAGE	62 %
TOTAL GARDEN AREA	168m ²
% TOTAL SITE AREA	30 %
TOTAL TOWNHOUSES	3
TOTAL CAR PARKING SPACES	6
TOWNHOUSE 1	2
TOWNHOUSE 2	1
TOWNHOUSE 3	3

- GARDEN AREA
- PERMEABLE AREA
- SITE COVERAGE



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ADDRESS:
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Con Georgakas & Clare Griffin

2016-09

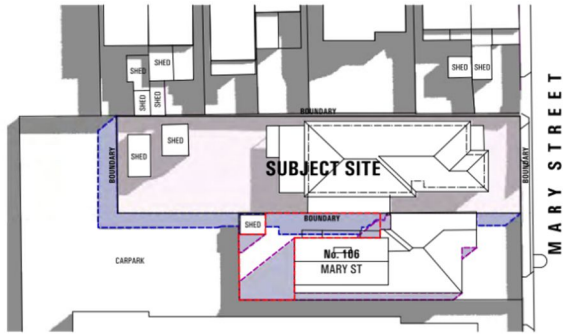
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GARDEN, PERMEABLE & SITE
COVERAGE AREA PLAN
1:150 (S4/1)
DATE: 21/6/18
DRAWN BY: IAS
CHECKED BY: IAS

DRAWING NUMBER:
TP 1.61
REVISION:
A
27 Project 1/2018 1/2018 88 Mary St 3.0 Drawing 1/2 of Town Planning Application for 104 Mary St
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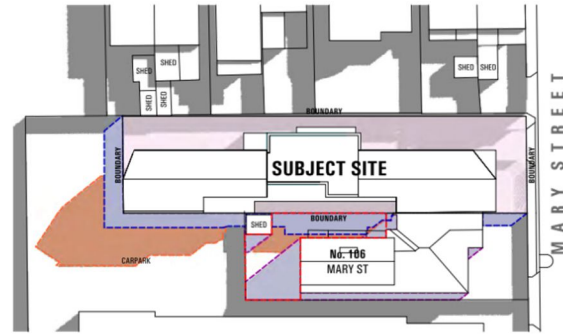
Attachment 3 - Original - Advertising S52 Plans (for information purposes only) - 104 Mary Street, Richmond

KEY
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1.71 Site Shadow Analysis



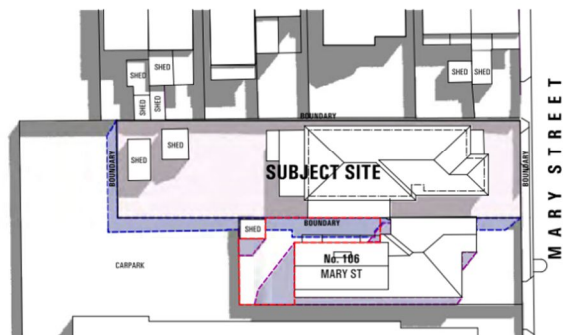
EXISTING SITE SHADOW ANALYSIS
 9:00AM, SEPTEMBER 22



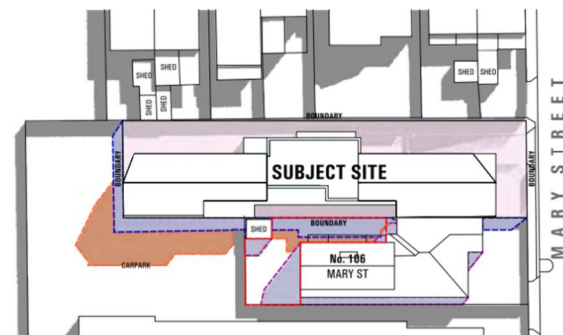
PROPOSED SITE SHADOW ANALYSIS
 9:00AM, SEPTEMBER 22

106 MARY ST SHADOW ANALYSIS STATISTICS
 SEPTEMBER EQUINOX (22 SEPT)

9AM	TOTAL SPOS (MINIMUM WIDTH OF 3M)	90M ²
	EXISTING SHADOWED SPOS	65M ²
	EXISTING UNSHADOWED SPOS	25M ²
	POST DEVELOPMENT UNSHADOWED SPOS	8M ²



EXISTING SITE SHADOW ANALYSIS
 10:00AM, SEPTEMBER 22



PROPOSED SITE SHADOW ANALYSIS
 10:00AM, SEPTEMBER 22

106 MARY ST SHADOW ANALYSIS STATISTICS
 SEPTEMBER EQUINOX (22 SEPT)

10AM	TOTAL SPOS (MINIMUM WIDTH OF 3M)	90M ²
	EXISTING SHADOWED SPOS	49M ²
	EXISTING UNSHADOWED SPOS	41M ²
	POST DEVELOPMENT UNSHADOWED SPOS	30M ²



NO.	DATE	REVISION	BY



PROJECT: Mary St Townhouses
 ADDRESS: 104 Mary Street, Richmond 3121
 CLIENT: Con Georgakas & Clare Griffin

2016-09

DRAWING: SITE SHADOW ANALYSIS
 SCALE: 1:250 @A1
 DATE: 21/6/18

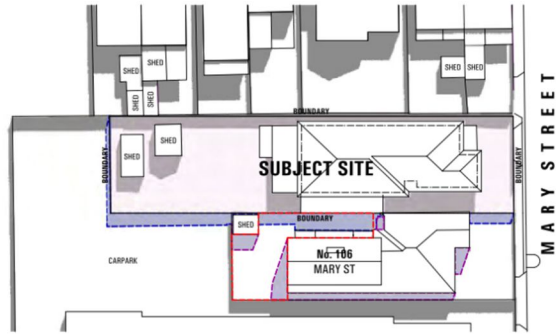
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 CHECKED BY: IAS

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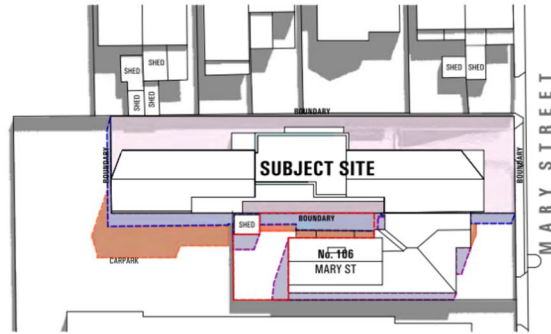
Attachment 3 - Original - Advertising S52 Plans (for information purposes only) - 104 Mary Street, Richmond

KEY
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1.72 Site Shadow Analysis



EXISTING SITE SHADOW ANALYSIS
11:00AM, SEPTEMBER 22

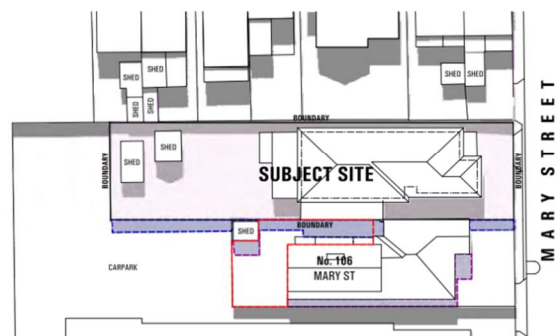


PROPOSED SITE SHADOW ANALYSIS
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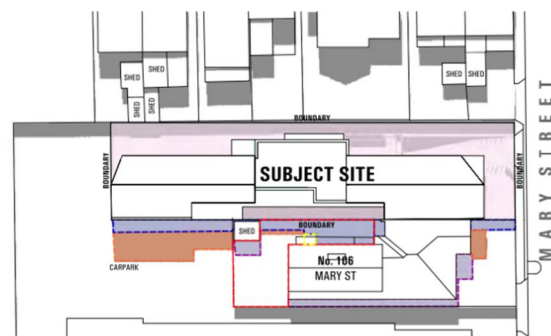
106 MARY ST SHADOW ANALYSIS STATISTICS
SEPTEMBER EQUINOX (22 SEPT)

11AM	TOTAL SPOS (MINIMUM WIDTH OF 3M)	90M ²
	EXISTING SHADOWED SPOS	39M ²
	EXISTING UNSHADOWED SPOS	51M ²
	ADDITIONAL SHADOWED SPOS	11M ²
POST DEVELOPMENT UNSHADOWED SPOS		40M ²

11AM COMPLIES WITH STANDARD B21,
MINIMUM 40SQM OF SPOS RECEIVES SUNLIGHT POST DEVELOPMENT.



EXISTING SITE SHADOW ANALYSIS
12:00PM, SEPTEMBER 22



PROPOSED SITE SHADOW ANALYSIS
12:00PM, SEPTEMBER 22

106 MARY ST SHADOW ANALYSIS STATISTICS
SEPTEMBER EQUINOX (22 SEPT)

12PM	TOTAL SPOS (MINIMUM WIDTH OF 3M)	90M ²
	EXISTING SHADOWED SPOS	36M ²
	EXISTING UNSHADOWED SPOS	55M ²
	ADDITIONAL SHADOWED SPOS	2M ²
POST DEVELOPMENT UNSHADOWED SPOS		52M ²

12PM COMPLIES WITH STANDARD B21,
MINIMUM 40SQM OF SPOS RECEIVES SUNLIGHT POST DEVELOPMENT.



NO.	DATE	REVISION	BY

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PROJECT: Mary St Townhouses
 ADDRESS: 104 Mary Street, Richmond 3121
 CLIENT: Con Georgakas & Clare Griffin

2016-09

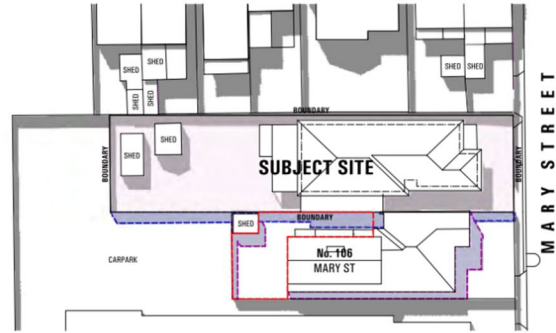
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 CHECKED BY: IAS

DRAWING NUMBER: TP 1.72
 REVISION:
 27/09/2016 (2016-09-28) MARK (P.13.8 Drawing) 0.0 Town Planning / CLARENCE / 104 MARY ST V04
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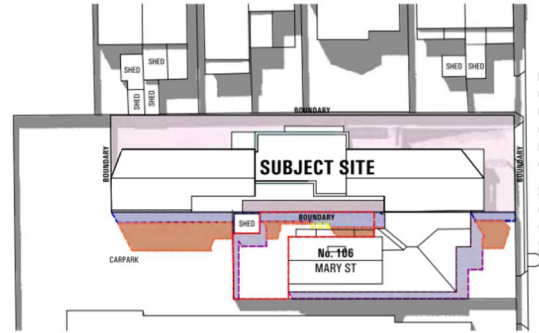
Attachment 3 - Original - Advertising S52 Plans (for information purposes only) - 104 Mary Street, Richmond

1.73 Site Shadow Analysis

KEY
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EXISTING SITE SHADOW ANALYSIS
1:00PM, SEPTEMBER 22

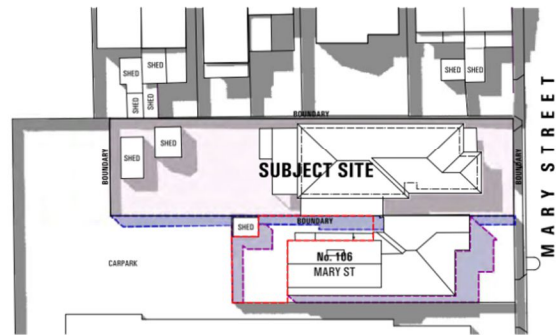


PROPOSED SITE SHADOW ANALYSIS
1:00PM, SEPTEMBER 22

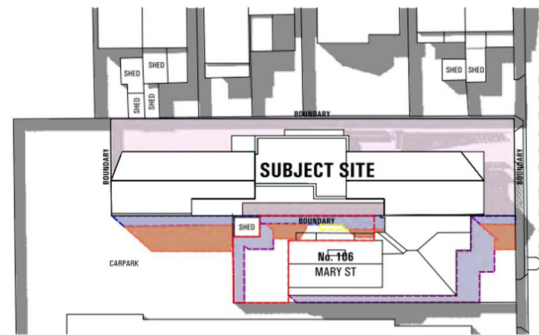
106 MARY ST SHADOW ANALYSIS STATISTICS
SEPTEMBER EQUINOX (22 SEPT)

1PM	TOTAL SPOS (MINIMUM WIDTH OF 3M)	90M ²
	EXISTING SHADOWED SPOS	32M ²
	EXISTING UNSHADOWED SPOS	58M ²
	ADDITIONAL SHADOWED SPOS	8M ²
POST DEVELOPMENT UNSHADOWED SPOS		50M ²

1PM COMPLIES WITH STANDARD B21,
MINIMUM 40SQM OF SPOS RECEIVES SUNLIGHT POST DEVELOPMENT.



EXISTING SITE SHADOW ANALYSIS
2:00PM, SEPTEMBER 22



PROPOSED SITE SHADOW ANALYSIS
2:00PM, SEPTEMBER 22

106 MARY ST SHADOW ANALYSIS STATISTICS
SEPTEMBER EQUINOX (22 SEPT)

2PM	TOTAL SPOS (MINIMUM WIDTH OF 3M)	90M ²
	EXISTING SHADOWED SPOS	35M ²
	EXISTING UNSHADOWED SPOS	55M ²
	ADDITIONAL SHADOWED SPOS	7M ²
POST DEVELOPMENT UNSHADOWED SPOS		48M ²

2PM COMPLIES WITH STANDARD B21,
MINIMUM 40SQM OF SPOS RECEIVES SUNLIGHT POST DEVELOPMENT.



NO.	DATE	REVISION	BY

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PROJECT: Mary St Townhouses
 ADDRESS: 104 Mary Street, Richmond 3121
 CLIENT: Con Georgakas & Clare Griffin

2016-09

DRAWING: SITE SHADOW ANALYSIS
 SCALE: 1:250 @A1
 DATE: 21/6/18

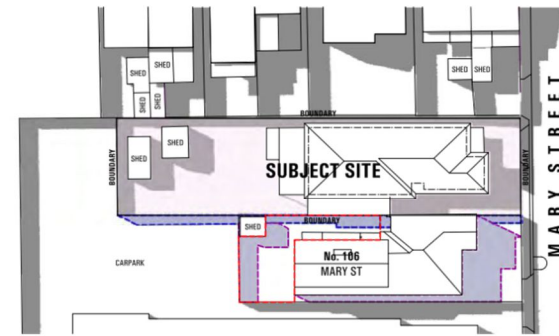
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 DRAWN BY: IAS
 CHECKED BY: IAS

DRAWING NUMBER: TP 1.73
 REVISION: 27/09/2018 (22) 2018-09-28 08:44:47 (P.13.8 Drawing) 1/2 Town Planning / CLARENCE/104 Mary St.v04
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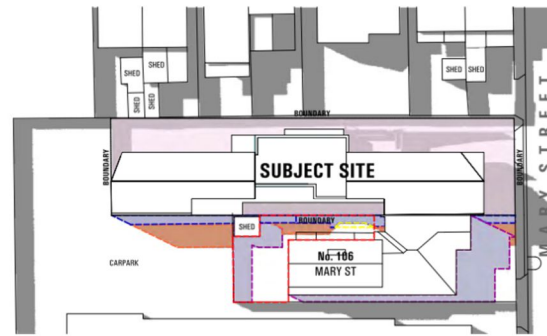
Attachment 3 - Original - Advertising S52 Plans (for information purposes only) - 104 Mary Street, Richmond

1.74 Site Shadow Analysis

KEY
 [White Box] SUBJECT SITE [Red Dashed Box] SPOS [Blue Dashed Box] SUBJECT SITE EXISTING SHADOW OUTLINE [Purple Dashed Box] EXISTING SHADOW TO NEIGHBOURING SPOS [Orange Box] ADDITIONAL SHADOW DUE TO PROPOSED DEVELOPMENT [Yellow Box] REDUCED SHADOW DUE TO PROPOSED DEVELOPMENT



EXISTING SITE SHADOW ANALYSIS
 3:00PM, SEPTEMBER 22



PROPOSED SITE SHADOW ANALYSIS
 3:00PM, SEPTEMBER 22

106 MARY ST SHADOW ANALYSIS STATISTICS
 SEPTEMBER EQUINOX (22 SEPT)

3PM	TOTAL SPOS (MINIMUM WIDTH OF 3M)	90M ²
	EXISTING SHADOWED SPOS	41M ²
	EXISTING UNSHADOWED SPOS	49M ²
	ADDITIONAL SHADOWED SPOS	6M ²
	POST DEVELOPMENT UNSHADOWED SPOS	43M ²

3PM COMPLIES WITH STANDARD B21.
 MINIMUM 45MIN OF SPOS RECEIVES SUNLIGHT POST DEVELOPMENT.



NO.	DATE	REVISION	BY

T: 613 948 8802 | www.idlearch.com.au | 15 Clarendon Street, Richmond 3121, Victoria



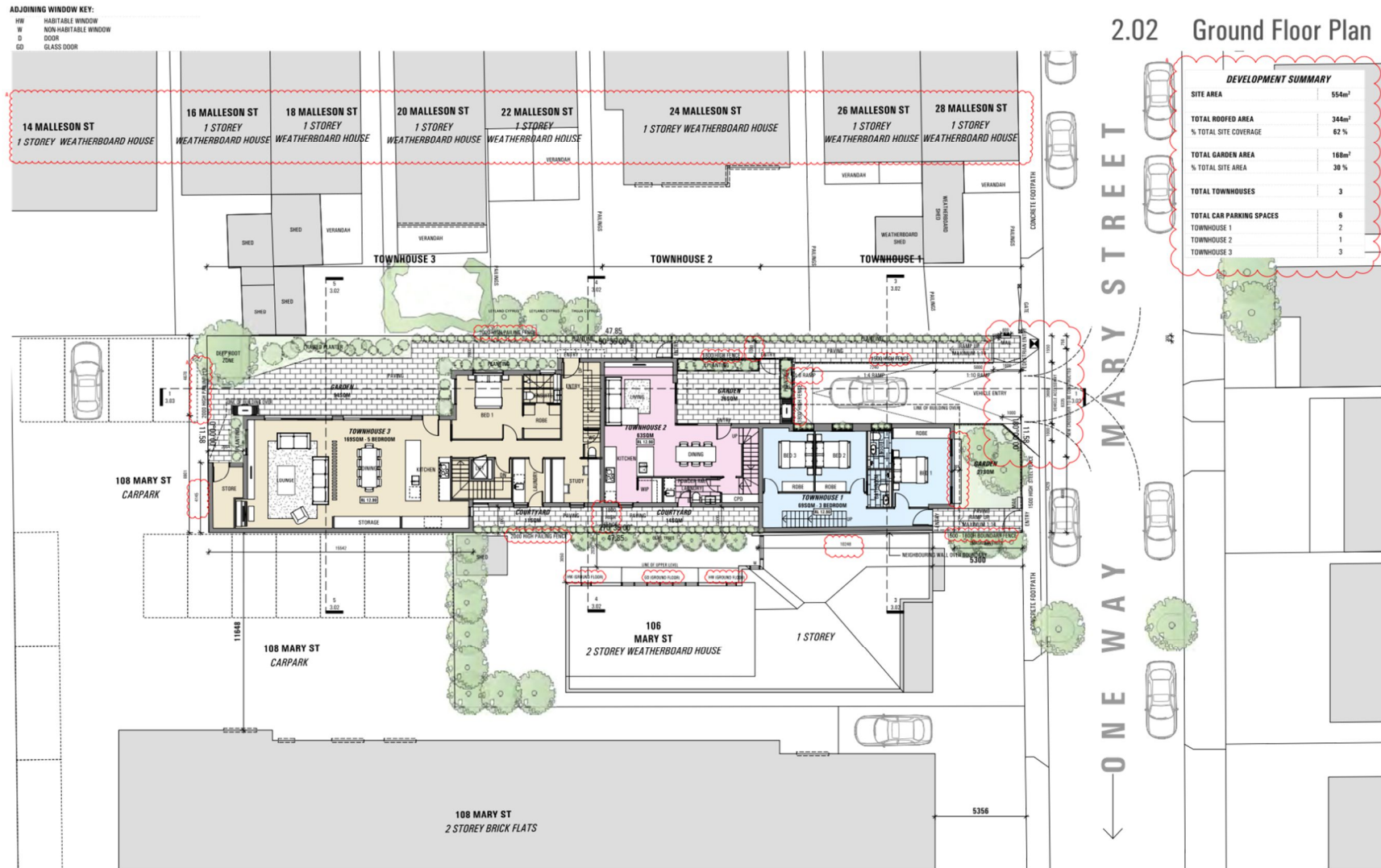
PROJECT
 Mary St Townhouses
 ADDRESS:
 104 Mary Street, Richmond 3121
 CLIENT:
 Con Georgakas & Clare Griffin

2016-09

DRAWING:
 SITE SHADOW ANALYSIS
 SCALE:
 1:250 @A1
 DATE:
 21/6/18

DRAWING NUMBER:
 TP 1.74
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 SHEET A1 PRODUCTION SHEET
 DRAWN BY: IAS
 CHECKED BY: IAS
 27 Project 10/10/18 10:14:48 AM APT (P.13.8 Drawing) 0.0 Town
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 A301: 55.549.319.319

Attachment 3 - Original - Advertising S52 Plans (for information purposes only) - 104 Mary Street, Richmond



NO.	DATE	REVISION	BY
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PROJECT
 Mary St Townhouses
 ADDRESS:
 104 Mary Street, Richmond 3121
 CLIENT:
 Con Georgakos & Cloe Griffin

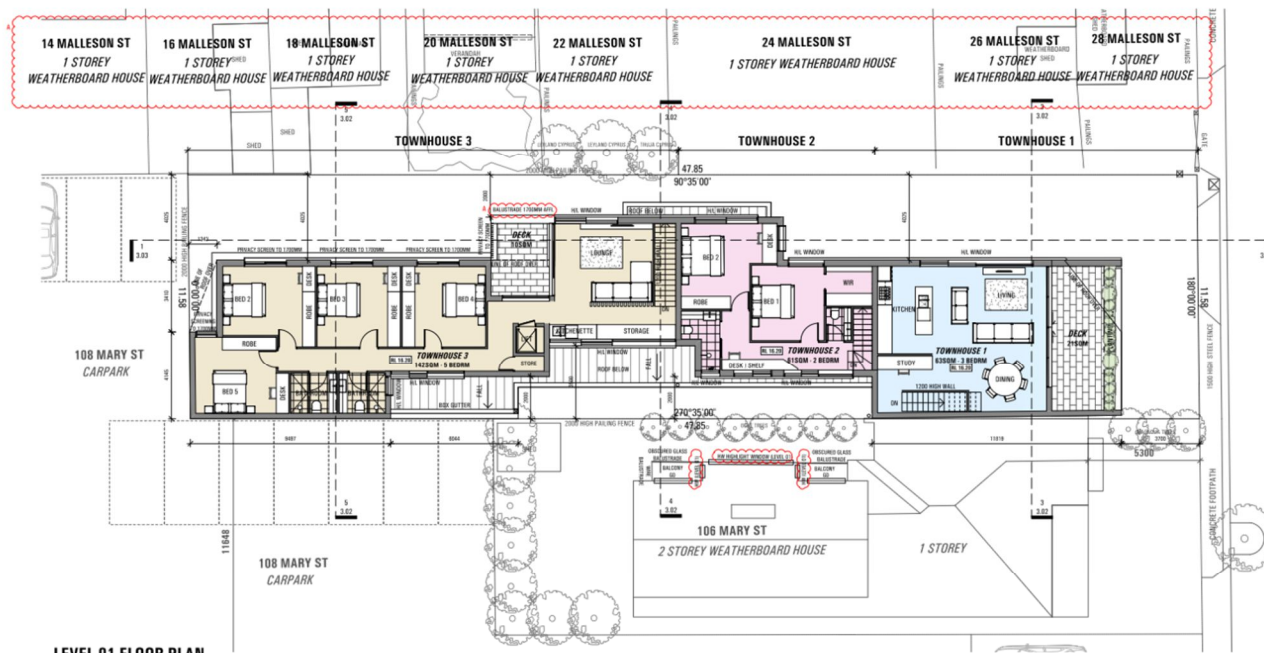
2016-09

DRAWING
 GROUND FLOOR PLAN
 SCALE:
 1:100 @ A1
 PRINT DATE:
 21/6/18

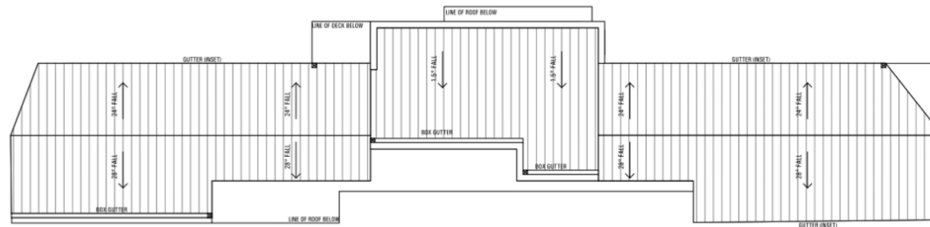
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 DRAWN BY:
 IAS
 CHECKED BY:
 IAS

DRAWING NUMBER
 TP 2.02
 REVISION:
 A

Attachment 3 - Original - Advertising S52 Plans (for information purposes only) - 104 Mary Street, Richmond



LEVEL 01 FLOOR PLAN



ROOF PLAN

2.03 Level 01 Floor Plan & Roof Plan

DEVELOPMENT SUMMARY	
SITE AREA	554m ²
TOTAL ROOFED AREA	344m ²
% TOTAL SITE COVERAGE	62 %
TOTAL GARDEN AREA	188m ²
% TOTAL SITE AREA	30 %
TOTAL TOWNHOUSES	3
TOTAL CAR PARKING SPACES	6
TOWNHOUSE 1	2
TOWNHOUSE 2	1
TOWNHOUSE 3	3



NO.	DATE	REVISION	BY
A	19/07/18	Information required for council	IB



PROJECT: Mary St Townhouses
 ADDRESS: 104 Mary Street, Richmond 3121
 CLIENT: Con Georgakos & Clare Griffin

2016-09

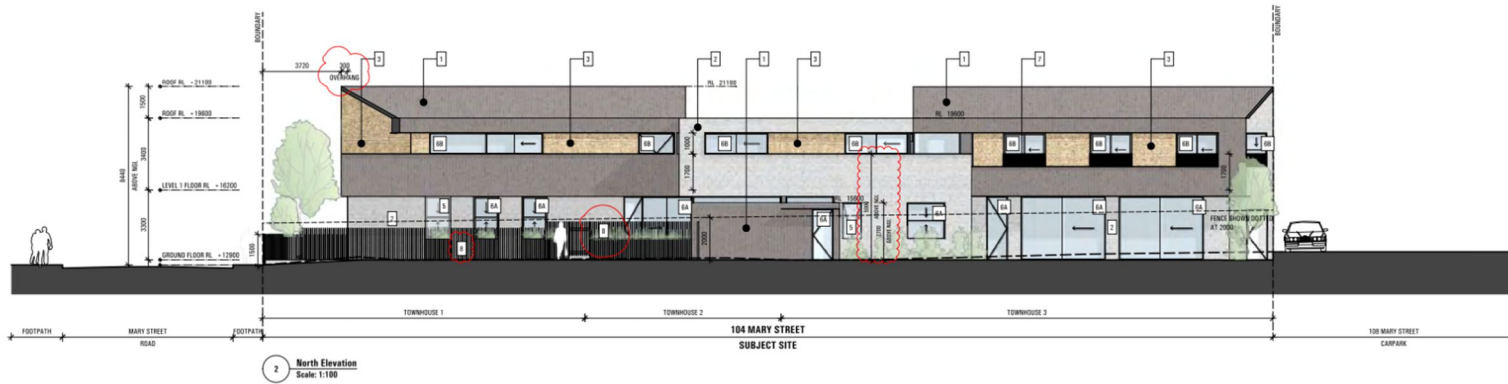
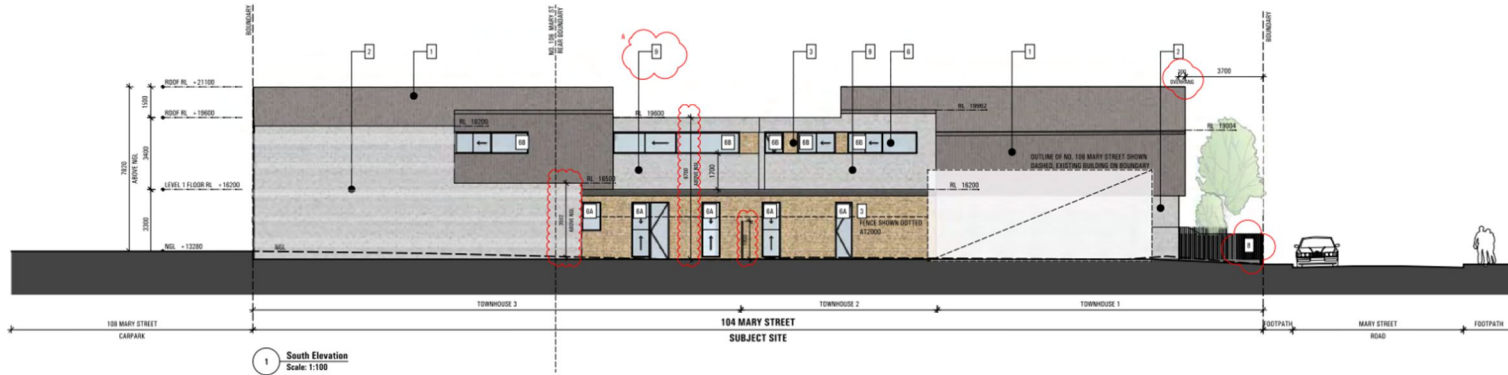
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 SCALE: 1:100 @ A1
 PRINT DATE: 21/6/18

DESIGNED BY: IAS
 CHECKED BY: IAS

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 REVISION: A
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Attachment 3 - Original - Advertising S52 Plans (for information purposes only) - 104 Mary Street, Richmond

3.01 Elevations



- 1. COLOURBOND STANDING SEAM
- 2. MASONRY BLOCKS / BRICK
- 3. TIMBER OR COMPOSITE LINING BOARDS
- 4. STEEL, BLACK OR SIMILAR
- 5. GLASS, FROSTED, BLACK WINDOW FRAMES
- 6A. GLASS, CLEAR, BLACK WINDOW FRAMES
- 6B. GLASS, CLEAR, BLACK WINDOW FRAMES (DEEPEST IN OPENING TO ACHIEVE SHADE)
- 7. STEEL LOUVRES, BLACK OR SIMILAR, MAXIMUM 25% TRANSPARENCY.
- 8. VERTICAL STEEL FIN FENCE, BLACK, 40% TRANSPARENCY.
- 9. FIBRE CEMENT SHEET

MATERIAL PALETTE



NO.	DATE	REVISION	BY
1	19/07/18	Information requested by council/CI	ML

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Mary St Townhouses
 ADDRESS:
 104 Mary Street, Richmond 3121
 CLIENT:
 Con Georgakas & Clare Griffin

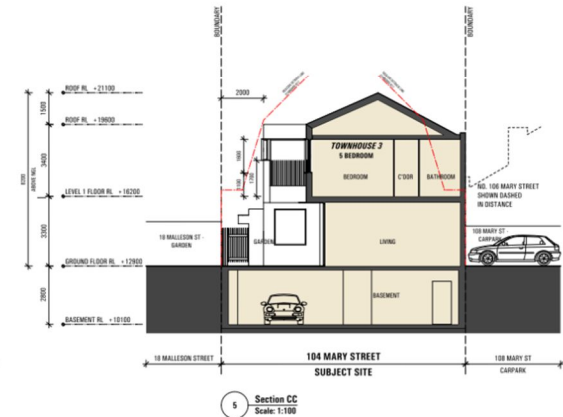
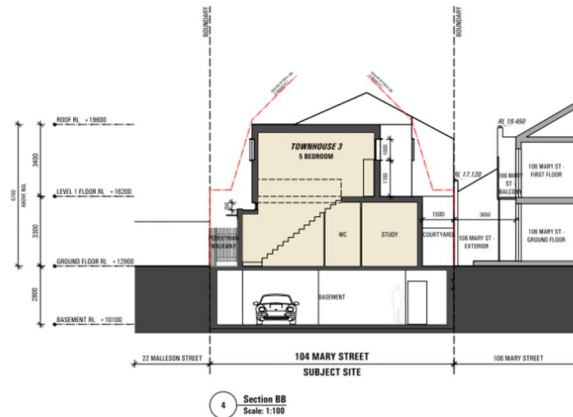
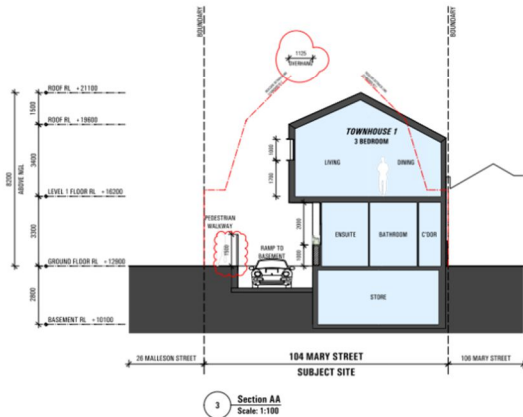
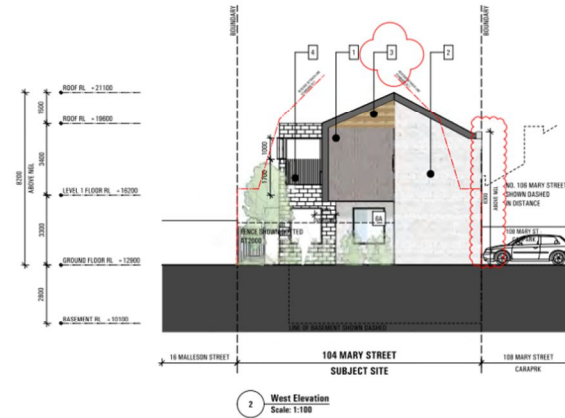
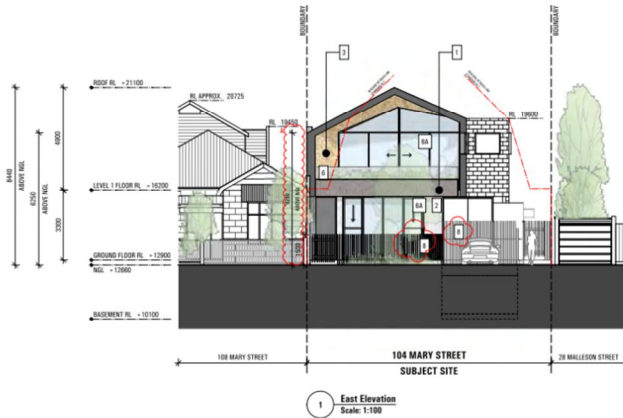
ELEVATIONS
 SCALE:
 1:100
 PREP DATE:
 21/6/18

ORIGINAL DRAWING AT A1
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 DRAWN BY: IAS
 CHECKED BY: IAS

DRAWING NUMBER
TP 3.01
 REVISION:
A

Attachment 3 - Original - Advertising S52 Plans (for information purposes only) - 104 Mary Street, Richmond

3.02 Elevations & Sections



- 1. COLOURBOND STANDING SEAM
- 2. MASONARY BLOCKS / BRICK
- 3. TIMBER OR COMPOSITE LIVING BOARDS
- 4. STEEL, BLACK OR SIMILAR
- 5. GLASS, FROSTED, BLACK WINDOW FRAMES
- 6A. GLASS, CLEAR, BLACK WINDOW FRAMES
- 6B. GLASS, CLEAR, BLACK WINDOW FRAMES (DEEPSET IN OPENING TO ACHIEVE SHADE)
- 7. STEEL LOUVRES, BLACK OR SIMILAR, MAXIMUM 25% TRANSPARENCY.
- 8. VERTICAL STEEL FIN FENCE, BLACK, 40% TRANSPARENCY.
- 9. FIBRE CEMENT SHEET

MATERIAL PALETTE



NO.	DATE	REVISION	BY
A	19/07/18	Information supplied to council	MB

1 / 413 948 880 / www.bleach.com.au / 15 Cliff Street, Cheltenham 3121 Victoria

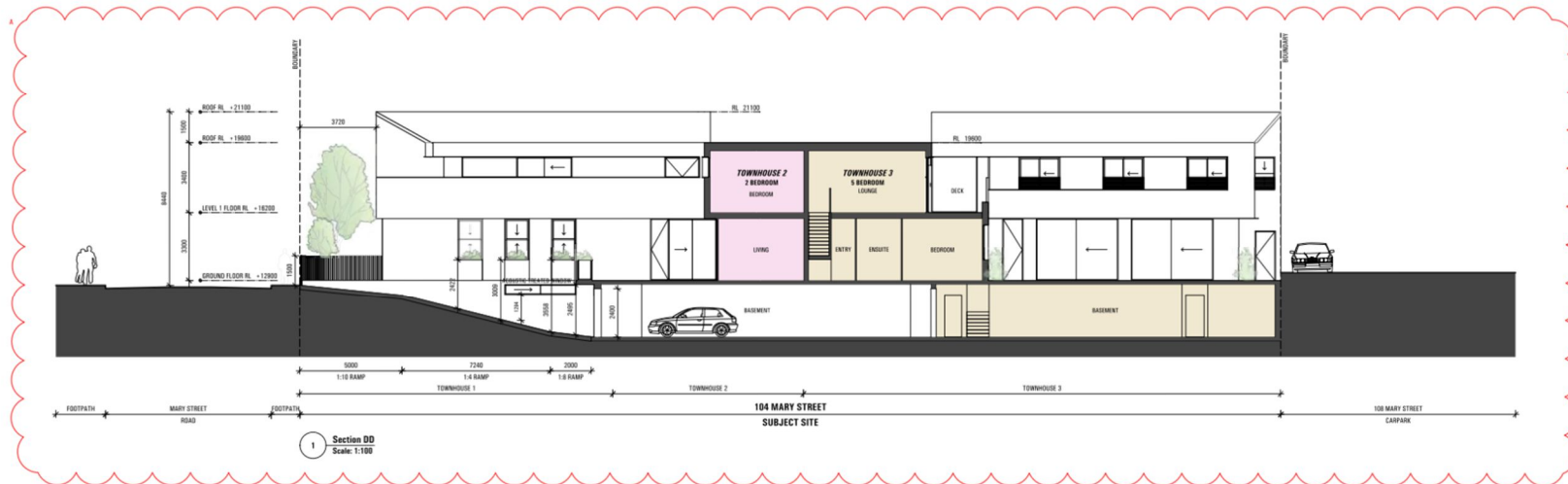
PROJECT
 Mary St Townhouses
 ADDRESS:
 104 Mary Street, Richmond 3121
 CLIENT:
 Con Georgakos & Clare Griffin

DRAWING
 ELEVATIONS & SECTIONS
 SCALE:
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 ORIGINAL DRAWING AT 1:100
 DRAWN BY:
 IAS
 CHECKED BY:
 IAS
 DATE:
 21/6/18

DRAWING NUMBER
 TP 3.02
 REVISION:
 A

Attachment 3 - Original - Advertising S52 Plans (for information purposes only) - 104 Mary Street, Richmond

3.03 Section



NO.	DATE	REVISION	BY
A	21/6/18	Information required for council B1	ME

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PROJECT
Mary St Townhouses
 ADDRESS:
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 CLIENT:
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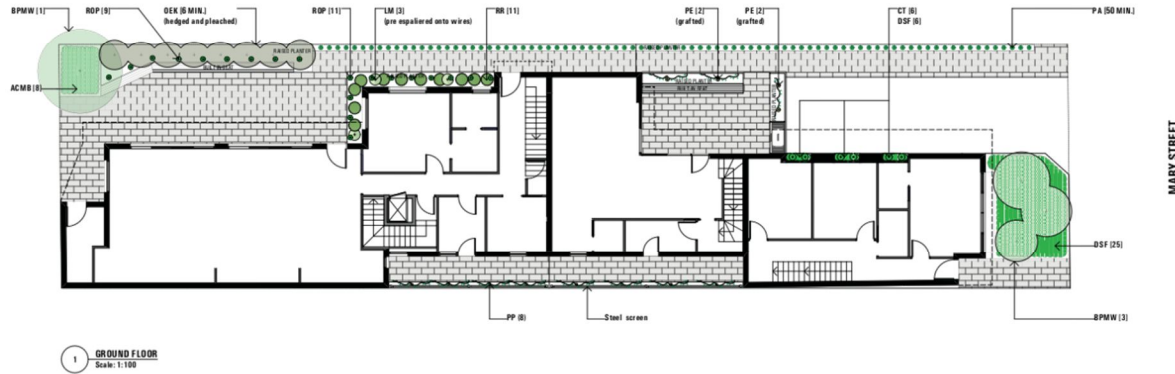
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 PRINT DATE:
 21/6/18

ORIGINAL DRAWING AT A1
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 DRAWN BY:
 CHECKED BY: IAS

DRAWING NUMBER
TP 3.03
 REVISION:
A
2 / Project: 150110-2016-09 Mary St 3.03 Drawing: 3.03 Town
 Physical: C:\PROJECTS\150110-2016-09 Mary St.mxd
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Attachment 3 - Original - Advertising S52 Plans (for information purposes only) - 104 Mary Street, Richmond

2.04 Landscape Plan



PLANT LEGEND - SCHEDULE

PLANT TYPE	CODE	BOTANICAL NAME	COMMON NAME	SIZE AT MATURITY HEIGHT X SPREAD
TREES	BPWM	Betula pendula 'Moss White'	Moss White Silver Birch	10 X 5 m
	DEK	Olea europaea 'Kalamata'	Kalamata Olive	5 x 2 m
	LM	Citrus limon 'Meyer'	Meyer Lemon	uppruned
SHRUBS + TUFTING	DSF	Dichondra 'Silver Falls'	Silver Kidney Weed	ground cover
	PA	Pennisetum alopecuroides	Fountain Grass	1 m x 1 m
	RR	Rheum rhabarbarum	Rhubarb	30 cm x 30 cm
	ACMB	Arthropodium 'Matapouri Bay'	Ranga Ranga Lily	60 cm x 1 m
	CT	Cotyledon orbiculata 'Silver'	Pig Ears	50 cm x 60 cm
CLIMBERS + TRAILING	ROP	Rosmarinus officinalis 'Prostratus'	Trailing Rosemary	50 cm x 2 m
	PP	Pandorea pandorana	Wonga Wonga Vine	3 m x 1 m
	PE	Passiflora edulis	Passionfruit 'Nelly Kelly'	20 cm x 2 m

SOFT LANDSCAPE SPECIFICATIONS

ITEM	NOTE
GARDEN BEDS	Subsoil to be aerated to 200mm depth before application of gypsum as recommended rates. Add 150mm fresh 5-way soil, mix through existing sub soil without disturbing existing root zones and dress in preparation for planting. Set finished soil level 50mm below surrounding edging / surface to ensure match layer sits flush. Slope garden beds evenly and batter when necessary to work with level changes
IRRIGATION	Fully automated drip-line irrigation system installed to all landscaped areas and balcony planters
MULCH	50mm layer of organic black fine mulch to all prepared garden beds over irrigation layer. Ensure mulch is pulled away from base of plant
PLANTERS	Install drainage layer to base of planter, connected to stormwater outlet. Fill planter with premium potting mix, finish with 50mm mulch layer
ROOT BALL	For all plants, root ball to be teased out and pruned if required prior to planting
WATERING IN	To be completed same day as planting, sufficiently to consolidate back fill around roots

DRAINAGE + SERVICES

ITEM	NOTE
DRAINAGE - SUB SURFACE	Install 65mm agricultural drainage to garden beds connected to storm water system.
DRAINAGE - SURFACE	All surface water to fall away from building to drainage pits. All pits connected to existing storm water system. Silt filters installed to pits. Contractor to ensure to no surface water ponds on finished paving or gravel surfaces
GARDEN BEDS	Ensure garden beds drain away from building.
LEGAL POINT OF DISCHARGE	All pipe work directed to legal point of discharge
RETAINING WALLS	Apply waterproof membrane to the back of retaining walls, inside garden bed. Install 65mm agricultural drainage behind walls and back fill. Connect to storm water outlet.
SERVICES	Verify location and depth of all underground services prior to excavation, and protect during construction work



NO.	DATE	REVISION	BY



PROJECT: Mary St Townhouses
 ADDRESS: 104 Mary Street, Richmond 3121
 CLIENT: Con Georgakak & Clare Griffin

2014-09

DRAWING: Landscape Plan
 SCALE: 1:100 @ A1
 PRINT DATE: 10/7/18

DRAWING NUMBER: TP 2.04
 ORIGINAL DRAWING DATE: SEE A3 REVISIONS SHEET
 DRAWN BY: IAS
 CHECKED BY: IAS

Attachment 4 - External and Internal Referral advice - 104 Mary Street, Richmond

Balagtas, Catherine

From: metro.planning <metro.planning@epa.vic.gov.au>
Sent: Wednesday, 8 August 2018 9:07 AM
To: Balagtas, Catherine
Subject: TRIM: RE: S.52 Notice - DDO5 referral - PLN18/0224 - 104 Mary Street, Richmond
HP TRIM Record Number: D18/135572

YOUR REF: PLN18/0224

PREMISES ADDRESS: 104 MARY STREET, RICHMOND

Hi Catherine,

Thank you for the correspondence relating to PLN18/0224 received by the EPA on 27/07/2018.

The Environment Protection Authority has reviewed the referral and documents accompanying the application. EPA advises that we do not have concerns with the proposal given the existing development and minor nature of the proposed works with respect to the City Link Exhaust Stack Environs. As such, EPA has no concerns with Council issuing this planning permit according to the information that has been provided.

If our assessment of this referral is not aligned with Council's assessment of the environmental risk, please contact me.

Regards,

Monika Zuscak
Planning Administration Support
Metropolitan Region

Environment Protection Authority Victoria
200 Victoria Street, Carlton VIC 3053 | GPO Box 4395, Melbourne VIC 3001 | DX 210082
☎ 1300 372 842 (1300 EPA VIC) | E monika.zuscak@epa.vic.gov.au | www.epa.vic.gov.au
Follow us  

A healthy environment that supports a liveable and prosperous Victoria, now and always.

EPA acknowledges the Traditional Owners and custodians of the land and we pay our respects to their Elders, past, present and emerging. We're an inclusive workplace that embraces diversity in all its forms.



From: Balagtas, Catherine [<mailto:Catherine.Balagtas@yarracity.vic.gov.au>]
Sent: Friday, July 27, 2018 10:35 AM
To: metro.planning <metro.planning@epa.vic.gov.au>
Subject: S.52 Notice - DDO5 referral - PLN18/0224 - 104 Mary Street, Richmond

Dear Sir/Madam,

Please find attached copy of Council's letter and associated application documents for notice under the DDO5 of the Yarra Planning Scheme.

If you require any further information, please feel free to contact me.

Attachment 4 - External and Internal Referral advice - 104 Mary Street, Richmond



20 August 2018

Yarra City Council
PO Box 168
RICHMOND VIC 3121
Attention: Catherine Balagtas

Dear Ms Balagtas,

PLANNING APPLICATION No.: **PLN18/0224**
VICROADS REFERENCE NO: **26206/18**
PROPERTY ADDRESS: **104 MARY STREET, RICHMOND**

Section 52 – No objection

Thank you for forwarding planning permit application PLN18/0224 pursuant to Section 52 of the Planning and Environment Act 1987.

In consultation with CityLink, VicRoads has considered the application and has no objection to the proposal.

Should you have any enquiries regarding this matter, please contact our Planning Department on (03) 9313 1187 or MNWPlanning@roads.vic.gov.au

Yours sincerely

A handwritten signature in black ink that reads 'Ewa Fiebelkorn'.

EWA FIEBELKORN
STATUTORY PLANNING SUPPORT OFFICER

Attachment 4 - External and Internal Referral advice - 104 Mary Street, Richmond

TO: Catherine Balagtas (Statutory Planning)
 FROM: Hayley McNicol (Urban Design)
 DATE: 11 September 2018
 SUBJECT: 104 Mary Street, Richmond
 APPLICATION NO: PLN18/0224
 DESCRIPTION: Development of the land for construction of three, double-storey dwellings with basement car park

COMMENTS SUMMARY

Urban Design comments have been sought on the above proposal, in particular on its form, setbacks, height, appearance, materials, presentation to the street and other urban design matters. Confirmation is also sought as to whether there are any planned capital works led by the Urban Design team in proximity to the site. Comments are provided below and are based on the advertised plans dated 21 June 2018.

Height, form and setbacks to the street

- The 'Built Form' policy at Clause 21.05-3 states that *"new development must respond to Yarra's built and cultural character, its distinct residential 'neighbourhoods' ... which combine to create a strong local identity"*. Under the 'Neighbourhoods' policy at Clause 21.08 (Figure 24), the area falls within the 'Inner Suburban Residential' area, which seeks to maintain the existing pattern of front setbacks and limit variations in height to one storey compared with adjacent properties (Figure 24).
- Furthermore, the 'Built Form and Design' local policy at Clause 22.10 seeks *"to achieve continuity in the built form having regard to rhythm and spacing of buildings and any distinctive street pattern"*. For new development, Clause 22.10-3.3 seeks to ensure that the height is appropriate and setbacks complement the surrounding area.
- The height of the proposed development meets the height limit set out in GRZ2, and is broadly consistent with surrounding buildings along Mary Street, which are a mix of single and double storey dwellings, meeting the abovementioned policies.
- The principle of having a two storey straight up form to the street is acceptable given there are examples of this along Mary street, including at Nos. 108, 109 and 114-116. However to ensure that the development responds appropriately to the pattern of existing front setbacks along Mary Street and to the building immediately to the south (which is single storey at the front), and to ensure that the building is not too dominant in the street, it is recommended

Attachment 4 - External and Internal Referral advice - 104 Mary Street, Richmond

that the front setback of the ground and first floor is increased so that it lines up with the southern adjacent dwelling.

Presentation to the street

- The 'Built form and design' local policy at Clause 22.10 includes the following policies relevant to how the development presents to the street:
 - Clause 22.10-3.4 – *"The design of the ground level street frontage of new development should provide a high level of pedestrian amenity and visual interest by ... providing well-defined entries at ground level on the street frontage."*
 - Clause 22.10-3.3 – *"New development constructed with a front setback to the street should include soft landscaping within the setback area. This setback should not be used for ... car parking, basement car parking..."*
 - Clause 22.10-3.10 – *"New development should provide vehicular entries that: Do not dominate the appearance of the building and/or site frontage."*
- Although Townhouse 1 has a direct entrance from Mary Street, Townhouses 2 and 3 have a poor address to the street as the building entrances are not visible. Furthermore the walkway leading to the entrances is very long and narrow (approximately 1.3-1.5 metres wide including landscaping) and is squeezed between the basement entrance and the northern boundary fence. As a minimum, it is recommended to widen this walkway as much as possible to improve the amenity of this walkway and make it more prominent in the street. The proposal would benefit from having more visible entrances for Townhouses 2 and 3 if possible.
- The development has a vehicle entrance direct from Mary Street leading to the basement car park. This basement entry is located within the front setback and dominates the site frontage. To meet Clauses 22.10-3.3 and 22.10-3.10 mentioned above, it is recommended that the vehicle access arrangement is revised to reduce its visibility from the street and avoid basement entrances within the front setback.

Appearance and materials

- The decision guidelines under Clause 22.10-3.4 states that *"new developments should ... use appropriate materials, finishes and colours, which add visual interest and, assist in breaking up the mass and bulk of new development"*.
- The development includes a mix of materials including masonry blocks, timber or composite lining boards and fibre cement sheet. With regards to the timber cladding, the schedule of materials notes 'timber or composite lining boards' whilst the material samples board provided is for 'composite timber cladding'. We note that the material sample provided has a very flat and un-textured finish. The applicant is encouraged to include actual timber (not composite) as this provides a more natural and textured finish, and would better complement the surrounding area which includes a number of weatherboard houses.

Capital works

- There are no planned capital works by the Urban Design team around the site.

Attachment 4 - External and Internal Referral advice - 104 Mary Street, Richmond



Assessment Summary:

Responsible Planner:	Catherine Balagtas
ESD Advisor:	Euan Williamson
Date: 24.08.2018	Planning Application No: PLN18/0224
Subject Site:	104 Mary Street, Richmond, VIC
Site Area: Approx. 560m ²	Site Coverage: 100%
Project Description:	Three townhouses
Pre-application meeting(s):	Unknown

This application largely meets Council's Environmentally Sustainable Design (ESD) standards. If a permit is issued for the three townhouses, it is recommended that all ESD commitments (1), deficiencies (2) and the outstanding information (3) are conditioned to be addressed in an updated SDA report and are clearly shown on Condition 1 drawings.

(1) Application ESD Commitments:

- Reasonable natural ventilation and access to daylight.
- A STORM report with a 100% STORM score has been submitted that relies on the entire 329m² of roof plumbed to a 4,300 litre rainwater tank connected to all toilets onsite for flushing.
- Energy efficient heating/cooling, hot water and lighting.

(2) Application ESD Deficiencies:

There are no outstanding ESD deficiencies identified at this time.

(3) Outstanding Information:

- Please note the connection of the rainwater tank to all toilets on plans, as per the STORM report.
- The BESS report includes 17m² of food production garden. Please clearly indicate this on the plans.
- The BESS report includes a green wall or façade. Please clearly indicate this on the plans.
- The BESS report includes organic waste stream management. Please clearly indicate the type and location of these on the plans.
- The BESS report includes electric vehicle charging infrastructure. Please clearly indicate this on the plans.

(4) ESD Improvement Opportunities:

- Only the minimum NCC 6 Star NatHERS rating is proposed. Recommend a 7 star average NatHERS star rating.
- Recommend an onsite solar PV array to contribute to onsite energy consumption.
- Consider onsite energy storage systems.

Further Recommendations:

The applicant is encouraged to consider the inclusion of ESD recommendations, detailed in this referral report. Further guidance on how to meet individual planning conditions has been provided in reference to the individual categories. The applicant is also encouraged to seek further advice or clarification from Council on the individual project recommendations.

Attachment 4 - External and Internal Referral advice - 104 Mary Street, Richmond



MEMO

To: Catherine Balagtas
From: Artemis Bacani
Date: 15 August 2018
Subject: Application No: PLN18/0224
 Description: Construction of a Three Two-Storey Dwellings
 Site Address: 104 Mary Street, Richmond

I refer to the above Planning Application received on 27 July 2018 in relation to the proposed development at 104 Mary Street, Richmond. Council's Civil Engineering unit provides the following information:

DEVELOPMENT LAYOUT DESIGN**Layout Design Assessment**

Idle Architecture Studio Drawing No.TP 2.01, TP 2.02, TP 3.01, TP 3.02, and TP 3.03 dated 21 June 2018

Item	Assessment
Access Arrangements	
Development Entrance	Access to the development's basement car park is off Mary Street and provides
Headroom Clearance	A headroom clearance of 2.49 metres is provided at the entrance to the basement car park to satisfy <i>Design standard 1 – Accessways</i> .
Visibility	The southern side of the development's entrance provides a 2.0 metre by 2.5 metre partial corner splay and 50 per cent clear of visual obstruction to satisfy <i>Design standard 1 – Accessways</i> .
Ramped Accessway Width	The single vehicle carriageway of the ramped accessway is 3.6 metres to comply with AS/NZS 2890.1:2004.
Vehicle Crossing	The proposed vehicle crossing is 3.6 metres wide.
Vehicle Turning Movements off Mary Street	Not provided by the applicant.
Car Park Aisle Width	The aisle width of 5.97 metres satisfies <i>Table 2 Minimum dimensions of car parking spaces and accessways</i> of Clause 52.06-9.
Car Parking Modules	
Car Spaces	The 3.0 metre by 4.9 metre at-grade car spaces satisfies <i>Table 2 of Design standard 2 – Car parking spaces</i> .

Attachment 4 - External and Internal Referral advice - 104 Mary Street, Richmond

DEVELOPMENT LAYOUT DESIGN

Layout Design Assessment

Idle Architecture Studio Drawing No. TP 2.01, TP 2.02, TP 3.01, TP 3.02, and TP 3.03 dated 21 June 2018

Item	Assessment
Gradients	
Ramp Grade for First 5.0 metres Inside the Property	The ramp grade for the first 5.0 metres inside the building line satisfies <i>Design standard 3 – Gradients</i> .
Ramp Grades and Changes of Grade	The ramp grades and changes of grades satisfy <i>Table 3 Ramp gradients</i> of Clause 52.06-9.
Transition Grades	The 2.0 metre long 1 in 8 transition grade at the base of the 1 in 4 ramp section is considered satisfactory for the B99 design vehicle.

Design Items to be Addressed

Item	Details
Visibility	The visibility on the northern side of the development's entrance must be increased to 2.0 metres along the frontage road to satisfy <i>Design standard 1 – Accessways</i> . Alternatively, a convex mirror could be installed on the southern side of the development's entrance to improve the visibility of pedestrians along the footpath.
Vehicle Turning Movements off Mary Street	The applicant is to provide a swept path diagram to demonstrate that a B85 design vehicle can adequately enter and exit the site from Mary Street. The diagram must clearly show the position of the existing on-street parking spaces in Mary Street.
Service Pits	Service pits are located in the area of the proposed vehicle crossing. The applicant would be required to liaise with the relevant service authority/authorities, and obtain advice and consent in relation to the position of the service pits. A copy of written advice/consent from the service authority must be submitted to Council as part of the Town Planning application.
Pedestrian Entry	The vehicle crossing must not encroach in front of the pedestrian entry at the Church Street road frontage.

Capital Works Programme

A check of the Capital Works Programme for 2018/19 indicates that no infrastructure works have been approved or proposed within the area of the site at this time.

Attachment 4 - External and Internal Referral advice - 104 Mary Street, Richmond

ENGINEERING CONDITIONS

Civil Works

Upon the completion of all building works and connections for underground utility services,

- The footpath immediately outside the property's Mary Street road frontage must be reconstructed to Council's satisfaction and at the Permit Holder's cost. The footpath must have a cross-fall of 1 in 40 or unless otherwise specified by Council.
- The redundant vehicle crossings/ramps in front of the site must be demolished and reinstated with paving, kerb and channel to Council's satisfaction and at the Permit Holder's cost.
- The vehicle crossing servicing the development's entrance on the west side of Mary Street must be constructed to Council's satisfaction. Materials to be used must comply with Council's *Infrastructure Road Materials Policy*. The vehicle crossing must satisfy the vehicle ground clearance requirements for the B99 design vehicle.

Road Asset Protection

- Any damaged roads, footpaths and other road related infrastructure adjacent to the development site as a result of the construction works, including trenching and excavation for utility service connections, must be reconstructed to Council's satisfaction and at the developer's expense.

Impact of Assets on Proposed Development

- Any services poles, structures or pits that interfere with the proposal must be adjusted, removed or relocated at the owner's expense after seeking approval from the relevant authority.
- Areas must be provided inside the property line and adjacent to the footpath to accommodate pits and meters. No private pits, valves or meters on Council property will be accepted.

NON-PLANNING ADVICE FOR THE APPLICANT

Legal Point of Discharge

The applicant must apply for a Legal Point of Discharge under Regulation 610 – Stormwater Drainage of the *Building Regulations 2006* from Yarra Building Services unit. Any storm water drainage within the property must be provided and be connected to the nearest Council pit of adequate depth and capacity (legal point of discharge), or to Council's satisfaction under Section 200 of the *Local Government Act 1989* and Regulation 610.

Discharge of Water from Development

- Only roof runoff, surface water and clean groundwater seepage from above the water table can be discharged into Council drains.
- Contaminated ground water seepage into basements from above the water table must be discharged to the sewer system through a trade waste agreement with the relevant authority or in accordance with EPA guidelines.
- Contaminated groundwater from below the water table must be discharged to the sewer system through a trade waste agreement from the relevant sewer authority.
- Council will not permit clean groundwater from below the groundwater table to be discharged into Council's drainage system. Basements that extend into the groundwater table must be waterproofed/tanked.

Attachment 4 - External and Internal Referral advice - 104 Mary Street, Richmond



MEMO

To: John Theodosakis
From: Artemis Bacani
Date: 29 March 2019
Subject: Application No: PLN18/0224
 Description: Amended Drawings
 Site Address: 104 Mary Street, Richmond

I refer to the amended drawings for the above Planning Application received on 28 March 2019 in relation to the proposed development at 104 Mary Street, Richmond. Council's Civil Engineering unit provides the following information:

DEVELOPMENT LAYOUT DESIGN**Layout Design Assessment**

Idle Architecture Studio Drawing No.TP 2.01 and TP2.02 Revision C dated 30 January 2019

Item	Assessment
Access Arrangements	
Development Entrance	Access to the development's basement car park is off Mary Street and the entrance has a width of 3.6 metres to satisfy <i>Design standard 1 – Accessways</i> .
Car Parking Modules	
Car Spaces	The 3.2 metre by 4.9 metre car spaces satisfies <i>Table 2 of Design standard 2 – Car parking spaces</i> .
Aisles	A minimum aisle width of 4.8 metres has been provided to satisfy <i>Table 2: Minimum dimensions of car parking spaces and accessways of Clause 52.06</i> .
Vehicle Turning Movements Into and Out of Car Spaces	Swept path diagrams for a B85 design vehicle has not been provided. Using Trapeze, the turning movements into and out of the car spaces for a B85 design vehicle are considered satisfactory, as shown in the diagram below.

Attachment 4 - External and Internal Referral advice - 104 Mary Street, Richmond

Layout Design Assessment

Idle Architecture Studio Drawing No.TP 2.01 and TP2.02 Revision C dated 30 January 2019

Item	Assessment
Car Parking Modules	
Vehicle Turning Movements Into and Out of Car Spaces	

N.B. – The Design Items to be Addressed, Engineering Conditions, and Non-Planning Advice for the Applicant as per our engineering referral comments of 15 August 2018 are relevant and pertinent to this development application.

Attachment 4 - External and Internal Referral advice - 104 Mary Street, Richmond

Theodosakis, John

From: Orr, Patrick <Patrick.Orr@yarracity.vic.gov.au>
Sent: Monday, 30 July 2018 1:35 PM
To: Balagtas, Catherine
Cc: Agostino, Joe; Valente, Enzo
Subject: RE: Waste Management Referral - PLN18/0224 - 104 Mary Street Richmond

Hi Catherine,

From a City Work's perspective, a WMP should still be provided, even if it is rudimentary.


We noticed from the plans that the developer believes that each unit is entitled to their own set of bins, but this isn't correct and a shared service is appropriate in this circumstance.

Regards,

Patrick Orr
Contract Management Officer
City Works
Yarra Operations Depot, Clifton Hill

City of Yarra PO Box 168 Richmond 3121
T:(03) 9205 5554 F:(03) 8417 6666
E: patrick.orr@yarracity.vic.gov.au



 Please consider the environment before you print this email!

From: Balagtas, Catherine
Sent: Friday, 27 July 2018 12:22 PM
To: Orr, Patrick
Cc: Agostino, Joe; Valente, Enzo
Subject: Waste Management Referral - PLN18/0224 - 104 Mary Street Richmond

Hi Patrick,

Please find attached planning application, which is being referred to you for comment.

The application is for construction of three 2-storey dwellings with basement car park. Given the application is only for 3 dwellings, no WMP was provided. However, can you please comment on the waste storage area and collection point from the site frontage. I have attached the plans for your reference.

If you require further info, please feel free to contact me.

Kind regards,
Catherine Balagtas
Statutory Planner
Yarra City Council PO Box 168 Richmond 3121

Attachment 4 - External and Internal Referral advice - 104 Mary Street, Richmond



Memo

To: Catherine Balagtas

diverse

Cc: Carrie Lindsay, Paul Whitten and Glen Williames

vibrant

From: Craig Lupton

exciting

Date: 13 September 2018

Subject: PLN18/0224 - 104 Mary Street Richmond 3121 -

Streetscapes and Natural Value Team Comments

inclusive

Hi Catherine

Thank you for the opportunity to provide comments in relation to vegetation removal and the impact of the proposed development on existing vegetation on the adjoining properties for 104 Mary Street Richmond 3121. The following comments are provided by the Streetscapes and Natural Value Team:

- The applicant must provide a tree impact assessment and tree protection management plan that provides actions to protect all neighbouring trees within 3m of the fence line.

If you have any further questions, please do not hesitate to contact me on 0419 099 547.

Kind Regards

Craig Lupton

Coordinator Streetscapes and Natural Values