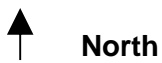
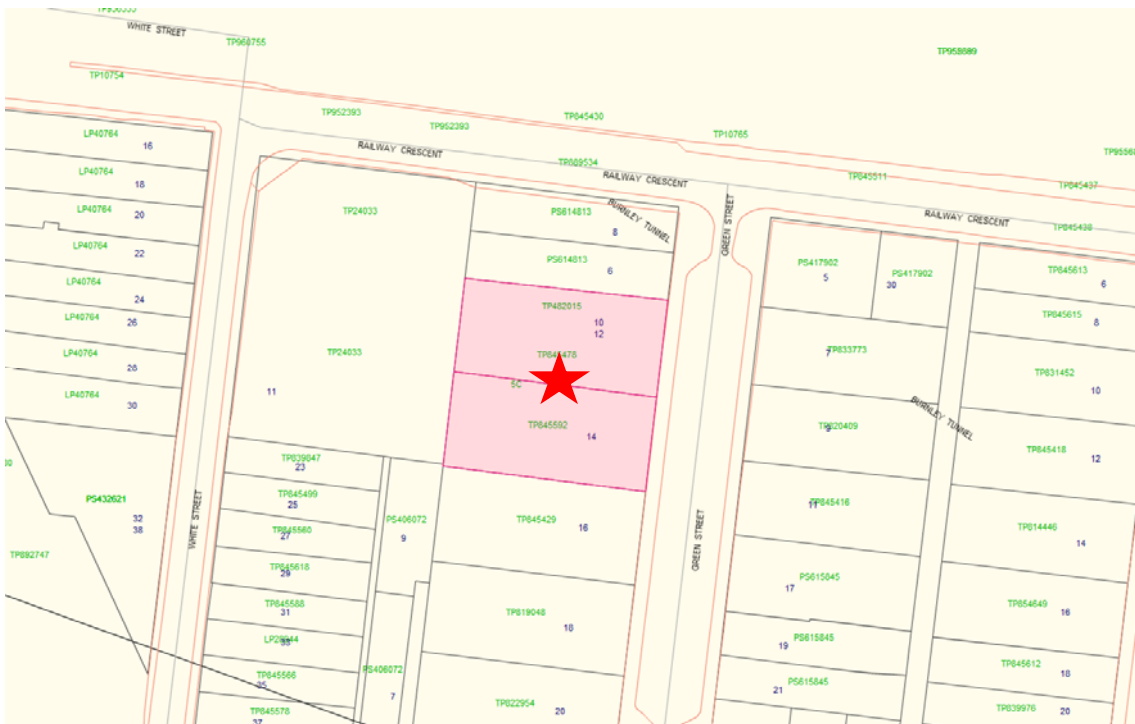
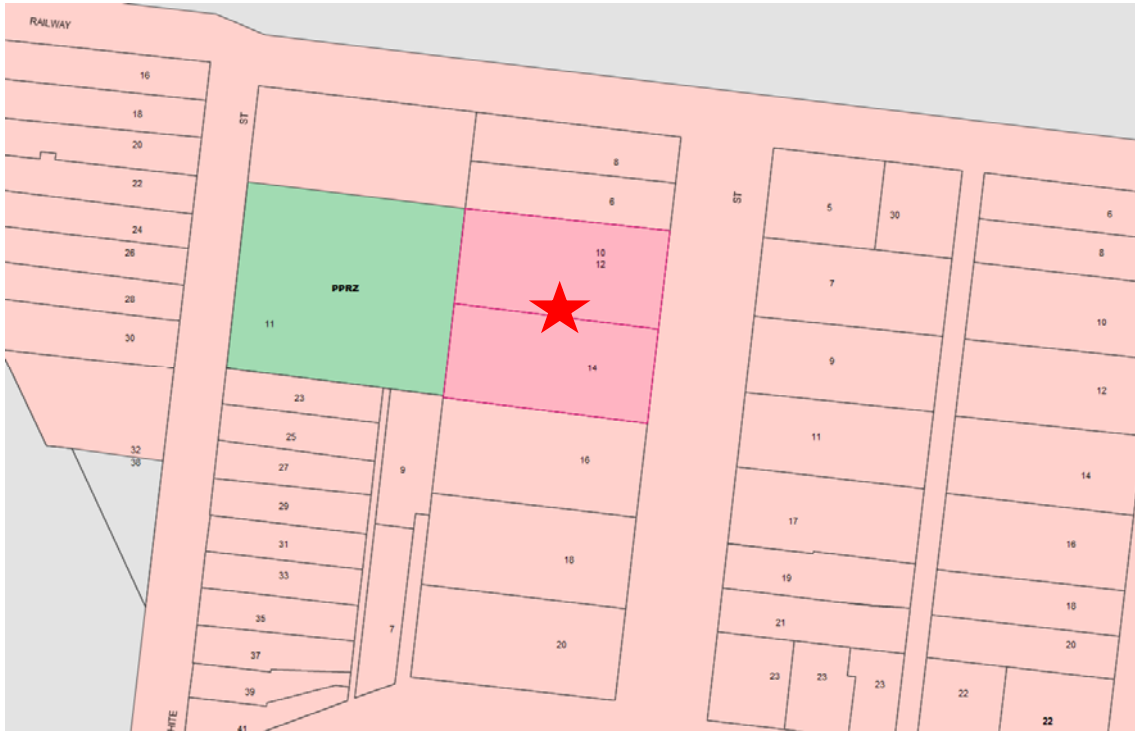


ATTACHMENT 1

SUBJECT LAND: 12-14 Green Street, Cremorne



Attachment 2 - PLN17/0973 - Attachment 2 - Decision Plans

NOTICE OF AN APPLICATION FOR A PLANNING PERMIT Pursuant To Section 57B Of The Planning And Environment Act 1987	
The land affected by the application is located at:	14 GREEN ST CREMORNE VIC 3121
The application is for a permit to:	DEMOLITION OF THE EXISTING DWELLING ON 14 GREEN STREET (INCLUDING PART OF THIS DWELLING LOCATED ON 12 GREEN STREET) AND CONSTRUCTION OF ONE NEW DWELLING ON 14 GREEN STREET. PLEASE BE ADVISED THAT THIS APPLICATION IS BEING RE-ADVERTISED AS AMENDED PLANS HAVE BEEN SUBMITTED UNDER SECTION 57(A) OF THE PLANNING AND ENVIRONMENT ACT, 1987, TO MODIFY THE OVERALL DESIGN, HEIGHT AND SETBACKS OF THE NEW DWELLING
The applicant for the permit is:	STEWART KOZIORA RAUHOUS
The application reference number is:	PLN17/0973
You may look at the application and any documents that support the application at the office of the responsible authority or alternatively at http://www.yarracity.vic.gov.au/planning--building/advertised-planning-applications/	Statutory Planning Department City Of Yarra Richmond Town Hall 333 Bridge Road Richmond 3121 <i>Office Hours: 8.30 am - 5.00 pm Weekdays</i>
<p>This can be done during office hours and is free of charge.</p> <p>Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.</p> <p>The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.</p>	
An objection must:	<ul style="list-style-type: none"> • Be sent to the responsible authority in writing • Include the reasons for the objection, and • State how the objector would be affected
The responsible authority will not decide on the application before:	26 Jun 2018
If you make a submission, the Responsible Authority will tell you its decision.	

Attachment 2 - PLN17/0973 - Attachment 2 - Decision Plans

14 GREEN STREET, CREMORNE - DEMOLITION OF EXISTING AND PROPOSED NEW DWELLING

SHEET LIST	
SHEET NUMBER	SHEET NAME
A000	COVER
A005	PERSPECTIVE VIEWS 1
A006	PERSPECTIVE VIEWS 2
A010	EXISTING SITE PLAN
A020	NEIGHBOURHOOD CONTEXT
A050	EXISTING/ DEMOLITION PLAN
A070	EXISTING ELEVATIONS
A280	DESIGN RESPONSE PLAN
A100	PROPOSED BASEMENT PLAN
A101	PROPOSED GROUND FLOOR PLAN
A102	PROPOSED FIRST FLOOR PLAN
A103	PROPOSED ROOF PLAN
A400	PROPOSED ELEVATIONS
A420	PROPOSED SECTIONS
A700	SUN DIAGRAMS
A701	SUN DIAGRAMS
A702	SUN DIAGRAMS
A703	SUN DIAGRAMS

SITE LOCATION



GREEN STREET VIEW 1 - OPEN LOUVRES



GREEN STREET VIEW 2 - OPEN LOUVRES

PROJECT 14 GREEN STREET, CREMORNE VIC 3121				TP1	TOWN PLANNING
rauhaus	NO.	DESCRIPTION	DATE	TYPE	COVER
	5	P6	30.03.2018	ADVISOR	14 GREEN STREET, CREMORNE
	6	P7	10.04.2018		
	7	TP2-1	30.05.2018	CLIENT	Owner
				DATE	BY
				30.05.2018	A000

Attachment 2 - PLN17/0973 - Attachment 2 - Decision Plans

14 GREEN STREET, CREMORNE - DEMOLITION OF EXISTING AND PROPOSED NEW DWELLING



STREET VIEW 4



BACKYARD VIEW 1



GREEN STREET VIEW - CLOSED LOUVRES



BACK YARD VIEW - OPEN LOUVRES

PROJECT 14 GREEN STREET, CREMORNE VIC 3121				TOWN PLANNING	
NO.	DESCRIPTION	DATE	TYPE	14 GREEN STREET, CREMORNE	
1	TP2.1	30.05.2018	ACONS 00	18/19	08.41
			CLIENT	Owner	
			DATE	30.05.2018	08.41
			SCALE	A005	1/10.4

Attachment 2 - PLN17/0973 - Attachment 2 - Decision Plans

14 GREEN STREET, CREMORNE - DEMOLITION OF EXISTING AND PROPOSED NEW DWELLING



STREET VIEW 1



ENTRANCE VIEW



STREET VIEW - NIGHT VIEW

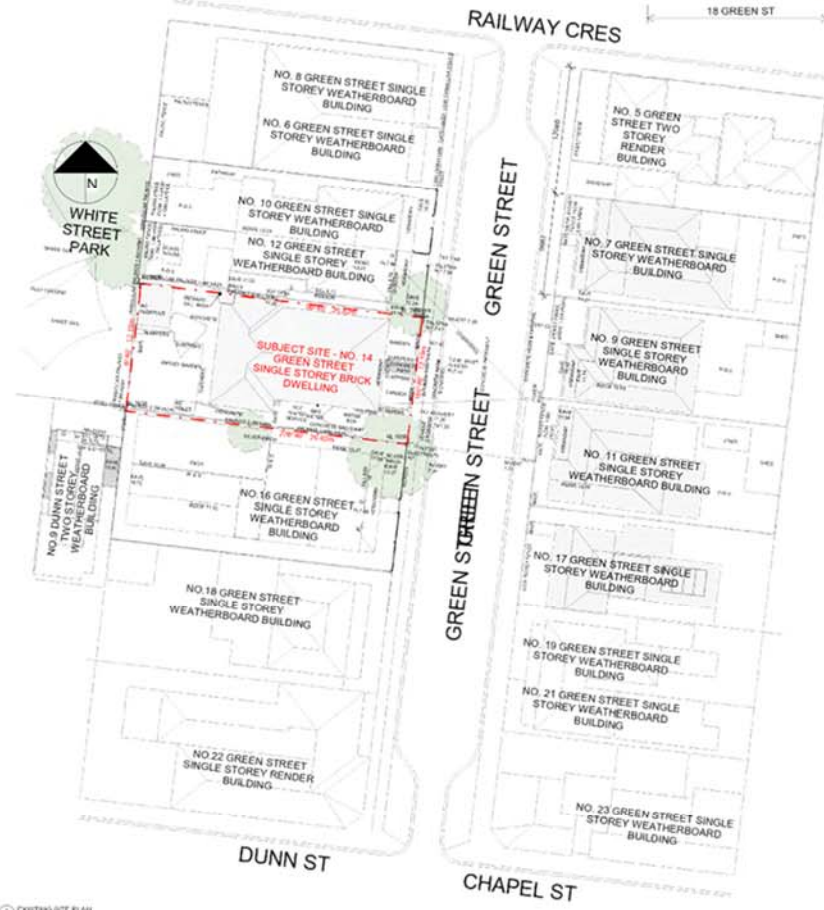
PROJECT 14 GREEN STREET, CREMORNE VIC 3121				TP2-1	TOMAS PLANSKI DRAWINGS
NO.	DESCRIPTION	DATE	TYPE	PERSPECTIVE VIEWS 2	
5	P6	30.03.2018	ACQUISITION	14 GREEN STREET, CREMORNE	
6	P7	10.04.2018		DATE	18/19
7	TP2-1	30.05.2018	CLIENT	OWNER	18.11
				DATE	30.05.2018
				SCALE	A006

Attachment 2 - PLN17/0973 - Attachment 2 - Decision Plans

14 GREEN STREET, CREMORNE - DEMOLITION OF EXISTING AND PROPOSED NEW DWELLING



18 GREEN ST 16 GREEN ST 14 GREEN ST 12 GREEN ST 10 GREEN ST 8 GREEN ST 6 GREEN ST



EXISTING SITE PLAN
1:200

PROJECT 14 GREEN STREET, CREMORNE VIC 3121				EXISTING SITE PLAN	
NO.	DESCRIPTION	DATE	PREP	14 GREEN STREET, CREMORNE	
4	PS	27.03.2018	ALC/MS/SS		
5	PS	30.03.2018	CLC/PT		
7	TP2-1	30.05.2018	Owner	18/19	1:200 @ A1
				30.05.2018	A010

Attachment 2 - PLN17/0973 - Attachment 2 - Decision Plans

14 GREEN STREET, CREMORNE - DEMOLITION OF EXISTING AND PROPOSED NEW DWELLING



BAIR AIR SOLUTIONS PLAN
1:1000



STREETVIEW TOWARDS DWELLINGS 12 & 10 GREEN ST.



STREETVIEW TOWARDS DWELLINGS 8 & 6 GREEN ST.



STREETVIEW TOWARDS DWELLINGS 18 & 16 GREEN ST.



STREETVIEW TOWARDS DWELLINGS 17 & 19 GREEN ST.



STREETVIEW TOWARDS DWELLINGS 13 & 15 GREEN ST.



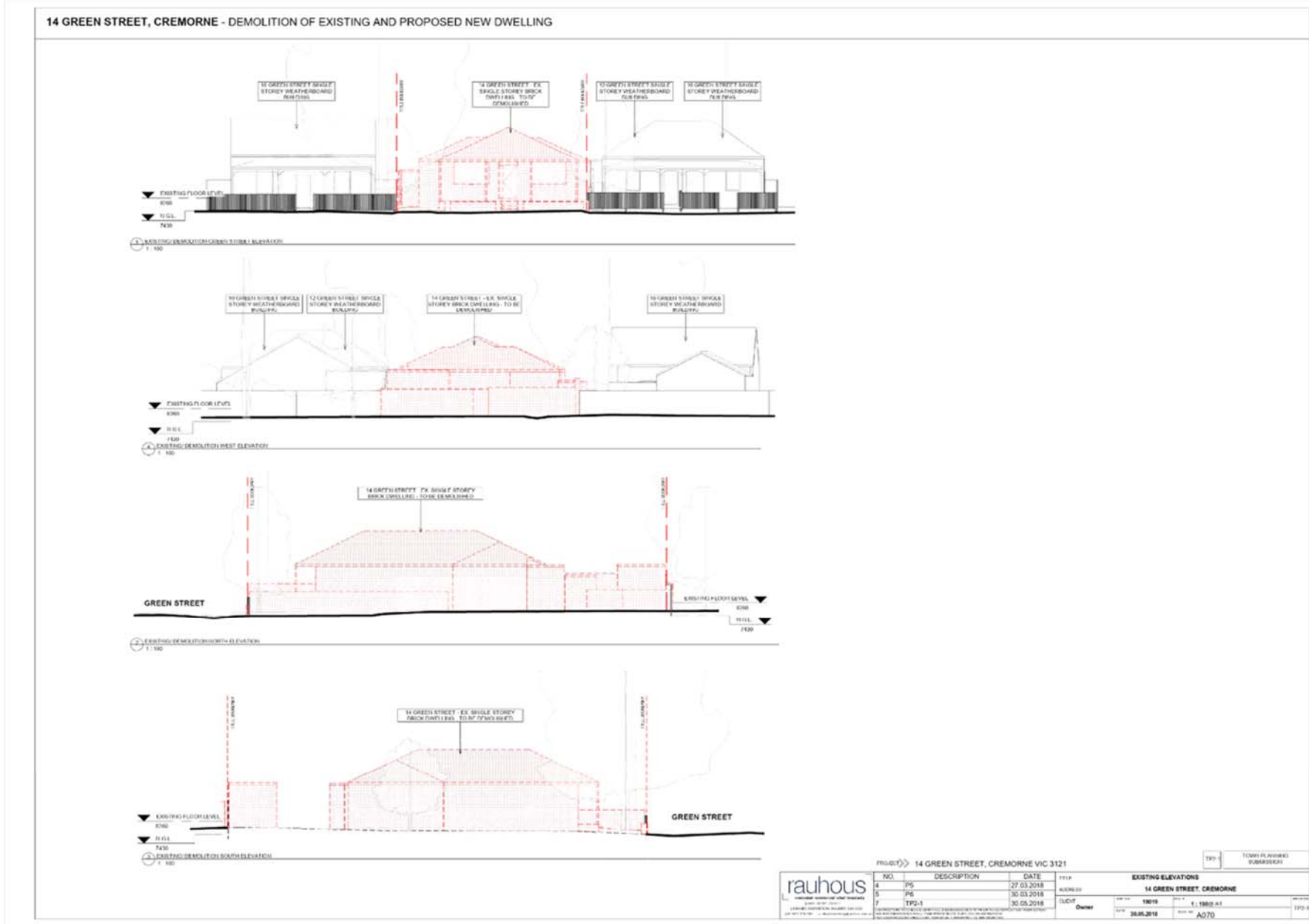
STREETVIEW TOWARDS DWELLING 11 GREEN ST.

PROJECT			NEIGHBOURHOOD CONTEXT		
14 GREEN STREET, CREMORNE VIC 3121			14 GREEN STREET, CREMORNE		
NO.	DESCRIPTION	DATE	APP.	DATE	APP.
4	PS	27.03.2018	OWNER	18/19	1.10000 A1
5	PS	30.03.2018	OWNER	30.05.2018	A020
7	TP2-1	30.05.2018	OWNER		

Attachment 2 - PLN17/0973 - Attachment 2 - Decision Plans



Attachment 2 - PLN17/0973 - Attachment 2 - Decision Plans



Attachment 2 - PLN17/0973 - Attachment 2 - Decision Plans



Attachment 2 - PLN17/0973 - Attachment 2 - Decision Plans

14 GREEN STREET, CREMORNE - DEMOLITION OF EXISTING AND PROPOSED NEW DWELLING



PROPOSED BASEMENT PLAN
1:100 (A1) / 1:200 (B/A)

DEVELOPMENT SUMMARY - PROPOSED DESIGN RESPONSE		PROPOSED DWELLING AREA		PARKING PROVISIONS		WEEKENDS & DOORS LEGEND	
RTS AREA ANALYSIS (RTS):		PROPOSED FLOOR AREA (A):	136.12 SQM (1,473.77 SQ FT)	TYPE:	TYPE 1	WEEKENDS:	WEEKENDS
RTS AREA:	228.12 SQM (2,461.17 SQ FT)	EXIST FLOOR AREA (A):	134.55 SQM (1,451.17 SQ FT)	RESIDENTS PARKING:	2	DOORS:	DOORS
TOTAL BUILDING AREA:	193.47 SQM (2,098.17 SQ FT)	COMMON AREA:	22.25 SQM (239.57 SQ FT)	BICYCLE PROVISIONS:	1	WEEKENDS & DOORS:	WEEKENDS & DOORS
RTS COVERAGE:	38.37%	GRASS FLOOR AREA (A):	136.12 SQM (1,473.77 SQ FT)	GRASS COVERED PERCENTAGE:	100%	WEEKENDS & DOORS:	WEEKENDS & DOORS
PERMITTED SURFACE AREA:	71.63 SQM (771.77 SQ FT)	GRASS FLOOR - EXISTING AREA (A):	136.12 SQM (1,473.77 SQ FT)	GRASS COVERED PERCENTAGE:	100%	WEEKENDS & DOORS:	WEEKENDS & DOORS
GRASS FLOOR:	71.63 SQM (771.77 SQ FT)	ASPHALT AREA (A):	136.12 SQM (1,473.77 SQ FT)	GRASS COVERED PERCENTAGE:	100%	WEEKENDS & DOORS:	WEEKENDS & DOORS
TOTAL PRIVATE OPEN SPACE:	71.63 SQM (771.77 SQ FT)	FLUSH AREA (A):	136.12 SQM (1,473.77 SQ FT)	GRASS COVERED PERCENTAGE:	100%	WEEKENDS & DOORS:	WEEKENDS & DOORS

14 GREEN STREET, CREMORNE VIC 3121

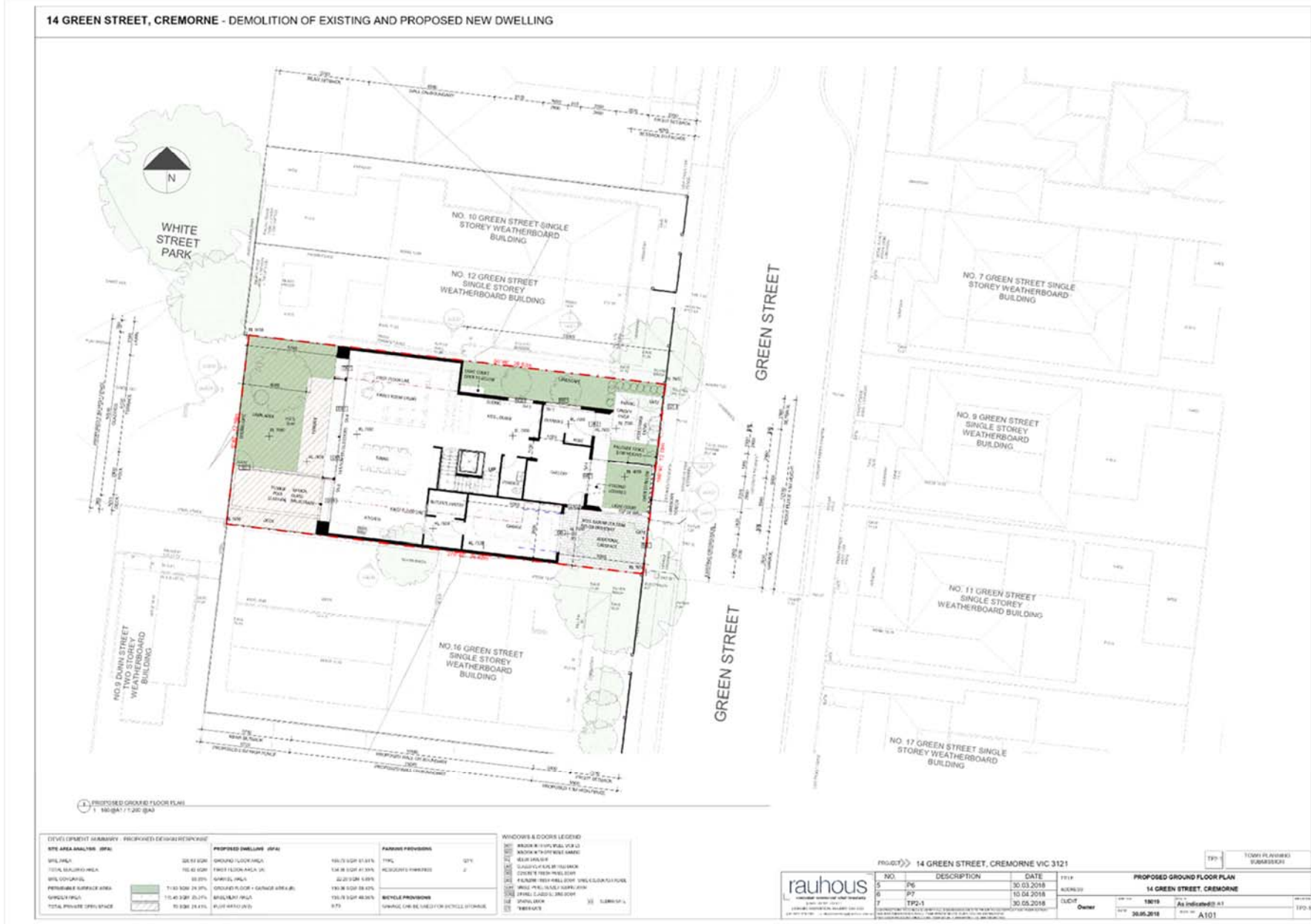
NO.	DESCRIPTION	DATE	TYPE
2	P3	16.03.2018	TRIP
6	P3	10.04.2018	ADVICE
7	TP2-1	30.05.2018	CHECK

PROPOSED BASEMENT PLAN

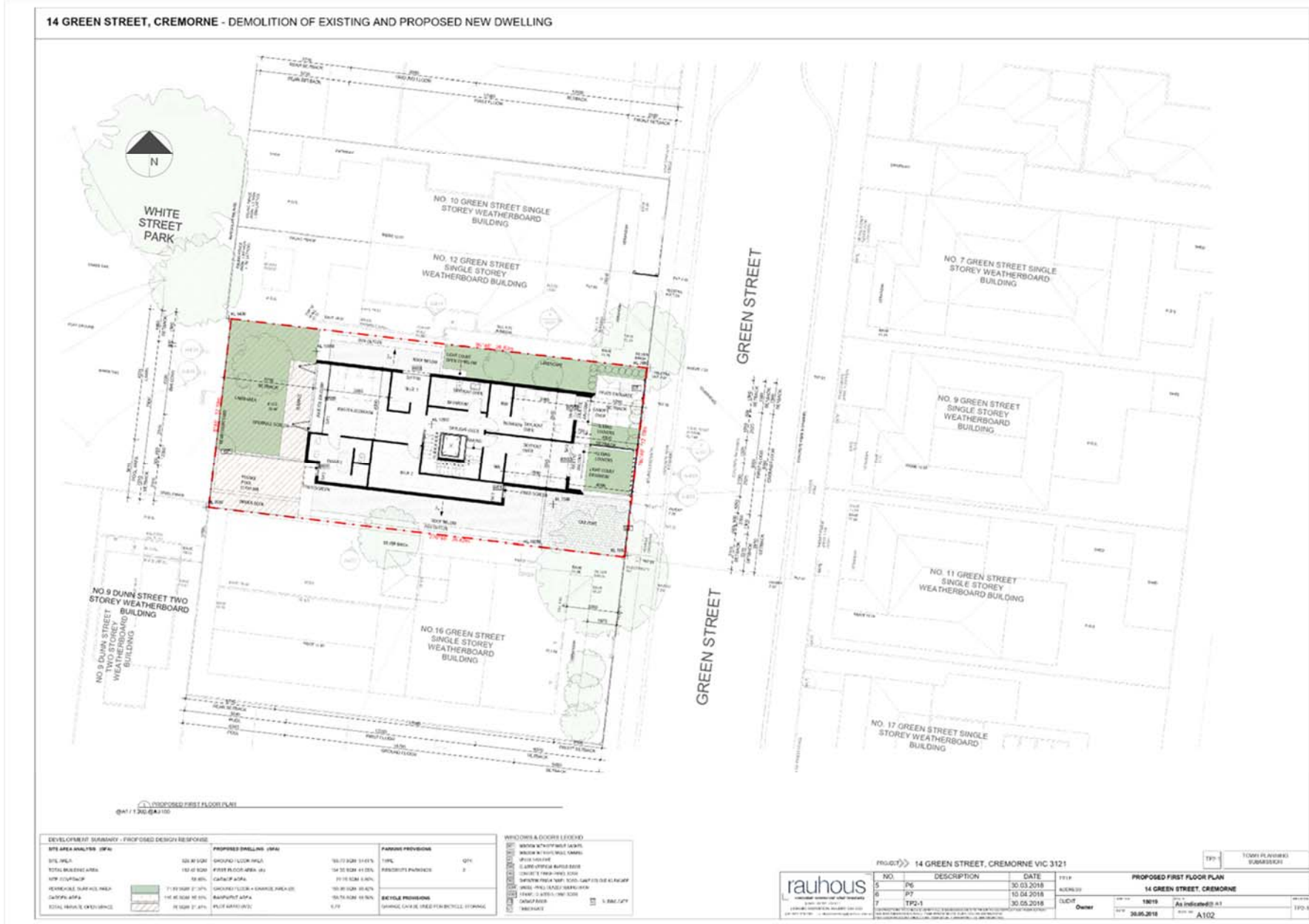
14 GREEN STREET, CREMORNE

Owner: 18/19
Date: 30.05.2018
Scale: As Indicated A1
Sheet: A100

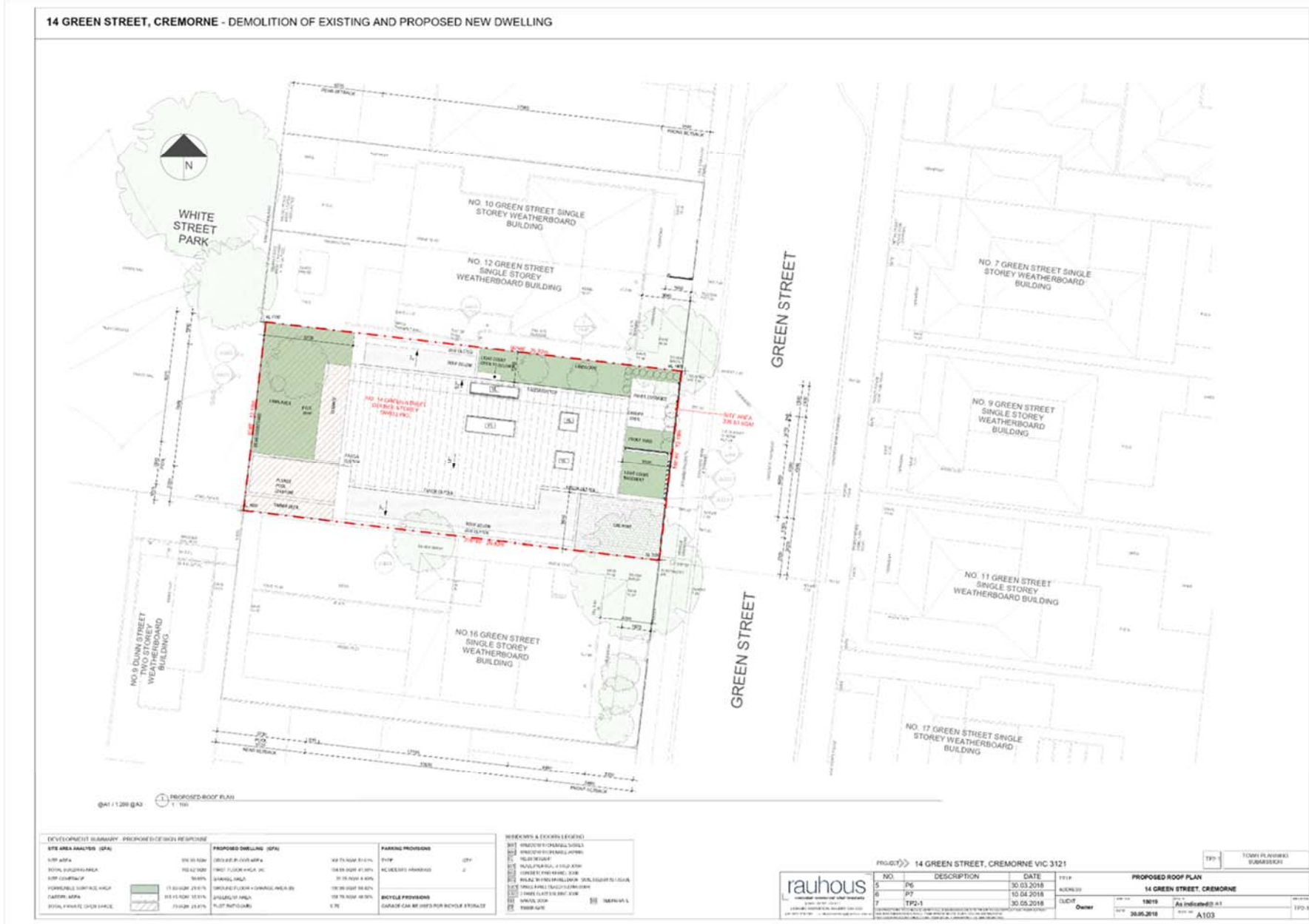
Attachment 2 - PLN17/0973 - Attachment 2 - Decision Plans



Attachment 2 - PLN17/0973 - Attachment 2 - Decision Plans



Attachment 2 - PLN17/0973 - Attachment 2 - Decision Plans



Attachment 2 - PLN17/0973 - Attachment 2 - Decision Plans

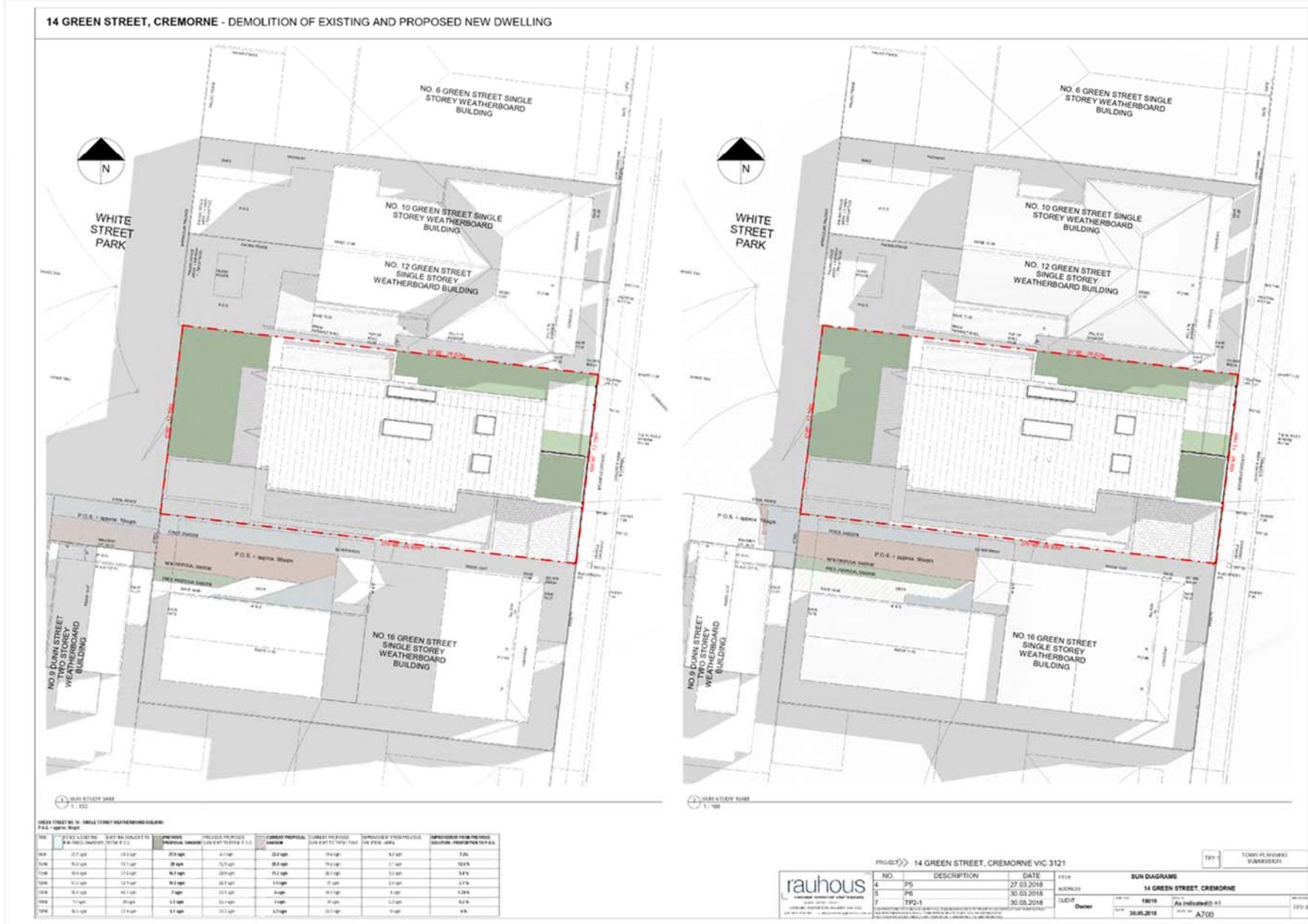
14 GREEN STREET, CREMORNE - DEMOLITION OF EXISTING AND PROPOSED NEW DWELLING



PROJECT 14 GREEN STREET, CREMORNE VIC 3121				PROPOSED SECTIONS	
NO.	DESCRIPTION	DATE	BY	DATE	SCALE
5	P6	30.03.2018	ADAMS		
6	P7	10.04.2018			
7	TP2-1	30.05.2018	OWNER	18/19	1:100 @ A1

14 GREEN STREET, CREMORNE
 30.05.2018
 A420

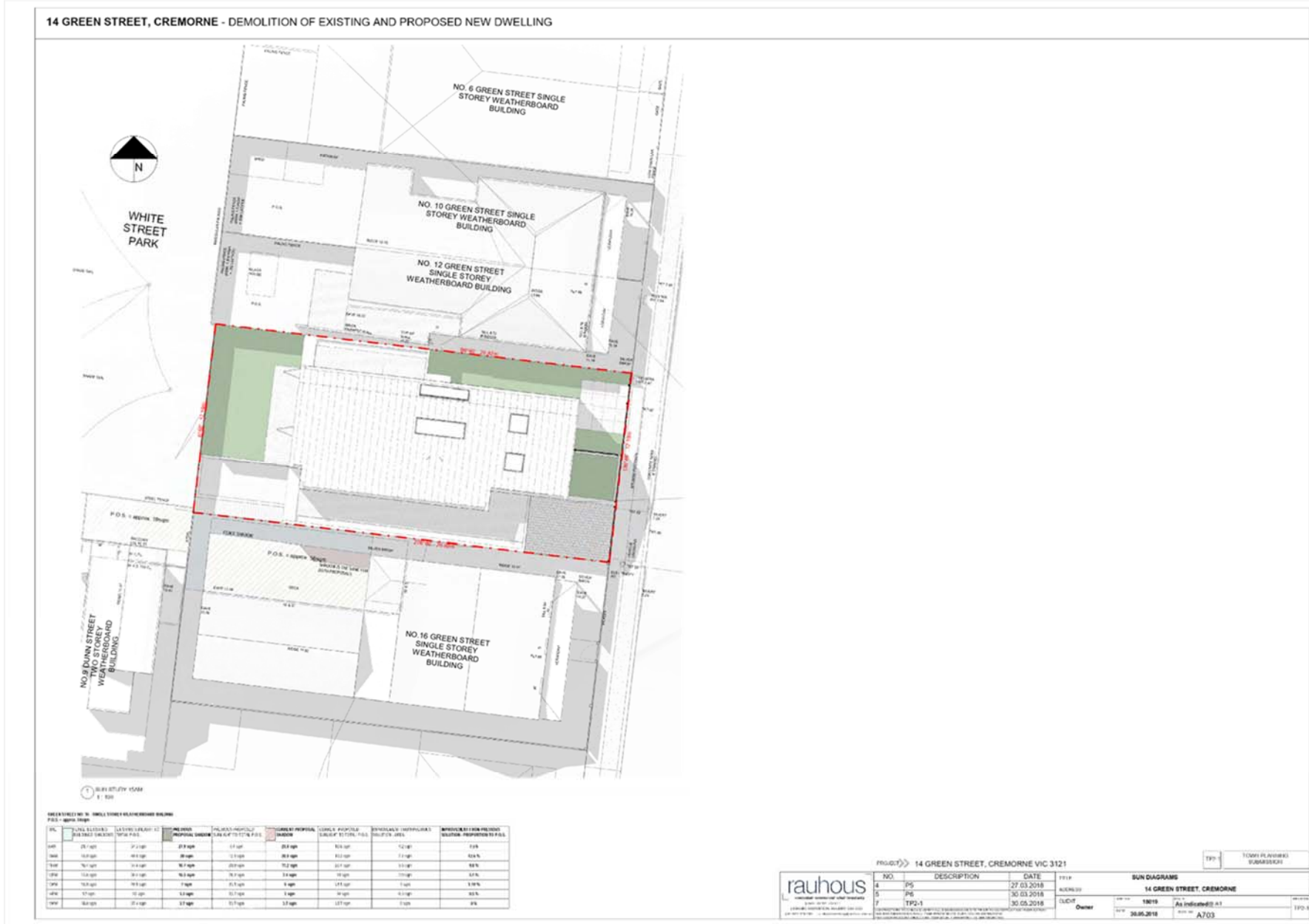
Attachment 2 - PLN17/0973 - Attachment 2 - Decision Plans



Attachment 2 - PLN17/0973 - Attachment 2 - Decision Plans



Attachment 2 - PLN17/0973 - Attachment 2 - Decision Plans



Attachment 3 - PLN17/0973 - Attachment 3 - Sketch Plans (31.07.18)

14 GREEN STREET, CREMORNE - DEMOLITION OF EXISTING AND PROPOSED NEW DWELLING

SHEET LIST	
SHEET NUMBER	SHEET NAME
A000	COVER
A005	PERSPECTIVE VIEWS 1
A006	PERSPECTIVE VIEWS 2
A010	EXISTING SITE PLAN
A020	NEIGHBOURHOOD CONTEXT
A050	EXISTING/ DEMOLITION PLAN
A070	EXISTING ELEVATIONS
A080	DESIGN RESPONSE PLAN
A100	PROPOSED BASEMENT PLAN
A101	PROPOSED GROUND FLOOR PLAN
A102	PROPOSED FIRST FLOOR PLAN
A103	PROPOSED ROOF PLAN
A800	PROPOSED ELEVATIONS
A401	PROPOSED ELEVATIONS
A402	PROPOSED ELEVATIONS
A420	PROPOSED SECTIONS
A421	PROPOSED SECTION
A422	PROPOSED SECTION
A423	PROPOSED SECTION
A700	SUN DIAGRAMS
A701	SUN DIAGRAMS
A702	SUN DIAGRAMS
A703	SUN DIAGRAMS

SITE LOCATION



GREEN STREET VIEW 1 - OPEN LOUVRES



GREEN STREET VIEW 2 - OPEN LOUVRES

PROJECT >>> 14 GREEN STREET, CREMORNE VIC 3121				TP0-2	TOWN PLANNING SUBMISSION
rauhaus	NO.	DESCRIPTION	DATE	BY	COVER
	6	P7	10.04.2018	AC/MS	14 GREEN STREET, CREMORNE
	7	TP0-1	30.05.2018	CL/MS	1:100
	8	TP0-2	31.07.2018	Owner	1:100
DATE PLOTTED: 31.07.2018 10:58:56 AM				DATE: 31.07.2018	SCALE: A000

Attachment 3 - PLN17/0973 - Attachment 3 - Sketch Plans (31.07.18)

14 GREEN STREET, CREMORNE - DEMOLITION OF EXISTING AND PROPOSED NEW DWELLING



STREET VIEW 4



BACK YARD VIEW 1



GREEN STREET VIEW - CLOSED LOUVRES



BACK YARD VIEW - OPEN LOUVRES

PROJECT >>> 14 GREEN STREET, CREMORNE VIC 3121		TP2-1	TOWN PLANNING SUBMISSION
	NO.	DESCRIPTION	DATE
	7	TP2-1	30.05.2018
	8	TP2-2	31.07.2018
CLIENT: Owner DATE: 31.07.2018 DRAWN BY: A005		PERSPECTIVE VIEWS 1 14 GREEN STREET, CREMORNE SCALE: 1:150 SHEET NO: A005	

Attachment 3 - PLN17/0973 - Attachment 3 - Sketch Plans (31.07.18)

14 GREEN STREET, CREMORNE - DEMOLITION OF EXISTING AND PROPOSED NEW DWELLING



STREET VIEW 1



ENTRANCE VIEW

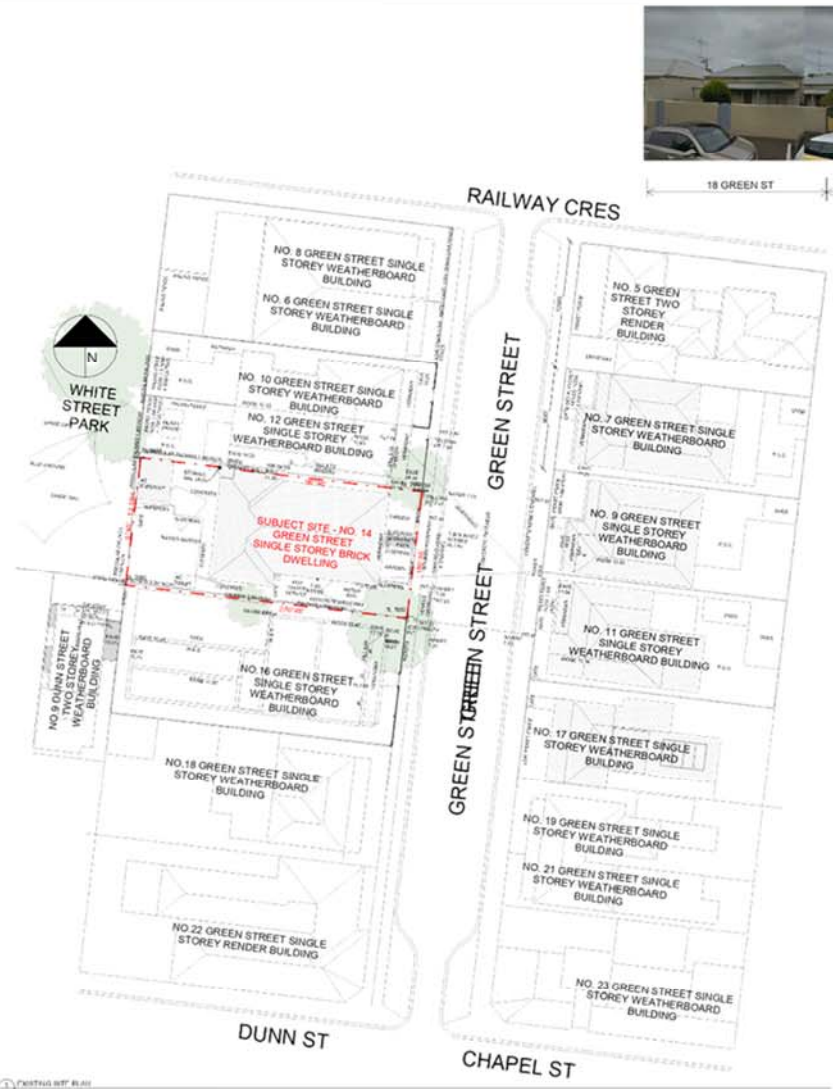


STREET VIEW 2

PROJECT >>> 14 GREEN STREET, CREMORNE VIC 3121				TP2-2	TOWN PLANNING SUBMISSION
NO.	DESCRIPTION	DATE	BY	PERSPECTIVE VIEWS 2	
6	P7	10.04.2018	ACQUIS	14 GREEN STREET, CREMORNE	
7	TP2-1	30.05.2018		DATE	18/09
8	TP2-2	31.07.2018	OWNER	SCALE	1:150
				DATE	31.07.2018
				BY	A006

Attachment 3 - PLN17/0973 - Attachment 3 - Sketch Plans (31.07.18)

14 GREEN STREET, CREMORNE - DEMOLITION OF EXISTING AND PROPOSED NEW DWELLING



PLANNING REF PLAN 1:200

PROJECT: 14 GREEN STREET, CREMORNE VIC 3121				TOWN PLANNING SUBMISSION	
NO.	DESCRIPTION	DATE	BY	EXISTING SITE PLAN	
5	PS	30.03.2018	ADAMS	14 GREEN STREET, CREMORNE	
7	TPS-1	30.05.2018		NO. 14	NO. 14
8	TPS-2	31.07.2018	Owner	NO. 14	NO. 14
				DATE	NO. 14
				31.07.2018	A010

Attachment 3 - PLN17/0973 - Attachment 3 - Sketch Plans (31.07.18)

14 GREEN STREET, CREMORNE - DEMOLITION OF EXISTING AND PROPOSED NEW DWELLING



SHARL SOLUTIONS (SAR)
1 7660



STREETVIEW TOWARDS DWELLINGS 12 & 10 GREEN ST.



STREETVIEW TOWARDS DWELLINGS 9 & 6 GREEN ST.



STREETVIEW TOWARDS DWELLINGS 18 & 16 GREEN ST.



STREETVIEW TOWARDS DWELLINGS 17 & 19 GREEN ST.



STREETVIEW TOWARDS DWELLINGS 13 & 15 GREEN ST.



STREETVIEW TOWARDS DWELLING 11 GREEN ST.

PROJECT: 14 GREEN STREET, CREMORNE VIC 3121			TPP-2	TOWN PLANNING SUBMISSION
	NO.	DESCRIPTION	DATE	BY
	5	P6	30.03.2018	ALUMINUM
	7	TPS-1	30.05.2018	
	8	TPS-2	31.07.2018	
NEIGHBOURHOOD CONTEXT			14 GREEN STREET, CREMORNE	
OWNER		18019	1:15000	
DATE		31.07.2018	SCALE	A020

Attachment 3 - PLN17/0973 - Attachment 3 - Sketch Plans (31.07.18)



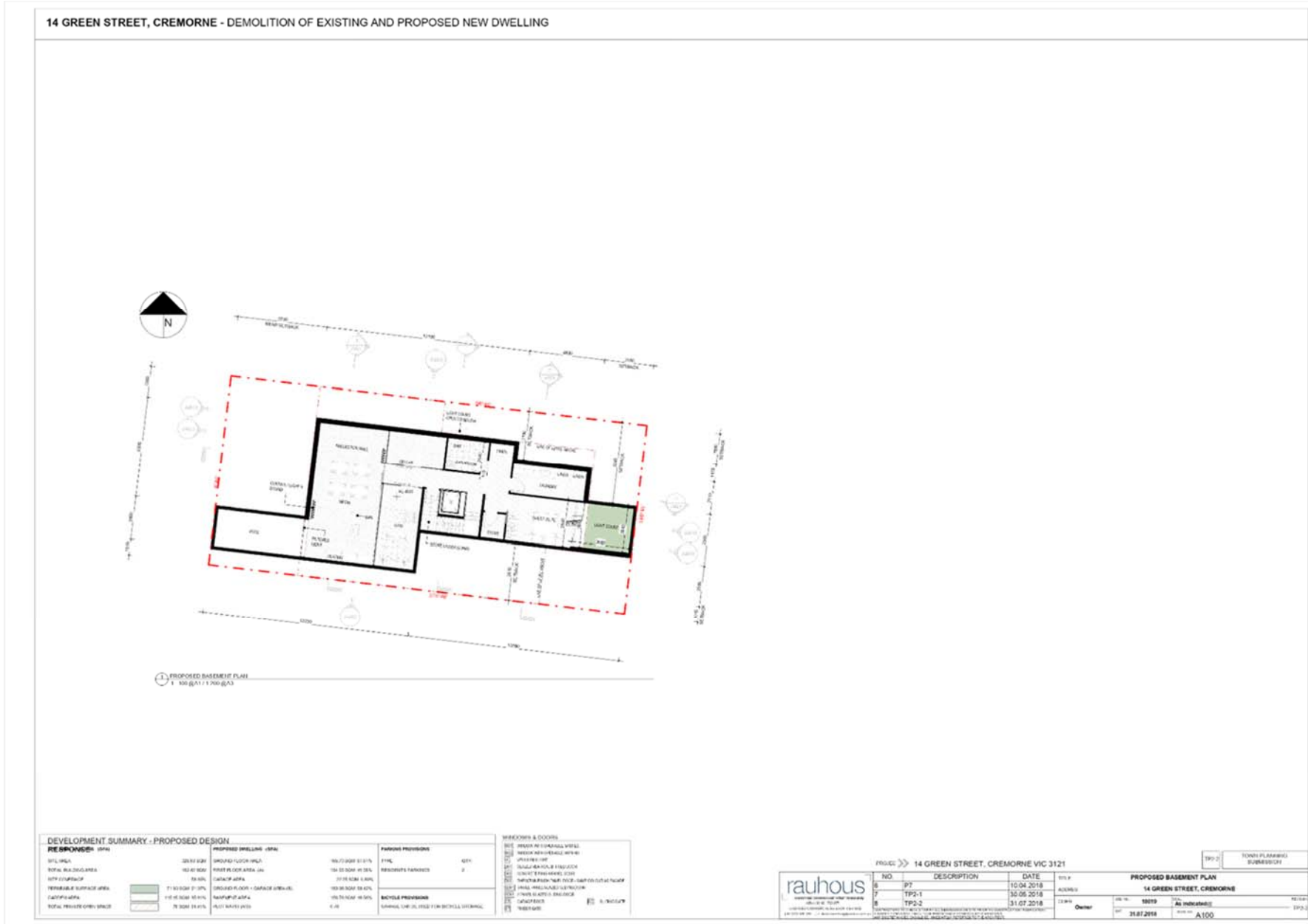
Attachment 3 - PLN17/0973 - Attachment 3 - Sketch Plans (31.07.18)



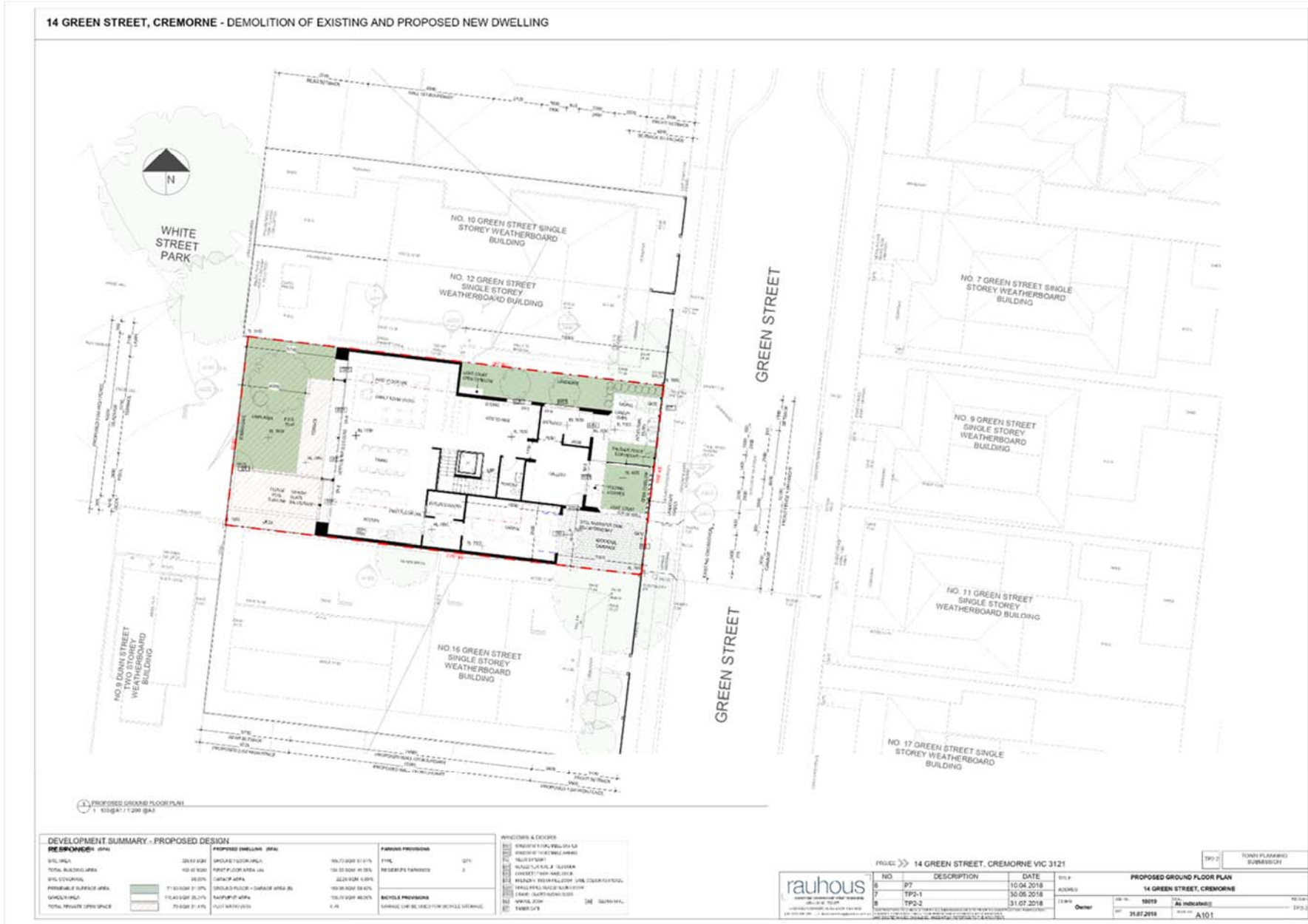
Attachment 3 - PLN17/0973 - Attachment 3 - Sketch Plans (31.07.18)



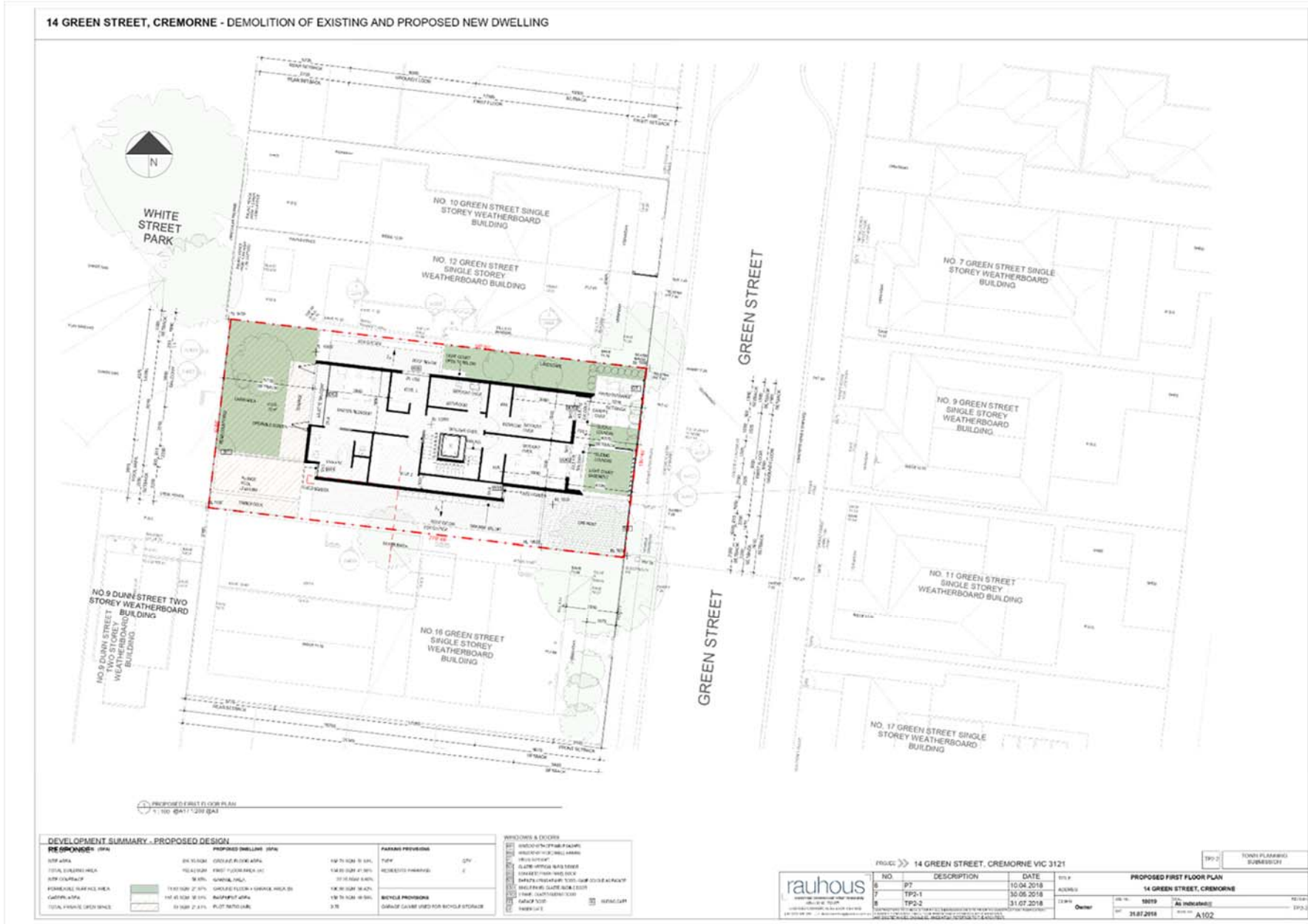
Attachment 3 - PLN17/0973 - Attachment 3 - Sketch Plans (31.07.18)



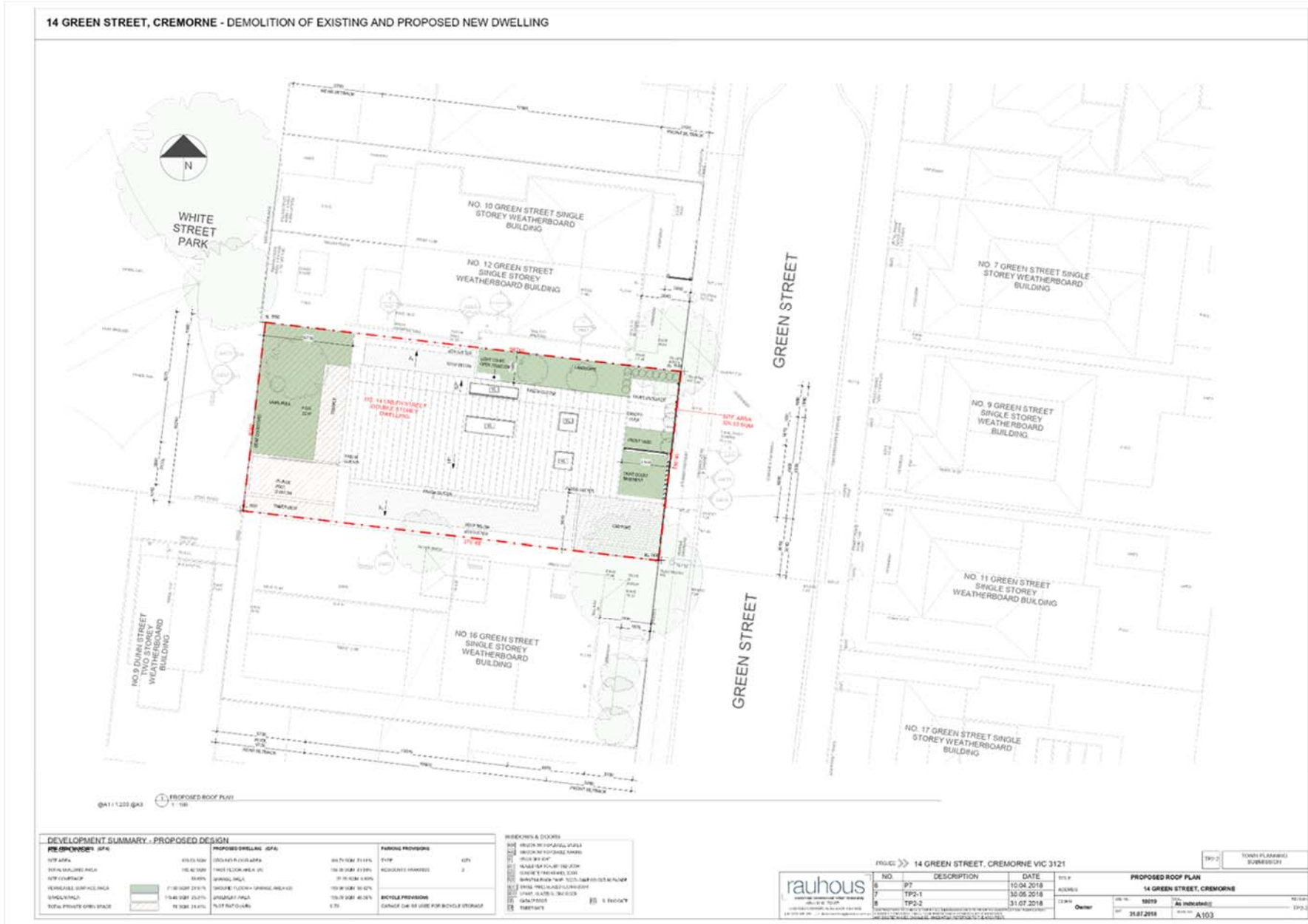
Attachment 3 - PLN17/0973 - Attachment 3 - Sketch Plans (31.07.18)



Attachment 3 - PLN17/0973 - Attachment 3 - Sketch Plans (31.07.18)

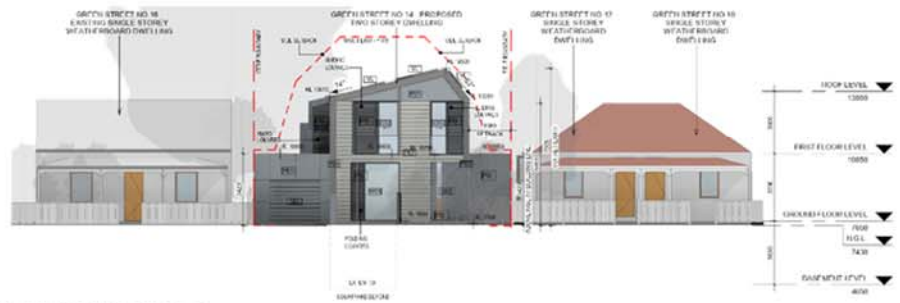


Attachment 3 - PLN17/0973 - Attachment 3 - Sketch Plans (31.07.18)

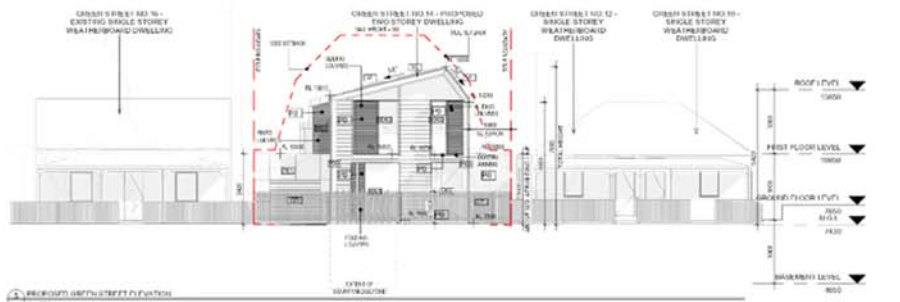


Attachment 3 - PLN17/0973 - Attachment 3 - Sketch Plans (31.07.18)

14 GREEN STREET, CREMORNE - DEMOLITION OF EXISTING AND PROPOSED NEW DWELLING



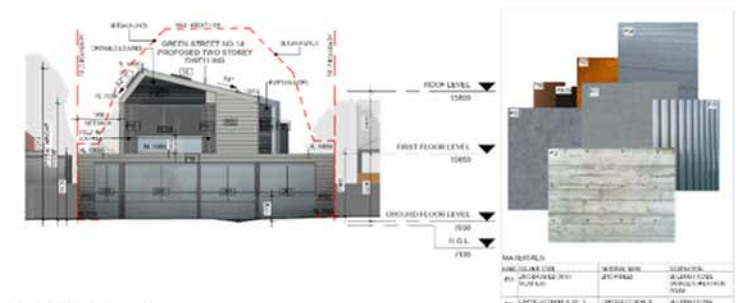
PROPOSED GREEN STREET ELEVATION - NO 14



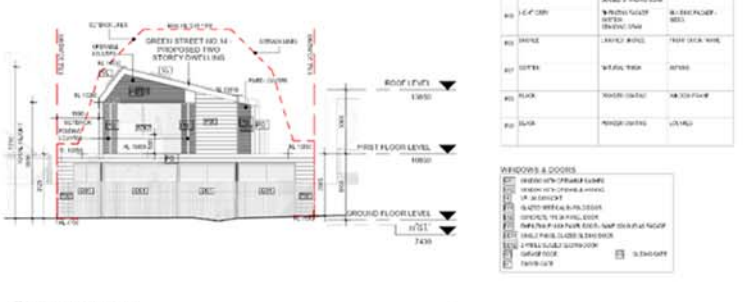
PROPOSED GREEN STREET ELEVATION - NO 15



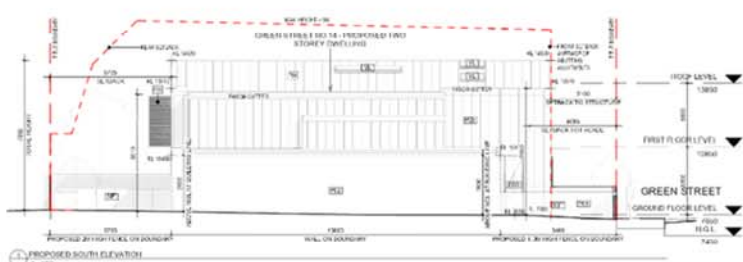
PROPOSED NORTH ELEVATION



PROPOSED WEST ELEVATION - NO 14



PROPOSED WEST ELEVATION - NO 15



PROPOSED SOUTH ELEVATION



NO	DESCRIPTION	FINISH	LOCATION
01	WEATHERBOARD	WEATHERBOARD	UPPER FLOOR
02	BRICK	BRICK	UPPER FLOOR
03	STONE	STONE	UPPER FLOOR
04	WEATHERBOARD	WEATHERBOARD	LOWER FLOOR
05	BRICK	BRICK	LOWER FLOOR
06	STONE	STONE	LOWER FLOOR
07	WEATHERBOARD	WEATHERBOARD	UPPER FLOOR
08	BRICK	BRICK	UPPER FLOOR
09	STONE	STONE	UPPER FLOOR
10	WEATHERBOARD	WEATHERBOARD	LOWER FLOOR
11	BRICK	BRICK	LOWER FLOOR
12	STONE	STONE	LOWER FLOOR

NO	DESCRIPTION	FINISH	LOCATION
13	WEATHERBOARD	WEATHERBOARD	UPPER FLOOR
14	BRICK	BRICK	UPPER FLOOR
15	STONE	STONE	UPPER FLOOR
16	WEATHERBOARD	WEATHERBOARD	LOWER FLOOR
17	BRICK	BRICK	LOWER FLOOR
18	STONE	STONE	LOWER FLOOR

NO	DESCRIPTION	FINISH	LOCATION
19	WEATHERBOARD	WEATHERBOARD	UPPER FLOOR
20	BRICK	BRICK	UPPER FLOOR
21	STONE	STONE	UPPER FLOOR
22	WEATHERBOARD	WEATHERBOARD	LOWER FLOOR
23	BRICK	BRICK	LOWER FLOOR
24	STONE	STONE	LOWER FLOOR

NO	DESCRIPTION	FINISH	LOCATION
25	WEATHERBOARD	WEATHERBOARD	UPPER FLOOR
26	BRICK	BRICK	UPPER FLOOR
27	STONE	STONE	UPPER FLOOR
28	WEATHERBOARD	WEATHERBOARD	LOWER FLOOR
29	BRICK	BRICK	LOWER FLOOR
30	STONE	STONE	LOWER FLOOR

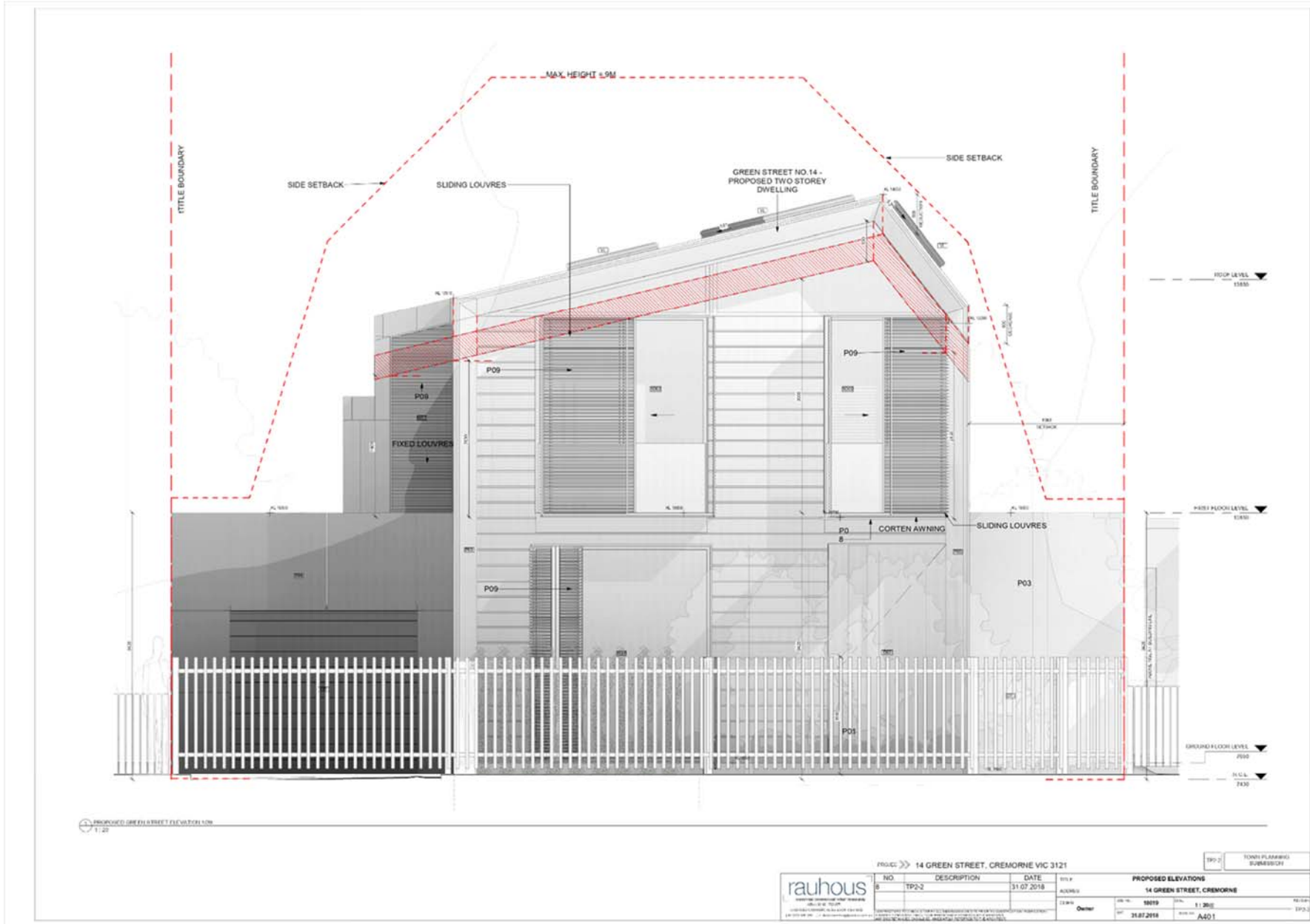
NO	DESCRIPTION	FINISH	LOCATION
31	WEATHERBOARD	WEATHERBOARD	UPPER FLOOR
32	BRICK	BRICK	UPPER FLOOR
33	STONE	STONE	UPPER FLOOR
34	WEATHERBOARD	WEATHERBOARD	LOWER FLOOR
35	BRICK	BRICK	LOWER FLOOR
36	STONE	STONE	LOWER FLOOR

NO	DESCRIPTION	FINISH	LOCATION
37	WEATHERBOARD	WEATHERBOARD	UPPER FLOOR
38	BRICK	BRICK	UPPER FLOOR
39	STONE	STONE	UPPER FLOOR
40	WEATHERBOARD	WEATHERBOARD	LOWER FLOOR
41	BRICK	BRICK	LOWER FLOOR
42	STONE	STONE	LOWER FLOOR

PROJECT: 14 GREEN STREET, CREMORNE VIC 3121				TOWN PLANNING SUBMISSION	
NO	DESCRIPTION	DATE	BY	DATE	BY
6	P7	10.04.2018	ADDD		
7	TPS-1	30.05.2018	ADDD		
8	TPS-2	31.07.2018	ADDD		

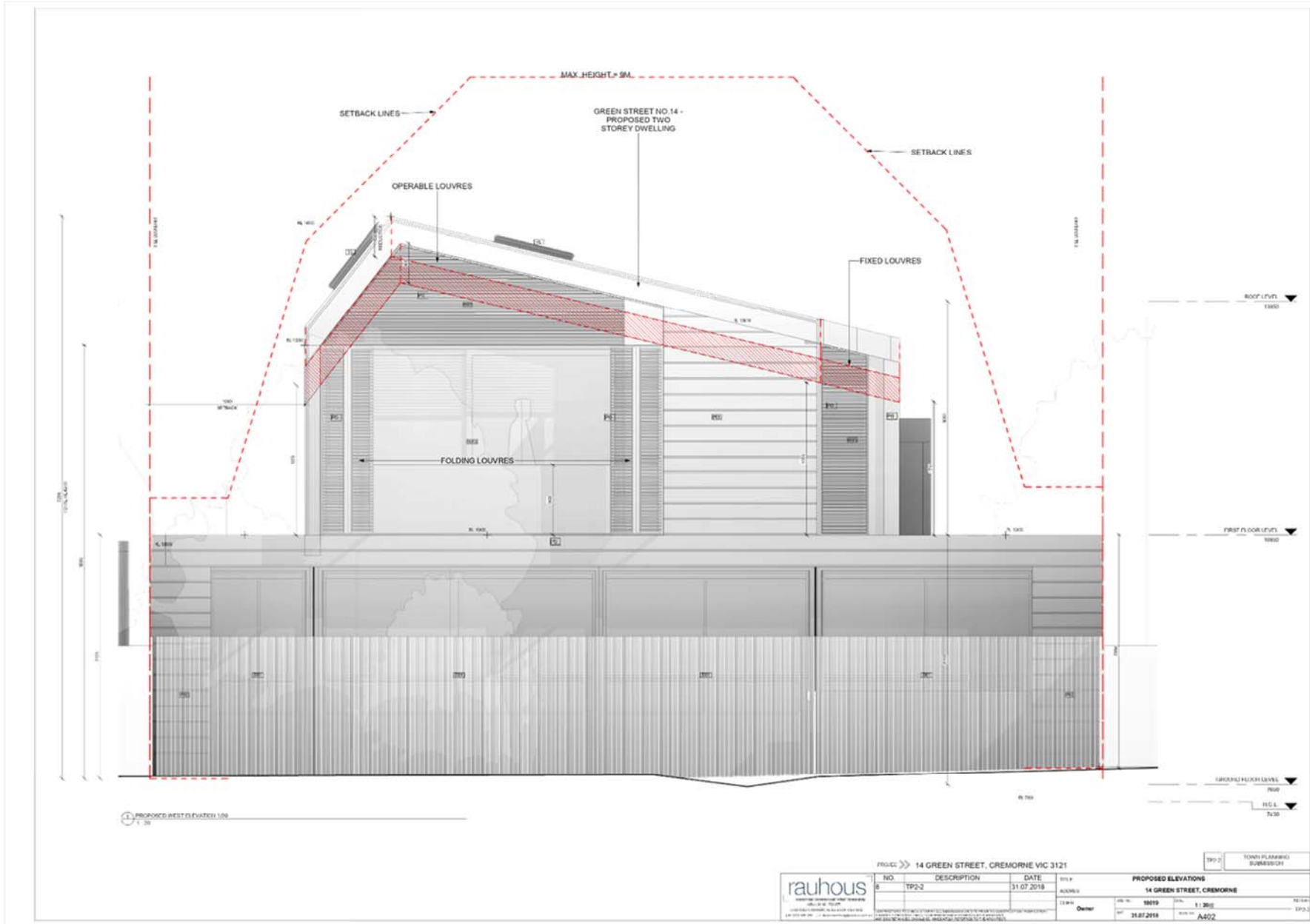
PROPOSED ELEVATIONS			
14 GREEN STREET, CREMORNE			
NO	DATE	SCALE	BY
01	31.07.2018	1:100	ADDD

Attachment 3 - PLN17/0973 - Attachment 3 - Sketch Plans (31.07.18)



PROJECT: 14 GREEN STREET, CREMORNE VIC 3121				PROPOSED ELEVATIONS	
NO.	DESCRIPTION	DATE	BY	DATE	SCALE
1	TP2-2	31.07.2018	ARCHITECT	14 GREEN STREET, CREMORNE	1:200
OWNER:			31.07.2018	ADD 1	

Attachment 3 - PLN17/0973 - Attachment 3 - Sketch Plans (31.07.18)



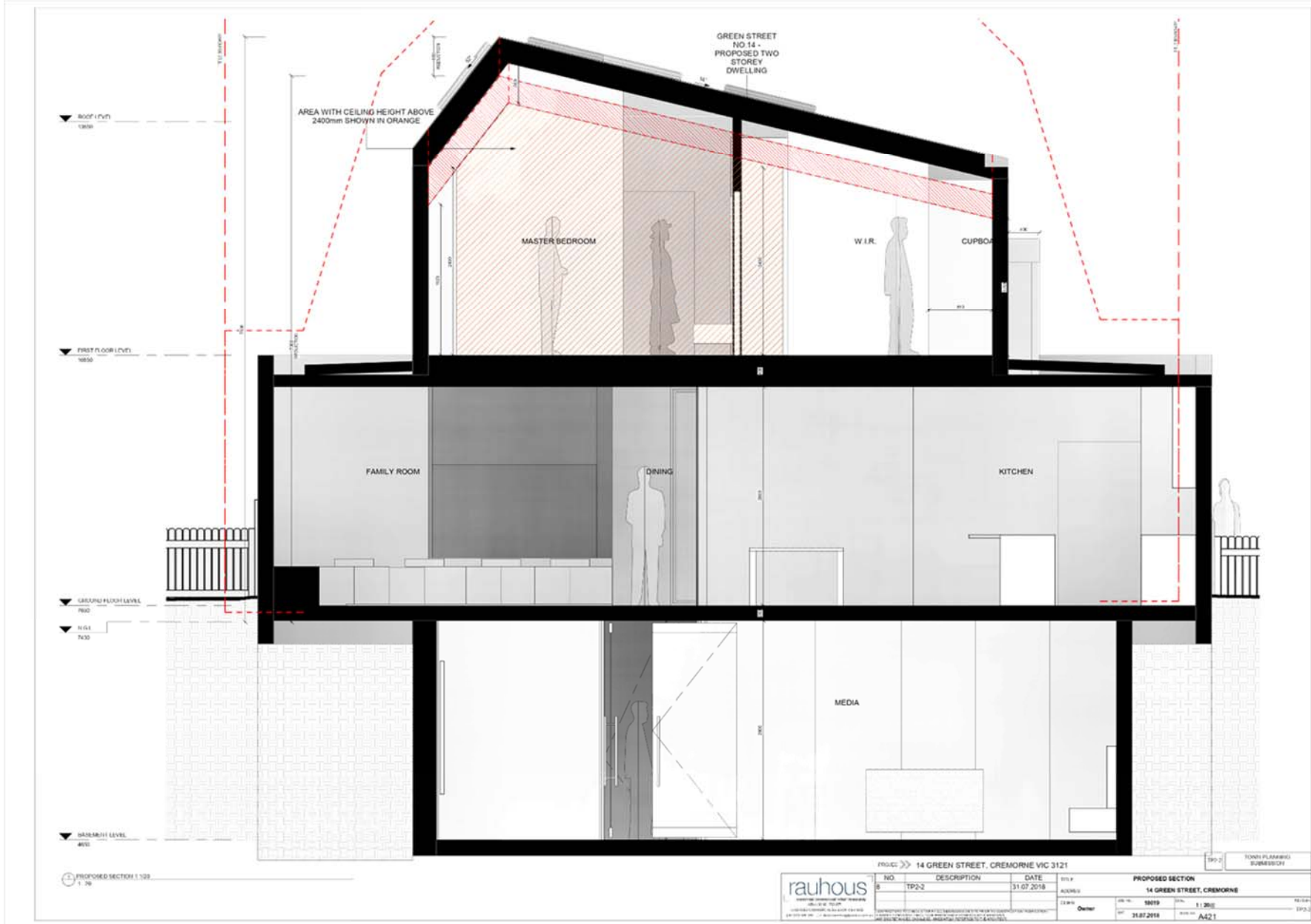
Attachment 3 - PLN17/0973 - Attachment 3 - Sketch Plans (31.07.18)

14 GREEN STREET, CREMORNE - DEMOLITION OF EXISTING AND PROPOSED NEW DWELLING

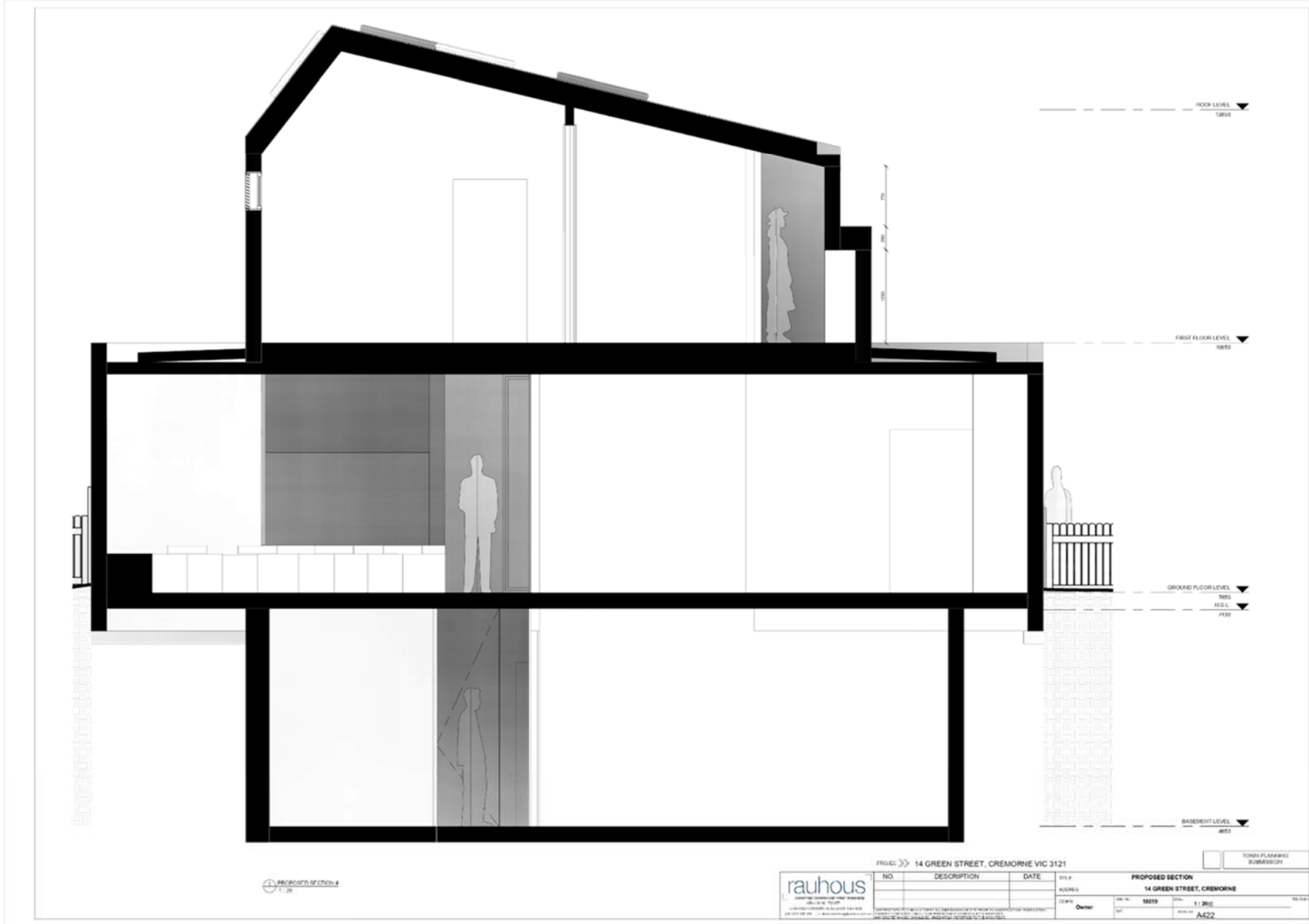


PROJECT >>> 14 GREEN STREET, CREMORNE VIC 3121				PROPOSED SECTIONS	
	NO.	DESCRIPTION	DATE	NO.	DESCRIPTION
	6	P7	10.04.2018	1	14 GREEN STREET, CREMORNE
	7	TP2-1	30.05.2018	2	14 GREEN STREET, CREMORNE
	8	TP2-2	31.07.2018	3	14 GREEN STREET, CREMORNE
DRAWN: Owner			DATE:	SCALE:	NO. OF SHEETS:
			31.07.2018	1:1000	1/3
				A420	

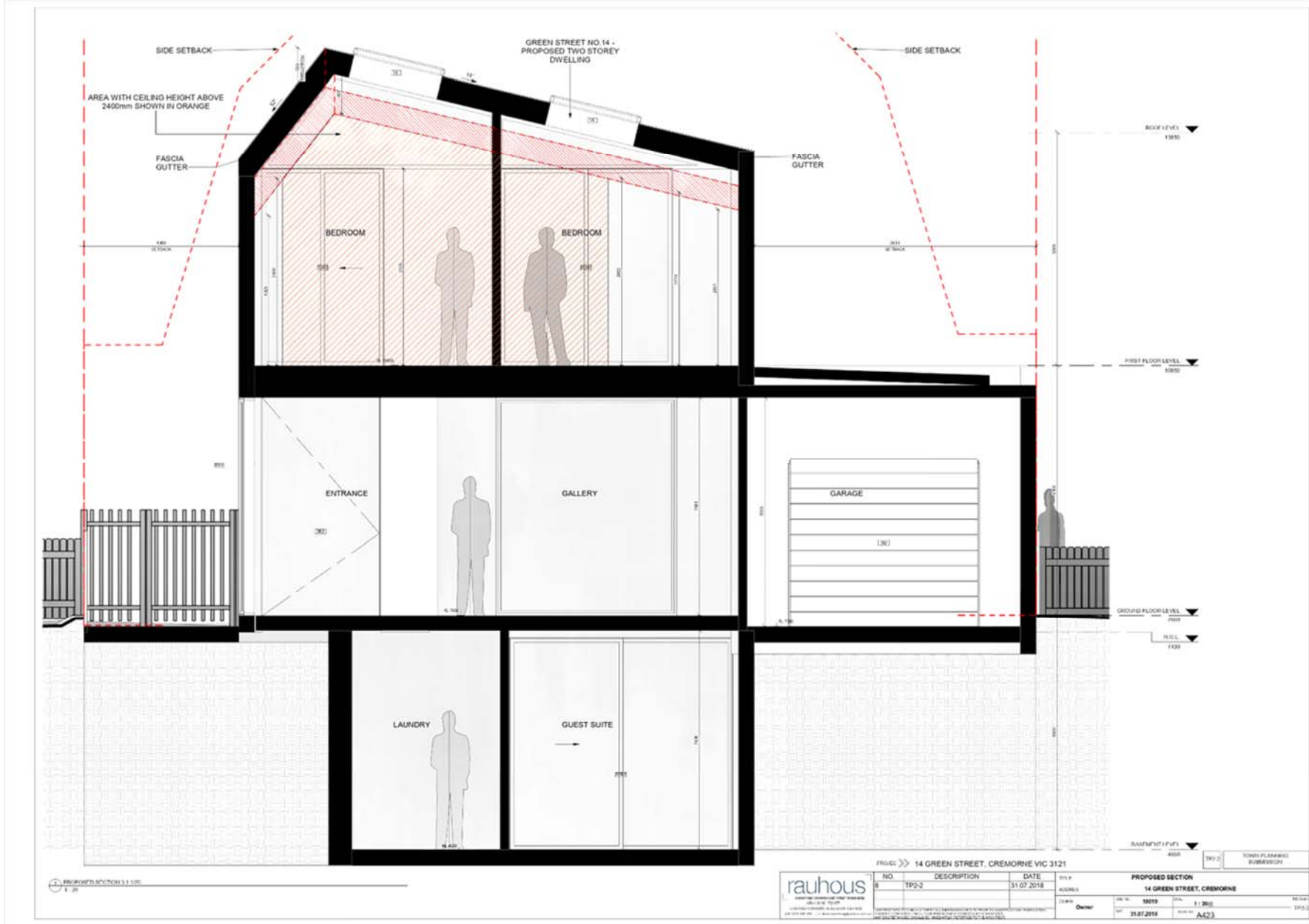
Attachment 3 - PLN17/0973 - Attachment 3 - Sketch Plans (31.07.18)



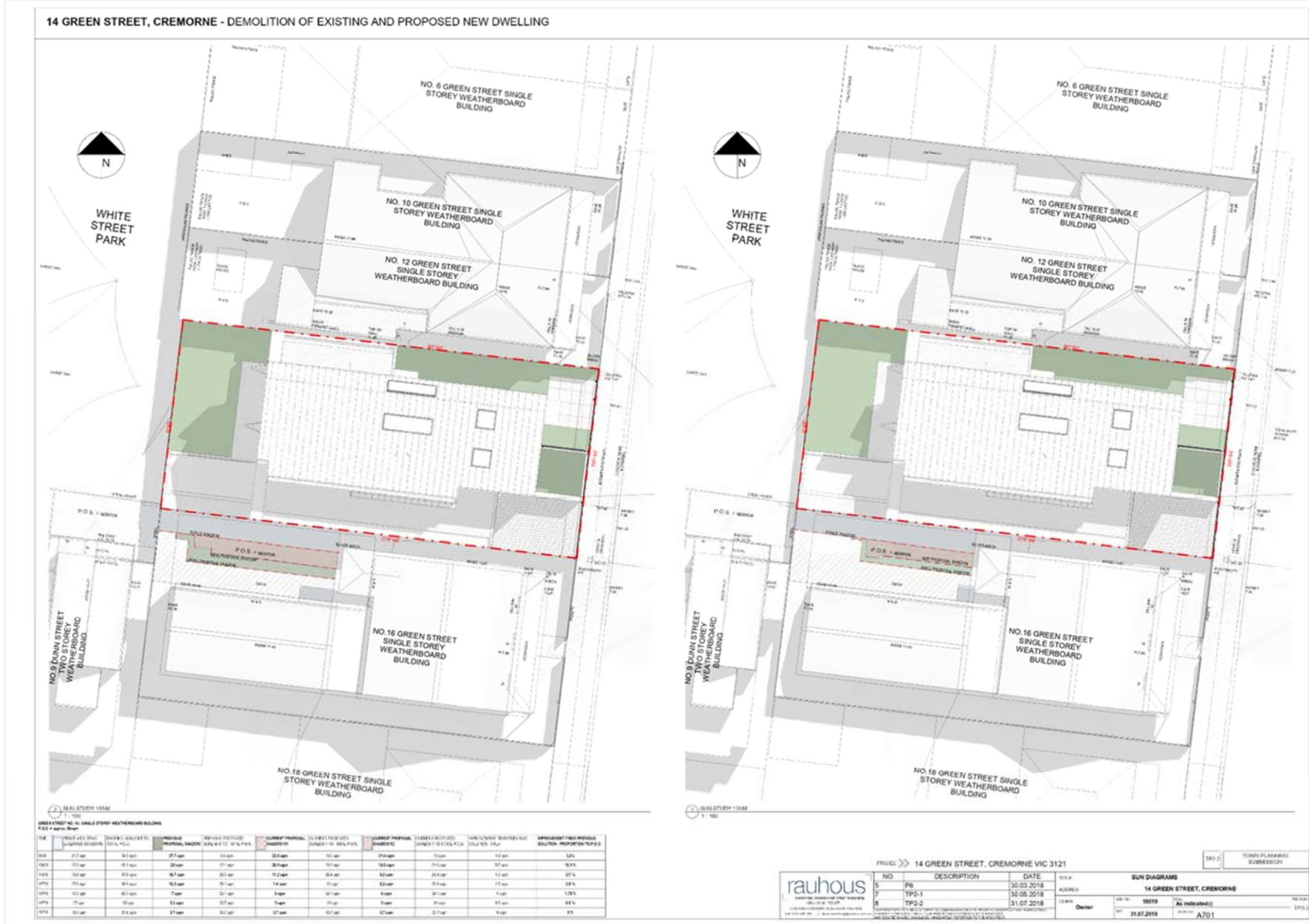
Attachment 3 - PLN17/0973 - Attachment 3 - Sketch Plans (31.07.18)



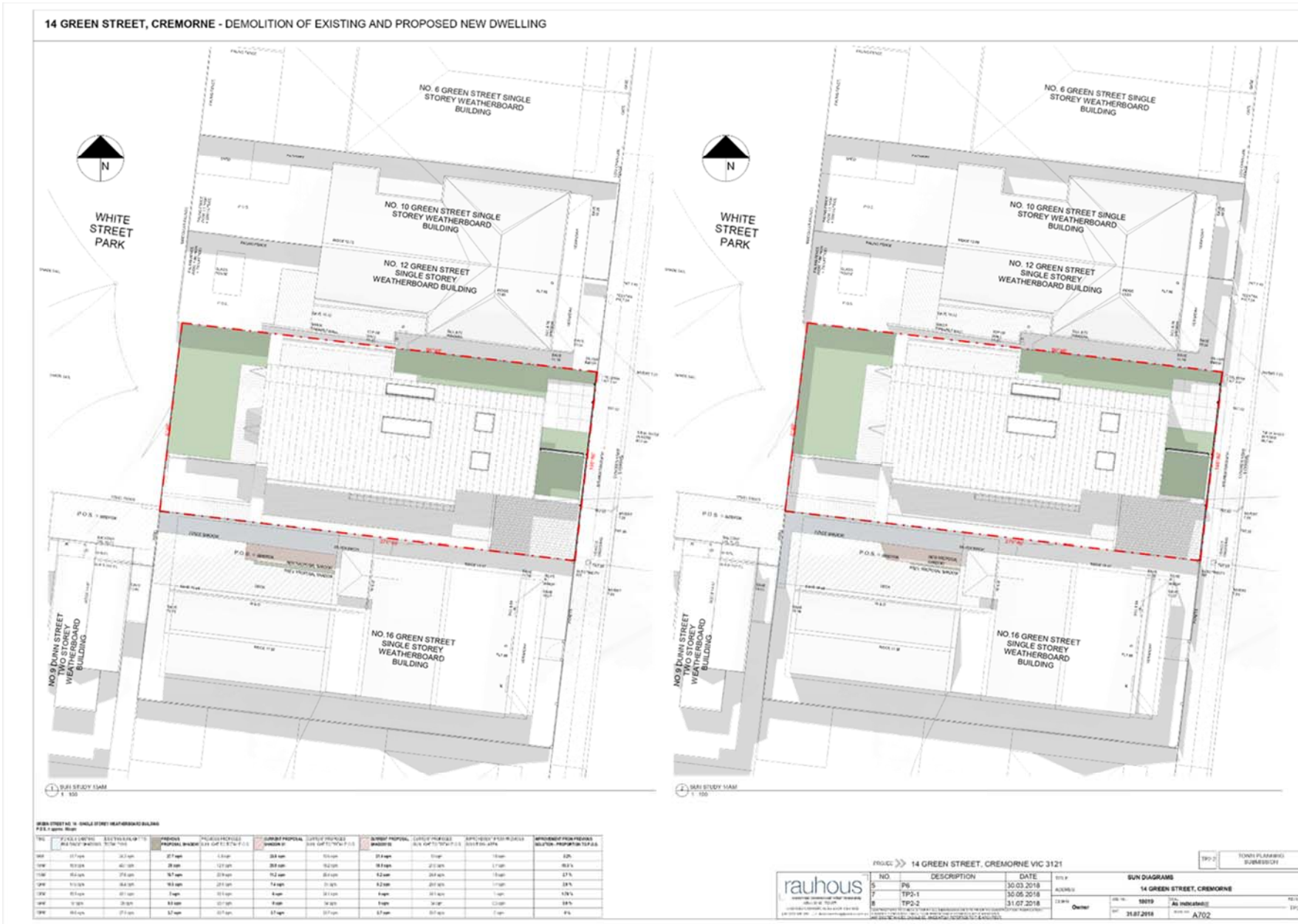
Attachment 3 - PLN17/0973 - Attachment 3 - Sketch Plans (31.07.18)



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Attachment 3 - PLN17/0973 - Attachment 3 - Sketch Plans (31.07.18)



Attachment 3 - PLN17/0973 - Attachment 3 - Sketch Plans (31.07.18)

14 GREEN STREET, CREMORNE - DEMOLITION OF EXISTING AND PROPOSED NEW DWELLING



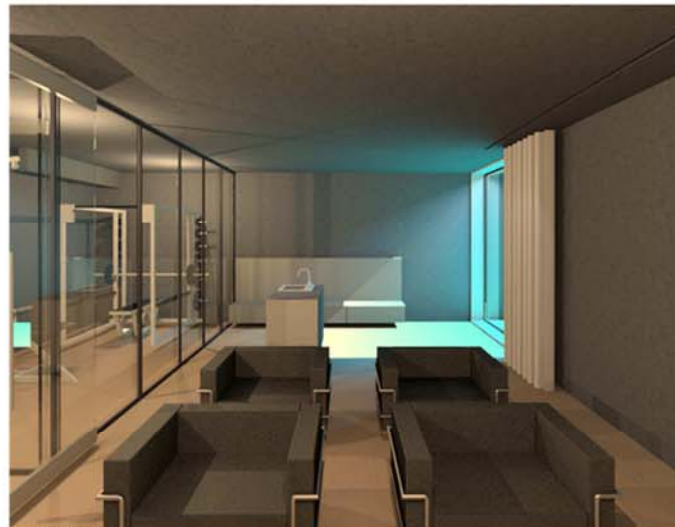
FIRST FLOOR MASTER BEDROOM VIEW



FIRST FLOOR HALLWAY VIEW



BEDROOM VIEW



MEDIA ROOM VIEW

PROJECT >> 14 GREEN STREET, CREMORNE VIC 3121			TP0-1	TOWN PLANNING SUBMISSION
rauhaus ARCHITECTURE & INTERIOR DESIGN	NO.	DESCRIPTION	DATE	STATUS
	6	TP7	10.04.2018	APPROVED
	7	TP0-1	30.05.2018	
PERSPECTIVE VIEWS 3				
14 GREEN STREET, CREMORNE				
OWNER	18019	DATE	30.05.2018	SCALE
				1:500
				TP0-1

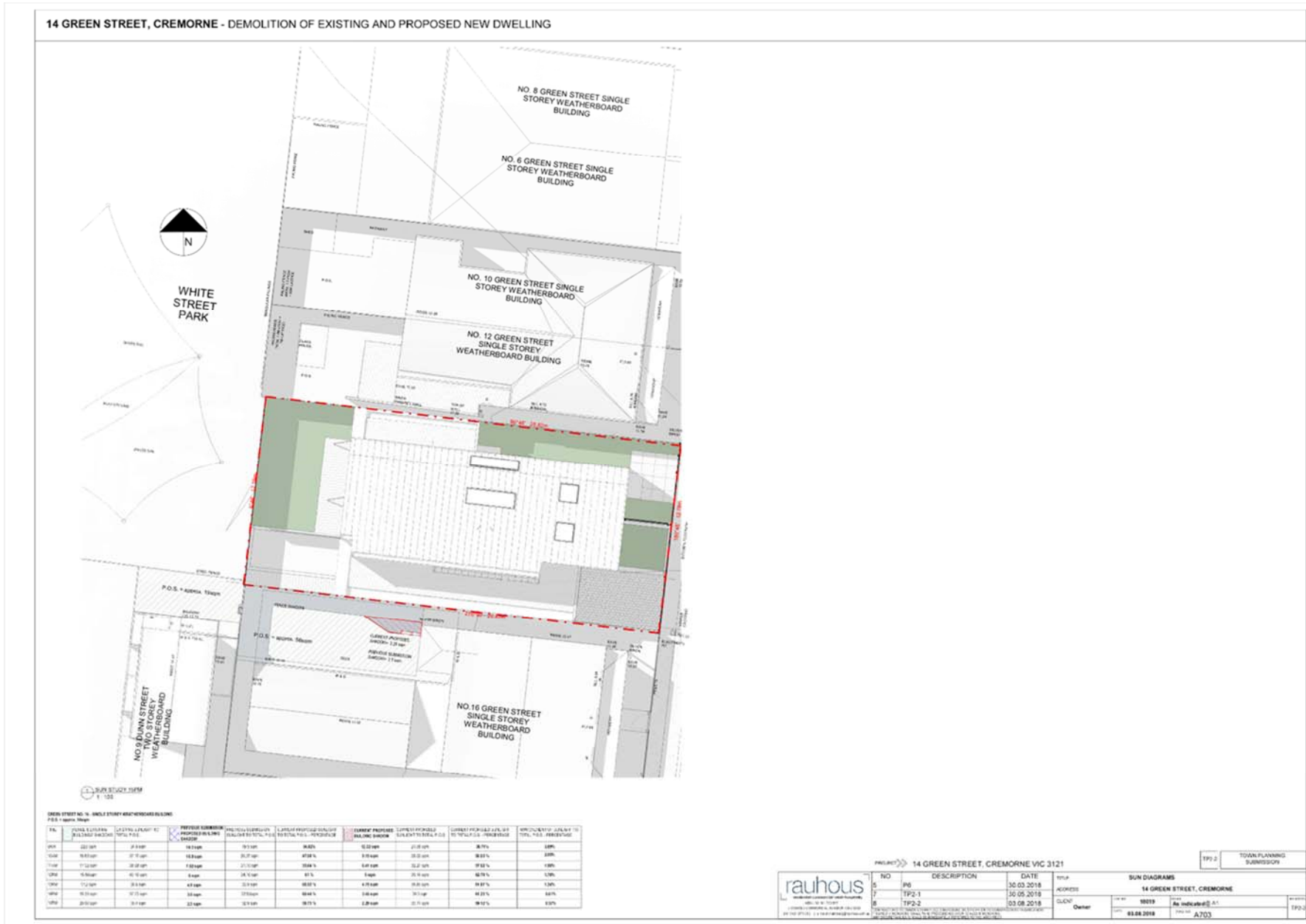
Attachment 4 - PLN17/0973 - Attachment 4 - Corrected Shadows for Decision Plans and Sketch Plans (31.07.18)



Attachment 4 - PLN17/0973 - Attachment 4 - Corrected Shadows for Decision Plans and Sketch Plans (31.07.18)



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City of Yarra

Heritage Advice on S57 Amendment

Application No.:	<i>PLN17/0973 (2)</i>
Address of Property:	14 Green Street, Cremorne
Planner:	<i>Michelle King</i>
Yarra Planning Scheme References:	<p><i>STATE POLICY:</i></p> <ul style="list-style-type: none"> • <i>Clause 15.03 Heritage</i> <p><i>LOCAL POLICY:</i></p> <ul style="list-style-type: none"> • <i>Clause 21.05-1 Built Form (Heritage)</i> • <i>Clause 43.01 Heritage Overlay</i> • <i>Clause 22.02 Development Guidelines for sites subject to the Heritage Overlay</i>
Heritage Overlay No. & Precinct:	<i>HO323- Green Street Precinct</i>
Level of significance:	<i>Not contributory, constructed 1970-1980 (Appendix 8, City of Yarra Review of Heritage Overlay Areas 2007- updated Feb 2017)</i>
General description:	<i>Full demolition of existing building for construction of two-storey building including basement, garage and front fence.</i>
Drawing Nos.:	<i>Set of 17 x A3 drawings prepared by RAUHOUS, date stamped 30 May 2018.</i>

NOTE: PREVIOUS ADVICE WAS PROVIDED FOR THIS PROPERTY ON 21 FEBRUARY 2018

DESCRIPTION OF THE HO323 GREEN STREET PRECINCT AREA

The Green Street Heritage Overlay Area is significant:

- As a relatively intact cluster of modest mainly late 19th century and some early 20th century housing that forms an island of residential buildings in an otherwise industrial area;
- For the early bluestone kerbs, channels, and laneways and the asphalt paved footpaths that, together, enhance the Victorian-era expression of the area;
- For the area’s historical link with highly significant industrial complexes, such as Rosella and Bryant and May, adjacent to the area; and
- For the views from within the area to significant icons such as Dimmey’s tower and the Bryant and May factory - key landmarks adjoining the precinct for many years and visual reminders of its island nature and historic context.

CONTEXT DESCRIPTION:

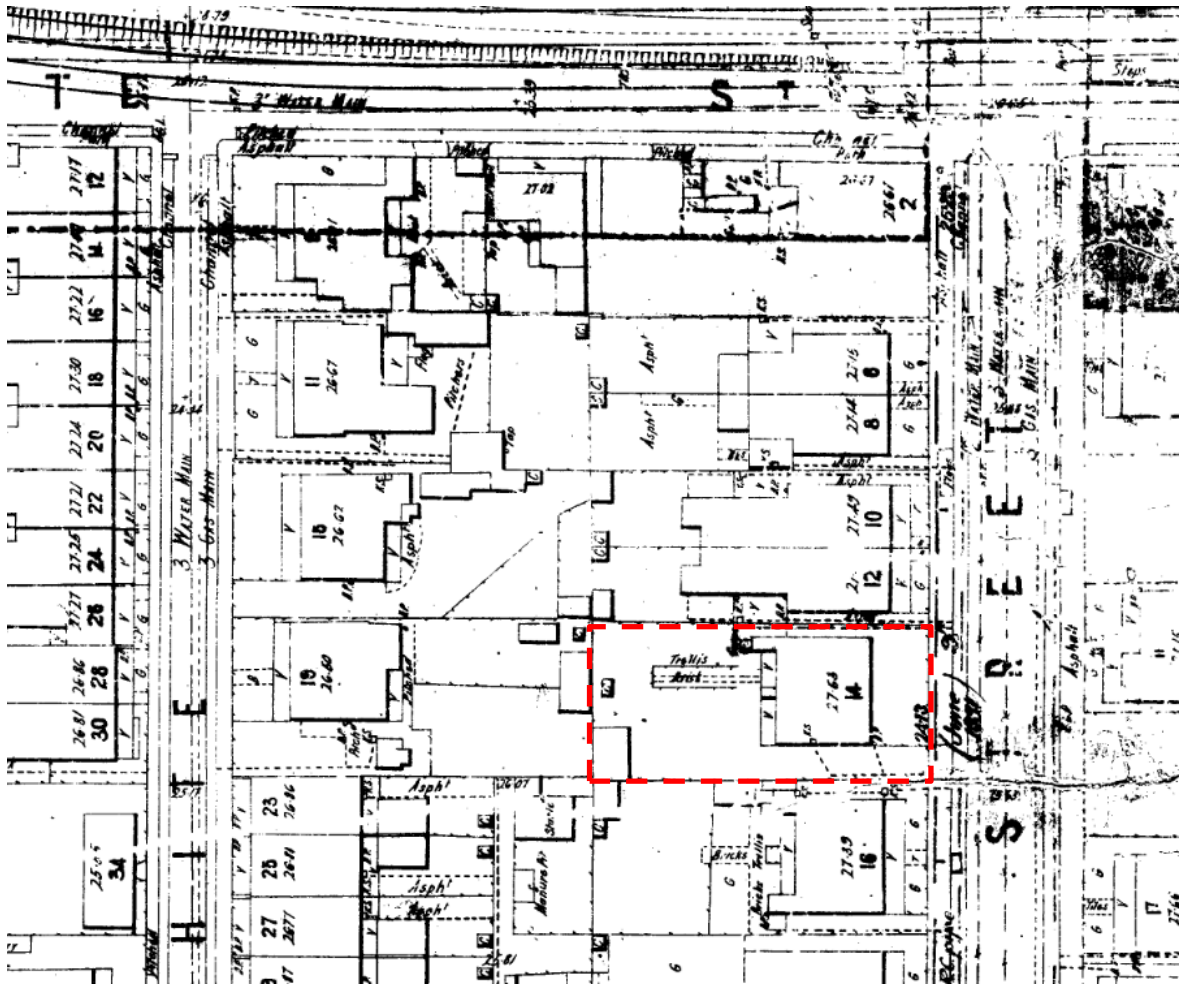
The subject site is a rectangular allotment with principal frontage to Green Street and no rear access. It is located on the western side of the street, between Railway Crescent to the north and Chapel Street to the south. Green Street has a relatively standard width, measuring 11metres footpath to footpath.

Historically the site appears to have been a double fronted Victorian-era dwelling, with a slightly larger front setback than the existing building. The side setbacks were similar to what exists and there was an outbuilding at the rear of the site, accessed from the southern side setback.

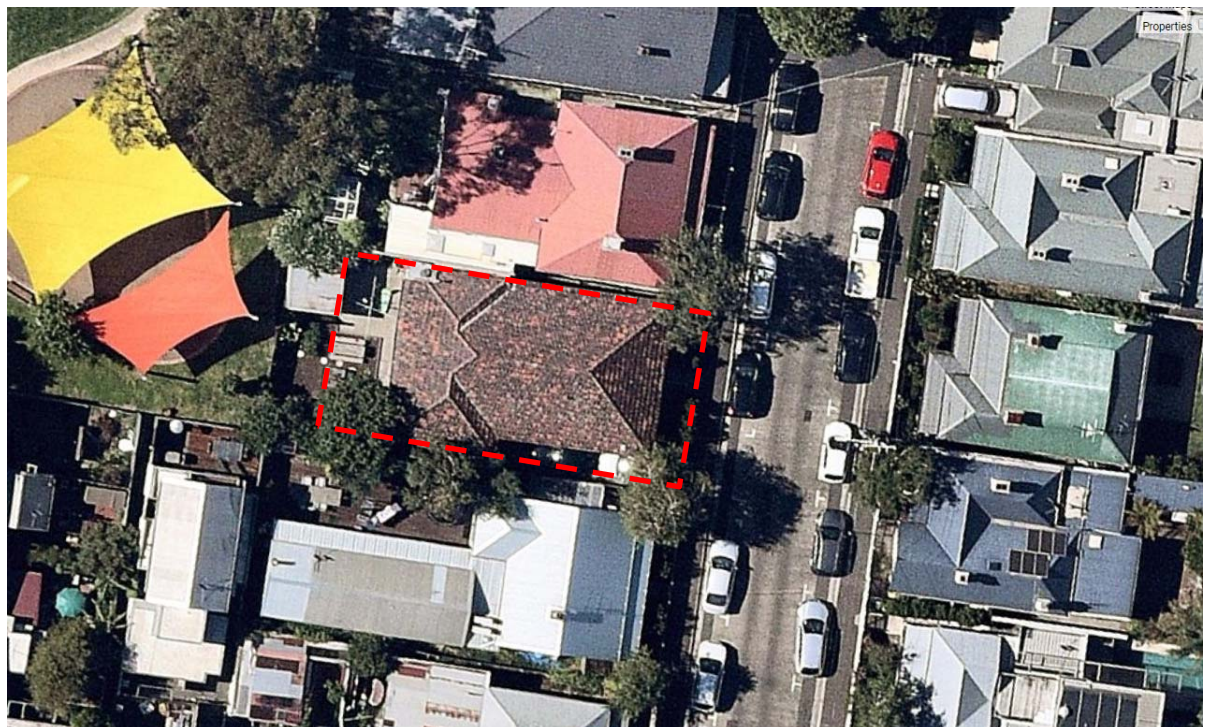
The immediate area is characterised by mostly single storey, weatherboard dwelling with masonry Victorian-era properties further south. There are a small number of non-contributory buildings in the

Attachment 4 - PLN17/0973 - Attachment 4 - Corrected Shadows for Decision Plans and Sketch Plans (31.07.18)

street and as per the statement of significance, the site is viewed against a backdrop of industrial and commercial heritage character.

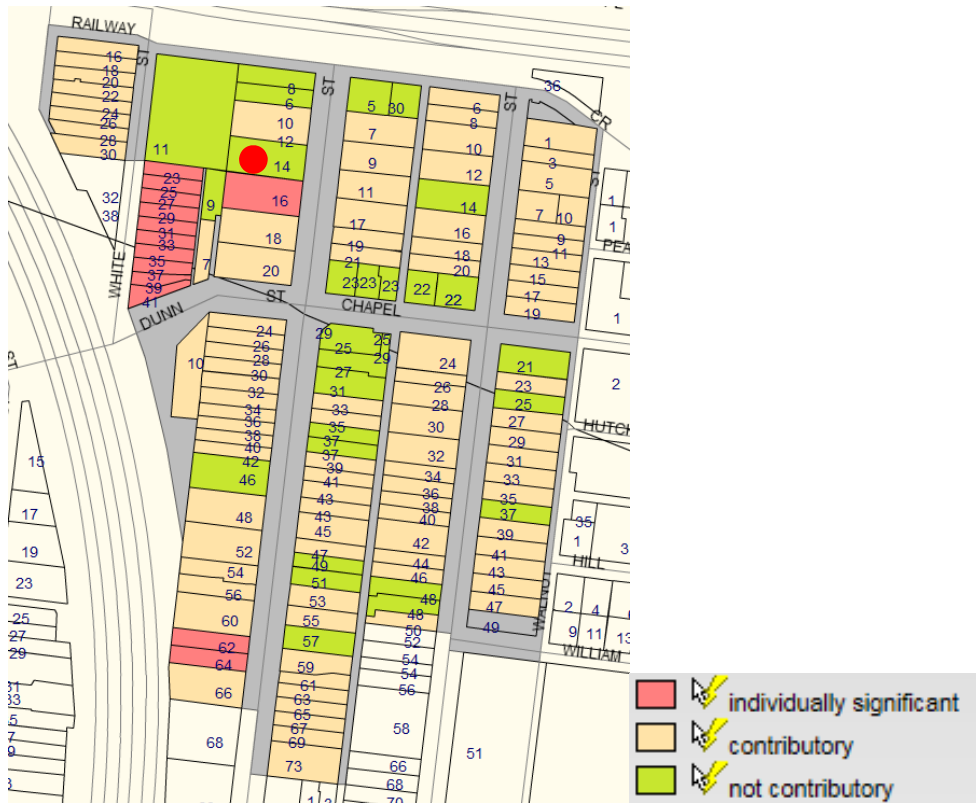


Above: Extract from MMBW Plan 912 from c.1895 Subject site outlined in red.



Attachment 4 - PLN17/0973 - Attachment 4 - Corrected Shadows for Decision Plans and Sketch Plans (31.07.18)

Above: Current aerial of the subject site



Above: Extract from GIS showing relevant heritage overlay area Subject site shown with a red dot



Above: Recent photo of the subject site

Attachment 4 - PLN17/0973 - Attachment 4 - Corrected Shadows for Decision Plans and Sketch Plans (31.07.18)



Above: Adjacent Individually significant property at no. 16 Green Street



Above: Properties to the south of the subject site



Above: Properties to the north of the subject site

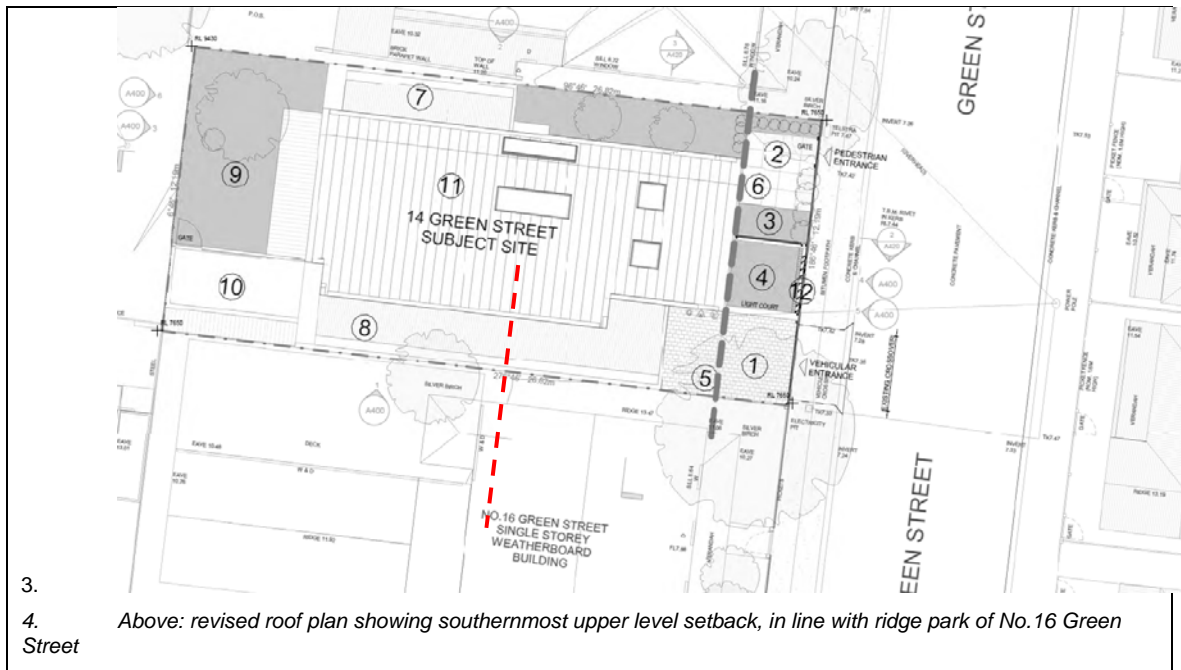
Attachment 4 - PLN17/0973 - Attachment 4 - Corrected Shadows for Decision Plans and Sketch Plans (31.07.18)

PREVIOUSLY ISSUED RECOMMENDATIONS ON THIS APPLICATION:

Previous recommendations for the proposal are included below, with comments in response to current amended drawings:

i. Reduce the breadth of the new building by modifying the currently proposed side setback of about 2 metres at ground level along the northern boundary of the site to a depth of at least 13 metres from the front boundary (which matches the depth of the side setback for no. 12 Green Street);

1. The above recommended northern side and front setbacks have been achieved with the new proposal.
2. The southernmost portion of the upper level has a *decreased* setback from street front, by about 500mm. The setback is in line with ridge peak of No.16 Green Street and is supported.



3.
4. Above: revised roof plan showing southernmost upper level setback, in line with ridge park of No.16 Green Street

5.

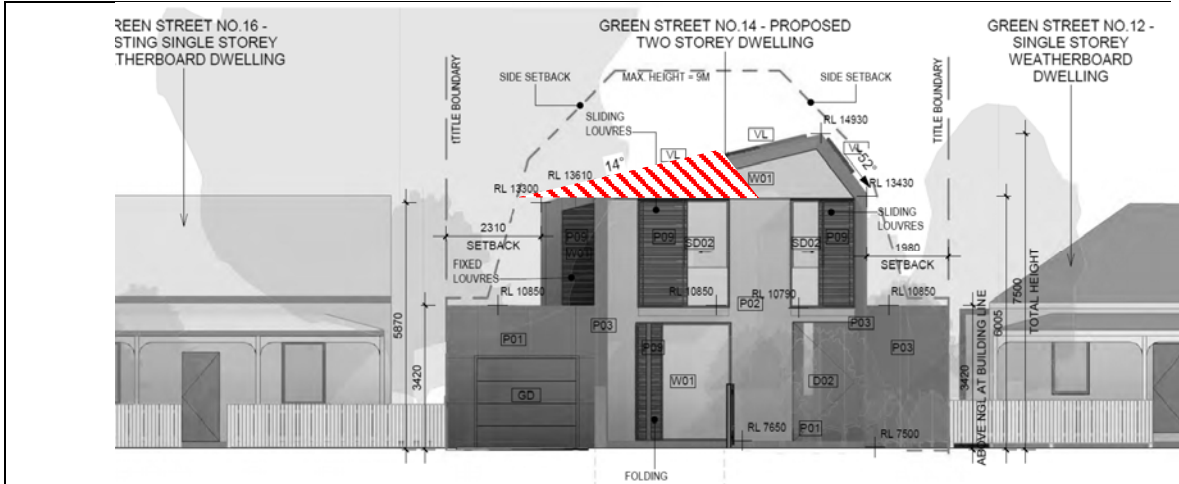
ii. Change the proposed roof form to be respectful of the prevailing and predominant character of traditional gabled and hipped forms in the immediate area;

6. The revised roof form is an asymmetrically pitched roof, which is supported.
7. As a result of the new form, the overall height of the development is now however between 6metres and 7.5metres tall.
8. The internal ceiling heights for the upper level are between 2.4metres and 3.6metres. Accordingly the overall height of the development can be reduced by 500mm without unreasonably impacting internal ceiling heights.
9. The revised pitch of the roof must be maintained, whilst reducing the overall height of the development to 7metres max.

iii. Change the articulation of the proposed façade to be respectful of the prevailing and predominant character of contributory buildings in the immediate area (i.e. openings that are vertically oriented, rectangular proportions and do not occupy more than 40% of the façade);

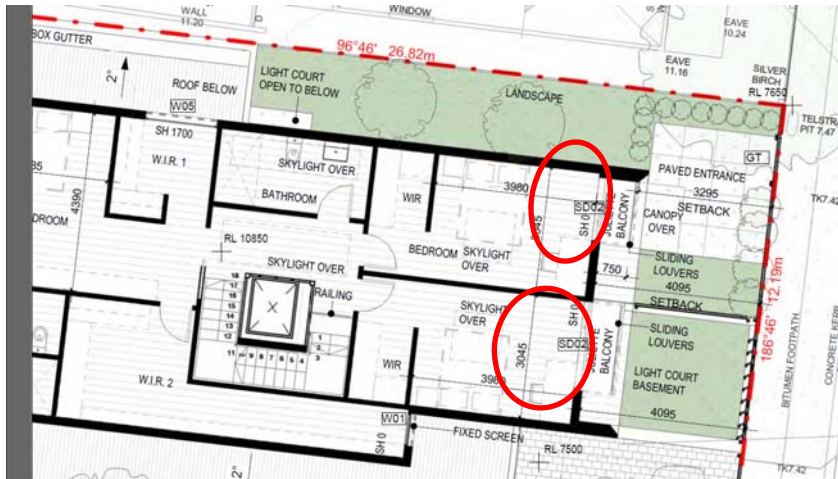
10. The above recommendation has been achieved, except for the glass window in the gable end. The newly proposed appearance of the development is supported only with deletion of this window.

Attachment 4 - PLN17/0973 - Attachment 4 - Corrected Shadows for Decision Plans and Sketch Plans (31.07.18)



11. Above: proposed elevation showing unsupported window in gable end hatched in red

12. When open, it is noted that the proposed folding louvres at the front will project forward of adjoining contributory buildings, and expose balconies on the front façade (refer to image below). As a new contemporary infill building, it is considered that this detail is acceptable, as the projecting louvres are not indicative of additional floor space.



13. *iv. Change the external material palette of the proposed façade to be respectful of the prevailing and predominant character of weatherboard, face brick (red, bichrome and polychrome), and stucco wall materials in the immediate area;*

14. As previously advised, the external materials that characterise this heritage precinct are:

- 15. Weatherboard, face brick (red, bichrome and polychrome), or stucco walls;

16. The amended external materials are:

- Burnished brass panelling (garage façade only)
- Exposed concrete (with timber texture)
- Exposed concrete (no texture)
- Black metal louvres

17. The brass panelling to the garage façade only serves to draw visual attention to a feature (that being a garage) that is not characteristic of the heritage area. The aim should be to avoid drawing attention to the garage – not draw attention to it (refer to image below). The colour of the garage facade should be similar to the proposed concrete finish of the front walls, or perhaps slightly darker – not black.

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18.

19. In regard to the appearance of the principal façade, it is considered that the textured finish to the concrete would be acceptable however, there are concerns that the texture may only be evident on close inspection, leaving the building to look like a plain concrete building from the street. It is suggested therefore that the textured finish to the façade should include strong horizontal 'joint' lines to reinforce the character of the nearby weatherboard dwellings.



20.



Above: Examples of concrete walls with horizontal joint lines

v. Change the proposed front fence to be consistent with Clause 22.02-5.7.2.

The above recommendation appears to have been met, although confirmation should be made on the drawings by adding the following note: "fence to be minimum 50% transparent"

RECOMMENDATIONS:

On heritage ground the application may be supported with the following recommendations:

- 1) That the overall height of the new development must be reduced to a maximum height of 7metres while maintaining the modified pitched roof;

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- 2) That the colour of the garage facade should be similar to the proposed concrete finish of the front wall, or perhaps slightly darker – not black;
- 3) That the textured concrete finish to the façade must include strong horizontal 'joint' lines to reinforce the character of the nearby weatherboard dwellings
- 4) That the proposed upper level window in gable end of façade must be deleted;
- 5) That the front fence must have a minimum transparency of 50%.

SIGNED:



Diahnn McIntosh

DATED: 2 July 2018