

Planning and Environment Act 1987

YARRA PLANNING SCHEME

**AMENDMENT C220
INSTRUCTION SHEET**

The planning authority for this amendment is the Yarra City Council.

The Yarra Planning Scheme is amended as follows:

Planning Scheme Maps

The Planning Scheme Maps are amended by a total of eight (8) attached maps sheets.

Zoning Maps

1. Amend Planning Scheme Map Nos 6ZN and 7ZN in the manner shown on the 2 attached maps marked "Yarra Planning Scheme, Amendment C220".

Overlay Maps

2. Amend Planning Scheme Map Nos. 6DDO, 7DDO, 6EAO, 7EAO, 6HO in the manner shown on the six (6) attached maps marked "Yarra Planning Scheme, Amendment C220".

Planning Scheme Ordinance

The Planning Scheme Ordinance is amended as follows:

3. In Local Planning Policy Framework – insert new Clause 21.12 in the form of the attached document.
4. In Local Planning Policy Framework – insert new Clause 22.02 in the form of the attached document.
5. In Overlays – Clause 43.01, replace the Schedule with a new Schedule in the form of the attached document.
6. In Overlays – Clause 43.02, insert a new Schedule 15 in the form of the attached document.
7. In Incorporated Documents – Clause 72.04, replace the Schedule with a new Schedule in the form of the attached document.

End of document

YARRA PLANNING SCHEME

AMENDMENT C220

EXPLANATORY REPORT

Who is the planning authority?

This amendment has been prepared by the Yarra City Council, which is the planning authority for this amendment.

Land affected by the Amendment

The Amendment applies to the land in Precincts 1 and 2 (subject land) as identified in Figure 1.



Figure 1: Subject Land

What the amendment does

The Amendment implements the land use and built form objectives and strategies within the Johnston Street Local Area Plan that relate to Precincts 1 and 2 (Johnston Street).

The Amendment proposes to make the following changes:

1. Rezone land within the Commercial 2 Zone (C2Z) and General Residential Zone (GRZ1) to Commercial 1 Zone (C1Z);
2. Rezone land owned by VicRoads located on the corner of Hoddle and Johnston Streets to Road Zone Category 1 (RZ1).
3. Rezone land owned by CitiPower located on the corner of Hoddle and Johnston Streets to Public Use Zone 1 (PUZ1).
4. Rezone part of the site at 67-71 Johnston Street from Public Use Zone (PUZ) to Commercial 1 Zone (C1Z) to correct a mapping error.
5. Apply the Design Development Overlay (DDO15) to the Subject Land (not including the land owned by VicRoads and CitiPower on the Hoddle Street Road Reserve);
6. Insert a new DDO schedule at Clause 43.02s;
7. Insert a new section and policy at Clause 21.12 called "Local Areas" with a sub-section at Clause 21.12-1 called "Johnston Street Activity Centre";
8. Apply the Environmental Audit Overlay (EAO) to sites being rezoned from Commercial 2 Zone to the Commercial 1 Zone;
9. Apply a new Heritage Overlay precinct to the following properties:

HO Number	Precinct Name	Properties Included in HO
HO505	Johnston Street East	219-241 Johnston Street, Abbotsford 246-274 Johnston Street, Abbotsford

10. Amend the existing Appendix 8 incorporated document listed in the schedule to clause 81.01 to include the addresses and gradings of all new and revised places;
11. Rename the existing Appendix 8 incorporated document in Clause 22.02 and in the schedule to clause 72.04 to refer to the new revised date;
12. Amend the schedule to Clause 43.01 (Heritage Overlay); and
13. Amend Planning Scheme Maps.

Strategic assessment of the Amendment

Why is the Amendment required?

The Amendment is required to implement the built form and land use recommendations of the Johnston Street Local Area Plan, 2015.

The Amendment will ensure that future development and land use change is in accordance with the vision, objectives and strategies outlined in the Johnston Street Local Area Plan, 2015.

How does the Amendment implement the objectives of planning in Victoria?

The Amendment is consistent with VPPs by encouraging and facilitating positive change in the Johnston Street Neighbourhood Activity Centre.

The Amendment will facilitate dwelling growth as well as economic growth and create a more economically viable mixed-use activity centre that has economic benefits for the local area.

How does the Amendment address any environmental, social and economic effects?

The Amendment will have positive social and economic effects through the facilitation of higher density housing above commercial activity, situated along an activity centre corridor that is well served by public transport.

The Amendment addresses any environmental effects or risks through the application of the Environmental Audit Overlay.

Does the Amendment address relevant bushfire risk?

There is no identified bushfire risk within the study area.

Does the Amendment comply with the requirements of any Minister's Direction applicable to the amendment?

The Amendment complies with Ministerial Direction No. 1 in addressing the risk from Potentially Contaminated Land.

The Amendment also complies with Ministerial Direction No. 9 in addressing and responding to the metropolitan planning strategy, Plan Melbourne.

How does the Amendment support or implement the Planning Policy Framework and any adopted State policy?

The Amendment supports and implements State Planning Policy in responding to the following clauses:

11.02-2S Structure Planning

To facilitate the orderly development of urban areas.

11.03-1S Activity Centres

To encourage the concentration of major retail, residential, commercial, administrative, entertainment and cultural developments into activity centres that are highly accessible to the community.

11.03-1R Activity Centres – Metropolitan Melbourne

Support the development and growth of Metropolitan Activity Centres by ensuring they: Are able to accommodate significant growth for a broad range of land uses. Are supported with appropriate infrastructure. Are hubs for public transport services. Offer good connectivity for a regional catchment. Provide high levels of amenity.

13.04-1S Contaminated and Potentially Contaminated Land

To ensure that potentially contaminated land is suitable for its intended future use and development, and that contaminated land is used safely.

15.01-1S Urban Design

To create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity.

15.01-1R Urban Design – Metropolitan Melbourne

To create a distinctive and liveable city with quality design and amenity.

15.01-4R Healthy Neighbourhoods – Metropolitan Melbourne

Create a city of 20 minute neighbourhoods, which give people the ability to meet most of their everyday needs within a 20 minute walk, cycle or local public transport trip from their home.

15.03-1S Heritage Conservation

To ensure the conservation of places of heritage significance.

16.01-1R Integrated Housing – Metropolitan Melbourne

Provide certainty about the scale of growth by prescribing appropriate height and site coverage provisions for different areas.

Allow for a range of minimal, incremental and high change residential areas that balance the need to protect valued areas with the need to ensure choice and growth in housing.

16.01-2R Housing Opportunity Areas – Metropolitan Melbourne

Identify areas that offer opportunities for more medium and high density housing near employment and transport in Metropolitan Melbourne. Manage the supply of new housing to meet population growth and create a sustainable city by developing housing and mixed use development opportunities in locations that are:

Metropolitan activity centres and major activity centres.

16.01-2S Location of Residential Development

To locate new housing in designated locations that offer good access to jobs, services and transport.

17.02-1S Business

To encourage development that meets the community's needs for retail, entertainment, office and other commercial services.

How does the Amendment support or implement the Local Planning Policy Framework, and specifically the Municipal Strategic Statement?

The Amendment is consistent with and facilitates the following Clauses of the Local Planning Policy Framework:

21.03 Vision

21.04-1 Accommodation and Housing

Objective 1 To accommodate forecast increases in population.

Strategy 1.2 Direct higher density residential development to Strategic Redevelopment Sites identified at clause 21.08 and other sites identified through any structure plans or urban design frameworks.

21.04-2 Activity centres

Objective 4 To maintain a balance between local convenience and regional retail roles in Yarra's activity centres.

Strategy 4.1 Increase the range of retail, personal and business services, community facilities, and recreation activities, within individual centres.

Strategy 4.3 Support the role of all activity centres, including Neighbourhood Activity Centres, in providing local day-to-day needs of residents of all abilities.

Objective 5 To maintain the long term viability of activity centres.

Strategy 5.2 Support land use change and development that contributes to the adaptation, redevelopment and economic growth of existing activity centres.

Strategy 5.3 Discourage uses at street level in activity centres which create dead frontages during the day.

Strategy 5.4 Permit residential development that does not compromise the business function of activity centres.

Objective 7 To encourage the arts and arts venues.

Strategy 7.1 Support a diversity of arts uses such as live music venues, performance spaces, galleries and artist studios in appropriate and accessible locations.

21.05-1 Heritage

Objective 14 To protect and enhance Yarra's heritage places.

Strategy 14.1 Conserve, protect and enhance identified sites and areas of heritage significance including pre-settlement ecological heritage.

Strategy 14.2 Support the restoration of heritage places.

Strategy 14.3 Protect the heritage skyline of heritage precincts.

Strategy 14.6 Protect buildings, streetscapes and precincts of heritage significance from the visual intrusion of built form both within places and from adjoining areas.

21.05-2 Urban design

Objective 16 To reinforce the existing urban framework of Yarra.

Strategy 16.2 Maintain and strengthen the preferred character of each Built Form Character Type within Yarra.

Objective 19 To create an inner city environment with landscaped beauty.

Strategy 19.1 Require well resolved landscape plans for all new development.

Strategy 19.2 Encourage opportunities for planting suitable trees and landscape areas in new development.

Objective 20 To ensure that new development contributes positively to Yarra's urban fabric.

Strategy 20.1 Ensure development is designed having particular regard to its urban context and specifically designed following a thorough analysis of the site, the neighbouring properties and its environs.

Objective 21 To enhance the built form character of Yarra's activity centres.

Strategy 21.1 Require development within Yarra's activity centres to respect and not dominate existing built form.

Strategy 21.2 Require new development within an activity centre to consider the context of the whole centre recognising that activity centres may consist of sub-precincts, each of which may have a different land use and built form character.

Strategy 21.3 Support new development that contributes to the consolidation and viability of existing activity centres.

The Amendment is consistent with and supported by the following local policies under Clause 22:

22.02 Development guidelines for sites subject to the Heritage Overlay

22.05 Interface uses policy

22.07 Development abutting laneways

22.09 Licenced premises

22.10 Built form and design policy

22.12 Public open space contribution policy

How does the amendment support or implement the Municipal Planning Strategy?

This does apply as the Yarra Planning Scheme does not have a Municipal Planning Strategy.

Does the Amendment make proper use of the Victoria Planning Provisions?

The Amendment is consistent with the objectives of State Planning Policy and the Victorian Planning Provisions.

How does the Amendment address the views of any relevant agency?

Council sought the views of VicRoads, the Department of Human Services, Public Transport Victoria and VicTrack in the drafting of the Johnston Street Local Area Plan which has informed the Amendment.

Does the Amendment address relevant requirements of the Transport Integration Act 2010?

The Amendment is consistent with the requirements of the Transport Integration Act 2010 and will facilitate development outcomes that promote the principles of transit oriented development.

Resource and administrative costs

The Amendment will have some impact on the general operation of Council's statutory planning department as it will facilitate some new forms of development and land use.

[Delete this section if not applicable]

ATTACHMENT 1 - Mapping reference table

Location	Land/Area Affected	Mapping Reference
Abbotsford	370-430 Johnston Street, 329-399A Johnston Street, 407-411 Johnston Street.	Yarra C220 006eaoMaps06_07 Approval
Abbotsford	246-274A Johnston Street, 219-241 Johnston Street.	Yarra C220 007hoMap06 Approval
Abbotsford	370-430 Johnston Street, 303-399A Johnston Street, 407-411 Johnston Street.	Yarra C220 02znMaps06_07 Approval
Abbotsford	246-430 Johnston Street, 217-399A, 407-411 Johnson Street.	Yarra C220 004ddoMaps06_07 Approval
Abbotsford	258 & 290 Johnston Street, 219-223 Johnston Street.	Yarra C220 007d-hoMap06 Approval
Collingwood	4-222A Johnston Street, 67-71 Johnston Street, 135 Campbell Street.	Yarra C220 001znMap06 Approval
Collingwood	4-222A Johnston Street, 5-33 Johnston Street, 67-209 Johnston Street.	Yarra C220 003ddoMap06 Approval
Collingwood	4-222A Johnston Street, 67-71 Johnson Street.	Yarra C220 005eaoMap06 Approval

21.12 LOCAL AREAS

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This Clause focuses on the local area implementation of the objectives and strategies set out in the MSS. Each Section relates to a particular precinct within the municipality and should be read in conjunction with the rest of the Municipal Strategic Statement and not in isolation.

The sections are organised under the Local Area headings.

21.12-1 Johnston Street Activity Centre (east of Smith Street)

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This policy applies to the section of Johnston Street shown on Map 1 to this schedule, extending east from Smith Street through to the Yarra River, which is characterised by a range of commercial activities including a mix of service industries, offices, artist studios, galleries, retail, cafés and bars. Higher density residential uses are starting to emerge within the Commercial 1 Zone and this trend is expected to continue.

Vision

Johnston Street will continue to evolve into a vibrant activity centre that serves the day to day needs of the local community whilst supporting employment, business and creative opportunities. The area will accommodate a diverse and growing population, well connected by sustainable forms of transport, with activity focussed around Victoria Park Station.

High quality corner buildings at the intersection of Johnston and Hoddle Streets will create a point of entry into Johnston Street, complemented by streetscape improvements.

Table 1 – Precinct Vision Statements

Precinct	Precinct Vision Statement
Precinct 1: Johnston Street Central	<p>The Victorian and Edwardian-era heritage character will remain the prominent feature of the streetscape west of the railway line, with taller built form set back from the street edge to provide separation between the heritage streetscape and newer built form.</p> <p>Precinct 1 will continue to become a vibrant, mixed-use precinct which comprises medium scale (mid-rise) buildings that contribute positively to the active footpaths of Johnston Street. New buildings will respect the heritage qualities of the precinct and reinforce a consistent street edge through generous building setbacks from the street-wall.</p> <p>A mix of uses including cafes, bars, retail shops, offices and gallery/studio spaces will provide activity and visual engagement for people on the street.</p>
Precinct 2: Johnston Street East	<p>East of the railway line bridge at Victoria Park Station, a more prominent, well-designed and contemporary built form character will emerge with well-designed buildings with well-activated ground floor frontages and articulated façades. Taller built form set back from the main façades.</p> <p>The vibrant mixed-use strip will link Hoddle Street to Victoria Park Station and through to the Yarra River and associated activities of the Abbotsford Convent and Collingwood Children’s Farm.</p> <p>A vibrant hub of shops, residential, commercial and entertainment activities, cafes and bars will contribute to the lively street environment, particularly around the train station entrance.</p>

Local area implementation

Ensure that any proposed use or development within the Johnston Street Activity Centre is generally consistent with the following policy objectives:

Land Use and Character

Heritage Character

- Protect the Victorian and Edwardian-era heritage streetscape character of Johnston Street as a significant part of its urban fabric, where the Heritage Overlay is present.
- Encourage the sensitive, adaptive re-use and restoration of heritage buildings.

Commercial and Creative Industries

- Promote Johnston Street as an economically viable activity centre.
- Foster new business opportunities and facilitate spaces for creative industries.
- Strengthen the role of Johnston Street in providing employment and business opportunities.
- Foster and support education, arts and community based activities at 35 Johnston Street (Collingwood Arts Precinct).
- Encourage commercial uses at the lower levels of new development, in addition to ground floor commercial uses.

Population and Mix of Uses

- Accommodate a growing population by integrating higher density residential and commercial uses as part of new mixed use developments.
- Provide a range of retail, entertainment and services that cater for local residents.
- Encourage land uses that generate street activity and increase pedestrian engagement.
- Discourage residential activity at the ground floor of new or existing buildings.

Access and Amenity

- Facilitate development close to Victoria Park Station that enhances the role and function of the station.
- Provide active interfaces and passive surveillance of public spaces, as part of new development close to the station.
- Reinforce connections and access to public transport stops and stations through well designed ground floor frontages, accommodating active uses.
- Improve pedestrian amenity along the length of Johnston Street and adjoining side streets through well designed ground floor frontages, accommodating active uses.
- Improve interfaces along the southern side of Sackville Street through improved building design and/or landscape treatments.
- Minimise potential conflicts between residential amenity and commercial uses.
- Limit vehicle access to new development from Johnston Street and discourage car parking in developments that only have access from Johnston Street.
- Encourage sustainable transport measures in new development.

Equitable Development

- Ensure that new development considers the future development opportunities of adjacent properties.
- Encourage consolidation of finer grain sites to achieve more efficient and equitable built form outcomes.
- Ensure that built form is spaced appropriately at the upper levels to maintain views to the sky from adjacent residential areas.

Reference Documents

Johnston Street Local Area Plan – December, 2015

Map 1 – Johnston Street Local Area Plan (Precincts 1 and 2)



22.02 DEVELOPMENT GUIDELINES FOR SITES SUBJECT TO THE HERITAGE OVERLAY

18/10/2018
C232
Proposed
C220

This policy applies to all land within a Heritage Overlay.

22.02-1 Policy Basis

30/09/2010
C85

The MSS highlights the importance of heritage to the identity and character of the municipality and one of its objectives is to protect and enhance the City's heritage places. This policy provides guidance for the protection and enhancement of the City's identified places of cultural and natural heritage significance.

22.02-2 Definitions of Words used in this Policy

30/09/2010
C85

- Adaptation: modifying a place to suit the existing use or a proposed use.
- Architectural integrity: the quality of closely reflecting the architecture of the period in which a building was created.
- Conservation: the process of looking after a place so as to retain its cultural significance.
- Cultural significance: aesthetic, historic, scientific, social or spiritual value for past, present or future generations.
- Fabric: all the physical material of the place including components and fixtures, and can include building interiors.
- Heritage place: anything subject to the Heritage Overlay and can include a site, area, land, landscape, tree, building or other work, or group of buildings of heritage significance, and may include components or spaces. When used in the context of a building graded individually significant, the heritage place is initially the individually significant building and then the broader heritage area. When used in the context of a contributory building, the heritage place is the broader heritage area.
- Maintenance: the continuous protective care of the fabric and setting of a place. It is distinguished from repair which involves restoration and reconstruction.
- Preservation: maintaining the fabric of a place in its existing state and retarding deterioration.
- Reconstruction: returning a place to a known earlier state and is distinguished from restoration by the introduction of new material into the fabric.
- Restoration: returning the existing fabric of a place to a known earlier state and is distinguished from reconstruction by no introduction of new material into the fabric (note a permit is only required for works, repairs and routine maintenance which change the appearance of a heritage place or which are not undertaken to the same details, specifications and materials).

22.02-3 Levels of Significance

19/10/2017
C235
Proposed
C220

Every building of cultural significance has been assessed and graded according to its heritage contribution. The levels of significance used are:

- Individually significant: The place is a heritage place in its own right. Within a Heritage Overlay applying to an area each individually significant place is also Contributory.
- Contributory: The place is a contributory element within a larger heritage place. A contributory element could include a building, building groups and works, as well as building or landscape parts such as chimneys, verandahs, wall openings, rooflines and paving.

- Not contributory: The place is not individually significant and not contributory within the heritage place.

The level of significance of every building is identified in the incorporated document, *City of Yarra Review of Heritage Overlay Areas 2007 Appendix 8* (as updated from time to time). Details of methodology used to determine levels of significance can be found in *City of Yarra Review of Heritage Overlay Areas 2007 (Graeme Butler and Associates)*, *City of Yarra Heritage Gaps Review Two 2013*, *City of Yarra Heritage Gaps Study July, 2014 – Smith Street South (Anthemion)*, ~~and~~ *Heritage Gap Study: Review of Central Richmond, Stage 2 Final Report, November 2014*, *and Heritage Gap Study: Review of Johnston Street East, March 2016*.

22.02-4 Objectives

30/09/2010
C85

To conserve Yarra's natural and cultural heritage.

To conserve the historic fabric and maintain the integrity of places of cultural heritage significance.

To retain significant view lines to, and vistas of, heritage places.

To preserve the scale and pattern of streetscapes in heritage places.

To encourage the preservation, maintenance, restoration and where appropriate, reconstruction of heritage places.

To ensure the adaptation of heritage places is consistent with the principles of good conservation practice.

To ensure that additions and new works to a heritage place respect the significance of the place.

To encourage the retention of 'individually significant' and 'contributory' heritage places.

To protect archaeological sites of cultural heritage significance.

22.02-5 Policy

19/10/2017
C235

It is policy to:

22.02-5.1 Demolition

19/10/2017
C235

Full Demolition or Removal of a Building

Generally encourage the retention of a building in a heritage place, unless

- The building is identified as being not contributory.
- The building is identified as a contributory building, and
 - new evidence has become available to demonstrate that the building does not possess the level of heritage significance attributed to it in the incorporated document, *City of Yarra Review of Heritage Areas 2007 Appendix 8* (as updated from time to time) and
 - the building does not form part of a group of similar buildings.

Note: The poor condition of a heritage place should not, in itself, be a reason for permitting demolition.

Encourage the retention of original street furniture and bluestone road or laneway materials and details (where relevant).

An application for demolition is to be accompanied by an application for new development.

Removal of Part of a Heritage Place or Contributory Elements

Encourage the removal of inappropriate alterations, additions and works that detract from the cultural significance of the place.

Generally discourage the demolition of part of an individually significant or contributory building or removal of contributory elements unless:

- That part of the heritage place has been changed beyond recognition of its original or subsequent contributory character(s).
- For a contributory building:
 - that part is not visible from the street frontage (other than a laneway), abutting park or public open space, and the main building form including roof form is maintained; or
 - the removal of the part would not adversely affect the contribution of the building to the heritage place.
- For individually significant building or works, it can be demonstrated that the removal of part of the building or works does not negatively affect the significance of the place.

22.02-5.2 Original Location

30/09/2010
C85

Encourage the retention of a heritage place or a contributory element to a heritage place in its original location unless:

- The location is not an important component of the cultural significance of the heritage place.
- It can be shown that the relocation is the only reasonable means of ensuring the survival of the heritage place.

22.02-5.3 Reconstruction and Restoration

30/09/2010
C85

Encourage restoration of a heritage place or contributory element if evidence exists to support its accuracy.

Encourage the reconstruction of a building or works which previously existed in a heritage place if:

- The reconstruction will enhance the heritage significance of the heritage place
- Evidence exists to support the accuracy of the reconstruction.

Encourage the reconstruction of original or contributory elements where they have been removed. These elements include, but are not limited to, chimneys, fences, verandahs, roofs and roof elements, wall openings and fitting (including windows and doors), shopfronts and other architectural details and features.

22.02-5.4 Painting and Surface Treatments

30/09/2010
C85

Encourage the removal of paint from originally unpainted masonry surfaces.

Encourage the retention of historic painted signs.

Discourage the sand blasting of render, masonry or timber surfaces; and the painting of unpainted surfaces.

Encourage paint colours to be consistent with the period of the heritage place.

22.02-5.5 Culturally Significant Trees

30/09/2010
C85

Encourage the retention of culturally significant trees in a heritage place unless:

- The trees are to be removed as part of a maintenance program to manage loss of trees due to deterioration caused by old age or disease.
- The trees are causing structural damage to an existing structure and remedial measures (such as root barriers and pruning) cannot be implemented.

Ensure additions and new works respect culturally significant trees (and where possible, significant garden layouts) by siting proposed new development at a distance that ensures the ongoing health of the tree.

22.02-5.6 Subdivision30/09/2010
C85

Support the subdivision of sites which do not detract from the heritage value of the place or contributory element.

Where appropriate, use a building envelope plan to protect the heritage values of the place. The building envelope plans should:

- Reflect the original rhythm of the streetscape.
- Allow sufficient space surrounding the heritage place or contributory element to a heritage place to retain its significance or contribution.

22.02-5.7 New Development, Alterations or Additions30/09/2010
C85**22.02-5.7.1 General**30/09/2010
C85

Encourage the design of new development and alterations and additions to a heritage place or a contributory element to a heritage place to:

- Respect the pattern, rhythm, orientation to the street, spatial characteristics, fenestration, roof form, materials and heritage character of the surrounding historic streetscape.
- Be articulated and massed to correspond with the prevailing building form of the heritage place or contributory elements to the heritage place.
- Be visually recessive and not dominate the heritage place.
- Be distinguishable from the original historic fabric.
- Not remove, cover, damage or change original historic fabric.
- Not obscure views of principle façades.
- Consider the architectural integrity and context of the heritage place or contributory element.

Encourage setbacks from the principal street frontage to be similar to those of adjoining contributory buildings; where there are differing adjoining setbacks, the greater setback will apply.

Encourage similar façade heights to the adjoining contributory elements in the street. Where there are differing façade heights, the design should adopt the lesser height.

Minimise the visibility of new additions by:

- Locating ground level additions and any higher elements towards the rear of the site.
- Encouraging ground level additions to contributory buildings to be sited within the 'envelope' created by projected sight lines (see Figure 1)
- Encouraging upper level additions to heritage places to be sited within the 'envelope' created by projected sight lines (for Contributory buildings refer to Figure 2 and for Individually significant buildings refer to Figure 3).
- Encouraging additions to individually significant places to, as far as possible, be concealed by existing heritage fabric when viewed from the front street and to read as secondary elements when viewed from any other adjoining street.

Discourage elements which detract from the heritage fabric or are not contemporary with the era of the building such as unroofed or open upper level decks or balconies, reflective glass, glass balustrades and pedestrian entrance canopies.

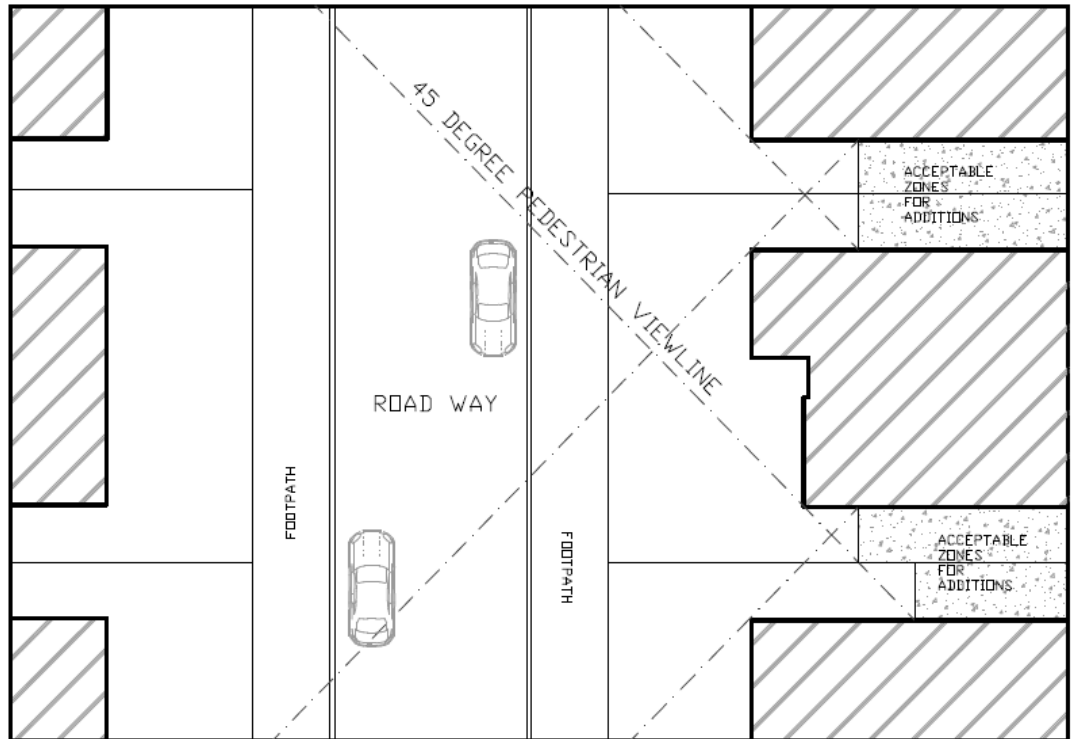


Figure 1 acceptable areas for ground level additions are sited within the area created by drawing a 45 degree view line from the opposite footpath through the front corner of the subject building and the corners of adjacent buildings.

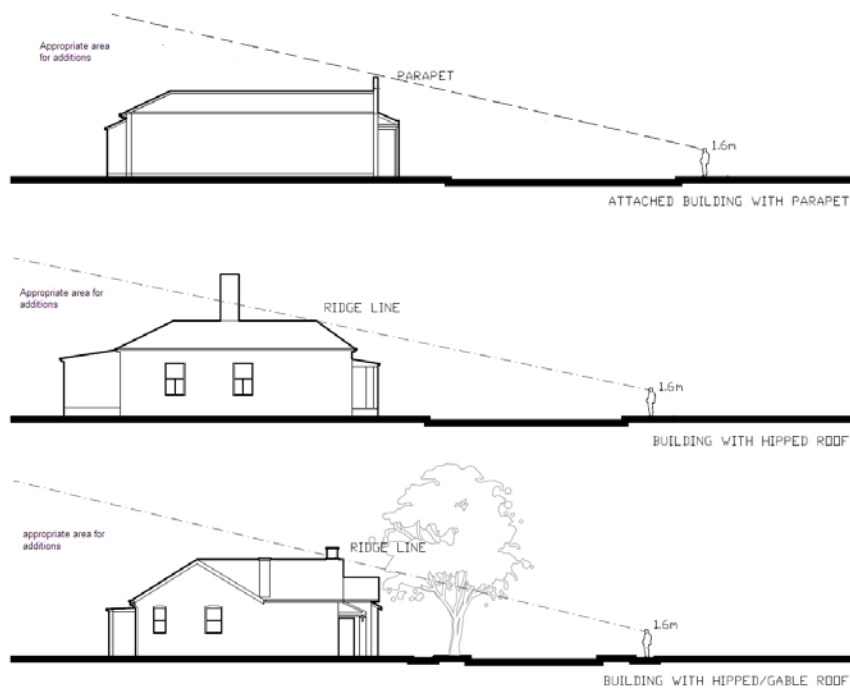


Figure 2 – appropriate areas for upper level additions to contributory buildings are sited within the ‘envelope’ created by projecting a sight line from 1.6 metres above ground level (eye level of average adult person) from the footpath on the opposite side of the street through the top of the front parapet or the ridge line of the principal roof form.

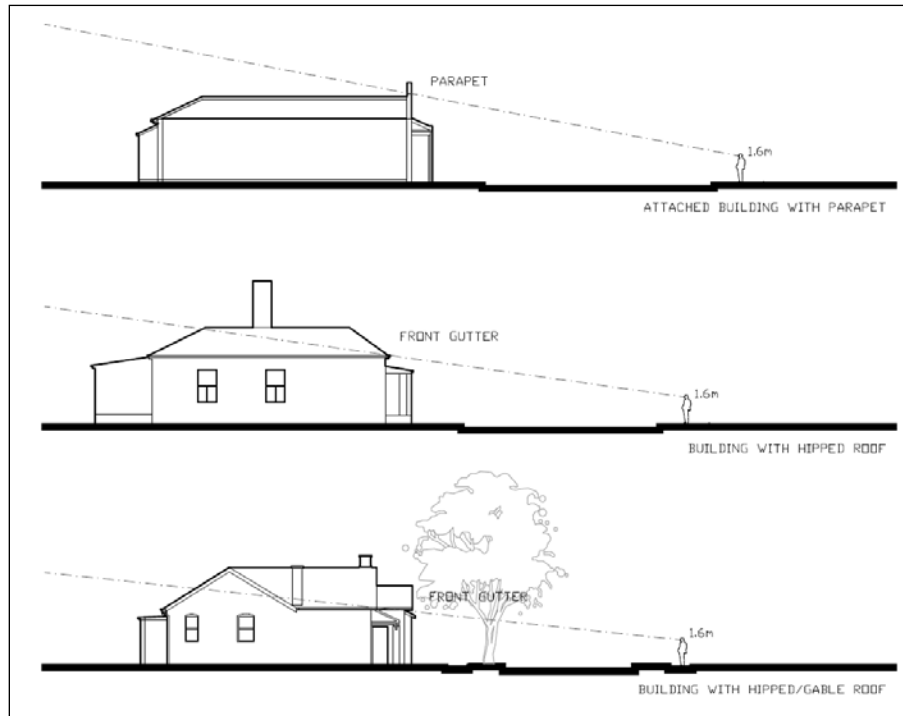


Figure 3 – appropriate areas for upper level additions to individually significant buildings are sited within the ‘envelope’ created by projecting a sight line from 1.6 metres above ground level (eye level of average adult person) from the footpath on the opposite side of the street through the top of the front parapet or the gutter line of the principal roof form.

22.02-5.7.2 Specific Requirements (where there is a conflict or inconsistency between the general and specific requirements, the specific requirements prevail)

30/09/2010
C85

Corner Sites and Sites with Dual Frontages

Encourage new building and additions on a site with frontages to two streets, being either a corner site or a site with dual street frontages, to respect the built form and character of the heritage place and adjoining or adjacent contributory elements to the heritage place.

Encourage new buildings on corner sites to reflect the setbacks of buildings that occupy other corners of the intersection.

Residential Upper Storey Additions

Encourage new upper storey additions to residential heritage places or contributory elements to heritage places to:

- Preserve the existing roof line, chimney(s) and contributory architectural features that are essential components of the architectural character of the heritage place or contributory elements to the heritage place.
- Respect the scale and form of the heritage place or contributory elements in the heritage place by stepping down in height and setting back from the lower built forms.

Sightlines should be provided to indicate the ‘envelope’ from the street of proposed upper storey additions (refer to the sightline diagrams in 22.02-5.7.1).

Industrial, Commercial and Retail Heritage Place or Contributory Elements

Encourage new upper level additions and works to:

- Respect the scale and form of the existing heritage place or contributory elements to the heritage place by being set back from the lower built form

elements. Each higher element should be set further back from lower heritage built forms.

- Incorporate treatments which make them less apparent.

Carports, Car Spaces, Garages, and Outbuildings

Encourage carports, car spaces, garages and outbuildings to be set back behind the front building line (excluding verandahs, porches, bay windows or similar projecting features) of the heritage place or contributory element or to be reasonably obscured. New works should be sited within the 'envelope' shown in Figure 1 of 22.02-5.7.1.

Discourage:

- new vehicle crossovers in streets with few or no crossovers
- high fencing, doors and boundary treatments associated with car parking that are unrelated to the historic character of the area
- new vehicle crossovers in excess of 3 metres wide in residential streets.

Front Fences and Gates

Encourage front fences and gates to be designed to

- allow views to heritage places or contributory elements from surrounding streets
- be a maximum of 1.2 metres high if solid or 1.5 metres high if more than 50% transparent (excluding fence posts)
- be consistent with the architectural period of the heritage place or contributory element to the heritage place.

Ancillaries and Services

Encourage ancillaries or services such as satellite dishes, shade canopies and sails, access ladders, air conditioning plants, wall and roof top mounted lighting, roof top gardens and their associated planting, water meters, and as far as practical aerials, to contributory or significant buildings, to be concealed when viewed from street frontage.

Where there is no reasonable alternative location, ancillaries and services which will reduce green house gas emissions or reduce water consumption, such as solar panels or water storage tanks, or provide universal access (such as wheel chair ramps), may be visible but should be sensitively designed.

Encourage ancillaries or services in new development to be concealed or incorporated into the design of the building.

Encourage ancillaries or services to be installed in a manner whereby they can be removed without damaging heritage fabric.

22.02-6 Archaeological Sites

30/09/2010
C85

Encourage applicants to consult with Heritage Victoria where any proposed buildings or works may affect archaeological relics to facilitate compliance with Part 6 of the *Heritage Act 1995* (Protection of Archaeological Places).

22.02-7 Decision Guidelines

30/09/2010
C85

Before deciding on an application the responsible authority will consider:

- Whether there should be an archival recording of the original building or fabric on the site.
- The heritage significance of the place or element as cited in the relevant Statement of Significance or Building Citation.

22.02-8 References18/10/2018
C232

- Heritage Citation: 112-124 Trenerry Crescent, Abbotsfod. GJM Heritage, July 2016.
- Heritage Citation: 20-60 Trenerry Crescent, Abbotsfod. GJM Heritage, July 2016.
- Heritage Gap Study: Review of Johnston Street East, Context Pty Ltd 2016.
- Heritage Gap Study: Review of 17 Precincts Stage 2 Report, Context Pty Ltd 2014, revised 2016.
- Heritage Review of Predefined Areas In Abbotsford & Collingwood Stage 2 Report, Context Pty Ltd 2015.
- Heritage Gap Study: Review of Central Richmond, Stage 2 Final Report, Context Pty Ltd 2014.
- City of Yarra Heritage Gaps Study – Smith Street South, Anthemion Consultancies 2014.
- City of Yarra Heritage Gaps – 233-251 Victoria Street Abbotsford Anthemion Consultancies, 2012.
- City of Yarra Heritage Gaps Stage Two, Graeme Butler and Associates 2009.
- City of Yarra Heritage Gaps Stage One, Graeme Butler and Associates 2008.
- City of Yarra Heritage Gaps Review One 2013 [Appendix A and B includes Statements of Significance] Incorporated Plan under the provisions of clause 43.01 Heritage Overlay - methodology report, Lovell Chen 2014.
- City of Yarra Heritage Gaps Review Two 2013.
- City of Yarra Heritage Gaps Study – 233-251 Victoria Street, Abbotsford, Anthemion Consultancies 2012.
- City of Yarra Review of Heritage Overlay Areas [Appendix 7 includes Statements of Significance], Graeme Butler and Associates 2007 updated 2013.
- Yarra Heritage Database 2007 including photos, Allom Lovell and Associates 1998.
- City of Yarra Heritage Review, Volumes 1-4, Allom Lovell and Associates 1998.
- Protecting Archaeological Sites in Victoria, Heritage Victoria 1998.
- The Burra Charter. Australian ICOMOS Charter for the Conservation of Places of Cultural Significance, as updated from time to time.
- Fitzroy Urban Conservation Study Review, Allom Lovell and Associates 1992.
- Collingwood Conservation Study, Andrew Ward and Associates 1989.
- Richmond Conservation Study, J and T O'Connor and Coleman and Wright Architects 1985.
- Carlton, North Carlton and Princes Hill Conservation Study, Nigel Lewis and Associates 1984.
- City of Northcote Urban Conservation Study, Graeme Butler Architect 1982.
- South Fitzroy Conservation Study, Jacob Lewis Vines Architects 1979.
- North Fitzroy Conservation Study, Jacob Lewis Vines Architects 1978.

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C--

SCHEDULE 15 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

Shown on the planning scheme map as **DDO15**.

JOHNSTON STREET ACTIVITY CENTRE

1.0 Design objectives

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C--

- To preserve the valued heritage character of the streetscape and ensure that the predominantly two storey heritage street wall remains the visually prominent built form of Johnston Street west of the railway line bridge.
- To provide for new mid-rise (5 to 10 storeys) buildings and provide a suitable transition to low scale residential areas.
- To protect the operation of the state significant Collingwood Arts Precinct from unreasonable loss of amenity through visual bulk, overshadowing of open space areas and vehicle access.
- To activate the street edge, provide passive surveillance opportunities, accommodate commercial activity at the lower levels of buildings and protect footpaths and public spaces on the southern side of Johnston Street from loss of amenity from overshadowing.
- To provide for equitable development outcomes through built form design that responds to the development opportunities of neighbouring properties, and through the consolidation of finer grain sites.

2.0 Buildings and works

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2.1 Definitions

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Building height means the vertical distance between the footpath at the centre of the frontage and the highest point of the building.

Heritage Building ~~building~~ **[EK1]** means any building subject to a heritage overlay, graded as either *Contributory* or *Individually Significant*.

Laneway means a road reserve of a public highway 9 metres or less wide.

Rear interface means the rear wall of any proposed building or structure at any level, whether on the property boundary or set back from the property boundary.

Street wall means the facade of a building at the street boundary.

Street wall height means the vertical distance between the footpath at the centre of the frontage and the highest point of the building at the street edge.

2.2 Requirements

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A permit cannot be granted to vary a requirement expressed with the term ‘must’ or listed in a ‘Mandatory’ column of a table.

A permit must not be granted or amended (unless the amendment would not increase the extent of non-compliance) for buildings and works which exceed a mandatory maximum requirement or are less than a mandatory minimum requirement.

Architectural features may exceed the preferred or mandatory height.

Service equipment/**structures** including plant rooms, lift overruns, structures associated with green roof areas and other such equipment may exceed the preferred or mandatory height provided that each of the following criteria are met for the equipment or structure:

- Less than 50 per cent of the roof area is occupied by the equipment (other than solar panels).
- The equipment does not cause additional overshadowing.
- The equipment does not extend higher than 3.6 metres above the maximum building height.

Projections such as balconies and, building services and architectural features [EK2] must not intrude into a setback.

2.3

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Building height

Buildings should not exceed the preferred maximum building height and must not exceed the mandatory maximum building height specified in Table 1.

Table 1: Building heights [EK3]

Sub precinct	Preferred maximum building height	Mandatory maximum building height
<u>1A4A</u>	24 metres	None specified
<u>1B4AA</u>	28 metres	None specified
<u>1C4AAA</u>	None specified	28 metres
<u>1D4B</u>	24 metres	None specified
<u>1E4C</u>	21 metres	28 metres
<u>1F4D</u>	None specified	21 metres
<u>1GAheron land</u>	34 metres	None specified
<u>1H2A</u>	21 metres	None specified
<u>2A2#B</u>	34 metres	None specified
<u>2B2#C</u>	24 metres	31 metres
<u>2C2#D</u>	21 metres	24 metres
<u>2D2#E</u>	None specified	21 metres

A permit should only be granted to exceed the preferred maximum building height specified in Table 1 if the following criteria are met:

- The building elements permitted by the proposed variation satisfy the design objectives of Clause 1.0 and the provisions of Clause 21.12–1.
- The proposal will achieve each of the following:
 - Housing for diverse households types.
 - Universal access.
 - Communal or private open space provision that exceeds the minimum standards in Clauses 55.07 and 58.
 - Excellence for environmental sustainable design measured as a minimum BESS project score of 70 per cent or 5 Star Green Star Standard.
 - Greater building separation than the minimum requirement in this schedule.
 - No additional amenity impacts to residential zoned properties, beyond that which would be generated by a proposal that complies with the preferred maximum [EK4] building height.
 - For Hheritage bBuildings [EK5], the proposed development enhances the heritage fabric of the building (primarily through restoration or reinstatement of the front facade and external features visible from Johnston Street).

2.4 Overshadowing and solar access requirements

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New development must not overshadow the southern footpath of Johnston Street, measured as 3.0 metres from the property frontage on Johnston Street, between 10am and 2pm at 22 September

Development in Sub precincts ~~1C1E, 1D1F, 2B2A, 2C2D and 2E2D~~ should ~~[EK6]~~ avoid additional overshadowing of residential zoned properties to the south measured from 10am to 2pm at 22 September.

2.5 Street wall height

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A new street wall should not exceed the preferred maximum street wall height and must not exceed the mandatory maximum street wall height specified in Table 2. This does not apply to a heritage building.

Buildings should achieve the street wall transition specified in Table 3.

Except where a heritage building (or part of a heritage building) is to be retained along the street frontage, new development should provide a minimum street wall height of 8 metres.

Table 2: Street wall height ~~[EK7]~~

Sub precinct	Preferred maximum Street wall height	Mandatory maximum Street wall height
1A4A	None specified	44.311 metres
1B4AA	44.311 fronting Sackville Street	44.311 metres fronting Johnston Street
1C4AAA	None specified	44.311 metres fronting Johnston Street
1D4B	44.311 metres	None specified
1E4C	None specified	44.311 metres
1F4D	None specified	44.311 metres
1GA4E4F4G	44.311 fronting Sackville Street	44.311 metres fronting Johnston Street
1H2A	None specified	44.311 metres
2A2B	15 metres	18 metres
2B2C	15 metres	18 metres
2C2D	15 metres	18 metres
2D2E	15 metres	18 metres

Table 3: Street wall transition

Area	Street wall transition
East of the railway bridge	New development should provide a transitional street wall height (maximum one storey higher, but not less than 8 metres) on sites that are adjacent to Individually Significant heritage buildings for a minimum length of 6 metres from the heritage building.
West of the railway bridge	The street-wall height should match the parapet height of a neighbouring heritage building, where present, for a minimum length of 6 metres from the heritage building. If the parapet height of the neighbouring heritage building is less than 8 metres, the street wall height of new development should be 8 metres for a minimum length of 6 metres from the heritage building.

2.6 Mid level set back above the street wall

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Development should be set back from the street wall at least the preferred minimum mid level setback and must be set back from the street wall at least the mandatory minimum mid level setback specified in Table 4 and illustrated in Figures 1 & 2 in Table [EK8]4.

Table 4: Mid level setback above the street wall [EK9]

Sub precinct	Preferred mid level setback	Mandatory mid level setback
<u>1A4A</u>	None specified	6 metres
<u>1B4AA</u>	6 metres fronting Sackville Street	6 metres fronting Johnston Street
<u>1C4AAA</u>	None specified	6 metres fronting Johnston Street
<u>1D4B</u>	6 metres	None specified
<u>1E4C</u>	None specified	6 metres
<u>1F4D</u>	None specified	6 metres
<u>1G4E4F4G</u>	3 metres fronting Johnston Street with a transition to 6 metres to the west of the sub precinct 6 metres fronting Sackville Street	None specified
<u>1H2A</u>	None specified	6 metres
<u>2A2B</u>	6 metres	None specified
<u>2B2C</u>	6 metres	None specified
<u>2C2D</u>	6 metres	6 metres (293 and 323–325 Johnston Street)
<u>2D2E</u>	6 metres	None specified

2.7 Upper level setbacks

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New development on sites fronting Johnston Street, Sackville Street or Stafford Street, should be setback from the front and rear property boundary, as specified in Table 5 and illustrated in Figures 1 & 2 Table 5. [EK10]

In complying with the 45 degree envelope requirement, development should provide incremental setbacks of at least two storeys to avoid repetitive stepped form and ‘wedding cake’ outcomes.

A permit must not be granted for buildings and works which exceed the mandatory 45 degree envelope from rear property boundary in Sub precinct 2E2D. [EK11]

Table 5: Upper level setback requirements [EK12]

Sub precinct	Preferred front upper level setback	Preferred rear minimum setback (mandatory for 2E)
<u>1A4A</u>	45 degrees above <u>44.311</u> metres	4.5 metres above <u>44.311</u> metres
<u>1B4AA</u>	45 degrees above <u>44.311</u> metres	4.5 metres above <u>44.311</u> metres
<u>1C4AAA</u>	45 degrees above <u>44.311</u> metres	4.5 metres above <u>44.311</u> metres
<u>1D4B</u>	45 degrees above <u>44.311</u> metres	4.5 metres above <u>44.311</u> metres
<u>1E4C</u>	45 degrees above <u>44.311</u> metres	45 degrees above <u>44.311</u> metres
<u>1F4D</u>	45 degrees above <u>44.311</u> metres	45 degrees above <u>44.311</u> metres
<u>1G4E4F4G</u>	45 degrees above <u>44.311</u> metres for Sackville Street	None specified
<u>1H2A</u>	45 degrees above <u>44.311</u> metres	4.5 metres above <u>44.311</u> metres

<u>2A2#B</u>	45 degrees above 18 metres	4.5 metres above <u>44.311</u> metres but 45 degrees above <u>44.311</u> metres for Stafford Street
<u>2B2#C</u>	45 degrees above 18 metres	45 degrees above <u>44.311</u> metres
<u>2C2#D</u>	45degrees above 18 metres	45 degrees above <u>44.311</u> metres
<u>2D2#E</u>	45 degrees above 18 metres	45 degrees above 9 metres (mandatory)

Figure 1: Building envelope requirement – Heritage Building [EK13]

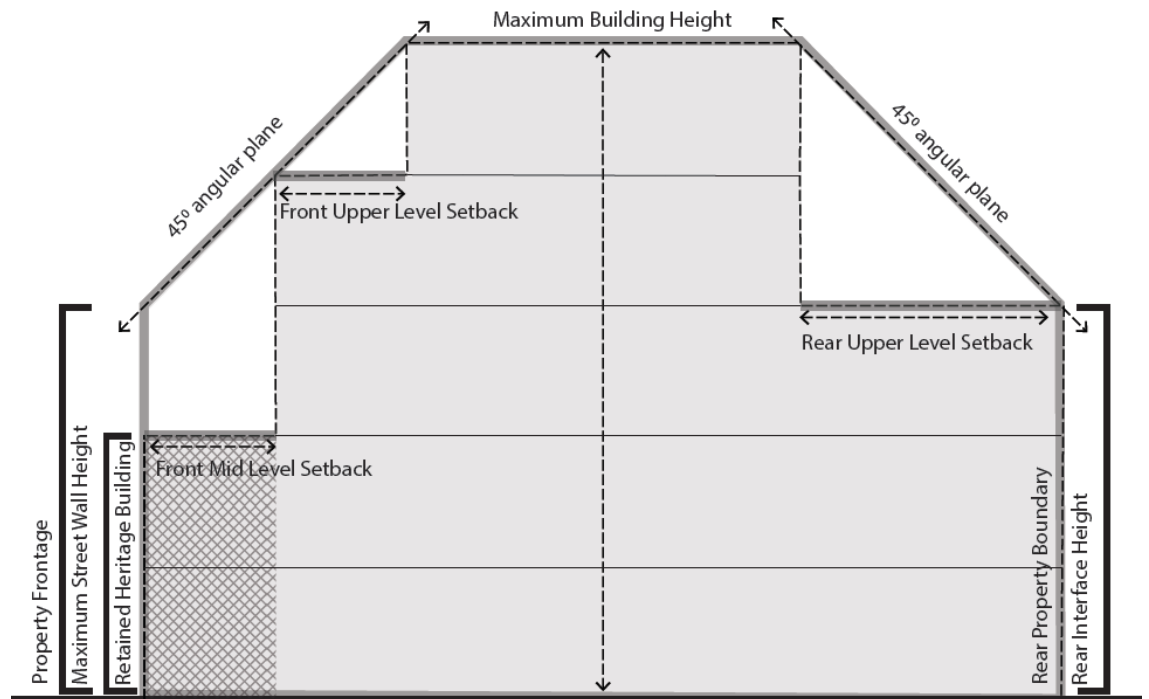


Figure 2: Building envelope requirement – Infill Building [EK14]

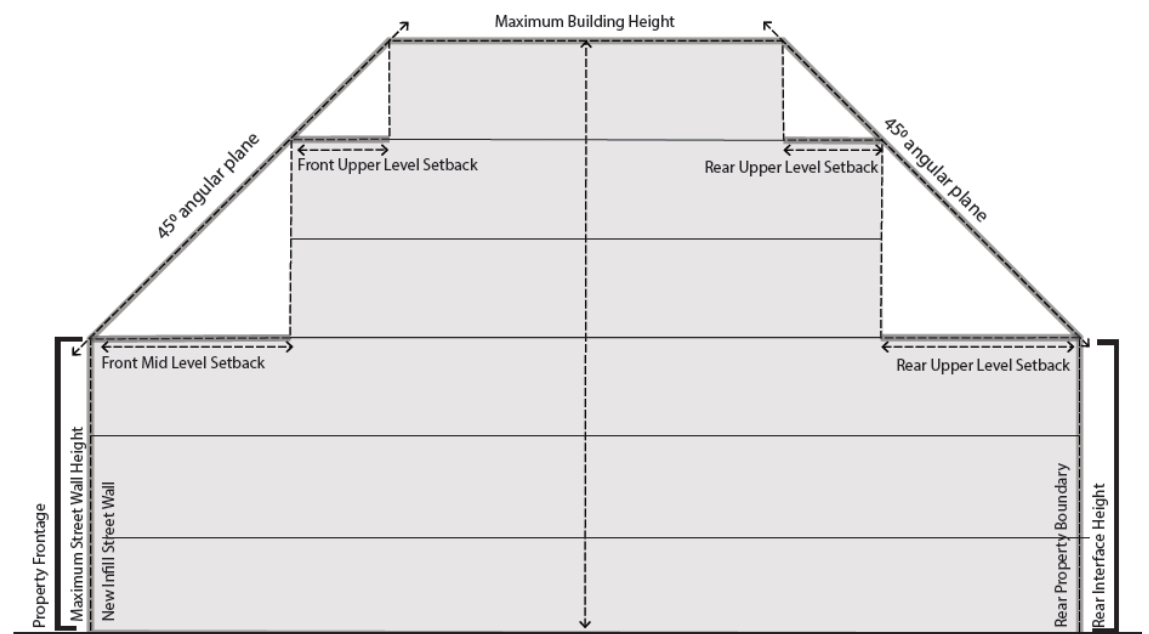
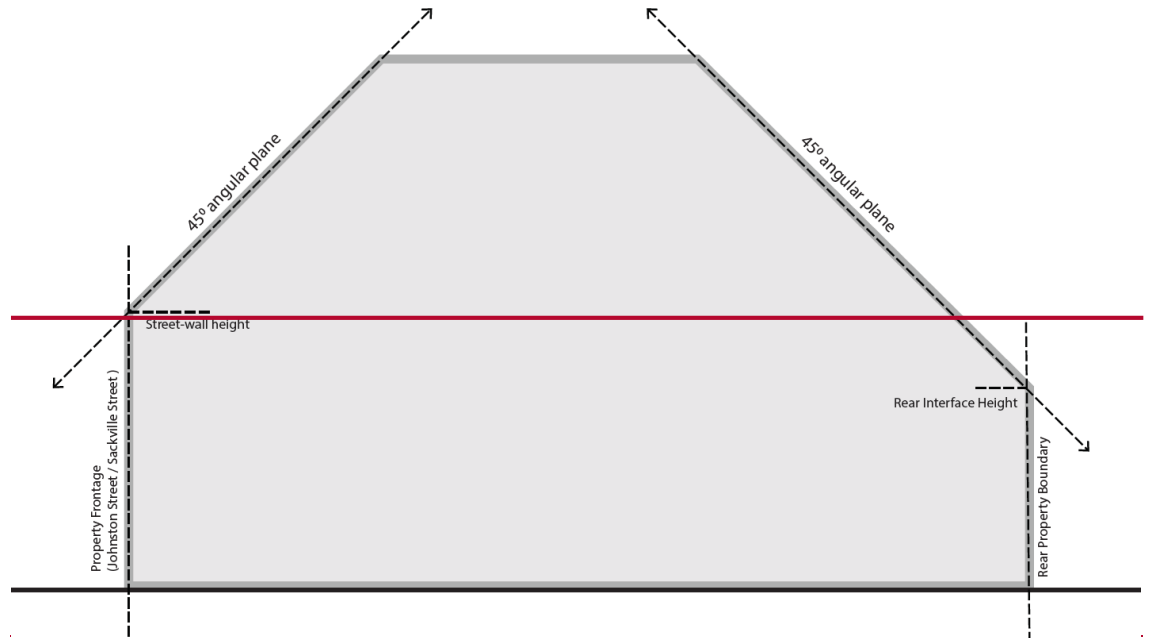


Figure 1: Building envelope requirement

UPDATE DIAGRAM TO SHOW MID LEVEL SETBACKS ABOVE THE STREET WALL



2.8

Corner site requirements

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New development on a corner site with a frontage to Johnston Street or Sackville Street should:

- Continue the street wall height established at the Johnston Street or Sackville Street frontage along the side street, with a transition in height to the rear interface where required.
- Setback buildings above the street wall from the side street a minimum of 3 metres.

This requirement does not apply to new development on the corner of either:

- Hoddle Street and Johnston Street.
- A laneway.

2.9

Building separation requirement

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Where development shares a common boundary with a private property or a laneway, buildings above the street wall should be set back as follows:

- Where a habitable room window is proposed:
 - 4.5 metres from the common boundary.
 - 4.5 metres from the centre line of the laneway.
- Where a non-habitable room window or commercial window is proposed:
 - 3 metres from the common boundary.
 - 3 metres from the centre line of the laneway where the laneway is less than 6 metres wide.

Development above 21 metres should provide an appropriate side setback to provide spacing between buildings in order to maintain views to the sky from Johnston and Sackville Streets and from residential properties adjacent to the development.

2.10 Street frontage requirements

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New development should:

- Be built to the front property boundary on sites without a heritage building along Johnston Street and Sackville street.
- To the west of the railway bridge, maintain the visual prominence of heritage buildings.
- To the east of the railway bridge, contribute to a new, well-designed, contemporary urban character that provides articulation in building facades, reinforcing a finer grain street pattern.
- Address the primary street frontage and, where heritage elements are not a constraint, incorporate design elements that contribute to the provision of a continuous, visible and active frontage at ground level.
- Provide for passive surveillance.
- Provide an active or visually interesting interface with the public realm, including areas of public open space and public transport stops.
- Locate service entries/access doors away from the primary street frontage, or where not possible, be sensitively designed to integrate into the facade of the building.

2.11 Commercial floor space requirements

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Buildings should:

- Be designed to accommodate commercial activity at the lowest two levels
- Incorporate floor to floor heights suitable for commercial activity of at least 4 metres at the lowest two levels, where heritage elements are not a constraint.

2.12 Upper level design requirements[EK15]

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Facades above the street wall, including side walls, should:

- Employ a high standard of architectural design
- Be well-articulated. Be designed to be read as part of the overall building
- Not detract from the character of the streetscape when viewed directly or obliquely along either Johnston Street or Sackville Street.
- ~~Not detract from the character of the streetscape when viewed directly or obliquely along either Johnston Street or Sackville Street.~~

Buildings above the facade of retained heritage buildings and on sites adjacent to a heritage building should:

- Ensure that heritage buildings remain the visually prominent feature within Johnston Street when viewed from ground level.
- Be visually recessive in mass, scale and materiality, incorporating materials and finishes that are sympathetic and in keeping with the character of the heritage streetscape.

2.13 Vehicle access and car parking

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New development should:

- Avoid providing vehicle access from Johnston Street and provide access from a side street or laneway where practical.
- Conceal the provision of car parking within the building or provide basement car parking.
- Avoid recessed parking spaces at the ground floor level of buildings and onsite parking spaces at the front of properties.

3.0 Subdivision

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None specified.

4.0 Advertising signs

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None specified

5.0 Application requirements

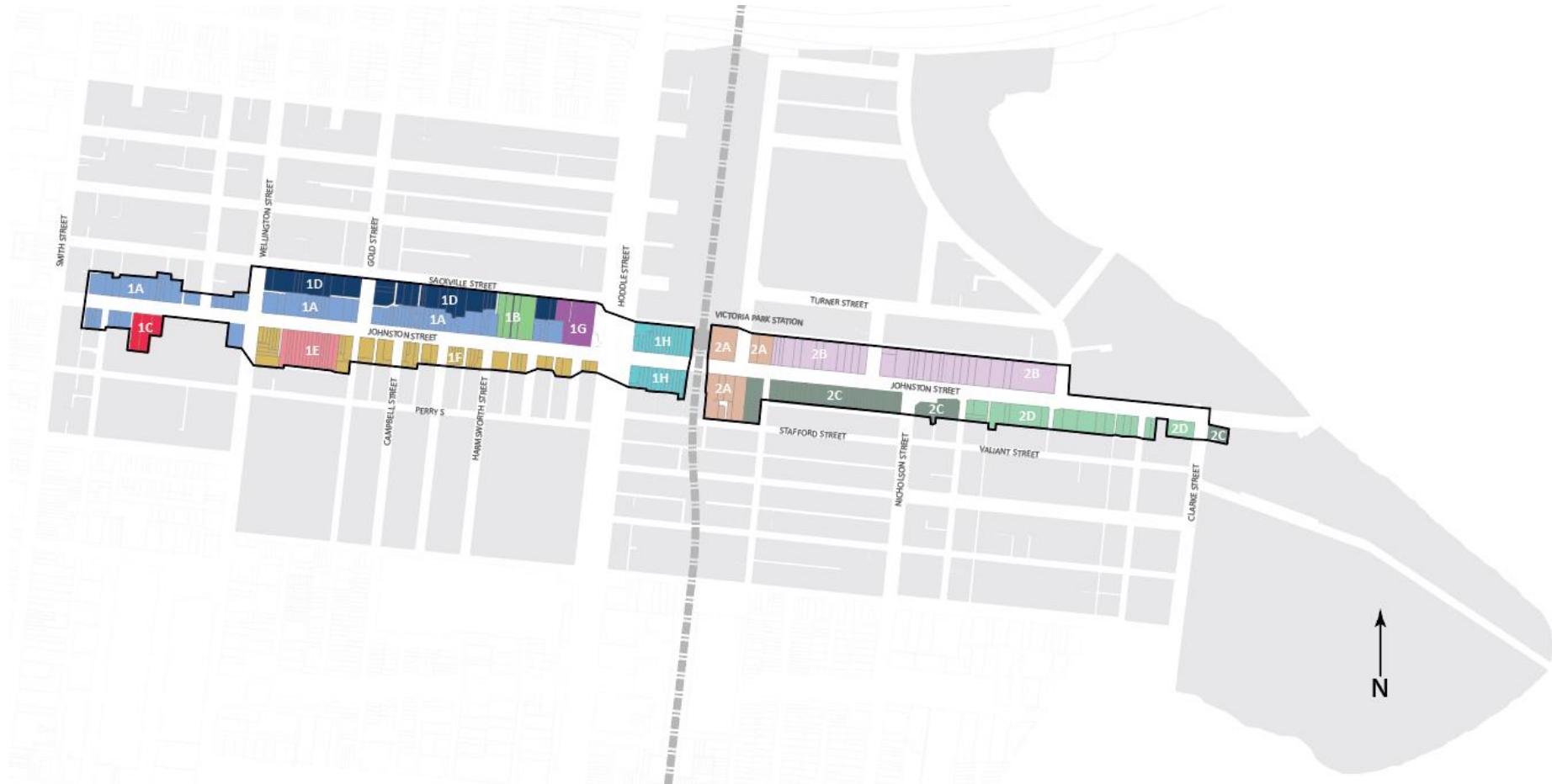
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An application for development must be accompanied by a design response that considers the future development opportunities of adjacent properties in terms of outlook, daylight and solar access to windows, as well as managing visual bulk.

6.0 Decision guidelines

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The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- The architectural quality of the proposal, which includes the design, scale, height, materials, mass and visual bulk of the development in relation to the surrounding built form.
- The profile and impact of development on the vista along Johnston Street.
- How the proposal responds to the presence of heritage buildings either on, or in close proximity to the site and whether an increased upper level setback is required having regard to the heritage significance and contributory features of the site.
- The design response at the interface with existing low-scale residential properties and the potential amenity impacts to neighbouring residential properties.
- Whether the proposal provides an active street interface to Johnston Street and contributes positively to the pedestrian environment and other areas of the public realm.

Map 1: Johnston Street Sub-Precincts Plan [EK16]



14/03/2019
C264yaraPr

SCHEDULE TO CLAUSE 72.04 DOCUMENTS INCORPORATED IN THIS PLANNING SCHEME

1.0

Incorporated documents

14/03/2019
C264yaraPr

Name of document	Introduced by:
5-15 Mayfield Street, Abbotsford, Incorporated Document, October, 2018	C188
10 Bromham Place, Richmond Incorporated Document, February 2013	C171
18-62 Trenerry Crescent, Abbotsford (Incorporated Plan, May 2018)	C218
32-68 Mollison Street and 61-69 William Street, Abbotsford July 2013	C170
520 Victoria Street, 2A Burnley Street, and 2 – 30 Burnley Street, Richmond, Burnley Street West Precinct - Incorporated Plan, 2012	C150
Amcors Alphington Paper Mill Site Preparation – Incorporated Document, September 2012	C161
Atherton Gardens – Fitzroy, September 2010	C136
Caulfield Dandenong Rail Upgrade Project, Incorporated Document, April 2016	GC37
Chandler Highway Upgrade Incorporated Document, March 2016 (Amended December 2017)	GC80
City of Yarra Review of Heritage Overlay Areas 2007 Appendix 8, revised December 2018 May 2019	C264yaraC220
Cremorne Balmain Dover Street Project	NPS1
Crown Land Car Park Works, Burnley, August 2005	C92
Fitzroy Former Gasworks Site, Incorporated Document, February 2018	C242
Flying Fox Campsite, Yarra Bend Park, December 2004	C90
Hurstbridge Rail Line Upgrade 2017 Incorporated Document, January 2017	GC60
Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning permit exemptions, July 2014	C178
Local Policy “Protection of Biodiversity” Sites of Remnant Vegetation (Biosis 2001)	C49
M1 Redevelopment Project, October 2006	C86
Melbourne City Link Project – Advertising Sign Locations, November 2003	VC20
Melbourne Metro Rail Project: Upgrades to the Rail Network Incorporated Document, May 2018	GC96
Planning and Design Principles for the Richmond Maltings Site, Cremorne – November 2007	C101
Richmond Walk Up Estate Redevelopment, September 2010	C136
Social housing redevelopment; Atherton Gardens Estate, Fitzroy, and Richmond Public Housing Estate, Richmond, for which the Minister for Planning is the Responsible Authority, May 2010	C135
Specific Site and Exclusion – Lot 2 on PS433628L (452 Johnston Street, Abbotsford)	C56
Swan Street Works, Burnley, June 2005	C91
Tramway Infrastructure Upgrades Incorporated Document, May 2017	GC68
Victoria Gardens Building Envelope and Precinct Plan and Precinct 3 Plan – Warehouse Area	C7

Name of document	Introduced by:
Victoria Gardens Urban Design Guidelines	NPS1
Victorian Institute of Forensic Psychiatry Concept Plan (January 1997)	NPS1
Yarra Gardens Precinct Plan, December 2009	C128

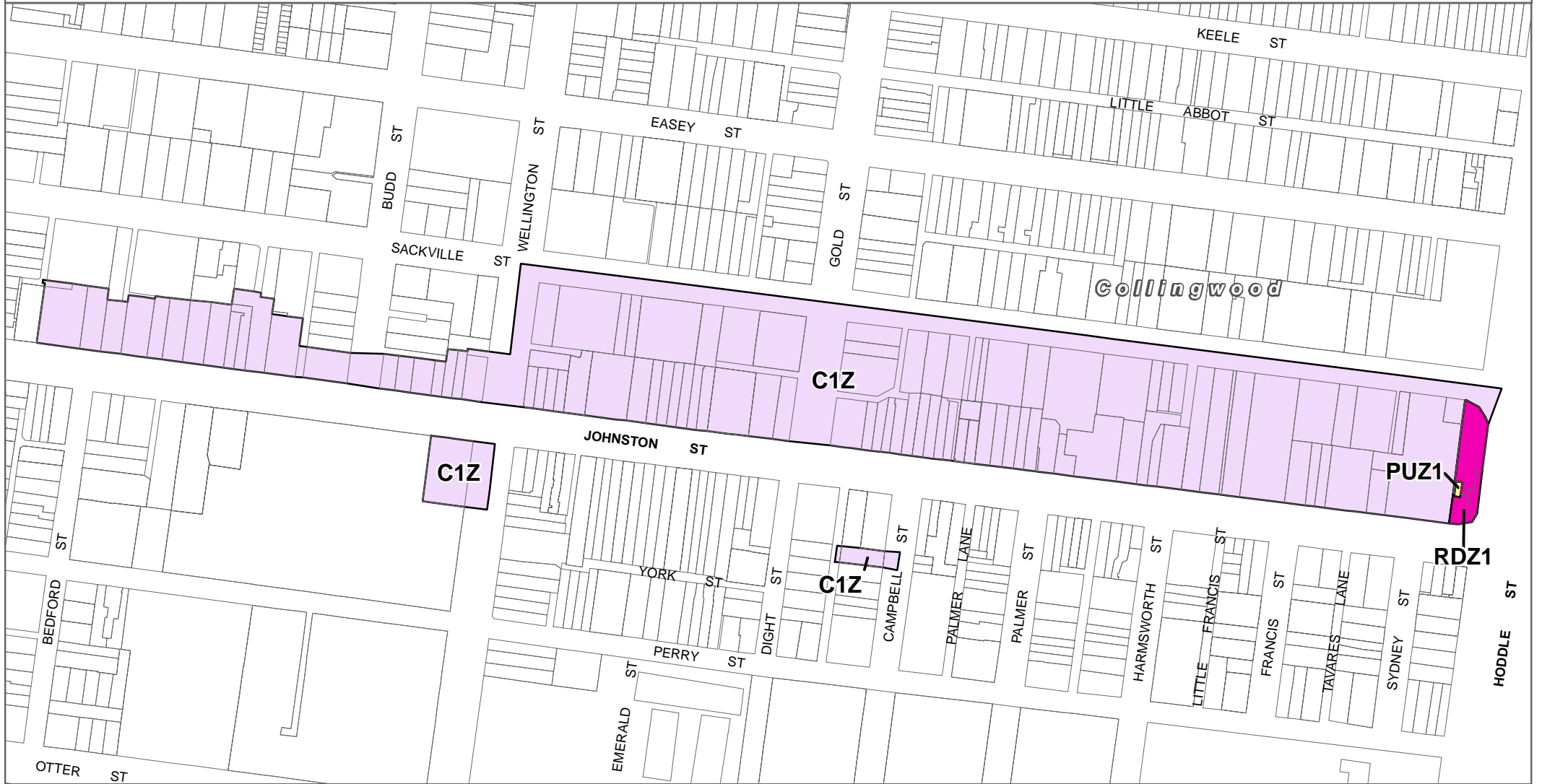
Amendment C220 – Additions to the Incorporated Document: Appendix 8

JOHNSTON STREET EAST PRECINCT (HO505)										
NAME	STREET	NUMBER	NUMBER	SUBURB	DATE	GRADING	PROPERTY NUMBER	PRECINCT	CHANGES FROM CURRENT HO	
Shop & residence	JOHNSTON	STREET	219	ABBOTSFORD	1885-1890	Individually significant	112985	Johnston Street East Precinct	Individual HO409. Add to Johnston Street East Precinct	
Shop & residence	JOHNSTON	STREET	221	ABBOTSFORD	1885-1890	Individually significant	112995	Johnston Street East Precinct	Individual HO409. Add to Johnston Street East Precinct	
Shop & residence	JOHNSTON	STREET	223	ABBOTSFORD	1885-1890	Individually significant	113000	Johnston Street East Precinct	Individual HO409. Add to Johnston Street East Precinct	
Shop & residence	JOHNSTON	STREET	225	ABBOTSFORD	c.1960	Not contributory	113005	Johnston Street East Precinct		
Shop & residence	JOHNSTON	STREET	227	ABBOTSFORD	c.1960	Not contributory	113010	Johnston Street East Precinct		
Shop & residence	JOHNSTON	STREET	229	ABBOTSFORD	1885-1890	Contributory	113015	Johnston Street East Precinct		
Shop & residence	JOHNSTON	STREET	231	ABBOTSFORD	1885-1890	Contributory	113020	Johnston Street East Precinct		
Shop & residence	JOHNSTON	STREET	233	ABBOTSFORD	1885-1890	Contributory	113030	Johnston Street East Precinct		
Shop & residence	JOHNSTON	STREET	235	ABBOTSFORD	1885-1890	Contributory	113035	Johnston Street East Precinct		
Shop & residence	JOHNSTON	STREET	237	ABBOTSFORD	1885-1890	Contributory	113040	Johnston Street East Precinct		
Shop & residence	JOHNSTON	STREET	239	ABBOTSFORD	1885-1890	Contributory	405430	Johnston Street East Precinct		
Railway bridge & abutments	JOHNSTON	STREET	241	ABBOTSFORD	1901	Individually Significant	113055	Johnston Street East Precinct		
Shop & residence	JOHNSTON	STREET	246	ABBOTSFORD	1900-1910	Contributory	113630	Johnston Street East Precinct		
Shop & residence	JOHNSTON	STREET	248	ABBOTSFORD	1900-1910	Contributory	113625	Johnston Street East Precinct		
Shop & residence	JOHNSTON	STREET	250	ABBOTSFORD	1900-1910	Contributory	113620	Johnston Street East Precinct		
Shop & residence	JOHNSTON	STREET	252	ABBOTSFORD	1885-1890	Contributory	113615	Johnston Street East Precinct		

**JOHNSTON STREET EAST
PRECINCT (HO505)**

NAME	STREET	NUMBER	SUBURB	DATE	GRADING	PROPERTY NUMBER	PRECINCT	CHANGES FROM CURRENT HO	
Shop & residence	JOHNSTON	STREET	254	ABBOTSFORD	1885-1890	Contributory	113610	Johnston Street East Precinct	
Shop & residence	JOHNSTON	STREET	256	ABBOTSFORD	1885-1890	Contributory	113605	Johnston Street East Precinct	
Shop & residence	JOHNSTON	STREET	258	ABBOTSFORD	1885-1890	Individually significant	113600	Johnston Street East Precinct	Individual HO411. Add to Johnston Street East Precinct
Shop & residence	JOHNSTON	STREET	260	ABBOTSFORD	1885-1890	Individually significant	113595	Johnston Street East Precinct	Individual HO411. Add to Johnston Street East Precinct
Shop & residence	JOHNSTON	STREET	262	ABBOTSFORD	1885-1890	Contributory	113590	Johnston Street East Precinct	
Shop & residence	JOHNSTON	STREET	264	ABBOTSFORD	1885-1890	Contributory	113585	Johnston Street East Precinct	
Shop & residence	JOHNSTON	STREET	266	ABBOTSFORD	1885-1890	Contributory	113580	Johnston Street East Precinct	
Shop & residence	JOHNSTON	STREET	268	ABBOTSFORD	1885-1890	Contributory	113575	Johnston Street East Precinct	
Shop & residence	JOHNSTON	STREET	270	ABBOTSFORD	1885-1890	Not contributory	113570	Johnston Street East Precinct	
Shop & residence	JOHNSTON	STREET	272	ABBOTSFORD	1885-1890	Contributory	113565	Johnston Street East Precinct	
Shop & residence	JOHNSTON	STREET	274	ABBOTSFORD	1885-1890, c.1930	Contributory	113560	Johnston Street East Precinct	

YARRA PLANNING SCHEME - LOCAL PROVISION AMENDMENT C220



LEGEND

- C1Z - Commercial 1 Zone
- PUZ1 - Public Use Zone-Service and Utility
- RDZ1 - Road Zone-Category 1
- Local Government Area

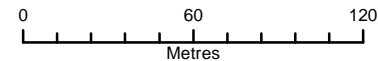
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Planning Group

Print Date: 19/03/2019

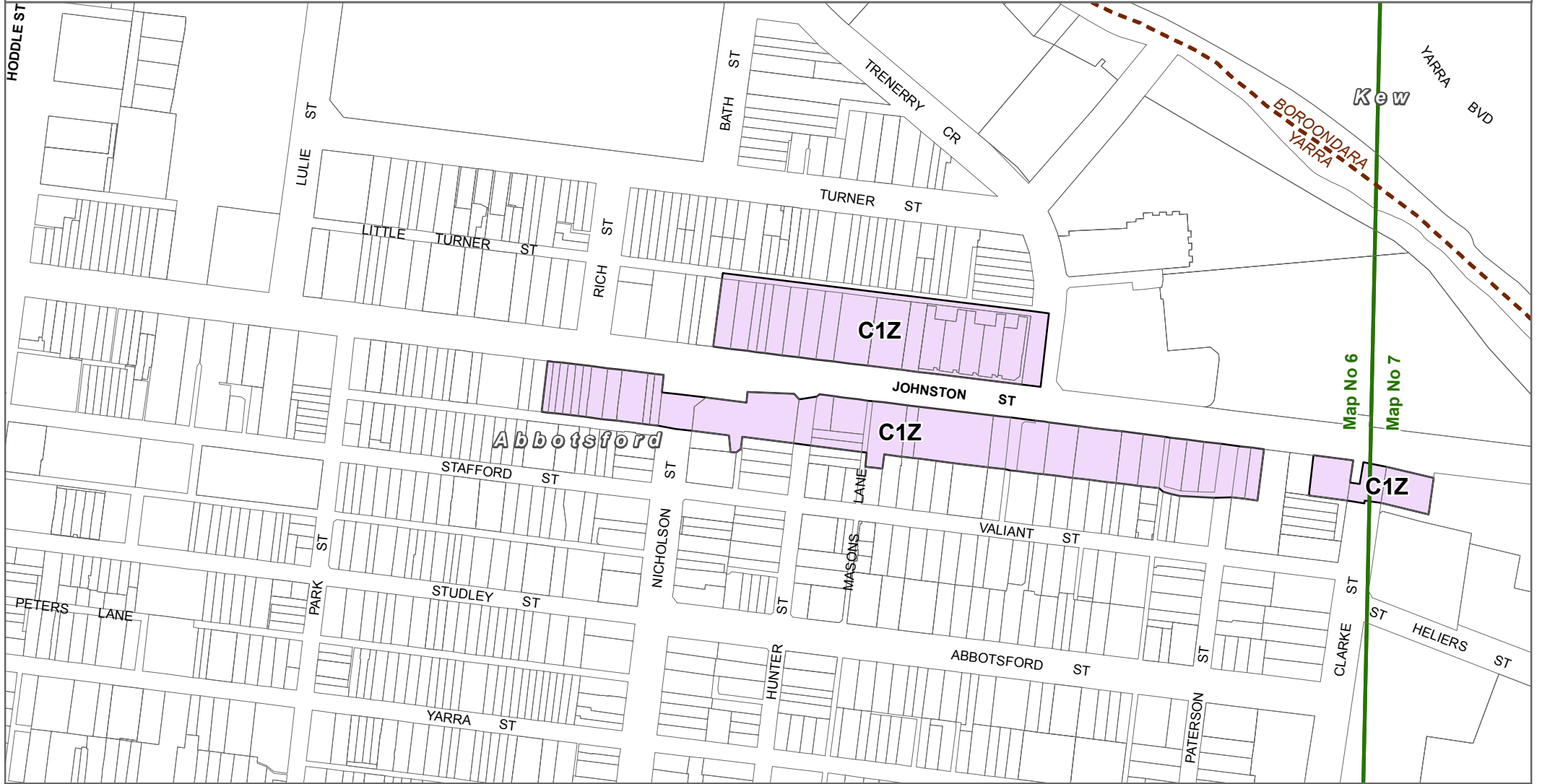


Environment,
Land, Water
and Planning

Part of Planning Scheme Map 6



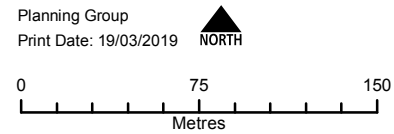
YARRA PLANNING SCHEME - LOCAL PROVISION AMENDMENT C220



- LEGEND**
- C1Z - Commercial 1 Zone
 - Local Government Area

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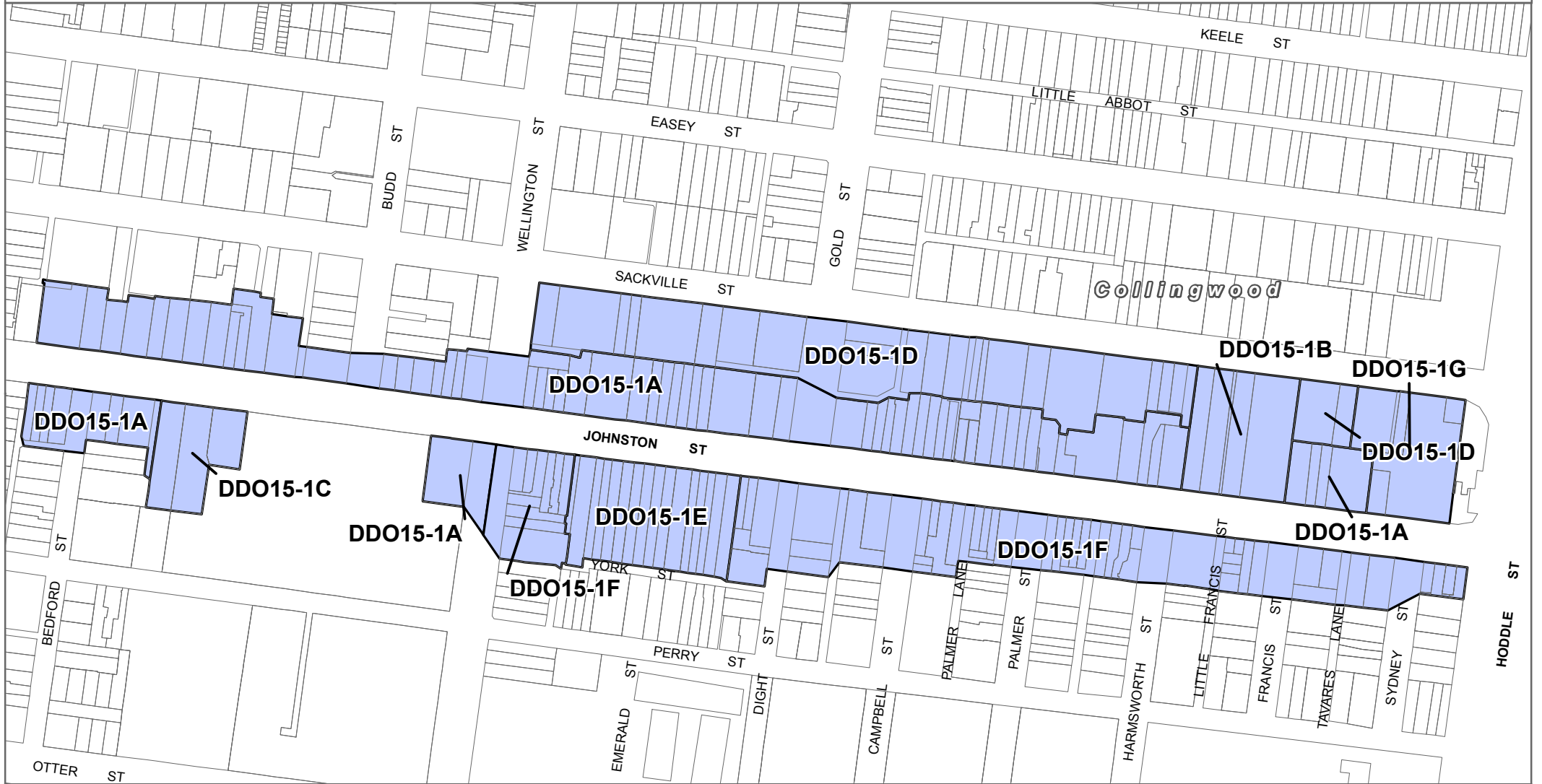
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Part of Planning Scheme Maps 6 & 7



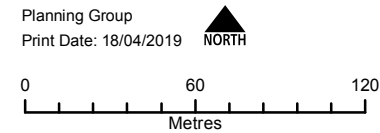
YARRA PLANNING SCHEME - LOCAL PROVISION AMENDMENT C220



- LEGEND**
- DDO - Design and Development Overlay
 - Local Government Area

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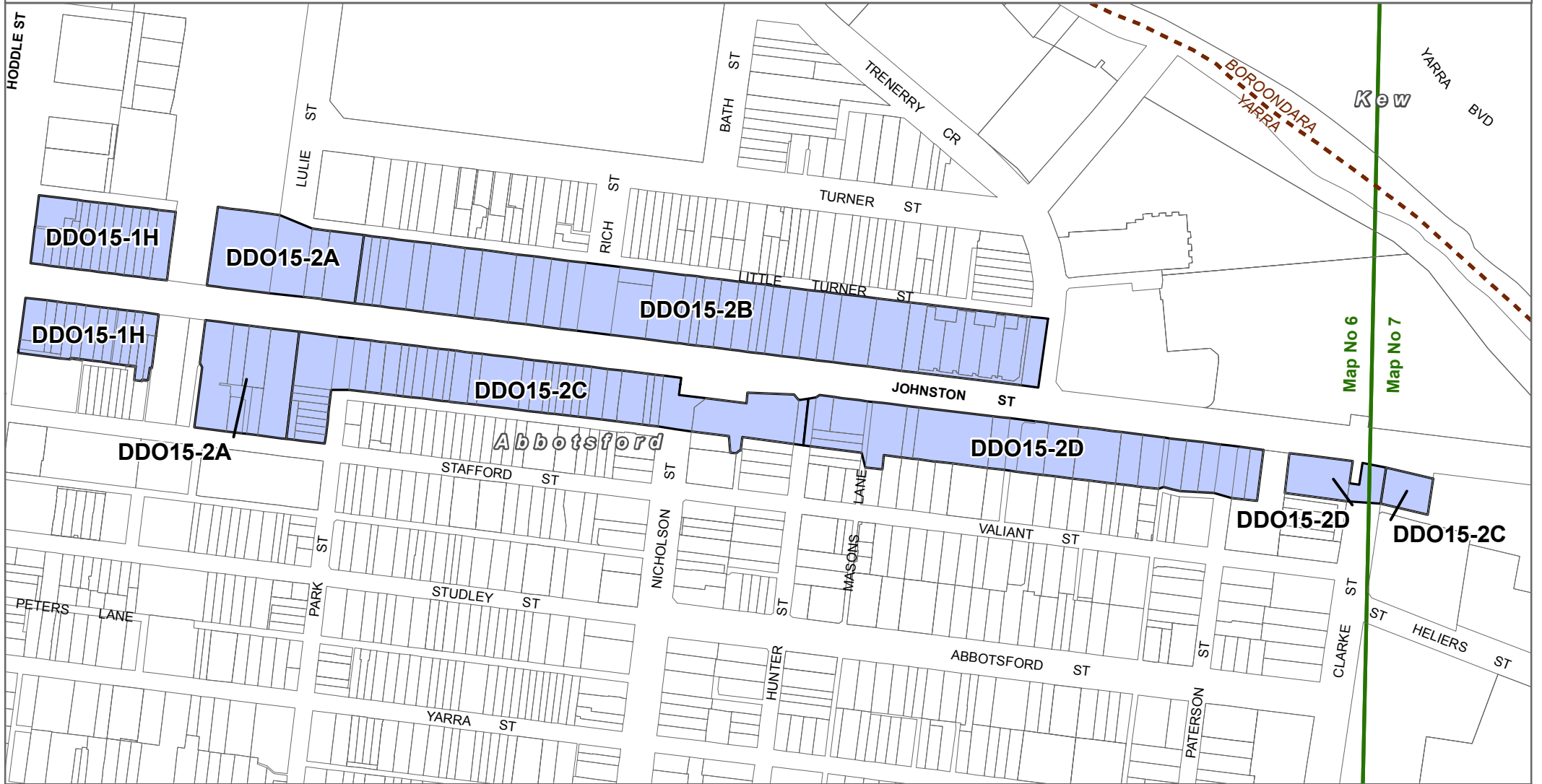
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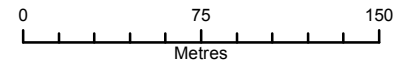


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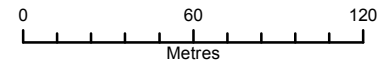
LEGEND

-  EAO - Environmental Audit Overlay
-  Local Government Area

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LEGEND

-  EAO - Environmental Audit Overlay
-  Local Government Area

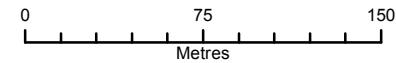
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LEGEND

- HO - Heritage Overlay
- Local Government Area



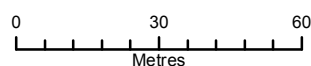
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D-HO Area to be deleted from a Heritage Overlay

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AMENDMENT C220

