

Attachment 1 - PLN18/0008 - 12 The Vaucluse Richmond - Locality Map

SUBJECT LAND: 12 The Vaucluse, Richmond



★ Subject Site

Attachment 2 - PLN18/0008 - 12 The Vaucluse Richmond - Decision Plans

Falcon Vaucluse

CLIENT: Hugh & Jenny Falcon

DRAWING NO.	DRAWING NAME	REVISION
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TP002	MATERIALS BOARD	A
TP003	SITE ANALYSIS	A
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TP005	STREETSCAPE PHOTOS	A
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TP034	VERANDAH DOOR	A
TP035	SIDE GATE	A
TP036	A15 OVERLOOKING DIAGRAM	B
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TOWN PLANNING

REV	ISSUE DATE	BY	REASON FOR ISSUE
1	26/12/2017	DM	Town Planning
A	27/2/2018	DM	Town Planning - RFI
B	9/7/2018	DM	Town Planning - Amendment

PROJECT
Falcon Vaucluse
 12 The Vaucluse Richmond 3121

CLIENT
Hugh & Jenny Falcon

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE TOWN PLANNING ACT AND TO COMPLY WITH THE TOWN PLANNING CODE OF AUSTRALIA. ALL ENGINEERS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE
INDEX

SCALE AT A1
 =

ISSUE DATE
 9/7/2018

JOB NUMBER
 496

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 DM

DRAWING NO.
 TP001

Attachment 2 - PLN18/0008 - 12 The Vaucluse Richmond - Decision Plans

EXISTING EXTERNAL FINISHES



RN-X
MATERIAL: RENDER
COLOUR: CREAM



BR-X
MATERIAL: BRICKWORK
COLOUR: RED / BROWN



BL-X
MATERIAL: BLUESTONE
COLOUR: DARK GREY



TD-X
MATERIAL: TIMBER DECK
COLOUR: RED / BROWN



CN-X
MATERIAL: CONCRETE
COLOUR: GREY



TF-X
MATERIAL: TIMBER PALING FENCE
COLOUR: GREY / BROWN



PT-X
MATERIAL: PAINTED TIMBER
COLOUR: PALE GREEN



P2-X
MATERIAL: PAINTED IRON FENCE
COLOUR: BRUNSWICK GREEN



P3-X
MATERIAL: PAINTED IRON LACEWORK
COLOUR: CREAM

PROPOSED EXTERNAL FINISHES



BR-1
MATERIAL: BRICKWORK
COLOUR: LIGHTLY BAGGED



GL-1
MATERIAL: GLASS
COLOUR: CLEAR



MT-1
MATERIAL: METAL ROLLER DOOR
COLOUR: GREY



P-1
MATERIAL: PAINTED WINDOW FRAMES
COLOUR: MID-GREY



RN-1
MATERIAL: CEMENT RENDER



GL-2
MATERIAL: GLASS (NARROW REED)
COLOUR: OBSCURED CLEAR

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TOWN PLANNING

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1	20/12/2017	DM	Town Planning
A	2/2/2018	DM	Town Planning - RP

PROJECT
Falcon Vaucluse
12 The Vaucluse Richmond 3121

CLIENT
Hugh & Jenny Falcon

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE
MATERIALS BOARD

SCALE AT A1

JOB NUMBER
496

ISSUE DATE
27/2/2018

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DM

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TP002

Attachment 2 - PLN18/0008 - 12 The Vaucluse Richmond - Decision Plans



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TOWN PLANNING		
REV	ISSUE DATE	REASON FOR ISSUE
1	20/12/2017	DM Town Planning
A	2/2/2018	DM Town Planning - RP

PROJECT
Falcon Vaucluse
12 The Vaucluse Richmond 3121

CLIENT
Hugh & Jenny Falcon

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE ENGINEERING AND TO COMPLY WITH THE REGULATORY CODE OF AUSTRALIA. ALL ENGINEERS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE
SITE ANALYSIS

SCALE AT A1
1:500

ISSUE DATE
27/2/2018

JOB NUMBER
496

DRAWN BY
DM

DRAWING NO.
TP003

Attachment 2 - PLN18/0008 - 12 The Vaucluse Richmond - Decision Plans



1 VIEW FROM THE VAUCLUSE
1:10



2 EAST VIEW - THE VAUCLUSE
1:10



3 EAST VIEW - THE VAUCLUSE
1:10



4 WEST VIEW - THE VAUCLUSE
1:10



5 NORTH VIEW - THE VAUCLUSE
1:10



6 FRONT OF NO. 10
1:5

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TOWN PLANNING

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1	20/12/2017	DM	Town Planning
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PROJECT
Falcon Vaucluse
12 The Vaucluse Richmond 3121

CLIENT
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ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE TOWN PLANNING ACT 1988 AND TO COMPLY WITH THE TOWN PLANNING CODE OF AUSTRALIA. ALL ENVIRONMENTAL FEES TO BE PAID PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE
STREETSCAPE PHOTOS

SCALE AT A3
JOB NUMBER
496

ISSUE DATE
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TP004

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7 EAST VIEW - LANEWAY
1:10



8 WEST VIEW - LANEWAY
1:10



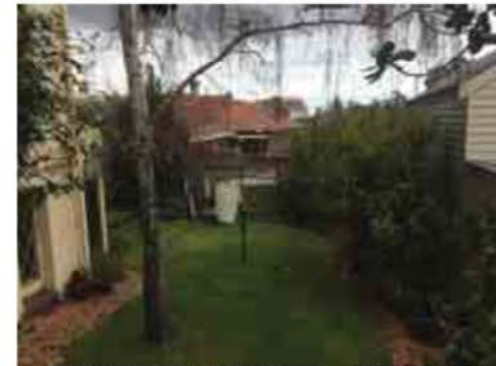
9 WEST VIEW - LANEWAY
1:10



10 VIEW FROM BACKYARD TO No. 14 REAR
1:7.14



11 LOOKING WEST TO NO. 10
1:10



12 VIEW OF BACKYARD LOOKING SOUTH
1:10

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TOWN PLANNING

REV	ISSUE DATE	BY	REASON FOR ISSUE
1	20/12/2017	DM	Town Planning
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PROJECT
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12 The Vaucluse Richmond 3121

CLIENT
Hugh & Jenny Falcon

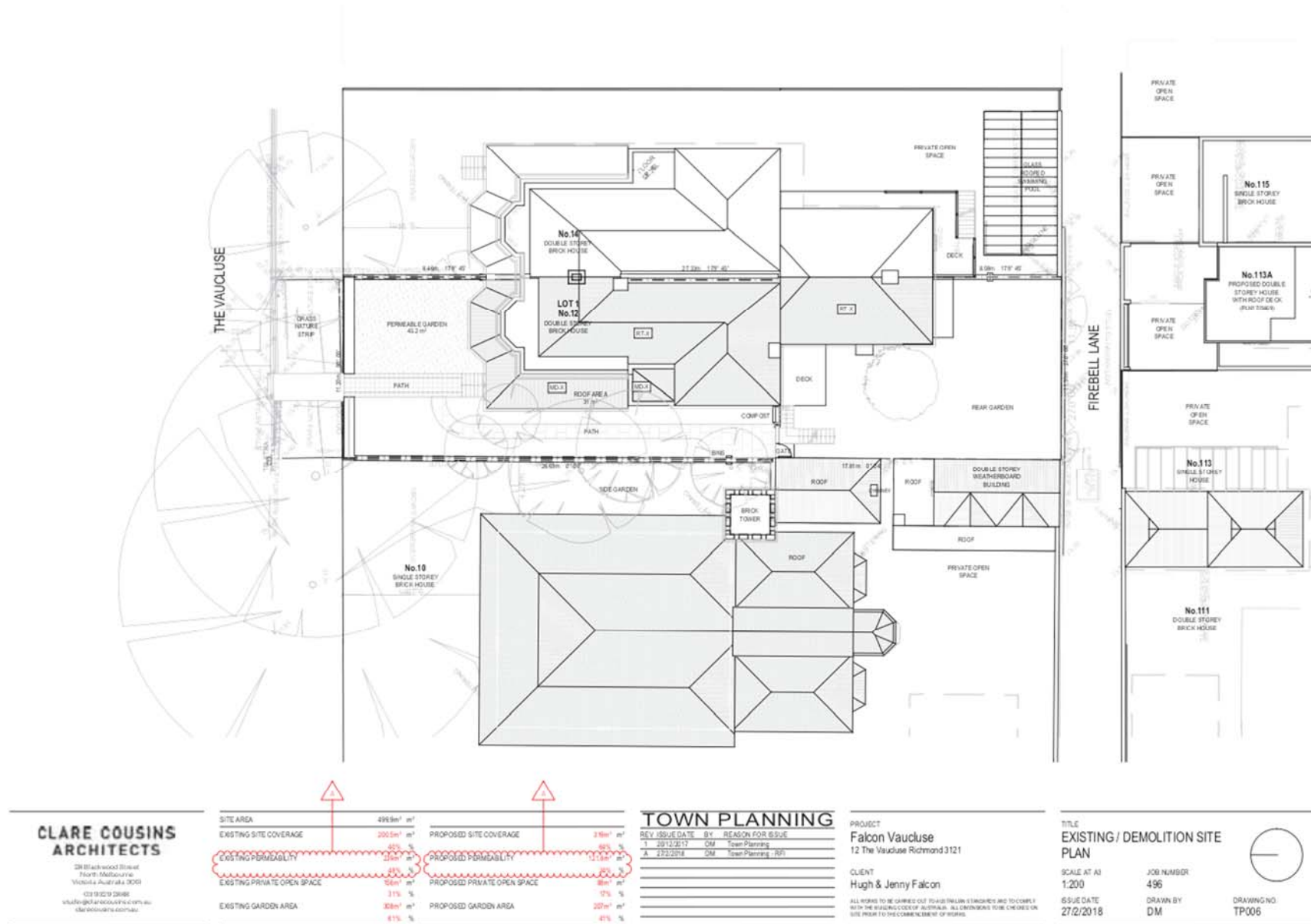
ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE TOWN PLANNING ACT 1988 AND TO COMPLY WITH THE TOWN PLANNING CODE OF AUSTRALIA. ALL CONSTRUCTION TO BE COMPLETED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE
STREETSCAPE PHOTOS

SCALE AT A1
JOB NUMBER
496

ISSUE DATE
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EXISTING	PROPOSED
SITE AREA	496m ² m ²
EXISTING SITE COVERAGE	200m ² m ²
EXISTING PERMEABILITY	45% %
EXISTING PRIVATE OPEN SPACE	35m ² m ²
EXISTING GARDEN AREA	38m ² m ²
PROPOSED SITE COVERAGE	290m ² m ²
PROPOSED PERMEABILITY	66% %
PROPOSED PRIVATE OPEN SPACE	80m ² m ²
PROPOSED GARDEN AREA	207m ² m ²

TOWN PLANNING

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TITLE
EXISTING / DEMOLITION SITE PLAN

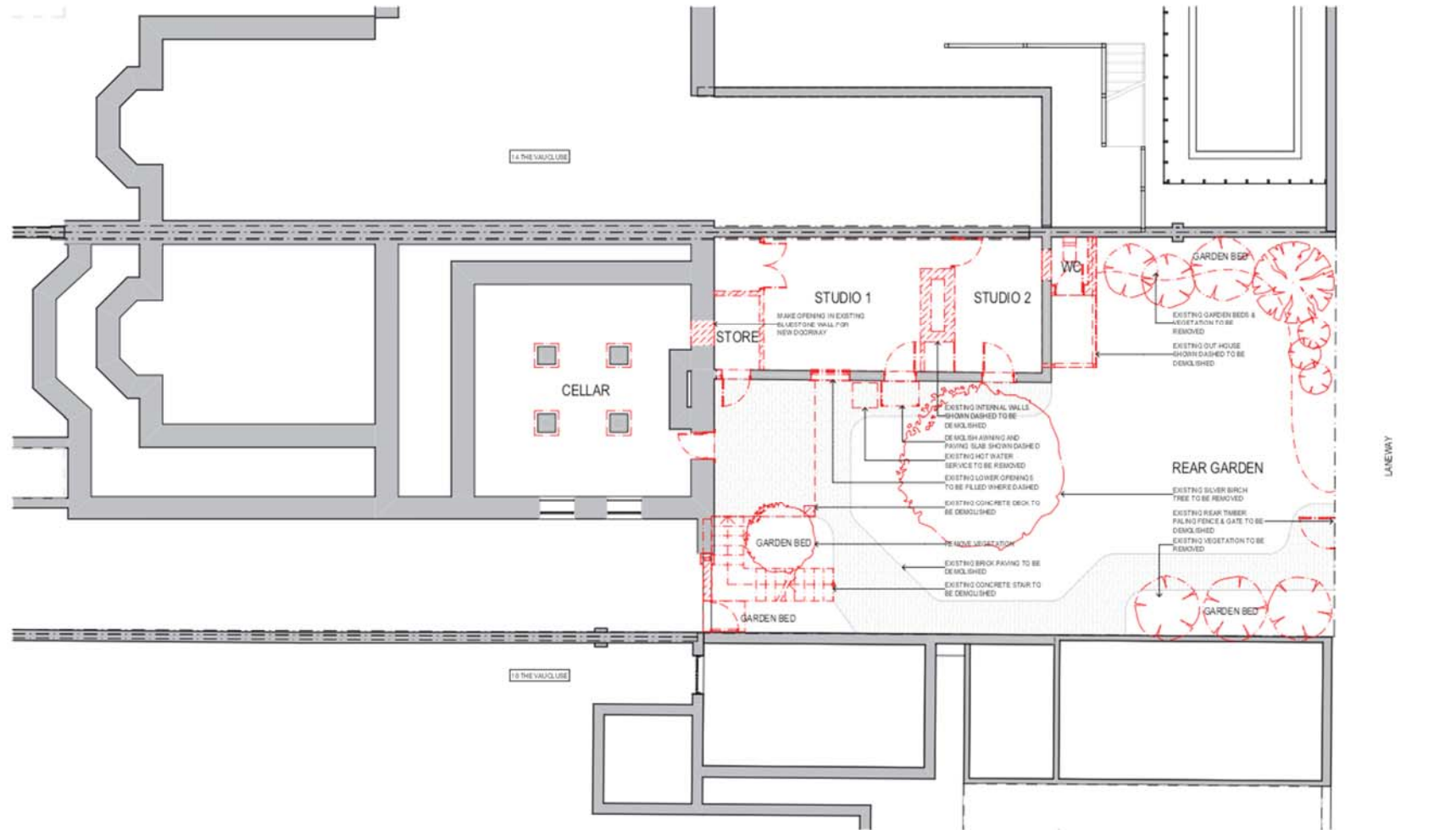
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ISSUE DATE
27/2/2018

JOB NUMBER
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	EXISTING BUILDING FABRIC TO REMAIN	UHW	UPPER HABITABLE WINDOW
	EXISTING BUILDING FABRIC TO BE DEMOLISHED	LHW	LOWER HABITABLE WINDOW
	NEIGHBOURING BUILDINGS	HW	HABITABLE WINDOW
		D	DOOR
		DD	DOUBLE DOOR
		DT	DECIDUOUS TREE
		ET	EVERGREEN TREE
		NT	NATIVE TREE

TOWN PLANNING			
REV	ISSUE DATE	BY	REASON FOR ISSUE
1	20/12/2017	DM	Town Planning
A	23/2/2018	DM	Town Planning - RFI
B	02/20/18	DM	Town Planning - Amendment

PROJECT
Falcon Vaucluse
 12 The Vaucluse Richmond 3121

CLIENT
Hugh & Jenny Falcon

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TITLE
EXISTING / DEMOLITION LOWER GROUND FLOOR PLAN

SCALE AT A1
 1:100

ISSUE DATE
 9/7/2018

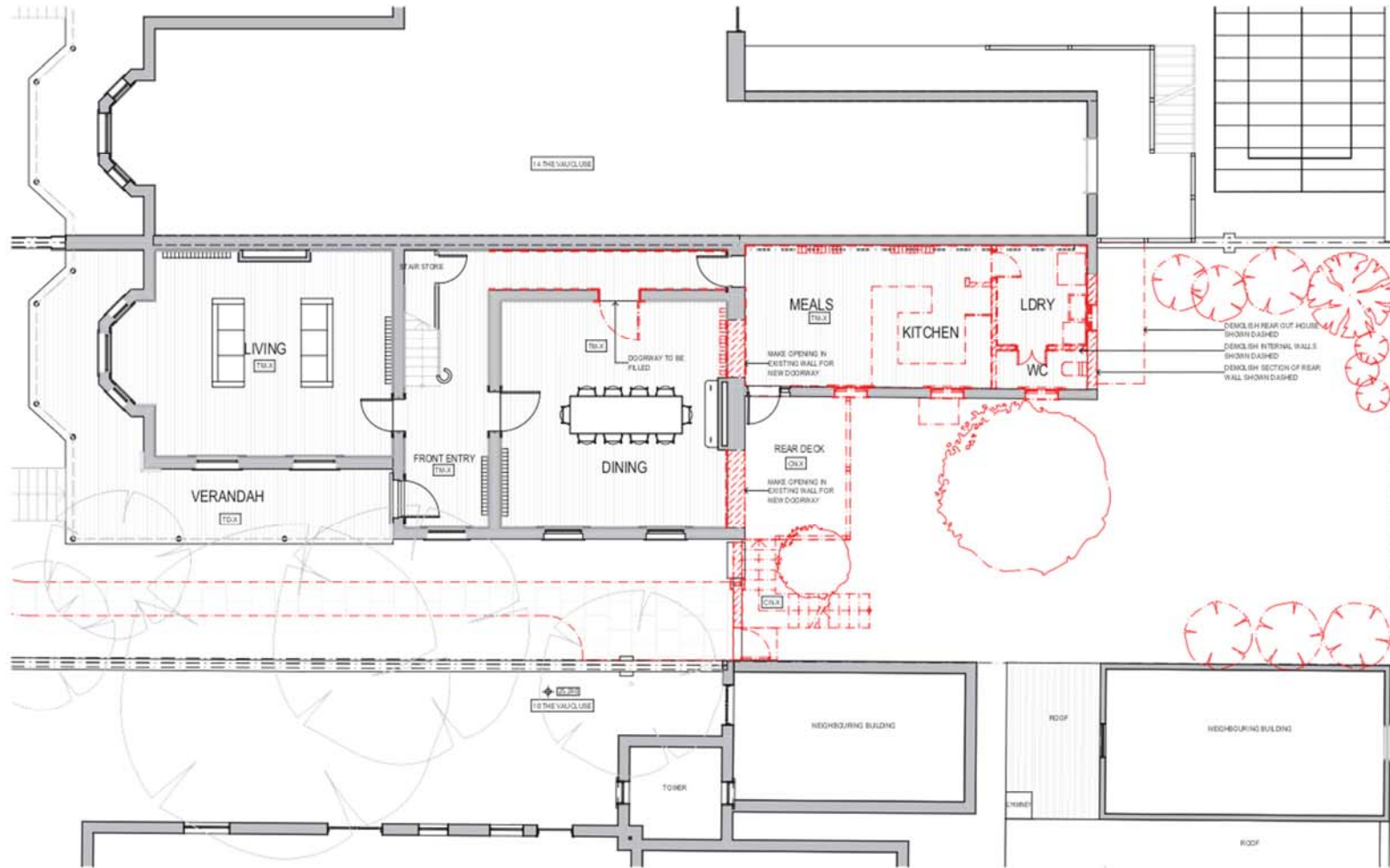
JOB NUMBER
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- EXISTING BUILDING FABRIC TO REMAIN
- EXISTING BUILDING FABRIC TO BE DEMOLISHED
- NEIGHBOURING BUILDINGS

- UHW UPPER HABITABLE WINDOW
- LHW LOWER HABITABLE WINDOW
- HW HABITABLE WINDOW
- D DOOR
- DD DOUBLE DOOR
- DE DECIDUOUS TREE
- EU EUCALYPTUS TREE
- EV EVERGREEN TREE
- NA NATIVE TREE

TOWN PLANNING			
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PROJECT
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 12 The Vaucluse Richmond 3121

CLIENT
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TITLE
EXISTING / DEMOLITION GROUND FLOOR PLAN

SCALE AT A1
 1:100

ISSUE DATE
 9/7/2018

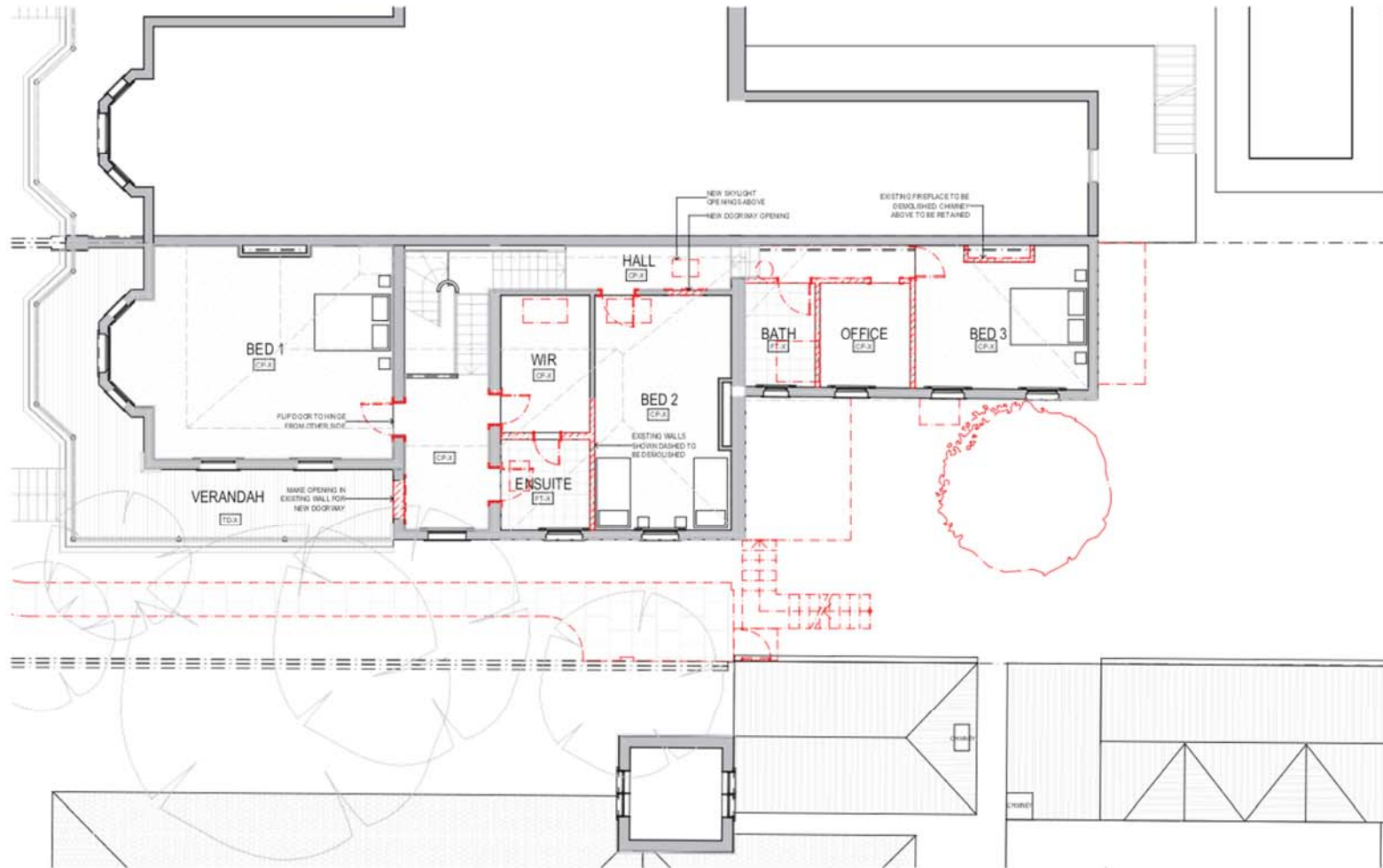
JOB NUMBER
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DRAWING NO
TP008

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	EXISTING BUILDING FABRIC TO REMAIN	UHW	UPPER HABITABLE WINDOW
	EXISTING BUILDING FABRIC TO BE DEMOLISHED	LHW	LOWER HABITABLE WINDOW
	NEIGHBOURING BUILDINGS	HW	HABITABLE WINDOW
		D	DOOR
		DD	DOUBLE DOOR
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TOWN PLANNING

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PROJECT
Falcon Vaucluse
 12 The Vaucluse Richmond 3121

CLIENT
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TITLE
EXISTING / DEMOLITION FIRST FLOOR PLAN

SCALE AT A1
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ISSUE DATE
 9/7/2018

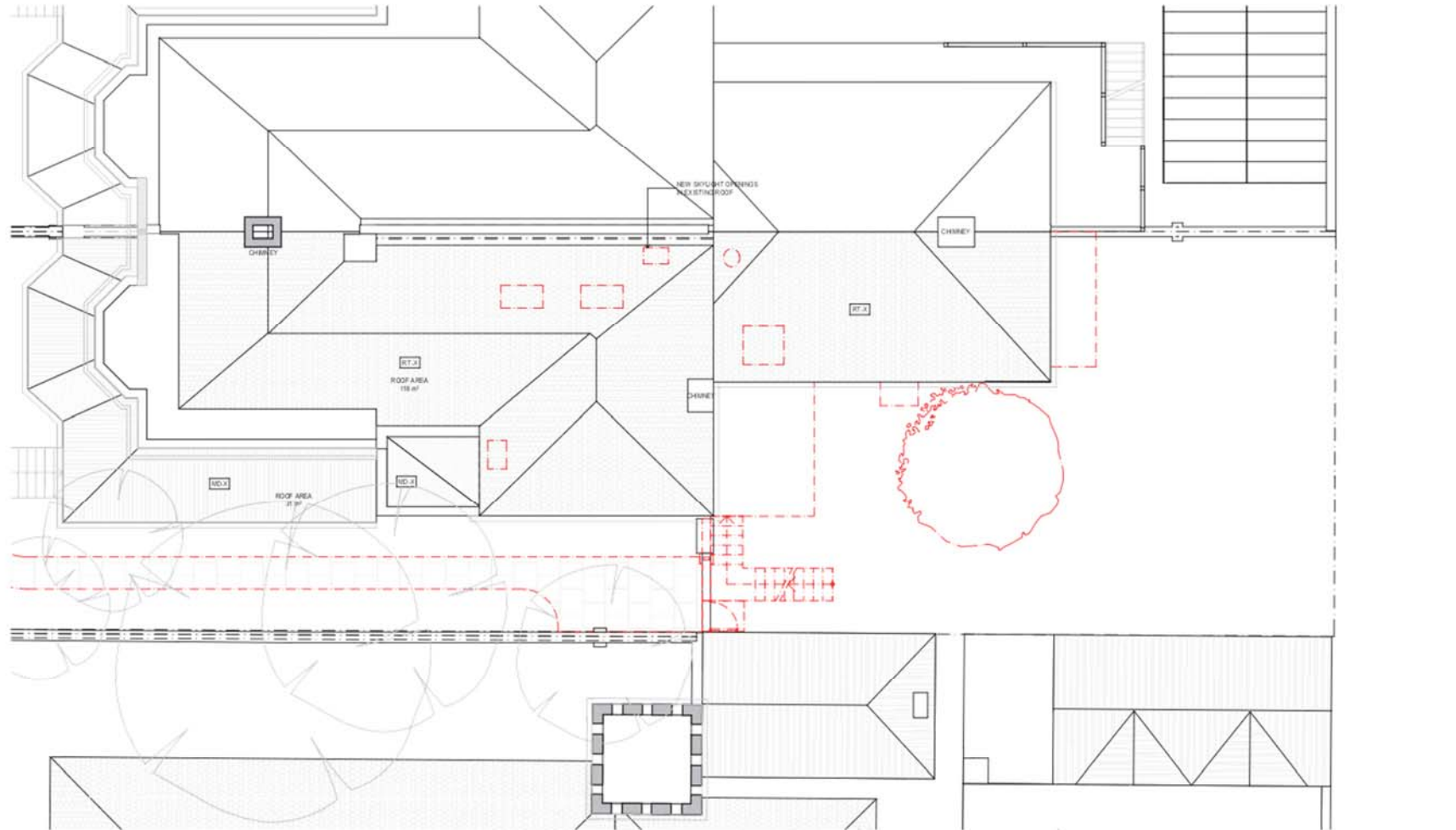
JOB NUMBER
 496

DRAWN BY
 DM

DRAWING NO
 TP009



Attachment 2 - PLN18/0008 - 12 The Vaucluse Richmond - Decision Plans



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-  EXISTING BUILDING FABRIC TO REMAIN
-  EXISTING BUILDING FABRIC TO BE DEMOLISHED
-  NEIGHBOURING BUILDINGS

- UHW UPPER HABITABLE WINDOW
- LHW LOWER HABITABLE WINDOW
- HW HABITABLE WINDOW
- D DOOR
- DD DOUBLE DOOR
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TOWN PLANNING

REV	ISSUE DATE	BY	REASON FOR ISSUE
1	20/12/2017	DM	Town Planning
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PROJECT
Falcon Vaucluse
12 The Vaucluse Richmond 3121

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TITLE
EXISTING / DEMOLITION ROOF PLAN

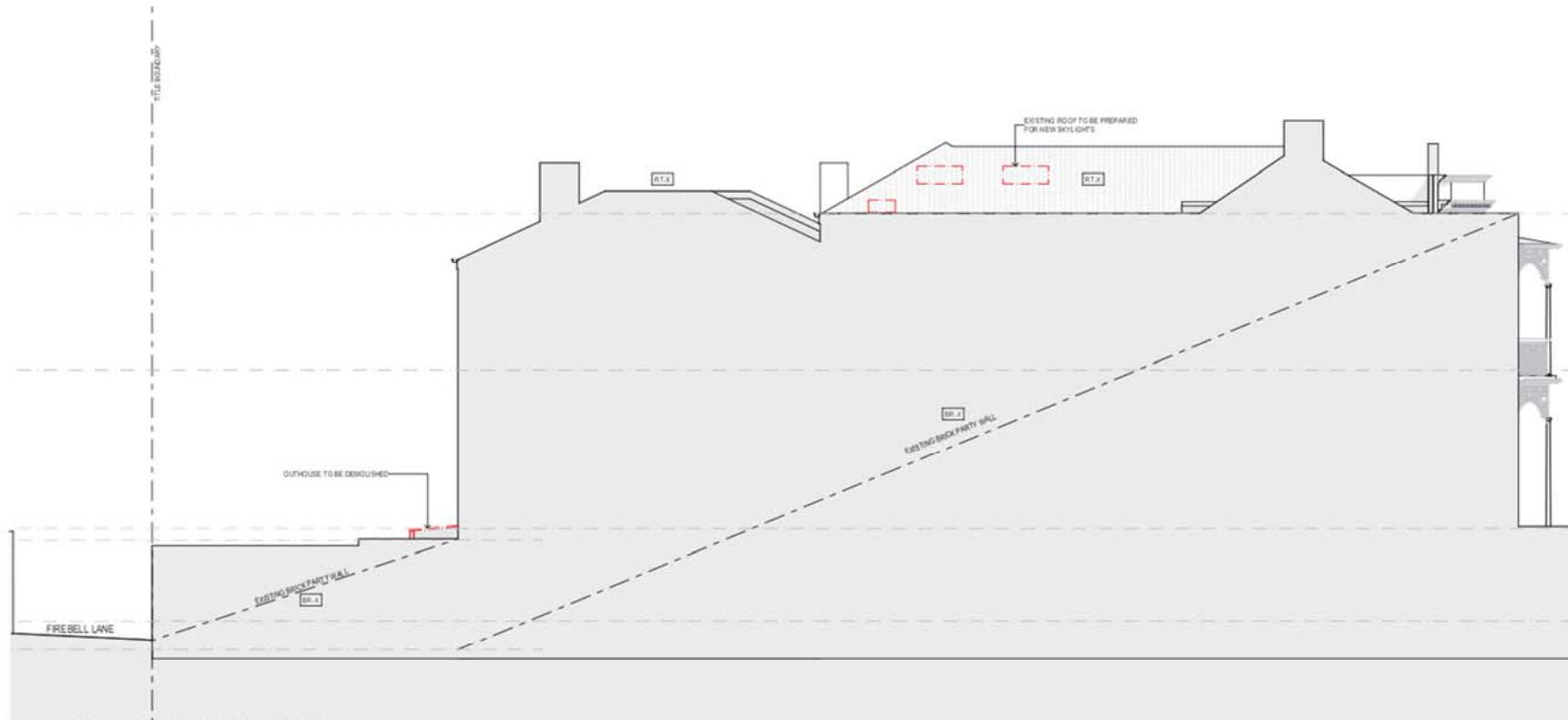
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ISSUE DATE
9/7/2018

JOB NUMBER
496
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DM



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TP010

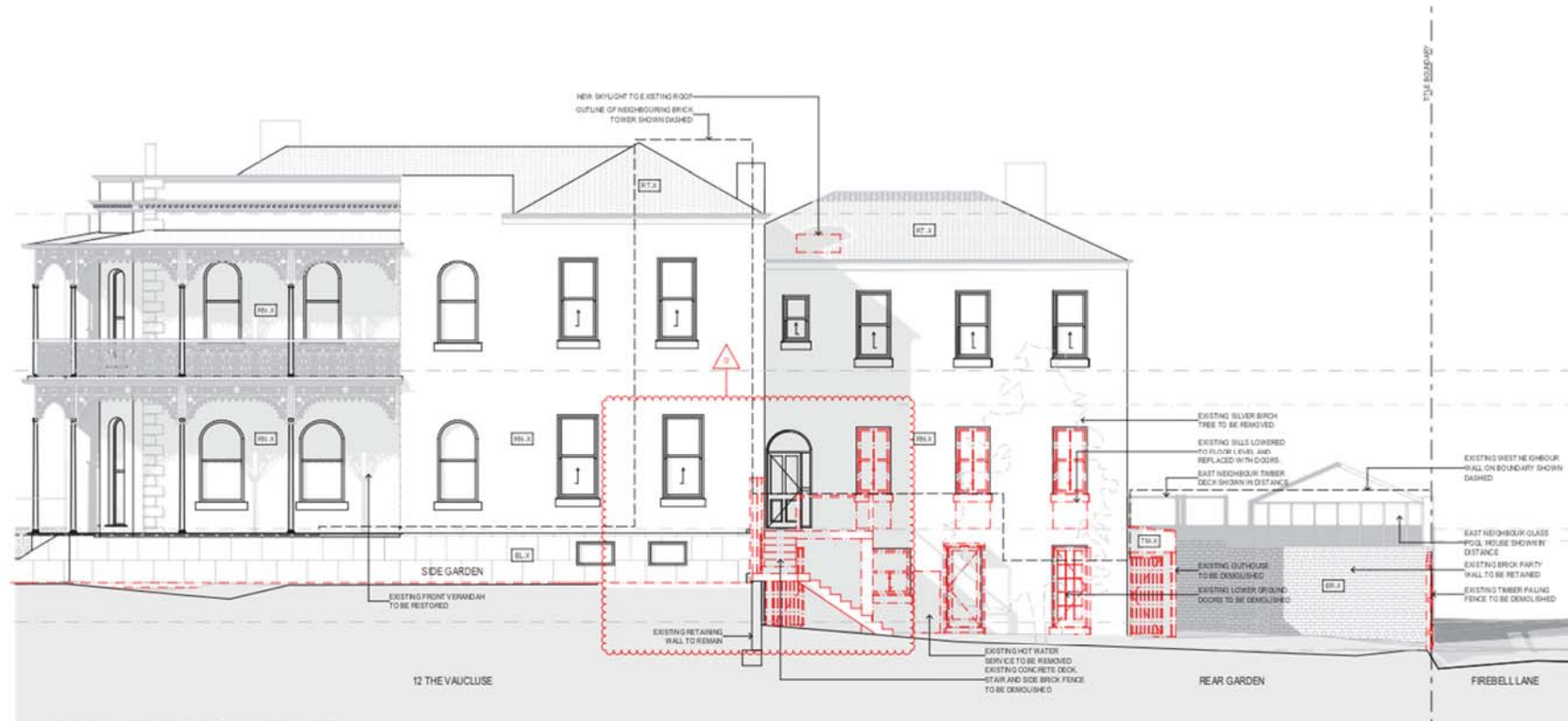
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1 EXISTING EAST ELEVATION
1:100

<p>CLARE COUSINS ARCHITECTS 28 Beakwood Street North Melbourne Victoria Australia 3001 03 9329 2886 info@clarecousins.com.au clarecousins.com.au</p>	<p>EXISTING BUILDING FABRIC TO REMAIN</p>	<p>UHW UPPER HABITABLE WINDOW LHW LOWER HABITABLE WINDOW HW HABITABLE WINDOW D DOOR DD DOUBLE DOOR</p>	<p>TOWN PLANNING</p> <table border="1"> <thead> <tr> <th>REV</th> <th>ISSUE DATE</th> <th>BY</th> <th>REASON FOR ISSUE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>20/12/2017</td> <td>DM</td> <td>Town Planning</td> </tr> <tr> <td>A</td> <td>2/2/2018</td> <td>DM</td> <td>Town Planning - RFI</td> </tr> </tbody> </table>	REV	ISSUE DATE	BY	REASON FOR ISSUE	1	20/12/2017	DM	Town Planning	A	2/2/2018	DM	Town Planning - RFI	<p>PROJECT Falcon Vaucluse 12 The Vaucluse Richmond 3121</p>	<p>TITLE EXISTING / DEMOLITION ELEVATIONS</p>
	REV	ISSUE DATE	BY	REASON FOR ISSUE													
1	20/12/2017	DM	Town Planning														
A	2/2/2018	DM	Town Planning - RFI														
<p>EXISTING BUILDING FABRIC TO BE DEMOLISHED</p>	<p>DE DECIDUOUS TREE EU EUCALYPTUS TREE EV EVERGREEN TREE NA NATIVE TREE</p>	<p>CLIENT Hugh & Jenny Falcon</p>	<p>SCALE AT A1 JOB NUMBER 496</p>	<p>ISSUE DATE 27/2/2018</p>	<p>DRAWN BY DM</p>												

Attachment 2 - PLN18/0008 - 12 The Vaucluse Richmond - Decision Plans



2 EXISTING WEST ELEVATION
1:100

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	EXISTING BUILDING FABRIC TO REMAIN	UHW	UPPER HABITABLE WINDOW
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TOWN PLANNING

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PROJECT
Falcon Vaucluse
12 The Vaucluse Richmond 3121

CLIENT
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TITLE
EXISTING / DEMOLITION ELEVATIONS

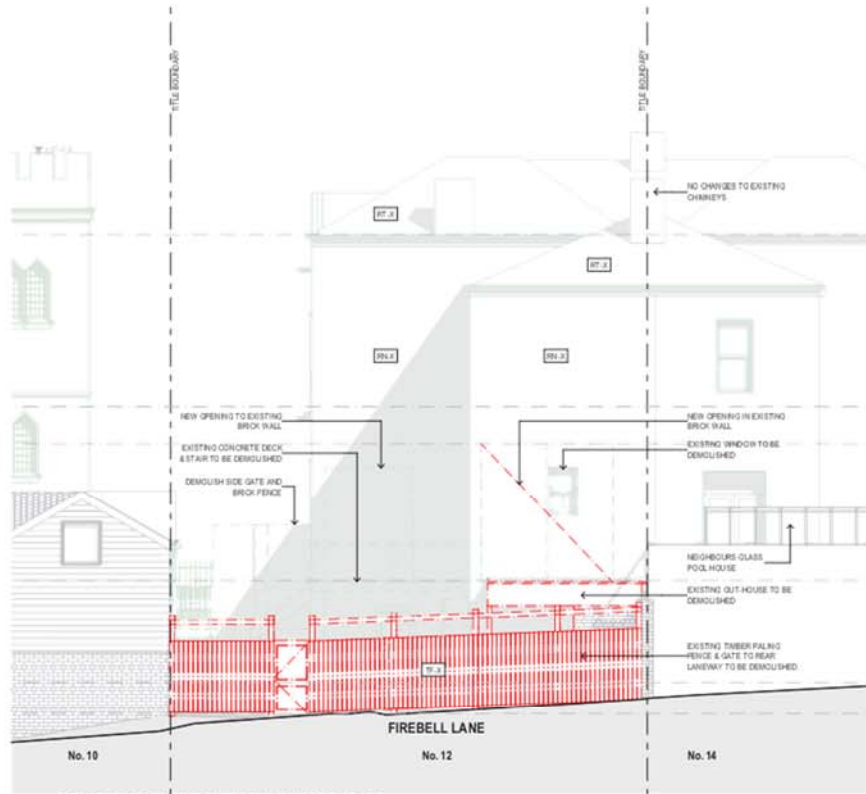
SCALE AT A3
JOB NUMBER
496

ISSUE DATE
9/7/2018

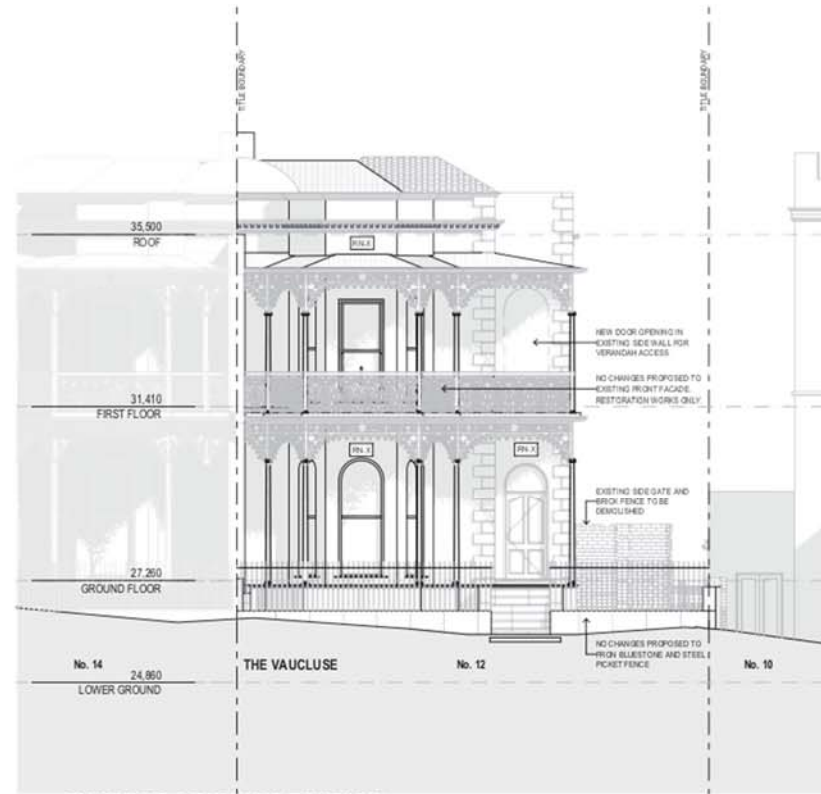
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TP012

Attachment 2 - PLN18/0008 - 12 The Vaucluse Richmond - Decision Plans



3 EXISTING SOUTH ELEVATION
1:100



4 EXISTING NORTH ELEVATION
1:100

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- EXISTING BUILDING FABRIC TO REMAIN
- EXISTING BUILDING FABRIC TO BE DEMOLISHED
- NEIGHBOURING BUILDINGS

- UHW UPPER HABITABLE WINDOW
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TOWN PLANNING			
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PROJECT
Falcon Vaucluse
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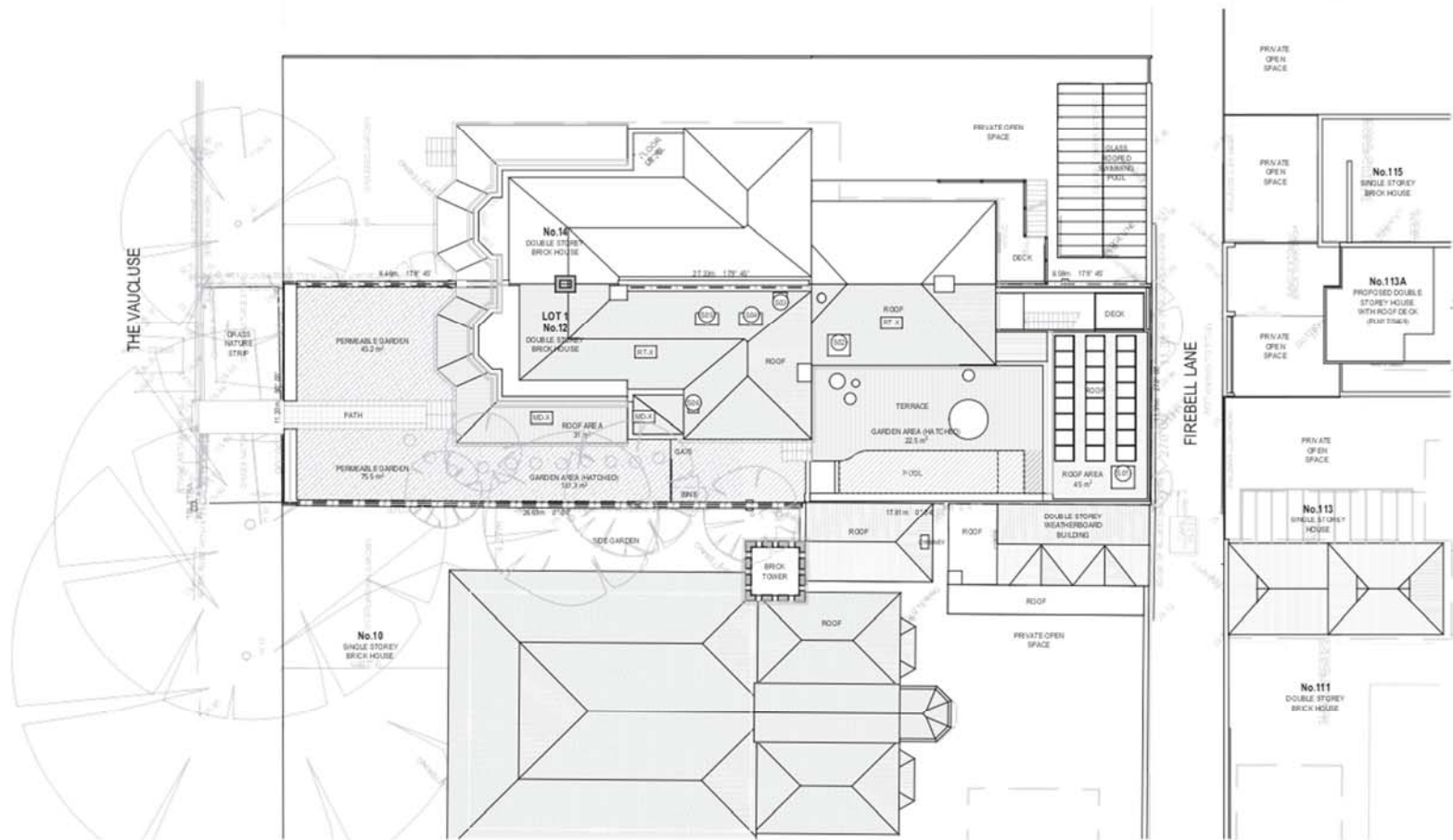
ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE ENGINEERING AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE
EXISTING / DEMOLITION ELEVATIONS

SCALE AT A3
JOB NUMBER
496

ISSUE DATE
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DM
DRAWING NO.
TP013

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SITE AREA	4968m ²	m ²		
EXISTING SITE COVERAGE	2005m ²	40%	PROPOSED SITE COVERAGE	2760m ²
EXISTING PERMEABILITY	238m ²	48%	PROPOSED PERMEABILITY	1218m ²
EXISTING PRIVATE OPEN SPACE	156m ²	31%	PROPOSED PRIVATE OPEN SPACE	86m ²
EXISTING GARDEN AREA	308m ²	61%	PROPOSED GARDEN AREA	207m ²

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CLIENT
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 SET BY THE TOWN PLANNING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON
 SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE
PROPOSED SITE PLAN


SCALE AT A1
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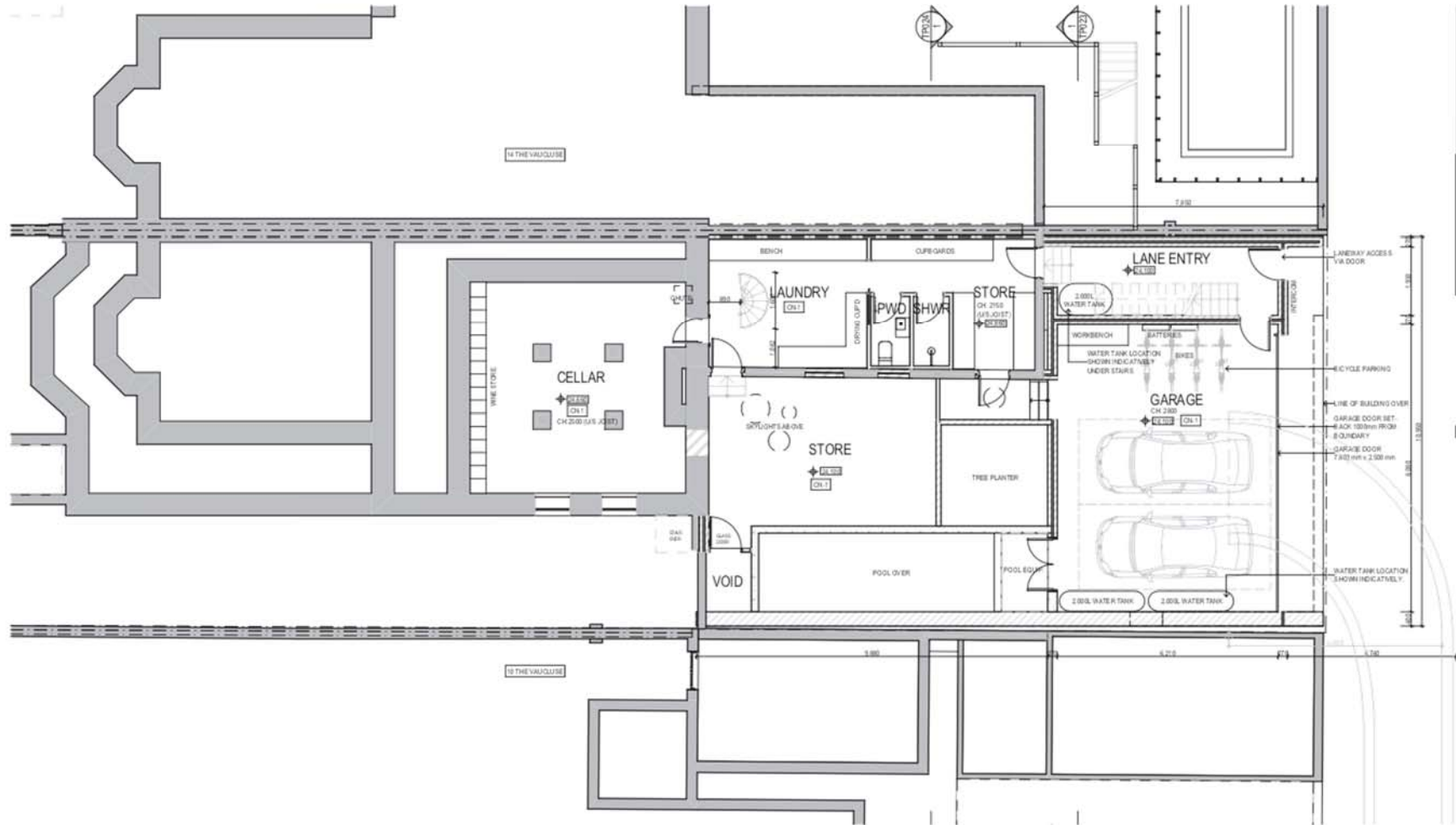
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DRAWING NO
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TOWN PLANNING			
REV	ISSUE DATE	BY	REASON FOR ISSUE
1	20/12/2017	DM	Town Planning
A	27/2/2018	DM	Town Planning - RFI
B	9/7/2018	DM	Town Planning - Amendment

PROJECT
Falcon Vaucluse
 12 The Vaucluse Richmond 3121

CLIENT
Hugh & Jenny Falcon

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS AND TO COMPLY WITH THE BUILDING CODES OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE
PROPOSED LOWER GROUND FLOOR PLAN

SCALE AT A1
 1:100

ISSUE DATE
 9/7/2018

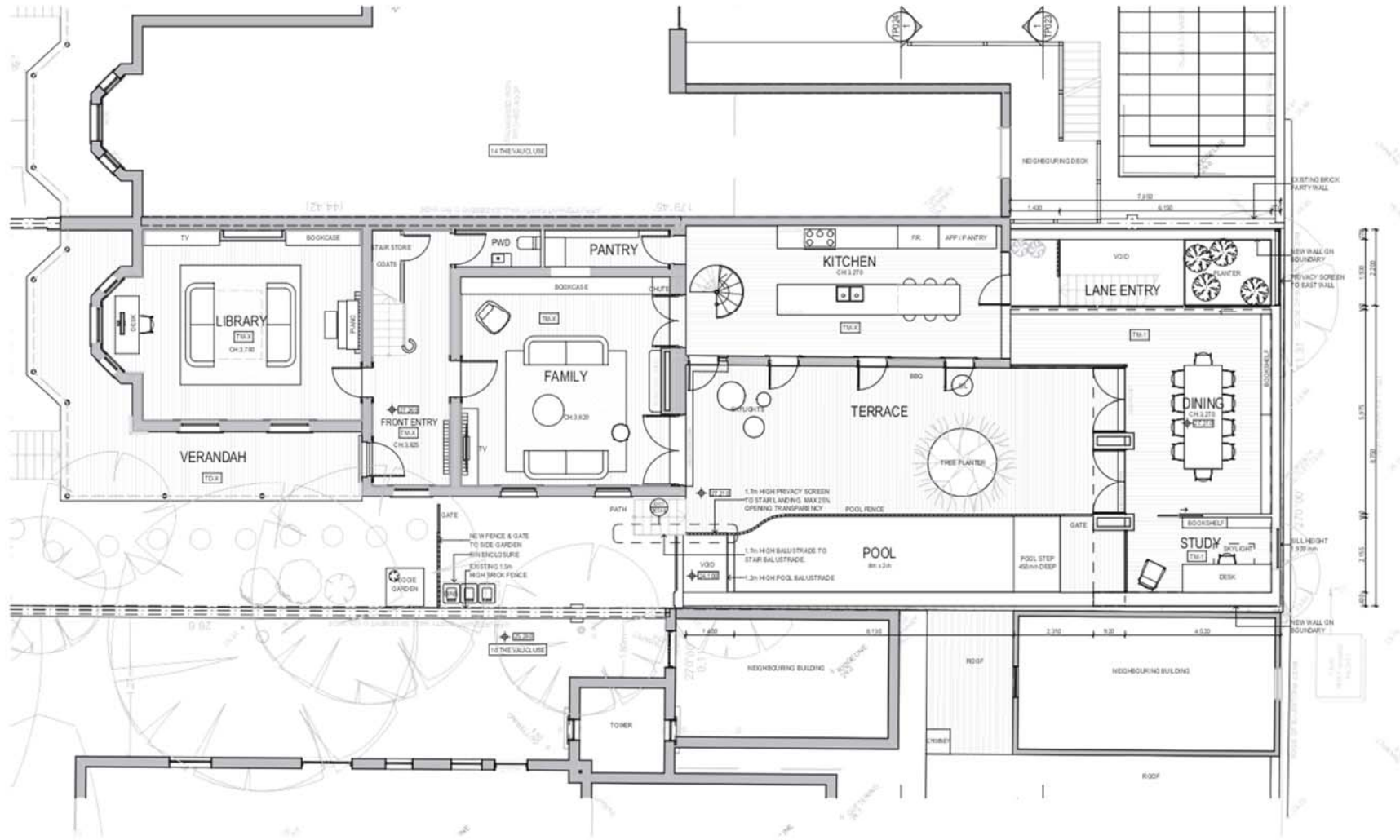
JOB NUMBER
 496

DRAWN BY
 DM

DRAWING NO
 TP015



Attachment 2 - PLN18/0008 - 12 The Vaucluse Richmond - Decision Plans



CLARE COUSINS ARCHITECTS

28 Blackwood Street
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TOWN PLANNING

REV	ISSUE DATE	BY	REASON FOR ISSUE
1	20/12/2017	DM	Town Planning
A	2/2/2018	DM	Town Planning - RFI
B	9/2/2018	DM	Town Planning - Amendment

PROJECT
Falcon Vaucluse
12 The Vaucluse Richmond 3121

CLIENT
Hugh & Jenny Falcon

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE ENGINEER'S AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE
PROPOSED GROUND FLOOR PLAN

SCALE AT A3
1:100

ISSUE DATE
9/7/2018

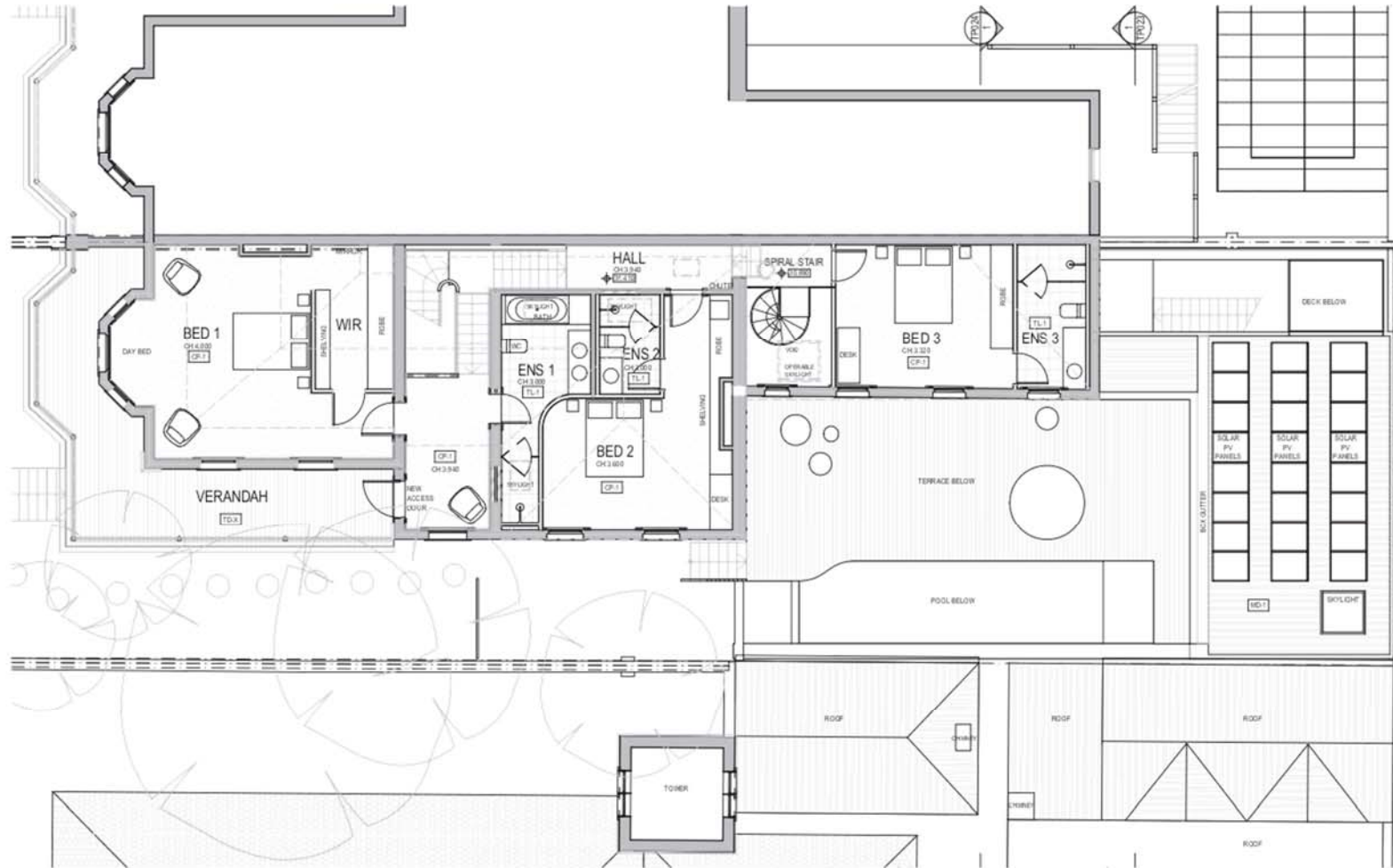
JOB NUMBER
496

DRAWN BY
DM



DRAWING NO
TP016

Attachment 2 - PLN18/0008 - 12 The Vaucluse Richmond - Decision Plans



CLARE COUSINS ARCHITECTS

28 Blackwood Street
North Melbourne
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TOWN PLANNING

REV	ISSUE DATE	BY	REASON FOR ISSUE
1	20/12/2017	DM	Town Planning
A	2/2/2018	DM	Town Planning - RFI
B	9/7/2018	DM	Town Planning - Amendment

PROJECT
Falcon Vaucluse
12 The Vaucluse Richmond 3121

CLIENT
Hugh & Jenny Falcon

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE
PROPOSED FIRST FLOOR PLAN

SCALE AT A1
1:100

ISSUE DATE
9/7/2018

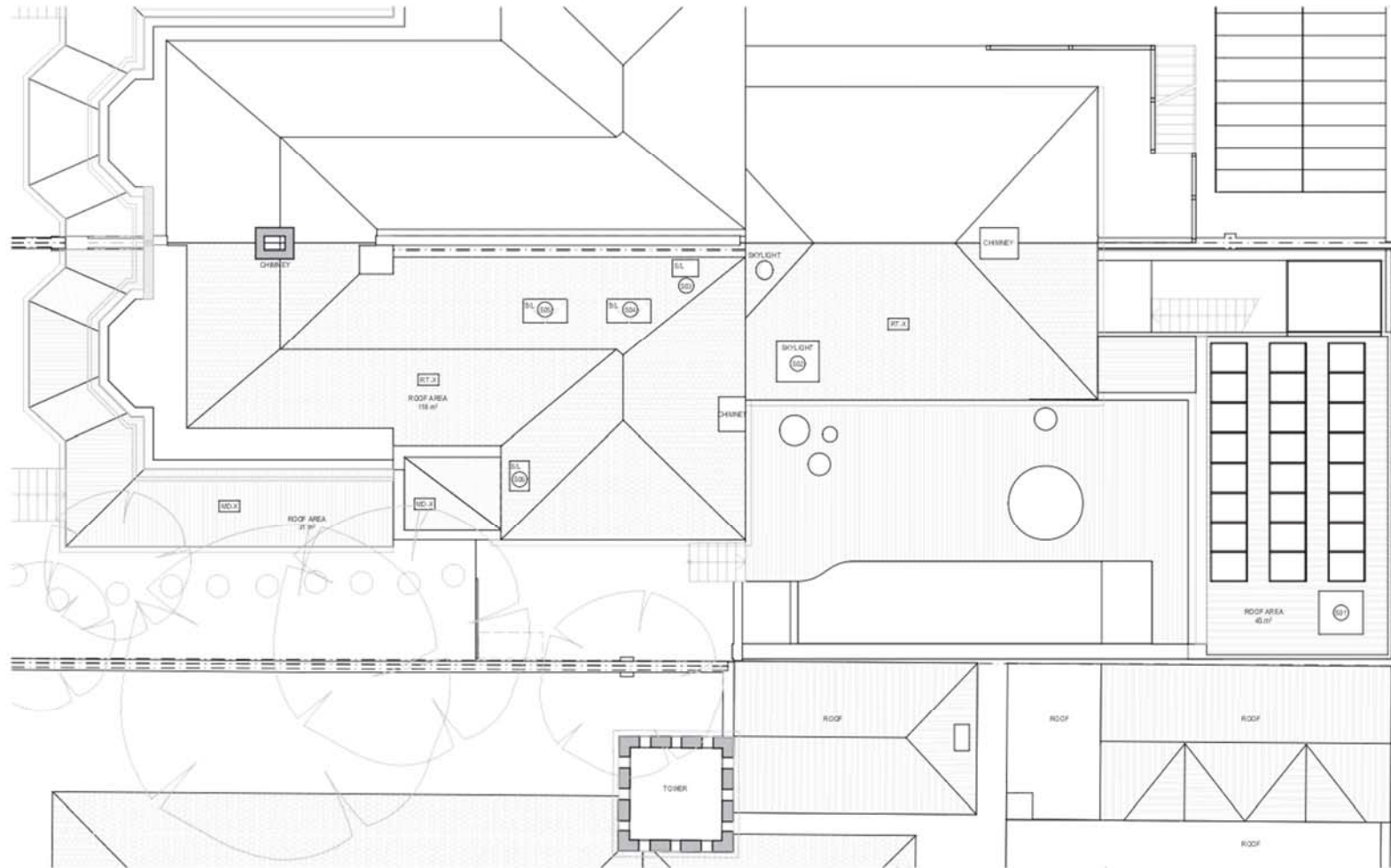
JOB NUMBER
496

DRAWN BY
DM



DRAWING NO
TP017

Attachment 2 - PLN18/0008 - 12 The Vaucluse Richmond - Decision Plans



CLARE COUSINS ARCHITECTS
 28 Barkwood Street
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 clarecousins.com.au

TOWN PLANNING			
REV	ISSUE DATE	BY	REASON FOR ISSUE
1	20/12/2017	DM	Town Planning
A	2/2/2018	DM	Town Planning - RFI
B	9/7/2018	DM	Town Planning - Amendment

PROJECT
Falcon Vaucluse
 12 The Vaucluse Richmond 3121

CLIENT
Hugh & Jenny Falcon

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE
PROPOSED ROOF PLAN


SCALE AT A1
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ISSUE DATE
 9/7/2018

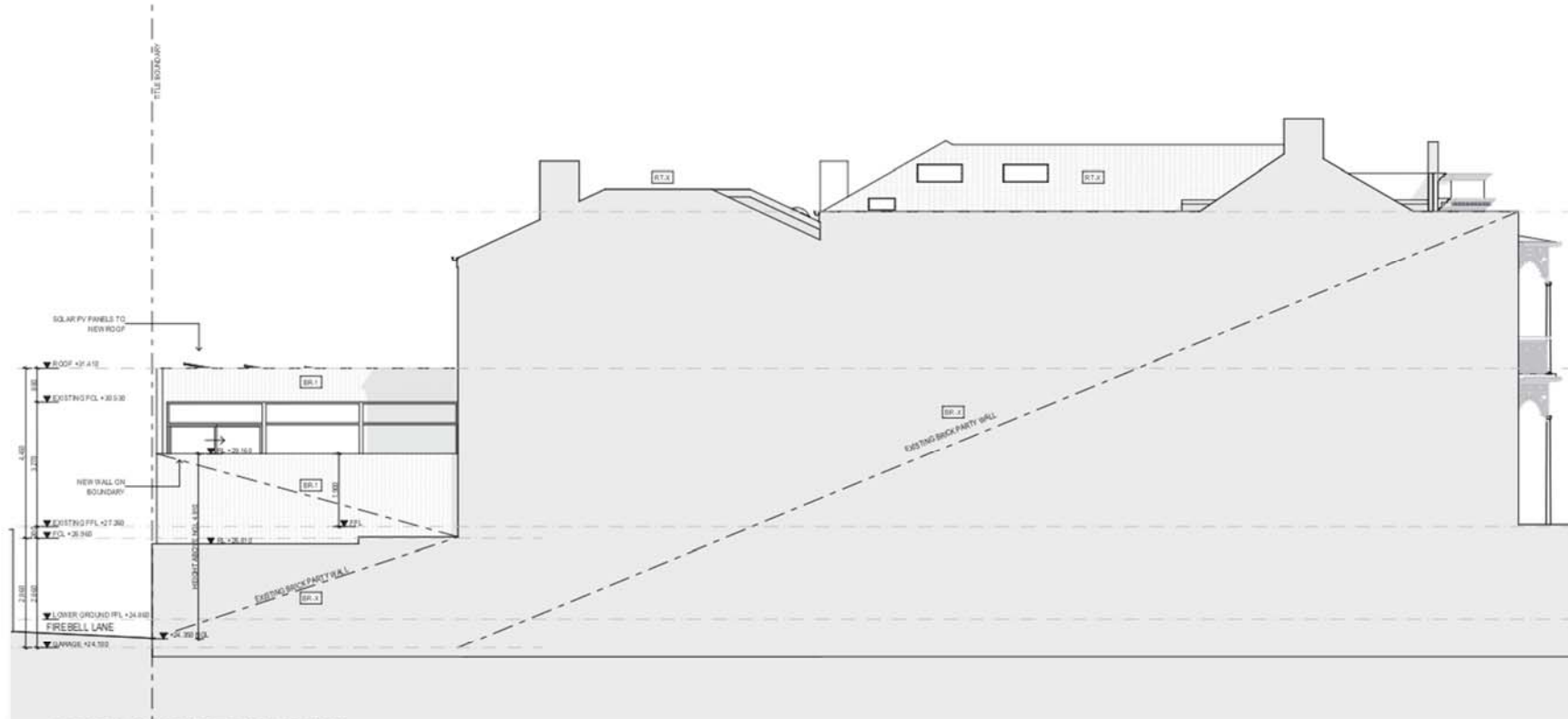
JOB NUMBER
 496

DRAWN BY
 DM

DRAWING NO
 TP018



Attachment 2 - PLN18/0008 - 12 The Vaucluse Richmond - Decision Plans



1 PROPOSED EAST ELEVATION
1:100

CLARE COUSINS ARCHITECTS
28 Beakwood Drive
North Melbourne
Victoria Australia 3048
03 9820 2886
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clarecousins.com.au

- EXISTING BUILDING FABRIC TO REMAIN
- EXISTING BUILDING FABRIC TO BE DEMOLISHED
- NEIGHBOURING BUILDINGS

- UHW UPPER HABITABLE WINDOW
- LHW LOWER HABITABLE WINDOW
- HW HABITABLE WINDOW
- D DOOR
- DD DOUBLE DOOR
- DE DECIDUOUS TREE
- EJ EUCALYPTUS TREE
- EV EVERGREEN TREE
- NA NATIVE TREE

TOWN PLANNING			
REV	ISSUE DATE	BY	REASON FOR ISSUE
1	20/12/2017	DM	Town Planning
A	2/2/2018	DM	Town Planning - RFI
B	9/7/2018	DM	Town Planning - Amendment

PROJECT
Falcon Vaucluse
12 The Vaucluse Richmond 3121

CLIENT
Hugh & Jenny Falcon

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE ENGINEERING AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE
PROPOSED ELEVATIONS

SCALE AT A1

ISSUE DATE
9/7/2018

JOB NUMBER
496

DRAWN BY
DM

DRAWING NO
TP019

Attachment 2 - PLN18/0008 - 12 The Vaucluse Richmond - Decision Plans



2 PROPOSED WEST ELEVATION
1:100

CLARE COUSINS ARCHITECTS
28 Blackwood Street
North Melbourne
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info@clarecousins.com.au
clarecousins.com.au

- EXISTING BUILDING FABRIC TO REMAIN
- EXISTING BUILDING FABRIC TO BE DEMOLISHED
- NEIGHBOURING BUILDINGS
- UHW UPPER HABITABLE WINDOW
- LHW LOWER HABITABLE WINDOW
- HW HABITABLE WINDOW
- D DOOR
- DD DOUBLE DOOR
- DE DECIDUOUS TREE
- EU EUCALYPTUS TREE
- EV EVERGREEN TREE
- NA NATIVE TREE

TOWN PLANNING			
REV	ISSUE DATE	BY	REASON FOR ISSUE
1	20/12/2017	DM	Town Planning
A	27/2/2018	DM	Town Planning - RFI
B	9/7/2018	DM	Town Planning - Amendment

PROJECT
Falcon Vaucluse
12 The Vaucluse Richmond 3121

CLIENT
Hugh & Jenny Falcon

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL ENGINEERING TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE
PROPOSED ELEVATIONS

SCALE AT A1

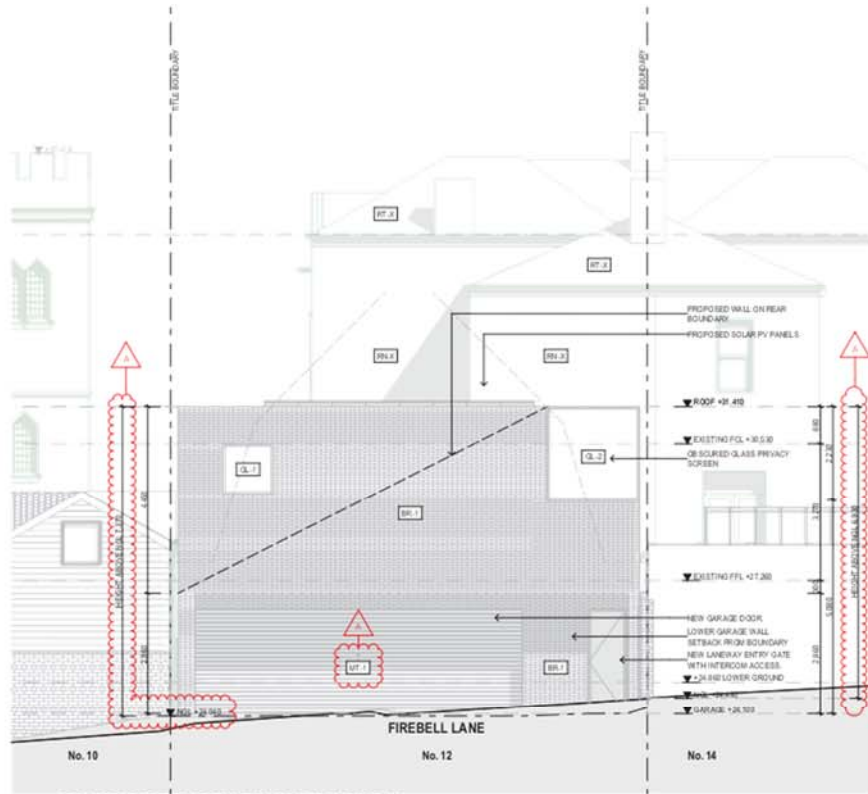
JOB NUMBER
496

ISSUE DATE
9/7/2018

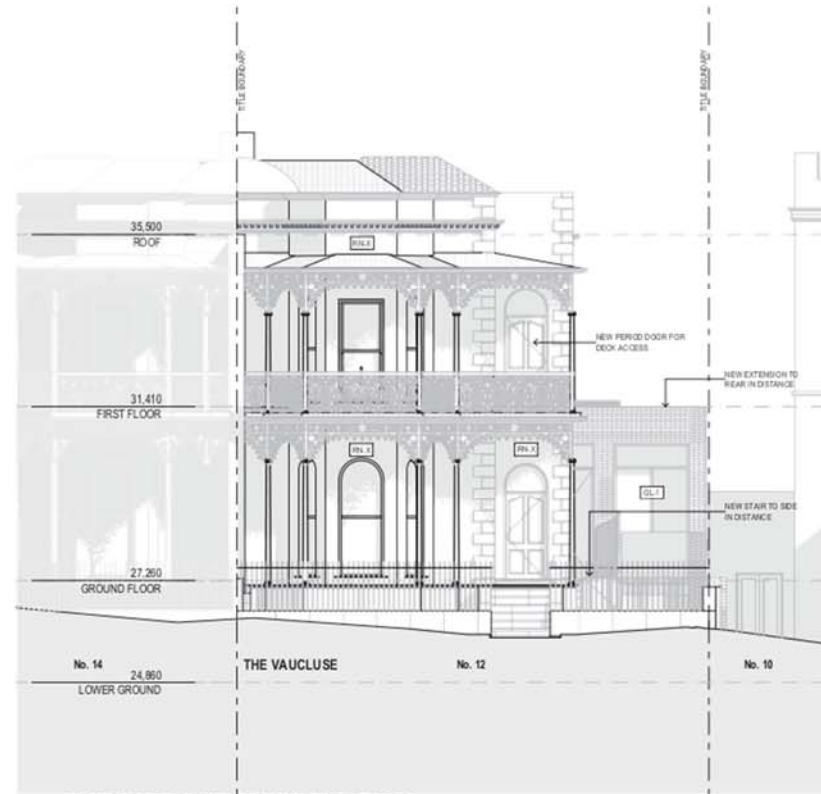
DRAWN BY
DM

DRAWING NO
TP020

Attachment 2 - PLN18/0008 - 12 The Vaucluse Richmond - Decision Plans



3 PROPOSED SOUTH ELEVATION
1:100



4 PROPOSED NORTH ELEVATION
1:100

CLARE COUSINS ARCHITECTS
28 Beakwood Street
North Melbourne
Victoria Australia 3048
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clarcousins.com.au

	EXISTING BUILDING FABRIC TO REMAIN	UHW	UPPER HABITABLE WINDOW
	EXISTING BUILDING FABRIC TO BE DEMOLISHED	LHW	LOWER HABITABLE WINDOW
	NEIGHBOURING BUILDINGS	HW	HABITABLE WINDOW
		D	DOOR
		DD	DOUBLE DOOR
		DT	DECIDUOUS TREE
		ET	EUCALYPTUS TREE
		EV	EVERGREEN TREE
		NA	NATIVE TREE

TOWN PLANNING			
REV	ISSUE DATE	BY	REASON FOR ISSUE
1	20/12/2017	DM	Town Planning
A	2/2/2018	DM	Town Planning - RP

PROJECT
Falcon Vaucluse
12 The Vaucluse Richmond 3121

CLIENT
Hugh & Jenny Falcon

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE
PROPOSED ELEVATIONS

SCALE AT A1

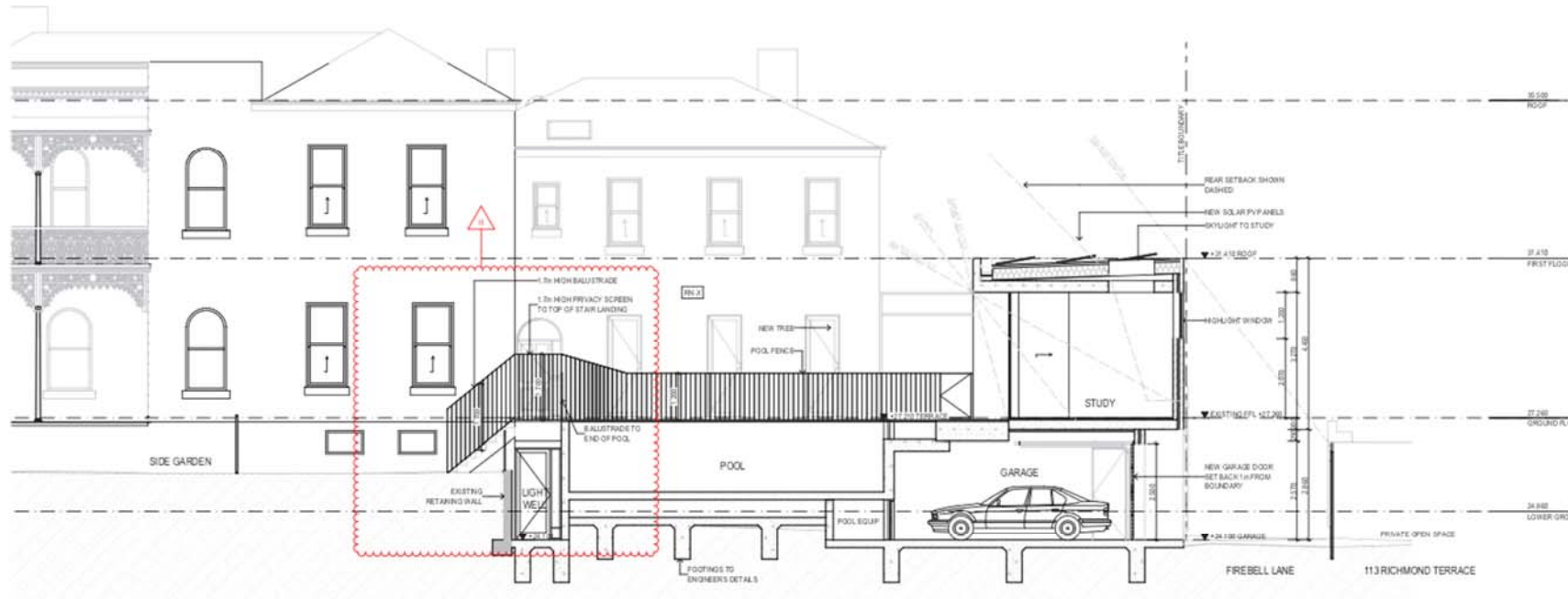
JOB NUMBER
496

ISSUE DATE
27/2/2018

DRAWN BY
DM

DRAWING NO
TP021

Attachment 2 - PLN18/0008 - 12 The Vaucluse Richmond - Decision Plans



1 PROPOSED SECTION A
1:100

CLARE COUSINS ARCHITECTS
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info@clarecousins.com.au
clarecousins.com.au

	EXISTING BUILDING FABRIC TO REMAIN	UHW	UPPER HABITABLE WINDOW
	EXISTING BUILDING FABRIC TO BE DEMOLISHED	LHW	LOWER HABITABLE WINDOW
	NEIGHBOURING BUILDINGS	HW	HABITABLE WINDOW
		D	DOOR
		DD	DOUBLE DOOR
		DE	DECIDUOUS TREE
		EU	EUCALYPTUS TREE
		EY	EVERGREEN TREE
		NA	NATIVE TREE

TOWN PLANNING			
REV	ISSUE DATE	BY	REASON FOR ISSUE
1	20/12/2017	DM	Town Planning
A	27/2/2018	DM	Town Planning - RFI
B	9/7/2018	DM	Town Planning - Amendment

PROJECT
Falcon Vaucluse
12 The Vaucluse Richmond 3121

CLIENT
Hugh & Jenny Falcon

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE COMPACT
SET BY THE TOWN PLANNING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON
SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE
PROPOSED SECTIONS

SCALE AT A1

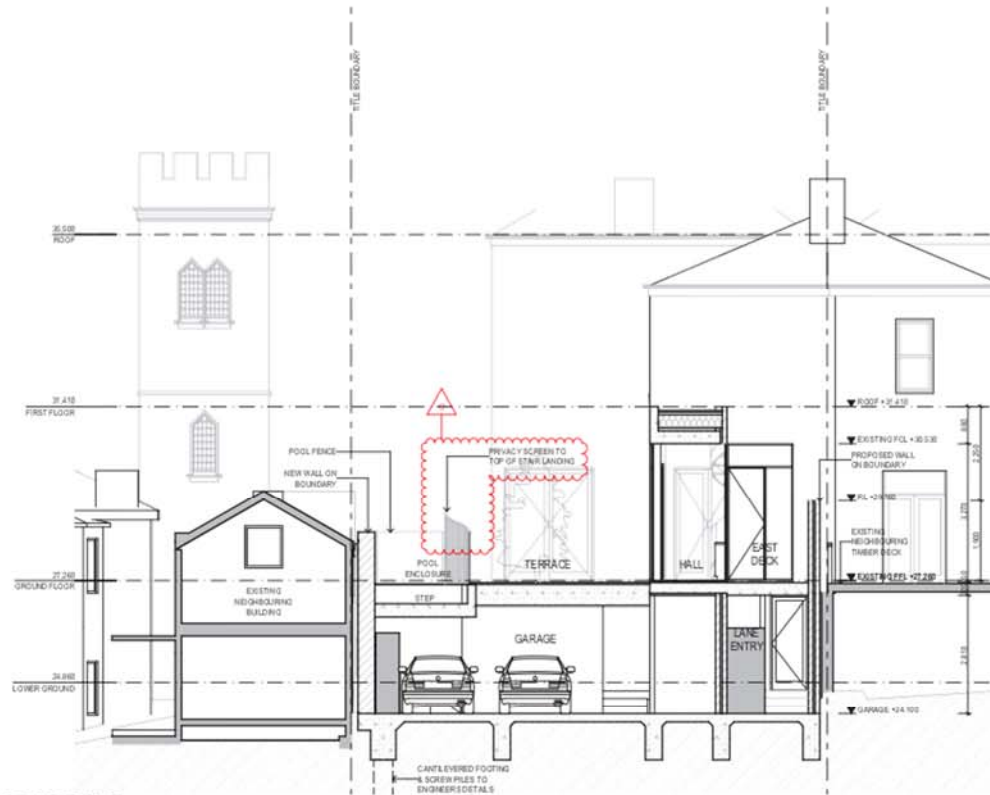
ISSUE DATE
9/7/2018

JOB NUMBER
496

DRAWN BY
DM

DRAWING NO
TP022

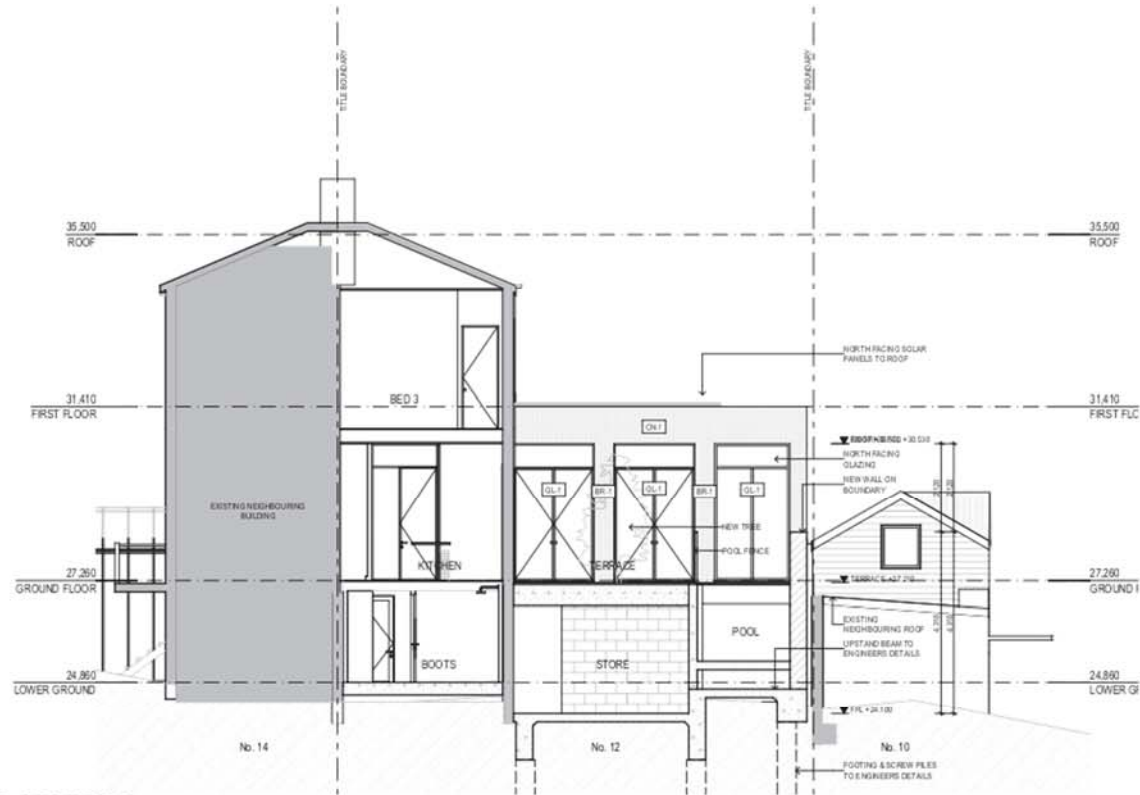
Attachment 2 - PLN18/0008 - 12 The Vaucluse Richmond - Decision Plans



1 PROPOSED SECTION B
1:100

CLARE COUSINS ARCHITECTS 28 Blackwood Street, North Melbourne, Victoria Australia 3048 03 9429 2888 info@clarecousins.com.au clarecousins.com.au	[Solid Grey] EXISTING BUILDING FABRIC TO REMAIN [Red Hatched] EXISTING BUILDING FABRIC TO BE DEMOLISHED [Light Grey] NEIGHBOURING BUILDINGS	UHW UPPER HABITABLE WINDOW LHW LOWER HABITABLE WINDOW HW HABITABLE WINDOW D DOOR DD DOUBLE DOOR DE DECIDUOUS TREE EU EUCALYPTUS TREE EV EVERGREEN TREE NA NATIVE TREE	TOWN PLANNING REV. ISSUE DATE BY REASON FOR ISSUE 1 26/12/2017 DM Town Planning A 27/2/2018 DM Town Planning - RFI B 9/7/2018 DM Town Planning - Amendment	PROJECT Falcon Vaucluse 12 The Vaucluse Richmond 3121 CLIENT Hugh & Jenny Falcon ALL WORKS TO BE CHECKED OUT FROM TOWN PLANNING SERVICES AND TO COMPLY WITH THE PLANNING CODES OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.	TITLE PROPOSED SECTIONS SCALE AT A1 JOB NUMBER 496 DRAWN BY DM DRAWING NO. TP023
	ISSUE DATE 9/7/2018				

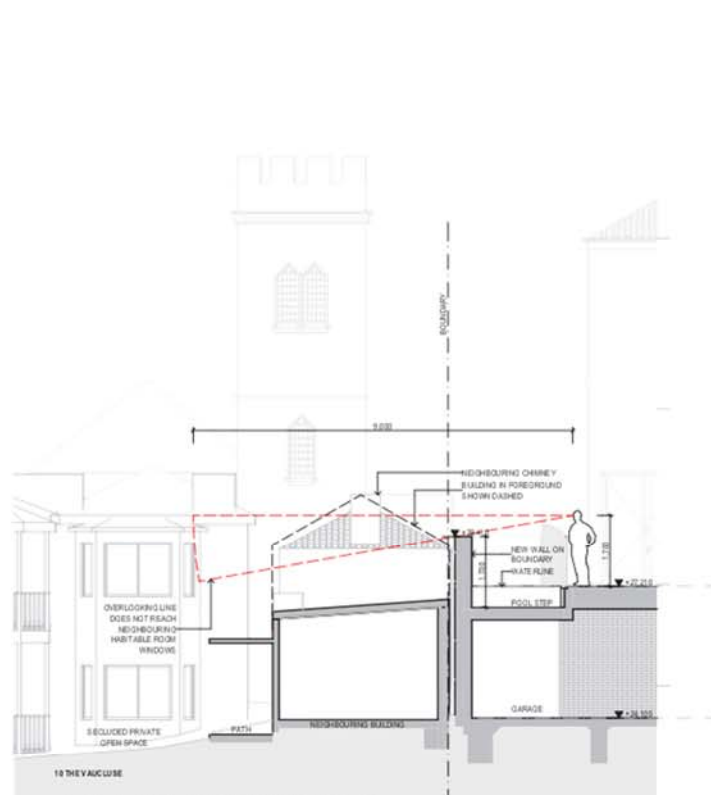
Attachment 2 - PLN18/0008 - 12 The Vaucluse Richmond - Decision Plans



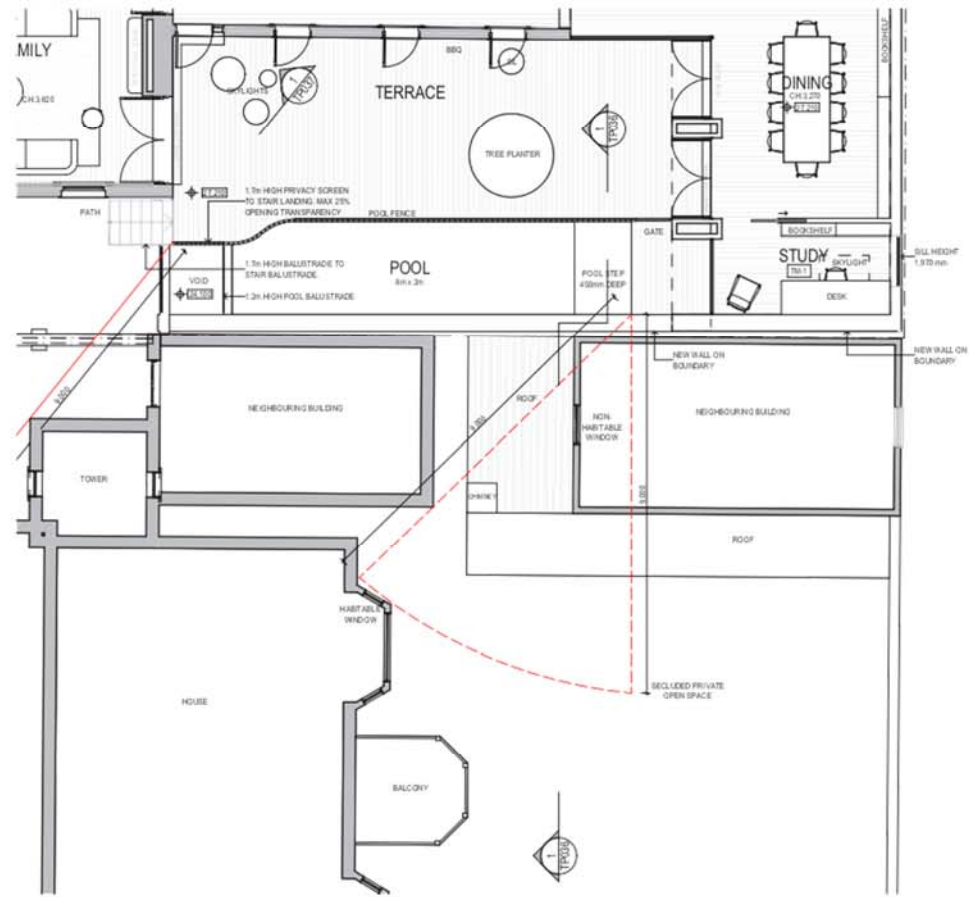
1 PROPOSED SECTION C
1:100

CLARE COUSINS ARCHITECTS 28 Blackwood Street North Melbourne Victoria Australia 3048 03 9362 9288 info@clarecousins.com.au clarecousins.com.au	[Solid Grey Box] EXISTING BUILDING FABRIC TO REMAIN [Hatched Box] EXISTING BUILDING FABRIC TO BE DEMOLISHED [Dotted Box] NEIGHBOURING BUILDINGS	UHW UPPER HABITABLE WINDOW LHW LOWER HABITABLE WINDOW HW HABITABLE WINDOW D DOOR DD DOUBLE DOOR DE DECIDUOUS TREE EU EUCALYPTUS TREE EV EVERGREEN TREE NA NATIVE TREE	TOWN PLANNING REV. ISSUE DATE BY REASON FOR ISSUE 1 20/12/2017 DM Town Planning A 2/2/2018 DM Town Planning - RFI B 9/7/2018 DM Town Planning - Amendment	PROJECT Falcon Vaucluse 12 The Vaucluse Richmond 3121 CLIENT Hugh & Jenny Falcon ALL WORKS TO BE CHECKED OUT BY A REGISTERED ENGINEER AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL ENGINEERS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.	TITLE PROPOSED SECTIONS SCALE AT A1 JOB NUMBER 496 ISSUE DATE DRAWN BY 9/7/2018 DM DRAWING NO. TP024
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Attachment 2 - PLN18/0008 - 12 The Vaucluse Richmond - Decision Plans



1 A15 OVERLOOKING SECTION
1:100



0 GROUND FLOOR OVERLOOKING PLAN
1:100

CLARE COUSINS ARCHITECTS

28 Barkwood Street
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03 9362 0288
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TOWN PLANNING

REV	ISSUE DATE	BY	REASON FOR ISSUE
A	2/2/2018	DM	Town Planning - RFI
B	9/7/2018	DM	Town Planning - Amendment

PROJECT
Falcon Vaucluse
12 The Vaucluse Richmond 3121

CLIENT
Hugh & Jenny Falcon

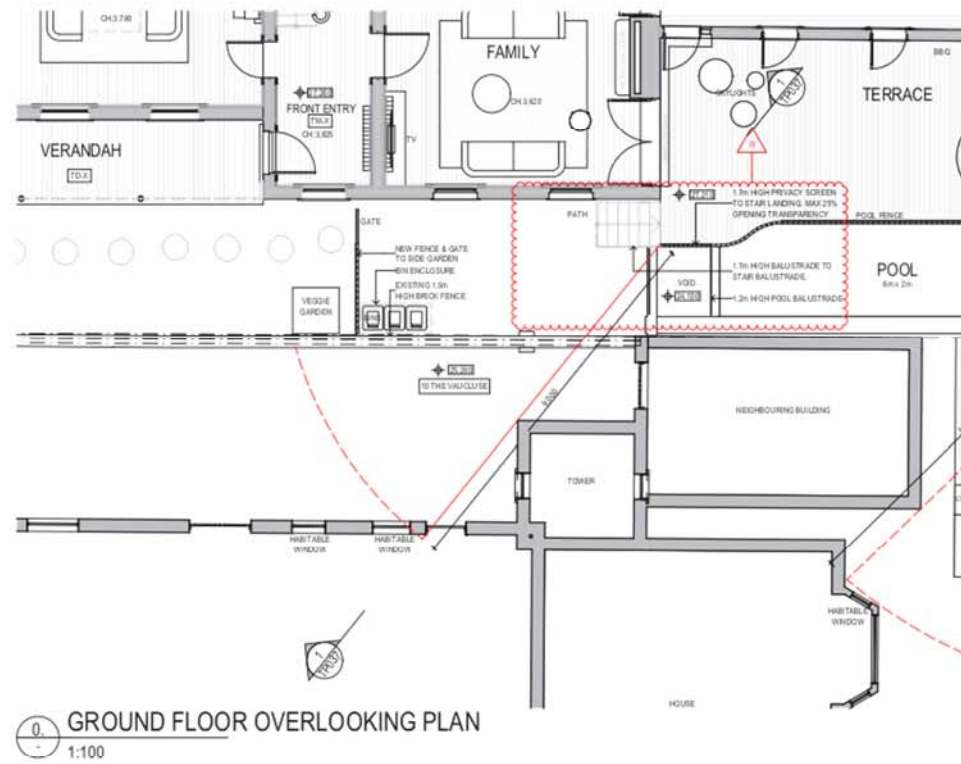
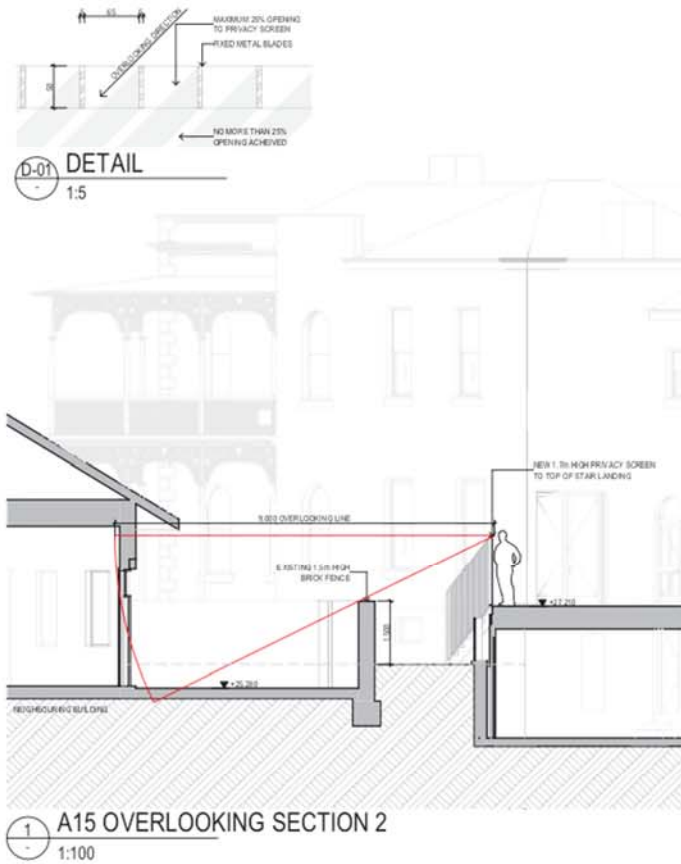
ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE COMPACT
SET BY THE TOWN PLANNING ACT 1988. ALL DIMENSIONS TO BE CHECKED ON
SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE
A15 OVERLOOKING DIAGRAM

SCALE AT A1
JOB NUMBER
496

ISSUE DATE
9/7/2018
DRAWN BY
DM
DRAWING NO.
TP036

Attachment 2 - PLN18/0008 - 12 The Vaucluse Richmond - Decision Plans



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North Melbourne
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clarecousins.com.au

TOWN PLANNING			
REV	ISSUE DATE	BY	REASON FOR ISSUE
B	9/7/2018	DM	Town Planning Amendment

PROJECT
Falcon Vaucluse
12 The Vaucluse Richmond 3121

CLIENT
Hugh & Jenny Falcon

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE RELEVANT CODES OF AUSTRALIA. ALL ENGINEERS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE
A15 OVERLOOKING DIAGRAM

SCALE AT A1
1:5

ISSUE DATE
9/7/2018

JOB NUMBER
496

DRAWN BY
DM

DRAWING NO.
TP037

Attachment 3 - PLN18/0008 - 12 The Vaucluse Richmond - Sketch plans

VAUCLUSE HOUSE

CLIENT: Falcon

DRAWING NO.	DRAWING NAME	REVISION
TP001	INDEX	C
TP002	MATERIALS BOARD	C
TP003	SITE ANALYSIS	C
TP004	STREETSCAPE PHOTOS	C
TP005	STREETSCAPE PHOTOS	C
TP006	EXISTING / DEMOLITION SITE PLAN	C
TP007	EXISTING / DEMOLITION LOWER GROUND FLOOR PLAN	C
TP008	EXISTING / DEMOLITION GROUND FLOOR PLAN	C
TP009	EXISTING / DEMOLITION FIRST FLOOR PLAN	C
TP010	EXISTING / DEMOLITION ROOF PLAN	C
TP011	EXISTING / DEMOLITION ELEVATIONS	C
TP012	EXISTING / DEMOLITION ELEVATIONS	C
TP013	EXISTING / DEMOLITION ELEVATIONS	C
TP014	PROPOSED SITE PLAN	C
TP015	PROPOSED LOWER GROUND FLOOR PLAN	C
TP016	PROPOSED GROUND FLOOR PLAN	C
TP017	PROPOSED FIRST FLOOR PLAN	C
TP018	PROPOSED ROOF PLAN	C
TP019	PROPOSED ELEVATIONS	C
TP020	PROPOSED ELEVATIONS	C
TP021	PROPOSED ELEVATIONS	C
TP022	PROPOSED SECTIONS	C
TP023	PROPOSED SECTIONS	C
TP024	PROPOSED SECTIONS	C
TP025	SHADOW DIAGRAMS	C
TP026	SHADOW DIAGRAMS	C
TP027	SHADOW DIAGRAMS	C
TP028	SHADOW DIAGRAMS	C
TP029	SHADOW DIAGRAMS	C
TP030	SHADOW DIAGRAMS	C
TP031	SHADOW DIAGRAMS	C
TP032	RENDERS	C
TP033	A15 OVERLOOKING DIAGRAM	C
TP034	A15 OVERLOOKING DIAGRAM	C



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TOWN PLANNING

REV	ISSUE DATE	BY	REASON FOR ISSUE
1	26/12/2017	DM	Town Planning
A	27/2/2018	DM	Town Planning - RFI
B	9/7/2018	DM	Town Planning - Amendment
C	22/8/2018	DM	Town Planning - GAC

PROJECT
VAUCLUSE HOUSE
12 The Vaucluse Richmond 3121

CLIENT
Falcon

ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODES OF AUSTRALIA. ALL DRAWINGS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE
INDEX

SCALE AT A3
-
ISSUE DATE
22/8/2018

JOB NUMBER
496

DRAWN BY
DM

DRAWING NO.
TP001

Attachment 3 - PLN18/0008 - 12 The Vaucluse Richmond - Sketch plans

EXISTING EXTERNAL FINISHES



RN-X
MATERIAL: RENDER
COLOUR: CREAM



BR-X
MATERIAL: BRICKWORK
COLOUR: RED / BROWN



BL-X
MATERIAL: BLUESTONE
COLOUR: DARK GREY



TM-X
MATERIAL: TIMBER WEATHERBOARD
COLOUR: GREY / BROWN



TD-X
MATERIAL: TIMBER DECK
COLOUR: RED / BROWN



CN-X
MATERIAL: CONCRETE
COLOUR: GREY



TF-X
MATERIAL: TIMBER PALING FENCE
COLOUR: GREY / BROWN



TM-X
MATERIAL: INTERIOR TIMBER FLOOR
COLOUR: BROWN



P1-X
MATERIAL: PAINTED TIMBER
COLOUR: PALE GREEN



P2-X
MATERIAL: PAINTED IRON FENCE
COLOUR: BRUNSWICK GREEN



P3-X
MATERIAL: PAINTED IRON LACEWORK
COLOUR: CREAM

PROPOSED EXTERNAL FINISHES



BR-1
MATERIAL: BRICKWORK
COLOUR: LIGHTLY BAGGED



GL-1
MATERIAL: GLASS
COLOUR: CLEAR



MT-1
MATERIAL: METAL ROLLER DOOR
COLOUR: GREY



P-1
MATERIAL: PAINTED WINDOW FRAMES
COLOUR: MID-GREY



RN-1
MATERIAL: CEMENT RENDER



GL-2
MATERIAL: GLASS (NARROW REED)
COLOUR: OBSCURED CLEAR



RF-1
MATERIAL: METAL ROOF
COLOUR: GALVANIZED



TM-1
MATERIAL: INTERIOR TIMBER FLOOR
COLOUR: BROWN



TD-1
MATERIAL: TIMBER DECK
COLOUR: BROWN

CLARE COUSINS ARCHITECTS

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TOWN PLANNING

REV	ISSUE DATE	BY	REASON FOR ISSUE
1	26/12/2017	DM	Town Planning
A	27/2/2018	DM	Town Planning - RP
C	22/8/2018	DM	Town Planning - OAC

PROJECT
VAUCLUSE HOUSE
12 The Vaucluse Richmond 3121

CLIENT
Falcon

ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODES OF AUSTRALIA. ALL CONSTRUCTION TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE
MATERIALS BOARD

SCALE AT A3

ISSUE DATE
22/8/2018

JOB NUMBER
496

DRAWN BY
DM

DRAWING NO
TP002

Attachment 3 - PLN18/0008 - 12 The Vaucuse Richmond - Sketch plans



**CLARE COUSINS
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TOWN PLANNING

REV	ISSUE DATE	BY	REASON FOR ISSUE
1	26/12/2017	DM	Town Planning
A	27/2/2018	DM	Town Planning - RFI
C	22/8/2018	DM	Town Planning - OAC

PROJECT
VAUCUSE HOUSE
12 The Vaucuse Richmond 3121

CLIENT
Falcon

ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL CONSTRUCTION TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE
SITE ANALYSIS

SCALE AT A3
1:500
ISSUE DATE
22/8/2018

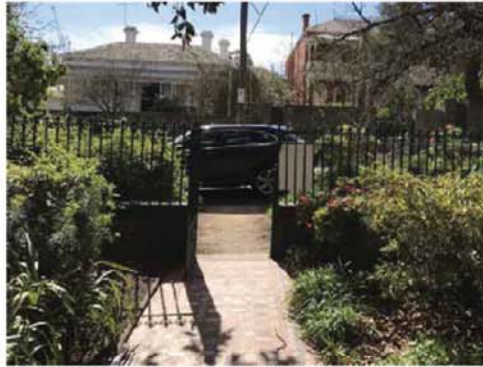
JOB NUMBER
496
DRAWN BY
DM

DRAWING NO
TP003

Attachment 3 - PLN18/0008 - 12 The Vaucluse Richmond - Sketch plans



1 VIEW FROM THE VAUCLUSE
1:10



2 EAST VIEW - THE VAUCLUSE
1:10



3 EAST VIEW - THE VAUCLUSE
1:10



4 WEST VIEW - THE VAUCLUSE
1:10



5 NORTH VIEW - THE VAUCLUSE
1:10



6 FRONT OF NO. 10
1:5

CLARE COUSINS ARCHITECTS

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TOWN PLANNING

REV	ISSUE DATE	BY	REASON FOR ISSUE
1	26/12/2017	DM	Town Planning
A	27/2/2018	DM	Town Planning - RP
C	22/8/2018	DM	Town Planning - OAC

PROJECT
VAUCLUSE HOUSE
12 The Vaucluse Richmond 3121

CLIENT
Falcon

ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL CONSTRUCTION TO BE CHECKED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA. ALL CONSTRUCTION TO BE CHECKED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA.

TITLE
STREETSCAPE PHOTOS

SCALE AT A3

ISSUE DATE
22/8/2018

JOB NUMBER
496

DRAWN BY
DM

DRAWING NO
TP004

Attachment 3 - PLN18/0008 - 12 The Vaucluse Richmond - Sketch plans



7 EAST VIEW - LANEWAY
1:10



8 WEST VIEW - LANEWAY
1:10



9 WEST VIEW - LANEWAY
1:10



10 VIEW FROM BACKYARD TO No. 14 REAR
1:7.14



11 LOOKING WEST TO NO.10
1:10



12 VIEW OF BACKYARD LOOKING SOUTH
1:10

**CLARE COUSINS
ARCHITECTS**

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TOWN PLANNING

REV	ISSUE DATE	BY	REASON FOR ISSUE
1	25/12/2017	DM	Town Planning
A	27/2/2018	DM	Town Planning - RP
C	22/8/2018	DM	Town Planning - OMC

PROJECT
VAUCLUSE HOUSE
12 The Vaucluse Richmond 3121

CLIENT
Falcon

ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL CONSTRUCTION TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE
STREETSCAPE PHOTOS

SCALE AT A3

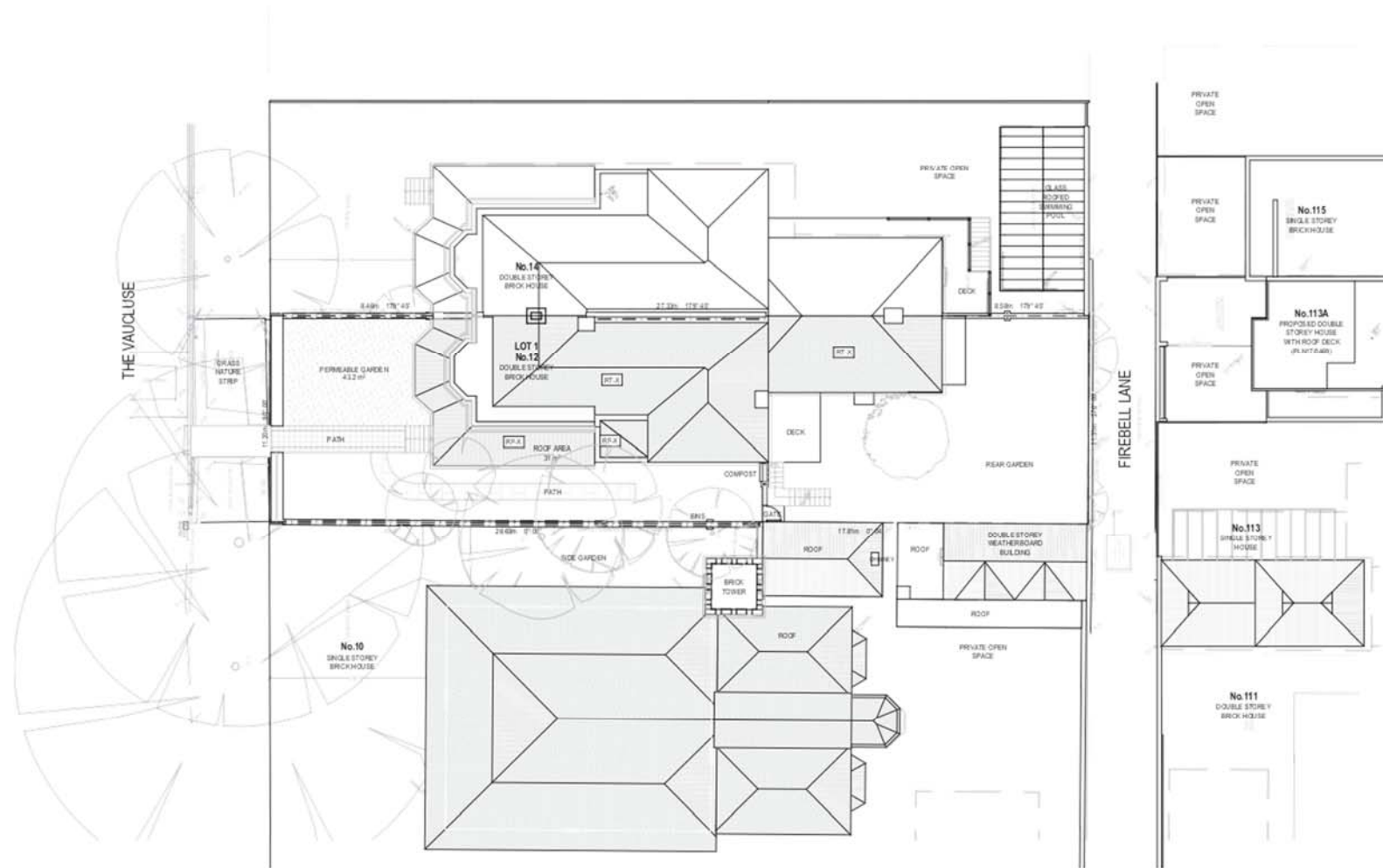
ISSUE DATE
22/8/2018

JOB NUMBER
496

DRAWN BY
DM

DRAWING NO.
TP005

Attachment 3 - PLN18/0008 - 12 The Vaucluse Richmond - Sketch plans



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SITE AREA	495 m ²		
EXISTING SITE COVERAGE	200 m ²	PROPOSED SITE COVERAGE	219m ²
	40%		44%
EXISTING PERMEABILITY	239m ²	PROPOSED PERMEABILITY	121.8m ²
	48%		24%
EXISTING PRIVATE OPEN SPACE	156m ²	PROPOSED PRIVATE OPEN SPACE	89m ²
	31%		17%
EXISTING GARDEN AREA	308m ²	PROPOSED GARDEN AREA	207m ²
	61%		41%

TOWN PLANNING

REV	ISSUE DATE	BY	REASON FOR ISSUE
1	20/12/2017	DM	Town Planning
A	27/2/2018	DM	Town Planning - RP
C	22/8/2018	DM	Town Planning - OMC

PROJECT
VAUCLUSE HOUSE
 12 The Vaucluse Richmond 3121

CLIENT
 Falcon

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TITLE
EXISTING / DEMOLITION SITE PLAN

SCALE AT A3
 1:200

ISSUE DATE
 22/8/2018

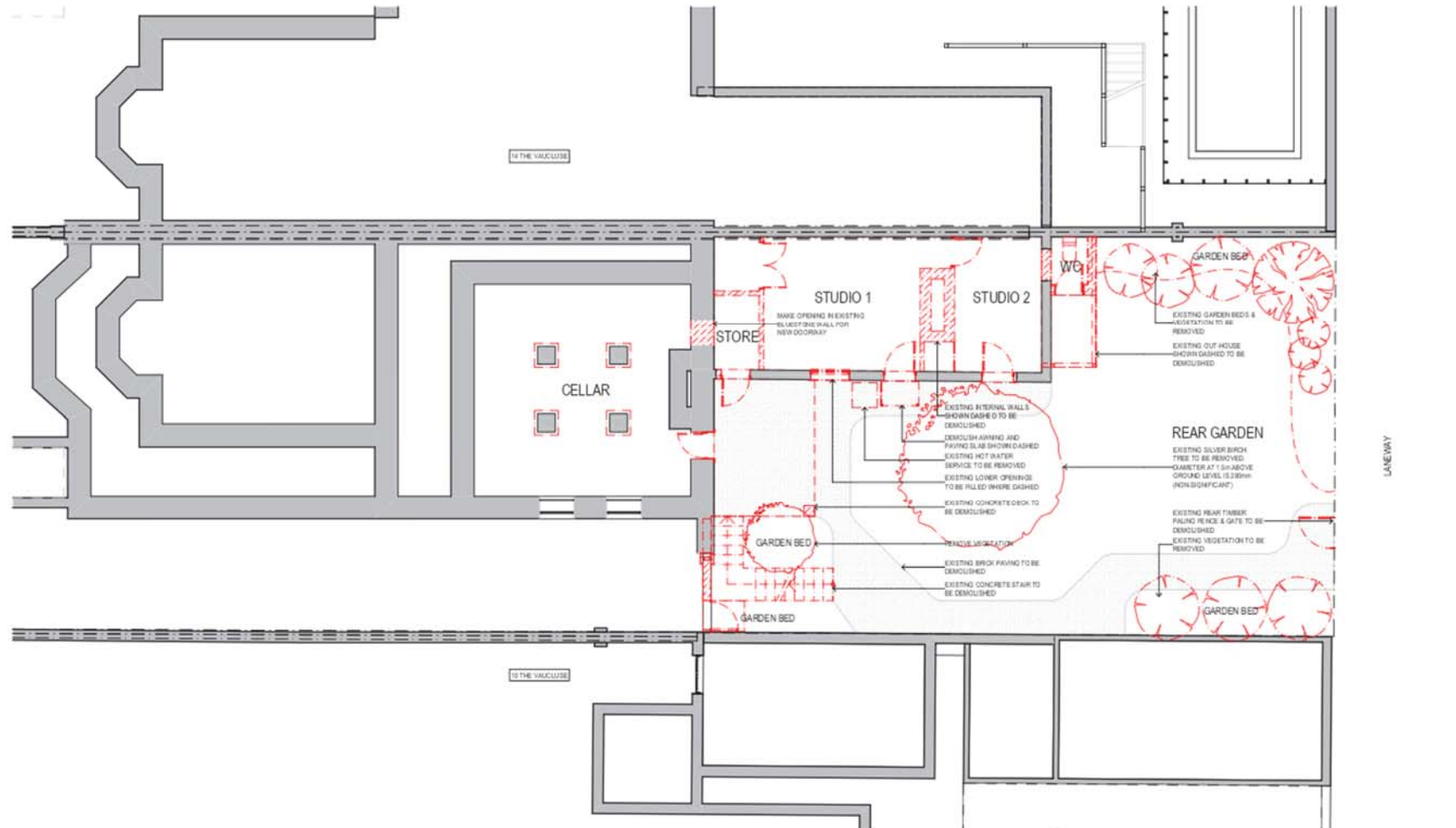
JOB NUMBER
 496

DRAWN BY
 DM





DRAWING NO.
 TP006



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	EXISTING BUILDING FABRIC TO REMAIN	UHW	UPPER HABITABLE WINDOW
	EXISTING BUILDING FABRIC TO BE DEMOLISHED	LHW	LOWER HABITABLE WINDOW
	EXISTING BUILDING FABRIC TO BE DEMOLISHED	HW	HABITABLE WINDOW
	NEIGHBOURING BUILDINGS	D	DOOR
		DD	DOUBLE DOOR
		DE	DECIDUOUS TREE
		EU	EUCALYPTUS TREE
		EV	EVDGREEN TREE
		NA	NATIVE TREE

TOWN PLANNING		
REV	ISSUE DATE	BY / REASON FOR ISSUE
1	20/12/2017	DM / Town Planning
A	27/2/2018	DM / Town Planning - RP
B	9/7/2018	DM / Town Planning - Amendment
C	22/8/2018	DM / Town Planning - GAC

PROJECT
VAUCLUSE HOUSE
 12 The Vaucluse Richmond 3121

CLIENT
 Falcon

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TITLE
EXISTING / DEMOLITION LOWER GROUND FLOOR PLAN

SCALE AT A3
 1:100

ISSUE DATE
 22/8/2018

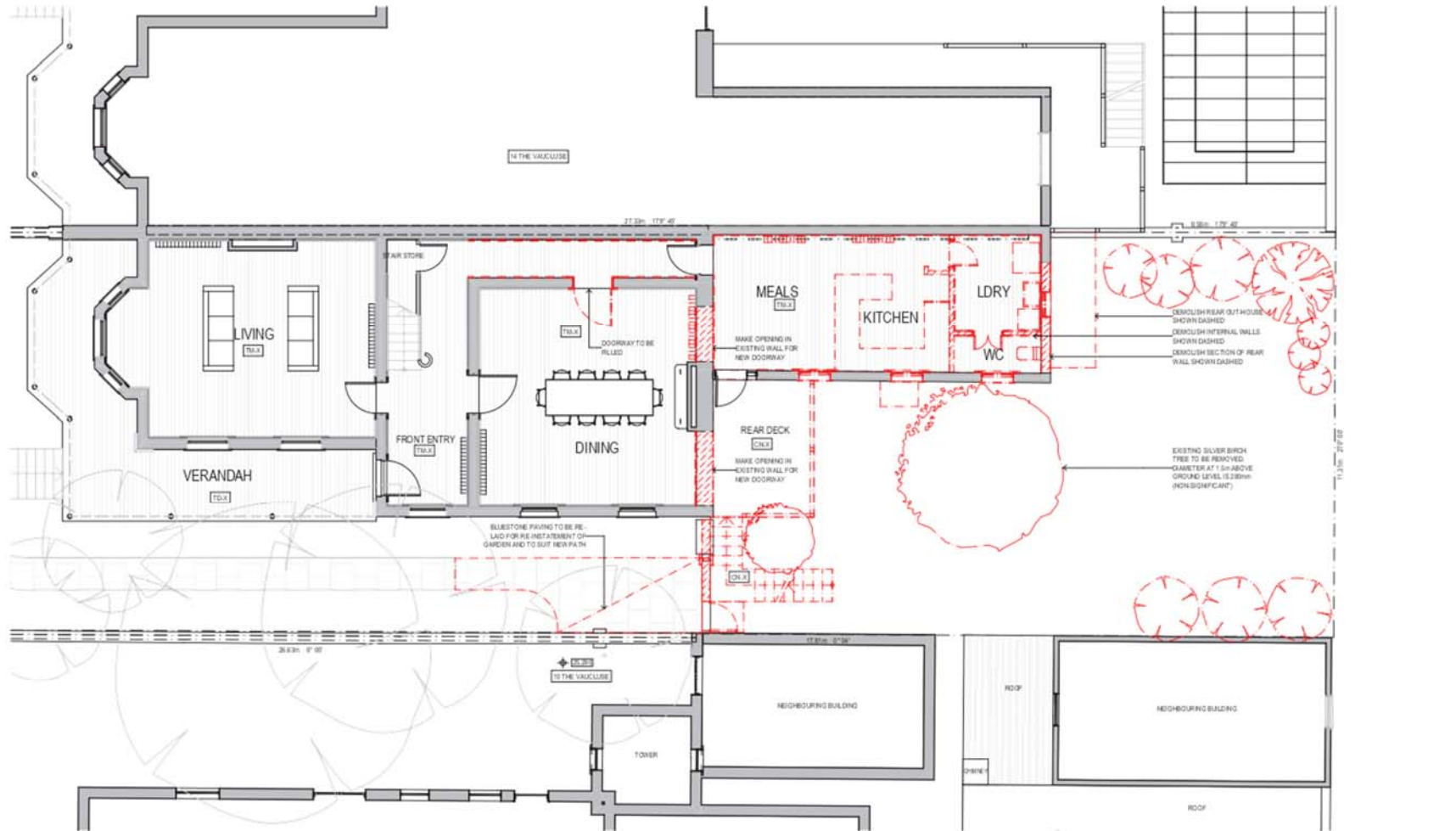
JOB NUMBER
 496

DRAWN BY
 DM

DRAWING NO
 TP007



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- EXISTING BUILDING FABRIC TO REMAIN
- EXISTING BUILDING FABRIC TO BE DEMOLISHED
- NEIGHBOURING BUILDINGS
- UHW UPPER HABITABLE WINDOW
- LHW LOWER HABITABLE WINDOW
- HW HABITABLE WINDOW
- D DOOR
- DD DOUBLE DOOR
- DE DECIDUOUS TREE
- EU EUCALYPTUS TREE
- EY EVERGREEN TREE
- NA NATIVE TREE

TOWN PLANNING		
REV	ISSUE DATE	BY / REASON FOR ISSUE
1	26/12/2017	DM / Town Planning
A	27/2/2018	DM / Town Planning - RP
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PROJECT
VAUCLUSE HOUSE
 12 The Vaucluse Richmond 3121

CLIENT
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TITLE
EXISTING / DEMOLITION GROUND FLOOR PLAN

SCALE AT A3
 1:100

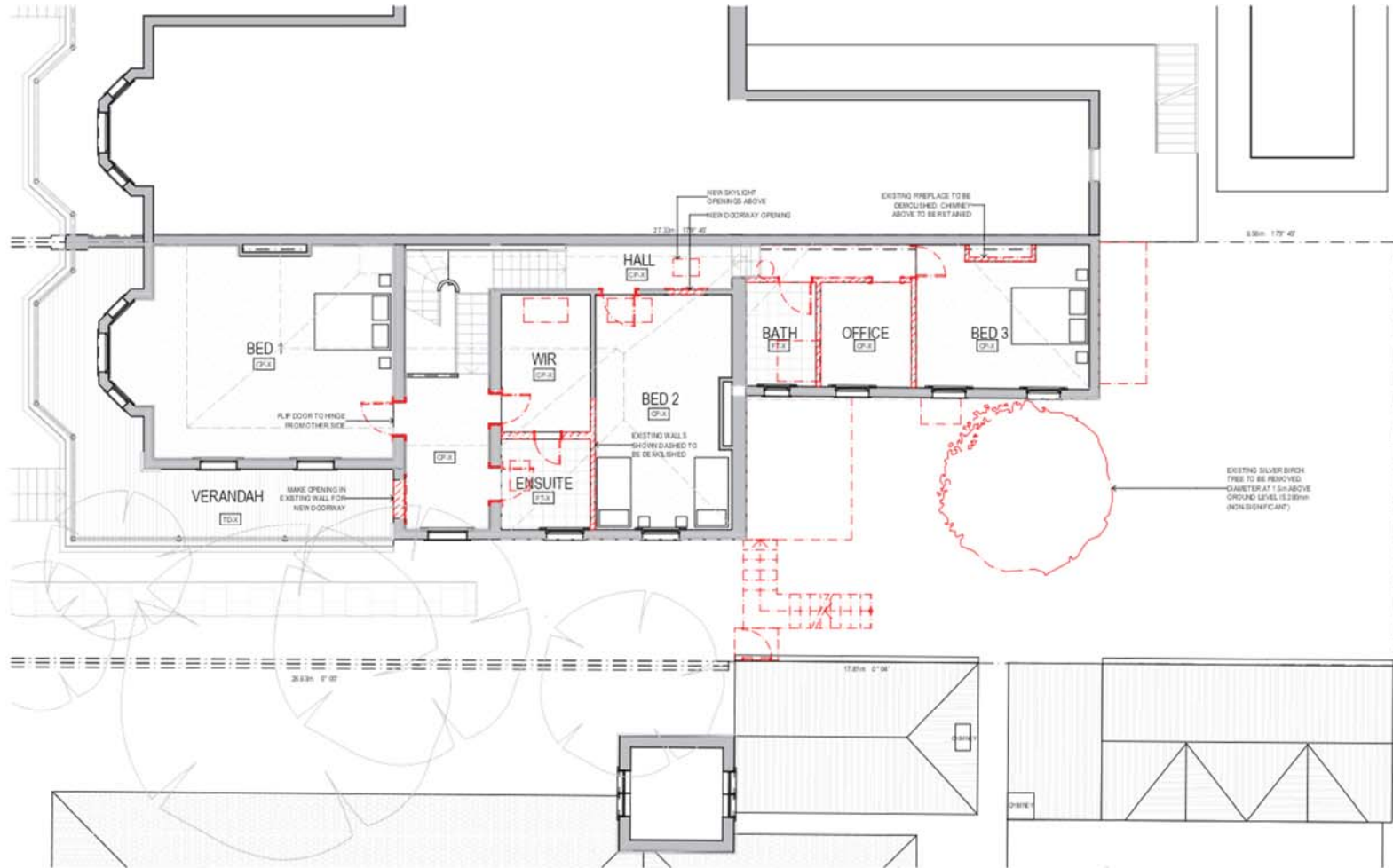
ISSUE DATE
 22/8/2018

JOB NUMBER
 496

DRAWN BY
 DM

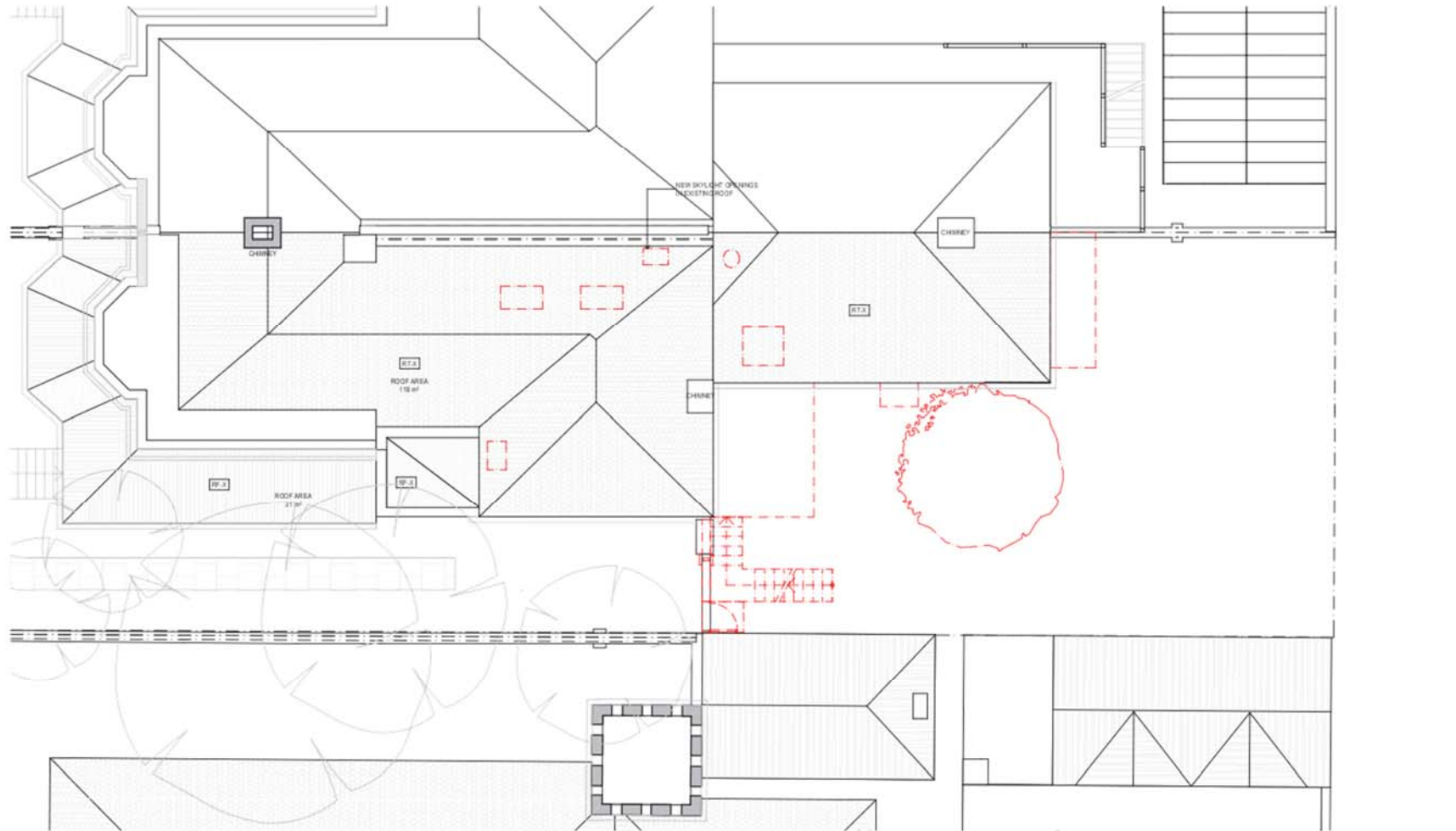
DRAWING NO
 TP008

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<p>CLARE COUSINS ARCHITECTS 38 Blackwood Street, South Melbourne, Victoria Australia 32061 03 9328 2888 info@clarecousins.com.au clarecousins.com.au</p>	<p>EXISTING BUILDING FABRIC TO REMAIN</p>	<p>UHW UPPER HABITABLE WINDOW LHW LOWER HABITABLE WINDOW HW HABITABLE WINDOW D DOOR DD DOUBLE DOOR</p>	<p>TOWN PLANNING</p> <table border="1"> <thead> <tr> <th>REV</th> <th>ISSUE DATE</th> <th>BY</th> <th>REASON FOR ISSUE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>25/12/2017</td> <td>DM</td> <td>Town Planning</td> </tr> <tr> <td>A</td> <td>27/2/2018</td> <td>DM</td> <td>Town Planning - RP</td> </tr> <tr> <td>B</td> <td>9/7/2018</td> <td>DM</td> <td>Town Planning - Amendment</td> </tr> <tr> <td>C</td> <td>22/8/2018</td> <td>DM</td> <td>Town Planning - SAC</td> </tr> </tbody> </table>	REV	ISSUE DATE	BY	REASON FOR ISSUE	1	25/12/2017	DM	Town Planning	A	27/2/2018	DM	Town Planning - RP	B	9/7/2018	DM	Town Planning - Amendment	C	22/8/2018	DM	Town Planning - SAC	<p>PROJECT VAUCLUSE HOUSE 12 The Vacluse Richmond 3121</p>	<p>TITLE EXISTING / DEMOLITION FIRST FLOOR PLAN</p>
	REV	ISSUE DATE	BY	REASON FOR ISSUE																					
1	25/12/2017	DM	Town Planning																						
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<p>EXISTING BUILDING FABRIC TO BE DEMOLISHED</p>	<p>NEIGHBOURING BUILDINGS</p>	<p>DE DECIDUOUS TREE EU EUCALYPTUS TREE EV EVERGREEN TREE NA NATIVE TREE</p>	<p>CLIENT Falcon</p> <p>ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.</p>	<p>SCALE AT A3 1:100</p> <p>ISSUE DATE 22/8/2018</p>	<p>JOB NUMBER 496</p> <p>DRAWN BY DM</p> <p>DRAWING NO TP009</p>																				

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-  EXISTING BUILDING FABRIC TO REMAIN
-  EXISTING BUILDING FABRIC TO BE DEMOLISHED
-  NEIGHBOURING BUILDINGS

- UHW UPPER HABITABLE WINDOW
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PROJECT
VAUCLUSE HOUSE
12 The Vaucluse Richmond 3121

CLIENT
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TITLE
EXISTING / DEMOLITION ROOF PLAN

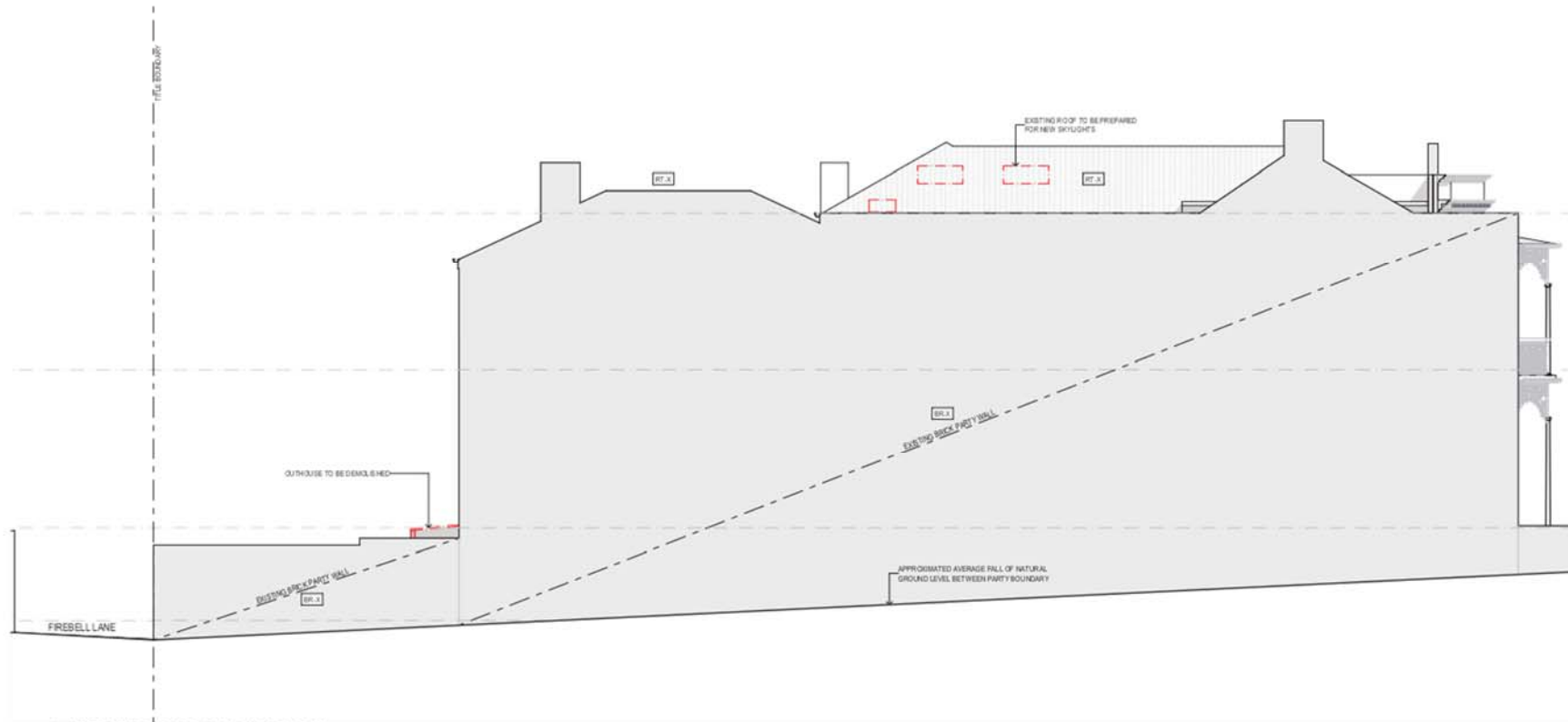
SCALE AT A3
1:100
ISSUE DATE
22/8/2018

JOB NUMBER
496
DRAWN BY
DM



DRAWING NO
TP010

Attachment 3 - PLN18/0008 - 12 The Vaucluse Richmond - Sketch plans



1 EXISTING EAST ELEVATION
1:100

<p>CLARE COUSINS ARCHITECTS 38 Blackwood Street, South Melbourne Victoria Australia 32061 03 9329 2888 studio@clarecousins.com.au clarecousins.com.au</p>	<table border="0"> <tr> <td style="width: 15px; height: 15px; background-color: #cccccc; border: 1px solid black;"></td> <td>EXISTING BUILDING FABRIC TO REMAIN</td> <td style="width: 15px; height: 15px; background-color: #cccccc; border: 1px solid black;"></td> <td>UHW UPPER HABITABLE WINDOW</td> </tr> <tr> <td style="width: 15px; height: 15px; background-color: #cccccc; border: 1px solid black;"></td> <td>EXISTING BUILDING FABRIC TO BE DEMOLISHED</td> <td style="width: 15px; height: 15px; background-color: #cccccc; border: 1px solid black;"></td> <td>LHW LOWER HABITABLE WINDOW</td> </tr> <tr> <td style="width: 15px; height: 15px; background-color: #cccccc; border: 1px solid black;"></td> <td>NEIGHBOURING BUILDINGS</td> <td style="width: 15px; height: 15px; background-color: #cccccc; border: 1px solid black;"></td> <td>HW HABITABLE WINDOW</td> </tr> <tr> <td style="width: 15px; height: 15px; background-color: #cccccc; border: 1px solid black;"></td> <td></td> <td style="width: 15px; height: 15px; background-color: #cccccc; border: 1px solid black;"></td> <td>D DOOR</td> </tr> <tr> <td style="width: 15px; height: 15px; background-color: #cccccc; border: 1px solid black;"></td> <td></td> <td style="width: 15px; height: 15px; background-color: #cccccc; border: 1px solid black;"></td> <td>DD DOUBLE DOOR</td> </tr> <tr> <td style="width: 15px; height: 15px; background-color: #cccccc; border: 1px solid black;"></td> <td></td> <td style="width: 15px; height: 15px; background-color: #cccccc; border: 1px solid black;"></td> <td>DE DECIDUOUS TREE</td> </tr> <tr> <td style="width: 15px; height: 15px; background-color: #cccccc; border: 1px solid black;"></td> <td></td> <td style="width: 15px; height: 15px; background-color: #cccccc; border: 1px solid black;"></td> <td>EU EUCALYPTUS TREE</td> </tr> <tr> <td style="width: 15px; height: 15px; background-color: #cccccc; border: 1px solid black;"></td> <td></td> <td style="width: 15px; height: 15px; background-color: #cccccc; border: 1px solid black;"></td> <td>EV EVERGREEN TREE</td> </tr> <tr> <td style="width: 15px; height: 15px; background-color: #cccccc; border: 1px solid black;"></td> <td></td> <td style="width: 15px; height: 15px; background-color: #cccccc; border: 1px solid black;"></td> <td>NA NATIVE TREE</td> </tr> </table>		EXISTING BUILDING FABRIC TO REMAIN		UHW UPPER HABITABLE WINDOW		EXISTING BUILDING FABRIC TO BE DEMOLISHED		LHW LOWER HABITABLE WINDOW		NEIGHBOURING BUILDINGS		HW HABITABLE WINDOW				D DOOR				DD DOUBLE DOOR				DE DECIDUOUS TREE				EU EUCALYPTUS TREE				EV EVERGREEN TREE				NA NATIVE TREE	<p>TOWN PLANNING</p> <table border="1" style="width: 100%; border-collapse: collapse; font-size: 8px;"> <thead> <tr> <th>REV</th> <th>ISSUE DATE</th> <th>BY</th> <th>REASON FOR ISSUE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>20/12/2017</td> <td>DM</td> <td>Town Planning</td> </tr> <tr> <td>A</td> <td>27/2/2018</td> <td>DM</td> <td>Town Planning - RP</td> </tr> <tr> <td>C</td> <td>22/8/2018</td> <td>DM</td> <td>Town Planning - OAC</td> </tr> </tbody> </table>	REV	ISSUE DATE	BY	REASON FOR ISSUE	1	20/12/2017	DM	Town Planning	A	27/2/2018	DM	Town Planning - RP	C	22/8/2018	DM	Town Planning - OAC	<p>PROJECT VAUCLUSE HOUSE 12 The Vaucluse Richmond 3121</p> <p>CLIENT Falcon</p> <p><small>ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.</small></p>	<p>TITLE EXISTING / DEMOLITION ELEVATIONS</p> <p>SCALE AT A3 JOB NUMBER 496</p> <p>ISSUE DATE 22/8/2018</p> <p>DRAWN BY DM</p> <p>DRAWING NO. TP011</p>
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	EXISTING BUILDING FABRIC TO BE DEMOLISHED		LHW LOWER HABITABLE WINDOW																																																					
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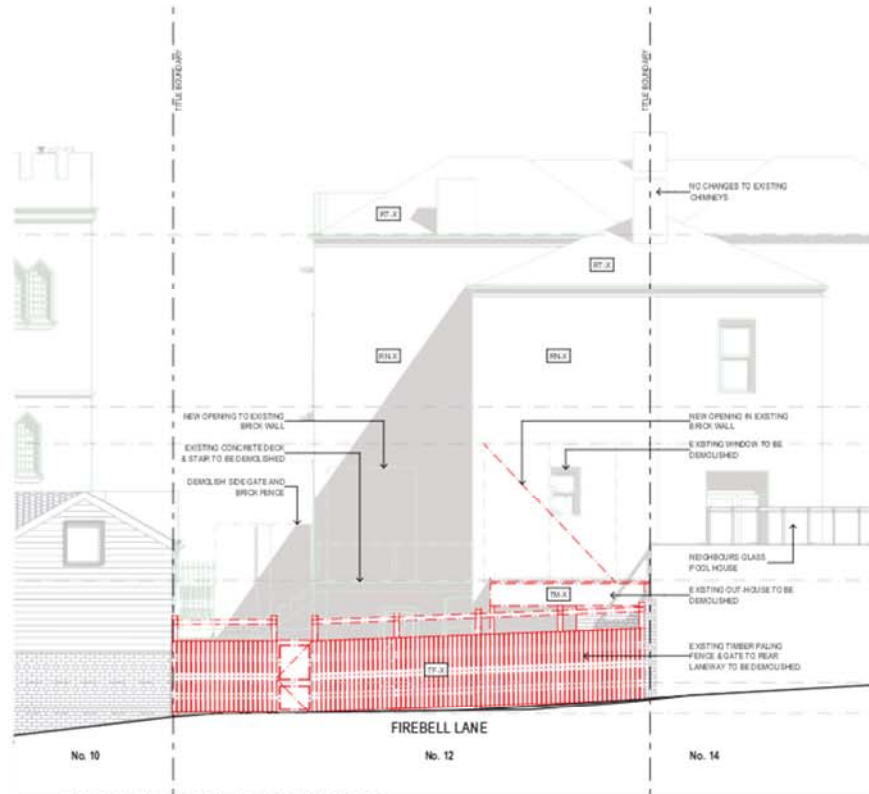
Attachment 3 - PLN18/0008 - 12 The Vaucluse Richmond - Sketch plans



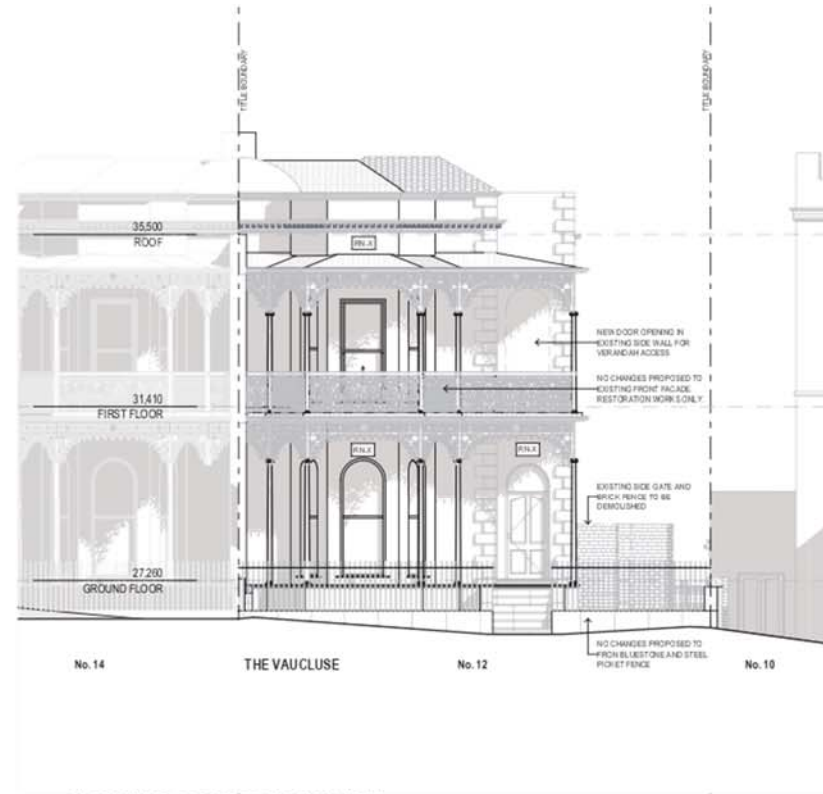
2 EXISTING WEST ELEVATION
1:100

CLARE COUSINS ARCHITECTS 38 Blackwood Street, South Melbourne, Victoria Australia 3209 03 9329 2888 info@clarecousins.com.au clarecousins.com.au	[Solid Grey] EXISTING BUILDING FABRIC TO REMAIN [Red Hatched] EXISTING BUILDING FABRIC TO BE DEMOLISHED [Light Grey] NEIGHBOURING BUILDINGS	UPW UPPER HABITABLE WINDOW LHW LOWER HABITABLE WINDOW HW HABITABLE WINDOW D DOOR DD DOUBLE DOOR DE DECIDUOUS TREE EU EUCALYPTUS TREE EV EVERGREEN TREE NA NATIVE TREE	TOWN PLANNING REV. ISSUE DATE BY REASON FOR ISSUE 1 26/12/2017 GM Town Planning A 27/2/2018 GM Town Planning - RFI B 9/7/2018 GM Town Planning - Amendment C 22/8/2018 GM Town Planning - SAC	PROJECT VAUCLUSE HOUSE 12 The Vaucluse Richmond 3121 CLIENT Falcon <small>ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.</small>	TITLE EXISTING / DEMOLITION ELEVATIONS SCALE AT A3 ISSUE DATE 22/8/2018 JOB NUMBER 496 DRAWN BY DM DRAWING NO. TP012
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Attachment 3 - PLN18/0008 - 12 The Vacluse Richmond - Sketch plans






3
-
EXISTING SOUTH ELEVATION
1:100



4
-
EXISTING NORTH ELEVATION
1:100

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	EXISTING BUILDING FABRIC TO BE DEMOLISHED	LHW	LOWER HABITABLE WINDOW
	NEIGHBOURING BUILDINGS	HW	HABITABLE WINDOW
		D	DOOR
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		DE	DECIDUOUS TREE
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TOWN PLANNING

REV	ISSUE DATE	BY	REASON FOR ISSUE
1	20/12/2017	DM	Town Planning
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PROJECT
VACLUSE HOUSE
12 The Vacluse Richmond 3121

CLIENT
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TITLE
EXISTING / DEMOLITION ELEVATIONS

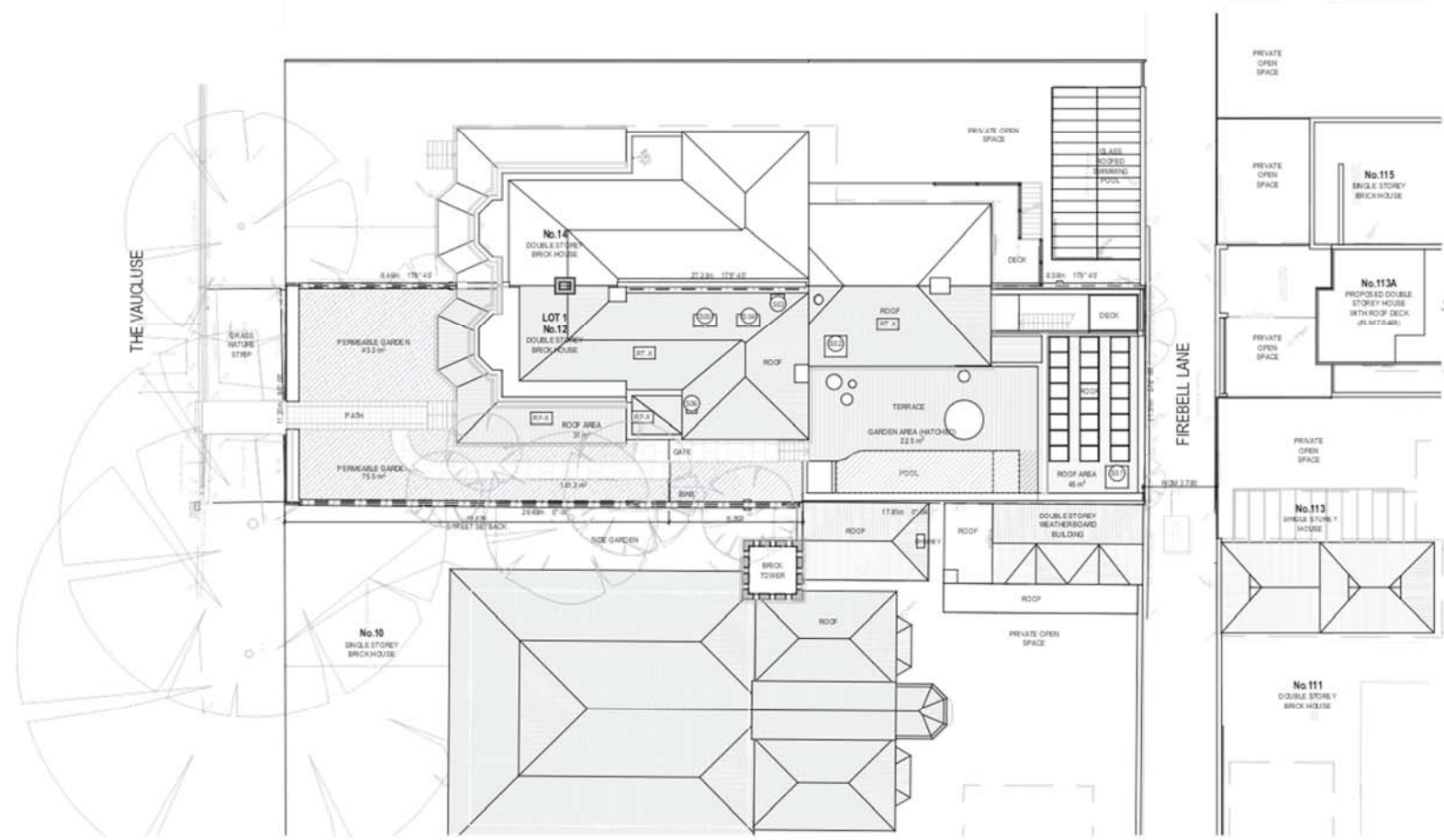
SCALE AT A3
JOB NUMBER
496

ISSUE DATE
22/8/2018

DRAWN BY
DM

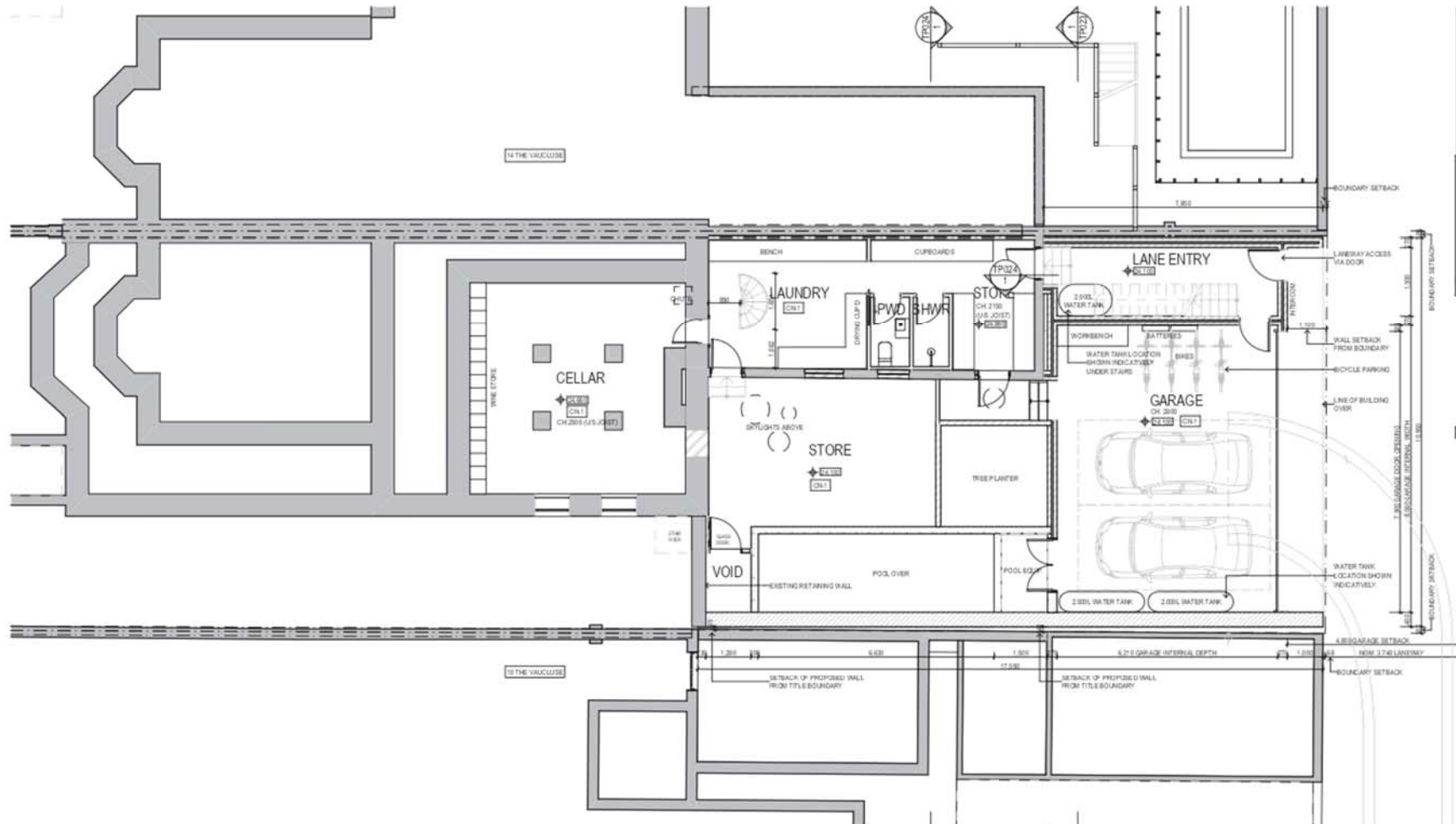
DRAWING NO.
TP013

Attachment 3 - PLN18/0008 - 12 The Vaucluse Richmond - Sketch plans



CLARE COUSINS ARCHITECTS 38 Blackwood Street, South Melbourne, Victoria Australia 32061 03 9329 2888 info@clarecousins.com.au clarecousins.com.au	SITE AREA EXISTING SITE COVERAGE EXISTING PERMEABILITY EXISTING PRIVATE OPEN SPACE EXISTING GARDEN AREA	499 m ² 200 m ² 239m ² 156m ² 308m ²	PROPOSED SITE COVERAGE PROPOSED PERMEABILITY PROPOSED PRIVATE OPEN SPACE PROPOSED GARDEN AREA	219m ² 64% 121.8m ² 34% 88m ² 17% 207m ² 41%	TOWN PLANNING REV. ISSUE DATE BY REASON FOR ISSUE 1 20/12/2017 DM Town Planning A 27/2/2018 DM Town Planning - RP B 07/2/2018 DM Town Planning - Amendment C 22/8/2018 DM Town Planning - SAC	PROJECT VAUCLUSE HOUSE 12 The Vaucluse Richmond 3121 CLIENT Falcon <small>ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.</small>	TITLE PROPOSED SITE PLAN SCALE AT A3 1:200 ISSUE DATE 22/8/2018 JOB NUMBER 496 DRAWN BY DM DRAWING NO. TP014	
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Attachment 3 - PLN18/0008 - 12 The Vaucluse Richmond - Sketch plans



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TITLE
PROPOSED LOWER GROUND FLOOR PLAN

SCALE AT A3
1:100

ISSUE DATE
22/8/2018

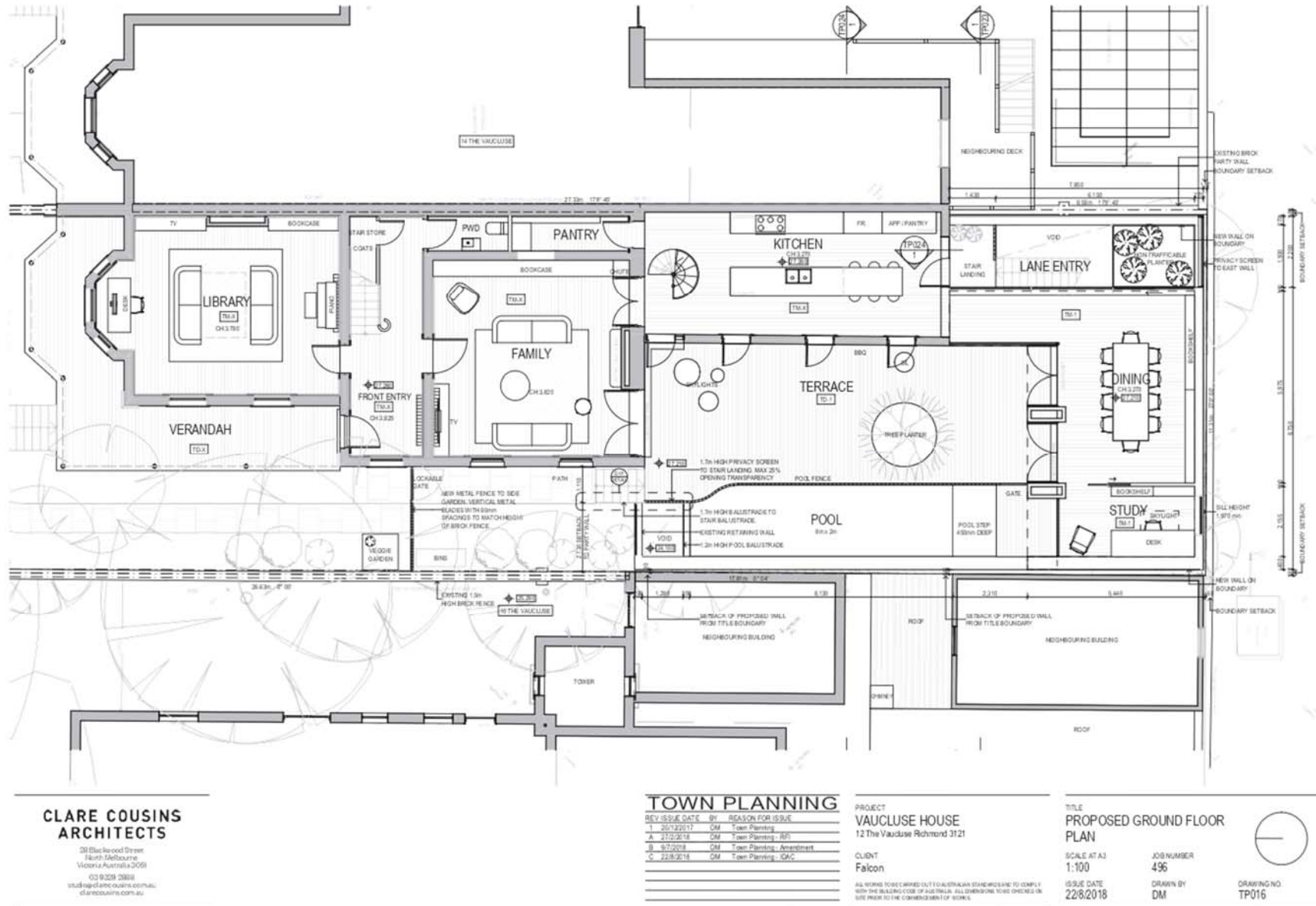
JOB NUMBER
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DRAWN BY
DM

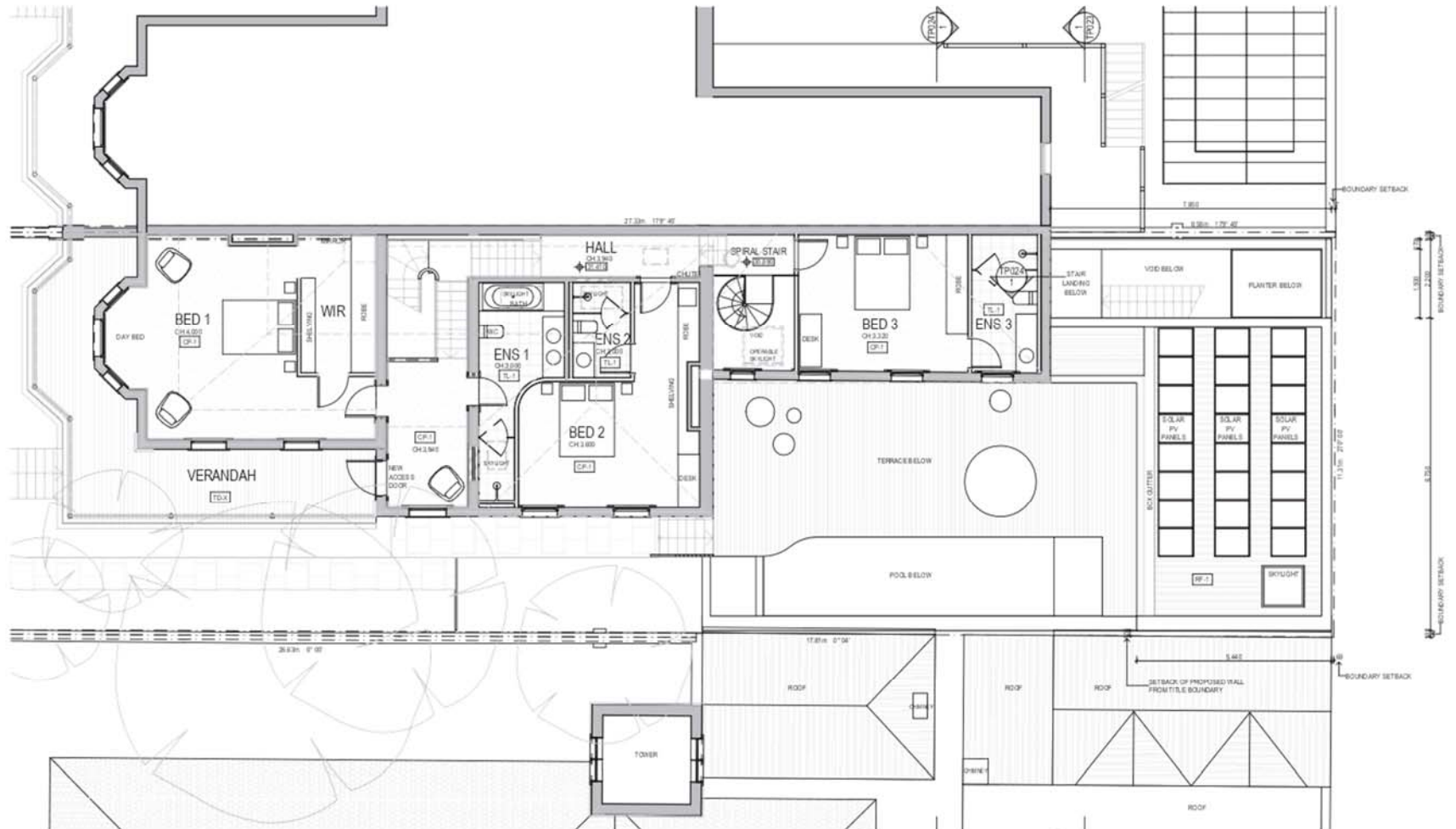


DRAWING NO
TP015

Attachment 3 - PLN18/0008 - 12 The Vaucluse Richmond - Sketch plans



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PROJECT
VAUCLUSE HOUSE
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TITLE
PROPOSED FIRST FLOOR PLAN

SCALE AT A3
1:100

ISSUE DATE
22/8/2018

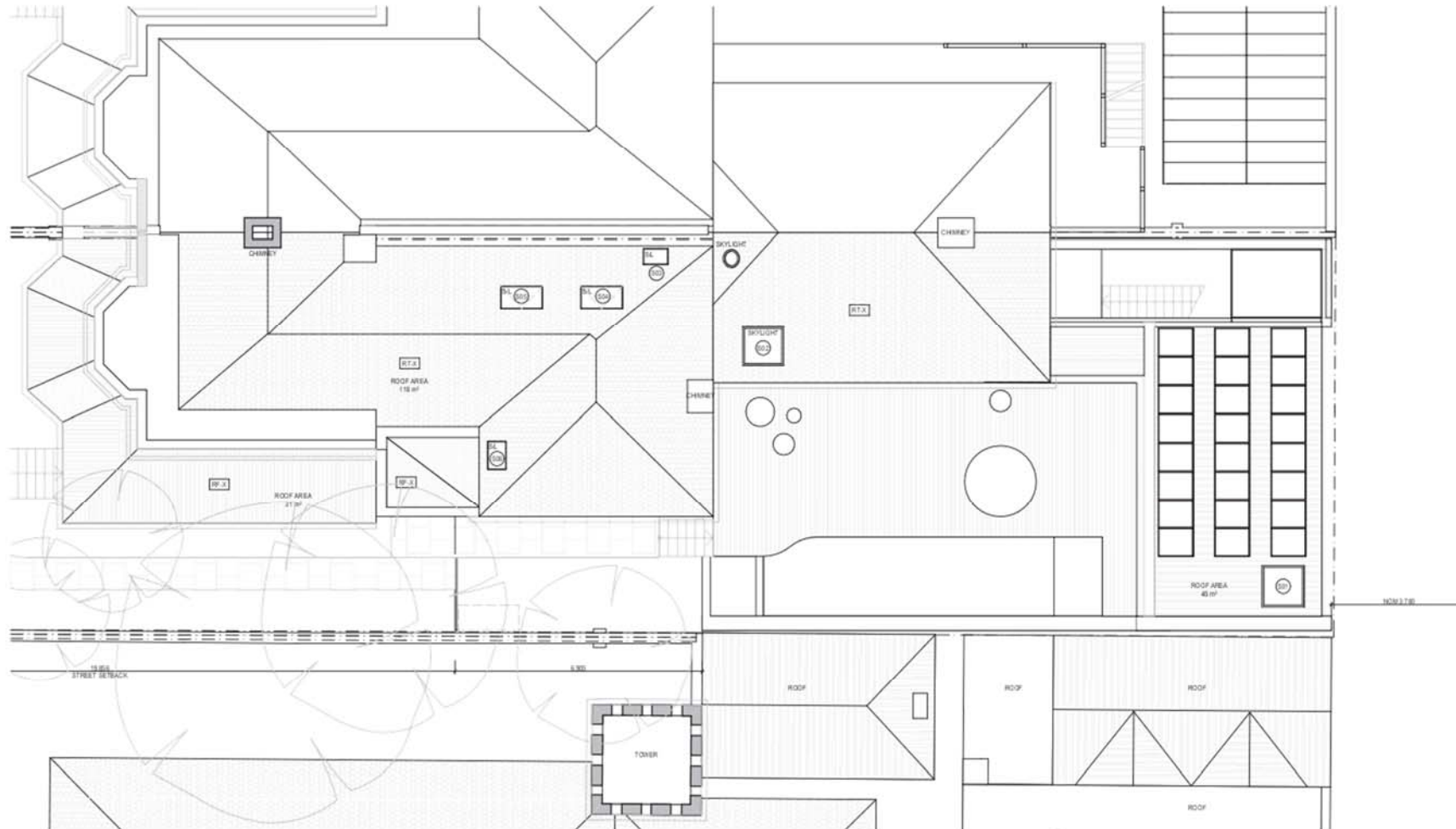
JOB NUMBER
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DRAWN BY
DM



DRAWING NO
TP017

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CLIENT
Falcon

ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE
PROPOSED ROOF PLAN

SCALE AT A3
1:100

ISSUE DATE
22/8/2018

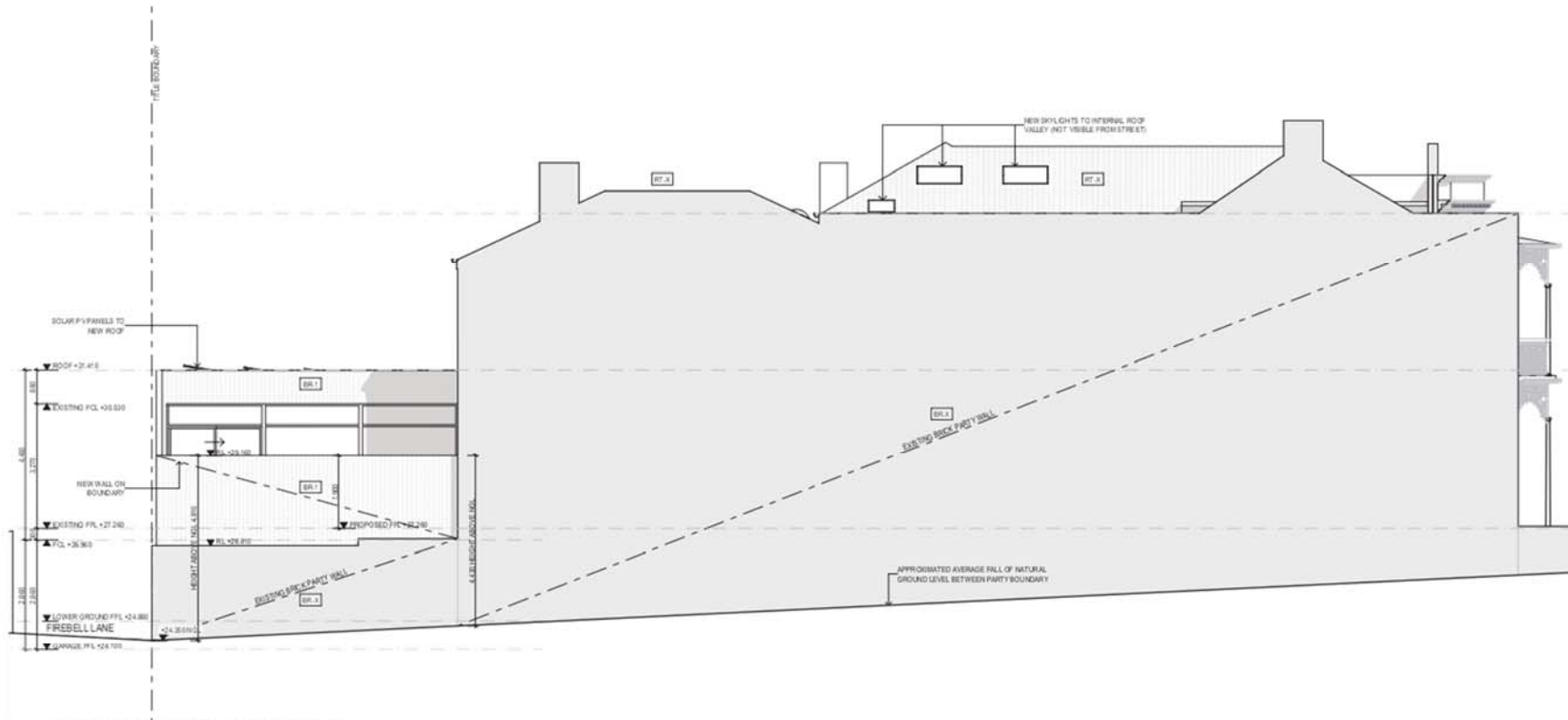
JOB NUMBER
496

DRAWN BY
DM



DRAWING NO
TP018

Attachment 3 - PLN18/0008 - 12 The Vaucluse Richmond - Sketch plans



1 PROPOSED EAST ELEVATION
1:100

CLARE COUSINS ARCHITECTS

28 Blackwood Street,
South Melbourne
Victoria Australia 32061
03 9329 2888
info@clarecousins.com.au
clarecousins.com.au

- EXISTING BUILDING FABRIC TO REMAIN
- EXISTING BUILDING FABRIC TO BE DEMOLISHED
- NEIGHBOURING BUILDINGS

- UHW UPPER HABITABLE WINDOW
- LHW LOWER HABITABLE WINDOW
- HW HABITABLE WINDOW
- D DOOR
- DD DOUBLE DOOR
- DE DECIDUOUS TREE
- EU EUCALYPTUS TREE
- EY EVERGREEN TREE
- NA NATIVE TREE

TOWN PLANNING

REV	ISSUE DATE	BY	REASON FOR ISSUE
1	26/12/2017	DM	Town Planning
A	27/2/2018	DM	Town Planning - RP
B	9/7/2018	DM	Town Planning - Amendment
C	22/8/2018	DM	Town Planning - GAC

PROJECT
VAUCLUSE HOUSE
12 The Vaucluse Richmond 3121

CLIENT
Falcon

ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE
PROPOSED ELEVATIONS

SCALE AT A3

ISSUE DATE
22/8/2018

JOB NUMBER
496

DRAWN BY
DM

DRAWING NO
TP019

Attachment 3 - PLN18/0008 - 12 The Vaucluse Richmond - Sketch plans



2 PROPOSED WEST ELEVATION
1:100

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info@clarecousins.com.au
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- EXISTING BUILDING FABRIC TO REMAIN
- EXISTING BUILDING FABRIC TO BE DEMOLISHED
- NEIGHBOURING BUILDINGS
- UHW UPPER HABITABLE WINDOW
- LHW LOWER HABITABLE WINDOW
- HW HABITABLE WINDOW
- D DOOR
- DO DOUBLE DOOR
- DE DECIDUOUS TREE
- EU EUCALYPTUS TREE
- EV EVERGREEN TREE
- NA NATIVE TREE

TOWN PLANNING		
REV	ISSUE DATE	BY REASON FOR ISSUE
1	20/12/2017	DM Town Planning
A	27/2/2018	DM Town Planning - RP
B	9/7/2018	DM Town Planning - Amendment
C	22/8/2018	DM Town Planning - SAC

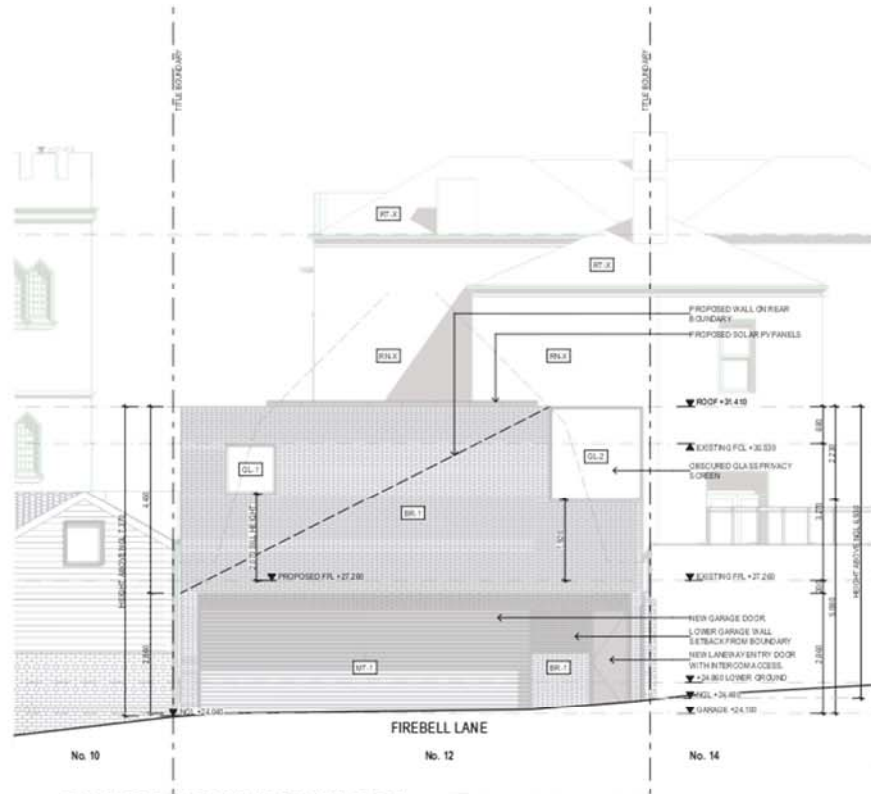
PROJECT
VAUCLUSE HOUSE
12 The Vaucluse Richmond 3121

CLIENT
Falcon

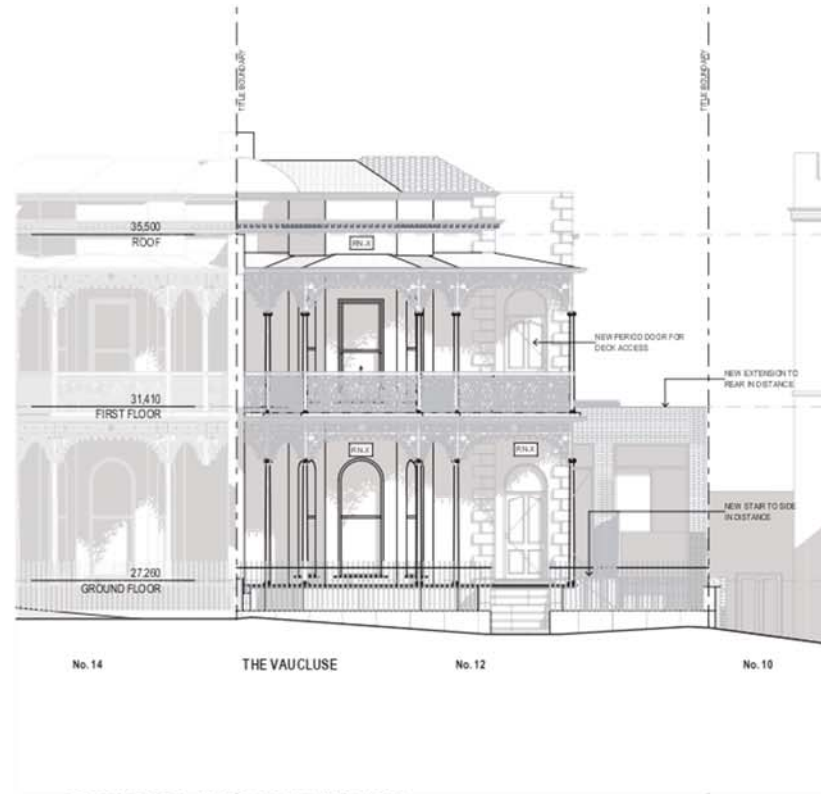
ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE PROPOSED ELEVATIONS	
SCALE AT A3	JOB NUMBER 496
ISSUE DATE 22/8/2018	DRAWN BY DM
	DRAWING NO. TP020

Attachment 3 - PLN18/0008 - 12 The Vacluse Richmond - Sketch plans



3 PROPOSED SOUTH ELEVATION
1:100



4 PROPOSED NORTH ELEVATION
1:100

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South Melbourne,
Victoria Australia 32061
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	EXISTING BUILDING FABRIC TO REMAIN	UHW	UPPER HABITABLE WINDOW
	EXISTING BUILDING FABRIC TO BE DEMOLISHED	LHW	LOWER HABITABLE WINDOW
	NEIGHBOURING BUILDINGS	HW	HABITABLE WINDOW
		D	DOOR
		DD	DOUBLE DOOR
		DE	DECIDUOUS TREE
		EU	EUCALYPTUS TREE
		EY	EVERGREEN TREE
		NA	NATIVE TREE

TOWN PLANNING			
REV	ISSUE DATE	BY	REASON FOR ISSUE
1	25/12/2017	DM	Town Planning
A	27/2/2018	DM	Town Planning - RP
C	22/8/2018	DM	Town Planning - OAC

PROJECT
VAACLUSE HOUSE
12 The Vacluse Richmond 3121

CLIENT
Falcon

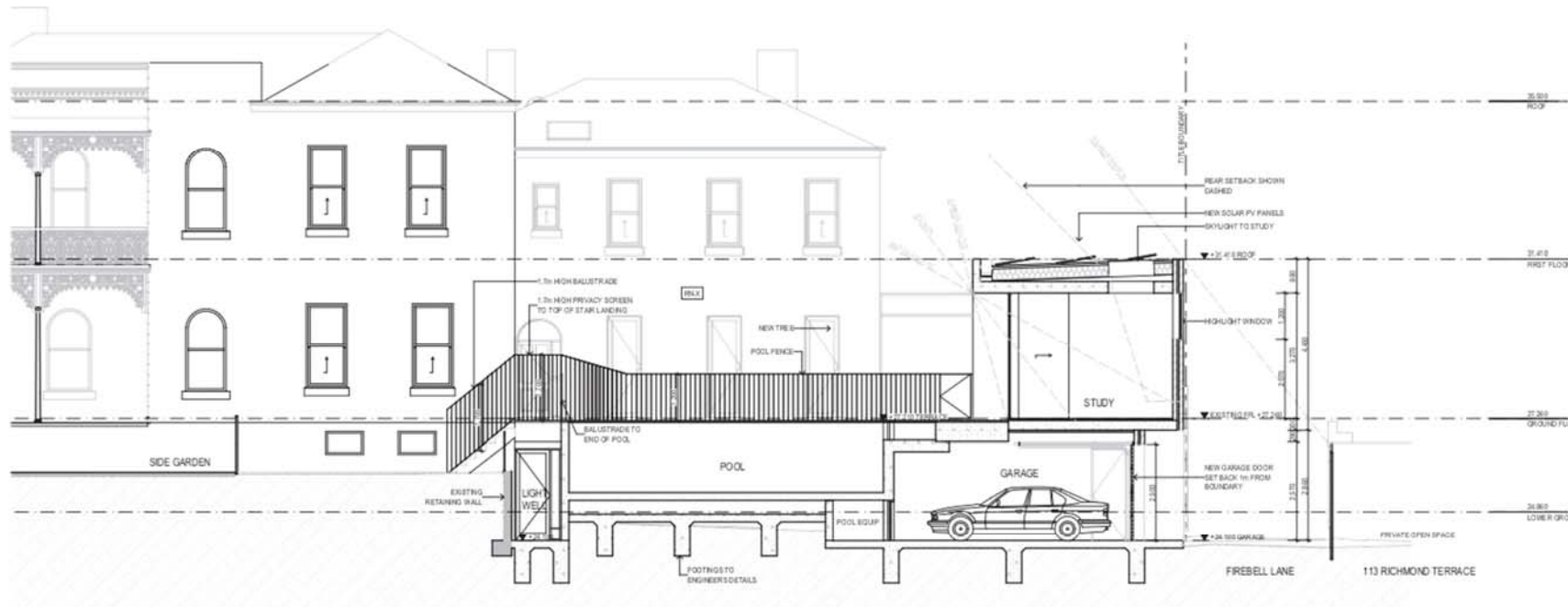
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TITLE
PROPOSED ELEVATIONS

SCALE AT A3
JOB NUMBER
496

ISSUE DATE
22/8/2018
DRAWN BY
DM
DRAWING NO.
TP021

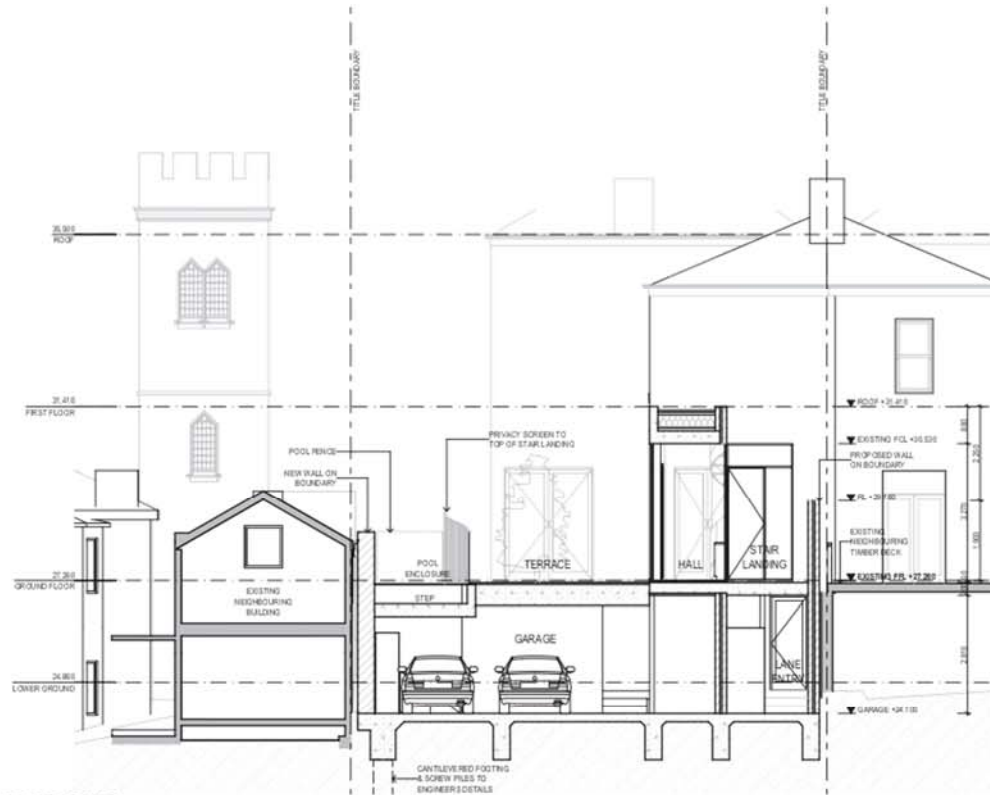
Attachment 3 - PLN18/0008 - 12 The Vaucluse Richmond - Sketch plans



1 PROPOSED SECTION A
1:100

CLARE COUSINS ARCHITECTS 28 Blackwood Street, South Melbourne, Victoria Australia 32061 03 9328 2888 info@clarecousins.com.au clarecousins.com.au	[Solid Grey] EXISTING BUILDING FABRIC TO REMAIN [Hatched] EXISTING BUILDING FABRIC TO BE DEMOLISHED [Light Grey] NEIGHBOURING BUILDINGS	UHW UPPER HABITABLE WINDOW LHW LOWER HABITABLE WINDOW HW HABITABLE WINDOW D DOOR DD DOUBLE DOOR DE DECIDUOUS TREE EU EUCALYPTUS TREE EV EVERGREEN TREE NA NATIVE TREE	TOWN PLANNING REV ISSUE DATE BY REASON FOR ISSUE 1 25/12/2017 GM Town Planning A 27/2/2018 GM Town Planning - RP B 9/7/2018 GM Town Planning - Amendment C 22/8/2018 GM Town Planning - SAC	PROJECT VAUCLUSE HOUSE 12 The Vaucluse Richmond 3121 CLIENT Falcon <small>ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL CONSTRUCTION TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.</small>	TITLE PROPOSED SECTIONS SCALE AT A3 JOB NUMBER 496 ISSUE DATE 22/8/2018 DRAWN BY DM DRAWING NO. TP022
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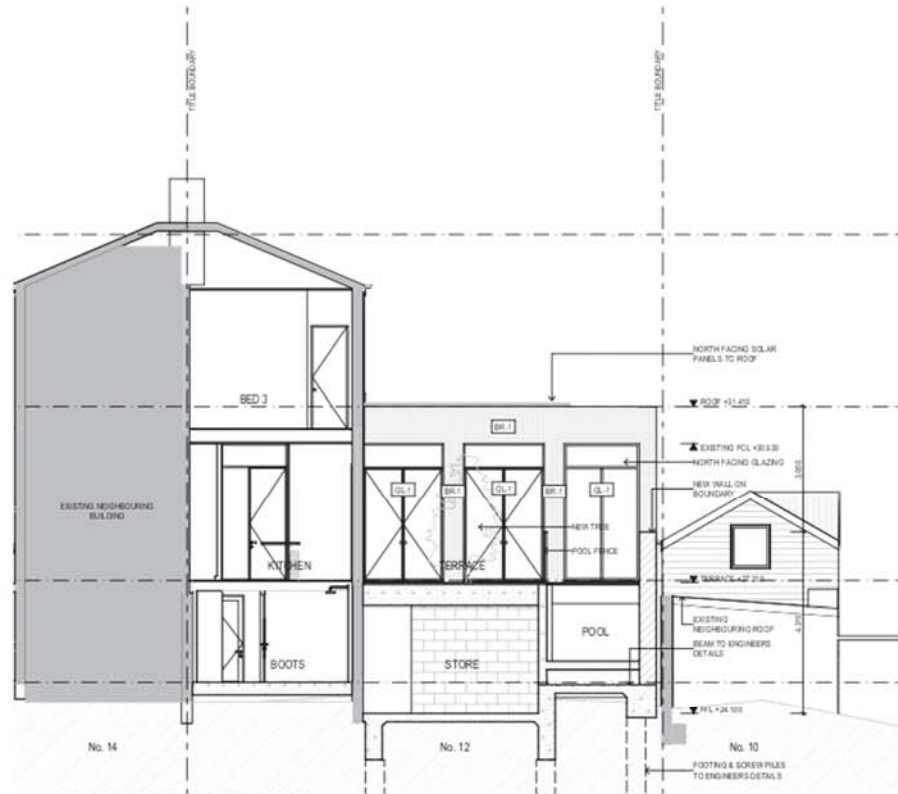
Attachment 3 - PLN18/0008 - 12 The Vaucluse Richmond - Sketch plans



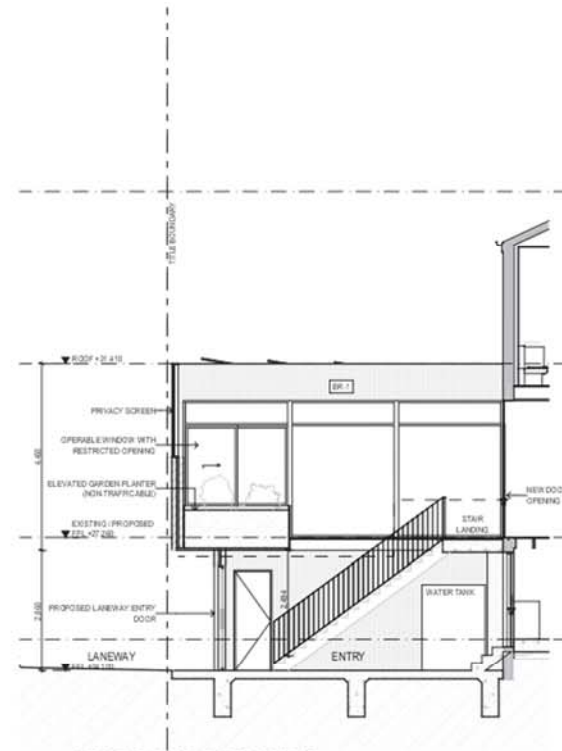
1 PROPOSED SECTION B
1:100

CLARE COUSINS ARCHITECTS 28 Blackwood Street, South Melbourne, Victoria Australia 32061 03 9329 2888 info@clarecousins.com.au clarecousins.com.au	[Solid Grey Box] EXISTING BUILDING FABRIC TO REMAIN [Red Hatched Box] EXISTING BUILDING FABRIC TO BE DEMOLISHED [Light Grey Box] NEIGHBOURING BUILDINGS	UHW UPPER HABITABLE WINDOW LHW LOWER HABITABLE WINDOW HW HABITABLE WINDOW D DOOR DD DOUBLE DOOR DE DECIDUOUS TREE EU EUCALYPTUS TREE EV EVERGREEN TREE NA NATIVE TREE	TOWN PLANNING REV ISSUE DATE BY REASON FOR ISSUE 1 25/12/2017 GM Town Planning A 27/2/2018 GM Town Planning - RFI B 9/7/2018 GM Town Planning - Amendment C 22/8/2018 GM Town Planning - SAC	PROJECT VAUCLUSE HOUSE 12 The Vaucluse Richmond 3121 CLIENT Falcon <small>ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODES OF AUSTRALIA. ALL CONSTRUCTION TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.</small>	TITLE PROPOSED SECTIONS SCALE AT A3 JOB NUMBER 496 ISSUE DATE 22/8/2018 DRAWN BY DM DRAWING NO. TP023
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Attachment 3 - PLN18/0008 - 12 The Vaucluse Richmond - Sketch plans



1
-
PROPOSED SECTION C
1:100



1
-
PROPOSED SECTION D
1:100

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 clarecousins.com.au

- EXISTING BUILDING FABRIC TO REMAIN
- EXISTING BUILDING FABRIC TO BE DEMOLISHED
- NEIGHBOURING BUILDINGS

- UHW UPPER HABITABLE WINDOW
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TOWN PLANNING

REV	ISSUE DATE	BY	REASON FOR ISSUE
1	20/12/2017	DM	Town Planning
A	27/2/2018	DM	Town Planning - RP
B	9/7/2018	DM	Town Planning - Amendment
C	22/8/2018	DM	Town Planning - GAC

PROJECT
VAUCLUSE HOUSE
 12 The Vaucluse Richmond 3121

CLIENT
 Falcon

ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE
PROPOSED SECTIONS

SCALE AT A3
 1:100

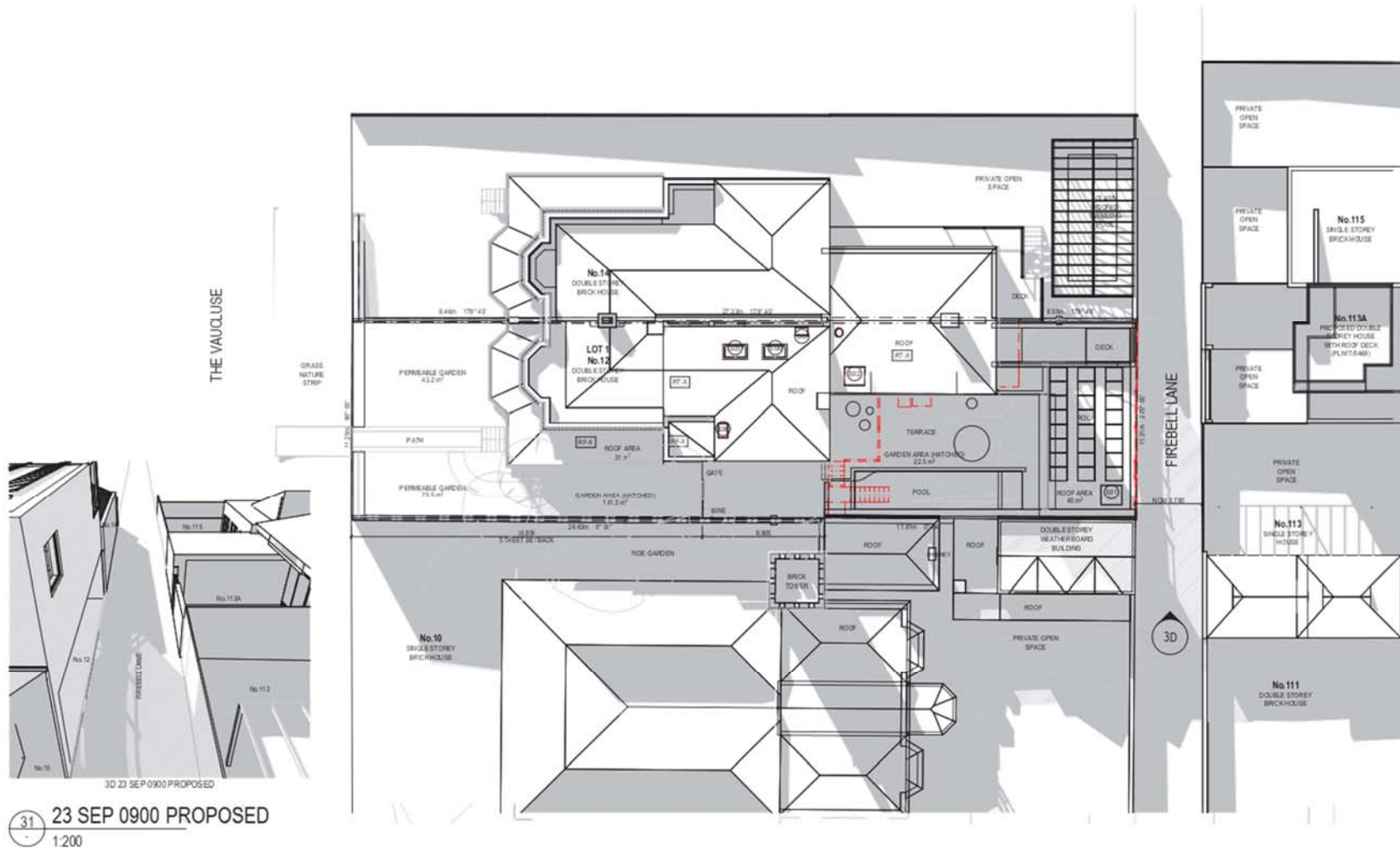
ISSUE DATE
 22/8/2018

JOB NUMBER
 496

DRAWN BY
 DM

DRAWING NO.
 TP024

Attachment 3 - PLN18/0008 - 12 The Vaucluse Richmond - Sketch plans



31 23 SEP 0900 PROPOSED
1:200

CLARE COUSINS ARCHITECTS

38 Blackwood Street
South Melbourne
Victoria Australia 3206
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info@clarecousins.com.au
clarecousins.com.au

EXISTING SHADOWS
PROPOSED SHADOWS

TOWN PLANNING

REV	ISSUE DATE	BY	REASON FOR ISSUE
1	20/12/2017	DM	Town Planning
A	27/2/2018	DM	Town Planning - RP
C	22/8/2018	DM	Town Planning - OAC

PROJECT
VAUCLUSE HOUSE
12 The Vaucluse Richmond 3121

CLIENT
Falcon

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TITLE
SHADOW DIAGRAMS

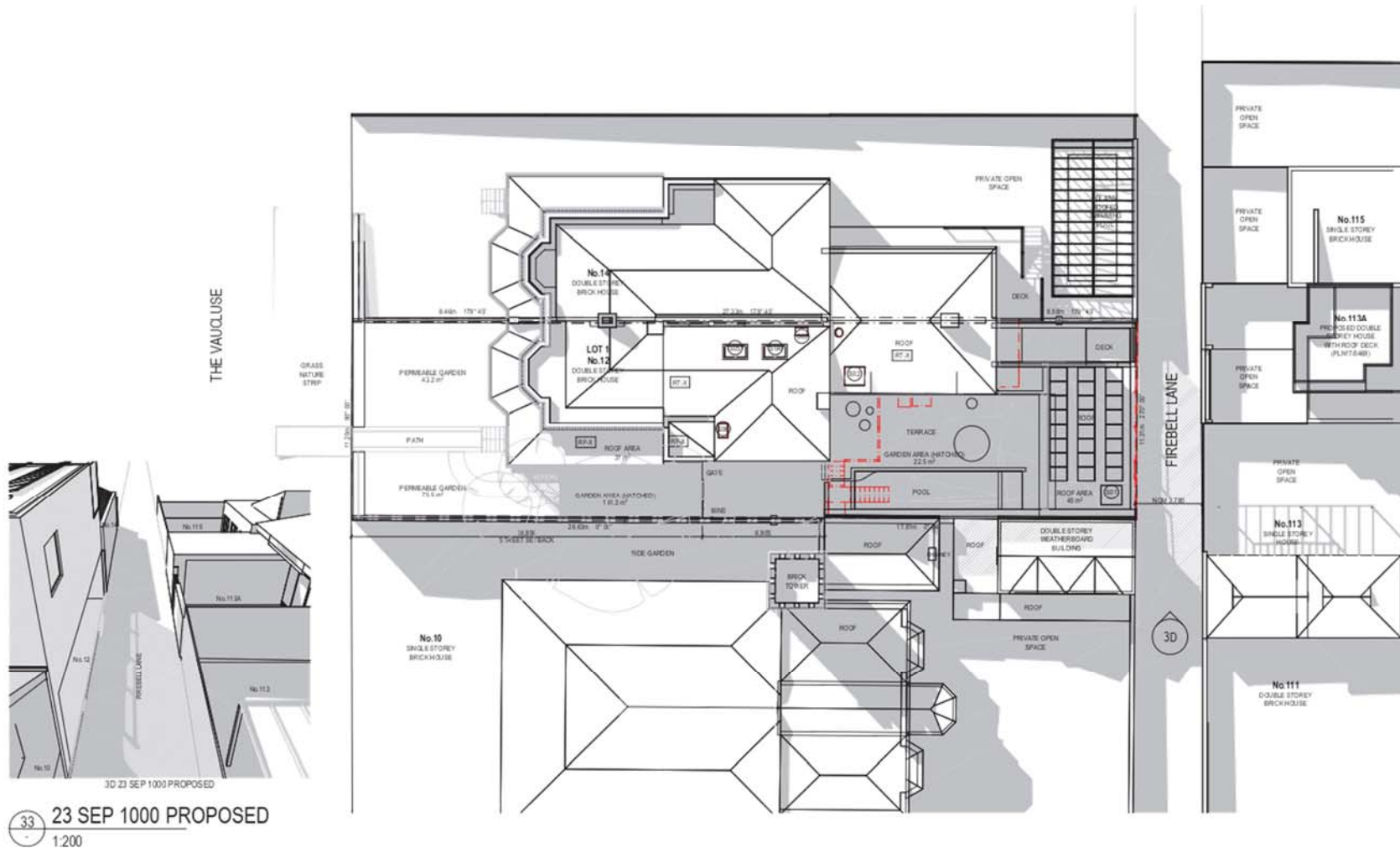
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ISSUE DATE
22/8/2018

JOB NUMBER
496
DRAWN BY
DM



DRAWING NO
TP025

Attachment 3 - PLN18/0008 - 12 The Vaucluse Richmond - Sketch plans



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South Melbourne
Victoria Australia 32061
03 9328 2888
info@clarecousins.com.au
clarecousins.com.au

EXISTING SHADOWS
PROPOSED SHADOWS

TOWN PLANNING

REV	ISSUE DATE	BY	REASON FOR ISSUE
1	20/12/2017	DM	Town Planning
A	27/2/2018	DM	Town Planning - RFI
C	22/8/2018	DM	Town Planning - OAC

PROJECT
VAUCLUSE HOUSE
12 The Vaucluse Richmond 3121

CLIENT
Falcon

ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DRAWINGS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

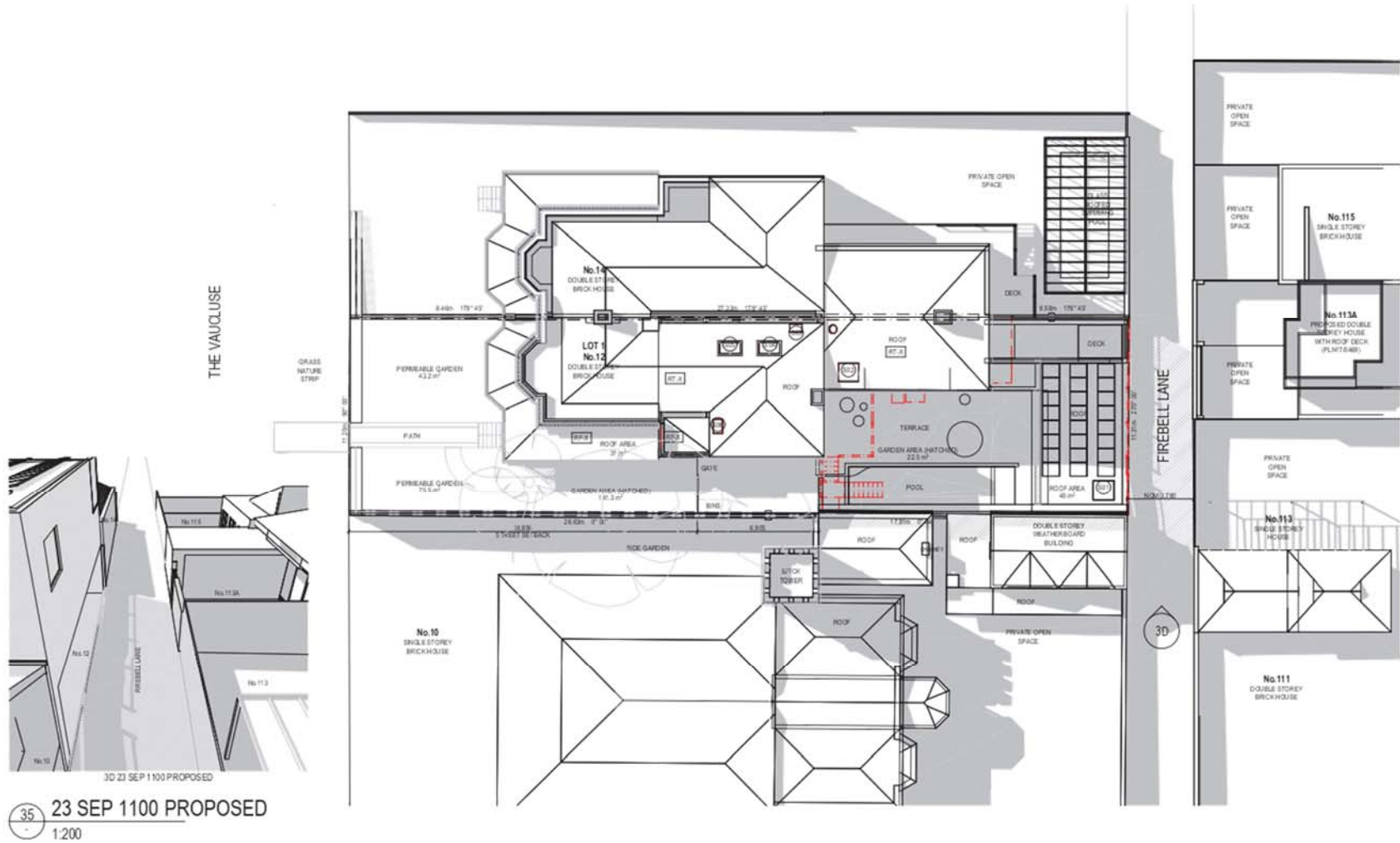
TITLE
SHADOW DIAGRAMS

SCALE AT A3
1:200
ISSUE DATE
22/8/2018

JOB NUMBER
496
DRAWN BY
DM

DRAWING NO.
TP026

Attachment 3 - PLN18/0008 - 12 The Vaucluse Richmond - Sketch plans



35 23 SEP 1100 PROPOSED
1:200

CLARE COUSINS ARCHITECTS

28 Blackwood Street,
South Melbourne,
Victoria Australia 32061
03 9328 2888
info@clarecousins.com.au
clarecousins.com.au

EXISTING SHADOWS
PROPOSED SHADOWS

TOWN PLANNING

REV	ISSUE DATE	BY	REASON FOR ISSUE
1	20/12/2017	DM	Town Planning
A	27/2/2018	DM	Town Planning - RFI
C	22/8/2018	DM	Town Planning - OAC

PROJECT
VAUCLUSE HOUSE
12 The Vaucluse Richmond 3121

CLIENT
Falcon

ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODES OF AUSTRALIA. ALL CONSTRUCTION TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE
SHADOW DIAGRAMS

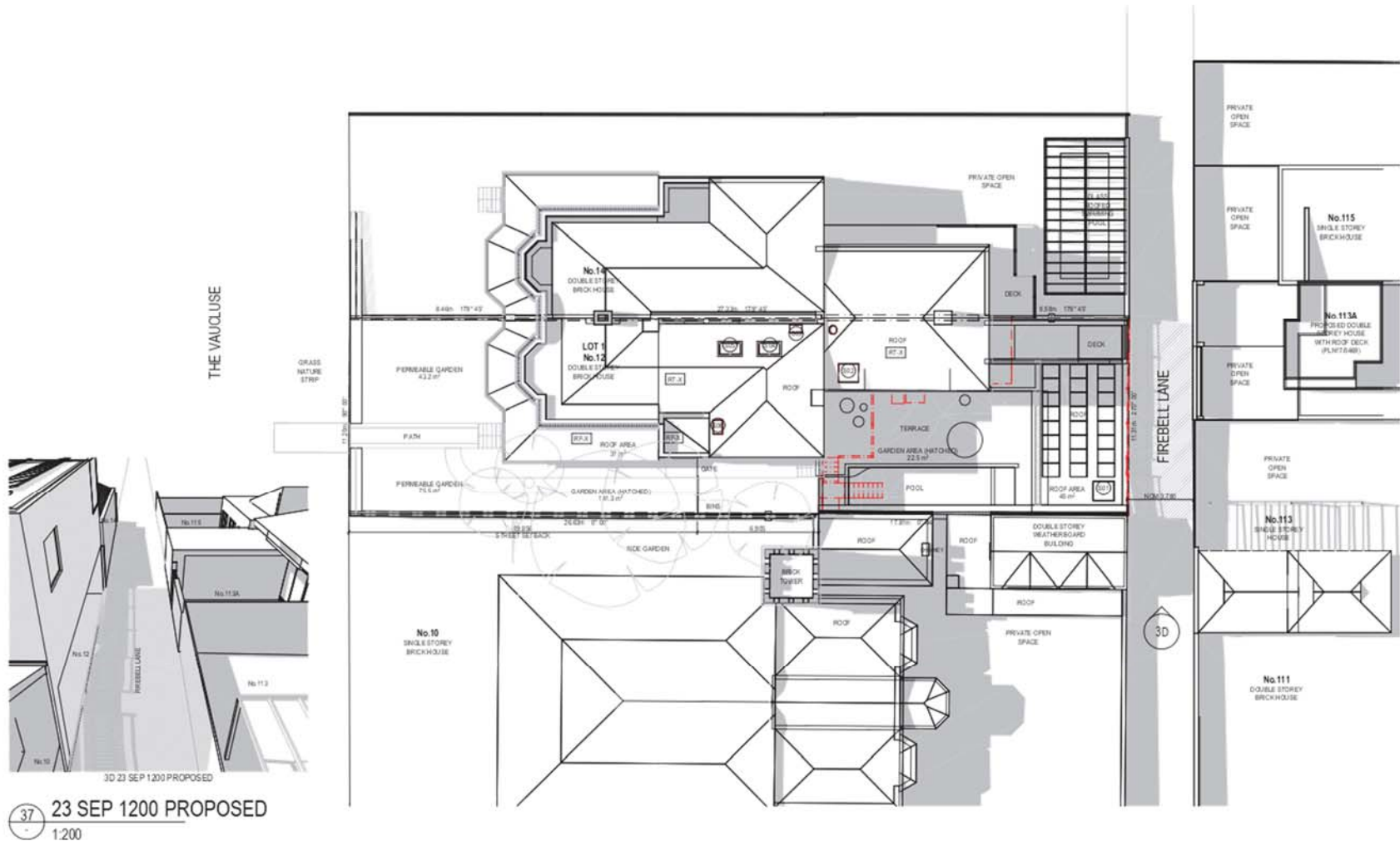
SCALE AT A3
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ISSUE DATE
22/8/2018

JOB NUMBER
496
DRAWN BY
DM



DRAWING NO
TP027

Attachment 3 - PLN18/0008 - 12 The Vaucluse Richmond - Sketch plans



37
23 SEP 1200 PROPOSED
1:200

CLARE COUSINS ARCHITECTS

28 Blackwood Street
South Melbourne
Victoria Australia 3206
03 9328 2888
info@clarecousins.com.au
clarecousins.com.au

EXISTING SHADOWS
PROPOSED SHADOWS

TOWN PLANNING

REV	ISSUE DATE	BY	REASON FOR ISSUE
1	20/12/2017	DM	Town Planning
A	27/2/2018	DM	Town Planning - RP
C	22/8/2018	DM	Town Planning - OAC

PROJECT
VAUCLUSE HOUSE
12 The Vaucluse Richmond 3121

CLIENT
Falcon

ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DRAWINGS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

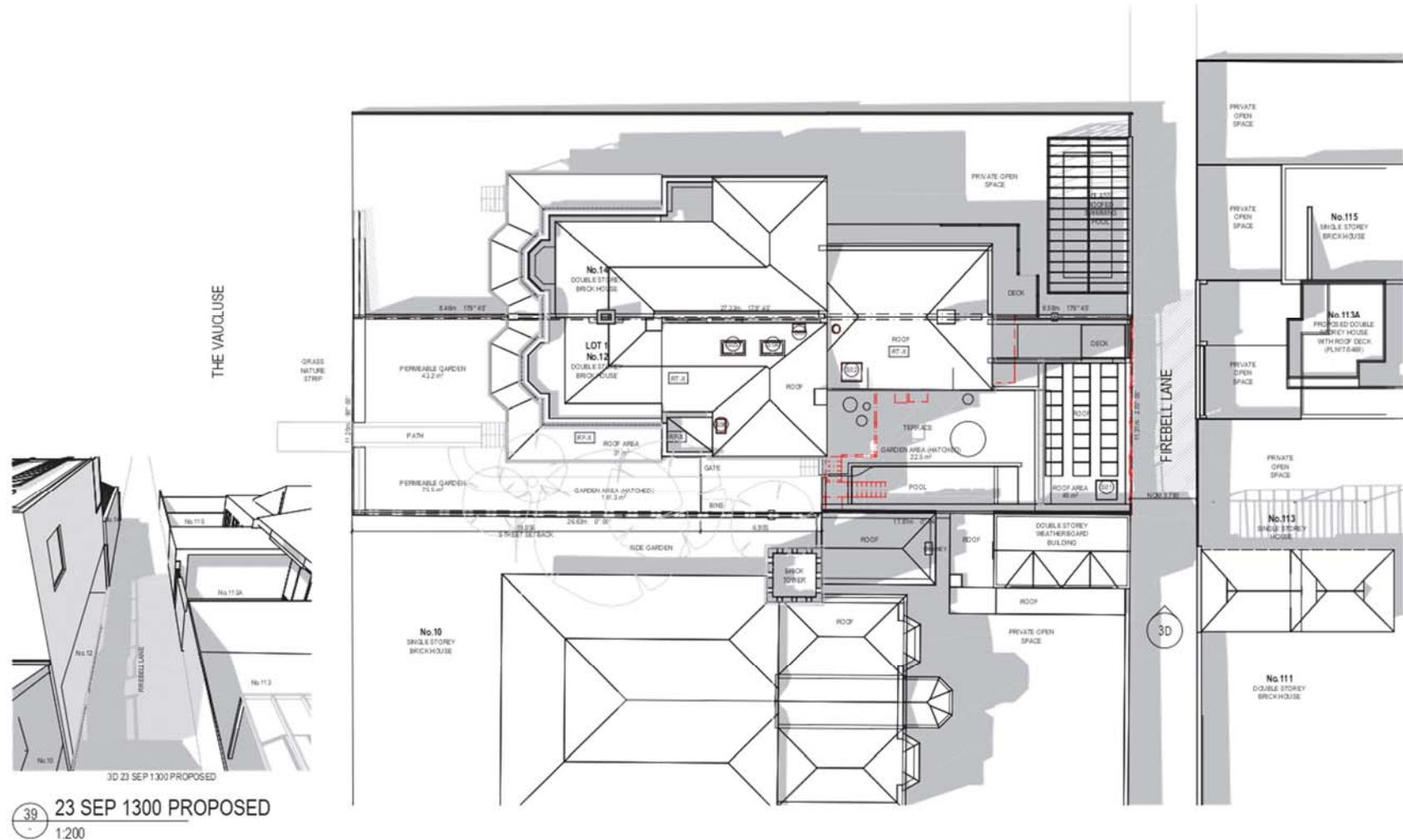
TITLE
SHADOW DIAGRAMS

SCALE AT A3
1:200
ISSUE DATE
22/8/2018

JOB NUMBER
496
DRAWN BY
DM

DRAWING NO.
TP028

Attachment 3 - PLN18/0008 - 12 The Vaucluse Richmond - Sketch plans



39 23 SEP 1300 PROPOSED
1:200

CLARE COUSINS ARCHITECTS

38 Blackwood Street
South Melbourne
Victoria Australia 32061
03 9328 2888
info@clarecousins.com.au
clarecousins.com.au

- EXISTING SHADOWS
- PROPOSED SHADOWS

TOWN PLANNING

REV	ISSUE DATE	BY	REASON FOR ISSUE
1	20/12/2017	DM	Town Planning
A	27/2/2018	DM	Town Planning - RFI
C	22/8/2018	DM	Town Planning - OAC

PROJECT
VAUCLUSE HOUSE
12 The Vaucluse Richmond 3121

CLIENT
Falcon

ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DRAWINGS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

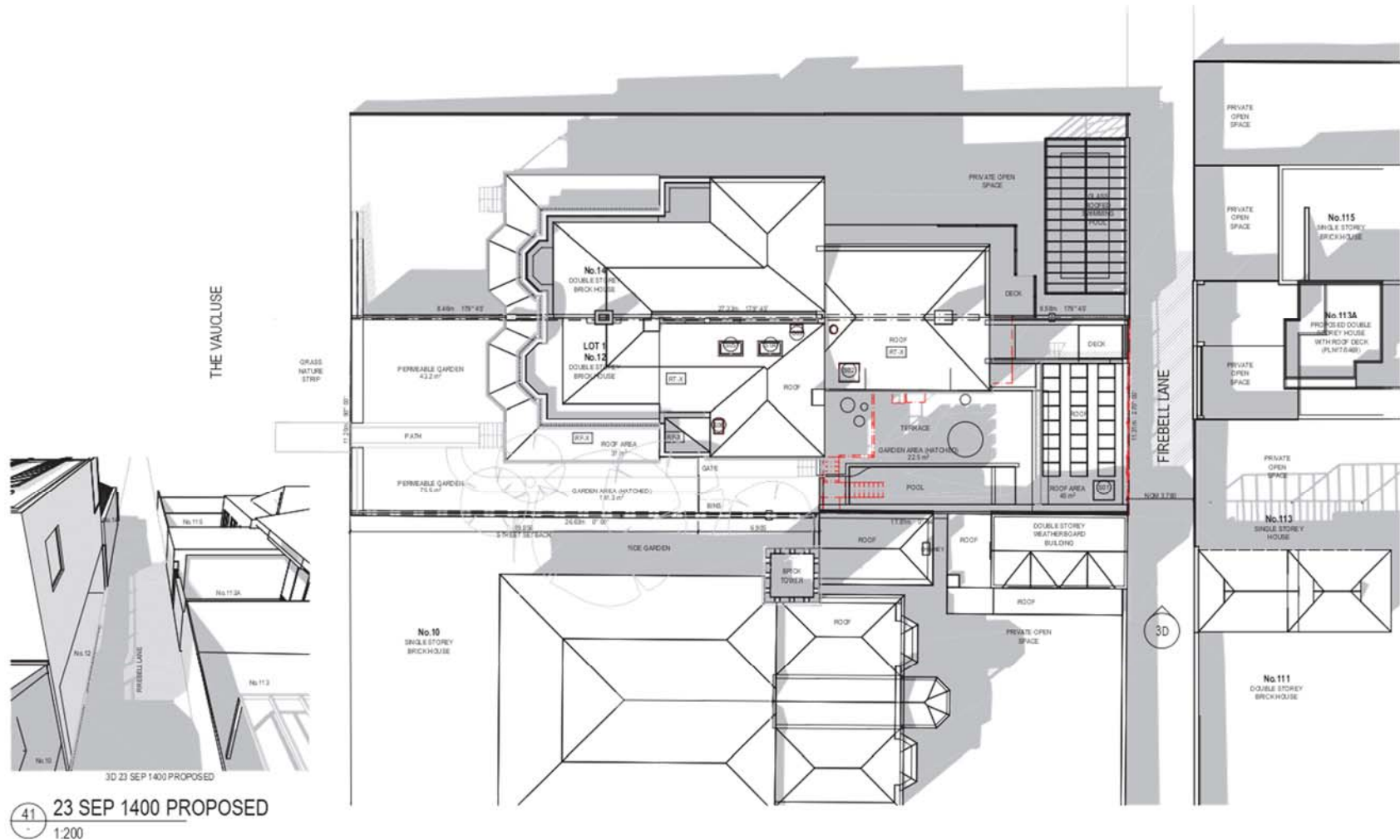
TITLE
SHADOW DIAGRAMS

SCALE AT A3
1:200
ISSUE DATE
22/8/2018

JOB NUMBER
496
DRAWN BY
DM



Attachment 3 - PLN18/0008 - 12 The Vaucluse Richmond - Sketch plans



41 23 SEP 1400 PROPOSED
1:200

CLARE COUSINS ARCHITECTS

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03 9328 2888
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- EXISTING SHADOWS
- PROPOSED SHADOWS

TOWN PLANNING

REV	ISSUE DATE	BY	REASON FOR ISSUE
1	20/12/2017	DM	Town Planning
A	27/2/2018	DM	Town Planning - RP
C	22/8/2018	DM	Town Planning - OAC

PROJECT
VAUCLUSE HOUSE
12 The Vaucluse Richmond 3121

CLIENT
Falcon

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TITLE
SHADOW DIAGRAMS

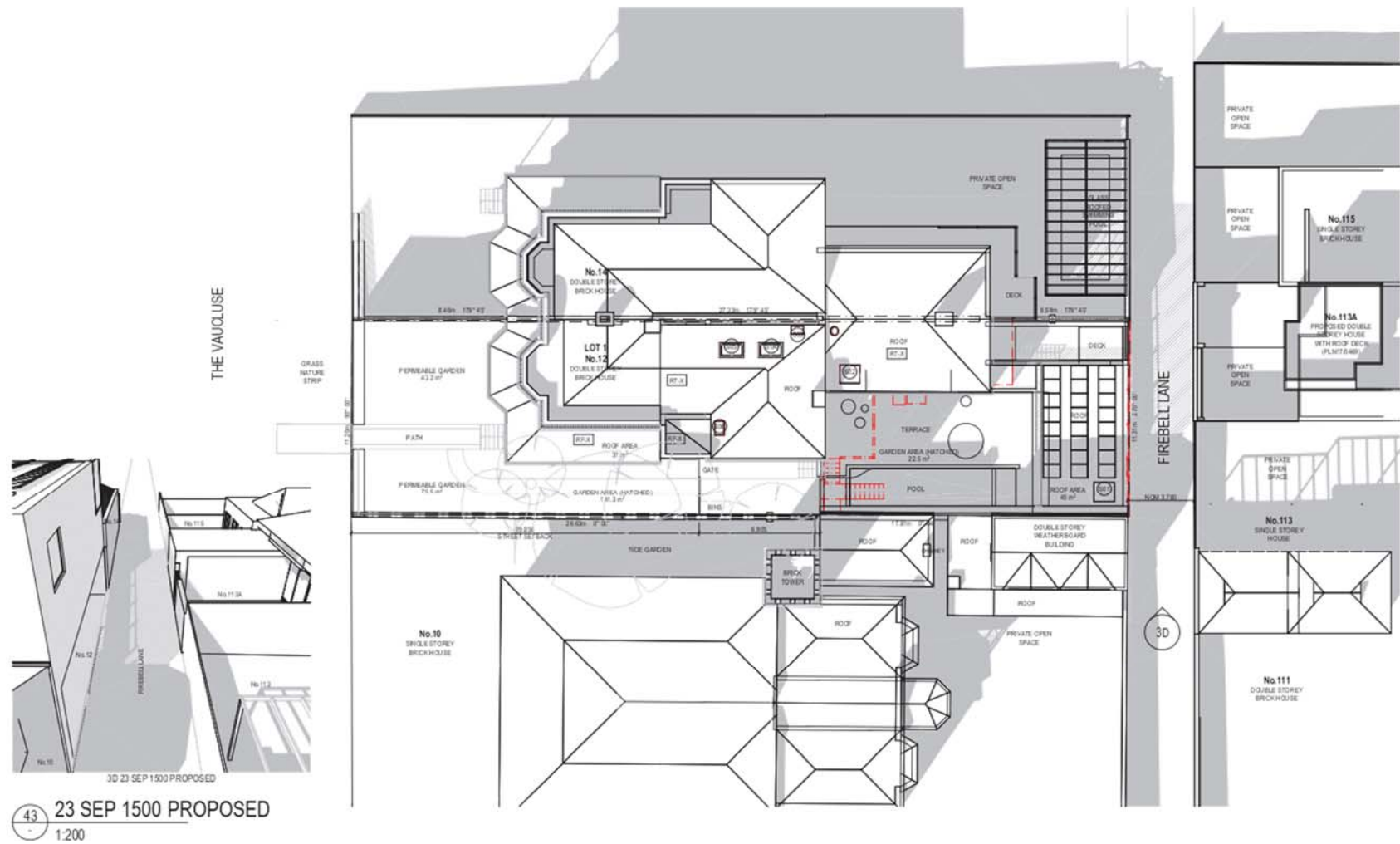
SCALE AT A3
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ISSUE DATE
22/8/2018

JOB NUMBER
496
DRAWN BY
DM



DRAWING NO
TP030

Attachment 3 - PLN18/0008 - 12 The Vaucluse Richmond - Sketch plans



43 23 SEP 1500 PROPOSED
1:200

CLARE COUSINS ARCHITECTS
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South Melbourne
Victoria Australia 3206
03 9328 2888
info@clarecousins.com.au
clarecousins.com.au

EXISTING SHADOWS
PROPOSED SHADOWS

TOWN PLANNING		
REV	ISSUE DATE	BY / REASON FOR ISSUE
1	20/12/2017	DM / Town Planning
A	27/2/2018	DM / Town Planning - RFI
C	22/8/2018	DM / Town Planning - OAC

PROJECT
VAUCLUSE HOUSE
12 The Vaucluse Richmond 3121

CLIENT
Falcon

ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODES OF AUSTRALIA. ALL DRAWINGS TO BE CHECKED IN WRITING PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE
SHADOW DIAGRAMS

SCALE AT A3
1:200

ISSUE DATE
22/8/2018

JOB NUMBER
496

DRAWN BY
DM

DRAWING NO
TP031

Attachment 3 - PLN18/0008 - 12 The Vaucluse Richmond - Sketch plans



1 VIEW FROM ENTRY



2 VIEW FROM SIDE GARDEN

**CLARE COUSINS
ARCHITECTS**

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South Melbourne,
Victoria Australia 3206
03 9328 2888
info@clarecousins.com.au
clarecousins.com.au

TOWN PLANNING

REV	ISSUE DATE	BY	REASON FOR ISSUE
1	26/12/2017	DM	Town Planning
A	27/2/2018	DM	Town Planning - RP
C	22/8/2018	DM	Town Planning - OMC

PROJECT
VAUCLUSE HOUSE
12 The Vaucluse Richmond 3121

CLIENT
Falcon

ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL CONSTRUCTION TO BE CHECKED IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA.

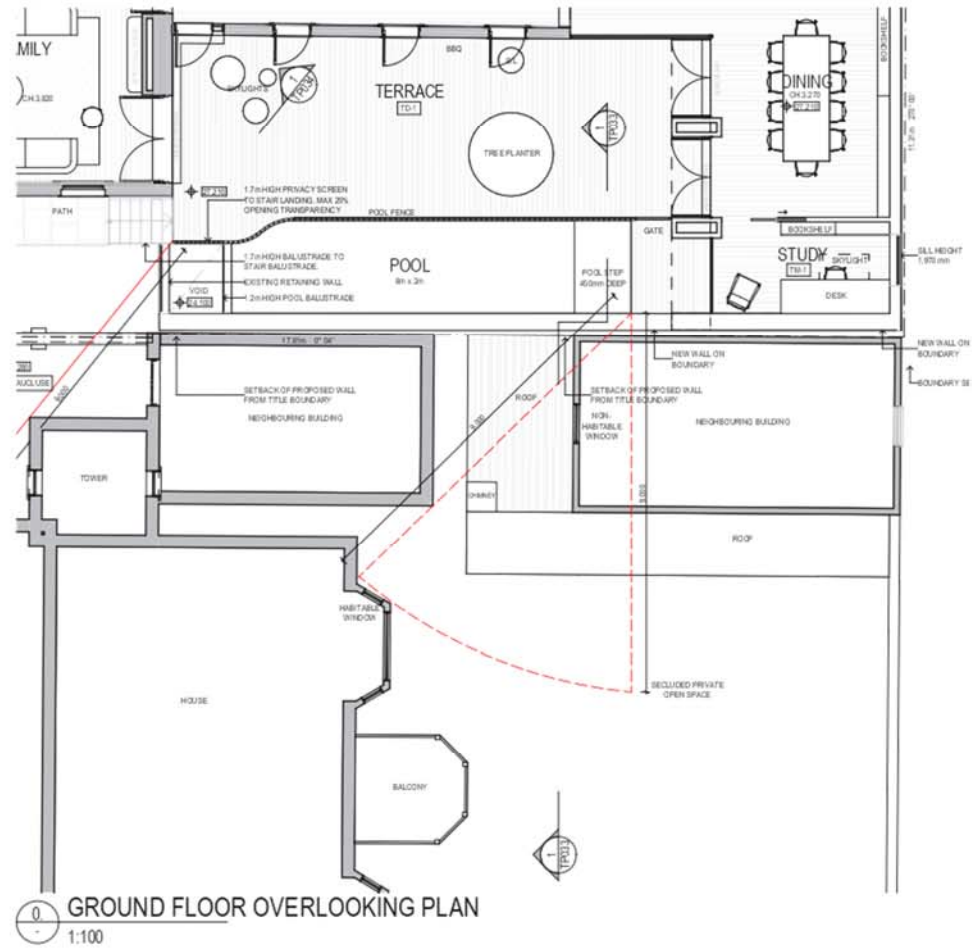
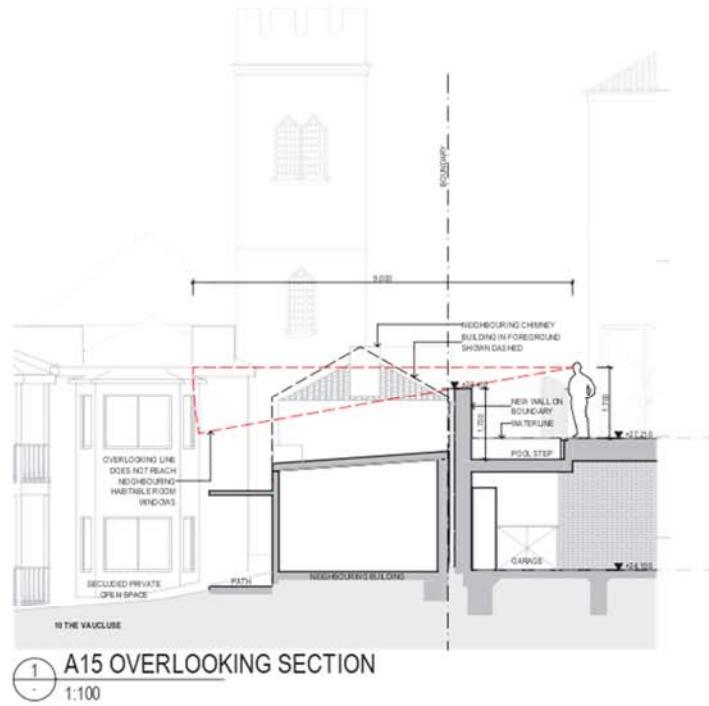
TITLE
RENDERS

SCALE AT A3
ISSUE DATE
22/8/2018

JOB NUMBER
496
DRAWN BY
DM

DRAWING NO.
TP032

Attachment 3 - PLN18/0008 - 12 The Vaucluse Richmond - Sketch plans



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 clarecousins.com.au

TOWN PLANNING		
REV	ISSUE DATE	BY / REASON FOR ISSUE
A	27/2/2018	DM / Town Planning - RFI
B	6/7/2018	DM / Town Planning - Amendment
C	22/8/2018	DM / Town Planning - OAC

PROJECT
VAUCLUSE HOUSE
 12 The Vaucluse Richmond 3121

CLIENT
 Falcon

ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE
A15 OVERLOOKING DIAGRAM

SCALE AT A3

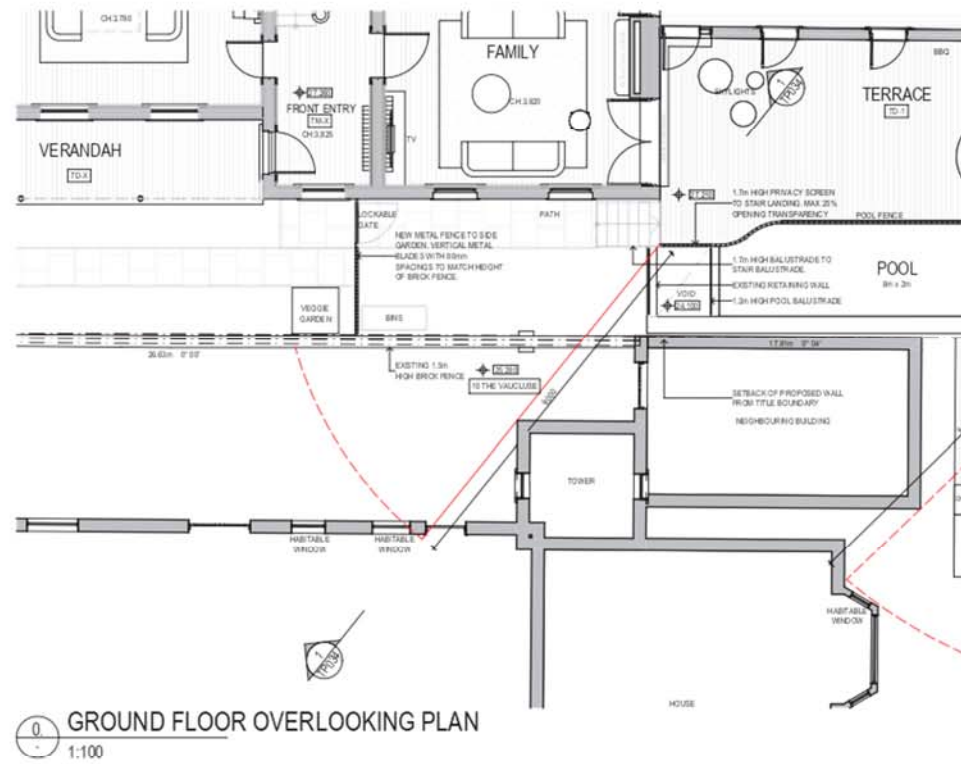
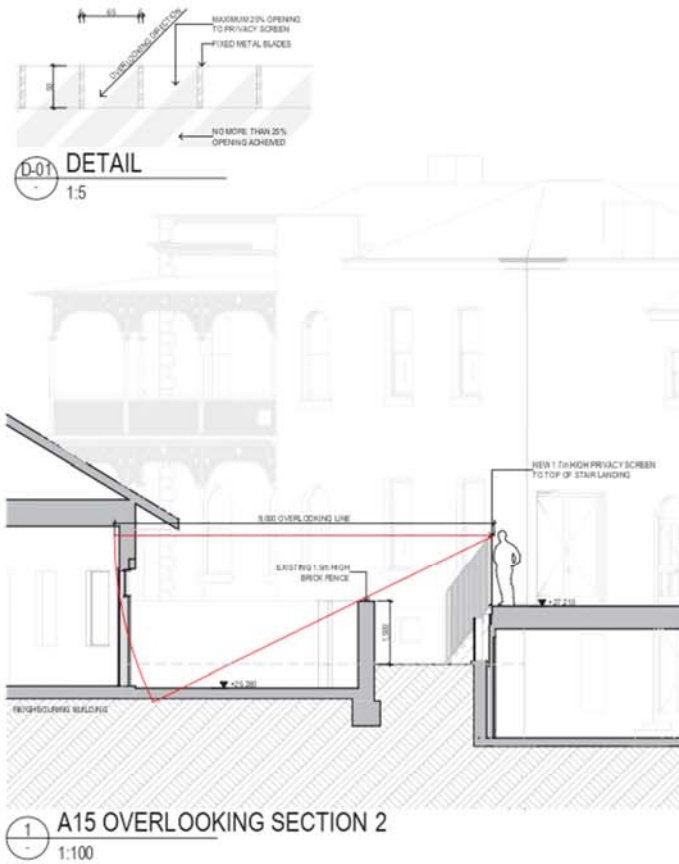
JOB NUMBER
 496

ISSUE DATE
 22/8/2018

DRAWN BY
 DM

DRAWING NO.
 TP033

Attachment 3 - PLN18/0008 - 12 The Vaucluse Richmond - Sketch plans



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TOWN PLANNING		
REV	ISSUE DATE	REASON FOR ISSUE
B	9/7/2018	DM Town Planning - Amendment
C	22/8/2018	DM Town Planning - DAC

PROJECT
VAUCLUSE HOUSE
12 The Vaucluse Richmond 3121

CLIENT
Falcon

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TITLE
A15 OVERLOOKING DIAGRAM

SCALE AT A3
1:5

ISSUE DATE
22/8/2018

JOB NUMBER
496

DRAWN BY
DM

DRAWING NO.
TP034

Attachment 4 - PLN18/0008 - 12 The Vaucluse Richmond - Heritage Referral Comments

Parry, Rebecca

From: Balagtas, Catherine <Catherine.Balagtas@yarracity.vic.gov.au>
Sent: Tuesday, 31 July 2018 9:48 AM
To: Balagtas, Catherine
Subject: Heritage referral - PLN18/0008 - 12 The Vaucluse Richmond
Attachments: IMG_9010.JPG; IGA_13_7_2018_9_51_54_298.pdf

From: Redden, Ruth
Sent: Friday, 13 July 2018 8:20 AM
To: Balagtas, Catherine
Subject: TRIM: RE: Heritage referral - PLN18/0008 - 12 The Vaucluse Richmond

Hi Catherine,

I have reviewed the drawings by Clare Cousins Architects, dated **9/7/18** and make the following comments and recommendations:

COMMENTS

Re **DEMOLITION**

The extent of demolition pertains to:

- Non-contributory fabric at the rear (supported);
- Windows, doors and a small amount of wall fabric at the rear which is not visible from the public realm (supported);
- A small amount of roof cladding for skylights on the internal (sheet metal) hip, not visible from the street (supported);
- **A small amount of wall fabric in the principal façade for a new door** – supported on the condition that the door is not mock heritage, but remains sympathetic to the appearance of the building. This can be achieved by simplifying the design of the door. Ensure it remains timber. The door can be solid, or have glass so long as the framing is reflective of existing windows; and
- **What appears to be an original brick fence on the western boundary (see attached photo)**– Not supported. The brick fence is original contributory fabric which is visible from the street front. Access to the new deck and daylight to the proposed cellar, should be redesigned so the brick wall is retained. Clause 22.02-5.1 discourages demolition of part of in individually significant building, or removal of contributory elements unless:
 - o That part of the heritage place has been changed beyond recognition of its original character (*it has not, the brick wall is clearly recognised as early contributory fabric*); and
 - o It can be demonstrated that the removal of part of the building does not negatively affect the significance of the place (*this has not been demonstrated. Instead, we know that early garden elements contribute to the significance of 12-14 The Vaucluse, as described in the attached documents. Hence any removal of contributory elements (especially from the garden) will negatively affect the significance of the place*).

I understand that the fence/wall is only partially visible, but it is visible nonetheless and actually more visible than I expected prior to conducting a site visit. As you know, vegetation is not taken into consideration as this can change seasonally / frequently.

Ultimately, the proposal seeks to retain the full form of the existing building (including the rear service wing) and the majority of contributory fabric.

Re **NEW DEVELOPMENT**

The proposal seeks to build a single storey development at the rear of the allotment, including a lower-ground garage, outdoor GL terrace and pool.

Attachment 4 - PLN18/0008 - 12 The Vaucluse Richmond - Heritage Referral Comments

Apart from a new retaining wall, fence and gate to the eastern boundary, the new development will not be visible from the streetscape.

Details of the proposed eastern side fence should be provided. As mentioned above, the original brick fence must be retained. Furthermore, the proposed new fence should be lower than the brick fence to retain some visibility. Note: visibility and historic integrity are the objectives for retaining the brick fence.

The development will be contemporary, but sufficiently separated from contributory fabric and sufficiently recessive in scale.

As the development won't be visible from the street front, the majority of the material palette and appearance is not of concern from a planning perspective. However, the new development will be visible from the rear laneway.

The use of brick as the predominant material facing the laneway is supported. However, in order to retain a traditional appearance in the historic laneway, **it is strongly recommended that recycled red brick be utilised for the lower level of the development (i.e. for the garage only).**

RECOMMENDATIONS:

- 1) Submit details of proposed new door in principal façade. Door to be a simple timber door and not mock heritage.
- 2) Retain the original brick wall to the west.
- 3) Provide details of proposed western side fence. Fence material and design must be sympathetic to the character of the building, but not mock heritage, and have an overall height lower than the existing brick fence.
- 4) Specify red brick cladding for walls of rear LG (garage) building which faces the laneway.

Note: Given the suitability of the proposal and the relatively minor adjustments required from a heritage perspective, it was determined that a full report is not necessary and that written advice via email would be suitable.

Attachment 5 - PLN18/0008 - 12 The Vaucluse Richmond - Arborist Referral Comments

Parry, Rebecca

From: Whitten, Paul
Sent: Friday, 31 August 2018 3:20 PM
To: Balagtas, Catherine; Lupton, Craig
Subject: RE: 12 The Vaucluse Richmond

Hi Catherine,

I reviewed the tree on site today.

The proposed works will occur outside of the 3.5m tree protection zone of the subject tree. The health of the tree should not be affected by this proposal.

Regards,

Paul Whitten
Arborist
City of Yarra
PO Box 168 Richmond 3121
M. 0427 426 224
E. paul.whitten@yarracity.vic.gov.au
W. www.yarracity.vic.gov.au

From: Balagtas, Catherine
Sent: Wednesday, 29 August 2018 9:34 AM
To: Lupton, Craig; Whitten, Paul
Subject: 12 The Vaucluse Richmond

Hi Craig / Paul,

I am currently assessing a planning application for development at 12 The Vaucluse Richmond.

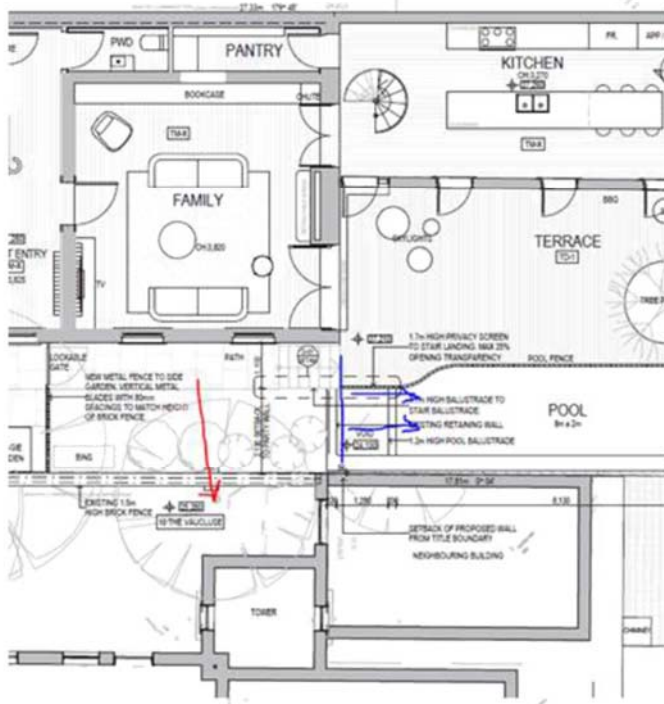
The adjoining property at 10 The Vaucluse has an ornamental pear tree on the boundary (pointed with red arrow below) and they are concerned the proposed development would impact on the health of their tree. The development would start from right side of the retaining wall marked in blue below, the retaining wall will be kept.

Can you please advise if the proposed development is likely to adversely impact on the tree? I have attached the photo and plans for your reference.

Attachment 5 - PLN18/0008 - 12 The Vaucluse Richmond - Arborist Referral Comments



Attachment 5 - PLN18/0008 - 12 The Vaucluse Richmond - Arborist Referral Comments



It would be appreciated if you could please provide a response this week as the application will be heard at an IDAC (Council) meeting.

Kind regards,
Catherine Balagtas
Statutory Planner
Yarra City Council PO Box 168 Richmond 3121
T (03) 9426 1425 F (03) 8417 6666
E catherine.balagtas@yarracity.vic.gov.au W www.yarracity.vic.gov.au



Attachment 6 - PLN18/0008 - 12 The Vaucluse Richmond - Engineering Referral Comments



Town Planning Application File Note

Application No: PLN18/0008
Property Address: 12 The Vaucluse, Richmond
Subject: Informal Discussions with Engineering Services Unit
Date: 28/08/2018
Planner: Catherine Balagtas

Following informal discussions with Council's Engineers, they advised that the width of the doorway and internal dimensions of the garage are adequate to allow safe vehicle movements.

They also recommended that the edge of the slab of the garage be set 40mm above the edge of the ROW as per Council's Infrastructure Requirement.

A handwritten signature in black ink, appearing to read "Catherine Balagtas".

- Catherine Balagtas