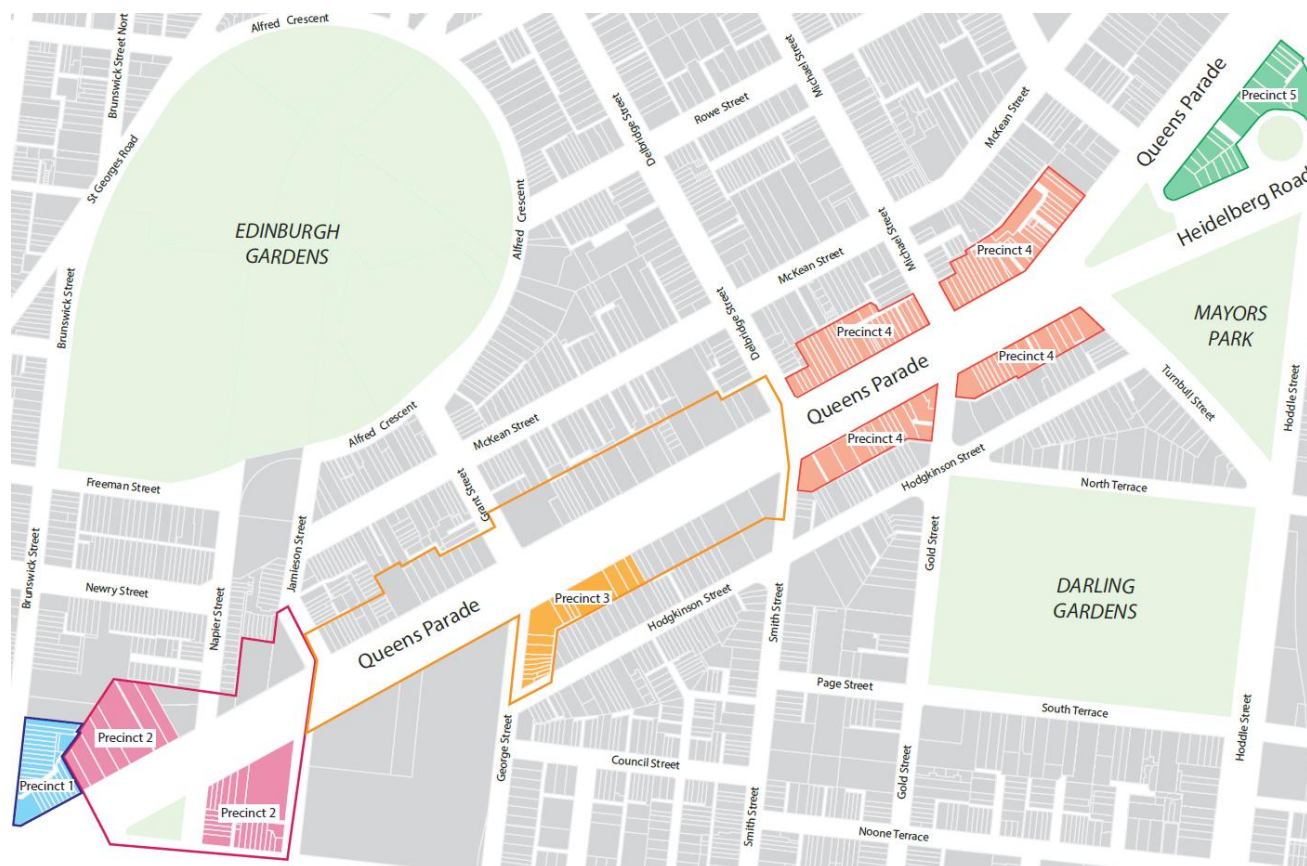


Attachment 4 – Precinct-specific issues raised in submissions Amendment C231 – Queens Parade

This table summarises comments made in submissions which are specific to the five precincts in Queens Parade eg suggested changes to heights or zoning.

The numbers of submissions are approximate. In some cases, submitters did not refer to a specific precinct number/ name. Others simply referred to the shopping strip or buildings within a precinct. [*Approximately 8 submissions suggested heights that should apply to all precincts (ie Precincts 1-5) or all precincts excepting the shopping strip (ie Precincts 1, 2, 3 and 5). These submissions suggested heights ranging from 2, 3, 4, 6 and 7 storeys. These have not been included in the tables to reduce repetition.]

A large number of submissions commented on issues such as overlooking, overshadowing, rear interfaces, laneways and traffic and parking. These have been discussed in *Attachment 4 – Precinct-wide Issues*. These issues are only detailed in the table below where they mention a specific precinct / street.

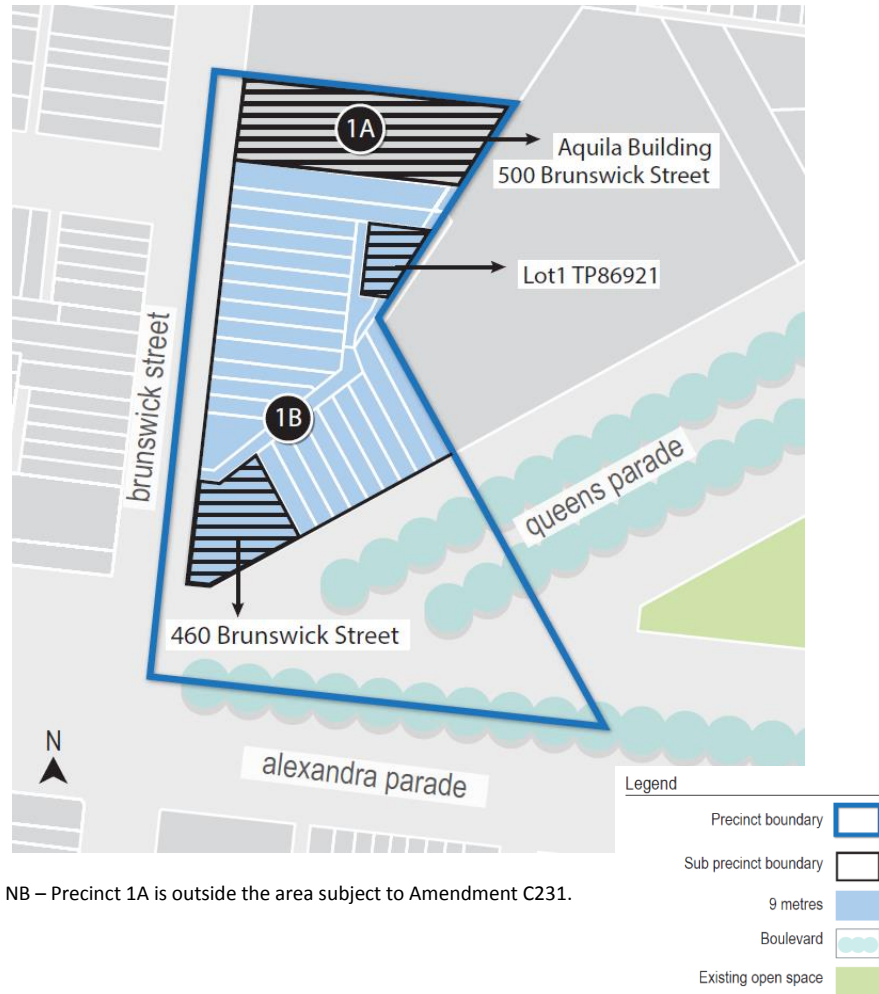


Queens Parade Precincts

- Precinct 1 - Brunswick Street Precinct
- Precinct 2 - Boulevard Precinct
- Precinct 3 - St Johns Precinct
- Precinct 4 - Activity Centre Precinct
- Precinct 5 - North Eastern Precinct

Proposed controls

Precinct 1 – Brunswick Street Precinct



Main issues raised

Approximately 6 submitters raised issues specific to this precinct.

Height

Precinct 1B

- Proposed height in C231 – 9m (mandatory) adjoining 460 Brunswick Street (corner Queens Parade) and on land known as Lot 1 on Title Plan TP806921. 9m (preferred) applies elsewhere in the precinct.
- Alternative suggested by submitters:
 - No alternative height suggested. Submitters supported the proposed controls ie maximum mandatory 9m / 3 storey height but wanted a mandatory control across the precinct.
 - See note on page 1 re multi-precinct submissions.

Overlooking

Precinct 1A

- Precinct 1A is not part of the amendment (outside the DDO).
- Two submitters commented that the Aquila Building at 500 Brunswick Street (an apartment building of six storeys to the immediate north of Precinct 1B) is a prime example of failed planning controls, particularly in terms of overlooking.

Mandatory controls

- Submitters supported mandatory height controls for Precinct 1.

Proposed controls

Precinct 2 – Boulevard Precinct



Legend

| | |
|-----------------------|--|
| Precinct boundary | |
| Sub precinct boundary | |
| 31 metres | |
| 28 metres | |
| 18 metres | |
| Boulevard | |
| Existing open space | |

Main issues raised

Approximately 15 submitters made specific comments in relation to Precinct 2. [Noting other submitters referenced 26-52 Queens Parade as an example of a development site.]

Height

Precinct 2A

- Proposed height in C231 - 31m (mandatory)
- Alternative heights suggested by submitters:
 - Up to 18 metres / 5 storeys
 - 31m as recommended in the Hansen report but height limit to be mandatory.

Precinct 2B

- Proposed height in C231 - Land largely in MUZ and outside the proposed DDO. No height control applies in MUZ or is proposed in the amendment.
- Alternative height:
 - 3 storey (9m) as recommended in the Hansen report but height limit to be mandatory.

Precinct 2C

- Proposed height in C231 - 28m (preferred)
- Alternative heights:
 - Maximum building height should be 8 storeys (as the recent approval of 34.8 metres demonstrates). [No height in metres was suggested.] Hansen's recommended 28.5 metres is too low as this is a Commercial 2 Zone (C2Z) and commercial developments need higher floor to ceiling heights.
 - Other submitters supported the 28.5m height proposed by Hansen but submitted the height limit should be mandatory.

Precinct 2D

- Proposed height in C231 - 18m (preferred)
- Alternative height:
 - Supported the 18m height recommended in the Hansen Report (and in the amendment) but the height should be mandatory.

See note on page 1 re multi-precinct submissions.

Side and rear setbacks

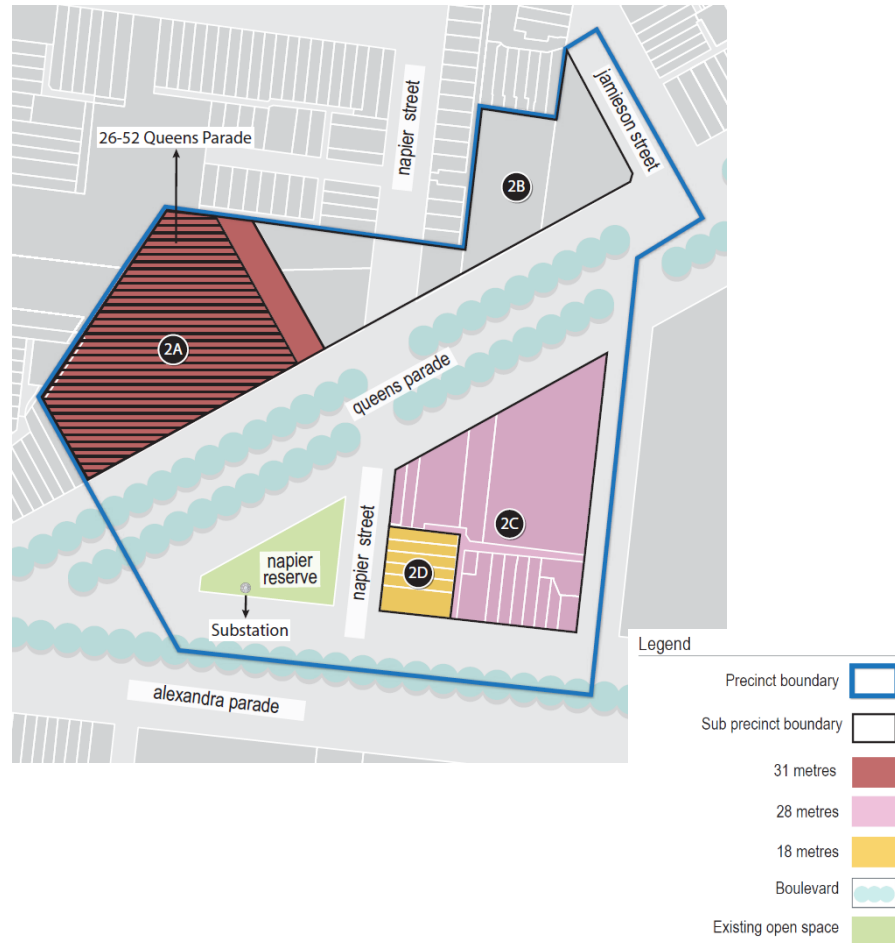
Precinct 2C

- Proposed setback in C231 - Apply B17 side and rear setbacks from Res Code.

Continued over page

Precinct 2 – Boulevard Precinct (cont.)

26-52 Queens Parade



- Alternative suggested by submitter - B17 applies to multi-dwelling developments up to 4 storeys in height. This site is within a Commercial 2 Zone (C2Z) that prohibits dwellings and encourages commercial development. B17 setbacks are not appropriate on this site and should be removed. [No alternative proposed.]

Heritage grading - Electrical substation - Napier Reserve

- As proposed in C231 - No change to the planning scheme proposed. Substation not in Heritage Overlay (HO) and identified for inclusion.
- Alternative suggested by submitter - Non-contributory grading given to the electrical substation on Napier Reserve by GJM Heritage is an error and should be reconsidered for inclusion in the Heritage Overlay.

Alignment of permanent DDO with interim DDO

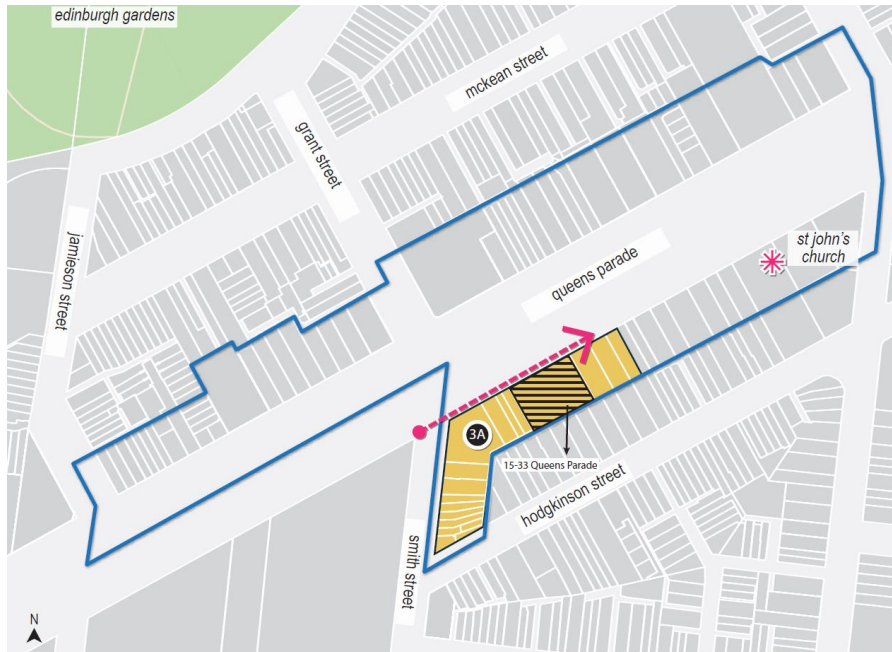
- Some submitters highlighted the VCAT case at 26-52 Queens Parade (hatched on map) and wish to ensure the wording of permanent controls is identical to interim controls.
- They noted the meaning of each word in the controls was subject to detailed scrutiny at the hearing.

Mandatory controls







- Submissions called for mandatory controls be applied to a number of sub-precincts in Precinct 2.

Proposed controls

Precinct 3 – St Johns Precinct



Legend

- Precinct boundary 
- Sub precinct boundary 
- Key view to landmark building 
- Existing landmark 
- 18 metres 
- Existing open space 

Main issues raised

Approximately 14 submitters made specific comments in relation to Precinct 3.

Height

Precinct 3A

- Proposed height in C231- 18m (preferred)
 - Submissions commented 18m is too high and means that new development will dominate existing buildings and will not respect “the architectural form and qualities of heritage buildings and streetscapes”.
 - Concern also expressed about the potential loss of the appreciation of the clear view to St John’s Church belfry and spire if taller development were approved. Views of St John’s should not be obstructed.
 - Does not respect the low scale, fine grain subdivision pattern of existing development along Hodgkinson Street.
 - Alternative heights suggested by submitters:
 - 3 storey maximum to protect the amenity of properties to the rear.
 - A mandatory maximum of 4 storeys (12m).
 - 14m is a more suitable height than the proposed 18m.
- See note on page 1 re multi-precinct submissions.

Precinct 3B (remainder of precinct outside DDO area)

- Proposed height in C231 - No height proposed in C231. Land is in NRZ with a mandatory maximum height of 9m.
- Alternative height - Height limit to be mandatory.

Street wall height

- Proposed height in C231 - 11m for 15-33 Queens Parade, 14m elsewhere in the precinct.
- Alternative suggested by submitters - 11m street wall height for the whole precinct was recommended by one submitter.

Residential interfaces

- Proposed setback in C231 - 45° setback above 8m where there is a lane and above 5m where there is no lane.
 - Large number of submitters raised concerns about overlooking, overshadowing, solar access and building bulk. (Traffic and access are discussed below.)
 - Only a narrow lane separates some adjoining residents from proposed taller development, others adjoin the Commercial 1 Zoned land directly.
 - Hodgkinson Street dwellings have small rear yards which would be impacted by the taller development. Development of 18m will allow developers to profit at the expense of residents.
 - Prioritising heritage on Queens Parade pushes bulk to the rear of the site.

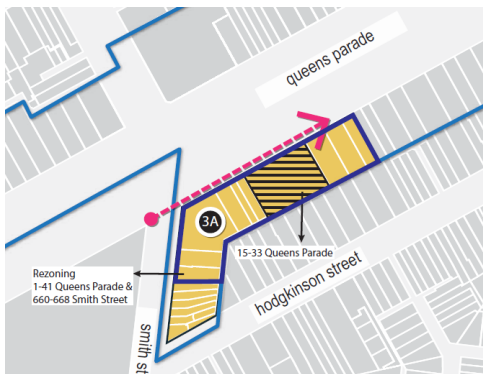
Proposed controls

Precinct 3 – St Johns Precinct (cont.)

7-11 Queens Parade



15-33 Queens Parade & 660-668 Smith Street and 1-41 Queens Parade



Legend

| | |
|-------------------------------|--|
| Precinct boundary | |
| Sub precinct boundary | |
| Key view to landmark building | |
| Existing landmark | |
| 18 metres | |
| Existing open space | |

Main issues raised

- Setbacks proposed by amendment are inadequate to protect the amenity of adjoining residents in Hodgkinson Street.
- 45° setback can deliver reasonable solar access between September and March but not for the rest of the year.
- Alternatives suggested by submitters:
 - New developments must respect the privacy of existing residents by not overlooking garden areas, nor should they overshadow solar panels.

Laneways

- Submissions commented allowing development of 18m would overwhelm the lanes - an important part of the heritage fabric of the area.
- Additional development would create a lot of extra traffic in laneways which didn't have the capacity to absorb it and would create safety issues.
- Want lanes to be for pedestrians and bike riders.

Rezoning - Precinct 3A

- Proposed in Amendment C231 - rezoning of land at 660-668 Smith Street and 1-41 Queens Parade from Commercial 2 Zone (C2Z) to Commercial 1 Zone (C1Z)
- Alternatives:
 - Mentioned in five submissions.
 - Two opposed it wished to see employment/opportunities for small business retained rather than providing incentives for residential development.
 - The other three supported it if it provided additional housing.

Heritage gradings

7-11 Queens Parade

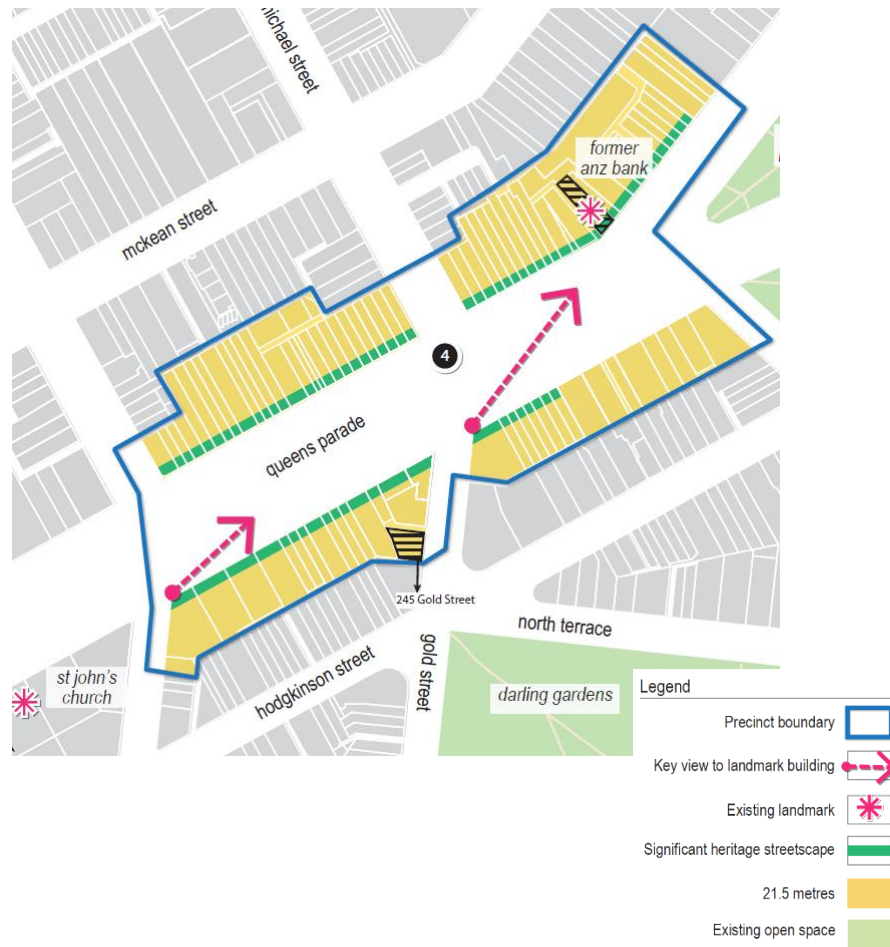
- Proposed in C231 - Change in grading of 7-11 Queens Parade from contributory to non-contributory
- Alternatives -
 - One submission objected to the proposed particular for 9-11 Queens Parade. Even though 9-11 Queens Parade is surrounded by non-contributory buildings, they 'read as part of the heritage precinct'. First floor is largely intact.

15-33 Queens Parade

- Proposed - No changes were proposed to the grading of 15-33 Queens Parade. Currently non-contributory.
- Alternatives – One submission considered that 15-33 Queens Parade should be re-graded as the building dates from 1870 not post war.

Proposed controls

Precinct 4 – Activity Centre Precinct



Main issues raised

The overwhelming majority of submissions were focussed on Precinct 4. Noting a number of submissions did not specifically reference 'Precinct 4' but mentioned the shopping strip and/or a proposed height of 6 storeys.

Height

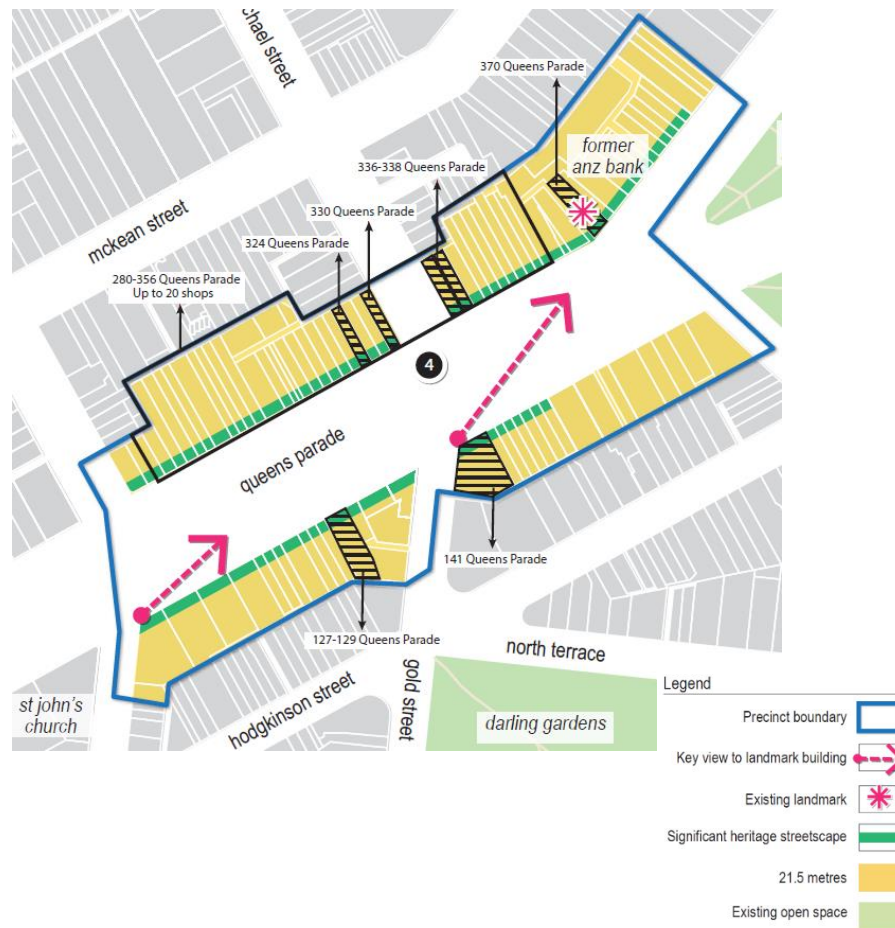
- Proposed height in C231 – 21.5m (mandatory)
 - One submitter supported the 6 storey height.
 - The rest expressed strong feelings about the proposed height – a large majority said 6 storeys was too high. Eg “beyond the pale and intolerable.”
 - 6 storeys was an inappropriate scale of development in the shopping centre precinct.
 - Impacts on the heritage significance of the Queens Parade streetscape and buildings as well as amenity impacts were raised (see comments below under Heritage).
- Alternatives suggested by submitters:
 - Majority view was that 4 storeys was appropriate.
 - However a significant minority suggested a 3 storey maximum.
 - Other submissions wished to limit the height so that nothing could be visible above the parapet from the other side of the road.
 - A small number of submissions reminded Council of its resolution of 22 November 2016 which called on the Minister for Planning to introduce interim controls to historic shopping streets with a maximum height of 11.5m.
 - Specific concerns were also raised about the 1:1 visibility ratio (overall height to street wall height). Submitted a 1:1 ratio would allow an 18 metre height, yet the DDO specifies 21 metres (a ratio of 1.2:1).
- A couple of submissions expressed concern about the visibility of services and lift overruns from surrounding streets
- A significant number of submissions expressed disappointment about changes in proposed heights over time, particularly:
 - The fact that consultants (Hansen) had initially recommended a 4 storey height in February 2017 (to support the interim controls introduced by Amendment C229)
 - Hansen proposed 5 storeys in December 2017 in its Built Form Framework which informs Amendment 231
 - Council chose to exhibit the amendment with a height of six storeys.

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Proposed controls

Precinct 4 – Activity Centre Precinct (cont.)

127-129, 141, 280-356 (up to 20 shops), 324, 330, 336-338, 370 & 390 Queens Parade



Main issues raised

Mandatory controls

- The majority of submissions urged Council to introduce mandatory controls. Most sought mandatory building heights. Others sought minimum mandatory setbacks.
- Those in favour of mandatory controls felt that preferred height limits “are the source of much dispute and expensive litigation” and should be replaced by a mandatory limit.

Upper level setbacks

- Proposed - 6m setback
 - Submissions referred to inadequate setbacks and feared facadism would result.
- Alternatives:
 - Fewer submissions suggested an alternative setback compared to those who had a view on height.
 - Alternatives included:
 - 8 metres (as recommended by Hansen in February 2017)
 - 10 metres (Some that suggested 10m reminded Council of its resolution of 22 November 2016 – see height above)
 - 12 metres.

Heritage

- Heritage was intrinsic and important to the character of the area. Submitters wanted to preserve the centre for future generations.
- A large majority of submissions mentioned how they valued the shopping centre and feared that tall development would diminish the heritage and obscure the vista of heritage parapets with clear sky behind.
- The issue of height was strongly tied to the loss of heritage values.
- Setbacks were often raised in the context of heritage as well.
- Maintaining view lines to the former ANZ Bank building was seen as an important part of the controls.

Heritage grading - 127-129, 141, 280-356, 324, 330, 336-338, 370 & 390 Queens Parade

- Proposed - No changes were proposed to the gradings of the above properties excepting 304, 312 & 316 Queens Parade.
- Alternatives:
 - Approximately six submissions requested changes to the heritage grading for 127-129, 141, 280-356 (up to 20 shops), 324, 330, 336-338, 370 and 390 Queens Parade.
 - Submitters were concerned that the existing grading was insufficient to provide the level of heritage protection the buildings warranted. They requested Council review the grading of the properties and include them as individually significant properties within the Heritage Overlay.

Proposed controls

Precinct 4 – Activity Centre Precinct (cont.)

245 Gold Street



Main issues raised

Impact on local traders

- Approximately eight submissions raised this as an issue. Their view was that redevelopment along Queens Parade will have a negative impact on local traders “whose businesses will close when developers do their work.”
- One submission was concerned about disruption during construction and customers not returning.
- Other concerns included that small businesses will be displaced by new development and replaced with chain stores and that new residents are transient and could undermine the viability of businesses.

Zoning – 245 Gold Street

- Proposed – No change of zoning. Current zoning is the Commercial 1 Zone.
- Alternative - Three submissions (including one from the property owner) requested a rezoning of 245 Gold Street from C1Z to GRZ or NRZ as recommended in the GJM Heritage report.

Residential interfaces

- Proposed – 45° setback above 8m where there is a lane and above 5m where there is no lane.
 - Residents in McKean and Hodgkinson Streets to the rear of Precinct 4 expressed concern about the impacts of height and bulk on their backyards and living areas.
 - They expressed concern at the corresponding loss of amenity and privacy associated with tall buildings at the rear.
 - They were concerned about overshadowing and approximately 12 submissions expressed concerns at losing sunlight to solar panels.
- Alternatives:
 - 10 submissions requested a B17 setback replace the proposed 5/8 metre/45° setback.

Laneways

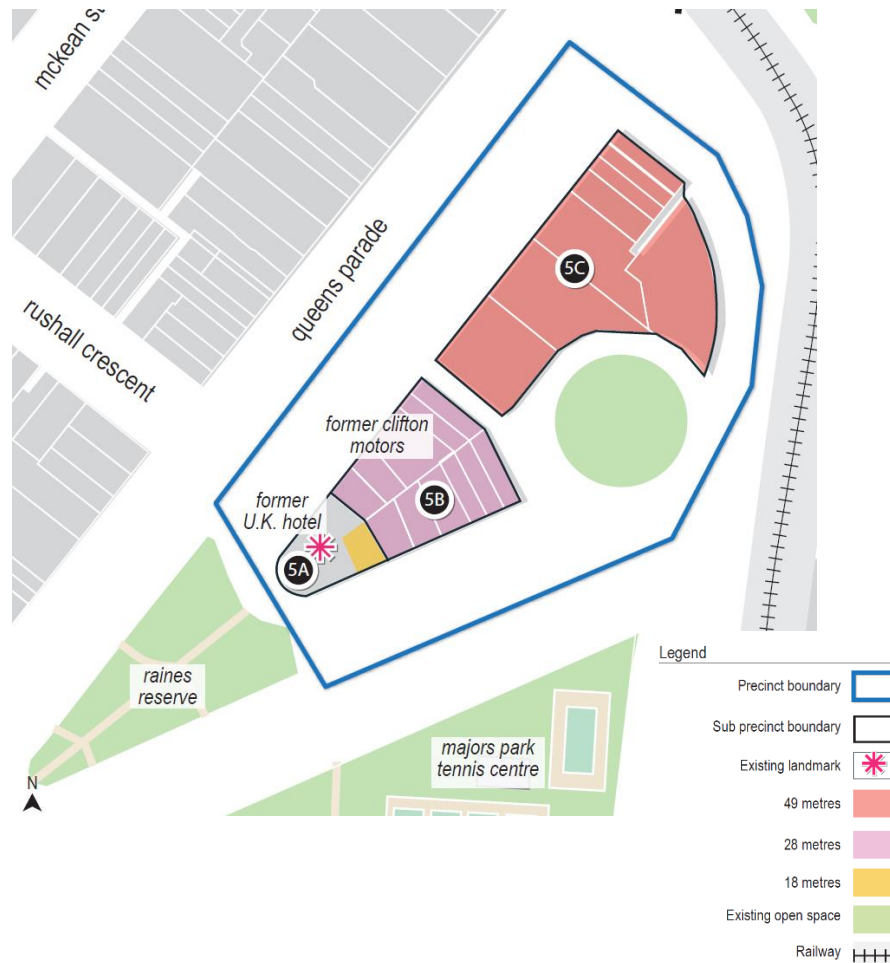
- See comments on laneways from Precinct 3. Same issues expressed about impacts of future development on laneways in Precinct 4.

Traffic/parking

- Concern that future development will make traffic and parking worse than it already is.

Proposed controls

Precinct 5 – North Eastern Precinct



Main issues raised

Approximately 14 submitters made specific comments in relation to Precinct 5. [Noting 14 other submitters referenced Clifton Views and other developments in this precinct as examples of the impacts of taller buildings.]

Height

All Precincts

- Heights in this precinct attracted more commentary than Precincts 1, 2 and 3 (but considerably less than Precinct 4).
- Submitters expressed concerns about the scale and “ugliness” of the tall buildings in this precinct and were concerned that these “bad planning outcomes” would set a precedent.
- More development like this would overwhelm the VHR listed Clifton Motors Garage and the United Kingdom Hotel.

Precinct 5A

- Proposed height in C231 – 18m (preferred)
- Alternative suggested by submitters - No higher than 11 metres (3 storeys). Height should be mandatory.

Precinct 5B

- Proposed height in C231- 1:1 heritage street wall to new built form at Clifton Motors and 203 Queens Parade, 28m elsewhere (preferred)
- Alternatives - 11 metres on Queens Parade and 18 metres on Dummett Crescent. Height should be mandatory.

Precinct 5C

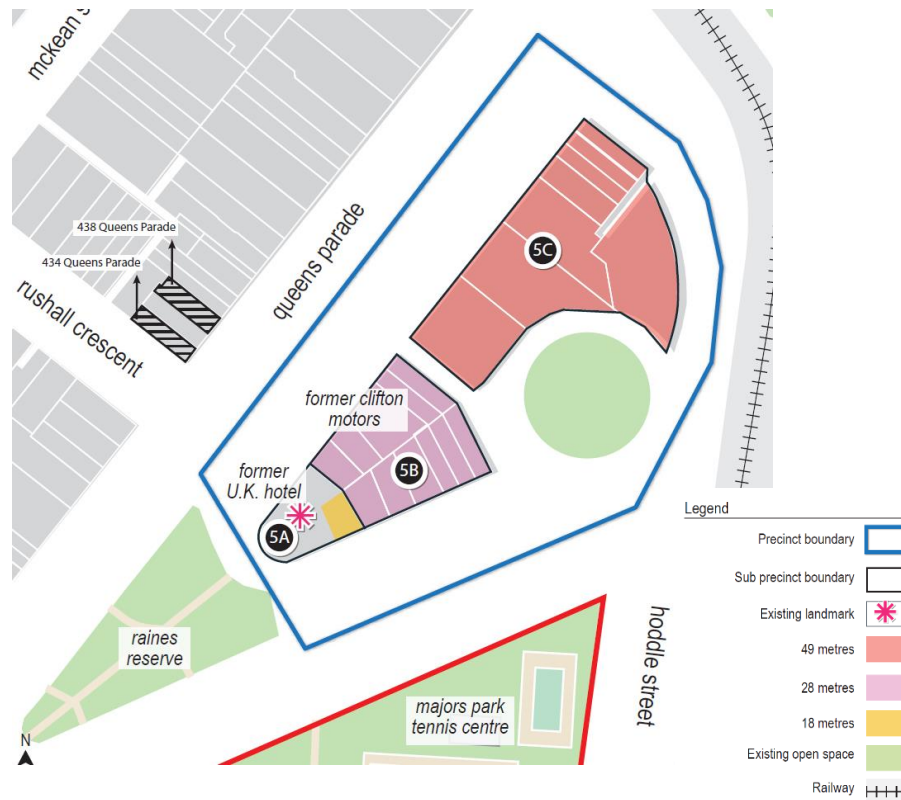
- Proposed height in C231- 49m (preferred)
 - Current building of 10 storeys, and 12 storeys building under construction already loom over Queens Parade and surrounding streets.
- Alternatives:
 - 8-10 storeys with significant setbacks to protect the precinct from greedy developers.
 - Maximum height should be 10 storeys.
 - The highest built form should be mid-block (current built form to be the maximum height). Heights should be similar or reduce at the north and south ends of this block.
 - 43m or 14 storeys (mandatory) should be required. 43 metres still represents the highest building height in Queens Parade. 43m is extremely generous.
 - Ensure that higher built form is not permitted on the corner of Hoddle Street and Queens Parade.

See note on page 1 re multi-precinct submissions.

Proposed controls

Precinct 5 – North Eastern Precinct (cont.)

434-438 Queens Parade and Mayors Park



Main issues raised

Mandatory controls

- A number of submissions called for mandatory controls in Precinct 5. Most sought mandatory building heights. Others sought minimum mandatory setbacks.

Street wall height

Precinct 5C

- Proposed street wall in C231- 35m street wall height (preferred)
 - 35m is too high
- Alternative - 18m is more appropriate.

Upper level setbacks

Precinct 5B

- Proposed setback in C231– 6m at Clifton Motors (mandatory), 6m elsewhere (preferred)
- Alternative – Make the upper level setbacks mandatory.

Heritage

- The Clifton Motor Garage and former U.K. Hotel are on the Victoria Heritage Register. DDO16 should protect this heritage in the same way as it aims to protect Victorian buildings in the other Queens Parade precincts.
- Tall development will overwhelm these buildings.

Heritage gradings – 434-438 Queens Parade and Mayors Park

- Proposed – Mayors Park is not within a Heritage Overlay and has no grading. 434-438 Queens Parade is within HO330 and graded 'individually significant.' Both sites are outside the boundary of the amendment area.
- Alternative - One submission said Council should review the grading of 434-438 Queens Parade and grading of Mayors Park.

Other

- Three submitters said Council should ban neon signs in this precinct.