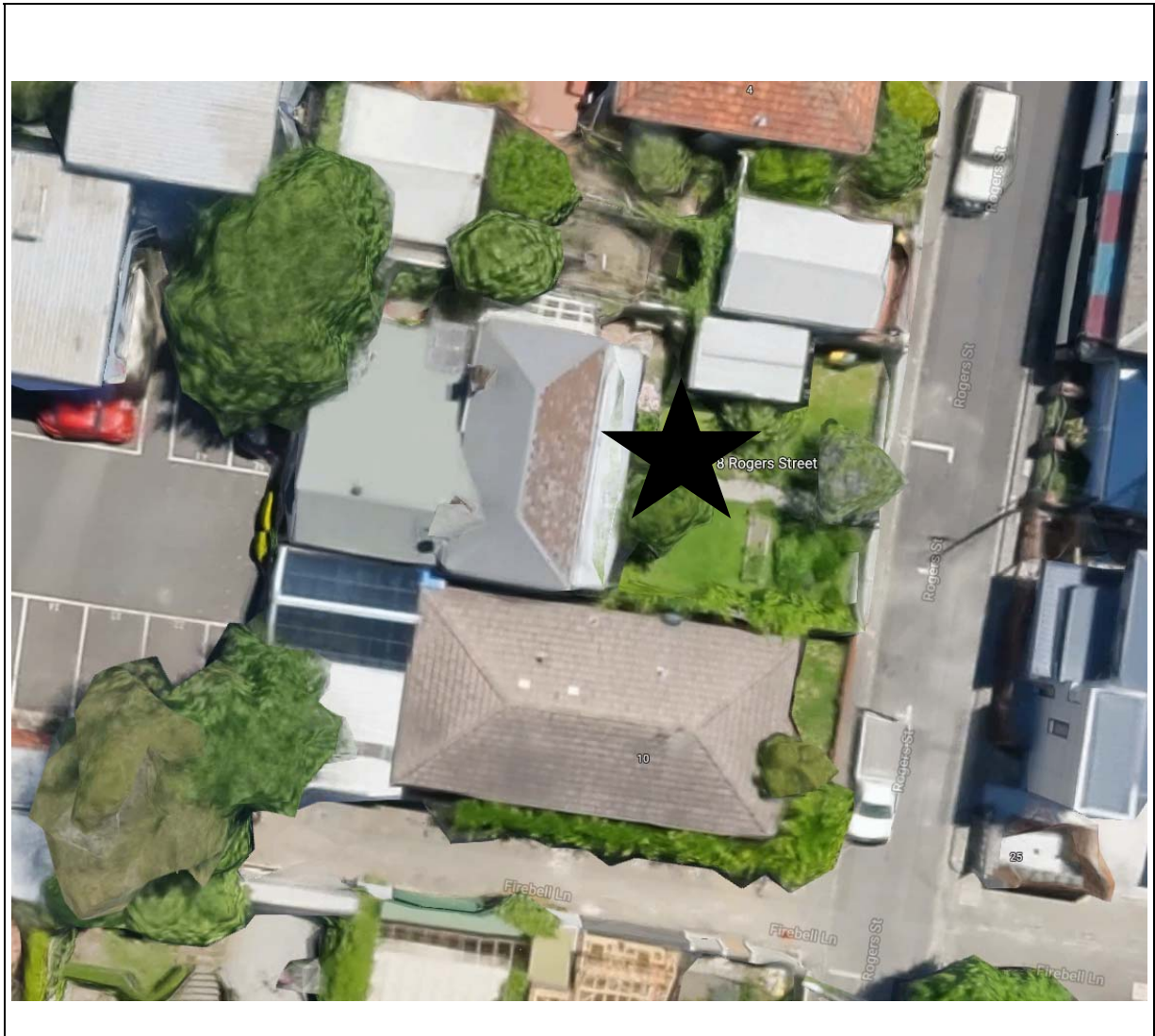


**Attachment 1 - PLN18/0118 - 8 Rogers Street Richmond, Site Location Map**

**SUBJECT LAND: 8 Rogers Street, Richmond**



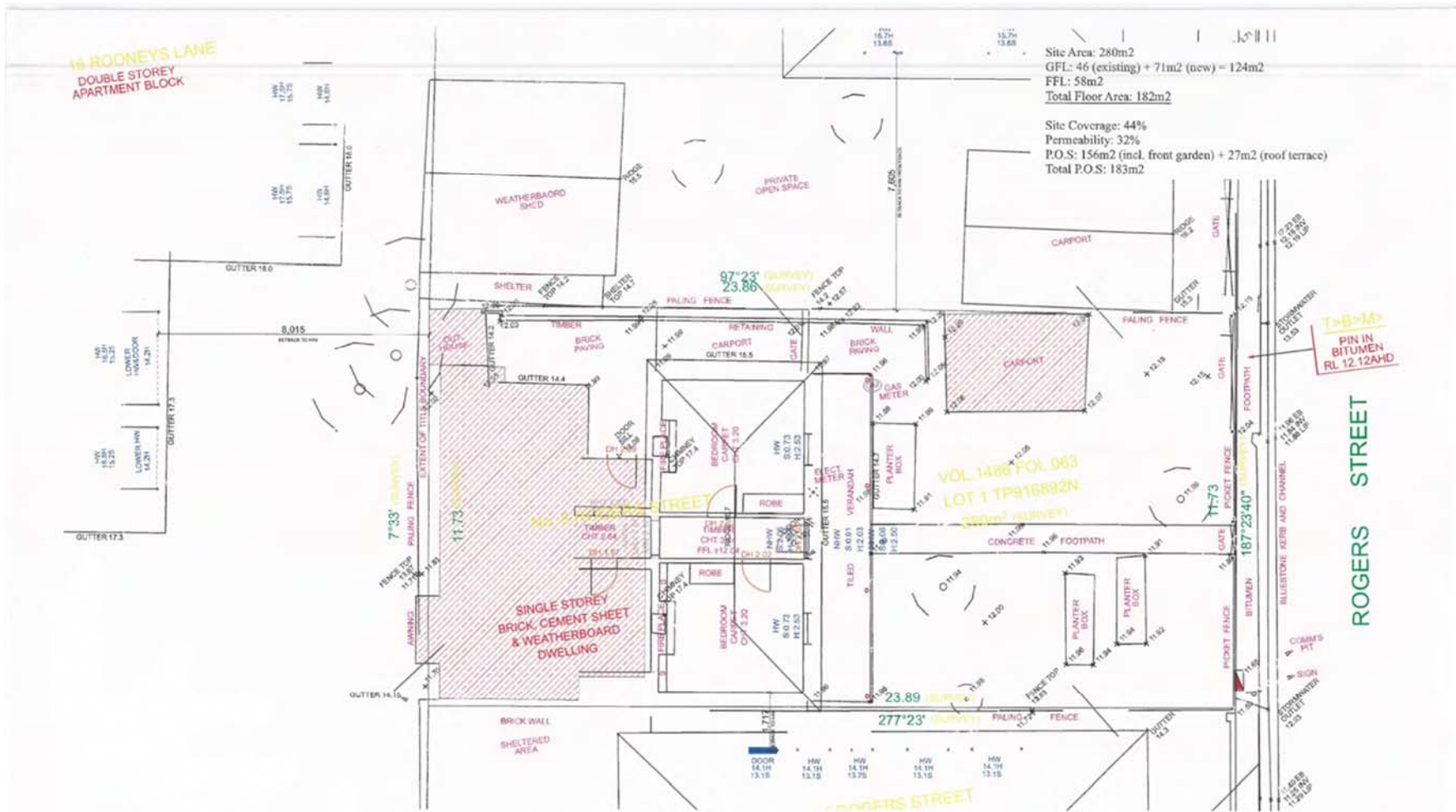
↑ North

★ Subject Site

**Attachment 2 - PLN18/0118 - 8 Rogers Street Richmond - Decision Plans**

<b>NOTICE OF AN APPLICATION FOR A PLANNING PERMIT</b> Pursuant To Section 57B Of The Planning And Environment Act 1987	
The land affected by the application is located at:	8 ROGERS ST RICHMOND VIC 3121
The application is for a permit to:	AMENDMENT TO PLANS UNDER SECTION 57(A) OF THE PLANNING AND ENVIRONMENT ACT, 1987 THAT INCLUDES A REDUCTION TO THE OVERALL BUILDING HEIGHT OF 700MM, AN INCREASED SETBACK OF THE FIRST FLOOR AND TERRACE FROM THE EASTERN BOUNDARY OF 700MM, DELETION OF THE PLANTER BOX FROM THE NORTHERN ELEVATION AND PROVISION OF A NEW EAST-FACING WINDOW AT THE FIRST FLOOR.
The applicant for the permit is:	OLIVER DU PUY ARCHITECTS
The application reference number is:	PLN18/0118
You may look at the application and any documents that support the application at the office of the responsible authority or alternatively at  <a href="http://www.yarracity.vic.gov.au/planning--building/advertised-planning-applications/">http://www.yarracity.vic.gov.au/planning--building/advertised-planning-applications/</a>	Statutory Planning Department City Of Yarra Richmond Town Hall 333 Bridge Road Richmond 3121  <i>Office Hours: 8.30 am - 5.00 pm Weekdays</i>
<p>This can be done during office hours and is free of charge.</p> <p>Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.</p> <p>The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.</p>	
An objection must:	<ul style="list-style-type: none"> <li>• Be sent to the responsible authority in writing</li> <li>• Include the reasons for the objection, and</li> <li>• State how the objector would be affected</li> </ul>
The responsible authority will not decide on the application before:	11 Jul 2018
If you make a submission, the Responsible Authority will tell you its decision.	

Attachment 2 - PLN18/0118 - 8 Rogers Street Richmond - Decision Plans



Site Area: 280m<sup>2</sup>  
 GFL: 46 (existing) + 71m<sup>2</sup> (new) = 124m<sup>2</sup>  
 FFL: 58m<sup>2</sup>  
 Total Floor Area: 182m<sup>2</sup>

Site Coverage: 44%  
 Permeability: 32%  
 P.O.S: 156m<sup>2</sup> (incl. front garden) + 27m<sup>2</sup> (roof terrace)  
 Total P.O.S: 183m<sup>2</sup>

**TO BE DEMOLISHED**

NOTE 01: ADVERSE POSSESSION LAND CLAIM TO EXTEND WESTERN TITLE BOUNDARY TO FENCE LINE  
 NOTE 02: ALL EXISTING FIREPLACES, CHIMNEYS OF EXISTING DWELLING TO BE RETAINED  
 NOTE 03: BOUNDARY FENCING TO BE RETAINED OR UPGRADED TO SAME HEIGHT AND MATERIAL AS EXISTING

Survey

1:100

Oliver du Puy Architects  
 1/137 Flinders Lane Melbourne 3000 AUS  
 Web: olivendupuy.com  
 Mail: info@olivendupuy.com  
 89 Rue de Sèvres Paris 75006 FRA



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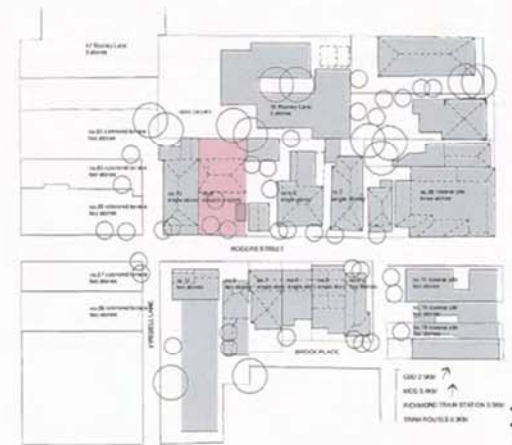
BARRETT / ROSS HOUSE  
 8 ROGERS STREET  
 RICHMOND VIC AUSTRALIA

EXISTING & DEMOLITION PLAN

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 19 JUN 2018

1:100@A3	0022
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odp	odp
drawn by	checked by
TP	C
scale	revision

Attachment 2 - PLN18/0118 - 8 Rogers Street Richmond - Decision Plans

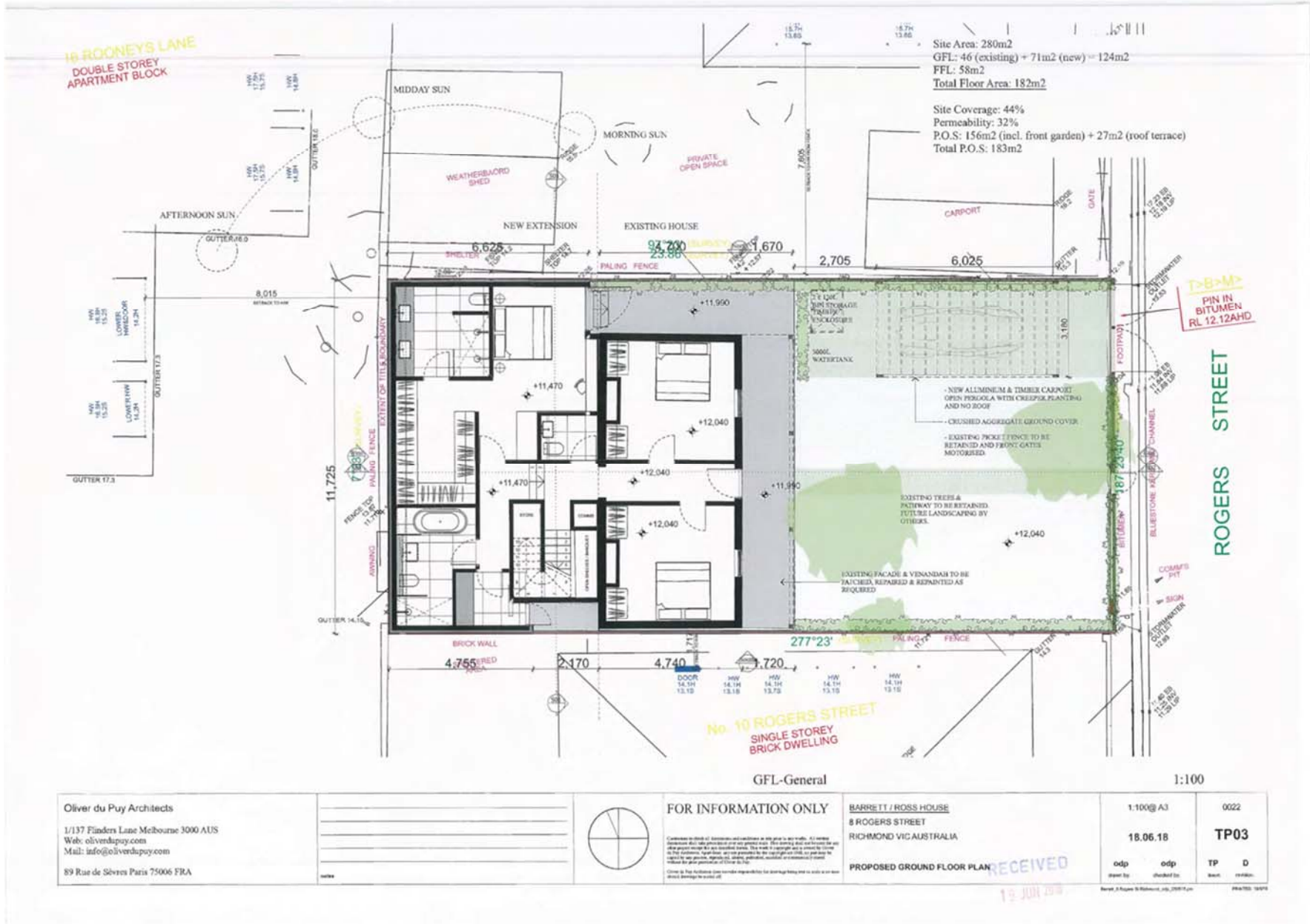



Site Plan 1:1000

<p>Oliver du Puy Architects 1/117 Flinders Lane Melbourne 3000 AUS Web: <a href="http://olivedupuy.com">olivedupuy.com</a> Mail: <a href="mailto:info@olivedupuy.com">info@olivedupuy.com</a> 89 Rue de Sévres Paris 75006 FRA</p>	<p>DATE</p>		<p>FOR INFORMATION ONLY</p> <p><small>Consent to this plan is conditional and subject to all other conditions and rules. All building work must be done in accordance with the Building Act 1973 and the Building Regulations 1993. This plan is for information only and does not constitute an offer of any services. It is not intended to be used for any other purpose. Any use of this plan for any other purpose is at the user's risk. The architect and the client accept that the user of this plan is responsible for their own actions and that the architect and the client are not liable for any loss or damage resulting from the use of this plan.</small></p>	<p><b>BARRETT / ROSS HOUSE</b> 8 ROGERS STREET RICHMOND VIC AUSTRALIA</p> <p><b>SITE CONTEXT PLAN</b></p>	<p>1:1000 <b>25.05.18</b></p> <p>odp odp 19 JUN 2018</p>	<p>0022 <b>TP02</b></p> <p>TP C Sheet 1 of 1</p>
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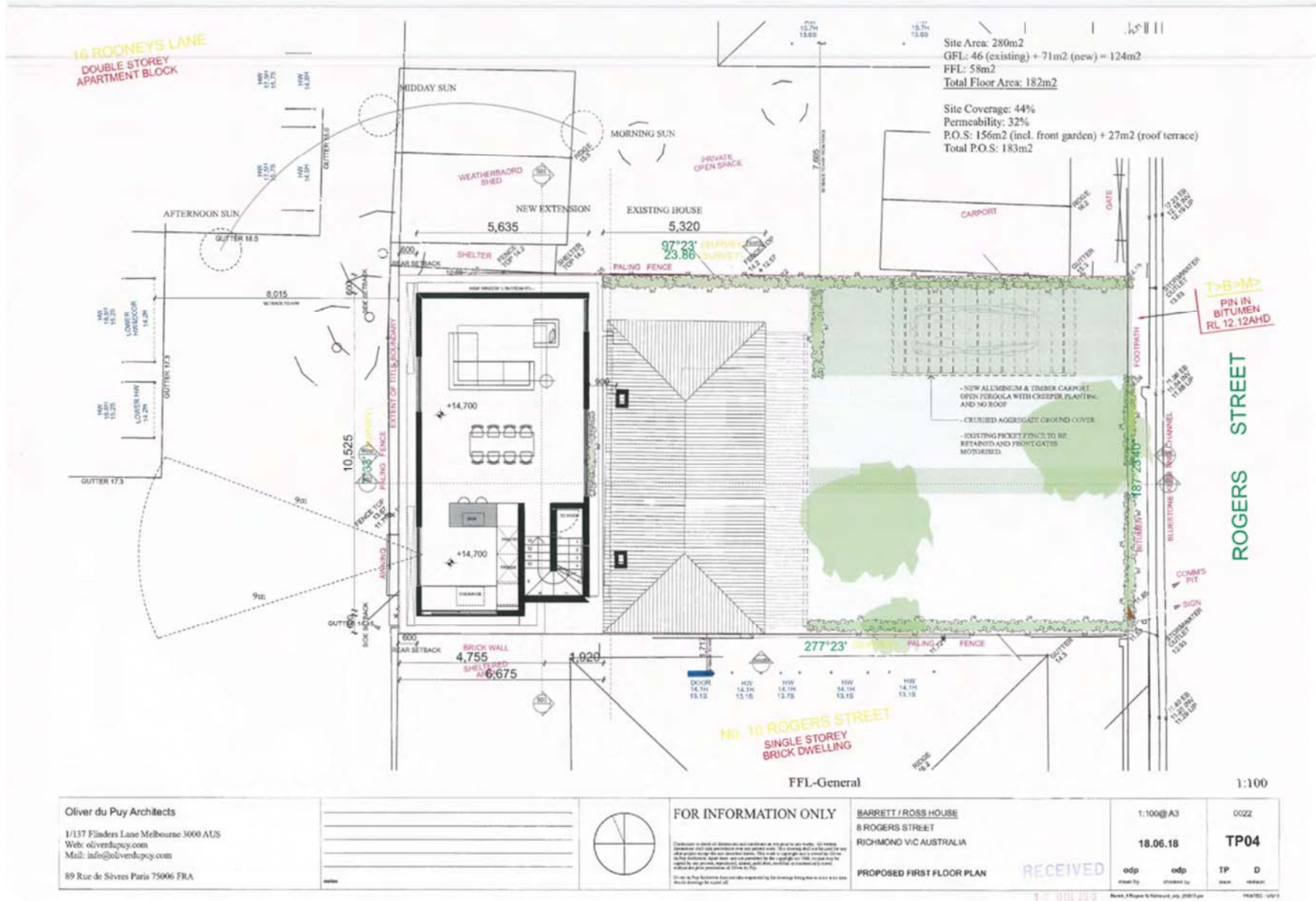
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Attachment 2 - PLN18/0118 - 8 Rogers Street Richmond - Decision Plans

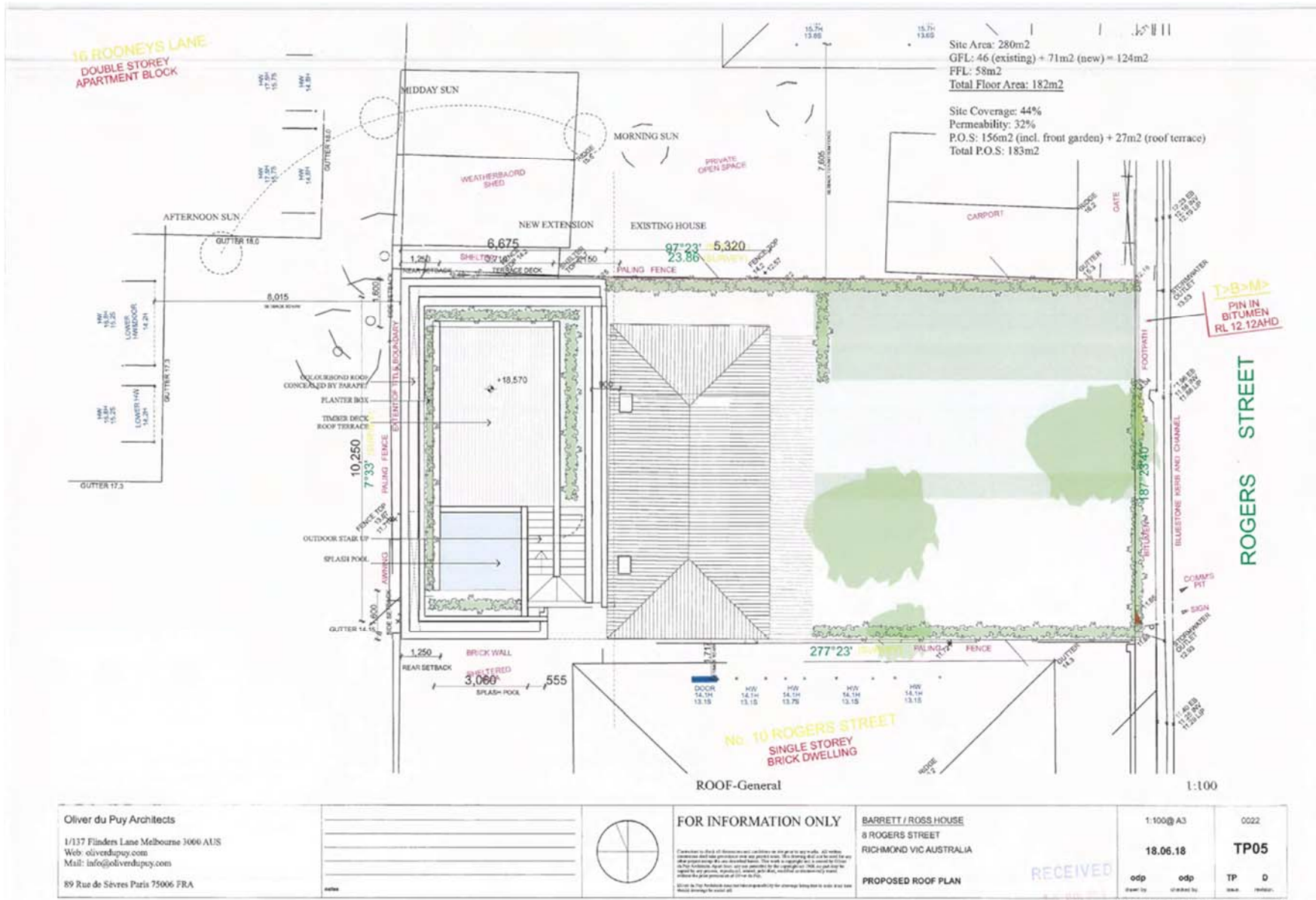


<p>Oliver du Puy Architects                  1/137 Flinders Lane Melbourne 3000 AUS                  Web: oliverdupuy.com                  Mail: info@oliverdupuy.com                  89 Rue de Sèvres Paris 75006 FRA</p>		<p>FOR INFORMATION ONLY</p> <p><small>Contractor to check all dimensions and conditions on site prior to any works. All works must be carried out in accordance with the approved plans and specifications. The work to be carried out is shown on the approved plans. Any work not shown on the approved plans is to be carried out at the contractor's risk. The contractor is responsible for obtaining all necessary permits and approvals. The contractor is responsible for ensuring that all work is carried out in accordance with the approved plans and specifications. The contractor is responsible for ensuring that all work is carried out in accordance with the approved plans and specifications.</small></p>	<p><b>BARRETT / ROSS HOUSE</b>                  8 ROGERS STREET                  RICHMOND VIC AUSTRALIA</p> <p><b>PROPOSED GROUND FLOOR PLAN</b></p>	<p>1:100@ A3                  18.06.18</p>	<p>0022  <b>TP03</b>                  odp odp TP D                  (initials) (initials) (initials) (initials)</p>
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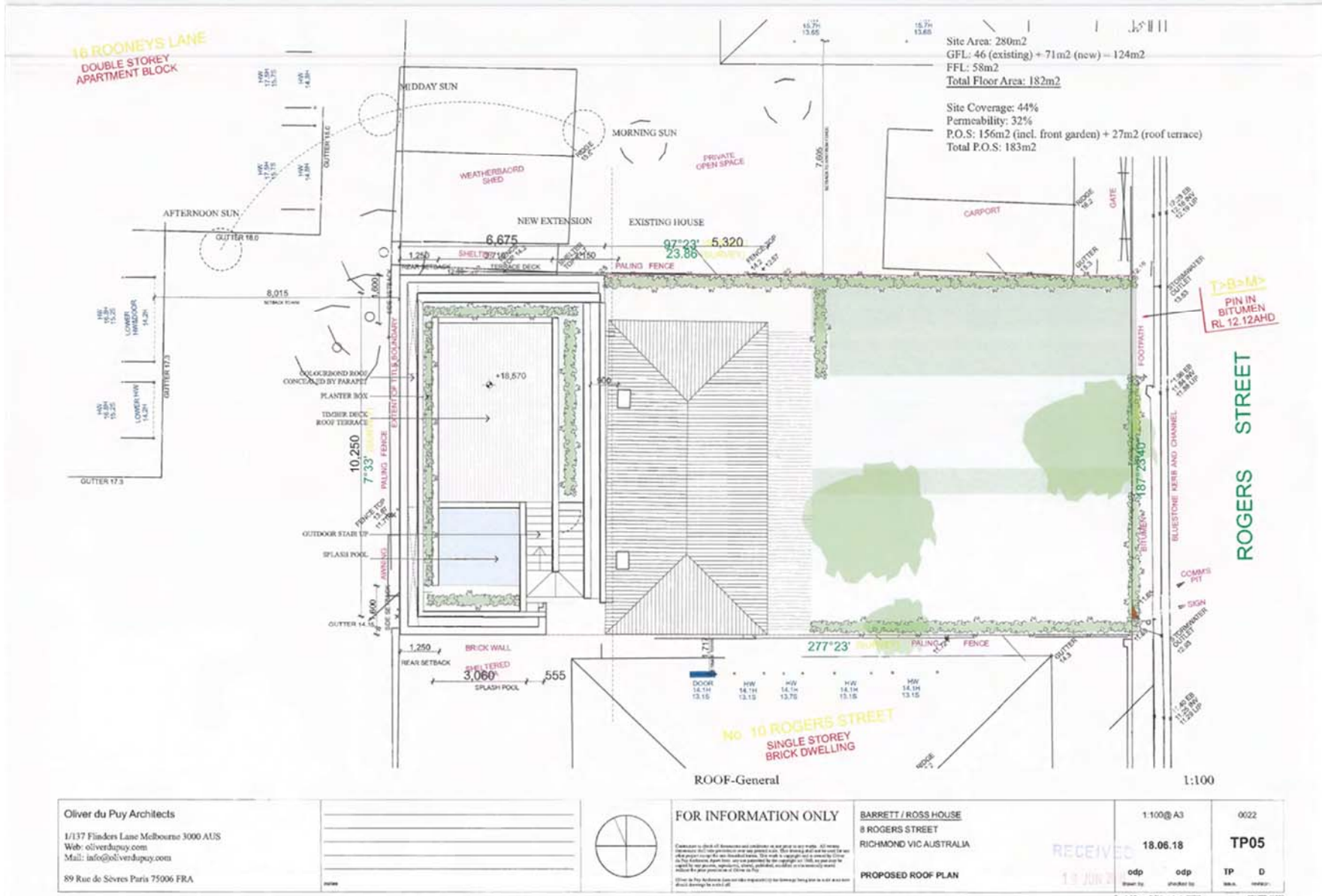
Attachment 2 - PLN18/0118 - 8 Rogers Street Richmond - Decision Plans



Attachment 2 - PLN18/0118 - 8 Rogers Street Richmond - Decision Plans



Attachment 2 - PLN18/0118 - 8 Rogers Street Richmond - Decision Plans





Attachment 2 - PLN18/0118 - 8 Rogers Street Richmond - Decision Plans



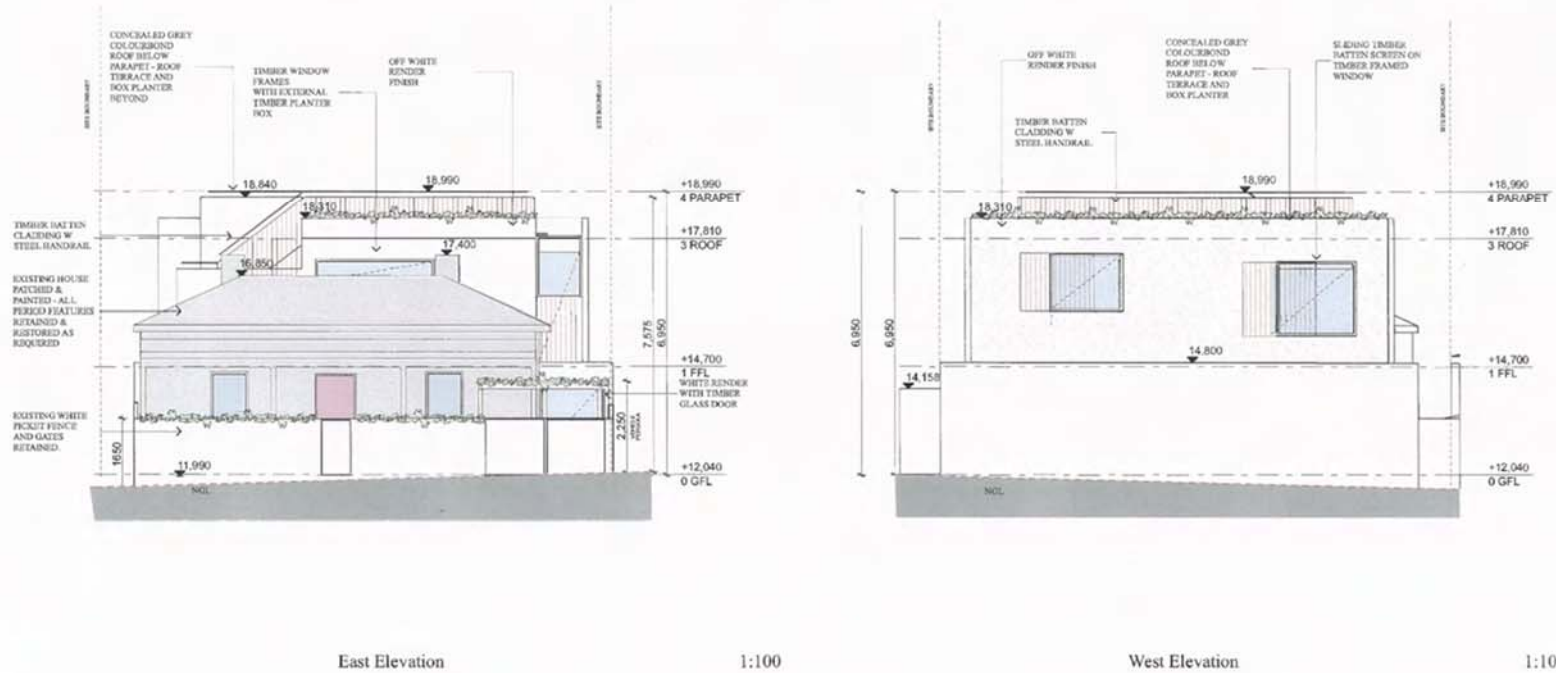
Attachment 2 - PLN18/0118 - 8 Rogers Street Richmond - Decision Plans



<p>Oliver du Puy Architects                  1/137 Flinders Lane Melbourne 3000 AUS                  Web: oliverdupuy.com                  Mail: info@oliverdupuy.com                  89 Rue de Sévres Paris 75006 FRA</p>	<p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p>		<p><b>FOR INFORMATION ONLY</b></p> <p><small>Client to check all dimensions and conditions on site prior to any works. All works undertaken shall be in accordance with the approved plans. The contractor shall be responsible for any and all proposed works and shall be responsible for any and all proposed works. This work is subject to a permit by Council and the relevant authorities. All dimensions shall be measured in metres and shall be rounded up to the next millimetre. All dimensions shall be measured in metres and shall be rounded up to the next millimetre. All dimensions shall be measured in metres and shall be rounded up to the next millimetre.</small></p>	<p><u>BARRETT / ROSS HOUSE</u>                  8 ROGERS STREET                  RICHMOND VIC AUSTRALIA</p> <p>PROPOSED SHADOWS PM</p>	<p>1:200@ A3                  25.05.18</p>	<p>0022                  TP07</p> <p>odp                  draw by</p> <p>odp                  checked by</p> <p>TP                  issue</p> <p>C                  revision</p>
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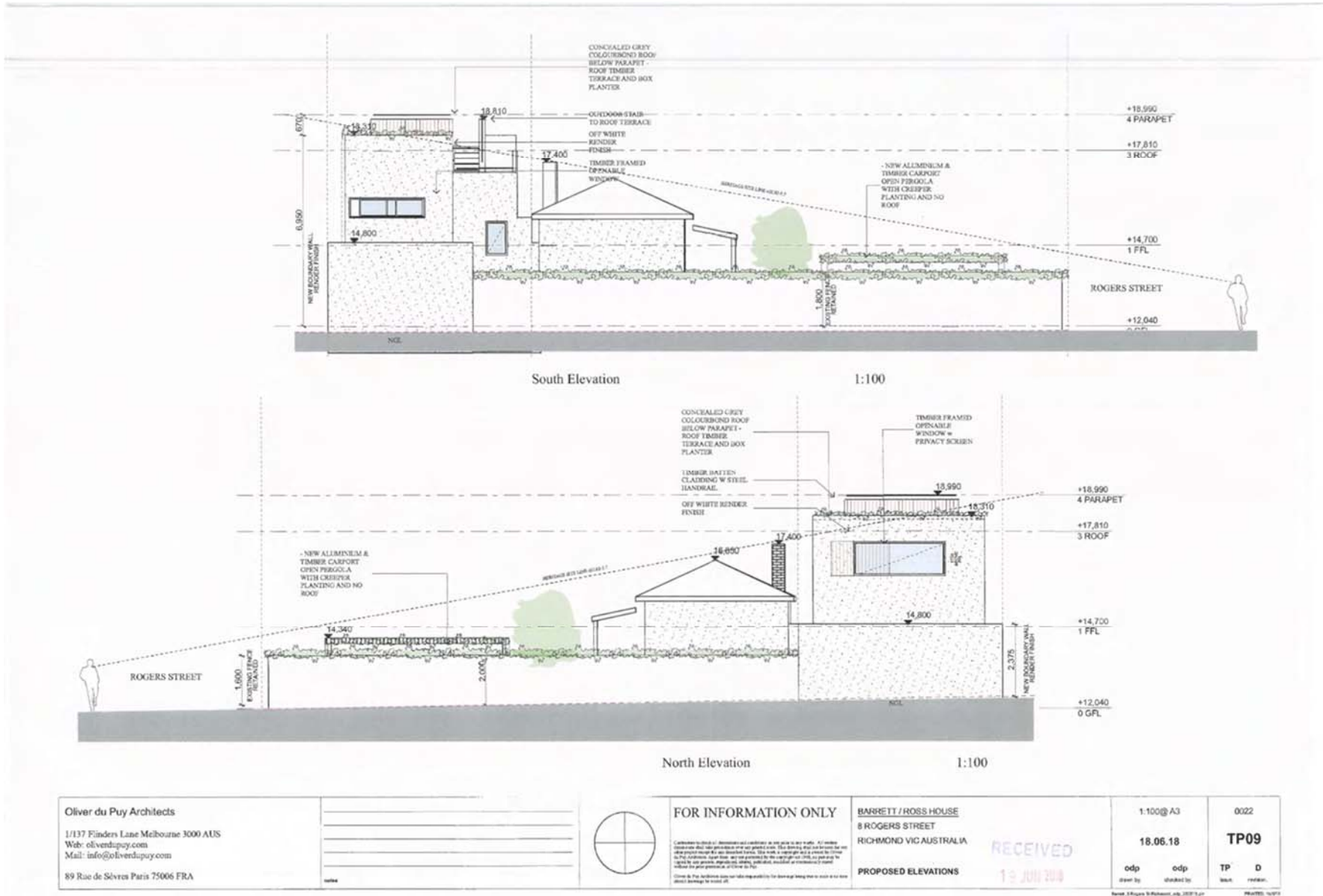
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Attachment 2 - PLN18/0118 - 8 Rogers Street Richmond - Decision Plans

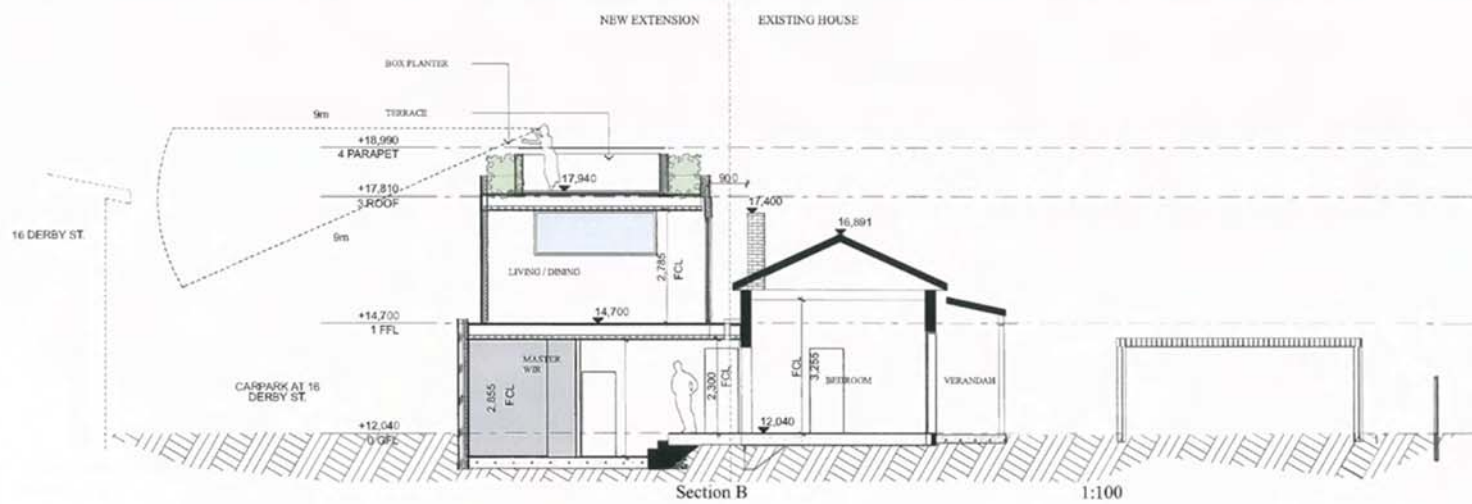
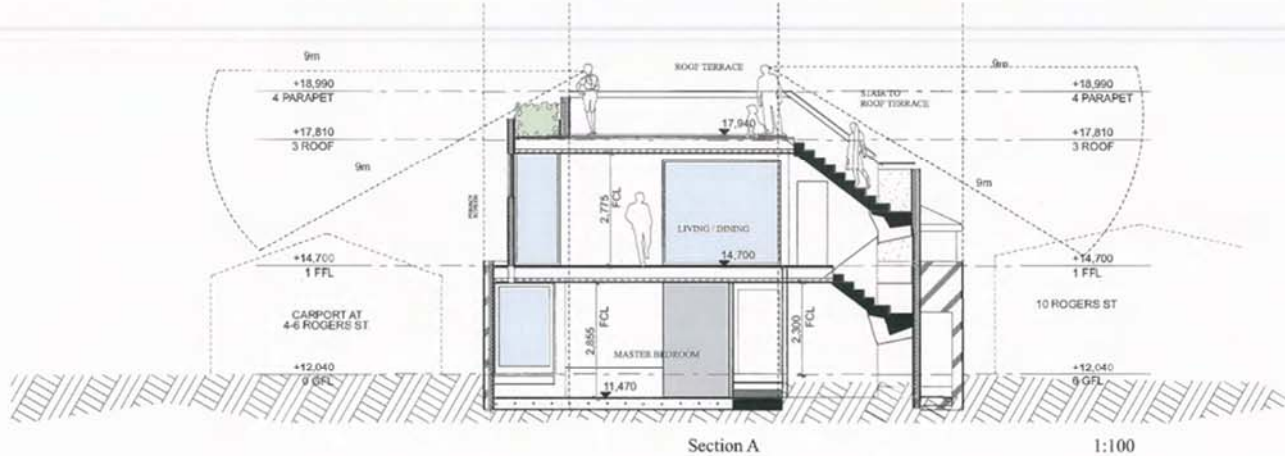



<p>Oliver du Puy Architects                  1/137 Flinders Lane Melbourne 3000 AUS                  Web: oliverdupuy.com                  Mail: info@oliverdupuy.com                  89 Rue de Sévres Paris 75006 FRA</p>	<p>notes</p>		<p><b>FOR INFORMATION ONLY</b></p> <p><small>Consent is not a guarantee of approval. All works are subject to the provisions of the relevant statute. This drawing shall not be used for any other purpose without the written consent of the architect. The architect shall not be responsible for any errors or omissions in this drawing. The architect shall not be responsible for any errors or omissions in this drawing. The architect shall not be responsible for any errors or omissions in this drawing.</small></p>	<p><b>BARRETT / ROSS HOUSE</b>                  8 ROGERS STREET                  RICHMOND VIC AUSTRALIA</p> <p>PROPOSED ELEVATIONS</p>	<p>1:100@ A3                  18.06.18                  odp odp TP D                  checked by: checked by: date: revision:</p>
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Attachment 2 - PLN18/0118 - 8 Rogers Street Richmond - Decision Plans



Attachment 2 - PLN18/0118 - 8 Rogers Street Richmond - Decision Plans



<p>Oliver du Puy Architects 1/137 Flinders Lane Melbourne 3000 AUS Web: oliverdupuy.com Mail: info@oliverdupuy.com 89 Rue de Sévres Paris 75006 FRA</p>		<p><b>FOR INFORMATION ONLY</b></p> <p><small>Client acknowledges that this document is for information only and does not constitute an offer of any financial product. This document is not to be used for any purpose other than the one specified herein. This work is prepared for the client and is not to be used for any other purpose without the prior written consent of Oliver du Puy Architects. Oliver du Puy Architects does not accept responsibility for damage arising from its use in any way other than that intended for the original use.</small></p>	<p><b>BARRETT / ROSS HOUSE</b> 8 ROGERS STREET RICHMOND VIC AUSTRALIA</p> <p><b>PROPOSED SECTIONS</b></p>	<p>1:100@A3 18.06.18</p>	<p>0022 <b>TP10</b></p> <p>odp    odp    TP    D Drawn by    checked by    Issue    Revision</p>
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**Attachment 3 - PLN18/0118 - 8 Rogers Street Richmond - Heritage advice**

**City of Yarra**

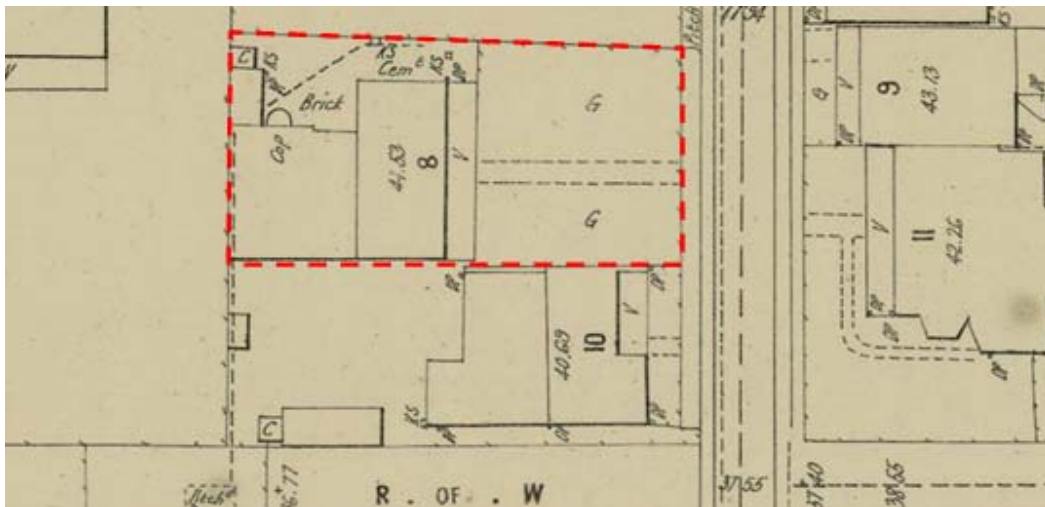
**Heritage Advice**

<b>Application No.:</b>	PLN18/0118
<b>Address of Property:</b>	<b>8 Rogers Street, Richmond</b>
<b>Planner:</b>	Jessica Sutherland
<b>Yarra Planning Scheme References:</b>	STATE POLICY: <ul style="list-style-type: none"> <li>• Clause 15.03 Heritage</li> </ul> LOCAL POLICY: <ul style="list-style-type: none"> <li>• Clause 21.05-1 Built Form (Heritage)</li> <li>• Clause 43.01 Heritage Overlay</li> <li>• Clause 22.02 Development Guidelines for sites subject to the Heritage Overlay</li> </ul>
<b>Heritage Overlay No. &amp; Precinct:</b>	HO332- Richmond Hill Precinct (West)
<b>Level of significance:</b>	Contributory, constructed 1860-1880 (City of Yarra Review of Heritage Areas 2007 Appendix 8 (as updated from time to time))
<b>General description:</b>	Partial demolition, and construction of a two-storey addition and a car port
<b>Drawing Nos.:</b>	Set of eleven drawings prepared by Oliver du Puy Architects, received by Council and date stamped 26 February 2018

**CONTEXT DESCRIPTION:**

Historically the site has contained a modest two-room cottage with a hipped roof clad in slate (of which all but the front pitch has been replaced in corrugated roof sheeting). There are two original chimneys.

The existing low pitched addition at the rear appears to have replaced an earlier rear addition shown on the MMBW plan.



Above: Extract from Melbourne and Metropolitan Board of Works detail plan, 1067, 1068, City of Richmond, dated 1897. Subject site outlined in red.

**Attachment 3 - PLN18/0118 - 8 Rogers Street Richmond - Heritage advice**

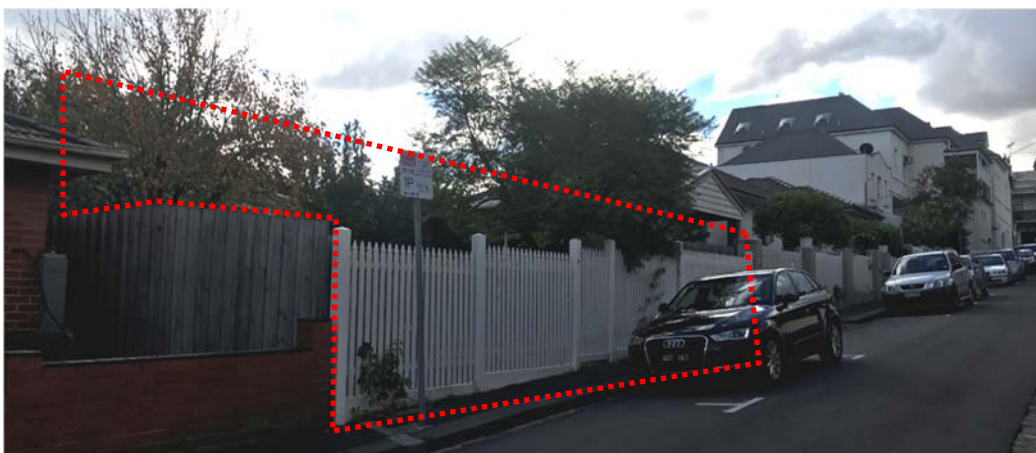
The existing property contains a double-fronted single-storey dwelling of early Victorian architectural style. The house has rendered walls and hipped roof which is clad with slate at the front but sheet metal at the rear. The house is setback about 12.5 metres from the front boundary. There is a simple prefabricated carport erected in the front setback. The property has a timber picket front fence of relatively recent construction.



Above: Current aerial of the subject site.



Above: Subject site as seen from across the street.



Above: Subject site as seen from the south-east.

**Attachment 3 - PLN18/0118 - 8 Rogers Street Richmond - Heritage advice**



*Above: Subject site as seen from the north-east.*

Rogers Street is a small street with only nine properties fronting the street. It is also a relatively steep road, with the highest point towards the north, near the intersection of Rogers Street and Rowena Parade. The subject site is surrounded by a combination of non-contributory, contributory and two individually significant buildings.



*Above: extract from Yarra GIS showing subject site (red dot) in relation to surrounding individually significant (pink), contributory (cream) and non-contributory buildings (green).*

**ASSESSMENT OF PROPOSED WORKS:**

Comments regarding proposed demolition:

The extent of demolition proposed by this application includes the demolition of fabric at the rear of the property, and the existing carport. All fabric proposed for removal is non original.

**The extent of demolition is supported.**

Comments regarding new development, alterations and additions:



**Attachment 3 - PLN18/0118 - 8 Rogers Street Richmond - Heritage advice**

The extent of new works proposed by this application includes development of a two-storey addition, including roof terrace and a new carport at the front of the property.

The key consideration for assessing this aspect of the works is whether the proposed new development will adversely affect the significance, character or appearance of the heritage building or the broader heritage precinct.

**Setbacks:**

Clause 22.02-5.7.1 of the Yarra Planning Scheme encourages:

setbacks from the principal street frontage to be similar to those of adjoining contributory buildings; where there are differing adjoining setbacks, the greater setback will apply.

The proposed front setback for the new development will be 5.3metres beyond the front façade, thus allowing the full original roof form over the front of the building to be maintained. The proposed addition will be setback from the front title boundary by 17metres. **The proposed front setback is supported as the original form of the building will be maintained and will maintain its prominence within the streetscape.**

The proposed side setbacks are:

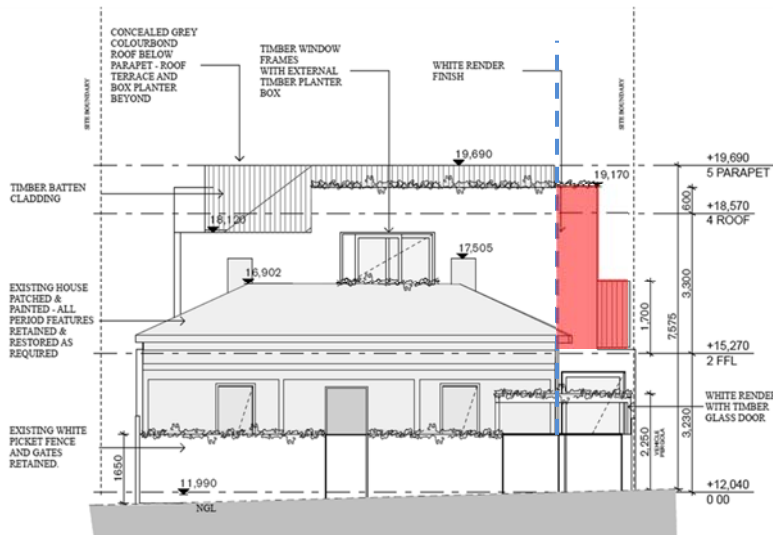
- Zero metres for the ground level (built to the side boundaries); and
- 900mm to both the north and south for the second storey.

The roof terrace is to have a small potted garden setback, but essentially has the same setbacks as the second storey.

Given the proposed setback retains a full roof form over the front of the building, the proposed side setbacks for the ground level are supported.

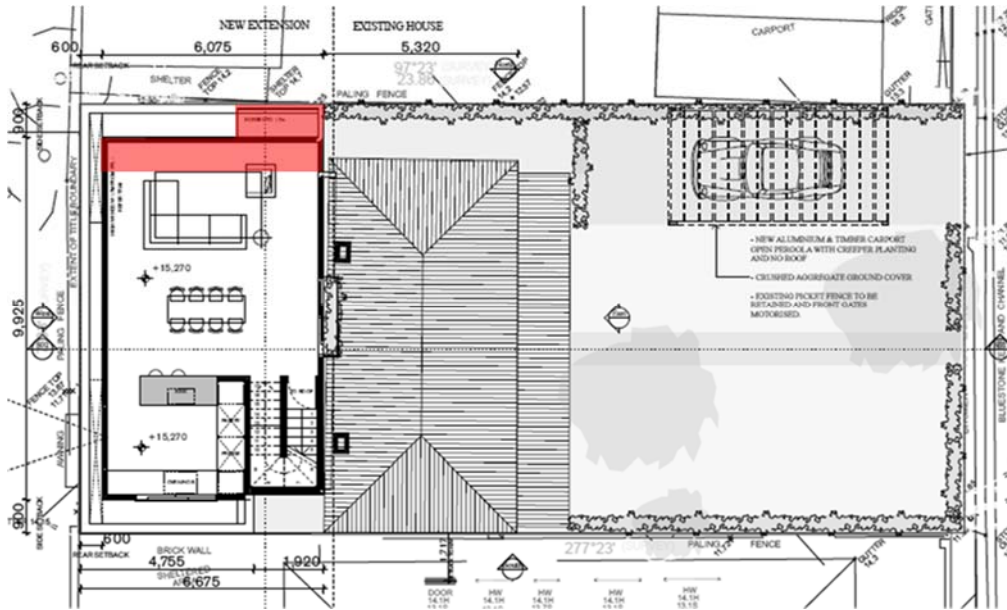
However, the upper level addition should be restrained to the ‘envelope’ created by projecting a sight line from 1.6 metres above ground level from the footpath on the opposite side of the street, to reduce visibility, bulk and dominance.

**It is strongly recommended that the northern side setback of the upper floor level be increased to be aligned with the width of the original house (refer to annotated diagrams below).**



Above: proposed elevation showing portion of upper level which should have an increased side setback, in line with wall of existing building, to reduce bulk and dominance.

**Attachment 3 - PLN18/0118 - 8 Rogers Street Richmond - Heritage advice**



Above: proposed L1 floor plan showing portion of upper level which should have an increased side setback, in line with wall of existing building, to reduce bulk and dominance.

**Scale/height:**

Clause 22.02-5.7.1 of the Yarra Planning Scheme encourages:

similar façade heights to the adjoining contributory elements in the street. Where there are differing façade heights, the design should adopt the lesser height

The proposed facade height for the new development is 7.2metres including the roof terrace. The existing building is approximately 5metres tall.

A sightline diagram has been submitted showing that approximately 2metres of the development would be visible above the existing building. Given the pitch of the original roof, in reality more of the development would be visible.

Currently trees conceal much of the subject site from the street front. However, trees are not permanent and should not be relied upon to provide concealment. Without the trees the site, including new additions, would be highly visible. The bulk and dominance of the new addition would adversely impact the historic presentation of the site, and highly visible roof terrace activity would detract from the site’s traditional features.

Accordingly, **the overall scale of the proposed development is not supported**. It is strongly recommended that the **roof terrace be deleted** from the scheme; and that the **overall height of the development be restricted to 6.5metres**.

**Roof form:**

A flat roof design has been proposed for the development. A contemporary flat roof is only supported with an increased side set for the upper floor level and a reduction in overall height.

Failing this, the proposed new roof should be modified to be in keeping with the roof form of the original building, i.e. without the roof terrace.

**Appearance:**

Clause 22.02-5.7.1 of the Yarra Planning Scheme encourages the design of new development to:

- Respect the pattern, rhythm, orientation to the street, spatial characteristics, fenestration, roof form, materials and heritage character of the surrounding historic streetscape.

### Attachment 3 - PLN18/0118 - 8 Rogers Street Richmond - Heritage advice

- Be articulated and massed to correspond with the prevailing building form of the heritage place or contributory elements to the heritage place.
- Be visually recessive and not dominate the heritage place.
- Be distinguishable from the original historic fabric.
- Not remove, cover, damage or change original historic fabric.
- Not obscure views of principle façades.
- Consider the architectural integrity and context of the heritage place or contributory element

A contemporary design approach has been adopted for the proposed development. This approach is not unacceptable provided that:

a) the development is fully concealed from the public realm; or

b) adequate respect is given to the heritage character of the surrounding area through details such as external materials, proportions and fenestration.

The proposed external materials for the new development will be white render cladding; and timber frames and screening. Façade fenestrations are vertical rectangular and restricted to small areas of the wall. Side windows are horizontal but will not be as visible from the public realm. The proposed materials and appearance of the new development are supported.

#### *Proposed carport*

The proposal includes a 2.2metre high, aluminium and timber carport at the front of the property. The carport is to replace an existing old prefabricated carport, but is to be located closer to the front than the existing.



*Above: Existing carport in front of the subject dwelling*

The subject site is abutted by non-contributory buildings. Like the existing carport, the proposed carport structure will continue to partially obscure views to the heritage building.

The State policy on Heritage Conservation (Clause 15.03-1) aims to:

Ensure an appropriate setting and context for heritage places is maintained or enhanced

The existing carport structure is detrimental to the setting of the heritage building. Replacing the carport structure with another structure of similar scale and appearance will not enhance the setting of the heritage building. The only difference will be that the materials and the detailing of the new carport will be more in keeping with character of heritage area.

**Attachment 3 - PLN18/0118 - 8 Rogers Street Richmond - Heritage advice**

On the basis that the proposed carport structure will be more sympathetic to the character of the subject property and the surrounds than the existing carport, it is considered that it can be supported.

Ideally, the existing carport should simply be demolished and the parking area restored to form part of the front garden.

**RECOMMENDATIONS:**

On heritage grounds the works proposed in this application must be modified prior to further consideration. Suggested changes are:

- 1) That the northern side setback of the proposed upper floor level must be increased so that it sits directly behind the width of the original house;
- 2) That the proposed roof terrace of the rear addition must be deleted;
- 3) That the overall maximum height of the proposed addition must be reduced to 6.5metres;
- 4) That the roof form of the proposed rear addition must be redesigned to appear more in keeping with the roof form of the original house.

**SIGNED:**



Diahn McIntosh

**DATED: 29 May 2018**