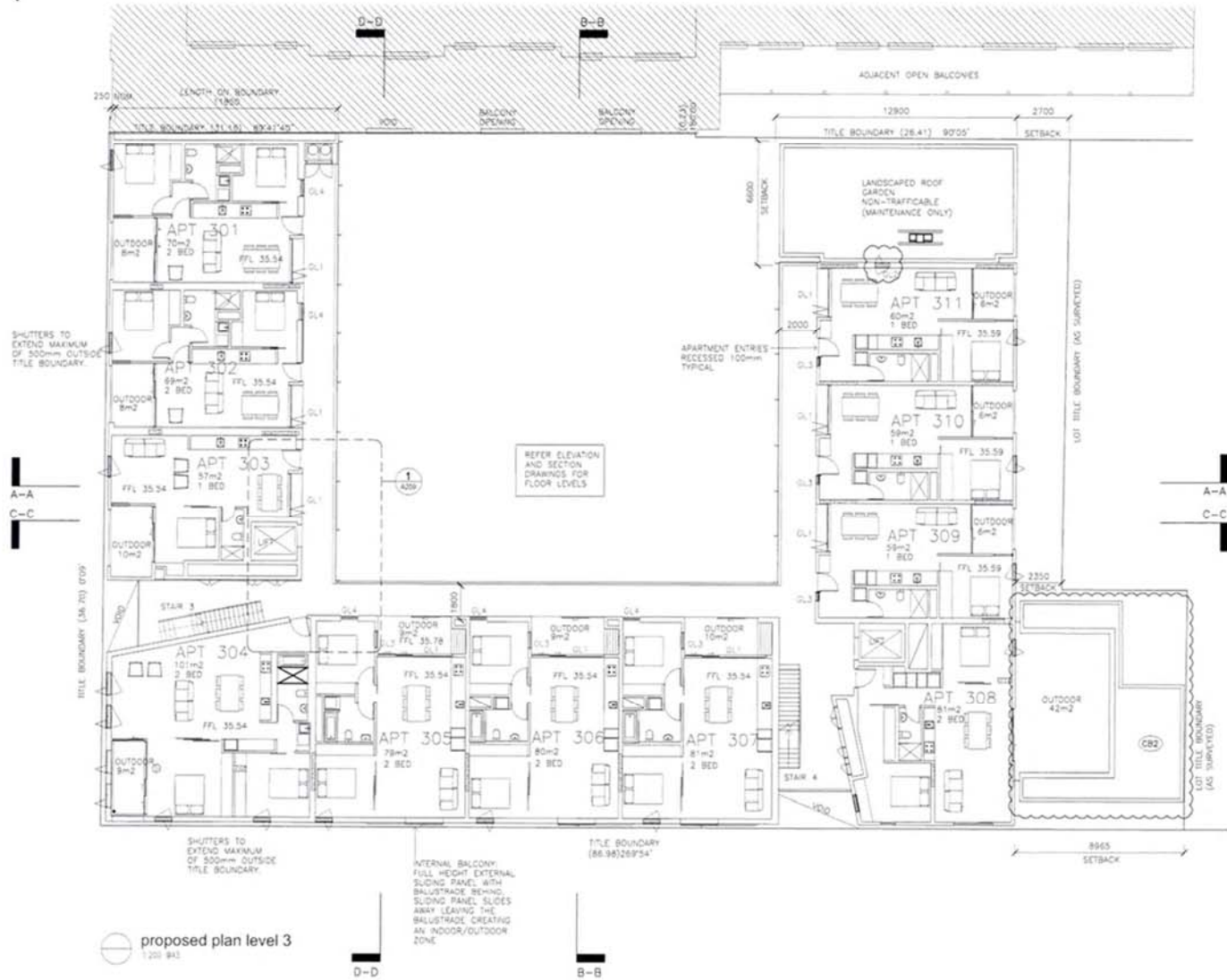


Attachment 1 - PLN11/0648.02 - 221 Kerr Street Fitzroy - Advertising S52 - Plans



GENERAL NOTES
REFER ADOO FOR GENERAL NOTES APPLICABLE TO THIS DRAWING

ABBREVIATIONS

- FFL FINISHED FLOOR LEVEL (TO AHD)
- EXSL EXISTING SLAB LEVEL (TO AHD)
- RL RELATIVE LEVEL (TO AHD)
- DP DOWNPIPE
- PS PRINCH SCREEN 1800 HIGH
- OCU OBTURATE CLASH
- SK SKYLIGHT
- SPD SOLID PANEL DOOR (2700 TALL)

MATERIALS

- BR1 NEW FACE BRICK
- BR2 HALF BRICK WORK
- CB1 PROFILED METAL CLADDING - 'GREY PEARL'
- CB2 COLORBOND METAL SHEET ROOFING - COLORBOND 'BASALT'
- CB3 METAL CLADDING - 'FACADE GREY'
- CM1 FIBRE CEMENT SHEET - NATURAL FINISH
- EXB EXISTING FACE BRICKWORK
- GL1 CLEAR GLAZING
- GL2 OBTURATE GLAZING
- GL3 CLEAR LOUVERS
- GL4 FULL HEIGHT OBTURATE GLAZING
- MS1 METAL MESH - NATURAL FINISH
- MS1A PERFORATED MESH - 'RED TONE'
- MS2 PERFORATED MESH - 'GREY PEARL'
- MS3 STAINLESS STEEL SCREEN
- MT1 METAL BALLSTRADES
- WT1 TIMBER CLADDING - CLEAR/NATURAL FINISH

APARTMENT ENTRIES RECESSED 100mm FROM EXTERIOR SURFACE OF APARTMENT

NOT FOR CONSTRUCTION

ISSUE	DATE	COMMENTS
TP1	24.08.11	PLANNING PERMIT
TP2	28.09.11	RESPONSE TO REQUEST FOR FURTHER INFORMATION - TITLE INFORMATION
TP3	16.02.12	AMENDED PLANNING PERMIT
TP4	12.05.14	PERMIT CONDITION AMENDMENTS
TP5	10.10.16	PERMIT CONDITION AMENDMENTS
TP6	14.03.17	PERMIT CONDITION AMENDMENTS
TP7	15.06.17	PERMIT CONDITION AMENDMENTS
TP8	14.09.17	TOWN PLANNING AMENDMENT
TP9	22.11.17	TOWN PLANNING AMENDMENT

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tel: (03) 8662 8800 fax: (03) 8662 8899
email: kta@kerstinthompson.com

Drawing title
DESIGN RESPONSE
PROPOSED PLAN LEVEL 3

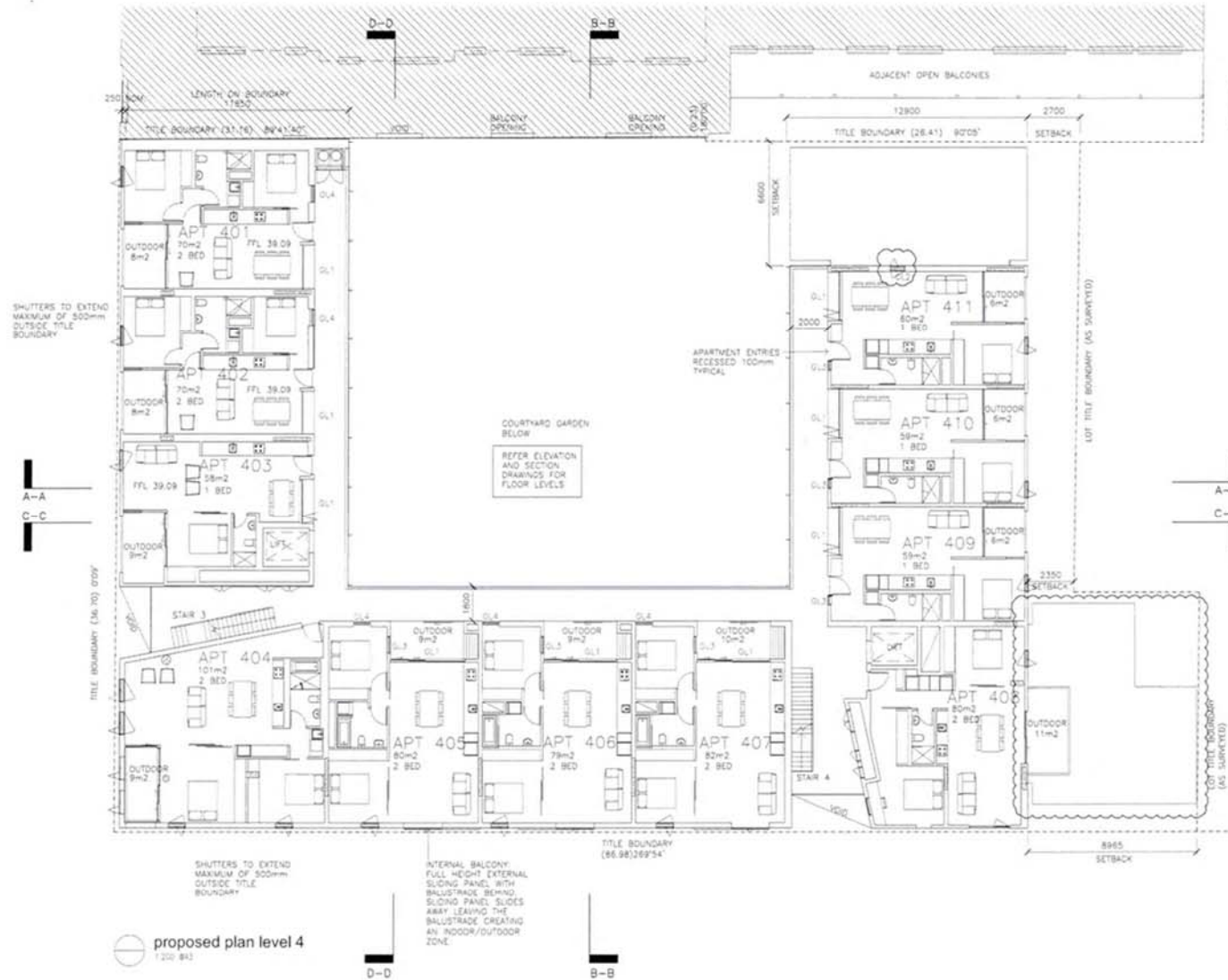
project
RESIDENTIAL DEVELOPMENT
221 KERR STREET FITZROY
for BLKERR PROPERTY P/L

DATE	DRAWN BY	DRAWING NO.	REV
OCT 2017	LLO	A105	TP9

scale 1:200@A3 project KERR
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TOWN PLANNING

Attachment 1 - PLN11/0648.02 - 221 Kerr Street Fitzroy - Advertising S52 - Plans



GENERAL NOTES
REFER ADDO FOR GENERAL NOTES APPLICABLE TO THIS DRAWING

ABBREVIATIONS

- FFL FINISHES FLOOR LEVEL (TO AHD)
- EXSL EXISTING SLAB LEVEL (TO AHD)
- RL RELATIVE LEVEL (TO AHD)
- OP OPENING
- PS PRIVACY SCREEN 1800 HIGH
- OC OBSCURE GLASS
- SK SKYLIGHT
- SPD SOLID PANEL DOOR (2700 TALL)

MATERIALS

- BR1 NEW FACE BRICK
- BR2 HIT&MISS BRICK WORK
- CB1 PROFILED METAL CLADDING - 'GREY PEARL'
- CB2 COLORBOND METAL SHEET ROOFING - COLORBOND BRSALT
- CB3 METAL CLADDING - 'FACADE GREY'
- CM1 FIBRE CEMENT SHEET - NATURAL FINISH
- EXB EXISTING FACE BRICKWORK
- GL1 CLEAR GLAZING
- GL2 OBSCURE GLAZING
- GL3 CLEAR Louvers
- GL4 FULL HEIGHT OBSCURE GLAZING
- MS1 METAL MESH - NATURAL FINISH
- MS1A PERFORATED MESH - RED TONE
- MS2 PERFORATED MESH - 'GREY PEARL'
- MS3 STAINLESS STEEL SCREEN
- MT1 METAL BALUSTRADES
- VT1 TIMBER CLADDING - CLEAR/NATURAL FINISH

APARTMENT ENTRIES RECESSED A MINIMUM 100mm FROM EXTERNAL FACE OF APARTMENT

NOT FOR CONSTRUCTION

ISSUE	DATE	COMMENTS
TP1	10.10.18	PERMIT CONDITION AMENDMENTS
TP2	14.03.17	PERMIT CONDITION AMENDMENTS
TP3	15.05.17	PERMIT CONDITION AMENDMENTS
TP3	15.05.17	PERMIT CONDITION AMENDMENTS
TP4	14.09.17	TOWN PLANNING AMENDMENT
TP5	02.11.17	TOWN PLANNING AMENDMENT

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drawing title
DESIGN RESPONSE
PROPOSED PLAN LEVEL 4

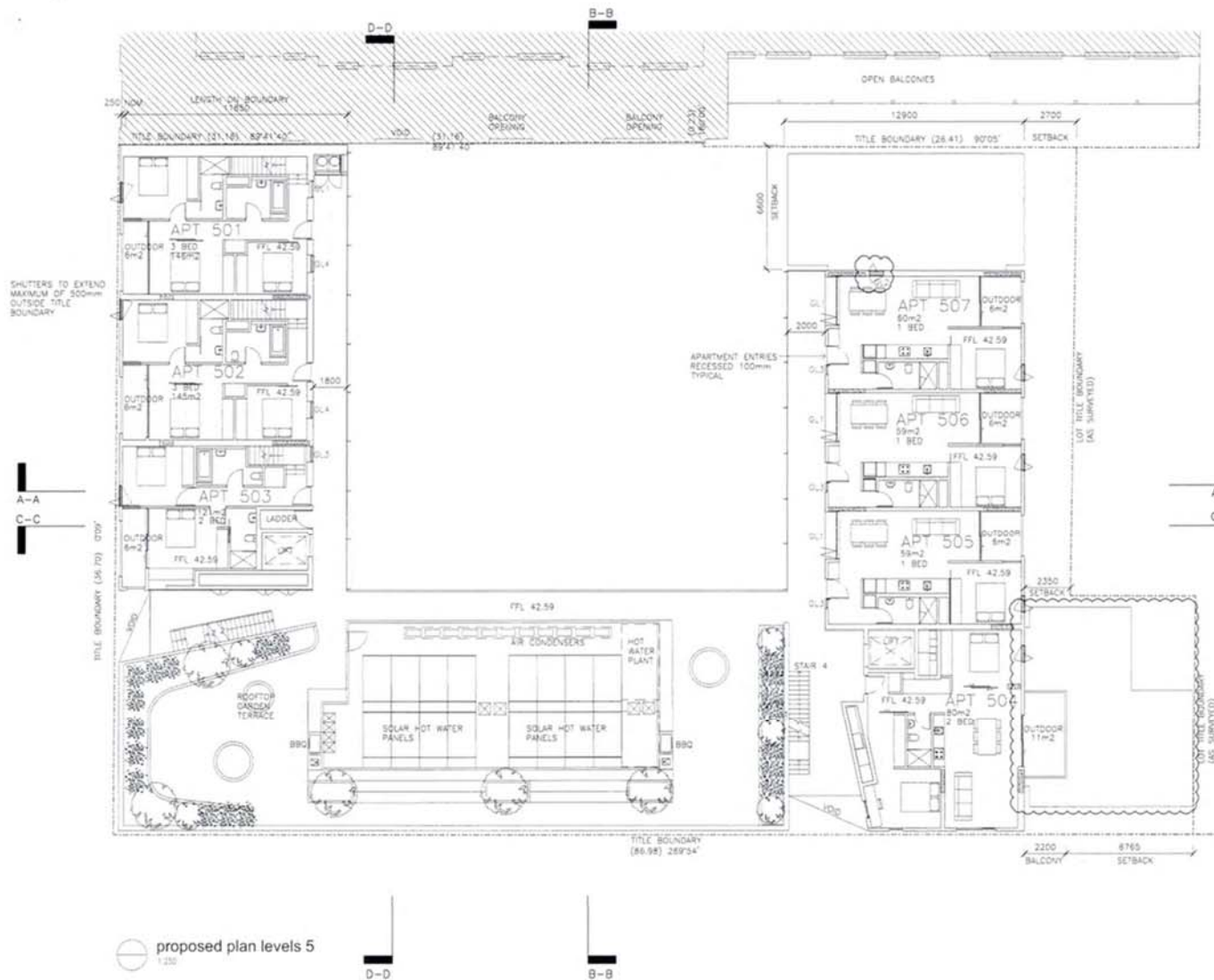
project
RESIDENTIAL DEVELOPMENT
at 221 KERR STREET FITZROY
for BULKERR PROPERTY P/L

date OCT 2017	drawn by LD	drawing no. A105A	rev TP5
scale 1:200@A3	project KERR		

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TOWN PLANNING

Attachment 1 - PLN11/0648.02 - 221 Kerr Street Fitzroy - Advertising S52 - Plans



GENERAL NOTES
 REFER ADD FOR GENERAL NOTES APPLICABLE TO THIS DRAWING

ABBREVIATIONS
 FFL FINISHED FLOOR LEVEL (TO 4HD)
 EXSL EXISTING SLAB LEVEL (TO 4HD)
 RL RELATIVE LEVEL (TO AHD)
 DP DOWNPIPE
 PS PRIVACY SCREEN

MATERIALS FINISHES
 BR1 NEW FACE BRICK
 BR2 HIT/MISS BRICK WORK
 CB1 PROFILED METAL CLADDING - 'GREY PEARL'
 CB2 COLORBOND METAL SHEET ROOFING - COLORBOND 'BASALT'
 CB3 METAL CLADDING - 'FACADE GREY'
 CM1 FIBRE CEMENT SHEET - NATURAL FINISH
 EXB EXISTING FACE BRICKWORK
 GL1 CLEAR GLAZING
 GL2 OBSCURE GLAZING
 GL3 CLEAR LOUVERS
 GL4 FULL HEIGHT OBSCURE GLAZING
 WS1 METAL MESH - NATURAL FINISH
 WS1A PERFORATED MESH - RED TONE
 WS2 PERFORATED MESH - 'GREY PEARL'
 WS3 STAINLESS STEEL SCREEN
 WT1 METAL BALUSTRADES
 WT1 TAPER CLADDING - CLEAR/NATURAL FINISH

APARTMENT ENTRIES RECESSED 100mm FROM EXTERNAL FACE OF APARTMENT

NOT FOR CONSTRUCTION

ISSUE	DATE	COMMENTS
TP1	04.08.11	PLANNING PERMIT
TP2	28.09.11	RESPONSE TO REQUEST FOR FURTHER INFORMATION - TITLE INFORMATION
TP3	18.08.12	AMENDED PLANNING PERMIT
TP4	12.05.14	PERMIT CONDITION AMENDMENTS
TP5	10.10.18	PERMIT CONDITION AMENDMENTS
TP6	14.03.17	PERMIT CONDITION AMENDMENTS
TP7	15.06.17	PERMIT CONDITION AMENDMENTS
TP8	14.09.17	TOWN PLANNING AMENDMENT
TP9	02.11.17	TOWN PLANNING AMENDMENT

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Drawing title
 DESIGN RESPONSE
 PROPOSED PLAN LEVEL 5

project
 RESIDENTIAL DEVELOPMENT
 at 221 KERR STREET FITZROY
 for BILKERR PROPERTY P/L

date	drawn by	drawing no.	rev
OCT 2017	LD	A106	TP9

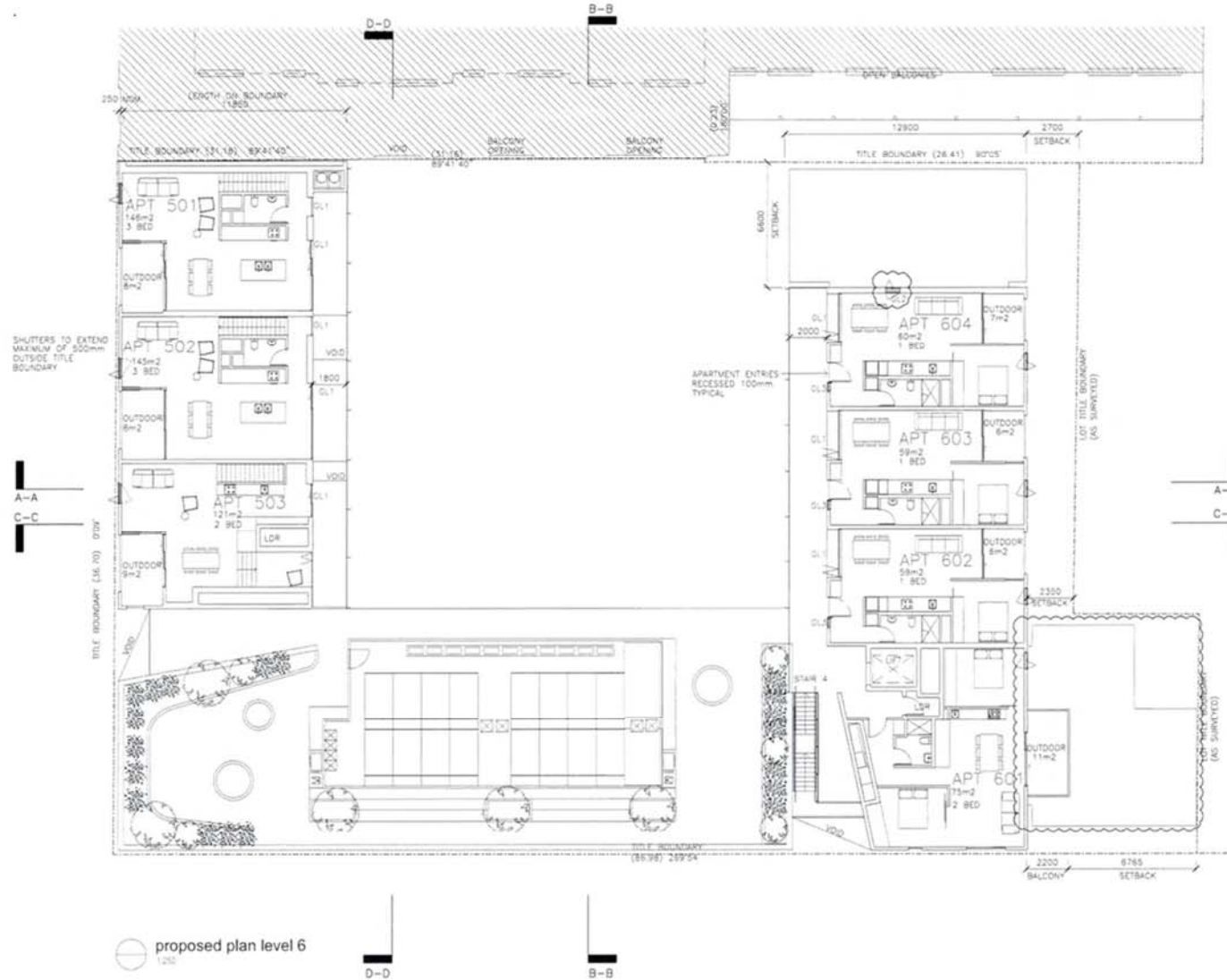
scale
 1:200

project
 KERR

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TOWN PLANNING

Attachment 1 - PLN11/0648.02 - 221 Kerr Street Fitzroy - Advertising S52 - Plans



GENERAL NOTES
REFER AGO FOR GENERAL NOTES APPLICABLE TO THIS DRAWING

ABBREVIATIONS
FFL FINISH FLOOR LEVEL (TO AHD)
EXSL EXISTING SLAB LEVEL (TO AHD)
RL RELATIVE LEVEL (TO AHD)
DP DRAINPIPE
PS PRIVACY SCREEN

MATERIALS FINISHES
BR1 HER FACE BRICK
BR2 HIT&MISS BRICK WORK
CB1 PROFILES METAL CLADDING - 'GREY PEARL'
CB2 COLORBOND METAL SHEET ROOFING - COLORBOND BASALT
CB3 METAL CLADDING - 'FACADE GREY'
CM1 FIBRE CEMENT SHEET - NATURAL FINISH
EXB EXISTING FACE BRICKWORK
GL1 CLEAR GLAZING
GL2 OBSCURE GLAZING
GL3 CLEAR LOUVERS
GL4 FULL HEIGHT OBSCURE GLAZING
M51 METAL MESH - NATURAL FINISH
M51A PERFORATED MESH - RED TONE
M52 PERFORATED MESH - 'GREY PEARL'
M53 STAINLESS STEEL SCREEN
M11 METAL BALUSTRADES
W1 TIMBER CLADDING - CLEAR/NATURAL FINISH

APARTMENT ENTRIES RECESSED A MINIMUM 100mm FROM EXTERNAL FACE OF APARTMENT

NOT FOR CONSTRUCTION

ISSUE	DATE	COMMENTS
TR1	10.10.18	PERMIT CONDITION AMENDMENTS
TR2	14.03.17	PERMIT CONDITION AMENDMENTS
TR2	15.06.17	PERMIT CONDITION AMENDMENTS
TP4	14.09.17	TOWN PLANNING AMENDMENT
TP6	02.11.17	TOWN PLANNING AMENDMENT

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Drawing title
DESIGN RESPONSE
PROPOSED PLAN LEVEL 6

project
RESIDENTIAL DEVELOPMENT
at 221 KERR STREET FITZROY
for BILKERR PROPERTY P/L

date	drawn by	drawing no.	rev
OCT 2017	LD	A106A	TP5
scale	project		
1:200	KERR		

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TOWN PLANNING

Attachment 1 - PLN11/0648.02 - 221 Kerr Street Fitzroy - Advertising S52 - Plans



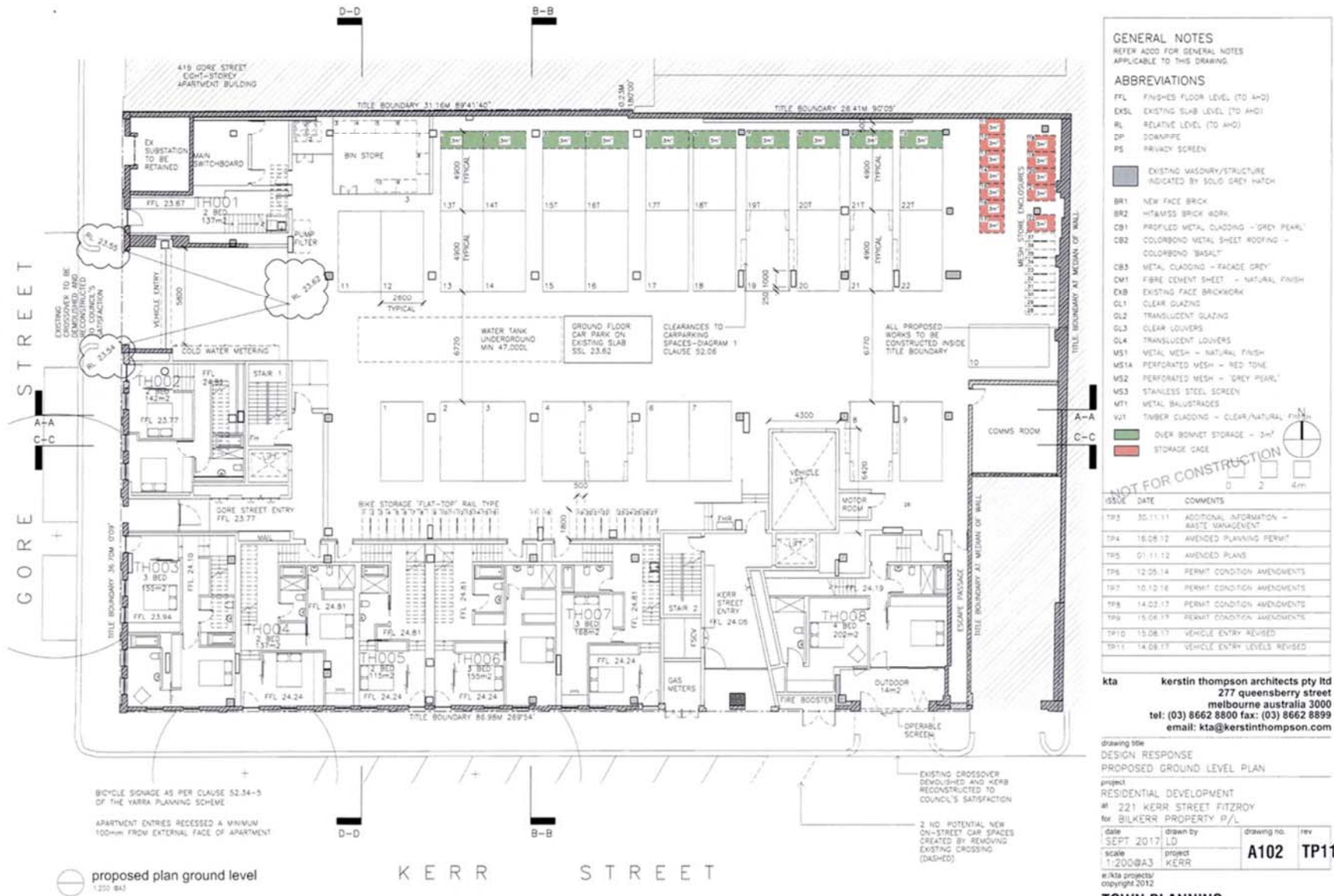
proposed south elevation
1:200 BA1

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GENERAL NOTES	ABBREVIATIONS	MATERIAL FINISHES	ISSUE	DATE	COMMENTS
REFER ADDO FOR GENERAL NOTES APPLICABLE TO THIS DRAWING.	FFL FINISHES FLOOR LEVEL (TO AHD)	BR1 NEW FACE BRICK	TP1	04.08.11	PLANNING PERMIT
	EXSL EXISTING SLAB LEVEL (TO AHD)	BR2 HIFAMISS BRICK WORK	TP2	16.06.12	AMENDED PLANNING PERMIT
	RL RELATIVE LEVEL (TO AHD)	CB1 PROFILED METAL CLADDING - 'TOREY PEARL'	TP3	12.05.14	PERMIT CONDITION AMENDMENTS
	DP DOWNPIPE	CB2 COLORBOND METAL SHEET ROOFING -COLORBOND 'BASALT'	TP4	10.10.16	PERMIT CONDITION AMENDMENTS
	PS PRIVACY SCREEN	CB3 METAL CLADDING - 'FACADE GREY'	TP5	14.03.17	PERMIT CONDITION AMENDMENTS
		CM1 FIBRE CEMENT SHEET - NATURAL FINISH	TP6	15.06.17	PERMIT CONDITION AMENDMENTS
		EXB EXISTING FACE BRICKWORK	TP7	14.09.17	TOWN PLANNING AMENDMENT
		GL1 CLEAR GLAZING	TP8	02.11.18	WALL HEIGHT ADDED TO SE BOUNDARY
		GL2 TRANSLUCENT GLAZING			ADDED BALCONY OPENING TO APT 209
		GL3 CLEAR LOUVERS			
		GL4 TRANSLUCENT LOUVERS			
		MS1 METAL MESH - NATURAL FINISH			
		MS1A PERFORATED MESH - RED TONE			
		MS2 PERFORATED MESH - 'GREY PEARL'			
		MS3 STAINLESS STEEL SCREEN			
		MT1 METAL BALUSTRADES			
		MT2 TIMBER CLADDING - CLEAR/NATURAL FINISH			

drawing title			
DESIGN RESPONSE			
PROPOSED SOUTH ELEVATION			
project			
RESIDENTIAL DEVELOPMENT			
at 221 KERR STREET FITZROY			
for BILKERR PROPERTY P/L			
date	drawn by	drawing no.	rev
OCT 2017	LD	A200	TP8
scale	project		
1:200 @A3	KERR		
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TOWN PLANNING			

Attachment 1 - PLN11/0648.02 - 221 Kerr Street Fitzroy - Advertising S52 - Plans



GENERAL NOTES
REFER A200 FOR GENERAL NOTES APPLICABLE TO THIS DRAWING.

ABBREVIATIONS

- FFL FINISHES FLOOR LEVEL (TO AHD)
- EXSL EXISTING SLAB LEVEL (TO AHD)
- RL RELATIVE LEVEL (TO AHD)
- DP DOWNPIPE
- PS PRIVACY SCREEN

EXISTING MASONRY/STRUCTURE INDICATED BY SOLID GREY HATCH

- BR1 NEW FACE BRICK
- BR2 HIT/MISS BRICK WORK
- CB1 PROFILED METAL CLADDING - "GREY PEARL"
- CB2 COLORBOND METAL SHEET ROOFING - COLORBOND "BASALT"
- CB3 METAL CLADDING - "FACADE GREY"
- CM1 FIBRE CEMENT SHEET - NATURAL FINISH
- EXB EXISTING FACE BRICKWORK
- GL1 CLEAR GLAZING
- GL2 TRANSLUCENT GLAZING
- GL3 CLEAR LOUVERS
- GL4 TRANSLUCENT LOUVERS
- MS1 METAL MESH - NATURAL FINISH
- MS1A PERFORATED MESH - RED TONE
- MS2 PERFORATED MESH - "GREY PEARL"
- MS3 STAINLESS STEEL SCREEN
- MT1 METAL BALUSTRADES
- V21 TIMBER GLAZING - CLEAR/NATURAL FINISH

OVER BONNET STORAGE - 3m²
STORAGE CAGE

NOT FOR CONSTRUCTION

ISSUE	DATE	COMMENTS
TR3	30.11.11	ADDITIONAL INFORMATION - WASTE MANAGEMENT
TR4	16.08.12	AMENDED PLANNING PERMIT
TR5	01.11.12	AMENDED PLANS
TR6	12.05.14	PERMIT CONDITION AMENDMENTS
TR7	10.12.16	PERMIT CONDITION AMENDMENTS
TR8	14.02.17	PERMIT CONDITION AMENDMENTS
TR9	15.06.17	PERMIT CONDITION AMENDMENTS
TR10	15.06.17	VEHICLE ENTRY REVISED
TR11	14.06.17	VEHICLE ENTRY LEVELS REVISED

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Drawing title
DESIGN RESPONSE
PROPOSED GROUND LEVEL PLAN

project
RESIDENTIAL DEVELOPMENT
#1 221 KERR STREET FITZROY
for BILKERR PROPERTY P/L

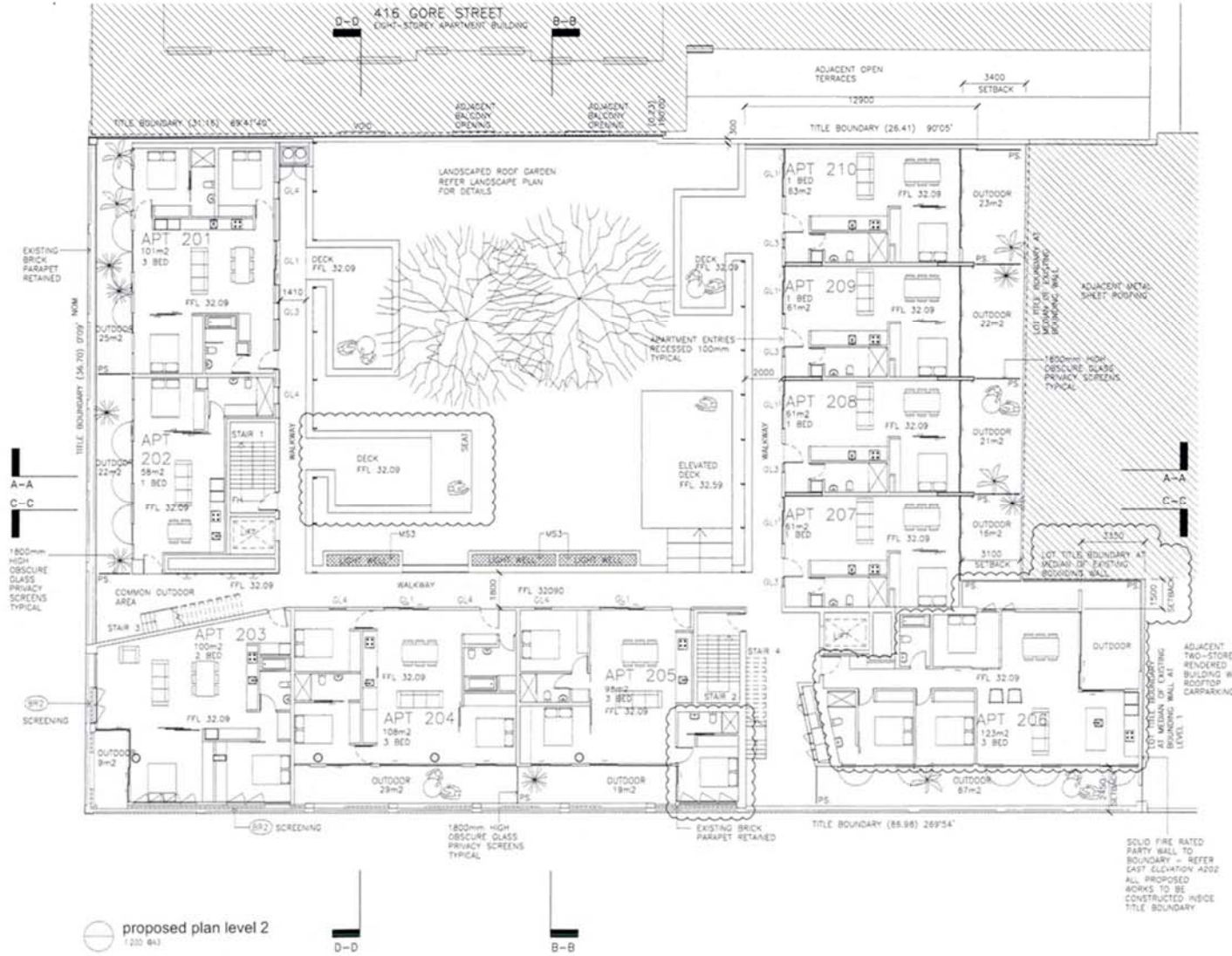
date	drawn by	drawing no.	rev
SEPT 2017	LD	A102	TP11

scale project
1:200@A3
KERR

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TOWN PLANNING

Attachment 1 - PLN11/0648.02 - 221 Kerr Street Fitzroy - Advertising S52 - Plans



GENERAL NOTES
REFER ADD FOR GENERAL NOTES APPLICABLE TO THIS DRAWING.

ABBREVIATIONS
 FFL FINISHES FLOOR LEVEL (TO AHD)
 EXSL EXISTING SLAB LEVEL (TO AHD)
 RL RELATIVE LEVEL (TO AHD)
 DP DOWNPIPE
 PS PRIVACY SCREEN 1800 HIGH
 OBL OBLISCURE GLASS
 SK SKYLIGHT
 SPD SOLID PANEL DOOR (2700 TALL)

MATERIALS
 BR1 NEW FACE BRICK
 BR2 HT&MS BRICK WORK
 CB1 PROFILED METAL CLADDING - 'GREY PEARL'
 CB2 COLORBOND METAL SHEET ROOFING - COLORBOND BASALT
 CB3 METAL CLADDING - 'FACADE GREY'
 CM1 FIBRE CEMENT SHEET - NATURAL FINISH
 EXB EXISTING FACE BRICKWORK
 GL1 CLEAR GLAZING
 GL2 OBLISCURE GLAZING
 GL3 CLEAR LUNERS
 GL4 FULL HEIGHT OBLISCURE GLAZING
 MS1 METAL MESH - NATURAL FINISH
 MS1A PERFORATED MESH - RED TONE
 MS2 PERFORATED MESH - 'GREY PEARL'
 MS3 STAINLESS STEEL SCREEN
 MT1 METAL BALUSTRADES
 VJ1 TIMBER CLADDING - CLEAR/NATURAL FINISH

CONSTRUCTION
 APARTMENT ENTRIES RECESSED A MINIMUM 100mm FROM EXTERNAL FACE OF APARTMENT

ISSUE	DATE	COMMENTS
TP1	04.08.17	PLANNING PERMIT
TP2	28.09.17	RESPONSE TO REQUEST FOR FURTHER INFORMATION - TITLE INFORMATION
TP3	16.08.18	AMENDED PLANNING PERMIT
TP4	12.05.14	PERMIT CONDITION AMENDMENTS
TP5	10.10.16	PERMIT CONDITION AMENDMENTS
TP6	14.03.17	PERMIT CONDITION AMENDMENTS
TP7	15.06.17	PERMIT CONDITION AMENDMENTS
TP8	14.09.17	TOWN PLANNING AMENDMENT

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Drawing title
 DESIGN RESPONSE
 PROPOSED PLAN LEVEL 2

project
 RESIDENTIAL DEVELOPMENT
 # 221 KERR STREET FITZROY
 for BLKERR PROPERTY P/L

date	drawn by	drawing no.	rev
SEPT 2017	LD	A104	TP8

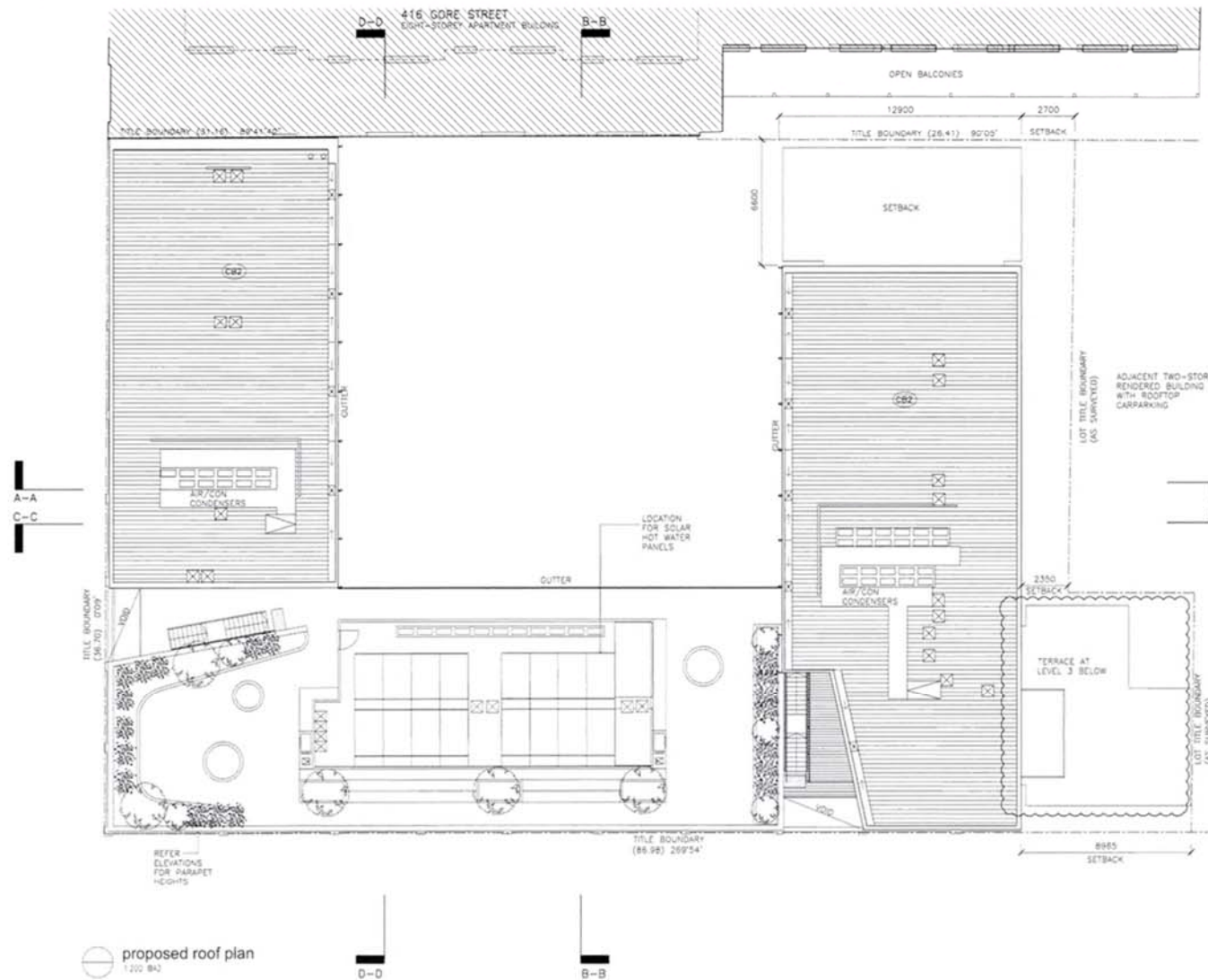
scale
 1:200@A3

project
 KERR

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TOWN PLANNING

Attachment 1 - PLN11/0648.02 - 221 Kerr Street Fitzroy - Advertising S52 - Plans



GENERAL NOTES
REFER ADD FOR GENERAL NOTES APPLICABLE TO THIS DRAWING.

ABBREVIATIONS
 FFL FINISHES FLOOR LEVEL (TO AHJ)
 EXSL EXISTING SLAB LEVEL (TO AHJ)
 RL RELATIVE LEVEL (TO AHJ)
 DP DRAINPIPE
 PS PRIVACY SCREEN

MATERIALS FINISHES
 BR1 NEW FACE BRICK
 BR2 HT/MISS BRICK WORK
 CB1 PROFILED METAL CLADDING - 'GREY PEARL'
 CB2 COLORBOND METAL SHEET ROOFING - COLORBOND 'BASALT'
 CB3 METAL CLADDING - 'FACADE GREY'
 CV1 FIBRE CEMENT SHEET - 'NATURAL FINISH'
 EXB EXISTING FACE BRICKWORK
 GL1 CLEAR GLAZING
 GL2 OBSCURE GLAZING
 GL3 CLEAR GLAZERS
 GL4 FULL HEIGHT OBSCURE GLAZING
 MS1 METAL MESH - 'NATURAL FINISH'
 MS1A PERFORATED MESH - RED TONE
 MS2 PERFORATED MESH - 'GREY PEARL'
 MS3 STAINLESS STEEL SCREEN
 MY1 METAL BALUSTRADES
 VV1 TIMBER CLADDING - CLEAR/NATURAL FINISH

NOT FOR CONSTRUCTION

ISSUE	DATE	COMMENTS
TP1	04.08.11	PLANNING PERMIT
TP2	16.08.12	AMENDED PLANNING PERMIT
TP3	12.05.14	PERMIT CONDITION AMENDMENTS
TP4	10.10.16	PERMIT CONDITION AMENDMENTS
TP5	14.02.17	PERMIT CONDITION AMENDMENTS
TP6	14.06.17	PERMIT CONDITION AMENDMENTS
TP7	14.09.17	TOWN PLANNING AMENDMENT

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 email: kta@kerstinthompson.com

Drawing title
 DESIGN RESPONSE
 PROPOSED ROOF PLAN

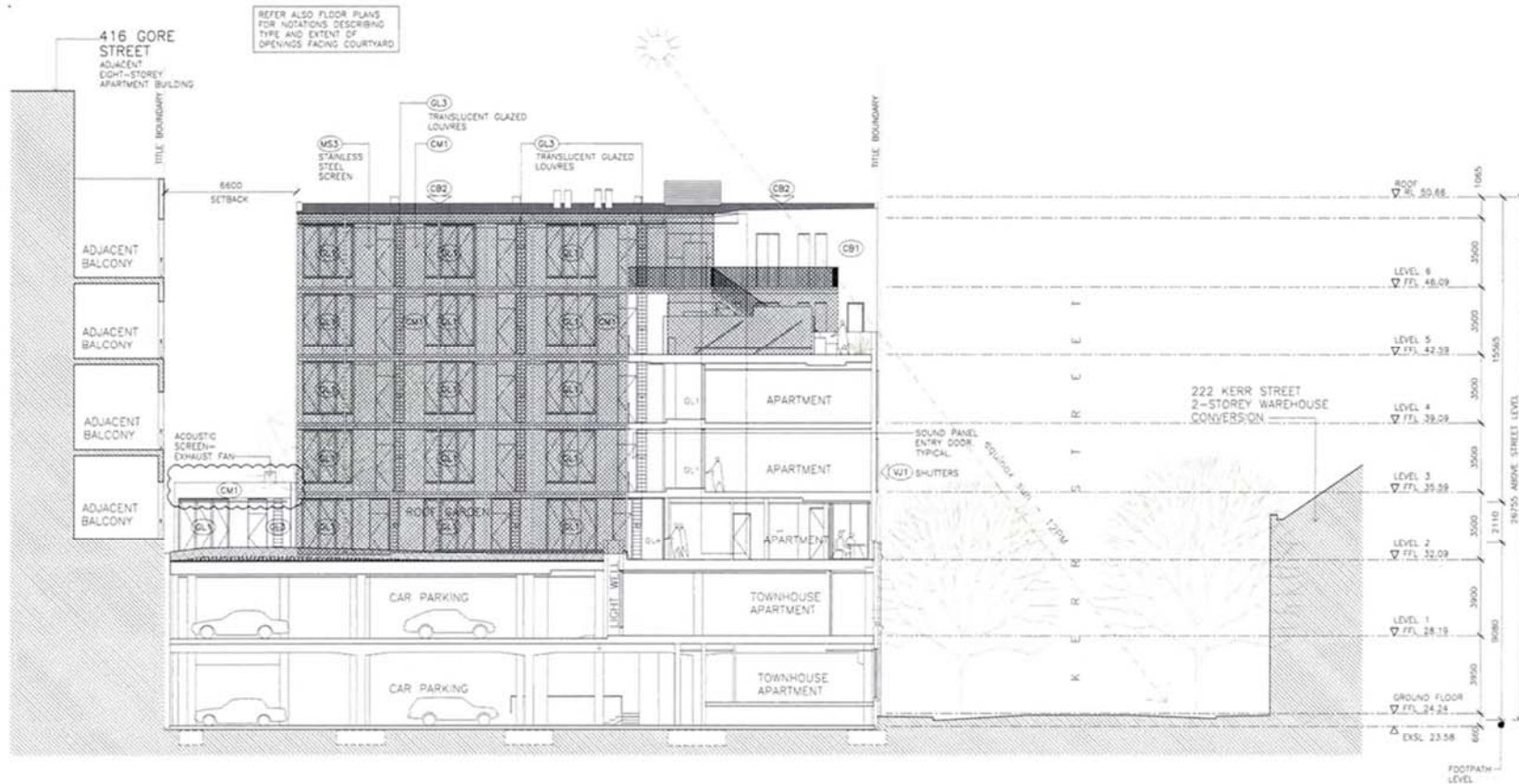
project
 MIXED USE DEVELOPMENT
 # 221 KERR STREET FITZROY
 for BILKERR PROPERTY P/L

date	drawn by	drawing no.	rev
SEPT 2017	LD	A108	TP7
scale	project		
1:200 @A3	KERR		

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TOWN PLANNING

Attachment 1 - PLN11/0648.02 - 221 Kerr Street Fitzroy - Advertising S52 - Plans



proposed section B-B
1:200 @A3

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GENERAL NOTES	ABBREVIATIONS	MATERIAL FINISHES	ISSUE DATE COMMENTS
REFER ABOVE FOR GENERAL NOTES APPLICABLE TO THIS DRAWING.	FFL FINISHES FLOOR LEVEL (TO AHD) EXSL EXISTING SLAB LEVEL (TO AHD) RL RELATIVE LEVEL (TO AHD) DP DOWNPIPE	BR1 NEW FACE BRICK BR2 HITNESS BRICK WORK CB1 PROFILED METAL CLADDING - 'GREY PEARL' CB2 COLORBOND METAL SHEET ROOFING - COLORBOND 'BASALT' CB3 METAL CLADDING - 'FACADE' CM1 FIBRE CEILING SHEET - NATURAL FINISH EX8 EXISTING FACE BRICKWORK GL1 CLEAR GLAZING GL2 OBSCURE GLAZING GL3 CLEAR LOUVRES	TP1 04.08.11 PLANNING PERMIT TP2 28.09.11 RESPONSE TO REQUEST FOR FURTHER INFORMATION - TITLE INFORMATION TP3 18.08.12 AMENDED PLANNING PERMIT TP4 12.05.14 PERMIT CONDITION AMENDMENTS TP5 10.10.16 PERMIT CONDITION AMENDMENTS TP7 10.08.17 PERMIT CONDITION AMENDMENTS TP8 14.09.17 PERMIT CONDITION AMENDMENTS
		GL4 FULL HEIGHT OBSCURE GLAZING M51 METAL MESH - 'NATURAL FINISH' M51A PERFORATED MESH - RED TONE M52 PERFORATED MESH - 'GREY PEARL' M53 STAINLESS STEEL SCREEN MT1 METAL BALUSTRADES W1 TUBER GLAZING - CLEAR/NATURAL FINISH	
		0 2 4m	NOT FOR CONSTRUCTION

drawing title
DESIGN RESPONSE
PROPOSED SECTION B-B

project
RESIDENTIAL DEVELOPMENT
221 KERR STREET FITZROY
for BILKERR PROPERTY P/L

date 15 SEP 2017 drawn by LD
scale 1:200@A3 project KERR drawing no: A205 rev TP8

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TOWN PLANNING

Attachment 2 - PLN11/0648.02 - 221 Kerr Street Fitzroy - Further Information Provided

__KERSTINTHOMPSONARCHITECTS



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Australia 3000
ABN 31 067 225 487
T +61 3 8662 8800
kta@kerstinthompson.com
www.kerstinthompson.com

02.11.17

Dear Sarah

Re: 221 Kerr St, Fitzroy PLN11/0648-Response to Request for further information requested

Find enclosed the amended plans as requested on your letter dated 09/10/17. Please note the following:

1. Find enclosed the copy of the certificate of title dated 13/10/17
2. Find enclosed Drawing A200 Rev TP8 that shows the wall height of the modified apartment APT 206 in metres above natural ground level

To respond to the Preliminary Assessment please note the following:

- A. We have created another opening in the 'hit and miss' brickwork adjacent to the sliding glazed door that will provide further daylight and ventilation.
- B. The Glazing to the new north-facing windows will be Obscure. We have updated our plans to reflect this. Please refer to the following drawings attached:
 - A105 Rev TP9
 - A105A Rev TP5
 - A106 Rev TP9
 - A106A Rev TP5

Yours sincerely,

A handwritten signature in blue ink, appearing to read 'ERD'.

ERICA DIAKOFF
SENIOR PROJECT ARCHITECT

Attachment 2 - PLN11/0648.02 - 221 Kerr Street Fitzroy - Further Information Provided

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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 10441 FOLIO 655

Security no : 124068591688V
Produced 13/10/2017 02:25 pm

LAND DESCRIPTION

Lot S2 on Plan of Subdivision 419649H.
PARENT TITLE Volume 09449 Folio 599
Created by instrument PS419649H 11/05/1999

REGISTERED PROPRIETOR

Estate Fee Simple
TENANTS IN COMMON
As to 1 of a total of 2 equal undivided shares
Sole Proprietor
PHILKERR PROPERTY PTY LTD of 190 KERR ST. FITZROY 3065
As to 1 of a total of 2 equal undivided shares
Sole Proprietor
BILKERR PROPERTY PTY LTD of 190 KERR ST. FITZROY 3065
X178967C 28/11/2000

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE X178968Y 28/11/2000
NATIONAL AUSTRALIA BANK LTD

CAVEAT as to part AN290813Y 18/11/2016

Caveator
CITIPOWER PTY LTD
Grounds of Claim
LEASE WITH THE FOLLOWING PARTIES AND DATE.
Parties
THE REGISTERED PROPRIETOR(S)
Date
10/11/2016
Estate or Interest
LEASEHOLD ESTATE
Prohibition
ANY INSTRUMENT THAT AFFECTS MY/OUR INTEREST
Lodged by
CITIPOWER PTY LTD
Notices to
CITIPOWER PTY LTD of 40 MARKET STREET MELBOURNE VIC 3000

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE PS419649H FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

Attachment 2 - PLN11/0648.02 - 221 Kerr Street Fitzroy - Further Information Provided

NUMBER	PLAN (PS) X32	STATUS	DATE
PS419649H/D3 (S)		Unregistered	09/10/2017
AQ274725L (E)	NOMINATION TO PAPER INST.	Completed	21/09/2017

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

ADMINISTRATIVE NOTICES

AQ274725L NOMINATION TO PAPER INST. 21/09/2017
eCT Nominated to Plan of Subdivision PS419649H Version B TO Bilkerr Property
Pty Ltd, Philkerr Property Pty Ltd

eCT Control 16089P NATIONAL AUSTRALIA BANK LIMITED
Effective from 22/10/2016

OWNERS CORPORATIONS

The land in this folio is affected by
OWNERS CORPORATION 1 PLAN NO. PS419649H

DOCUMENT END

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Department of Environment, Land, Water & Planning

Owners Corporation Search Report

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Produced: 13/10/2017 02:26:38 PM

OWNERS CORPORATION 1
PLAN NO. PS419649H

The land in PS419649H is affected by 3 Owners Corporation(s)

Land Affected by Owners Corporation:

Common Properties 1 - 3, Lots 1, 3 - 37, 40, 42A, 45 - 56, S2, S4.

Limitations on Owners Corporation:

Unlimited

Postal Address for Service of Notices:

711 HIGH STREET KEW EAST VIC 3102
AK358912X 22/05/2013

Owners Corporation Manager:

NIL

Rules:

Model Rules apply unless a matter is provided for in Owners Corporation Rules. See Section 139(3) Owners Corporation Act 2006

Owners Corporation Rules:

1. PS419649H 11/05/1999

Notations:

1. Only the members of Owners Corporation 2 are entitled to use Common Property No.
- 2.
3. Only the members of Owners Corporation 3 are entitled to use Common Property No.

Entitlement and Liability:

NOTE - Folio References are only provided in a Premium Report.

Land Parcel	Entitlement	Liability

Attachment 2 - PLN11/0648.02 - 221 Kerr Street Fitzroy - Further Information Provided



Department of Environment, Land, Water & Planning

Owners Corporation Search Report

Common Property 1	0.00	0.00
Common Property 2	0.00	0.00
Common Property 3	0.00	0.00
Lot 1		
Lot 3	375.00	325.00
Lot 4	172.00	149.00
Lot 5	172.00	149.00
Lot 6	210.00	182.00
Lot 7	383.00	332.00
Lot 8	236.00	205.00
Lot 9	210.00	182.00
Lot 10	165.00	143.00
Lot 11	305.00	277.00
Lot 12	243.00	167.00
Lot 13	176.00	122.00
Lot 14	185.00	127.00
Lot 15	218.00	150.00
Lot 16	226.00	156.00
Lot 17	176.00	121.00
Lot 18	335.00	231.00
Lot 19	343.00	237.00
Lot 20	334.00	231.00
Lot 21	334.00	231.00
Lot 22	331.00	228.00
Lot 23	243.00	167.00
Lot 24	318.00	219.00
Lot 25	20.00	26.00
Lot 26	20.00	26.00
Lot 27	20.00	26.00
Lot 28	20.00	26.00
Lot 29	10.00	13.00
Lot 30	10.00	13.00
Lot 31	10.00	13.00
Lot 32	10.00	13.00
Lot 33	10.00	13.00
Lot 34	10.00	13.00
Lot 35	10.00	13.00
Lot 36	10.00	13.00
Lot 37	10.00	13.00
Lot 40	10.00	13.00
Lot 42A	10.00	13.00
Lot 45	10.00	13.00
Lot 46	10.00	13.00
Lot 47	10.00	13.00
Lot 48	10.00	13.00
Lot 49	10.00	13.00
Lot 50	10.00	13.00
Lot 51	10.00	13.00
Lot 52	10.00	13.00
Lot 53	10.00	13.00
Lot 54	20.00	26.00
Lot 55	20.00	26.00
Lot 56	30.00	39.00
Lot S2	30.00	39.00
Lot S4	4565.00	4565.00
	10.00	10.00
Total	10645.00	9400.00

From 31 December 2007 every Body Corporate is deemed to be an Owners Corporation. Any reference to a Body Corporate in any Plan, Instrument or Folio is to be read as a reference to an Owners Corporation.



**Department of Environment, Land, Water &
Planning**

Owners Corporation Search Report

Statement End.



Department of Environment, Land, Water & Planning

Owners Corporation Search Report

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Produced: 13/10/2017 02:26:41 PM

OWNERS CORPORATION 3
PLAN NO. PS419649H

The land in PS419649H is affected by 3 Owners Corporation(s)

Land Affected by Owners Corporation:

Common Property 3, Lots 11 - 23.

Limitations on Owners Corporation:

Limited to Common Property

Postal Address for Service of Notices:

711 HIGH STREET KEW EAST VIC 3102
AK358912X 22/05/2013

Owners Corporation Manager:

NIL

Rules:

Model Rules apply unless a matter is provided for in Owners Corporation Rules. See Section 139(3) Owners Corporation Act 2006

Owners Corporation Rules:

NIL

Notations:

Folio of the Register for Common Property No. 3 is in the name of Owners Corporation 1.

Entitlement and Liability:

NOTE - Folio References are only provided in a Premium Report.

Land Parcel	Entitlement	Liability
Common Property 3	0.00	0.00
Lot 11	243.00	167.00

Attachment 2 - PLN11/0648.02 - 221 Kerr Street Fitzroy - Further Information Provided



Department of Environment, Land, Water & Planning

Owners Corporation Search Report

Lot 12	176.00	122.00
Lot 13	185.00	127.00
Lot 14	218.00	150.00
Lot 15	226.00	156.00
Lot 16	176.00	121.00
Lot 17	335.00	231.00
Lot 18	343.00	237.00
Lot 19	334.00	231.00
Lot 20	334.00	231.00
Lot 21	331.00	228.00
Lot 22	243.00	167.00
Lot 23	318.00	219.00
Total	3462.00	2387.00

From 31 December 2007 every Body Corporate is deemed to be an Owners Corporation. Any reference to a Body Corporate in any Plan, Instrument or Folio is to be read as a reference to an Owners Corporation.

Statement End.

Attachment 2 - PLN11/0648.02 - 221 Kerr Street Fitzroy - Further Information Provided



Department of Environment, Land, Water & Planning

Owners Corporation Search Report

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OWNERS CORPORATION 2
PLAN NO. PS419649H

The land in PS419649H is affected by 3 Owners Corporation(s)

Land Affected by Owners Corporation:

Common Property 2, Lots 1, 3 - 10.

Limitations on Owners Corporation:

Limited to Common Property

Postal Address for Service of Notices:

711 HIGH STREET KEW EAST VIC 3102
AK358912X 22/05/2013

Owners Corporation Manager:

NIL

Rules:

Model Rules apply unless a matter is provided for in Owners Corporation Rules. See Section 139(3) Owners Corporation Act 2006

Owners Corporation Rules:

1. PS419649H 11/05/1999

Notations:

Members of Owners Corporation 2 are also affected by Owners Corporation 1. Folio of the Register for Common Property No. 2 is in the name of Owners Corporation 1.

Entitlement and Liability:

NOTE - Folio References are only provided in a Premium Report.

Land Parcel	Entitlement	Liability
Common Property 2	0.00	0.00





Department of Environment, Land, Water & Planning

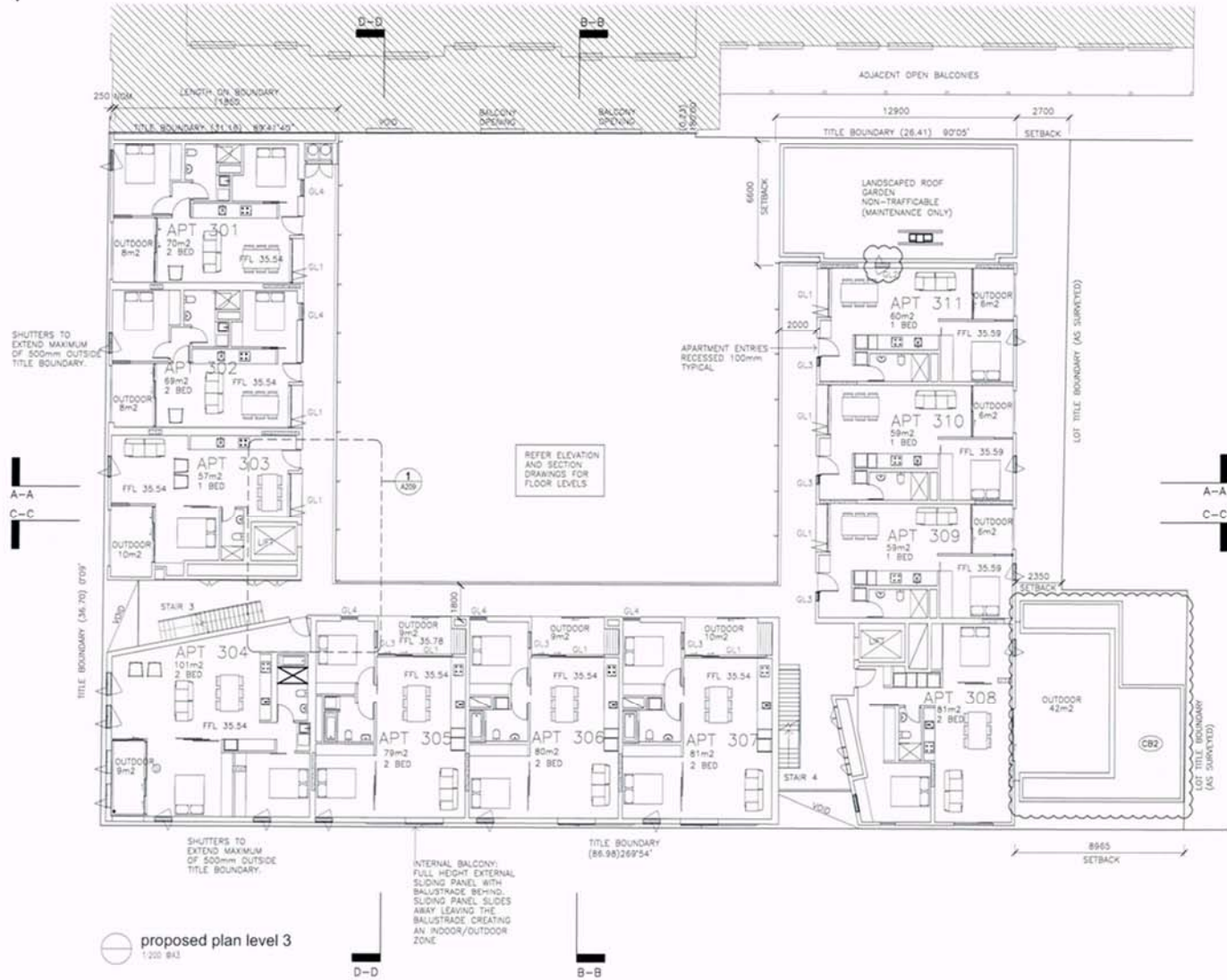
Owners Corporation Search Report

Lot 1	375.00	325.00
Lot 3	172.00	149.00
Lot 4	172.00	149.00
Lot 5	210.00	182.00
Lot 6	383.00	332.00
Lot 7	236.00	205.00
Lot 8	210.00	182.00
Lot 9	165.00	143.00
Lot 10	305.00	277.00
Total	2228.00	1944.00

From 31 December 2007 every Body Corporate is deemed to be an Owners Corporation. Any reference to a Body Corporate in any Plan, Instrument or Folio is to be read as a reference to an Owners Corporation.

Statement End.

Attachment 2 - PLN11/0648.02 - 221 Kerr Street Fitzroy - Further Information Provided



GENERAL NOTES
REFER ADOO FOR GENERAL NOTES APPLICABLE TO THIS DRAWING.

ABBREVIATIONS

- FFL FINISHES FLOOR LEVEL (TO AHD)
- EXSL EXISTING SLAB LEVEL (TO AHD)
- RL RELATIVE LEVEL (TO AHD)
- DP DOWNPIPE
- PS PRIVACY SCREEN 1800 HIGH
- OBSCURE GLASS
- SK SKYLIGHT
- SPD SOLID PANEL DOOR (2700 TALL)

MATERIALS

- BR1 NEW FACE BRICK
- BR2 HTAMISS BRICK WORK
- CB1 PROFILED METAL CLADDING - 'GREY PEARL'
- CB2 COLORBOND METAL SHEET ROOFING - COLORBOND 'BASALT'
- CB3 METAL CLADDING - 'FACADE GREY'
- CM1 FIBRE CEMENT SHEET - NATURAL FINISH
- EXB EXISTING FACE BRICKWORK
- GL1 CLEAR GLAZING
- GL2 OBSCURE GLAZING
- GL3 CLEAR LOUVERS
- GL4 FULL HEIGHT OBSCURE GLAZING
- MS1 METAL MESH - NATURAL FINISH
- MS1A PERFORATED MESH - RED TONE
- MS2 PERFORATED MESH - 'GREY PEARL'
- MS3 STAINLESS STEEL SCREEN
- MT1 METAL BALUSTRADES
- V21 TIMBER CLADDING - CLEAR/NATURAL FINISH

APARTMENT ENTRIES RECESSED MAXIMUM 100mm FROM EXTERIOR SURFACE OF APARTMENT

NOT FOR CONSTRUCTION

ISSUE	DATE	COMMENTS
TP1	04.08.11	PLANNING PERMIT
TP2	28.09.11	RESPONSE TO REQUEST FOR FURTHER INFORMATION - TITLE INFORMATION
TP3	18.08.12	AMENDED PLANNING PERMIT
TP4	12.05.14	PERMIT CONDITION AMENDMENTS
TP5	10.10.16	PERMIT CONDITION AMENDMENTS
TP6	14.03.17	PERMIT CONDITION AMENDMENTS
TP7	15.06.17	PERMIT CONDITION AMENDMENTS
TP8	14.09.17	TOWN PLANNING AMENDMENT
TP9	02.11.17	TOWN PLANNING AMENDMENT

cta kerstin thompson architects pty ltd
277 queensberry street
melbourne australia 3000
tel: (03) 8662 8800 fax: (03) 8662 8899
email: kta@kerstinthompson.com

Drawing title
DESIGN RESPONSE
PROPOSED PLAN LEVEL 3

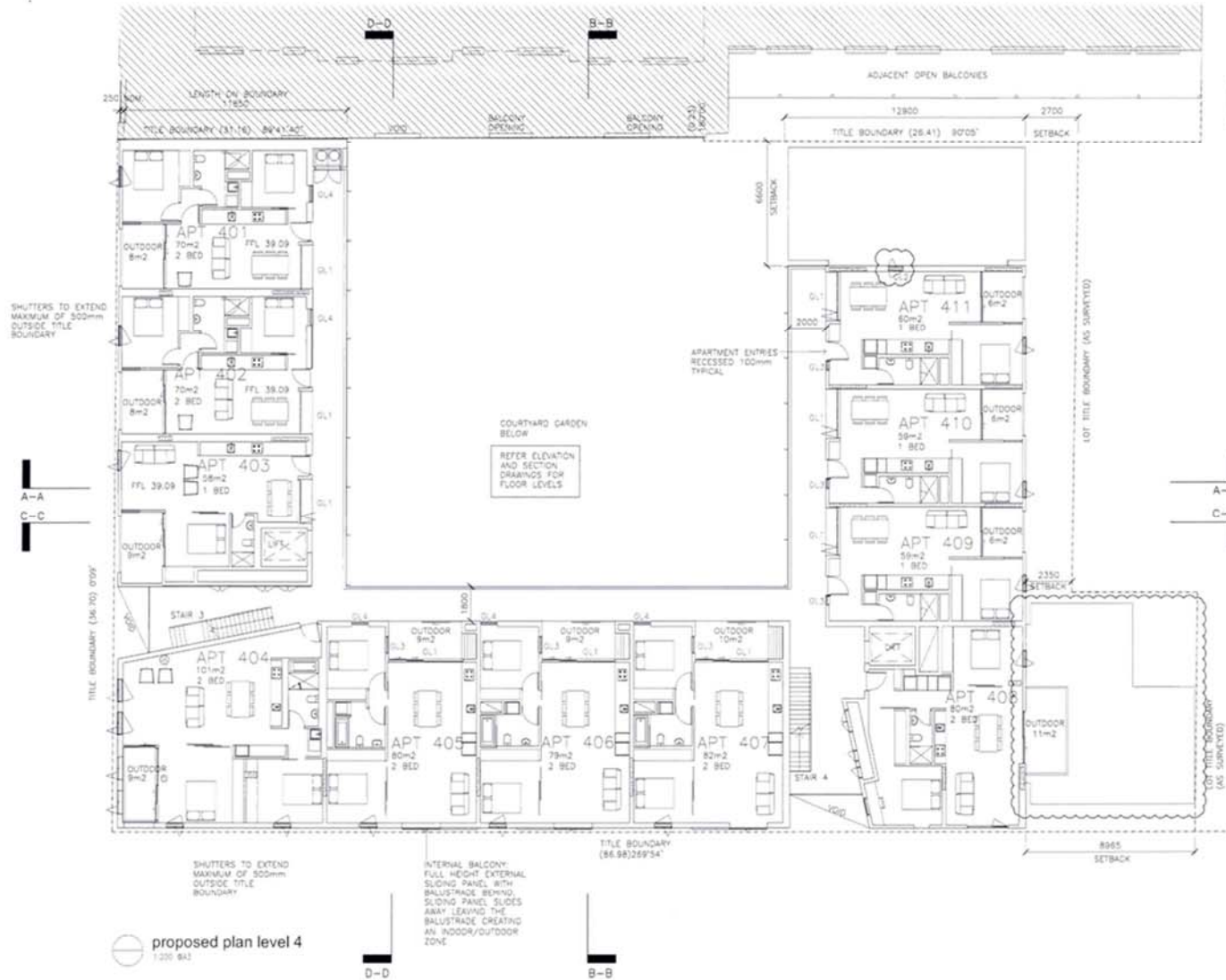
project
RESIDENTIAL DEVELOPMENT
#1 221 KERR STREET FITZROY
for BLKERR PROPERTY P/L

date	drawn by	drawing no.	rev
OCT 2017	LLO	A105	TP9

scale 1:200@A3 project KERR
e:\kta projects\ copyright 2012

TOWN PLANNING

Attachment 2 - PLN11/0648.02 - 221 Kerr Street Fitzroy - Further Information Provided



GENERAL NOTES
REFER ADOO FOR GENERAL NOTES APPLICABLE TO THIS DRAWING.

ABBREVIATIONS

- FFL FINISHES FLOOR LEVEL (TO AHD)
- EXSL EXISTING SLAB LEVEL (TO AHD)
- RL RELATIVE LEVEL (TO AHD)
- OP OPERABLE
- PS PRIVACY SCREEN 1800 HIGH OBSCURE GLASS
- SK SKYLIGHT
- SPD SOLID PANEL DOOR (2700 TALL)

MATERIALS

- BR1 NEW FACE BRICK
- BR2 HALF-BRICK BRICK WORK
- CB1 PROFILED METAL CLADDING - 'GREY PEARL'
- CB2 COLORBOND METAL SHEET ROOFING - COLORBOND 'BASALT'
- CB3 METAL CLADDING - 'FACADE GREY'
- CM1 FIBRE CEMENT SHEET - NATURAL FINISH
- EXB EXISTING FACE BRICKWORK
- GL1 CLEAR GLAZING
- GL2 OBSCURE GLAZING
- GL3 CLEAR Louvers
- GL4 FULL HEIGHT OBSCURE GLAZING
- MS1 METAL MESH - NATURAL FINISH
- MS1A PERFORATED MESH - RED TONE
- MS2 PERFORATED MESH - 'GREY PEARL'
- MS3 STAINLESS STEEL SCREEN
- MT1 METAL BALUSTRADES
- WT1 FIBER CLADDING - CLEAR/NATURAL FINISH

APARTMENT ENTRIES RECESSED A MINIMUM 100mm FROM EXTERNAL FACE OF APARTMENT

NOT FOR CONSTRUCTION

ISSUE	DATE	COMMENTS
TP1	12.10.18	PERMIT CONDITION AMENDMENTS
TP2	14.03.17	PERMIT CONDITION AMENDMENTS
TP3	15.06.17	PERMIT CONDITION AMENDMENTS
TP3	15.06.17	PERMIT CONDITION AMENDMENTS
TP4	14.09.17	TOWN PLANNING AMENDMENT
TP5	02.11.17	TOWN PLANNING AMENDMENT

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email: kta@kerstinthompson.com

Drawing title
DESIGN RESPONSE
PROPOSED PLAN LEVEL 4

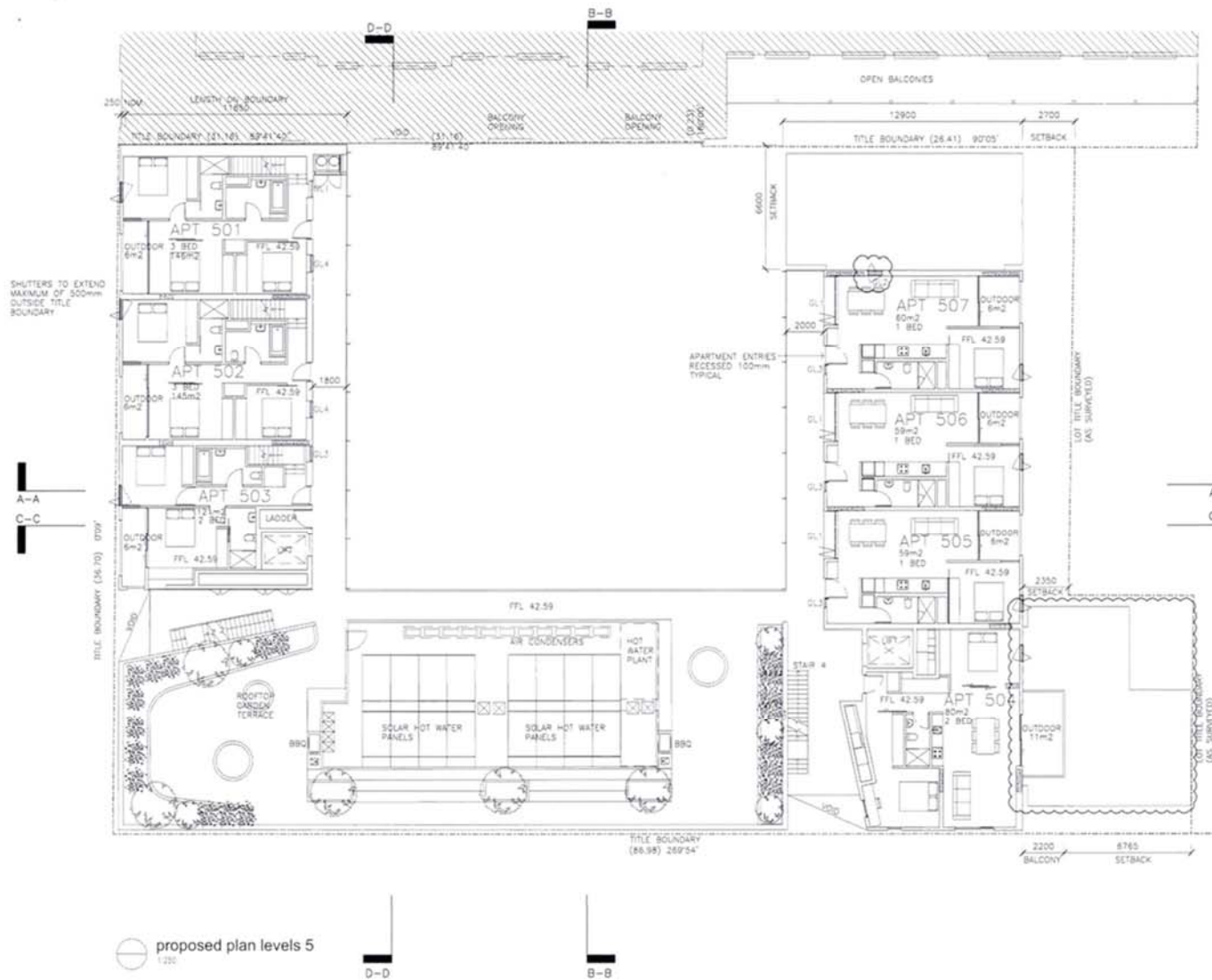
project
RESIDENTIAL DEVELOPMENT
at 221 KERR STREET FITZROY
for BULKERR PROPERTY P/L

date OCT 2017	LD	LD	drawing no. A105A	rev TP5
scale 1:200@AJ	project KERR			

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TOWN PLANNING

Attachment 2 - PLN11/0648.02 - 221 Kerr Street Fitzroy - Further Information Provided



GENERAL NOTES
 REFER A603 FOR GENERAL NOTES APPLICABLE TO THIS DRAWING.

ABBREVIATIONS
 FFL FINISHES FLOOR LEVEL (TO AHD)
 EXSL EXISTING SLAB LEVEL (TO AHD)
 RL RELATIVE LEVEL (TO AHD)
 DP DOWNPIPE
 PS PRIVACY SCREEN

MATERIALS FINISHES
 BR1 NEW FACE BRICK
 BR2 HIT/MISS BRICK WORK
 CB1 PROFILED METAL CLADDING - 'GREY PEARL'
 CB2 COLORBOND METAL SHEET ROOFING - COLORBOND 'BASALT'
 CB3 METAL CLADDING - 'FACADE GREY'
 CM1 FIBRE CEMENT SHEET - NATURAL FINISH
 EXB EXISTING FACE BRICKWORK
 GL1 CLEAR GLAZING
 GL2 OBSCURE GLAZING
 GL3 CLEAR LOUVERS
 GL4 FULL HEIGHT OBSCURE GLAZING
 WS1 METAL MESH - NATURAL FINISH
 WS1A PERFORATED MESH - RED TONE
 WS2 PERFORATED MESH - 'GREY PEARL'
 WS3 STAINLESS STEEL SCREEN
 WT1 METAL BALUSTRADES
 W1 TABER CLADDING - CLEAR/NATURAL FINISH

APARTMENT ENTRIES RECESSED 100mm FROM EXTERNAL FACE OF APARTMENT

NOT FOR CONSTRUCTION

ISSUE	DATE	COMMENTS
TR1	04.08.11	PLANNING PERMIT
TR2	28.09.11	RESPONSE TO REQUEST FOR FURTHER INFORMATION - TITLE INFORMATION
TR3	16.08.12	AMENDED PLANNING PERMIT
TR4	12.05.14	PERMIT CONDITION AMENDMENTS
TR5	10.10.18	PERMIT CONDITION AMENDMENTS
TR6	14.03.17	PERMIT CONDITION AMENDMENTS
TR7	15.06.17	PERMIT CONDITION AMENDMENTS
TR8	14.09.17	TOWN PLANNING AMENDMENT
TR9	02.11.17	TOWN PLANNING AMENDMENT

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 277 queensberry street
 melbourne australia 3000
 tel: (03) 8662 8800 fax: (03) 8662 8899
 email: kta@kerstinthompson.com

Drawing title
 DESIGN RESPONSE
 PROPOSED PLAN LEVEL 5

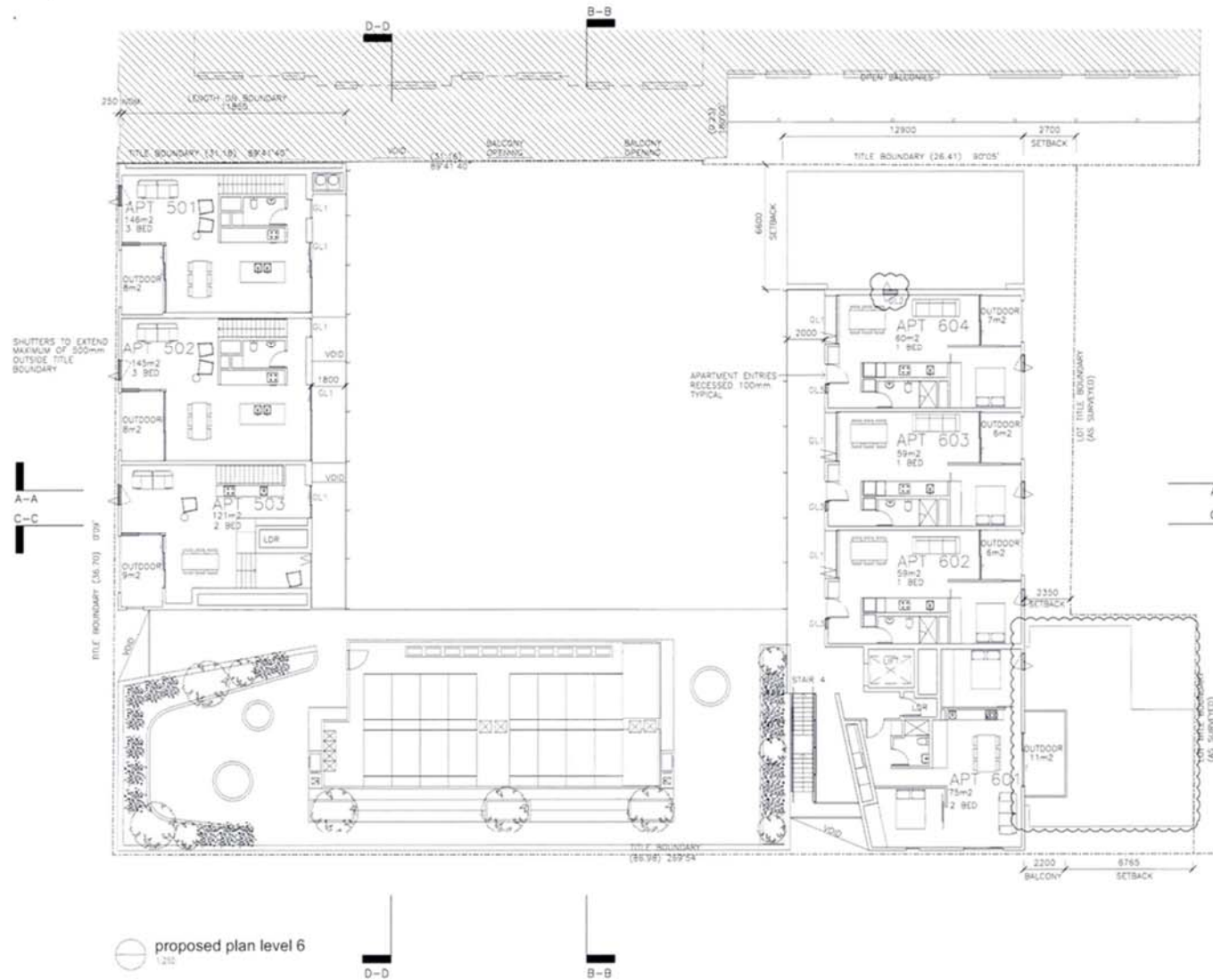
project
 RESIDENTIAL DEVELOPMENT
 at 221 KERR STREET FITZROY
 for BILKERR PROPERTY P/L

date	drawn by	drawing no.	rev
OCT 2017	LD	A106	TP9
scale	project		
1:200	KERR		

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TOWN PLANNING

Attachment 2 - PLN11/0648.02 - 221 Kerr Street Fitzroy - Further Information Provided



GENERAL NOTES
REFER ADD FOR GENERAL NOTES APPLICABLE TO THIS DRAWING.

ABBREVIATIONS

- FFL FINISHES FLOOR LEVEL (TO AHD)
- EXSL EXISTING SLAB LEVEL (TO AHD)
- RL RELATIVE LEVEL (TO AHD)
- DP DOWNPIPE
- PS PRIVACY SCREEN

MATERIALS FINISHES

- BR1 NEW FACE BRICK
- BR2 HALF BRICK WORK
- CB1 PROFILED METAL CLADDING - 'GREY PEARL'
- CB2 COLORBOND METAL SHEET ROOFING - COLORBOND 'BASALT'
- CB3 METAL CLADDING - 'FACADE GREY'
- CM1 FIBRE CEMENT SHEET - NATURAL FINISH
- EXB EXISTING FACE BRICKWORK
- GL1 CLEAR GLAZING
- GL2 OBTUSURE GLAZING
- GL3 CLEAR LOUVERS
- GL4 FULL HEIGHT OBTUSURE GLAZING
- MS1 METAL MESH - NATURAL FINISH
- MS1A PERFORATED MESH - RED TONE
- MS2 PERFORATED MESH - 'GREY PEARL'
- MS3 STAINLESS STEEL SCREEN
- MT1 METAL BALUSTRADES
- WJ1 TIMBER CLADDING - CLEAR/NATURAL FINISH

APARTMENT ENTRIES RECESSED A MINIMUM 100mm FROM EXTERNAL FACE OF APARTMENT

NOT FOR CONSTRUCTION

0 2 4m

ISSUE	DATE	COMMENTS
TP1	12.12.16	PERMIT CONDITION AMENDMENTS
TP2	14.03.17	PERMIT CONDITION AMENDMENTS
TP3	15.06.17	PERMIT CONDITION AMENDMENTS
TP4	14.09.17	TOWN PLANNING AMENDMENT
TP6	02.11.17	TOWN PLANNING AMENDMENT

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 melbourne australia 3000
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 email: kta@kerstinthompson.com

Drawing title
 DESIGN RESPONSE
 PROPOSED PLAN LEVEL 6

project
 RESIDENTIAL DEVELOPMENT
 41 221 KERR STREET FITZROY
 for BILKERR PROPERTY P/L

date	drawn by	drawing no.	rev
OCT 2017	LD	A106A	TP5

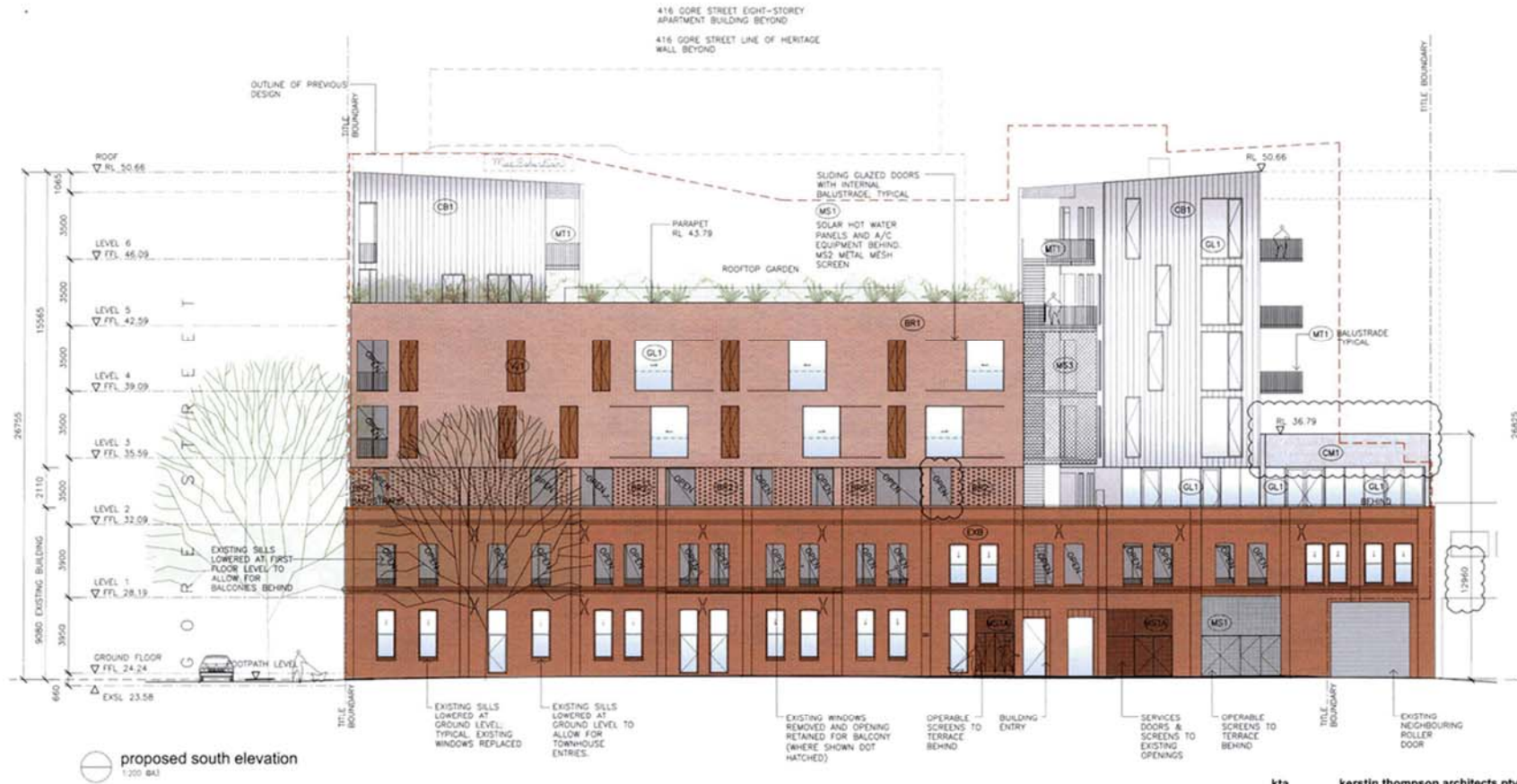
scale
 1:200

project
 KERR

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 copyright 2012

TOWN PLANNING

Attachment 2 - PLN11/0648.02 - 221 Kerr Street Fitzroy - Further Information Provided



proposed south elevation
1:200 (A1)

cta kerstin thompson architects pty ltd
277 queensberry street
melbourne australia 3000
tel: (03) 8662 8800 fax: (03) 8662 8899
email: kta@kerstinthompson.com

GENERAL NOTES
REFER ADDO FOR GENERAL NOTES
APPLICABLE TO THIS DRAWING.

ABBREVIATIONS

- FFL FINISHES FLOOR LEVEL (TO AHD)
- EXSL EXISTING SLAB LEVEL (TO AHD)
- RL RELATIVE LEVEL (TO AHD)
- DP DOWNPIPE
- PS PRIVACY SCREEN

MATERIAL FINISHES

- BR1 NEW FACE BRICK
- BR2 HITAMISS BRICK WORK
- CB1 PROFILED METAL CLADDING - 'TOREY PEARL'
- CB2 COLORBOND METAL SHEET ROOFING - 'COLORBOND 'BASALT''
- CB3 METAL CLADDING - 'FACADE GREY'
- CM1 FIBRE CEMENT SHEET - NATURAL FINISH
- EXB EXISTING FACE BRICKWORK
- GL1 CLEAR GLAZING
- GL2 TRANSLUCENT GLAZING
- GL3 CLEAR LOUVERS

- GL4 TRANSLUCENT LOUVERS
- MS1 METAL MESH - NATURAL FINISH
- MS1A PERFORATED MESH - RED TONE
- MS2 PERFORATED MESH - 'GREY PEARL'
- MS3 STAINLESS STEEL SCREEN
- MT1 METAL BALUSTRADES
- VJ1 TIMBER CLADDING - CLEAR/NATURAL FINISH



ISSUE	DATE	COMMENTS
TP1	04.08.11	PLANNING PERMIT
TP2	16.08.12	AMENDED PLANNING PERMIT
TP3	12.05.14	PERMIT CONDITION AMENDMENTS
TP4	10.10.16	PERMIT CONDITION AMENDMENTS
TP5	14.03.17	PERMIT CONDITION AMENDMENTS
TP6	15.06.17	PERMIT CONDITION AMENDMENTS
TP7	14.09.17	TOWN PLANNING AMENDMENT
TP8	02.11.18	WALL HEIGHT ADDED TO SE BOUNDARY ADDED BALCONY OPENING TO APT 205

drawing title
DESIGN RESPONSE
PROPOSED SOUTH ELEVATION

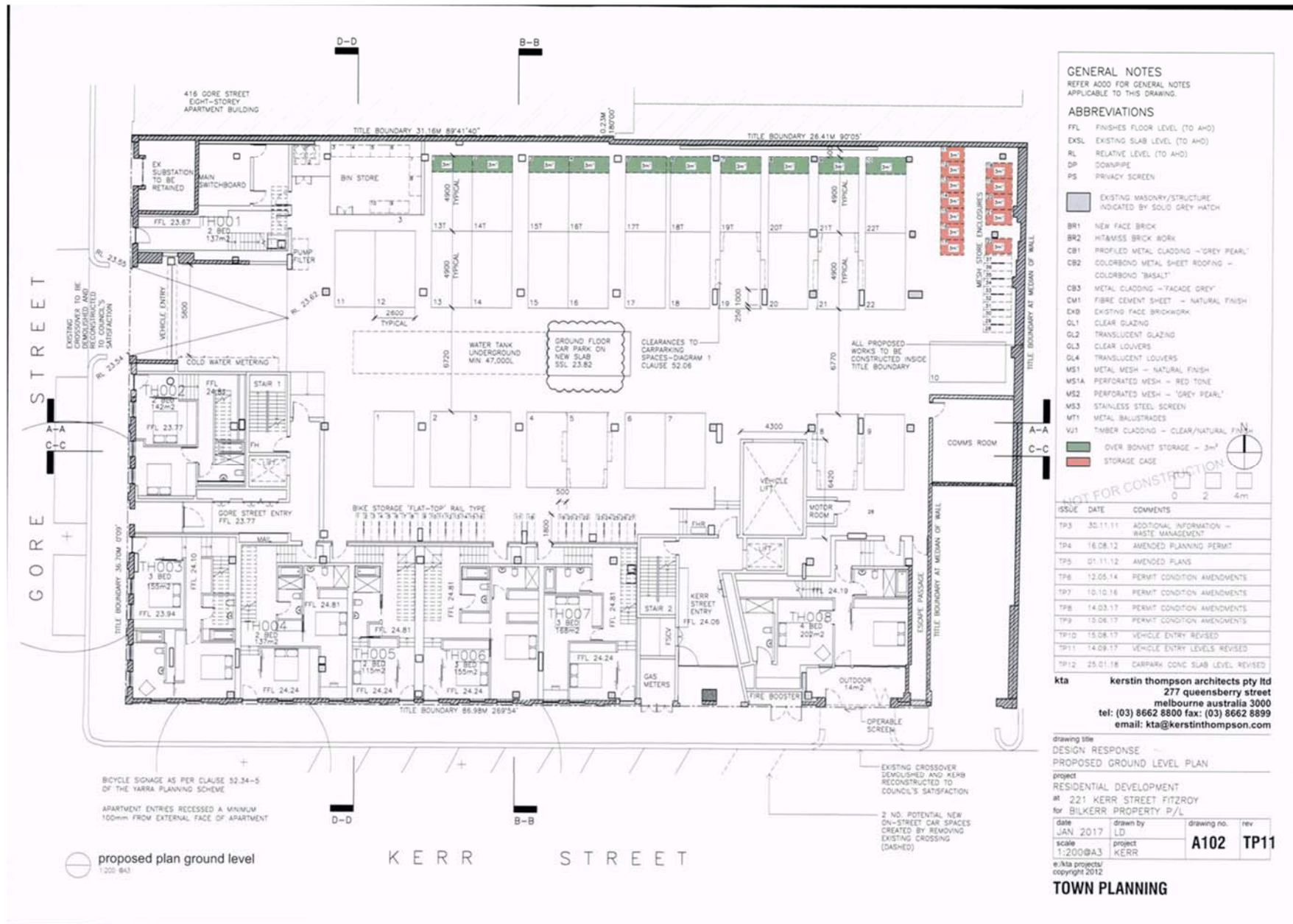
project
RESIDENTIAL DEVELOPMENT
at 221 KERR STREET FITZROY
for BILKERR PROPERTY P/L

date OCT 2017	drawn by LD	drawing no. A200	rev TP8
scale 1:200 @A3	project KERR		

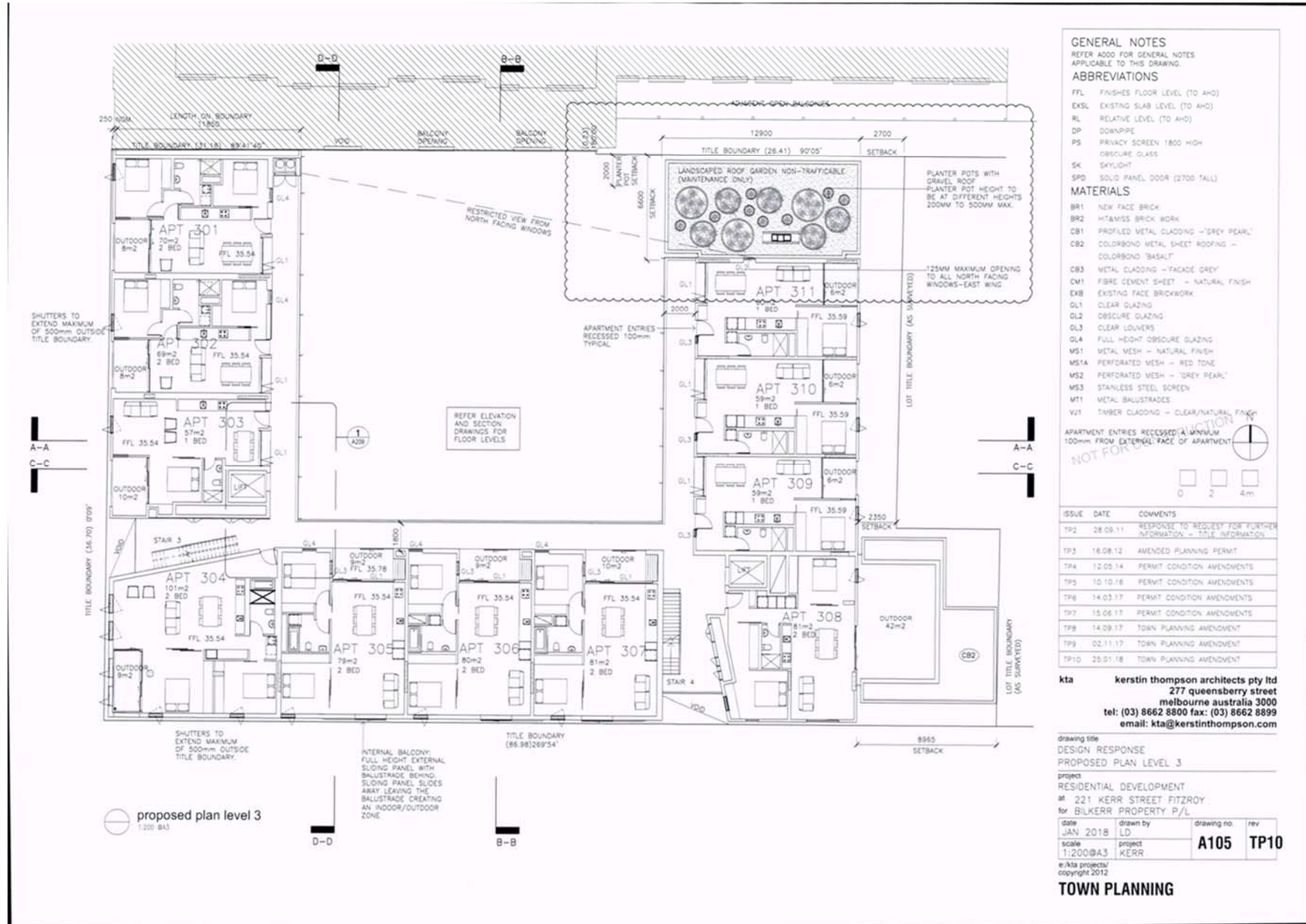
e:cta projects/
copyright 2012

TOWN PLANNING

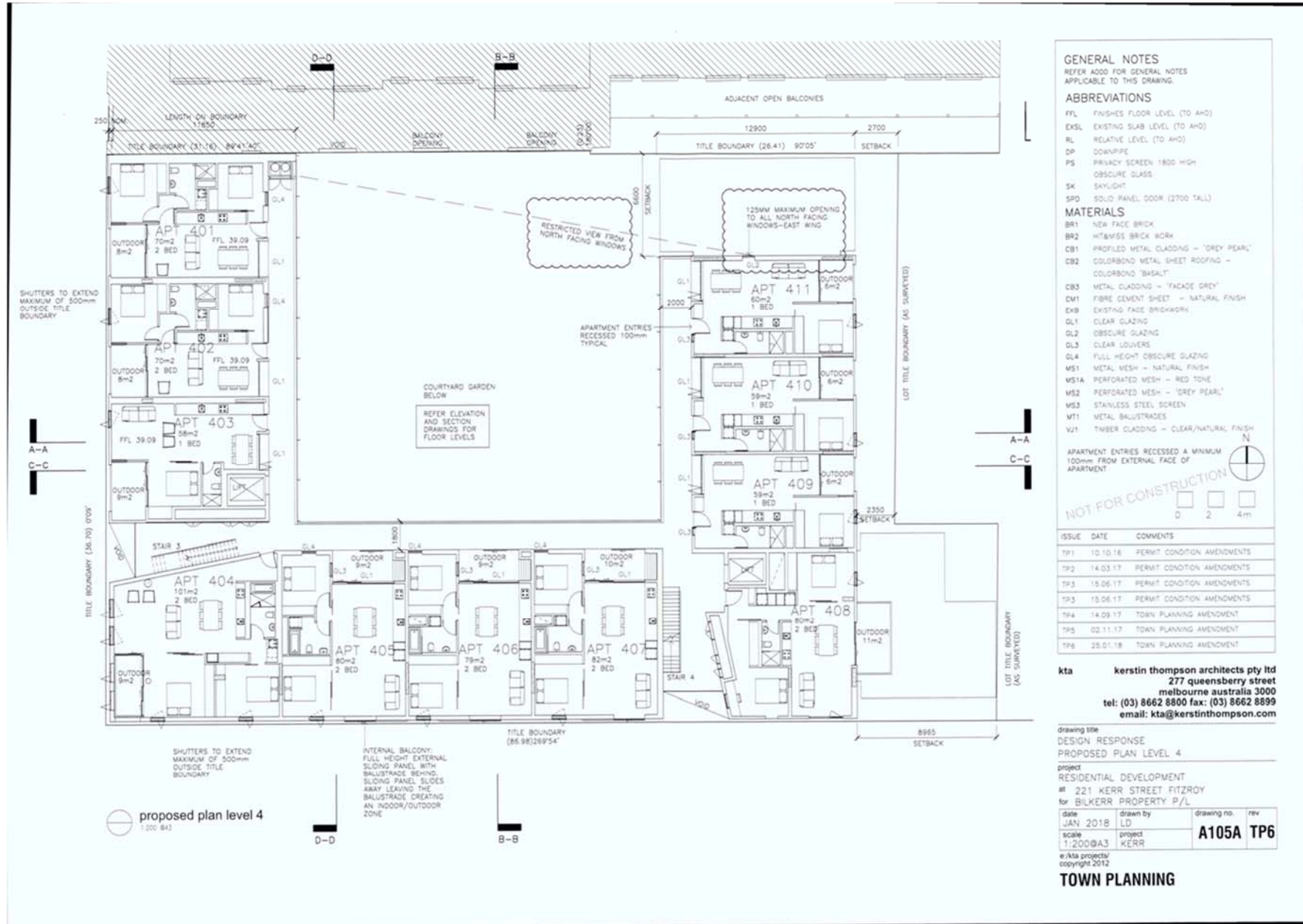
Attachment 3 - PLN11/0648.02 - 221 Kerr Street Fitzroy - Sketch plans



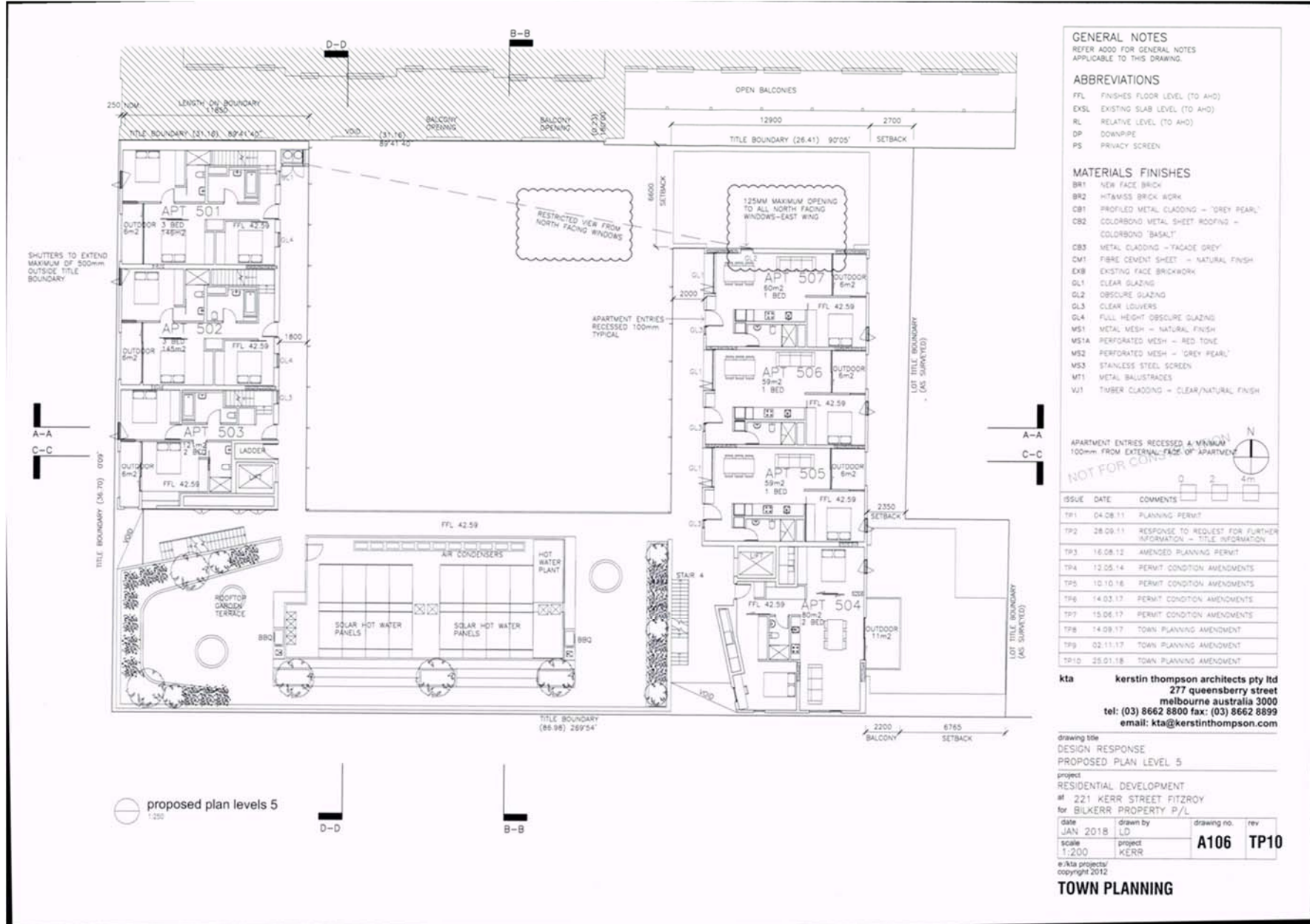
Attachment 3 - PLN11/0648.02 - 221 Kerr Street Fitzroy - Sketch plans



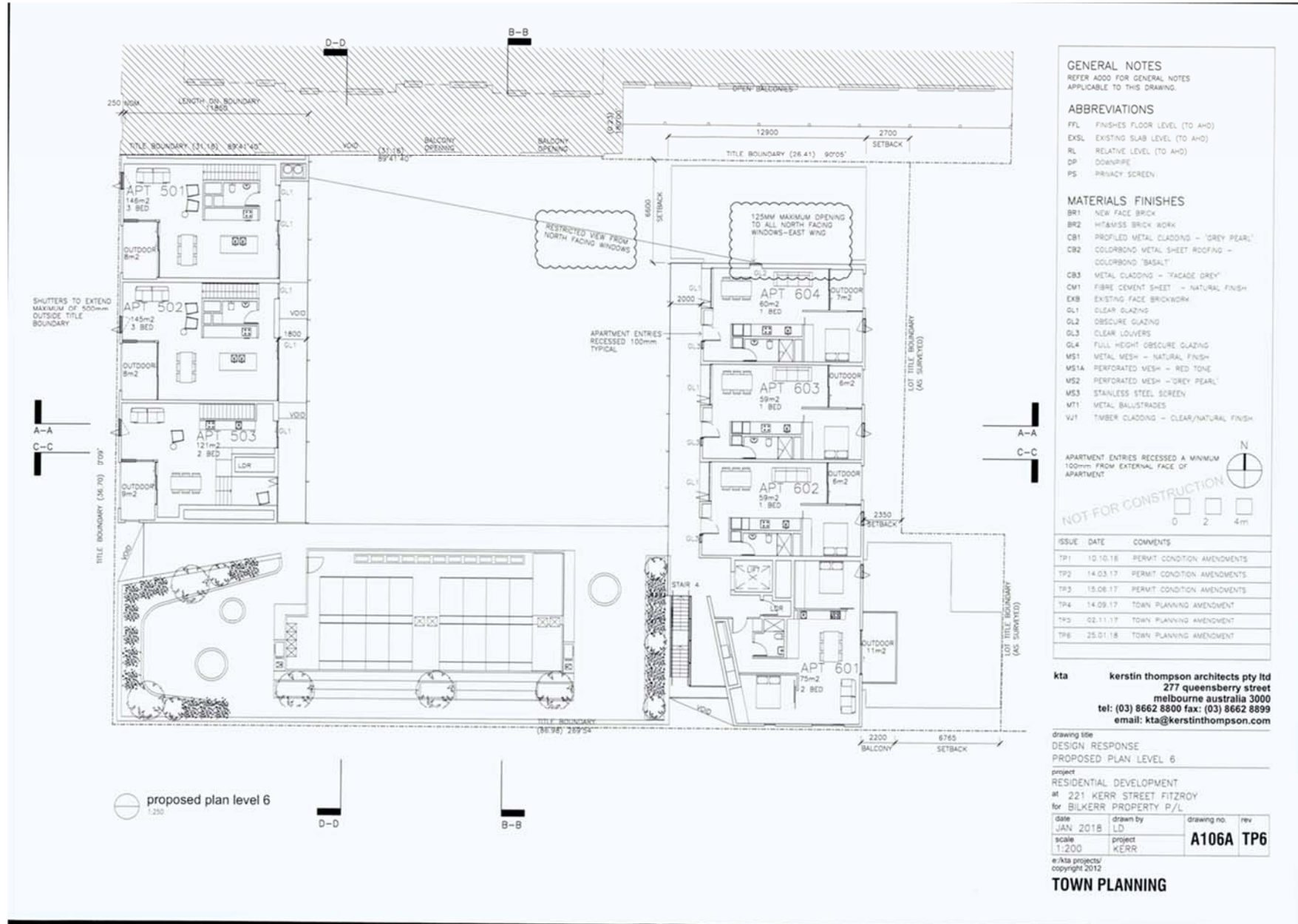
Attachment 3 - PLN11/0648.02 - 221 Kerr Street Fitzroy - Sketch plans



Attachment 3 - PLN11/0648.02 - 221 Kerr Street Fitzroy - Sketch plans



Attachment 3 - PLN11/0648.02 - 221 Kerr Street Fitzroy - Sketch plans



Attachment 3 - PLN11/0648.02 - 221 Kerr Street Fitzroy - Sketch plans



proposed east elevation
1:200 (B4)

MS2
FIXED SCREEN TO PREVENT OVERLOOKING TO PRIVATE OPEN SPACE AT LEVEL 2

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277 queensberry street
melbourne australia 3000
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email: kta@kerstinthompson.com

GENERAL NOTES	ABBREVIATIONS	MATERIAL FINISHES	ISSUE DATE COMMENTS
REFER ABOVE FOR GENERAL NOTES APPLICABLE TO THIS DRAWING.	FFL FINISHED FLOOR LEVEL (TO AND)	BR1 NEW FACE BRICK	TP1 04.08.11 PLANNING PERMIT
	EXSL EXISTING SLAB LEVEL (TO AND)	BR2 HALF-BRICK WORK	TP2 16.08.12 AMENDED PLANNING PERMIT
	RL RELATIVE LEVEL (TO AHD)	CB1 PROFILED METAL CLADDING - 'GREY PEARL'	TP3 12.05.14 PERMIT CONDITION AMENDMENTS
	DP DRAINAGE	CB2 COLORBOND METAL SHEET ROOFING - COLORBOND 'BASALT'	TP4 10.10.16 PERMIT CONDITION AMENDMENTS
		CB3 METAL CLADDING - 'KACADE GREY'	TP5 15.04.17 PERMIT CONDITION AMENDMENTS
		CM1 FIBRE CEMENT SHEET - 'NATURAL FAHSH'	TP6 14.09.17 PERMIT PLANNING AMENDMENT
		EXB EXISTING FACE BRICKWORK	TP7 25.04.18 TOWN PLANNING AMENDMENT
		GL1 CLEAR GLAZING	
		GL2 TRANSLUCENT GLAZING	
		GL3 CLEAR GLAZERS	
		DL4 TRANSLUCENT GLAZERS	
		MS1 METAL MESH - 'NATURAL FINISH'	
		MS2 PERFORATED MESH - 'GREY PEARL'	
		MS3 STAINLESS STEEL SCREEN	
		MT1 METAL BALUSTRADES	
		WT1 TIMBER CLADDING - 'CLEAR/NATURAL FAHSH'	

drawing title
DESIGN RESPONSE
PROPOSED EAST ELEVATION

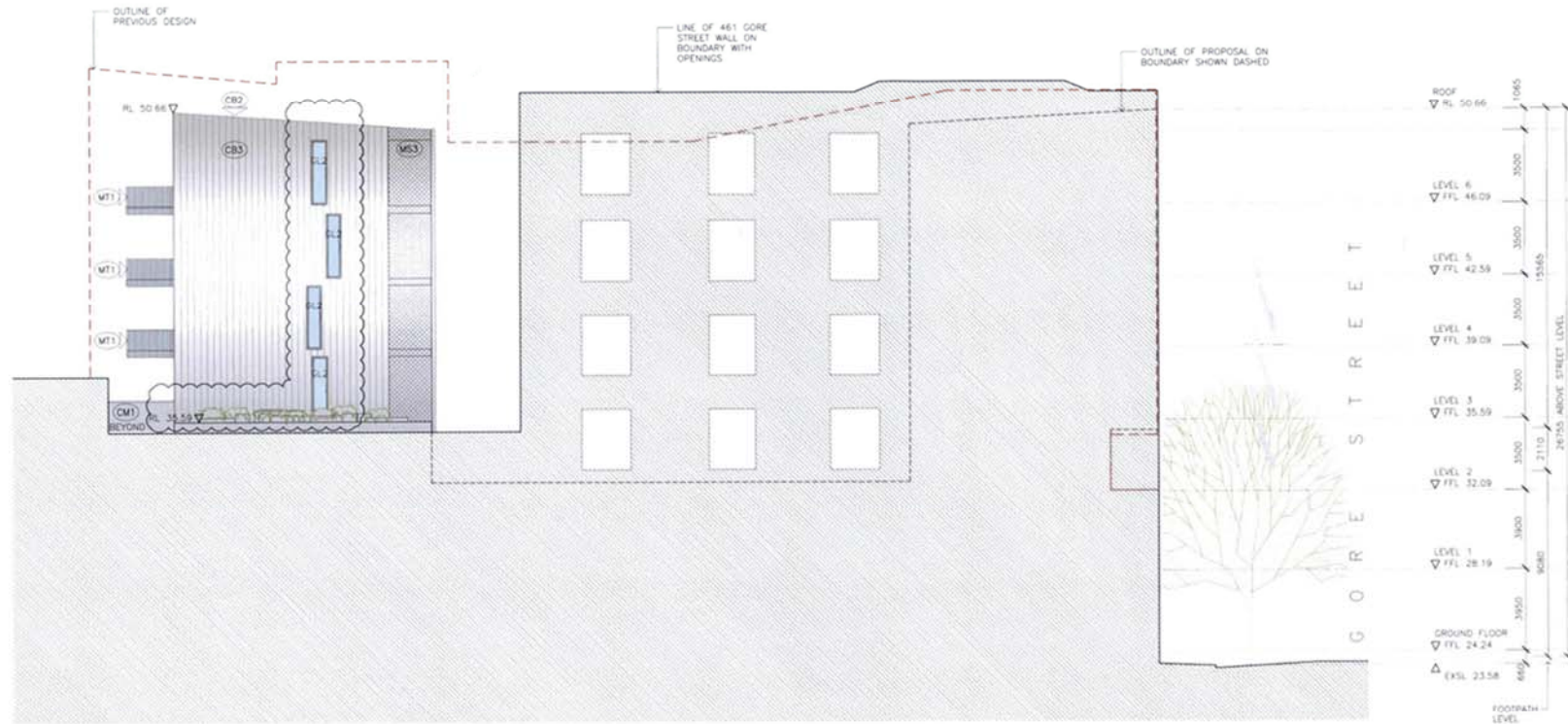
project
RESIDENTIAL DEVELOPMENT
at 221 KERR STREET FITZROY
for BILKERR PROPERTY P/L

date	drawn by	drawing no.	rev
JAN 2018	LD	A202	TP7
scale	project		
1:200 @A3	KERR		

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TOWN PLANNING

Attachment 3 - PLN11/0648.02 - 221 Kerr Street Fitzroy - Sketch plans



proposed north elevation
1:200 (A3)

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GENERAL NOTES
REFER ADD FOR GENERAL NOTES
APPLICABLE TO THIS DRAWING.

ABBREVIATIONS

FFL	FINISHES FLOOR LEVEL (TD +HGT)
EXSL	EXISTING SLAB LEVEL (TD +HGT)
RL	RELATIVE LEVEL (TD +HGT)
DP	COMPOSITE

MATERIAL FINISHES

BR1	NEW FACE BRICK
BR2	HIPFACED BRICK BODY
CB1	PROFIED METAL CLADDING - "GREY PEARL"
CB2	METAL SHEET ROOFING - COLORBOND "BASALT"
CB3	METAL CLADDING - "TACADE GREY"
CM1	FIBRE CEMENT SHEET - NATURAL FINISH
EXB	EXISTING FACE BRICKWORK
GL1	CLEAR GLAZING
GL2	OPESQUE GLAZING
GL3	CLEAR LOUVERS

ABBREVIATIONS

CL4	TRANSLUCENT LOUVERS
MS1	METAL MESH - NATURAL FINISH
MS2	PERFORATED MESH - "GREY PEARL"
MS3	STAINLESS STEEL SCREEN
M11	METAL BALUSTRADES
WT	TIMBER CLADDING - CLEAR/NATURAL FINISH

ISSUE	DATE	COMMENTS
TP1	04.08.11	PURVING PERMIT
TP2	16.08.12	AMENDED PLANNING PERMIT
TP3	12.05.14	PERMIT CONDITION AMENDMENTS
TP4	10.10.16	PERMIT CONDITION AMENDMENTS
TP5	14.03.17	PERMIT CONDITION AMENDMENTS
TP6	15.06.17	PERMIT CONDITION AMENDMENTS
TP7	13.09.17	TOWN PLANNING AMENDMENT
TP8	10.11.18	TOWN PLANNING AMENDMENT

drawing title
DESIGN RESPONSE
PROPOSED NORTH ELEVATION

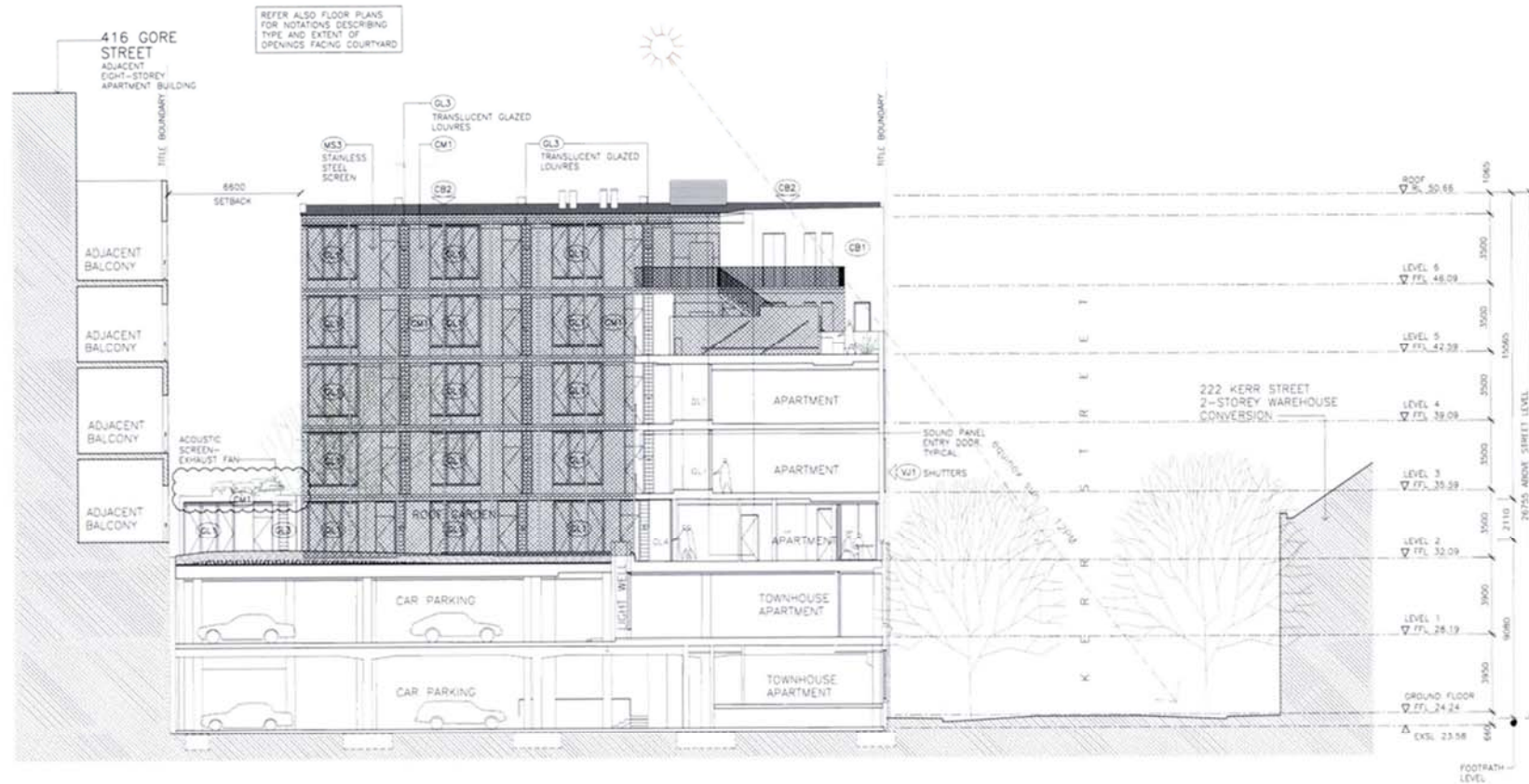
project
RESIDENTIAL DEVELOPMENT
at 221 KERR STREET FITZROY
for BILKERR PROPERTY P/L

date	1 JAN 2018	drawn by	LD	drawing no.	rev
scale	1:200 @A3	project	KERR	A203	TP8

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TOWN PLANNING

Attachment 3 - PLN11/0648.02 - 221 Kerr Street Fitzroy - Sketch plans



proposed section B-B
1:200 B42

GENERAL NOTES
REFER ADDO FOR GENERAL NOTES
APPLICABLE TO THIS DRAWING.

ABBREVIATIONS
FFL FINISHES FLOOR LEVEL (TO AHD)
EXSL EXISTING SLAB LEVEL (TO AHD)
RL RELATIVE LEVEL (TO AHD)
DP DRAINAGE

MATERIAL FINISHES

BR1 NEW FACE BRICK
BR2 HT/VFSS BRICK WORK
CB1 PROFILED METAL CLADDING - 'GREY PEARL'
CB2 COLORBOND METAL SHEET ACOFAG - COLORBOND 'BASALT'
CB3 METAL CLADDING - 'TRADGE'
CW1 FIBRE CONCRETE SHEET - NATURAL FINISH
EXB EXISTING FACE BRICKWORK
GL1 CLEAR GLAZING
GL2 OBSCURE GLAZING
GL3 CLEAR LOUVRES

GL4 FULL HEIGHT OBSCURE GLAZING
MS1 METAL MESH - NATURAL FINISH
MS14 PERFORATED MESH - RED TONE
MS2 PERFORATED MESH - 'GREY PEARL'
MS3 STAINLESS STEEL SCREEN
MT1 METAL SHUTTERS
WT TIMBER CLADDING - CLEAR/NATURAL FINISH

ISSUE	DATE	COMMENTS
TP1	04.08.11	PLANNING PERMIT
TP2	28.09.11	RESPONSE TO REQUEST FOR FURTHER INFORMATION - TITLE INFORMATION
TP3	6.08.12	AMENDED PLANNING PERMIT
TP4	12.05.14	PERMIT CONDITION AMENDMENTS
TP5	10.10.16	PERMIT CONDITION AMENDMENTS
TP6	15.06.17	PERMIT CONDITION AMENDMENTS
TP8	14.09.17	TOWN PLANNING AMENDMENT
TP9	13.02.18	TOWN PLANNING AMENDMENT

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Drawing title
DESIGN RESPONSE
PROPOSED SECTION B-B

project
RESIDENTIAL DEVELOPMENT
at 221 KERR STREET FITZROY
for BILKERR PROPERTY P/L

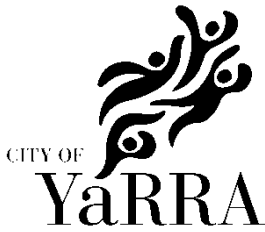
date	drawn by	drawing no.	rev
JAN 2018	LD	A205	TP9

scale
1:200(BA3)
project
KERR

e:cta projects
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TOWN PLANNING

Attachment 4 - PLN11/0648.02 - 221 Kerr Street Fitzroy - Engineering comments

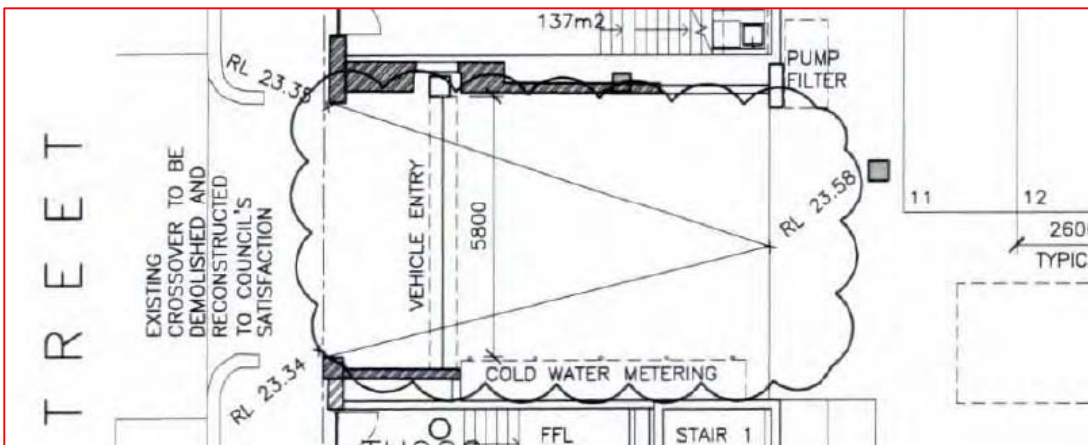


MEMO

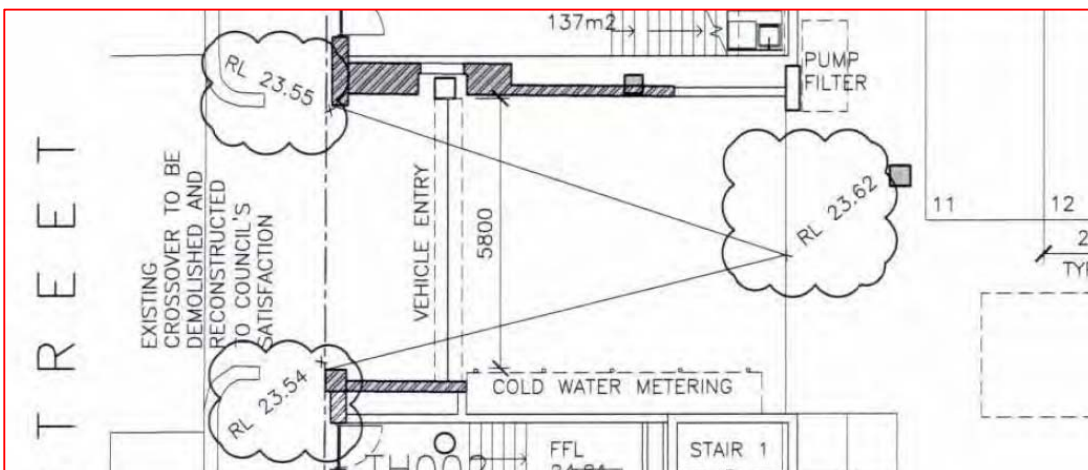
To: Sarah Thomas
CC: Joe Armocida
From: Mark Pisani
Date: 12 February 2018
Subject: Application No: PLN11/0648.02
 Description: Amended Plans
 Site Address: 221 Kerr Street, Fitzroy

I refer to the above Planning Application received on 8 February 2018 in relation to the proposed development at 221 Kerr Street, Fitzroy. Council's Engineering Services unit provides the following information:

ENDORSED DRAWING



AMENDED DRAWING



Attachment 4 - PLN11/0648.02 - 221 Kerr Street Fitzroy - Engineering comments

PROPOSED ALTERATION TO LEVELS

The amended proposal would result in raising the building line/back of footpath levels by 200 mm. This is a significant level difference and would severely impact on the design of the site's vehicle crossing. The kerb and channel on the east side of Gore Street cannot be altered (this is a fixed control point). The crossing needs to be able to accommodate the B99 design vehicle without scraping or bottoming out.

In this instance, Engineering Services does not support the raising of the building line levels as this would have repercussions to vehicle access into and out of the site as well as impact on the surrounding road infrastructure.

The applicant needs to modify or relocate the Legal Point of Discharge for the site whilst maintaining the building line levels for the vehicle crossing as per the endorsed proposal (RL 23.35 and RL23.34).

Regards

Mark Pisani
Senior Development Engineer
Engineering Services Unit

Attachment 5 - PLN11/0648.02 - 221 Kerr Street Fitzroy - Email response to security question

Email received 2 February 2018:

KERR 2.3 Maintenance Gate Fully Secured to Level 2 Roof Garden

There will be a Maintenance Gate that will be Fully Secured to Level 2 Roof Garden.
Only an authorised Maintenance Person will be able to go on the roof periodically to maintain the Garden

Please let me know if you require any further information

Erica Diakoff
Senior Project Architect

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Attachment 6 - PLN11/0648.02 - 221 Kerr Street Fitzroy - Further engineering referral

Engineering email referral sent 13 February 2018

Hi Sarah

Thank you this piece of information. It would have been helpful if the applicant had clearly communicated their intention and provided the existing survey information prior to our assessment. The drawings do not differentiate between existing spot levels and finished surface levels, thus adding to the confusion.

The levels of 23.55 and 23.54 would be considered acceptable provided that at the vehicle crossing and ramp can satisfactorily accommodate the ground clearance requirements for the B99 design vehicle. If the ground clearance cannot be achieved, the most likely adjustments made to levels would be at the building line.

To assist the applicant, attached is information required for vehicle crossing ground clearance checks.

Hope this information is helpful.

Regards

Mark

Mark Pisani

Senior Development Engineer

City of Yarra

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Richmond 3121

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