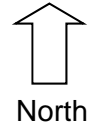
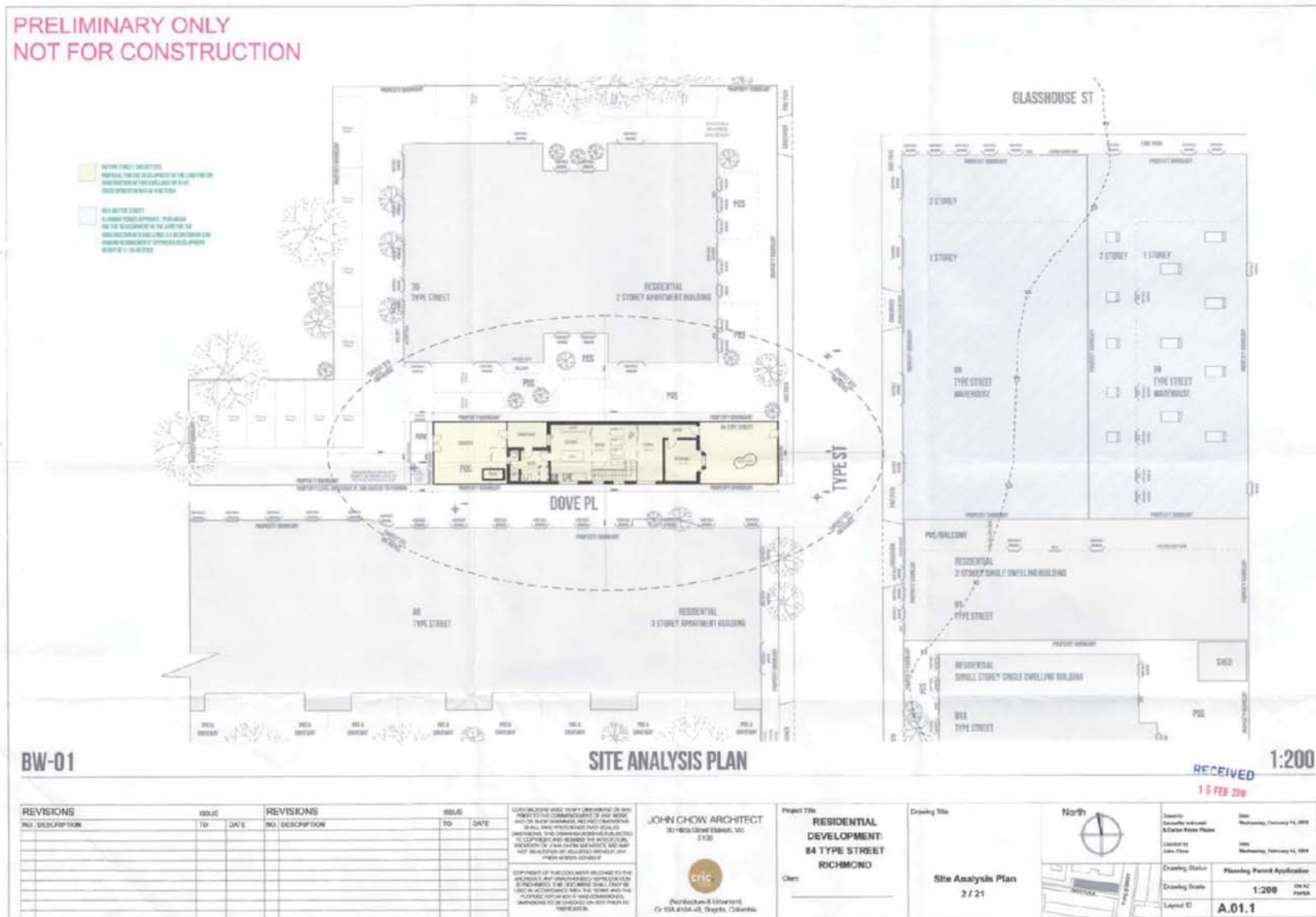


Attachment 1 - PLN17/0081- 84 Type Street- Subject Site

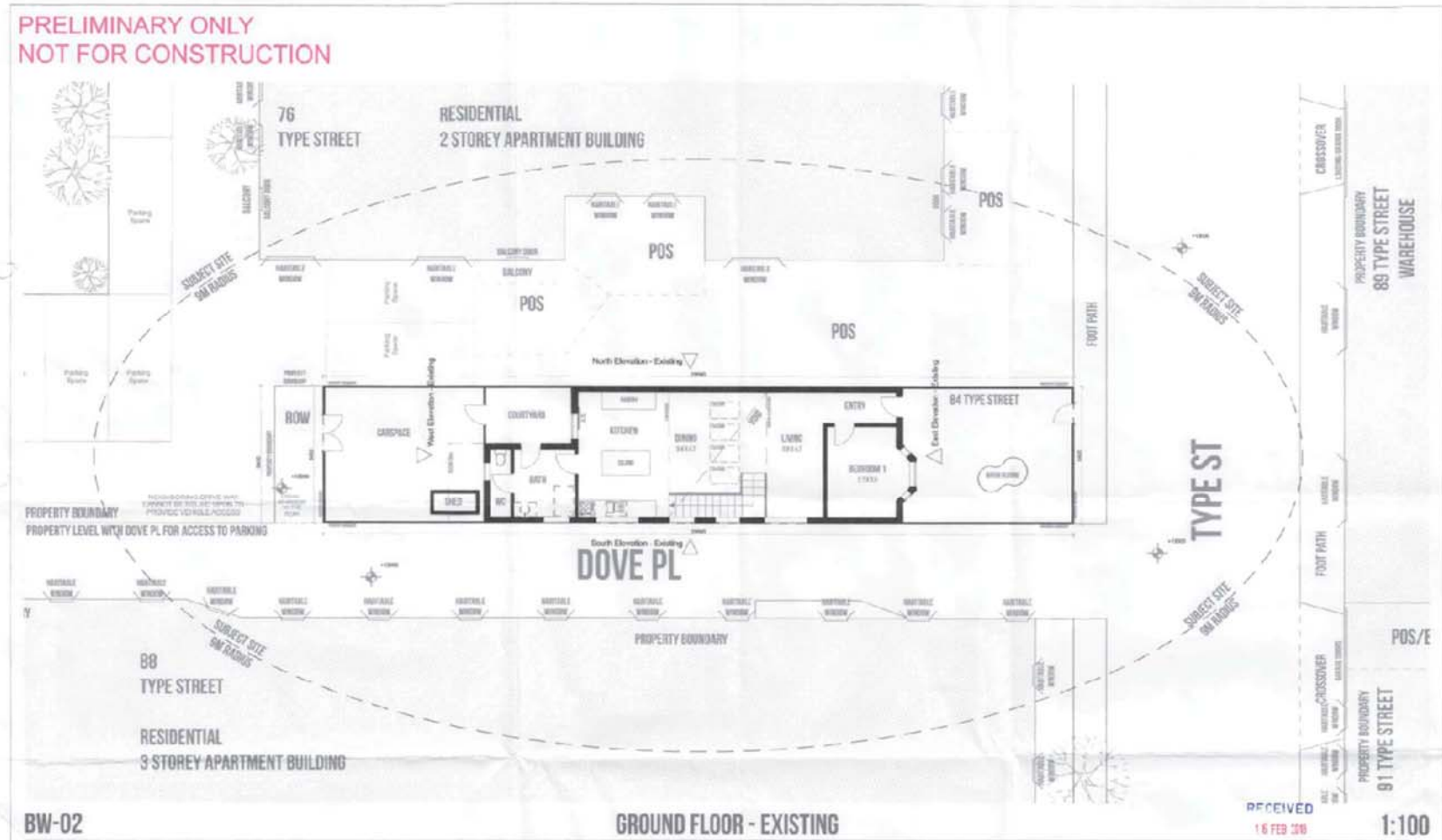
**84 Type Street, Richmond**



Attachment 2 - PLN17/0081- 84 Type Street - Decision plans



Attachment 2 - PLN17/0081- 84 Type Street - Decision plans



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16 FEB 2018  
1:100

NO.	DESCRIPTION	ISSUE NO.	DATE	REVISIONS NO.	DESCRIPTION	ISSUE NO.	DATE

**JOHN CHOW ARCHITECT**  
30148th Street (Robert), W.  
D1S 2J5

**cric**  
(Purification & Utilization)  
C1184 PDS-48, Bogota, Colombia

Project Title  
**RESIDENTIAL DEVELOPMENT: 84 TYPE STREET RICHMOND**

Client

Drawing Title  
**Ground Floor - Existing**  
3 / 21



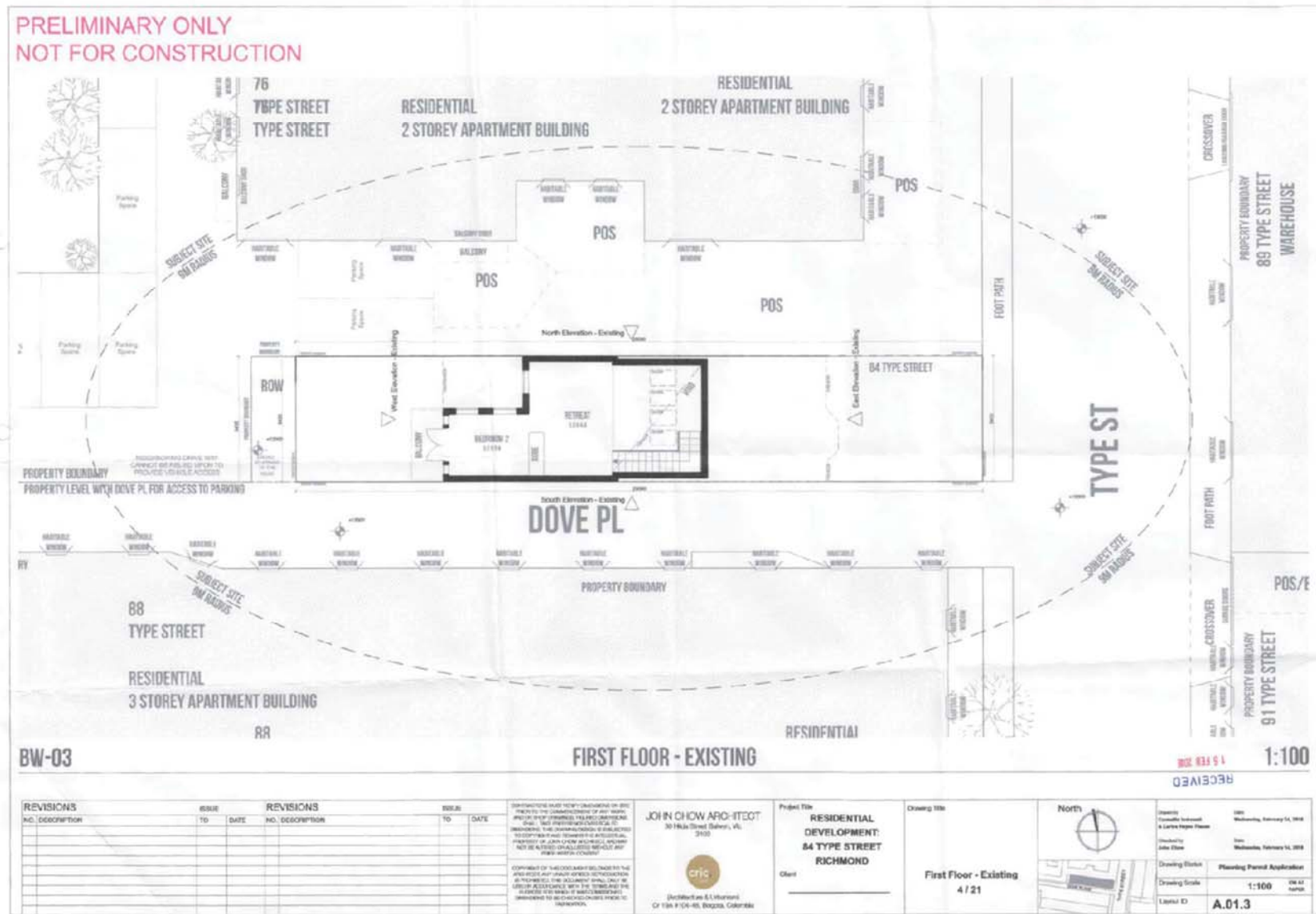
Drawn by  
Emanuela Subramani  
Checked by  
John Chow

Date  
Wednesday February 14, 2018

Drawing Scale  
1:100

Layer ID  
**A.01.2**

Attachment 2 - PLN17/0081- 84 Type Street - Decision plans



REVISIONS		REVISIONS	
NO.	DESCRIPTION	NO.	DESCRIPTION

CONTRACTOR HAS NOT COMPLETED OR BE RESPONSIBLE FOR THE COMPLETION OF ANY WORKS AND/OR OTHER OBLIGATIONS UNDER ANY AGREEMENTS. THE CONTRACTOR IS ADVISED TO COMPLY WITH ALL RELEVANT REGULATIONS AND STANDARDS. THE CONTRACTOR IS ADVISED THAT THE CONTRACTOR IS ADVISED TO COMPLY WITH ALL RELEVANT REGULATIONS AND STANDARDS. THE CONTRACTOR IS ADVISED TO COMPLY WITH ALL RELEVANT REGULATIONS AND STANDARDS.

**JOH IN CHOW ARCHITECT**  
30 Hilda Street, Bayside, VIC 3185

**CRIC**  
Incorporated in Victoria  
Or 128 F (04-85, Bayside, Colorado)

Project Title  
**RESIDENTIAL DEVELOPMENT: 84 TYPE STREET RICHMOND**

Client  
\_\_\_\_\_

Drawing Title  
**First Floor - Existing 4 / 21**



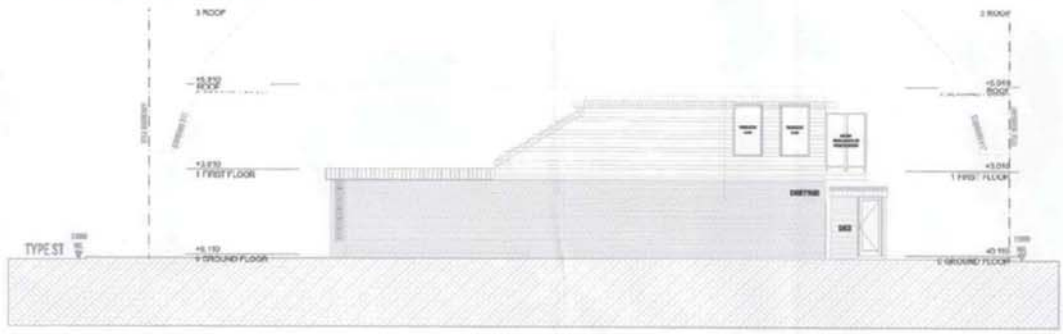
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Label ID  
**A.01.3**

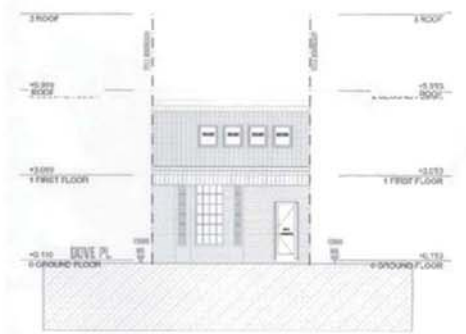
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Attachment 2 - PLN17/0081- 84 Type Street - Decision plans

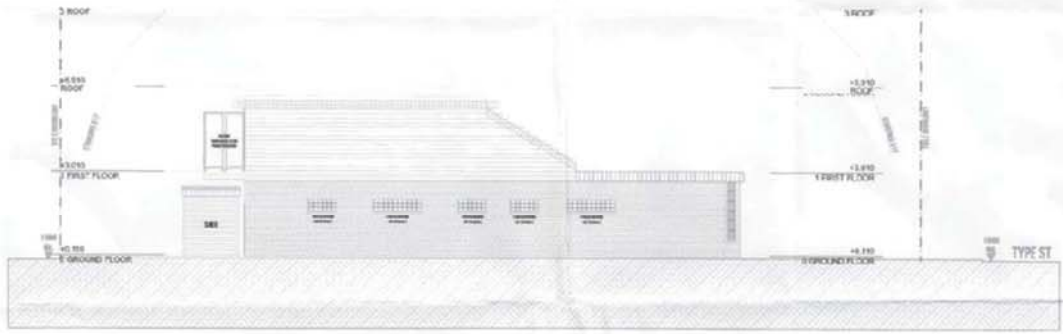
PRELIMINARY ONLY  
NOT FOR CONSTRUCTION



E-05 NORTH ELEVATION - EXISTING 1:100



E-07 EAST ELEVATION - EXISTING 1:100



E-06 SOUTH ELEVATION - EXISTING 1:100



E-08 WEST ELEVATION - EXISTING 1:100

REVISIONS		REVISIONS	
NO	DESCRIPTION	ISSUE NO	DATE

JOHN OF IOW ARCHITECT  
30 Birnie Street, Bonython, WA  
9703

**CFIC**  
Certified Practising Architect  
154 4134-46, Bonython, COORINA

Project Title  
**RESIDENTIAL DEVELOPMENT: 84 TYPE STREET RICHMOND**

Client

Drawing Title  
**North Elevation - Existing, South Elevation - Existing, East Elevation - Existing, West Elevation - Existing**

12 / 21

North

Drawn by: **Caroline Johnson** Date: **Wednesday, February 14, 2018**

Checked by: **John Howe** Date: **Wednesday, February 14, 2018**

Drawing Status: **Planning Permit Application**

Drawing Scale: **1:100** in A4 scale

Layout ID: **A.02.1**

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Attachment 2 - PLN17/0081- 84 Type Street - Decision plans

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NOT FOR CONSTRUCTION**

**GROUND FLOOR DEMOLITION PLAN**

**BW-04**

**DEMOLITION PLANS**

**1:200**

**REVISIONS**

NO.	DESCRIPTION	ISSUE TO	DATE	REVISIONS NO.	DESCRIPTION	ISSUE TO	DATE

CONTRACTOR MUST VERIFY IMPROVED CONDITIONS TO THE EXISTING PLAN OF WORK AND THE PROPOSED WORK. ALL WORK MUST BE COMPLETED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THE CONTRACT AND THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL AUTHORITY AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL AUTHORITY.

JOHN CHOW ARCHITECT  
30 Mills Street, Suite 101, Richmond, BC V6V 2G6  
604-271-1111  
John Chow  
John Chow Architect Inc.  
104-1131 48, English, Columbia

Project Title: **RESIDENTIAL DEVELOPMENT: 84 TYPE STREET RICHMOND**

Client: \_\_\_\_\_

Drawing Title: **Demolition Plans**

Sheet: **5 / 21**

North

Drawn by: **Caroline Johnson**  
Checked by: **John Chow**

Date: **Wednesday February 14, 2018**  
Date: **Wednesday February 14, 2018**

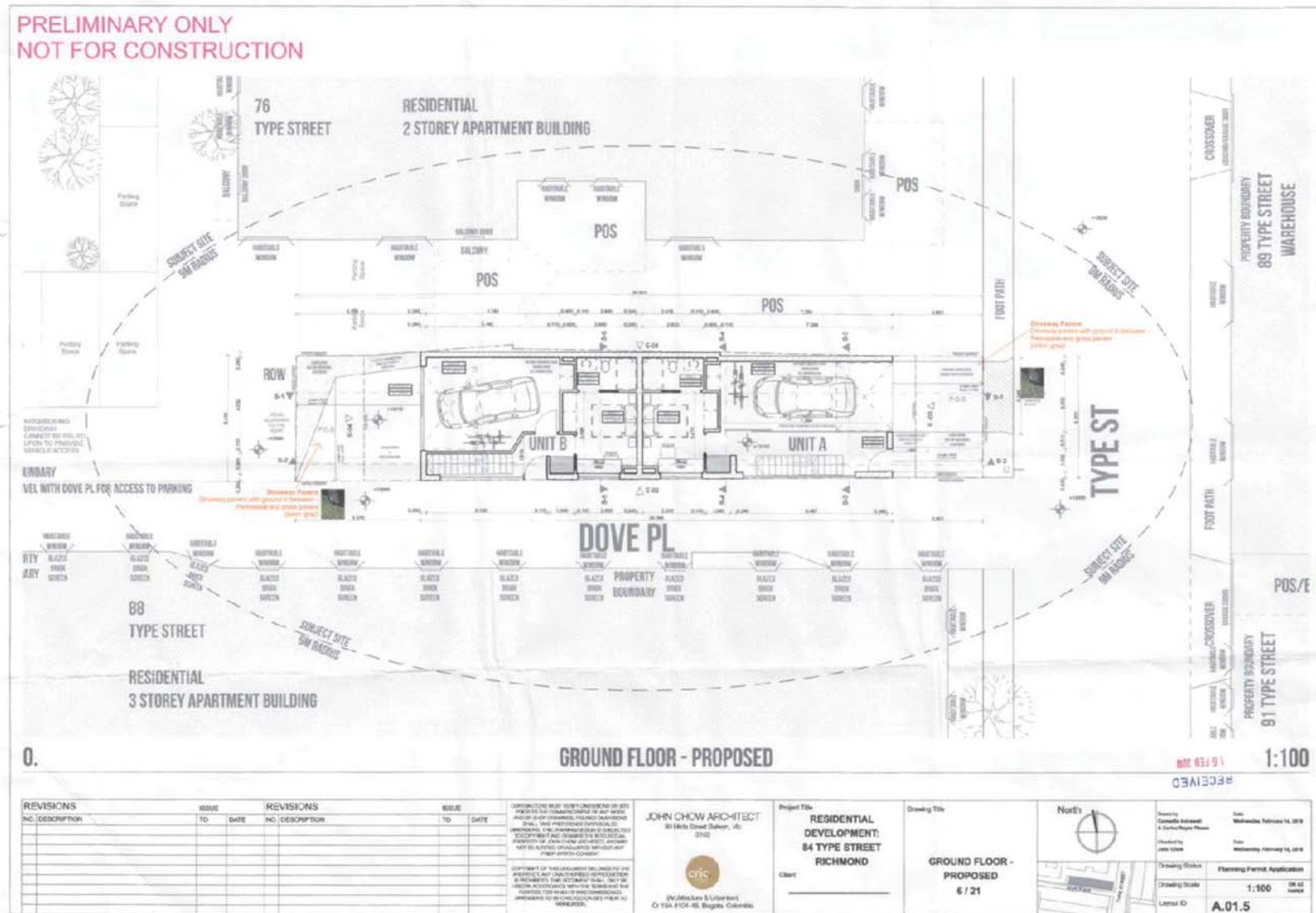
Drawing Status: **Planning Permit Application**

Drawing Scale: **1:200**

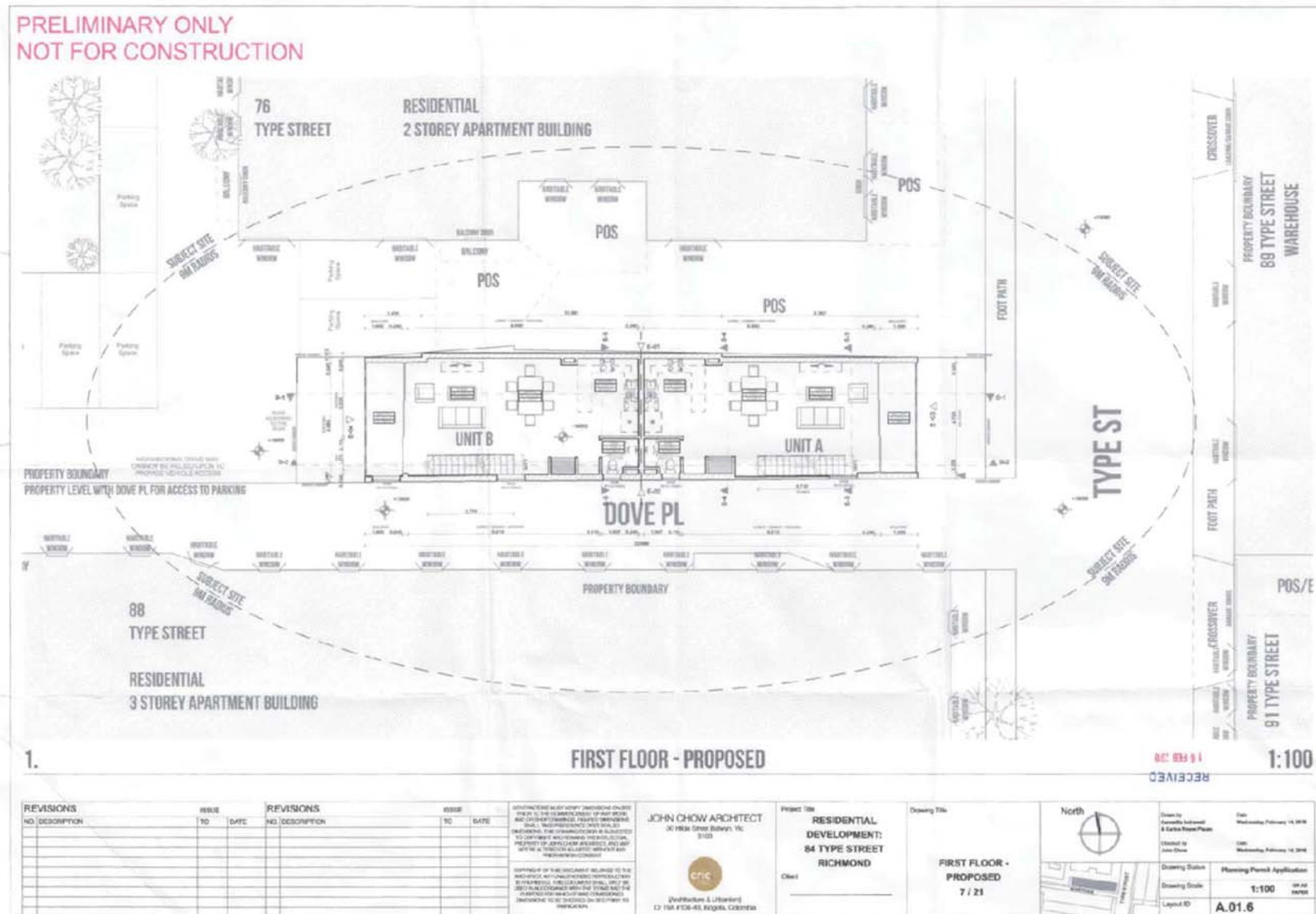
Layout ID: **A.01.4**

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Attachment 2 - PLN17/0081- 84 Type Street - Decision plans

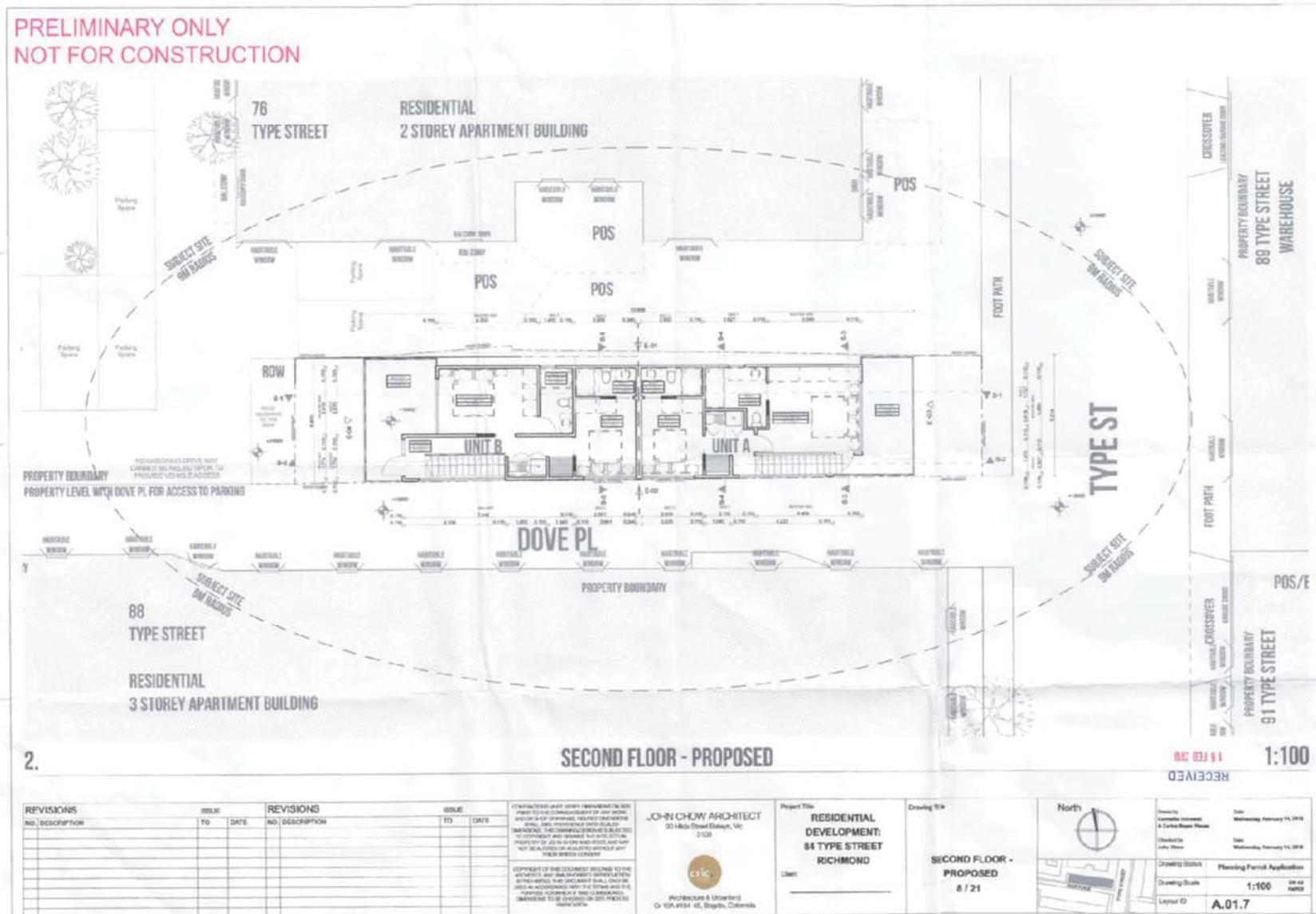


Attachment 2 - PLN17/0081- 84 Type Street - Decision plans

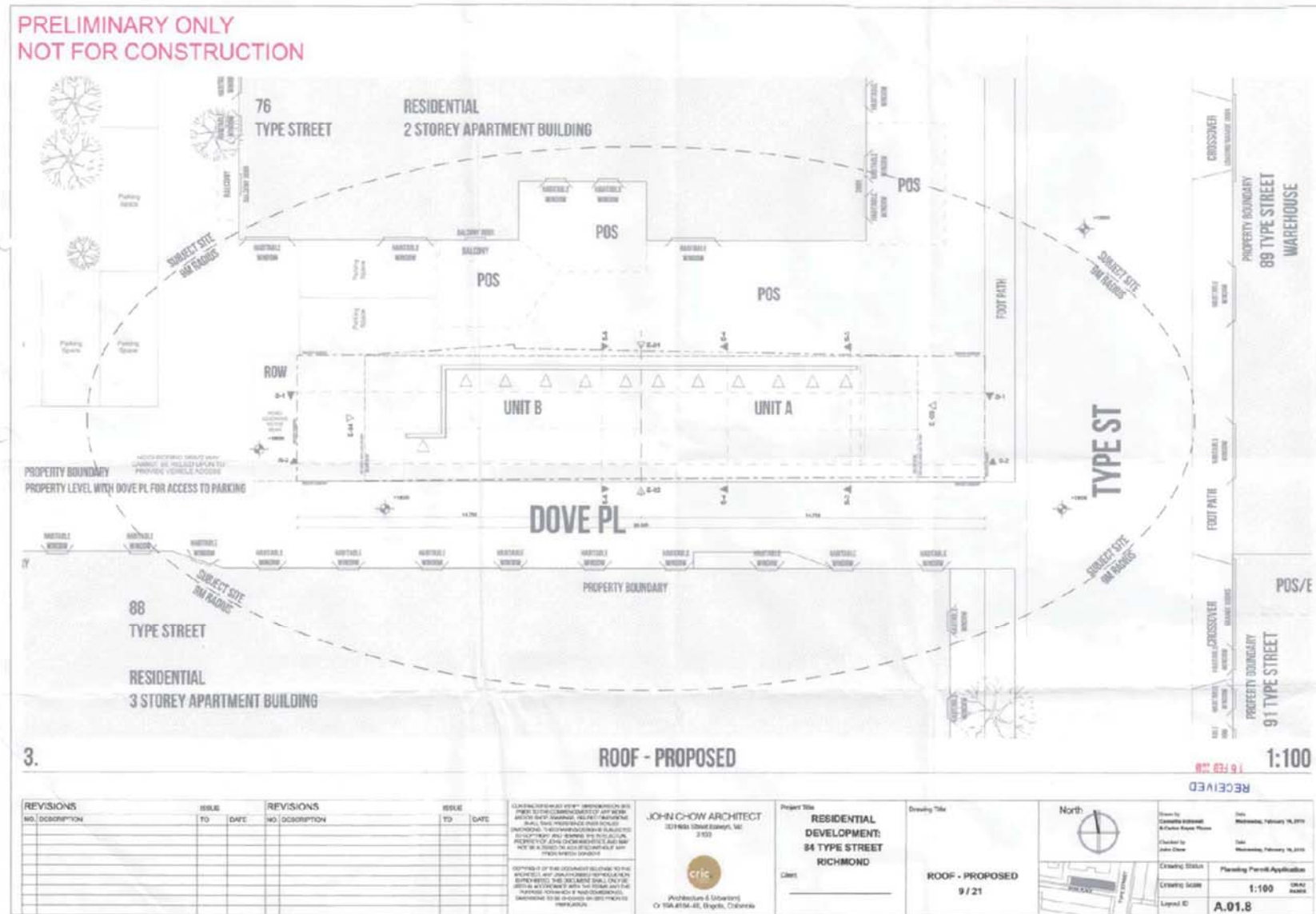




Attachment 2 - PLN17/0081- 84 Type Street - Decision plans



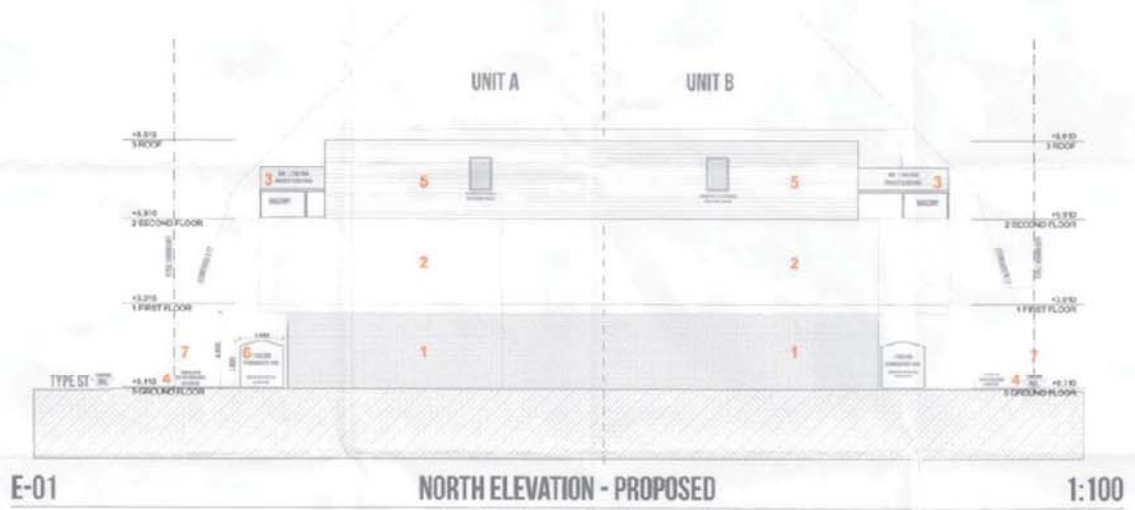
Attachment 2 - PLN17/0081- 84 Type Street - Decision plans



Attachment 2 - PLN17/0081- 84 Type Street - Decision plans

**PRELIMINARY ONLY  
NOT FOR CONSTRUCTION**

- 1. EXPOSED BRICK - FACADE  
Specified by: Burwood Blue (under Burwood Blue)
- 2. EXPOSED CONCRETE  
SOPAL Products - Clear
- 3. TIMBER FINISH SCREENING - BALCONY and PATIO  
Blowline - Privacy Screen - Aluminium (30) Timberlook  
200 x 200 Aluminium screen (2000) - 2000
- 4. VERTICAL FINISH  
TALUDICI
- 5. ALUMINIUM CLADDING  
Duralux aluminium
- 6. STONE WATER TABLE  
Machione - Nevada  
TILED - 1100, Tera (under Stone) (200x400x20mm)
- 7. FENCE  
Slatex - Contemporary (600x100) (under Stone) (2000)



REVISIONS		REVISIONS		REVISIONS	
NO.	DESCRIPTION	DATE	NO.	DESCRIPTION	DATE

DEFINITIONS HAVE BEEN FURNISHED TO THE CLIENT BY THE CONSULTANT AND THE CLIENT HAS ACCEPTED THE SAME. THE CONSULTANT HAS NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS DRAWING. THE CONSULTANT HAS NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS DRAWING. THE CONSULTANT HAS NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS DRAWING.

**JOHN CHOW ARCHITECT**  
30 HOBSON STREET, VIC 3180  
**cric**  
[Professionals & Librarians]  
C/- 154 & 156-158, Bridge, Coleraine

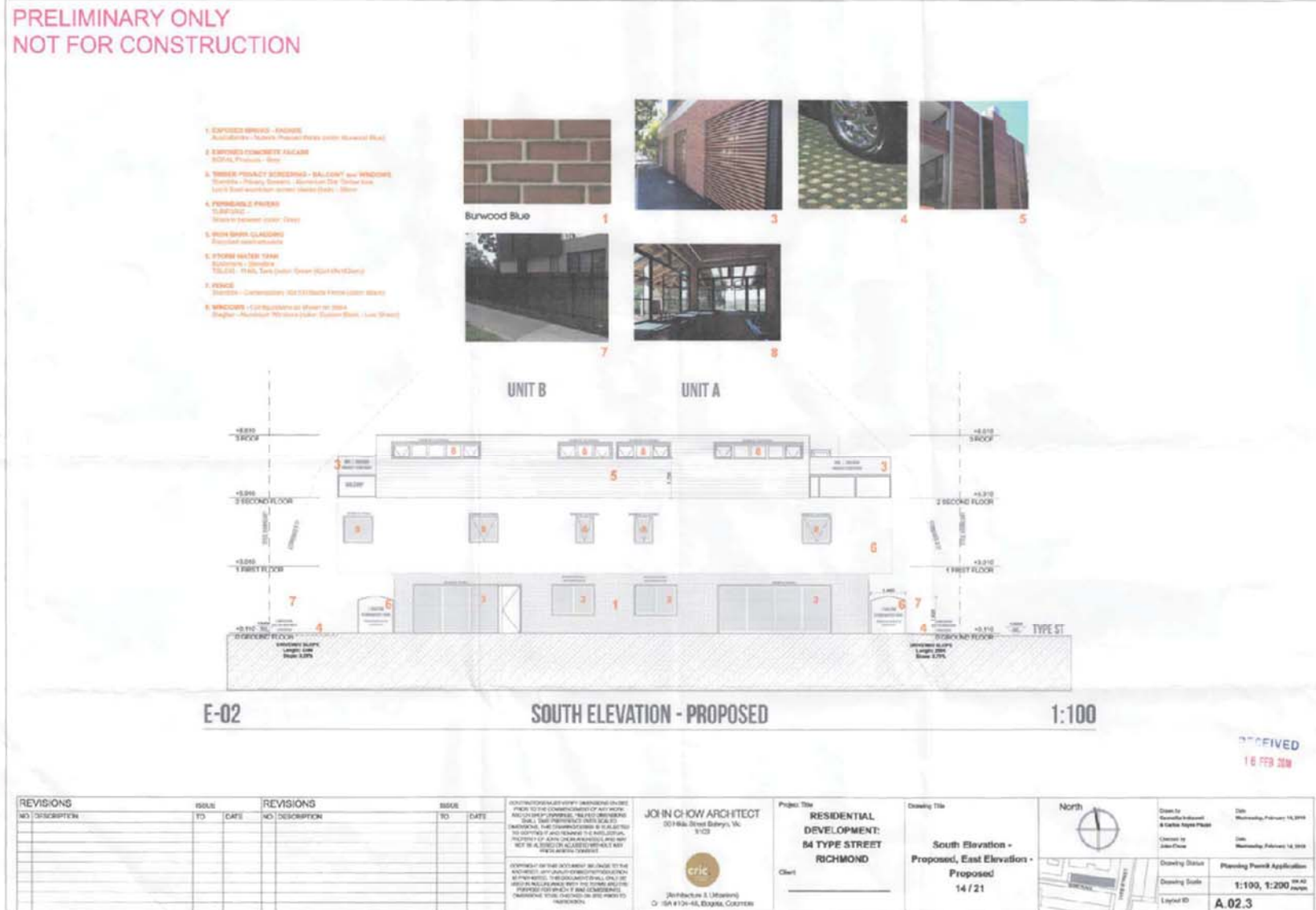
Project Title  
**RESIDENTIAL DEVELOPMENT: 84 TYPE STREET RICHMOND**  
Client

Drawing Title  
**North Elevation - Proposed**  
13 / 21

North  
Date  
Wednesday, February 14, 2018  
Time  
Wednesday, February 14, 2018  
Drawing Scale  
**1:100**  
Layout ID  
**A.02.2**

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Attachment 2 - PLN17/0081- 84 Type Street - Decision plans



Attachment 2 - PLN17/0081- 84 Type Street - Decision plans

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NOT FOR CONSTRUCTION**

1 Burwood Blue  
2  
3  
4  
5  
6  
7  
8  
9  
10 (balustrade steel in black)  
11

**UNIT A**

4.800 3 ROOF  
4.200 2 SECOND FLOOR  
3.600 1 FIRST FLOOR  
0.000 DOVE PL 0 GROUND FLOOR

**E-03 EAST ELEVATION - PROPOSED 1:100**

**UNIT B**

4.800 3 ROOF  
4.200 2 SECOND FLOOR  
3.600 1 FIRST FLOOR  
0.000 DOVE PL 0 GROUND FLOOR

**E-04 WEST ELEVATION - PROPOSED 1:100**

1. EXPOSED BRICKS - FACADE  
Exterior - 200mm Firebrick Bricks under Normal Bed
2. EXPOSED CONCRETE - FACADE  
200mm, finished - Grey
3. TIMBER PRIVACY SCREENING - BALCONY and WINDOWS  
Exterior - Heavy Timber - Aluminium 100mm Thick Solid  
Interior - Aluminium Screen Slatted Deck - Screen
4. FOSFORUS PAINTS - FINISHED  
Decor - 4 separate colors - Grey
5. IRON BALUS BALUSTRADE  
Decor - powdercoated
6. ALUMINUM WINDOW FRAME  
Decor - Screen - Green 80x80x100mm
7. FENCE  
Decor - Composite 200x100 Slats under Screen
8. ROOFING - Composite as shown on plans  
Decor - Composite White under Screen Deck - Low Sheet
9. GARAGE DOOR  
Decor - 4 colors - 400x200mm under - 200mm Thick Deck
10. PERESTYAN ENTRANCE DOOR - Configuration as shown on plans  
Decor - Aluminium Screen under Screen Deck - Low Sheet
11. BALCONY BALUSTRADE - Configuration as shown on plans  
Decor - Screen 200x100mm under Screen Deck

REVISIONS		REVISIONS		REVISIONS	
NO	DESCRIPTION	NO	DESCRIPTION	NO	DESCRIPTION

**JOHN CHOW ARCHITECT**  
3018A Street Bayside, VIC  
3103

[Architects & Urbanists]  
C/Tel: 4126-40, Bayside, VIC 3103

Project Title  
**RESIDENTIAL DEVELOPMENT:  
84 TYPE STREET  
RICHMOND**

Client  
\_\_\_\_\_

Drawing Title  
**West Elevation - Proposed,  
East Elevation - Proposed**  
15 / 21

North

Drawn by  
Gemma Johnson  
& Cathie Hoyle  
Checked by  
John Chow

Date  
Wednesday, February 14, 2018  
Date  
Wednesday, February 14, 2018

Drawing Status  
Planning Permit Application

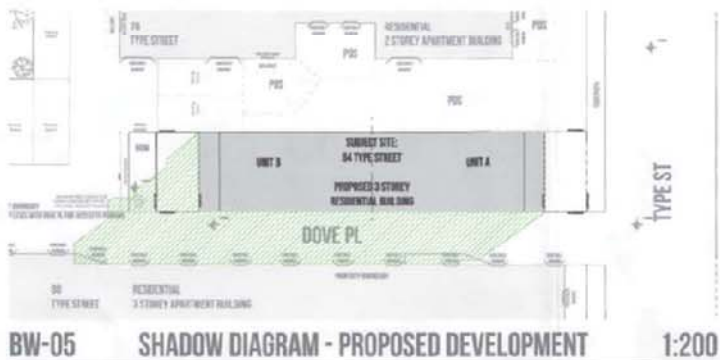
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Layout ID  
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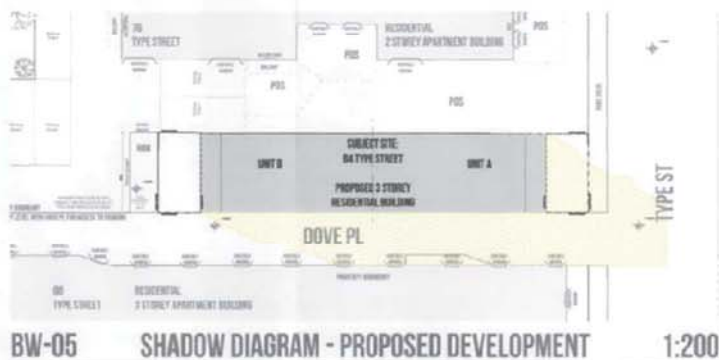
RECEIVED  
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Attachment 2 - PLN17/0081- 84 Type Street - Decision plans

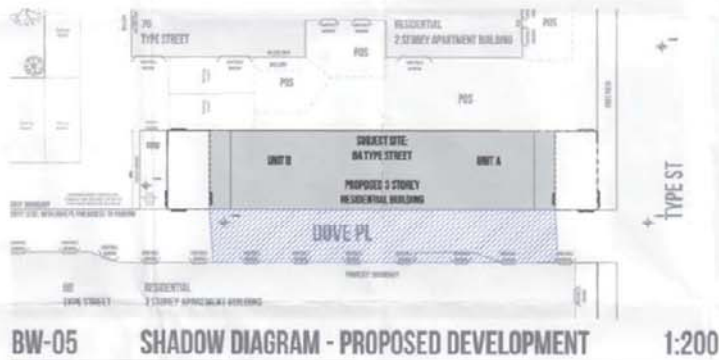
**PRELIMINARY ONLY  
NOT FOR CONSTRUCTION**



**BW-05 SHADOW DIAGRAM - PROPOSED DEVELOPMENT 1:200**  
**SEPTEMBER 22 - 9 AM**



**BW-05 SHADOW DIAGRAM - PROPOSED DEVELOPMENT 1:200**  
**SEPTEMBER 22 - 3 PM**



**BW-05 SHADOW DIAGRAM - PROPOSED DEVELOPMENT 1:200**  
**SEPTEMBER 22 - 12 NOON**

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15 FEB 2018

REVISIONS		REVISIONS	
NO.	DESCRIPTION	NO.	DESCRIPTION

CONTRACTOR MUST OBTAIN APPROVAL ON THE PROJECT BY THE UNDERSIGNED OR ANY OTHER AUTHORITY BEFORE PROCEEDING. THIS AGREEMENT IS SUBJECT TO THE APPROVAL OF THE UNDERSIGNED. THE UNDERSIGNED IS NOT RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT OR FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE UNDERSIGNED IS NOT RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT OR FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

**JOHN CHOW ARCHITECT**  
30 Hilda Street, Darwin, NT  
0110

**CRIC**  
(Consultants & Librarians)  
121 East 9th Street, Regina, Saskatchewan

**PROJECT TITLE**  
**RESIDENTIAL DEVELOPMENT: 84 TYPE STREET RICHMOND**

**Client**

**Drawing Title**  
**Shadow Diagram - Proposed Development**  
10 / 21

**North**

**Drawn by:** Cameron Johnson  
**Checked by:** John Stone

**Date:** Wednesday, February 14, 2018  
**Date:** Wednesday, February 14, 2018

**Drawing Status:** Planning Permit Application  
**Drawing Scale:** 1:200  
**Layout ID:** A.01.9

Attachment 2 - PLN17/0081- 84 Type Street - Decision plans

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DOVE PLACE FACING WINDOWS (LEFT - 86 TYPE ST, RIGHT - 84 TYPE ST)  
TRANSLUCENT GLASS BLOCK WINDOWS  
DOVE PLACE (LOOKING IN FROM TYPE STREET)  
DOVE PLACE (IN BETWEEN 84 & 86 TYPE STREET)



TYPE STREET  
86 TYPE STREET (7 FRET STOREY EXPOSED BRICK BUILDING)  
TYPE STREET (ADJACENT TO 76 TYPE STREET CARPARK - RIGHT)



REAR OF 84 TYPE STREET (ADJACENT TO 76 TYPE STREET CARPARK - LEFT)  
REAR OF 84 TYPE STREET (BE TWEEN 76 TYPE STREET CARPARK ON LEFT & DOVE PLACE ON RIGHT)  
DOVE PLACE (FACING TOWARDS TYPE STREET)



81 TYPE STREET (DOUBLE STOREY SMALL RESIDENTIAL DWELLING)  
86 TYPE STREET (DOUBLE STOREY INNERHOUSE)  
76 TYPE STREET (DOUBLE STOREY RESIDENTIAL APARTMENT BUILDING)



E-03 EAST ELEVATION - PROPOSED 1:100



- 1 EXPOSED BRICK - FUSION
- 2 EXPOSED BRICK - FUSION
- 3 EXPOSED BRICK - FUSION
- 4 EXPOSED BRICK - FUSION
- 5 EXPOSED BRICK - FUSION
- 6 EXPOSED BRICK - FUSION
- 7 EXPOSED BRICK - FUSION
- 8 EXPOSED BRICK - FUSION
- 9 EXPOSED BRICK - FUSION
- 10 EXPOSED BRICK - FUSION
- 11 EXPOSED BRICK - FUSION



E-02 SOUTH ELEVATION - PROPOSED 1:200

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16 FEB 2018

REVISIONS		REVISIONS		REVISIONS	
NO	DESCRIPTION	TO	DATE	NO	DESCRIPTION

JOHN CHOW ARCHITECT  
301 Mils Street Baysley, VIC 3103  
cric  
(Architects & Urbanists)  
Or 04 8124 48, Dandenong, Victoria

Project Title  
**RESIDENTIAL DEVELOPMENT: 84 TYPE STREET RICHMOND**  
Client

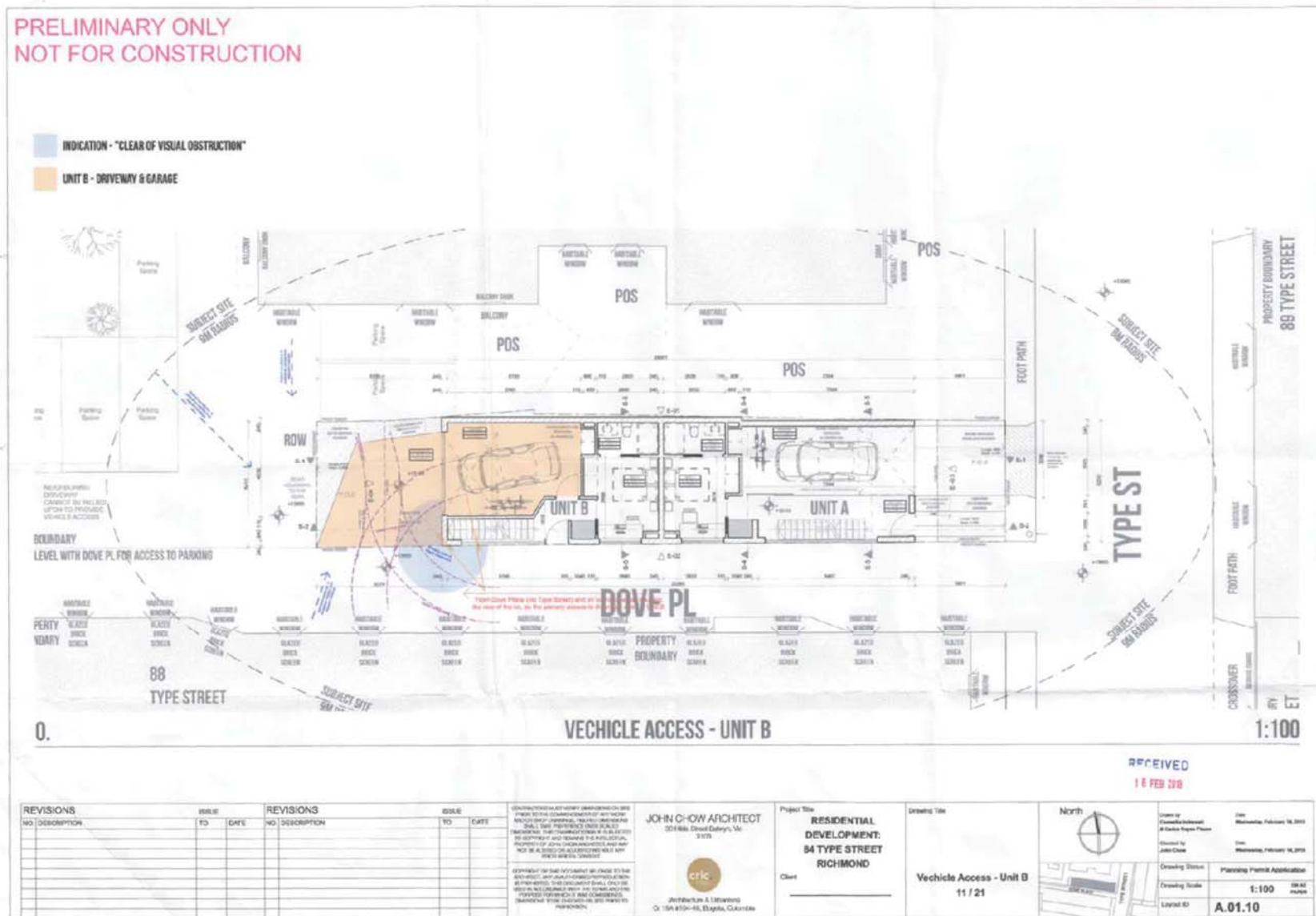
Drawing Title  
**South Elevation - Proposed, East Elevation - Proposed**  
21 / 21



Drawn by  
Checked by  
Client  
Drawing Status  
Drawing Scale  
Layout ID

DATE  
Revised: February 14, 2018  
Date  
Revised: February 14, 2018  
Planning Permit Application  
1:200, 1:100 Parts  
A.04.1

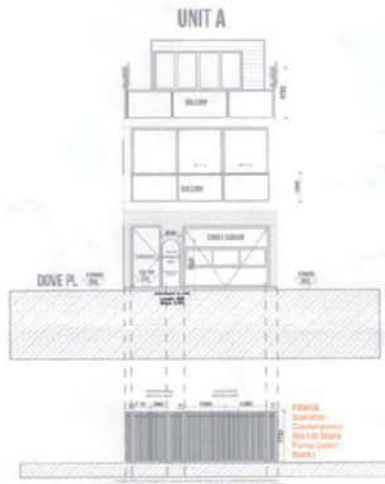
Attachment 2 - PLN17/0081- 84 Type Street - Decision plans





Attachment 2 - PLN17/0081- 84 Type Street - Decision plans

PRELIMINARY ONLY  
NOT FOR CONSTRUCTION



BW-08 EAST BOUNDARY FENCE - PROPOSED (1) 1:100



FENCE  
Standrite - Contemporary 50x100  
Blade Fence (color: Black)



BW-08 WEST BOUNDARY FENCE - PROPOSED (1) 1:100

REVISIONS		ISSUE	REVISIONS		ISSUE
NO.	DESCRIPTION	TO	DATE	NO.	DATE

IDENTIFICATION NUMBER: 17/0081-01  
 DATE OF ISSUE: 17/02/21  
 PROJECT: 84 TYPE STREET, RICHMOND  
 DRAWING: WEST BOUNDARY FENCE - PROPOSED (1)  
 SCALE: 1:100  
 DRAWING NO: 17/21

**JOHN CHOW ARCHITECT**  
 301 Wills Street, Suite 101, Richmond, VIC 3121  
  
 [Architects & Planners]  
 Cr 136 4128-4128, Boggs, Columbia

Project Title: **RESIDENTIAL DEVELOPMENT: 84 TYPE STREET, RICHMOND**  
 Client: \_\_\_\_\_

Drawing Title: **West Boundary Fence - Proposed (1), East Boundary Fence - Proposed (1)**  
 17 / 21


North

Drawn by: **Caroline Johnson** Date: **Wednesday, February 10, 2018**  
 Checked by: **John Chow** Date: **Wednesday, February 15, 2018**  
 Drawing Status: **Planning Permit Application**  
 Drawing Scale: **1:100** OR AS SHOWN  
 Layout ID: **A.02.6**

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Attachment 2 - PLN17/0081- 84 Type Street - Decision plans

**PRELIMINARY ONLY  
NOT FOR CONSTRUCTION**



**FENCE**  
Standrite - Contemporary 50x100 Blade Fence (color: Black)

**BW-08** **NORTH BOUNDARY FENCE - PROPOSED** **1:100**

**BW-08** **SOUTH BOUNDARY FENCE - PROPOSED** **1:100**

Height of fence is designed to conceal stormwater tank which is positioned behind the fence.

Visually transparent fence to ensure dwelling entrances (pedestrian and vehicle) are clearly identifiable.

**REVISIONS**

NO.	DESCRIPTION	ISSUE NO.	DATE	REVISIONS NO.	DESCRIPTION	ISSUE NO.	DATE

CONTRACTOR MUST VERIFY DIMENSIONS ON SITE AND NOTIFY ARCHITECT IMMEDIATELY IN WRITING AND OF ANY CHANGES. PLEASE IMPROVE DRAWING. THE DRAWING OWNER IS SOLELY RESPONSIBLE FOR ANY AND ALL CHANGES. ANY CHANGES MUST BE APPROVED BY ARCHITECT BEFORE PROCEEDING WITH ANY WORK.

CONTRACTOR IS RESPONSIBLE FOR THE ACCURACY OF ANY DIMENSIONS SHOWN ON THIS DRAWING. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.

**JOHN CHOW ARCHITECT**  
30 Mills Street, Sydney, NSW 2150  
eric  
Architects & Interiors  
G/15A F/04 4B, Rights, Columbia

Project Title: **RESIDENTIAL DEVELOPMENT: 84 TYPE STREET RICHMOND**

Client: \_\_\_\_\_

Drawing Title: **North Boundary Fence - Proposed, South Boundary Fence - Proposed**  
16 / 21

North

Issue by: **Caroline Wilson**  
& **Caroline Wilson**

Date: **Wednesday, February 14, 2018**

Issue by: **John Chow**

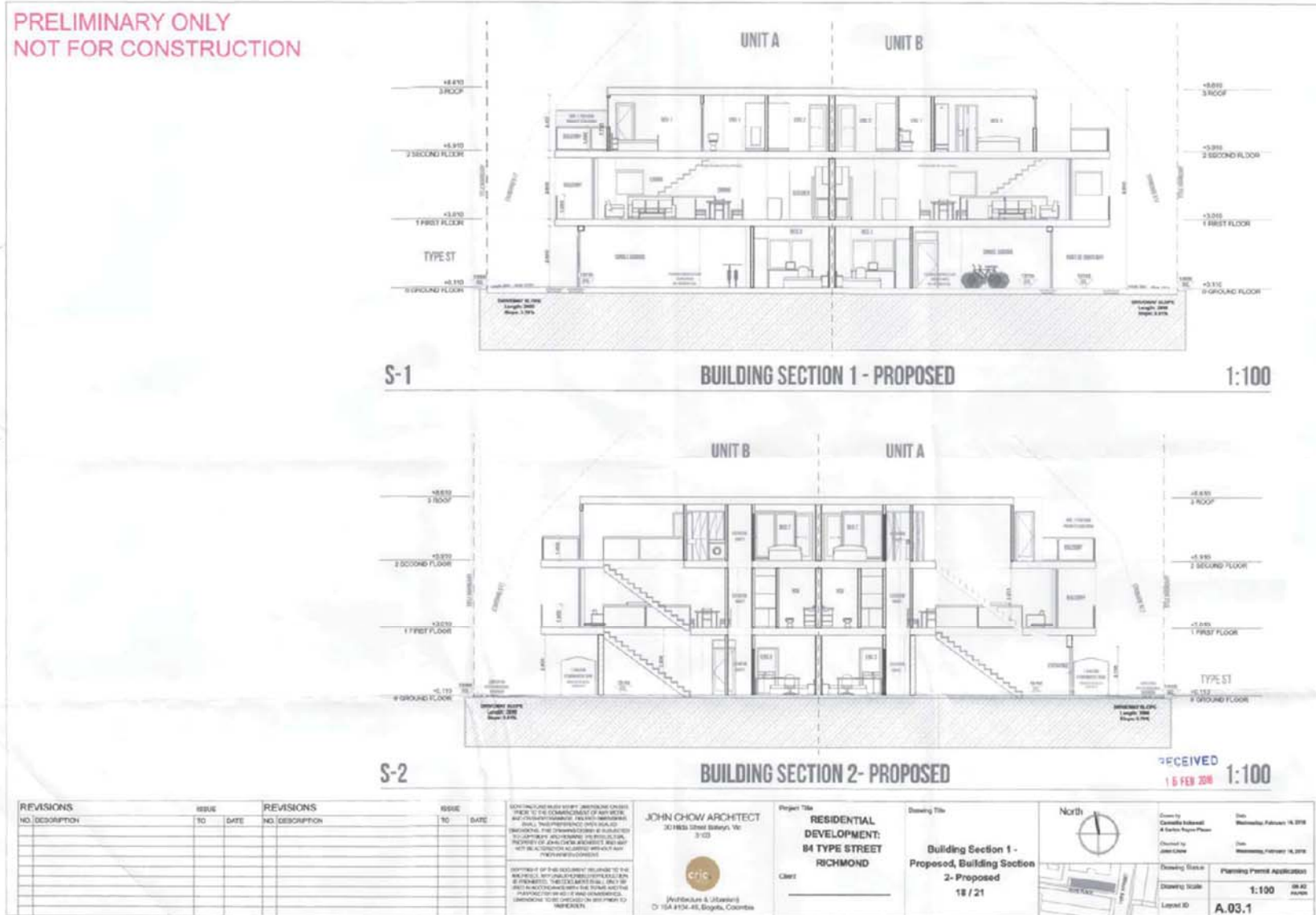
Date: **Wednesday, February 14, 2018**

Drawing Status: **Planning Permit Application**

Drawing Scale: **1:100** ON A2

Sheet ID: **A.02.5**

Attachment 2 - PLN17/0081- 84 Type Street - Decision plans



Attachment 2 - PLN17/0081- 84 Type Street - Decision plans

**PRELIMINARY ONLY  
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**S-3 BUILDING SECTION 3 - PROPOSED 1:100**



**S-4 BUILDING SECTION 4 - PROPOSED 1:100**



**S-5 BUILDING SECTION 5 - PROPOSED 1:100**

REVISIONS		ISSUE	REVISIONS		ISSUE
NO.	DESCRIPTION	TO	DATE	NO.	DESCRIPTION

CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS DRAWING AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS DRAWING AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS DRAWING.

**JOHN CHOW ARCHITECT**  
301825 Tantal Street, #10  
2103  
 (Architects & Urbanists)  
2754 PINE AVE, Regina, Saskatchewan

Project Title  
**RESIDENTIAL DEVELOPMENT:  
84 TYPE STREET  
RICHMOND**  
Client

Drawing Title  
**Building Section 4 -  
Proposed, Building Section  
3 - Proposed, Building  
Section 5 - Proposed  
19 / 21**

North  
  
The map shows the location of the site relative to the surrounding streets.

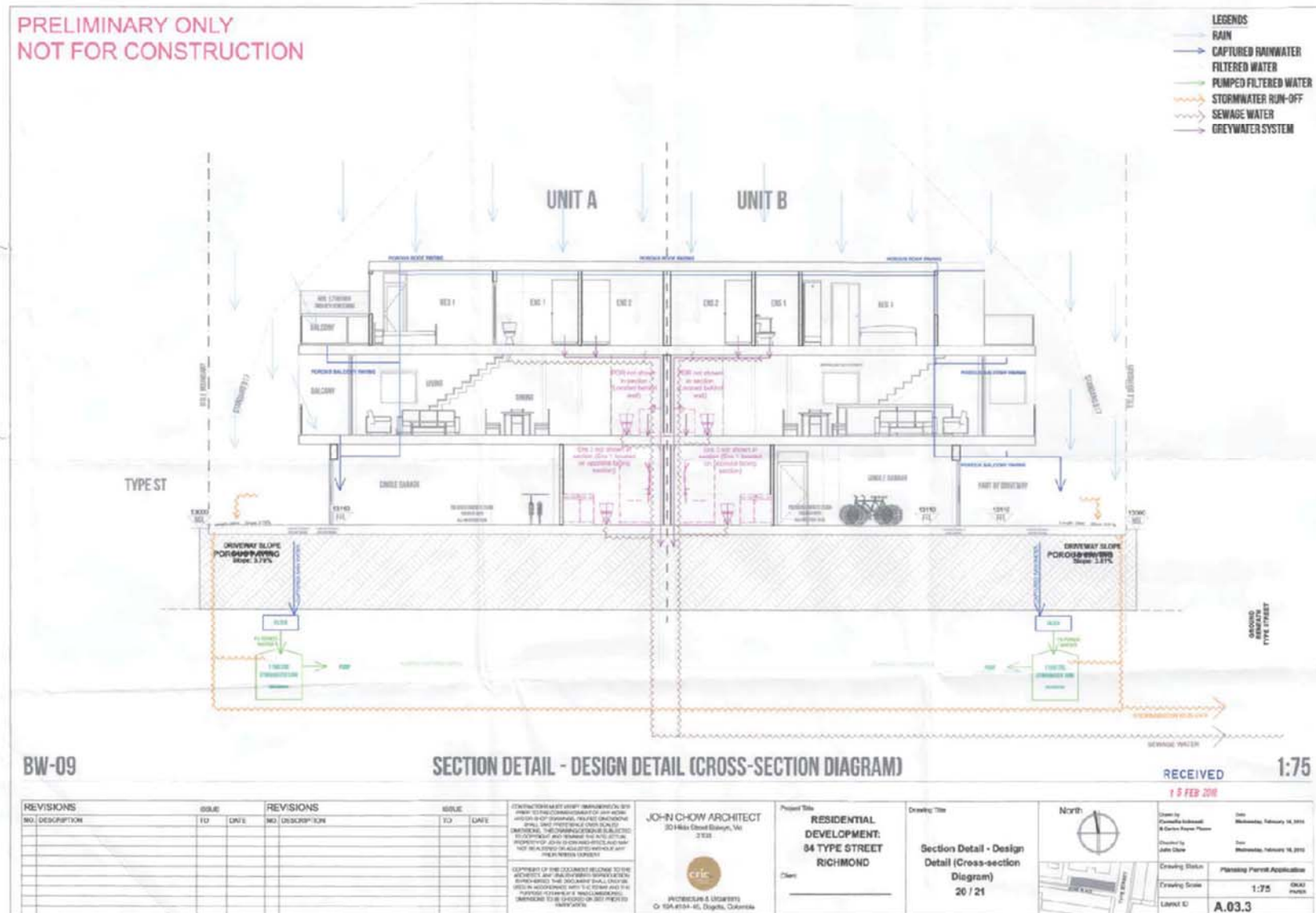
Drawn by  
**Carmelo Intermine**  
Checked by  
**John Shaw**  
Drawing Date  
**1:100**  
Layout ID  
**A.03.2**

Date  
**Wednesday, February 14, 2018**  
Time  
**Wednesday, February 14, 2018**

Planning Permit Application  
CEN 40  
MAY 18

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Attachment 2 - PLN17/0081- 84 Type Street - Decision plans



**Attachment 3 - PLN17/0081- 84 Type Street- Sketch plans**

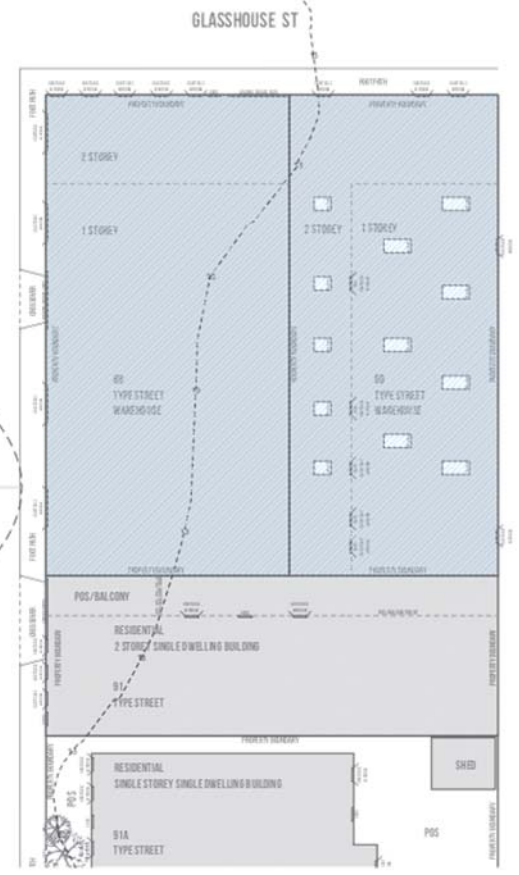
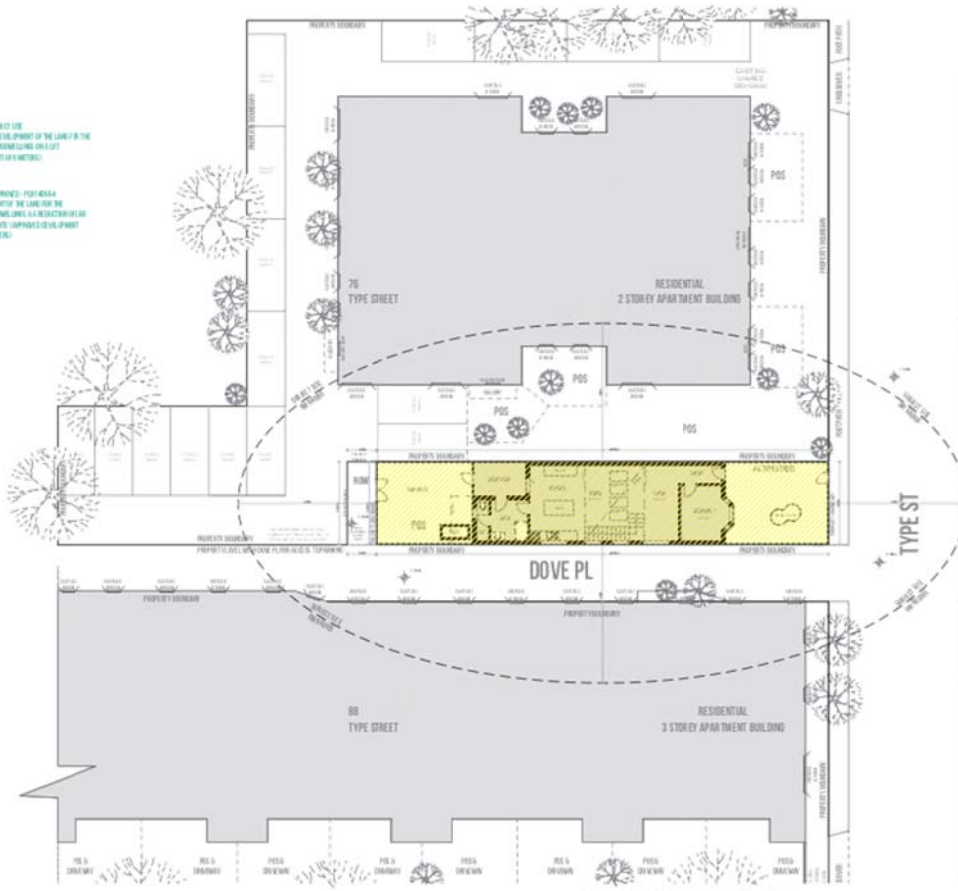
Sheet Index			
Layout ID	Layout Name	Published	Remark
	Sheet Index	<input checked="" type="checkbox"/>	
A.01.1	Site Analysis Plan	<input checked="" type="checkbox"/>	
A.01.2	Ground Floor - Existing	<input checked="" type="checkbox"/>	
A.01.3	First Floor - Existing	<input checked="" type="checkbox"/>	
A.01.4	Demolition Plans	<input checked="" type="checkbox"/>	
A.01.5	Ground Floor - Proposed	<input checked="" type="checkbox"/>	
A.01.6	First Floor - Proposed	<input checked="" type="checkbox"/>	
A.01.7	Second Floor - Proposed	<input checked="" type="checkbox"/>	
A.01.8	Roof - Proposed	<input checked="" type="checkbox"/>	
A.01.9	Shadow Diagrams - Propo...	<input checked="" type="checkbox"/>	
A.01.10	Unit B - Vehicle Access	<input checked="" type="checkbox"/>	
A.01.11	Overlooking and shadow	<input checked="" type="checkbox"/>	
A.01.12	Overlooking 2	<input checked="" type="checkbox"/>	
A.02.1	Elevations - Existing	<input checked="" type="checkbox"/>	
A.02.2	Elevation 1 - Proposed	<input checked="" type="checkbox"/>	
A.02.3	Elevation 2 - Proposed	<input checked="" type="checkbox"/>	
A.02.4	Elevations 3 & 4- Proposed	<input checked="" type="checkbox"/>	
A.02.5	Boundary Fence (North & ...	<input checked="" type="checkbox"/>	
A.02.6	Boundary Fence (East & ...	<input checked="" type="checkbox"/>	
A.03.1	Sections 1 & 2 - Proposed	<input checked="" type="checkbox"/>	
A.03.2	Section 3, 4 & 5 - Proposed	<input checked="" type="checkbox"/>	
A.03.3	Section Detail - Cross-sect...	<input checked="" type="checkbox"/>	
A.04.1	Site Photos, Colours, Mate...	<input checked="" type="checkbox"/>	

JOHN CHOW ARCHITECT <small>30 H&amp;B Street Bakers, VIC 3103</small>	Drawn by <b>Carmellia Indrawati &amp; Carlos Reyes Plazas</b>	Date martes, 21 de agosto de 2018	Drawing Set <b>Concept Design</b>
	Checked by <b>John Chow</b>	Date martes, 21 de agosto de 2018	Stage <b>Planning Permit Application</b>
 (Architecture & Urbanism) C/ 19A #104-48, Bogota, Colombia	COPYRIGHT OF THIS DOCUMENT BELONGS TO THE ARCHITECT. ANY UNAUTHORISED REPRODUCTION IS PROHIBITED. THIS DOCUMENT SHALL ONLY BE USED IN ACCORDANCE WITH THE TERMS AND THE PURPOSE FOR WHICH IT WAS COMMISSIONED. DIMENSIONS TO BE CHECKED ON SITE PRIOR TO FABRICATION.		Layout <b>1 / 23</b>
			Received <input type="checkbox"/> Approved <input type="checkbox"/>
			Client Signature

PRELIMINARY ONLY  
 NOT FOR CONSTRUCTION

- IN TYPE STREET 1 STOREY USE AVAILABLE TO THE SOUTH OF THE LINE IN THE LONG TRACK OF TRAILING LINE (SEE LEGIT DEVELOPMENT HEIGHT OF 4 METRES)
- IN-LINE TYPE STREET 2 STOREY APARTMENT APPROVED FOR THE DEVELOPMENT OF THE LAND FOR THE CONSTRUCTION OF CONCRETE 2.5 STOREY APARTMENT BUILDINGS (APPROVED DEVELOPMENT HEIGHT OF 11.0 METRES)



BW-01

SITE ANALYSIS PLAN

1:200

REVISIONS			REVISIONS		
NO.	DESCRIPTION	ISSUE TO DATE	NO.	DESCRIPTION	ISSUE TO DATE

CONTRACTOR MUST VERIFY DIMENSIONS ON SITE BEFORE TO THE CONTRACTOR OF ANY WORK AND OF SUPERVISION. DIMENSIONS SHALL BE VERIFIED AND RECORDED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL TOTAL PROPERTY OF ANY GIVEN STREET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL TOTAL PROPERTY OF ANY GIVEN STREET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL TOTAL PROPERTY OF ANY GIVEN STREET.

**JOHN CHOW ARCHITECT**  
 30 H&M Street Bakers, VIC 3103

**critic**  
 Architecture & Urbanism  
 Cr 15A #104-4th, Bogota, Colombia

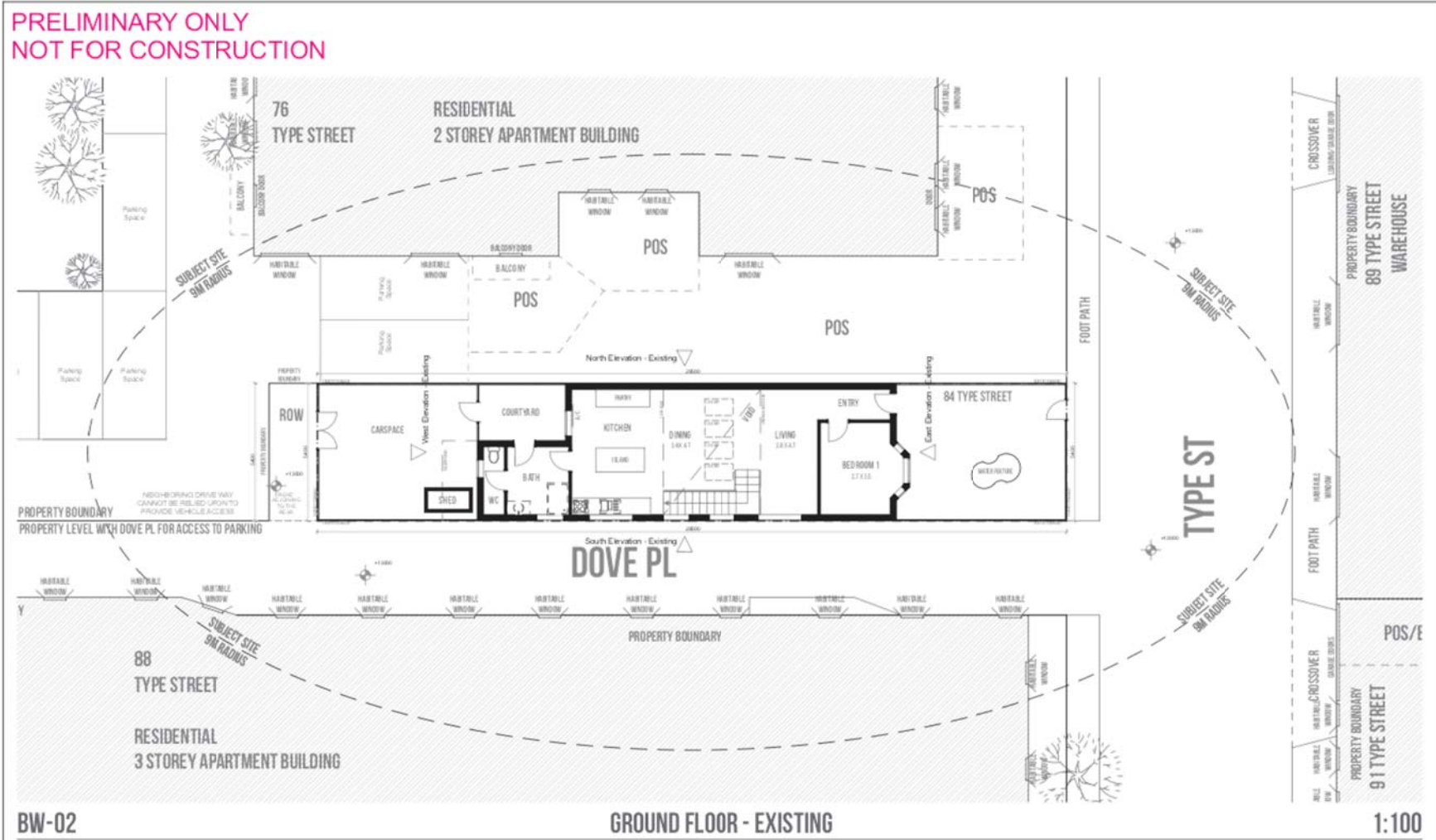
Project Title  
**RESIDENTIAL DEVELOPMENT: 84 TYPE STREET RICHMOND**

Client

Drawing Title  
**Site Analysis Plan**  
 2 / 23

North

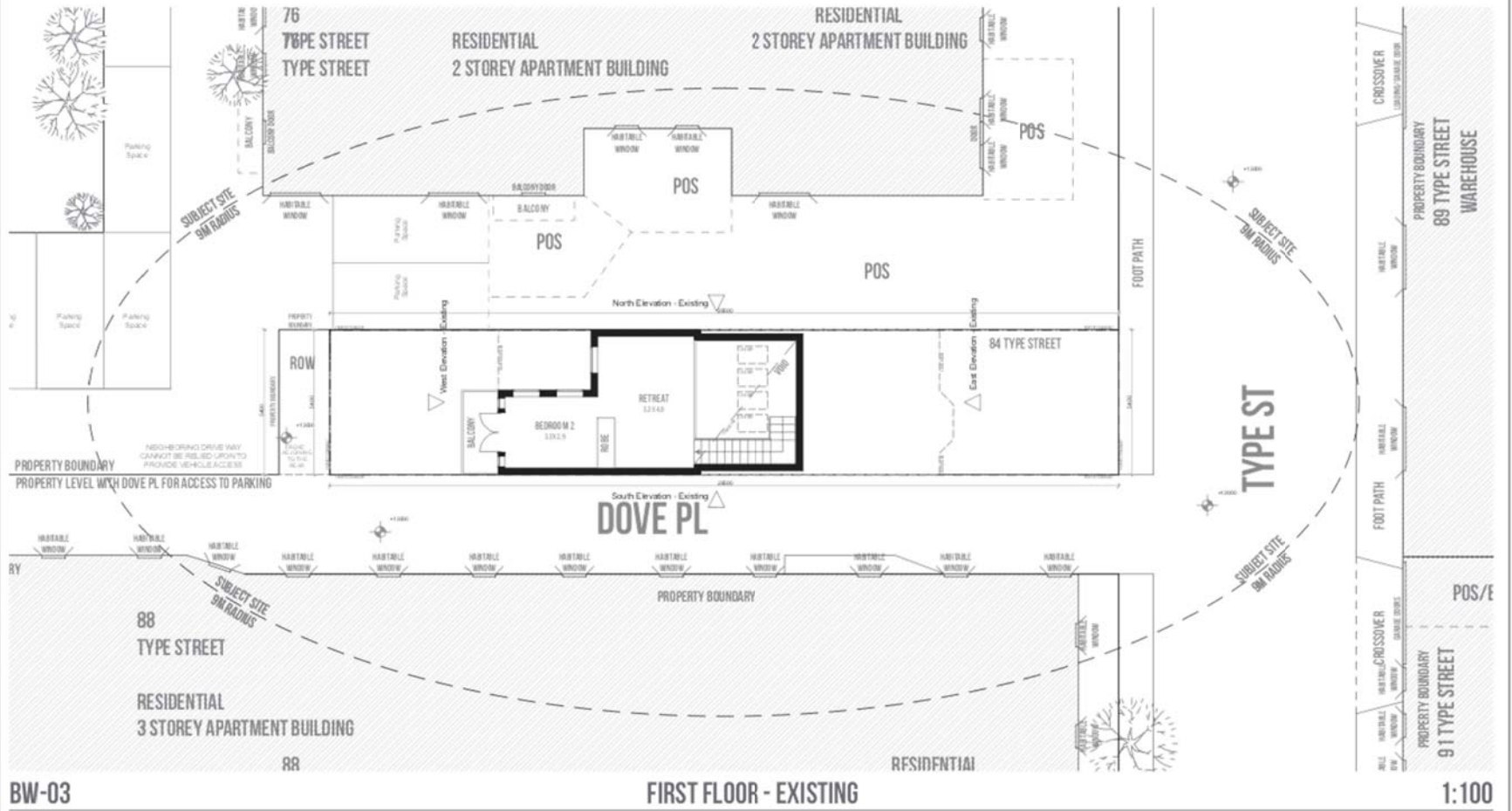
Drawn by Carmelo Rodriguez & Carlos Reyes-Ramos	Date 15/09/2018, 11 de agosto de 2018
Checked by John Chow	Date 15/09/2018, 11 de agosto de 2018
Drawing Status	Planning Permit Application
Drawing Scale	1:200
Layout ID	A.01.1



REVISIONS		ISSUE	REVISIONS		ISSUE	JOHN CHOW ARCHITECT 30 Hilda Street Bayswater, VIC 3103 Architecture & Urbanism Cr. 15A #104-4th, Boggs, Colorado	Project Title <b>RESIDENTIAL DEVELOPMENT: 84 TYPE STREET RICHMOND</b> Client _____	Drawing Title <b>Ground Floor - Existing</b> 3 / 23		Drawn by: Corinne Edmund & Gavin Wayne Mason Checked by: John Chow	Date: 16/06/2018, 21/06/2018 & 28/06/2018
NO	DESCRIPTION	TO	DATE	NO	DESCRIPTION						



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BW-03

FIRST FLOOR - EXISTING

1:100

REVISIONS		ISSUE	REVISIONS		ISSUE
NO.	DESCRIPTION	TO	DATE	NO.	DATE

CONTRACTOR MUST VERIFY DIMENSIONS ON SITE BEFORE TO THE COMING ONSET OF ANY WORK AND ON SUPERVISION OF THE ARCHITECT. THE ARCHITECT'S DRAWINGS SHALL BE REFERRED TO AS THE AUTHORITY FOR ALL DIMENSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING DIMENSIONS ON SITE AND FOR NOTIFYING THE ARCHITECT OF ANY DISCREPANCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING DIMENSIONS ON SITE AND FOR NOTIFYING THE ARCHITECT OF ANY DISCREPANCIES.

**JOHN CHOW ARCHITECT**  
30 Hilda Street Bayswater, VIC 3103

**CRIC**  
CRIC Architecture & Interiors  
129-131A High Street, Bayswater, VIC 3103

Project Title: **RESIDENTIAL DEVELOPMENT: 84 TYPE STREET RICHMOND**

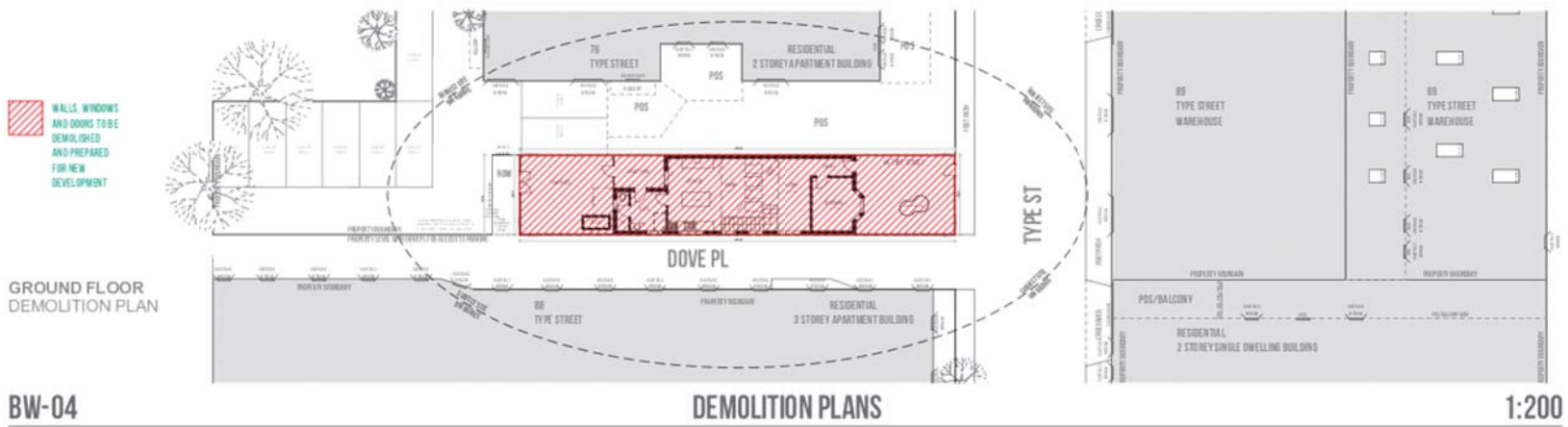
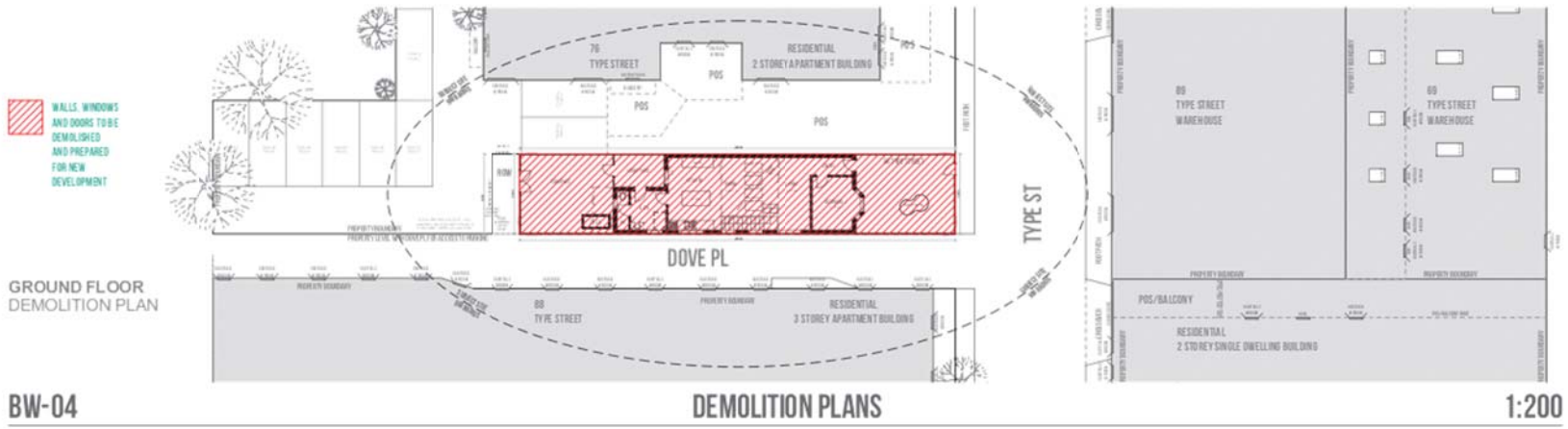
Client: \_\_\_\_\_

Drawing Title: **First Floor - Existing**  
4 / 23

North

Drawn by: Catherine Eckhardt & Grace Hayes-Raines	Check by: John Chow	Date: 16/09/2018, 21/09/2018 & 29/09/2018
Drawing Status: Planning Permit Application	Drawing Scale: 1:100	Date of Issue: 26/09/2018
Layout ID: A.01.3		

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REVISIONS		ISSUE	REVISIONS		ISSUE		
NO	DESCRIPTION	TO	DATE	NO	DESCRIPTION	TO	DATE

CONTRACTOR MUST VERIFY DIMENSIONS AND LEVELS TO THE COMPANY DRAWING OF ANY WORK AND OR SUPERVISOR BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY AND THE LOCAL COUNCIL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY AND THE LOCAL COUNCIL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY AND THE LOCAL COUNCIL.

**JOHN CHOW ARCHITECT**  
30 Hilda Street, Balwyn, VIC 3103

**critic**  
Architecture & Urbanism  
G/ 15A #104-4th, Bogota, Colombia

Project Title: **RESIDENTIAL DEVELOPMENT: 84 TYPE STREET RICHMOND**

Client: \_\_\_\_\_

Drawing Title: **Demolition Plans**

5 / 23

North

Drawn by: **Camille Richard & Grace Hays-Rose**

Checked by: **John Chow**

Date: **15/09/2018**

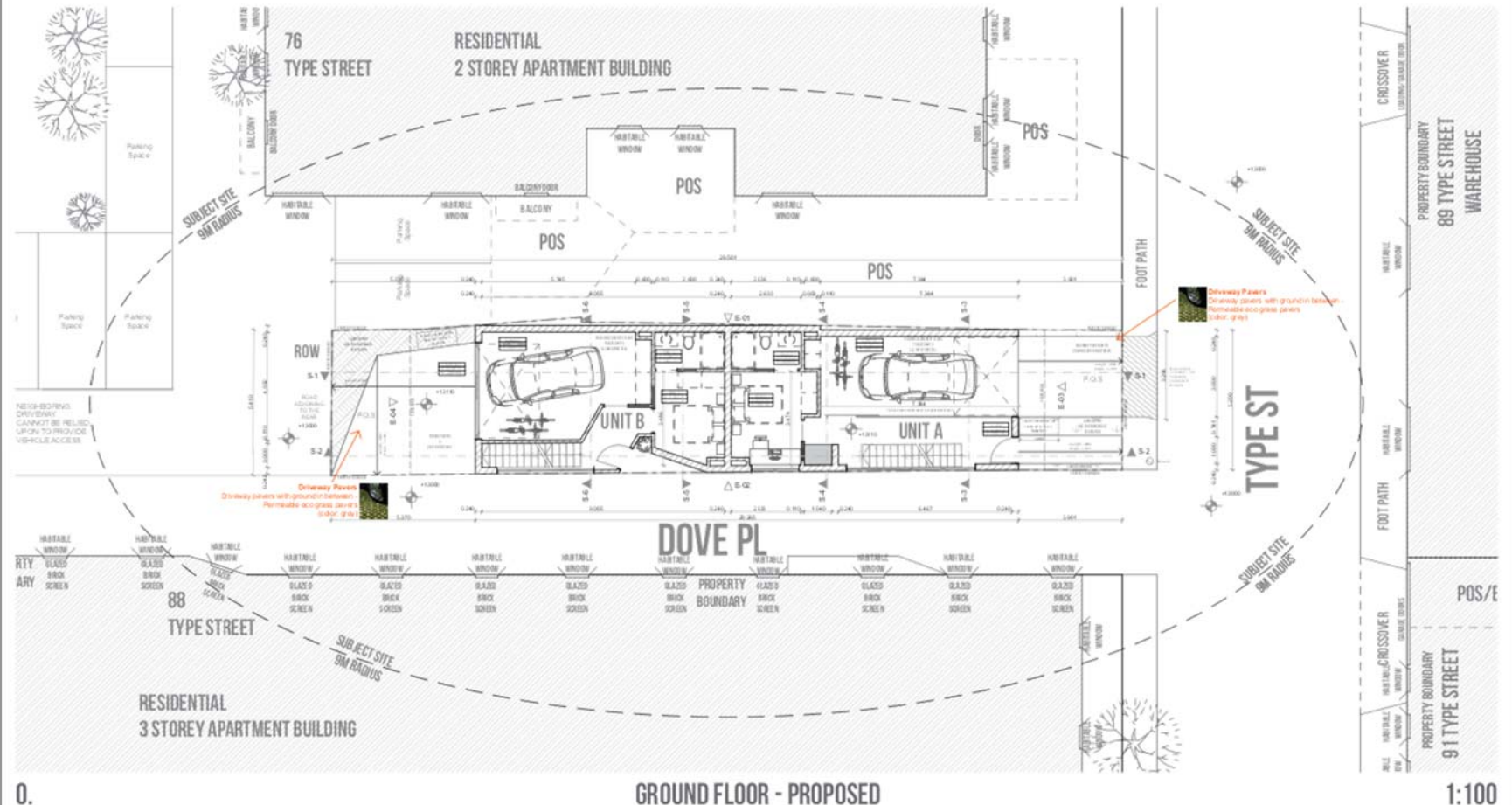
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Drawing Status: **Planning Permit Application**

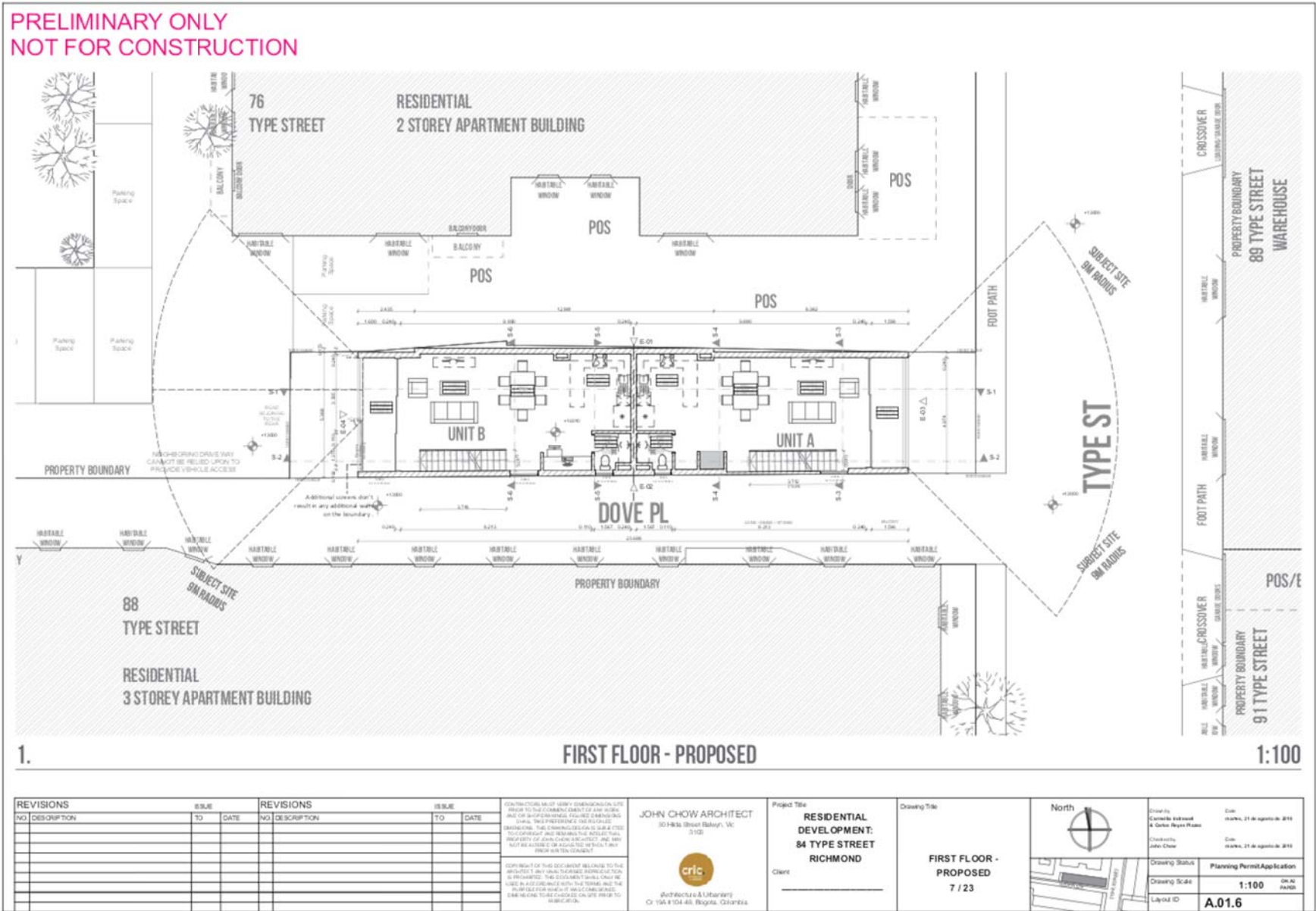
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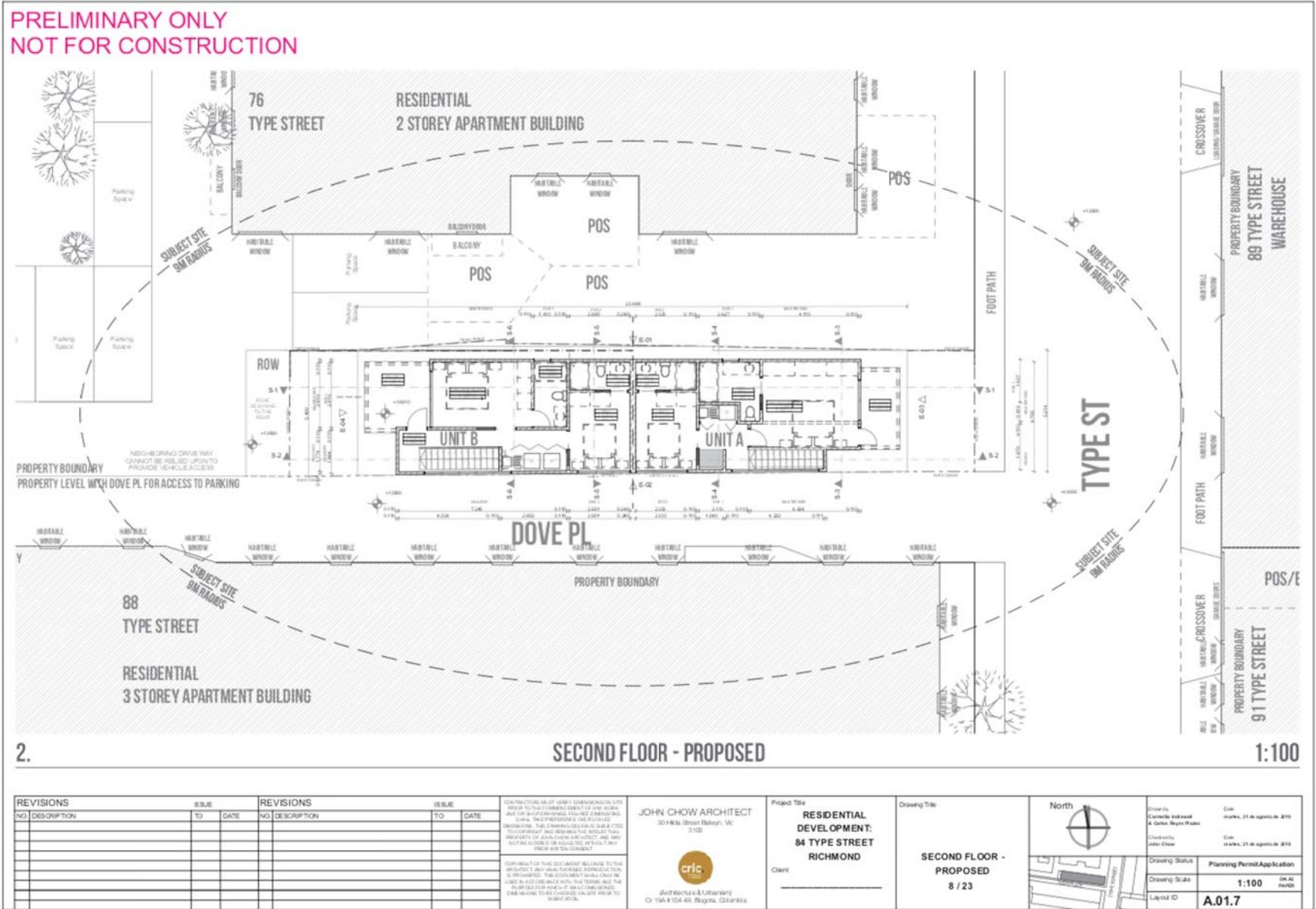
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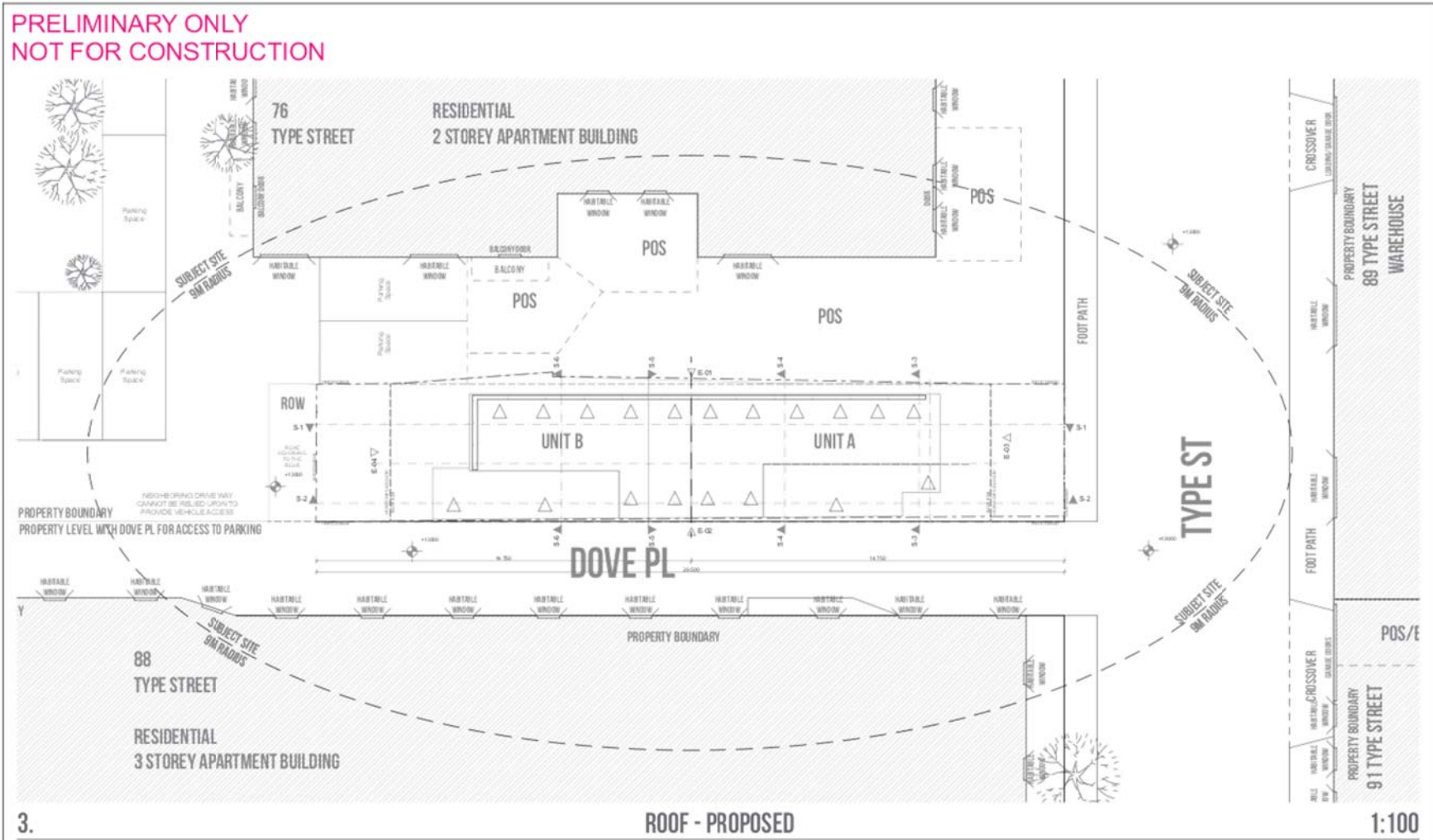
PRELIMINARY ONLY  
NOT FOR CONSTRUCTION



REVISIONS		REVISIONS		CONTRACTOR MUST VERIFY DIMENSIONS ON SITE BEFORE TO THE COMPLETION OF ANY WORK AND FOR SUPERVISION. EXCESS DIMENSIONS SHALL BE RECORDED ON THE DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND VERIFYING THE ACTUAL TOTAL PROPERTY OF LAND AND SUBJECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE OR ACCOUNTABLE FOR ANY INCONSISTENCY OR DISCREPANCY.	JOHN CHOW ARCHITECT 30 Hilda Street Bayswater, VIC 3103	Project Title <b>RESIDENTIAL DEVELOPMENT: 84 TYPE STREET RICHMOND</b>	Drawing Title <b>GROUND FLOOR - PROPOSED 6 / 23</b>	North 	Drawn by Camille Richard & Grace Wayne Mason	Date 16/09/2018 11:46:46 AM AEST
NO.	DESCRIPTION	NO.	DESCRIPTION							







REVISIONS		ISSUE	REVISIONS		ISSUE
NO.	DESCRIPTION	TO	DATE	NO.	DESCRIPTION

CONTRACTOR MUST VERIFY DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK AND FOR SUPERSEDED DIMENSIONS DIMENSIONS SHALL TAKE PRECEDENCE OVER DIMENSIONS SHOWN ON THIS DRAWING. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND RECONCILING THE ACTUAL TOTAL PROPERTY OF LAND WITH THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL TOTAL PROPERTY OF LAND WITH THE PROJECT PRIOR TO COMMENCEMENT.

CONTRACTOR MUST VERIFY DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK AND FOR SUPERSEDED DIMENSIONS DIMENSIONS SHALL TAKE PRECEDENCE OVER DIMENSIONS SHOWN ON THIS DRAWING. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND RECONCILING THE ACTUAL TOTAL PROPERTY OF LAND WITH THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL TOTAL PROPERTY OF LAND WITH THE PROJECT PRIOR TO COMMENCEMENT.

**JOHN CHOW ARCHITECT**  
30 Hilda Street Bayswater, VIC 3103

**critic**  
Architecture & Urbanism  
154-154A/4th, Bayside, Colorado

Project Title  
**RESIDENTIAL DEVELOPMENT: 84 TYPE STREET RICHMOND**

Client

Drawing Title  
**ROOF - PROPOSED**

9 / 23



Drawn by  
Carmelo Rodriguez & Carlos Reyes-Ramos

Checked by  
John Chow

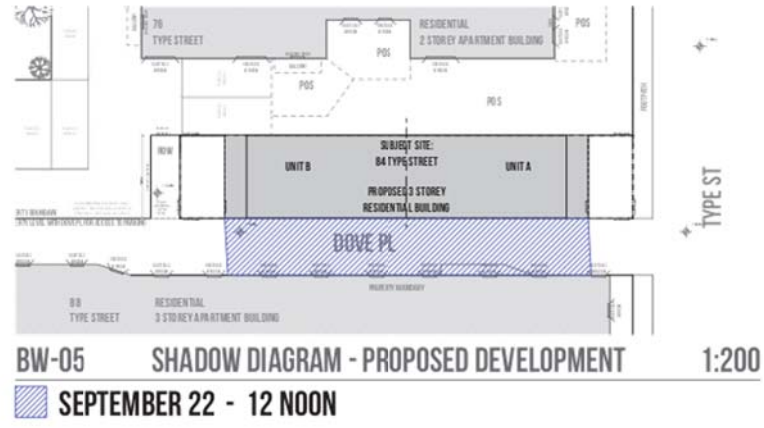
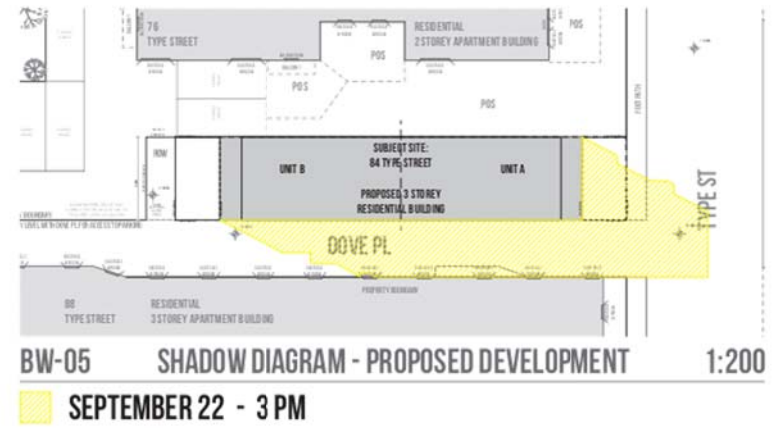
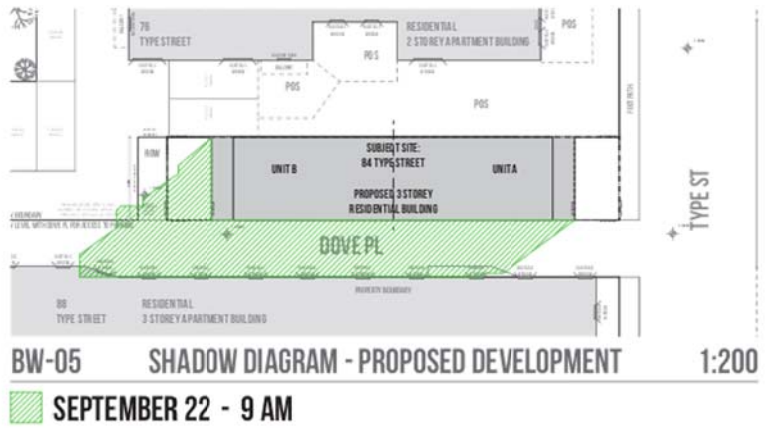
Date  
15/09/2018, 11:46:49 AM AEST

Planning Permit Application

Drawing Scale  
**1:100**

Layout ID  
**A.01.8**

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REVISIONS		ISSUE		REVISIONS		ISSUE	
NO.	DESCRIPTION	TO	DATE	NO.	DESCRIPTION	TO	DATE

**JOHN CHOW ARCHITECT**  
 30 Hilda Street Baysley, VIC 3103

**critic**  
 Architecture & Urbanism  
 Cr 19A #104-4th, Bogota, Colombia

**Project Title**  
**RESIDENTIAL DEVELOPMENT: 84 TYPE STREET RICHMOND**

**Client**  
 \_\_\_\_\_

**Drawing Title**  
**Shadow Diagram - Proposed Development**

10 / 23

**North**

**Drawing Status**  
 Planning Permit Application

**Drawing Scale**  
 1:200

**Layout ID**  
**A.01.9**

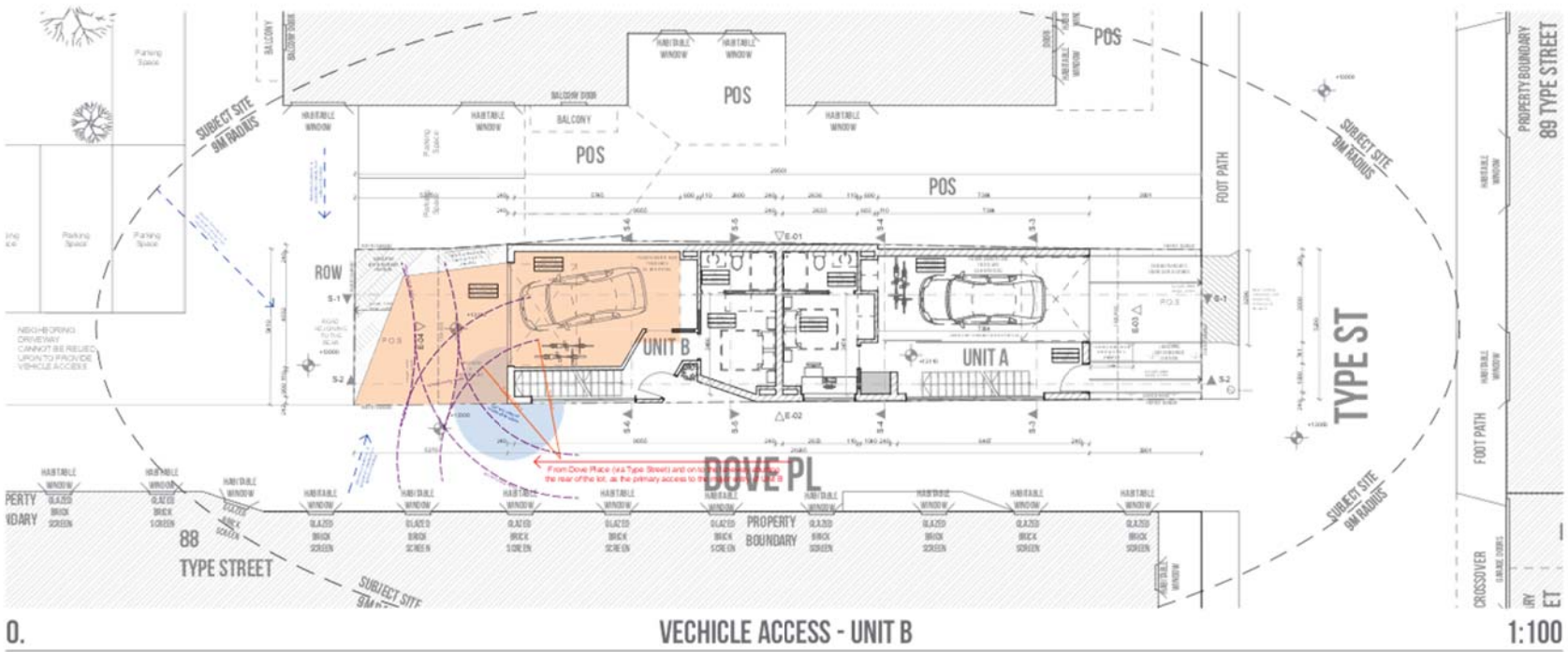
**Drawn by:**  
 Corinne Robinson & Gavin Wayne Mason

**Checked by:**  
 John Chow

**Date:**  
 15/09/2018

**PRELIMINARY ONLY  
NOT FOR CONSTRUCTION**

- INDICATION - "CLEAR OF VISUAL OBSTRUCTION"
- UNIT B - DRIVEWAY & GARAGE



REVISIONS		ISSUE	REVISIONS		ISSUE
NO.	DESCRIPTION	TO	DATE	NO.	DESCRIPTION

**JOHN CHOW ARCHITECT**  
30 Hilda Street, Suite 101  
Richmond, BC V6V 1Y3

**crac**  
Architecture & Interiors  
150 - 104 Ave, Regina, Saskatchewan

Project Title  
**RESIDENTIAL DEVELOPMENT: 84 TYPE STREET, RICHMOND**

Client  
\_\_\_\_\_

Drawing Title  
**Vehicle Access - Unit B**

11 / 23



Drawn by  
Catherine Kirkwood & Carlos Reyes-Ramos

Checked by  
John Chow

Date  
15 Nov, 21 de agosto de 2018

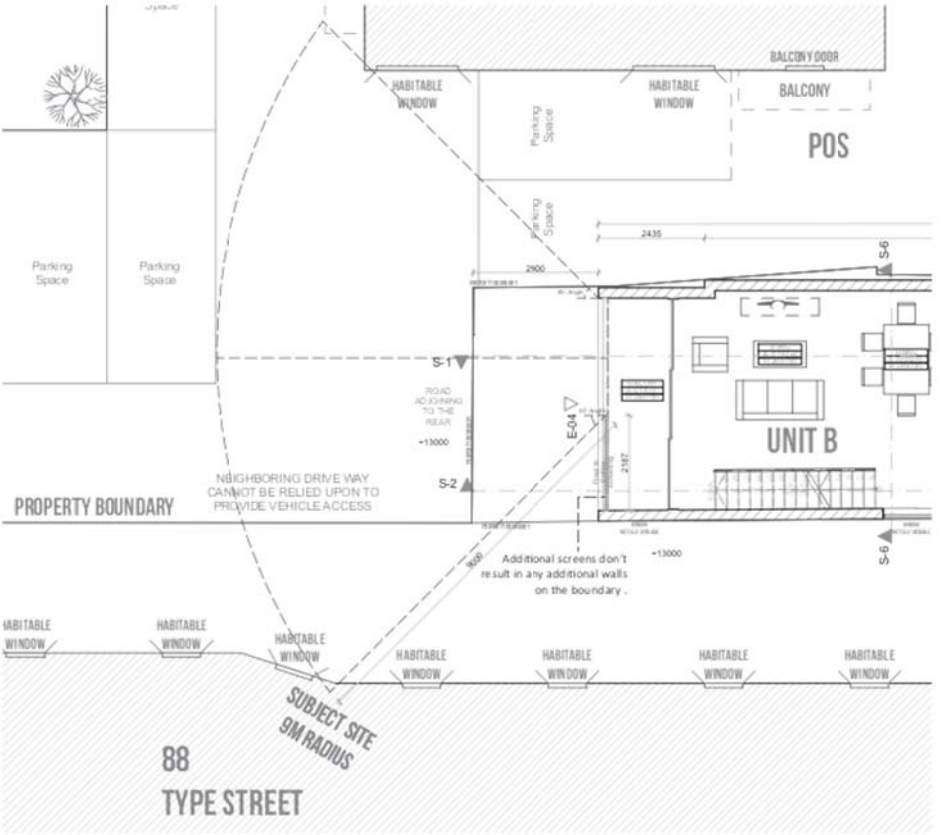
Drawing Status  
Planning Permit Application

Drawing Scale  
**1:100**

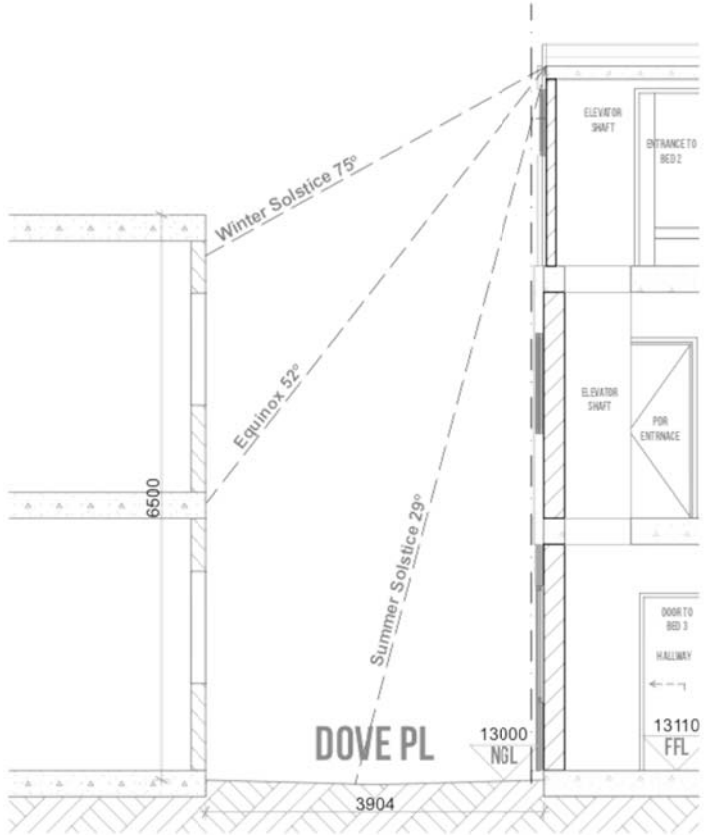
Layout ID  
**A.01.10**



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**1. PRIVACY DIAGRAM 1:100 BW-11**



**SUN ANALYSIS 1:50**

REVISIONS		ISSUE		REVISIONS		ISSUE	
NO	DESCRIPTION	TO	DATE	NO	DESCRIPTION	TO	DATE

CONTRACTOR SHALL OBTAIN CONSENT OF ALL ADJACENT LANDS TO THE COMMENCEMENT OF ANY WORK AND OBTAIN NECESSARY APPROVALS FROM RELEVANT AUTHORITIES. THE CONTRACTOR SHALL OBTAIN NECESSARY APPROVALS FROM RELEVANT AUTHORITIES. THE CONTRACTOR SHALL OBTAIN NECESSARY APPROVALS FROM RELEVANT AUTHORITIES. THE CONTRACTOR SHALL OBTAIN NECESSARY APPROVALS FROM RELEVANT AUTHORITIES.

**JOHN CHOW ARCHITECT**  
10/100 Swan Street, Richmond, VIC 3121  
Architects & Urban Planners  
P: 03 9439 8888

Project Title  
**RESIDENTIAL DEVELOPMENT: 84 TYPE STREET RICHMOND**  
Client Signature \_\_\_\_\_

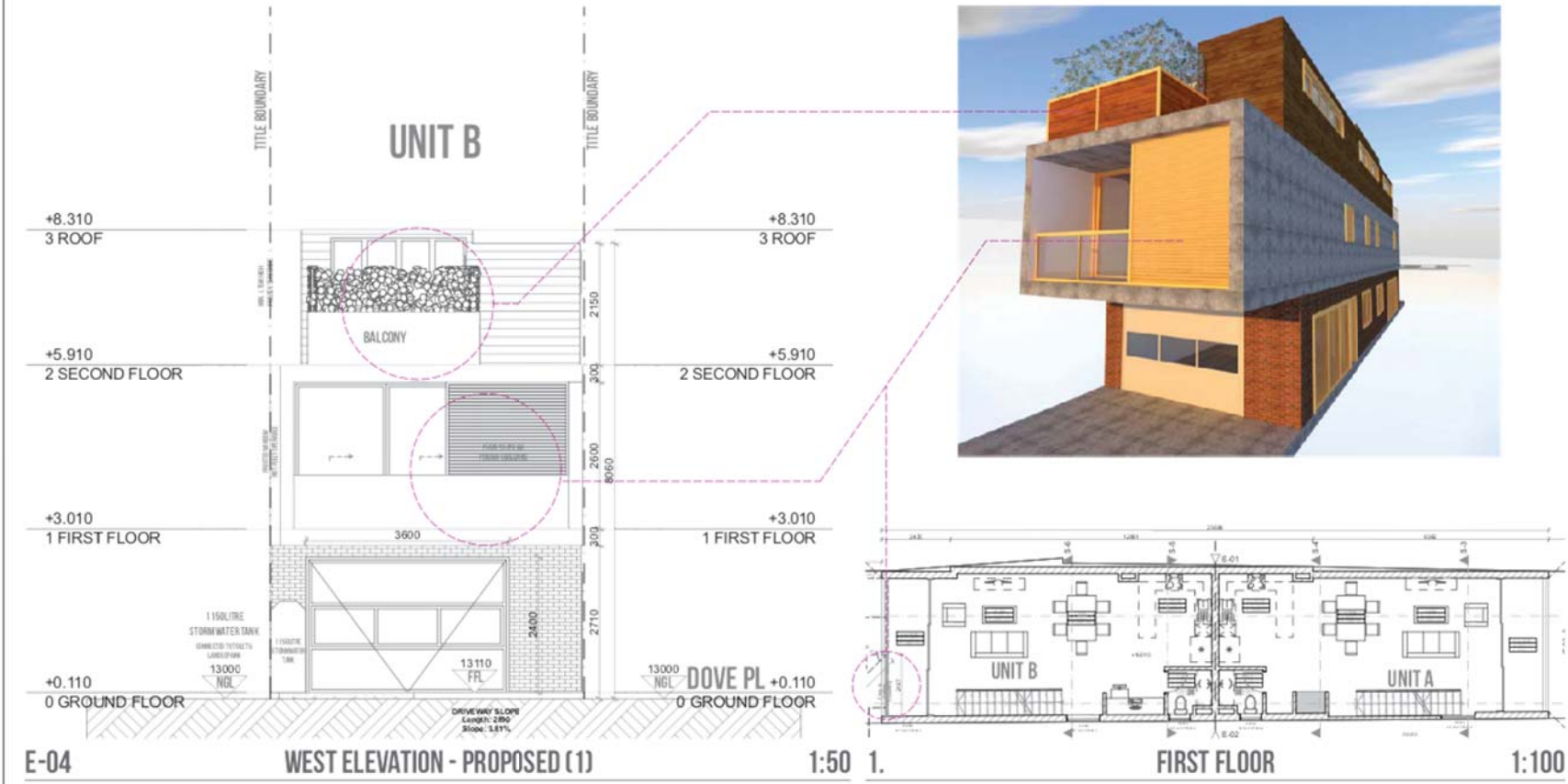
Drawing Title  
**Privacy Diagram, Sun Analysis**  
12 / 23



Drawn by  
**Camelia Indrawati & Carlos Reyes Plazas**  
Checked by  
**John Chow**  
Drawing Scale  
**1:100, 1:50**  
Layout ID  
**A.01.11**

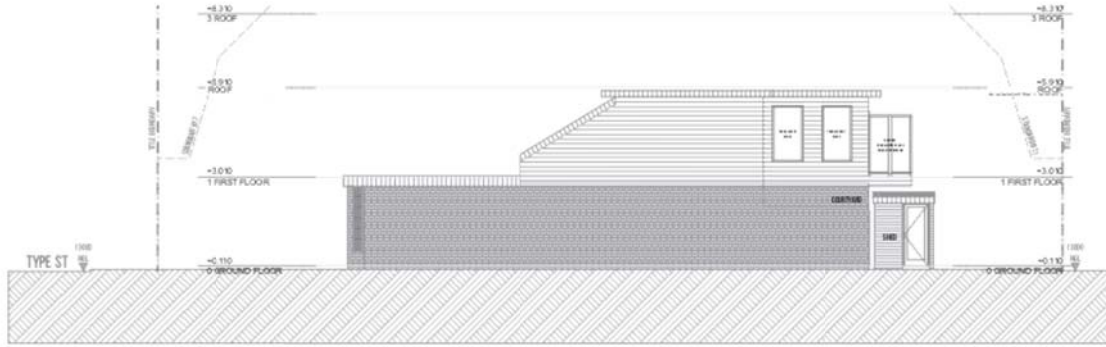
Date  
**mar 21 de agosto de 2018**  
Date  
**mar 21 de agosto de 2018**  
Drawing Status  
**Planning Permit Application**

PRELIMINARY ONLY  
NOT FOR CONSTRUCTION

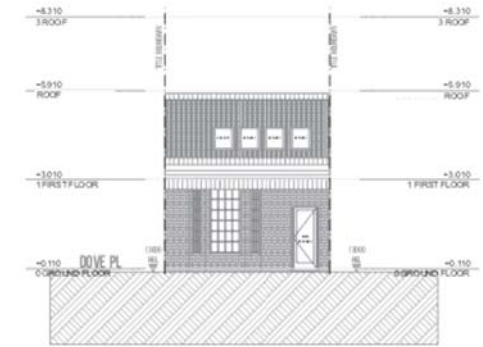


REVISIONS		ISSUE	REVISIONS		ISSUE	CONTRACTOR MUST VERIFY DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK AND FOR ANY DIMENSIONS FOUND DIFFERING FROM THE INFORMATION ON THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND FOR OBTAINING THE NECESSARY APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY APPROVALS FROM THE LOCAL AUTHORITY.	JOHN CHOW ARCHITECT 30 Hilda Street Baysley, VIC 3103  Architecture & Urbanism Cr 15A #104-4th, Bogota, Colombia	Project Title <b>RESIDENTIAL DEVELOPMENT: 84 TYPE STREET RICHMOND</b> Client _____	Drawing Title <b>West Elevation - Proposed (1), FIRST FLOOR</b> 13 / 23	North 	Drawn by Corinne Whitford & Gavin Hayes-Rouse Checked by John Chow	Date 15/09/2018, 21/09/2018	Drawing Status Planning Permit Application Drawing Scale 1:50, 1:100 Job No A.01.12
NO	DESCRIPTION	TO	DATE	NO	DATE								

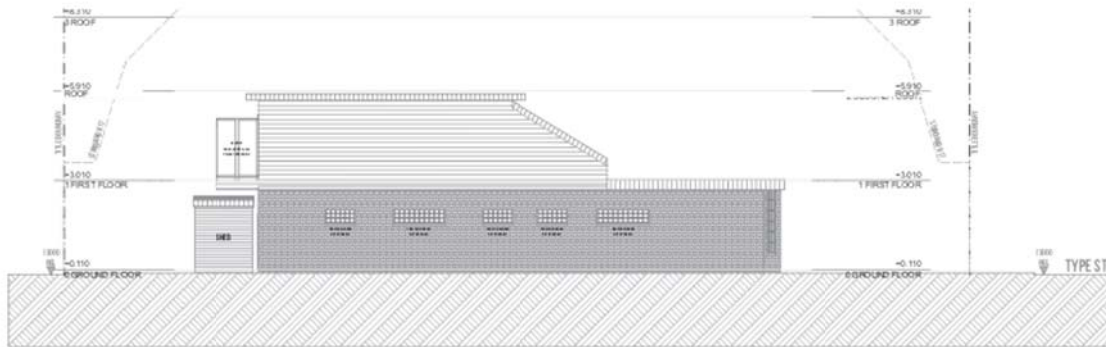
PRELIMINARY ONLY  
NOT FOR CONSTRUCTION



E-05 NORTH ELEVATION - EXISTING 1:100



E-07 EAST ELEVATION - EXISTING 1:100



E-06 SOUTH ELEVATION - EXISTING 1:100



E-08 WEST ELEVATION - EXISTING 1:100

REVISIONS		ISSUE	REVISIONS		ISSUE
NO	DESCRIPTION	TO	DATE	NO	DESCRIPTION

CONTRACTOR MUST VERIFY DIMENSIONS AND LEVELS TO THE PROPERTY OWNER OF ANY WORK AND/OR SUPERSEDED DIMENSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING DIMENSIONS AND LEVELS TO THE PROPERTY OWNER OF ANY WORK AND/OR SUPERSEDED DIMENSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING DIMENSIONS AND LEVELS TO THE PROPERTY OWNER OF ANY WORK AND/OR SUPERSEDED DIMENSIONS.

**JOHN CHOW ARCHITECT**  
30 Hill Street Bays, VIC 3103

**cric**  
Architecture & Urbanism  
Cr 15A #104-4th, Bogota, Colombia

Project Title  
**RESIDENTIAL DEVELOPMENT: 84 TYPE STREET RICHMOND**

Client  
\_\_\_\_\_

Drawing Title  
**North Elevation - Existing, South Elevation - Existing, East Elevation - Existing, West Elevation - Existing**

14 / 23



Drawn by  
Carmelie Richard & Gavin Wayne Mason

Checked by  
John Chow

Drawing Status  
Planning Permit Application

Drawing Scale  
1:100

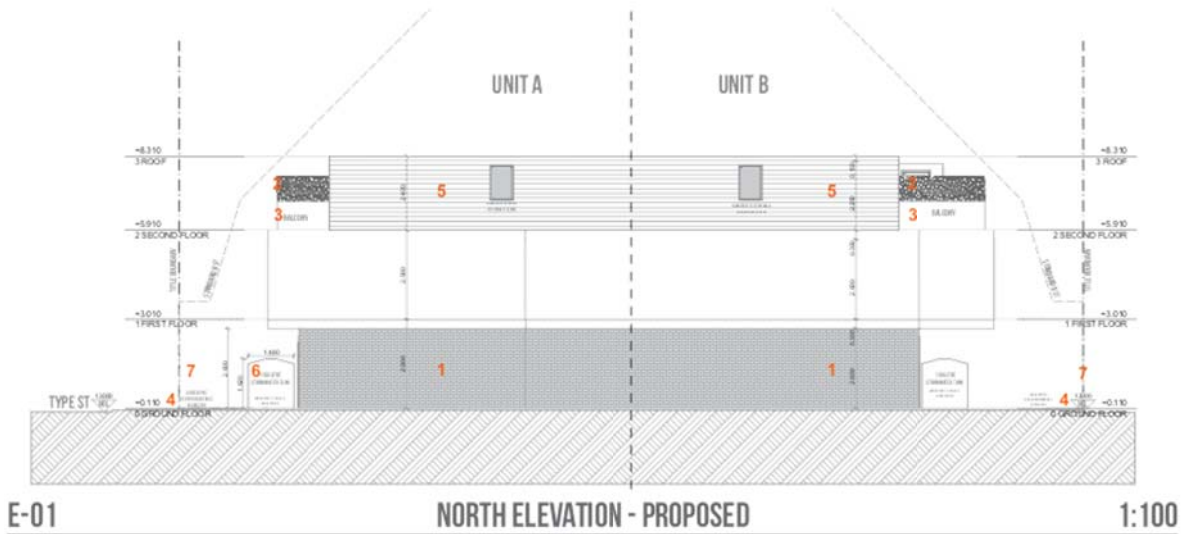
Layout ID  
A.02.1

Date  
26/09/2018, 11:46:46 AM

Date  
26/09/2018, 11:46:46 AM

**PRELIMINARY ONLY  
NOT FOR CONSTRUCTION**

- 1. EXPOSED BRICKS - FACADE**  
Austalbrick - Nubia (Exposed Bricks color: Burwood Blue)
- 2. EXPOSED CONCRETE**  
BORAL Products - Grey
- 3. TIMBER PRIVACY SCREENING - BALCONY and WINDOWS**  
Stavrite - Privacy Screens - Aurlunhan 50x Timber look  
Low-R Rise aluminium screen (slats 90x) - 50mm
- 4. PORCELAIN PAVERS**  
TURFORD -  
Grass (between slats) - Grey
- 5. IRON BARK CLADDING**  
Recycled wallboards
- 6. STORM WATER TANK**  
Bunnings - Timeline  
TSL250 - 115L Tank (color: Green@2x148x100cm)
- 7. FENCE**  
Stanline - Contemporary 50x100 Blade Fence (color: Black)



REVISIONS		ISSUE	REVISIONS		ISSUE
NO.	DESCRIPTION	TO	DATE	NO.	DATE

CONTRACTOR MUST VERIFY DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK AND FOR SUPERVISION PURPOSES DURING WORK. THE CONTRACTOR IS TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF WORK.

**JOHN CHOW ARCHITECT**  
30 Hill Street Baysley, VIC 3103

  
CRIC  
Architecture & Interiors  
Cr. 15A #104-4th, Boggs, Colorado

Project Title  
**RESIDENTIAL DEVELOPMENT: 84 TYPE STREET RICHMOND**

Client  
\_\_\_\_\_

Drawing Title  
**North Elevation - Proposed**

15 / 23

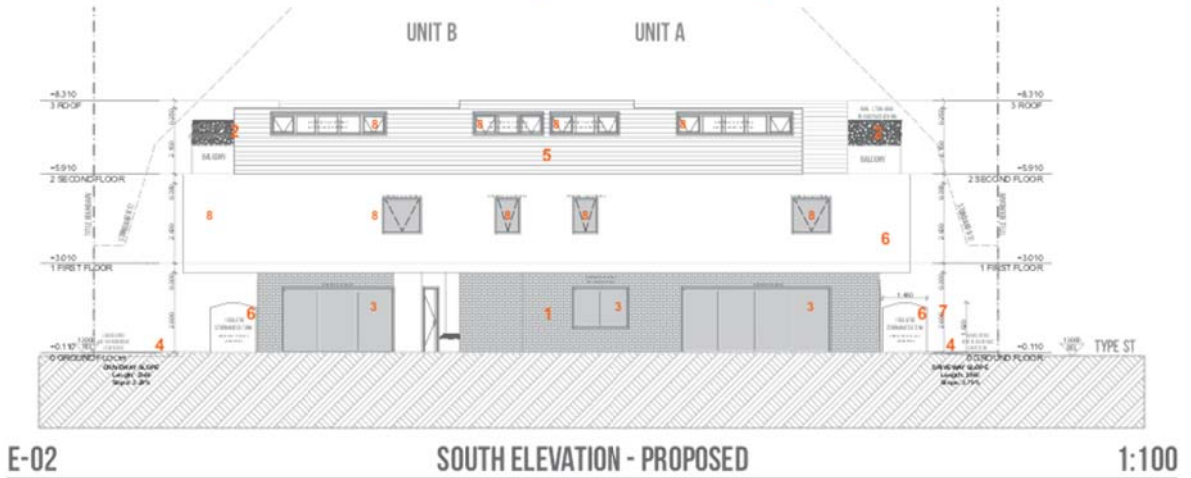
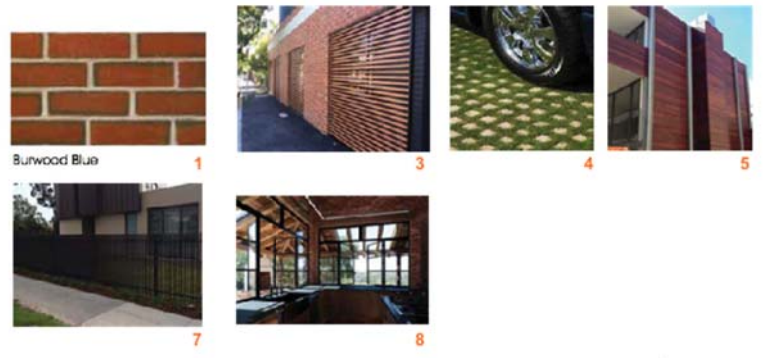
North



Drawn by Catherine Robinson & Gavin Hayes-Rouse	Date 15/09/18, 21/09/2018 @ 2:10
Checked by John Chow	Date 15/09/18, 21/09/2018 @ 2:10
Drawing Status	Planning Permit Application
Drawing Scale	1:100 (on A4 sheets)
Layout ID	<b>A.02.2</b>

**PRELIMINARY ONLY  
NOT FOR CONSTRUCTION**

- 1. EXPOSED BRICKS - FACADE  
Autobricks - Match PavedBrick (color: Burwood Blue)
- 2. EXPOSED CONCRETE FACADE  
BONAL Products - Grey
- 3. TIMBER PRIVACY SCREENING - BALCONY and WINDOWS  
Bamble - Privacy Screens - Aluminium Slat Timber look  
Slat 4" fixed aluminium screen (color: black) - 30mm
- 4. PERMEABLE PAVERS  
TURFLOC  
Grass in between (color: Grey)
- 5. IRONBARK CLADDING  
Recycled re-sawn timber
- 6. STORM WATER TANK  
Bumblin - 30mm  
T.SL230 - 1150, Tank (color: Green) (2m x 4m x 1.5m)
- 7. FENCE  
Bamble - Contemporary 50x100 Blade Fence (color: Black)
- 8. WINDOWS  
Configurations as shown on plans  
Baglar - Aluminium Windows (color: Custom Black) - Low Shear



REVISIONS		ISSUE	REVISIONS		ISSUE		
NO.	DESCRIPTION	TO	DATE	NO.	DESCRIPTION	TO	DATE

CONTRACTOR MUST VERIFY DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK AND FOR ANY DIMENSIONS EXCEEDING DIMENSIONS SHOWN, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF WORK.

**JOHN CHOW ARCHITECT**  
30 Hilda Street Baysley, VIC 3103



CRIC  
Joint Architects & Urbanists  
C/- 19A #104-4th, Boggsia, Colombia

Project Title  
**RESIDENTIAL DEVELOPMENT: 84 TYPE STREET RICHMOND**

Client  
\_\_\_\_\_

Drawing Title  
**South Elevation - Proposed, East Elevation - Proposed**

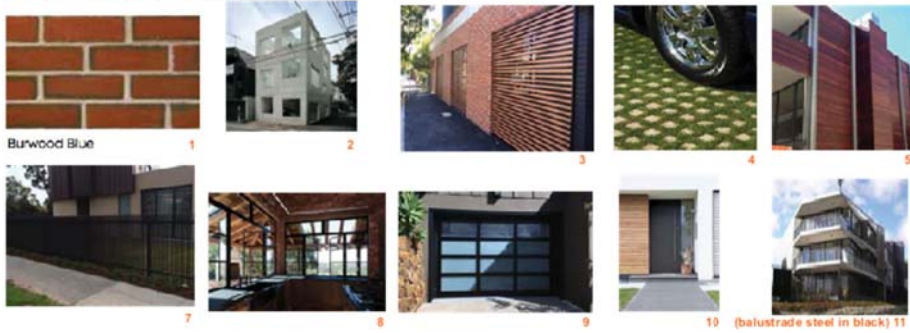
16 / 23

North



Drawn by Catherine Robinson & Gavin Wayne Mason	Date 16/09/18, 21/09/2018
Checked by John Chow	Date 16/09/18, 21/09/2018
Drawing Status	Planning Permit Application
Drawing Scale	1:100, 1:200 (on A4)
Layout ID	<b>A.02.3</b>

PRELIMINARY ONLY  
NOT FOR CONSTRUCTION



E-03 EAST ELEVATION - PROPOSED 1:100    E-04 WEST ELEVATION - PROPOSED 1:100

- 1. EXPOSED BRICKS - FACADE  
Australbricks - Patrick Paved Bricks (color: Burwood Blue)
- 2. EXPOSED CONCRETE FACADE  
BONVAL Products - Grey
- 3. TIMBER PRIVACY SCREENING - BALCONY and WINDOWS  
Standard - Ready Screens - Aluminium 88 Timber look  
Lock 4 Fixed aluminium screen (double sided) - Storm
- 4. PERMEABLE PAVERS  
TURFLAND  
Grass in between (color: Grey)
- 5. IRON BARK CLADDING  
Pac-in (iron bark cladding)
- 6. STORM WATER SINK  
Bulwark - Granite  
TSJ30 - 150L Sink (color: Green (62x148x142mm))
- 7. FENCE  
Sandhe - Contemporary 50x100 (Bade Fence (color: Black)
- 8. WINDOWS - Configuration as shown on plans  
Siegler - Aluminium Window (color: Custom Black - Low (Steel)
- 9. GARAGE DOOR  
Garnier Roll-up - 40 (European Roller (color: Jet Black RAL 9005))
- 10. PEDESTRIAN ENTRANCE DOOR - Configuration as shown on plans  
Siegler - Aluminium Door (color: Custom Black - Low (Steel)
- 11. BALCONY BALUSTRADE - Configuration as shown on plans  
Sandhe - Glass Balustrading -  
Stainless Steel Pipe and Glass (color: Black)

REVISIONS		ISSUE	REVISIONS		ISSUE
NO.	DESCRIPTION	TO	DATE	NO.	DATE

CONTRACTOR MUST VERIFY DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK AND FOR SUPERVISION PURPOSES DIMENSIONS SHALL BE VERIFIED AND RECORDED. DIMENSIONS SHALL BE VERIFIED AND RECORDED THE ENTIRE LENGTH OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL TOTAL PROPERTY OF LAND AND THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL TOTAL PROPERTY OF LAND AND THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL TOTAL PROPERTY OF LAND AND THE PROJECT.

**JOHN CHOW ARCHITECT**  
30 Hilda Street Baysley, VIC 3103

**cric**  
Architecture & Urbanism  
Cr. 15A #104-4th, Bogota, Colombia

Project Title  
**RESIDENTIAL DEVELOPMENT: 84 TYPE STREET RICHMOND**

Client  
\_\_\_\_\_

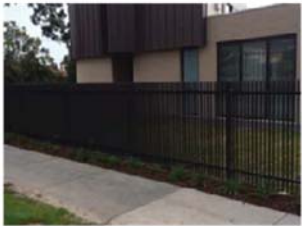
Drawing Title  
**West Elevation - Proposed, East Elevation - Proposed**

17 / 23

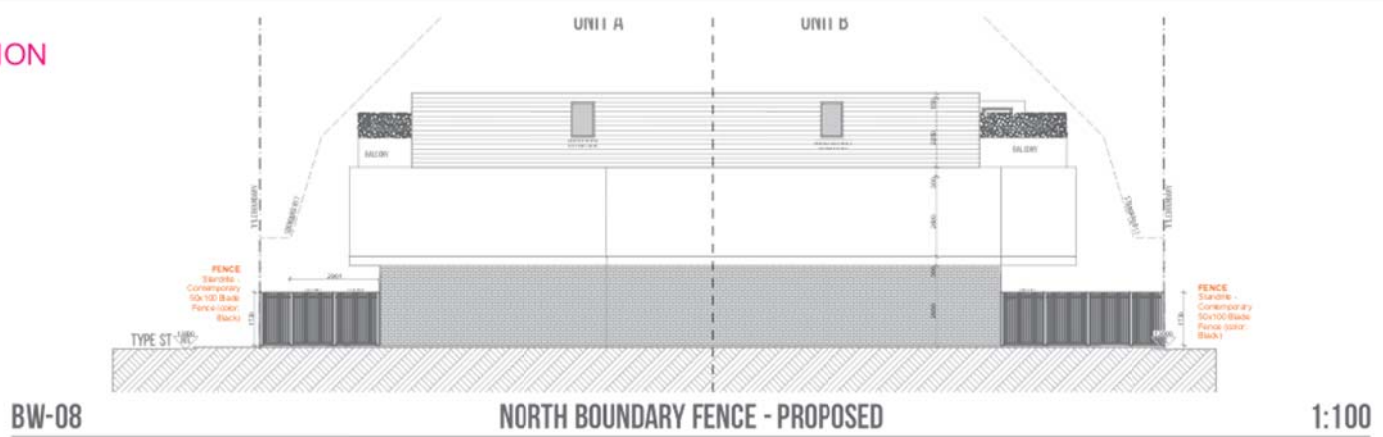
North

Drawn by Carmelo Rodriguez & Carlos Reyes-Ramos	Date 16/09/2018, 11 de agosto de 2018
Checked by John Chow	Date 16/09/2018, 11 de agosto de 2018
Drawing Status	Planning Permit Application
Drawing Scale	1:100 (on A4)
Layout ID	A.02.4

PRELIMINARY ONLY  
NOT FOR CONSTRUCTION

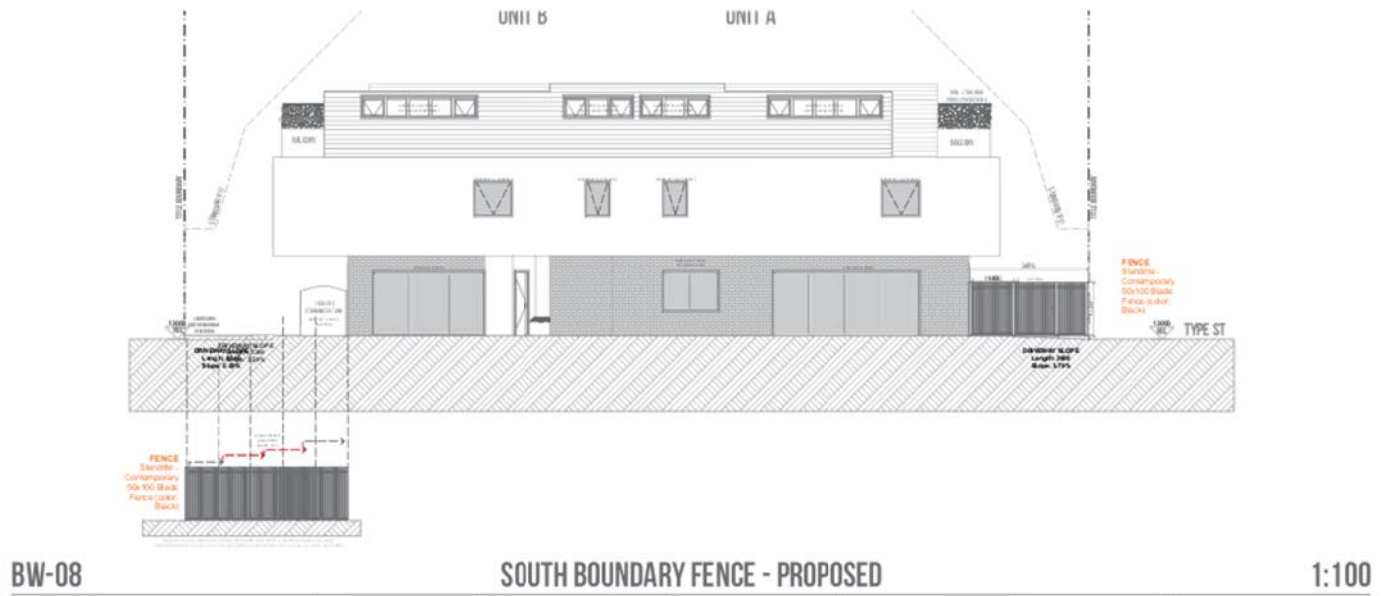


**FENCE**  
Standrite - Contemporary 50x100 Blade Fence (color: Black)



Height of fence is designed to conceal stormwater tank which is positioned behind the fence.

Visually transparent fence to ensure dwelling entrances (pedestrian and vehicle) are clearly identifiable.



REVISIONS		REVISIONS		REVISIONS	
NO.	DESCRIPTION	TO	DATE	NO.	DESCRIPTION

**JOHN CHOW ARCHITECT**  
30 Hobart Street Baysley, VIC 3103

John Chow Architecture & Interiors  
Cr. 19A #104-4th, Boggs, Columbia

Project Title  
**RESIDENTIAL DEVELOPMENT: 84 TYPE STREET RICHMOND**

Client  
\_\_\_\_\_

Drawing Title  
**North Boundary Fence - Proposed, South Boundary Fence - Proposed**

18 / 23

Drawn by  
Corinne Kirkwood & Gavin Wayne Mason

Checked by  
John Chow

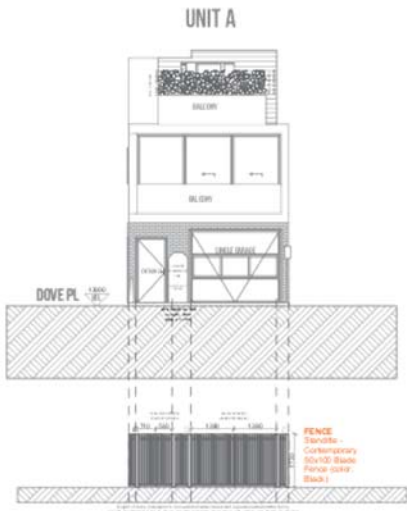
Date  
18/09/2018, 21/09/2018

Drawing Status  
Planning Permit Application

Drawing Scale  
1:100

Layout ID  
A.02.5

PRELIMINARY ONLY  
NOT FOR CONSTRUCTION



BW-08 EAST BOUNDARY FENCE - PROPOSED (1) 1:100



FENCE  
Standrite - Contemporary 50x100  
Blade Fence (color: Black)



BW-08 WEST BOUNDARY FENCE - PROPOSED (1) 1:100

REVISIONS		ISSUE	REVISIONS		ISSUE
NO	DESCRIPTION	TO	DATE	NO	DATE

CONTRACTOR MUST VERIFY DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK AND FOR SUPERSEDES ALL PREVIOUS DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF WORK.

**JOHN CHOW ARCHITECT**  
30 Hill Street Bayswater, VIC 3103  
  
John Chow & Partners  
Or 19A #104-4th, Bogota, Colombia

Project Title  
**RESIDENTIAL DEVELOPMENT: 84 TYPE STREET RICHMOND**  
Client

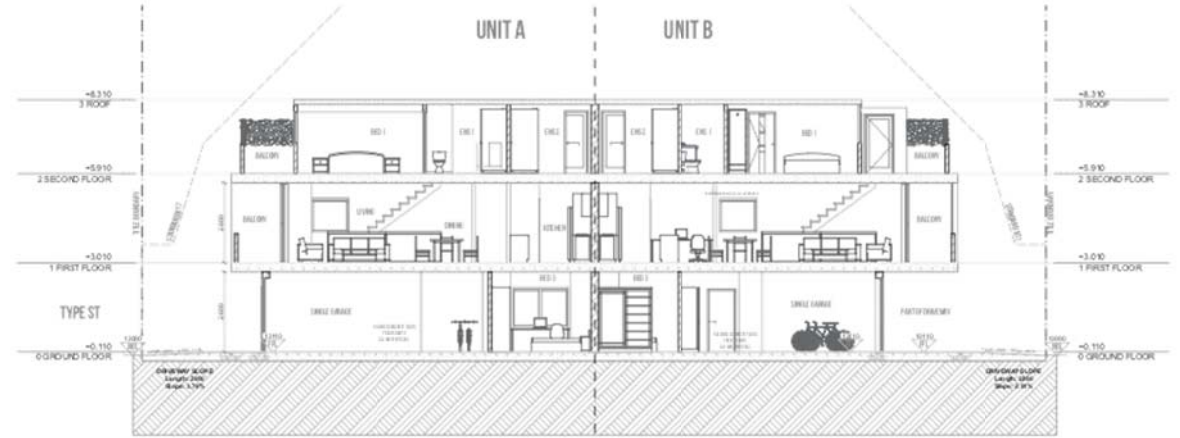
Drawing Title  
**West Boundary Fence - Proposed (1), East Boundary Fence - Proposed (1)**  
19 / 23



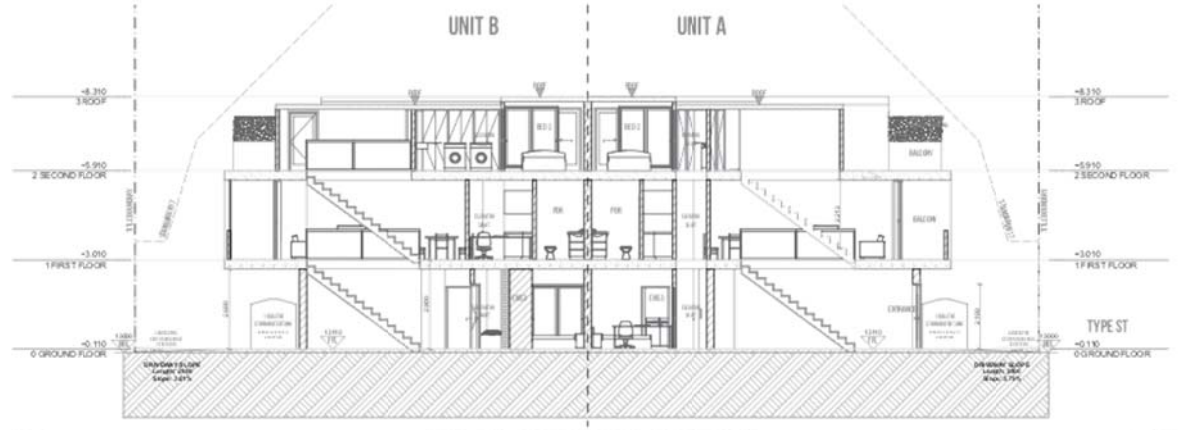
Drawn by: **Camille Robinson & Grace Wynn-Rose**  
Checked by: **John Chow**  
Date: **25/09/2018**  
Date: **25/09/2018**  
Drawing Status: **Planning Permit Application**  
Drawing Scale: **1:100**  
Layout ID: **A.02.6**



PRELIMINARY ONLY  
NOT FOR CONSTRUCTION



S-1 BUILDING SECTION 1 - PROPOSED 1:100



S-2 BUILDING SECTION 2 - PROPOSED 1:100

REVISIONS		ISSUE	REVISIONS	ISSUE			
NO	DESCRIPTION	TO	DATE	NO	DESCRIPTION	TO	DATE

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**JOHN CHOW ARCHITECT**  
30 Hilda Street Bayswater, VIC 3103  
  
Architects & Urbanists  
Or 19A #104-4th, Bogota, Colombia

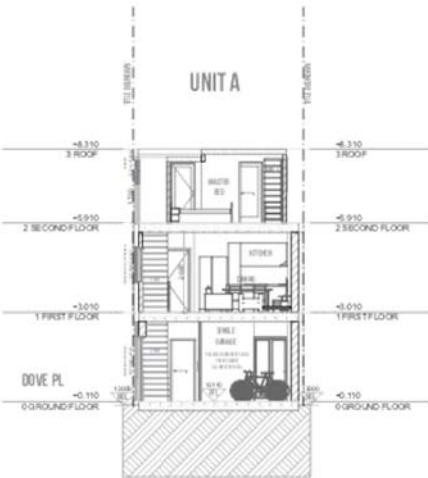
Project Title  
**RESIDENTIAL DEVELOPMENT: 84 TYPE STREET RICHMOND**  
Client

Drawing Title  
**Building Section 1 - Proposed, Building Section 2- Proposed**  
20 / 23

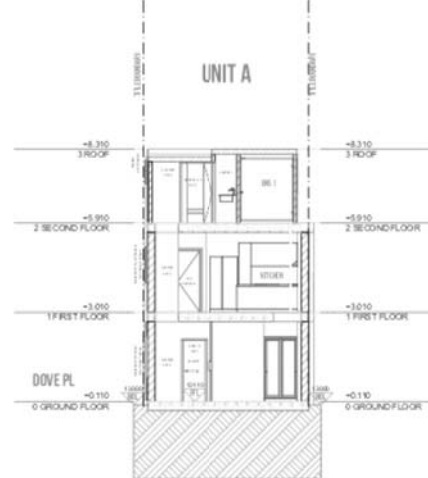


Drawn by: Corinne Entwistle & Gavin Wayne Mason  
Checked by: John Chow  
Date: 25 Nov, 21 de agosto de 2018  
Drawing Status: Planning Permit Application  
Drawing Scale: 1:100  
Layout ID: A.03.1

PRELIMINARY ONLY  
NOT FOR CONSTRUCTION



S-3 BUILDING SECTION 3 - PROPOSED 1:100



S-4 BUILDING SECTION 4 - PROPOSED 1:100



S-5 BUILDING SECTION 5 - PROPOSED 1:100

REVISIONS		ISSUE	REVISIONS		ISSUE
NO.	DESCRIPTION	TO	DATE	NO.	DESCRIPTION

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**JOHN CHOW ARCHITECT**  
30 H&M Street Baysley, VIC 3103



Architecture & Urbanism  
Cr. 19A #104-4th, Bogota, Colombia

Project Title  
**RESIDENTIAL DEVELOPMENT: 84 TYPE STREET RICHMOND**

Client  
\_\_\_\_\_

Drawing Title  
**Building Section 4 - Proposed, Building Section 3 - Proposed, Building Section 5 - Proposed**

21 / 23

North



Drawn by  
Catherine Robinson & Gavin Wayne Mason

Checked by  
John Chow

Date  
15/09/2018, 21/09/2018

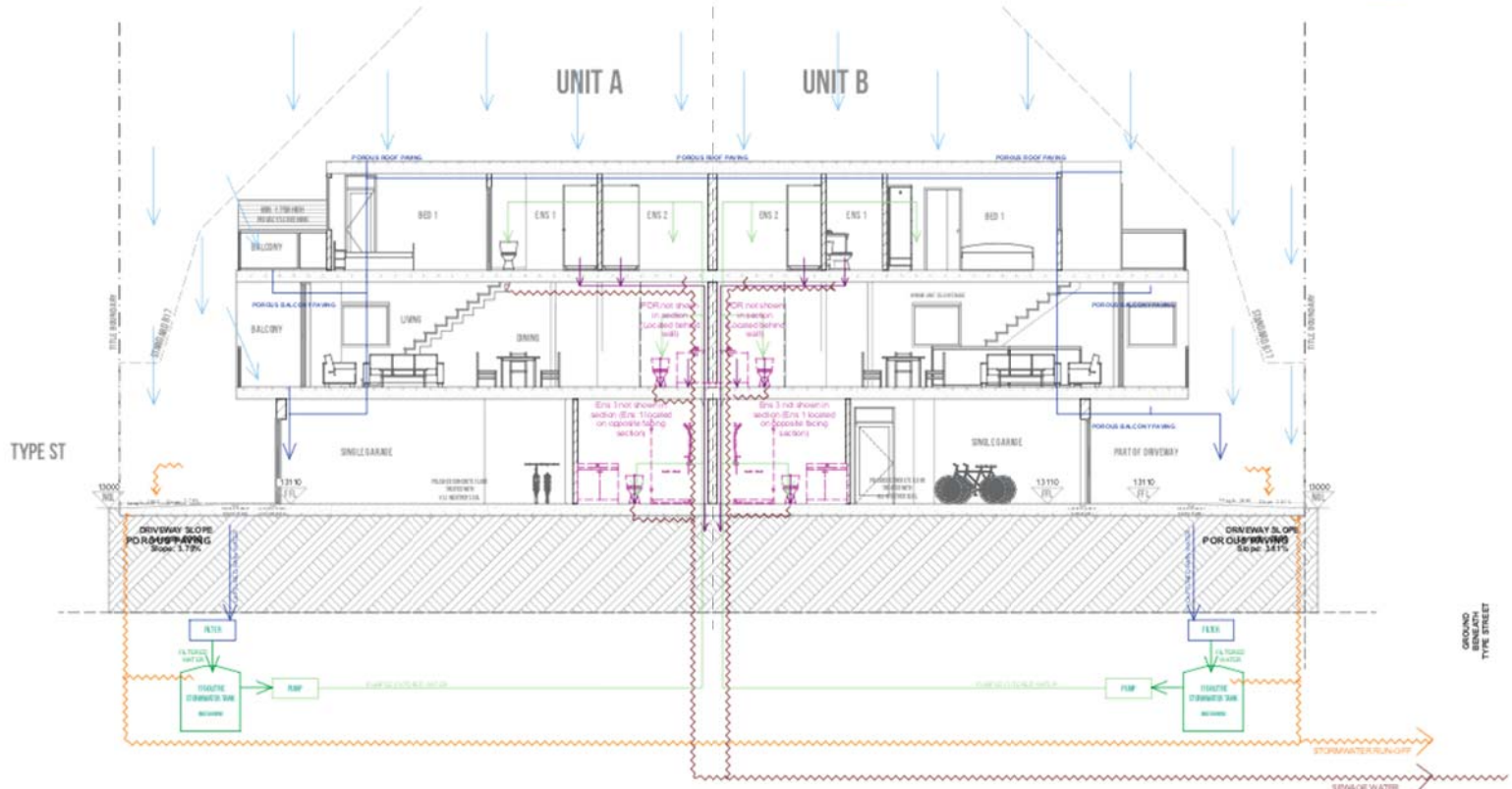
Drawing Status  
Planning Permit Application

Drawing Scale  
**1:100** (on A4 paper)

Layout ID  
**A.03.2**

PRELIMINARY ONLY  
NOT FOR CONSTRUCTION

- LEGENDS**
- RAIN
  - CAPTURED RAINWATER
  - FILTERED WATER
  - PUMPED FILTERED WATER
  - STORMWATER RUN-OFF
  - SEWAGE WATER
  - GREYWATER SYSTEM



BW-09

SECTION DETAIL - DESIGN DETAIL (CROSS-SECTION DIAGRAM)

1:75

REVISIONS		ISSUE	REVISIONS		ISSUE
NO.	DESCRIPTION	TO	DATE	NO.	DATE

CONTRACTOR MUST VERIFY DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK AND FOR SUPERSEDES ALL PREVIOUS DIMENSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL COUNCIL AND REMAINING THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL COUNCIL AND REMAINING THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

**JOHN CHOW ARCHITECT**  
30 Hilda Street Bayswater, VIC 3103

critic  
Architecture & Urbanism  
G/15A #104-4th, Bogota, Colombia

Project Title  
**RESIDENTIAL  
DEVELOPMENT:  
84 TYPE STREET  
RICHMOND**

Client

Drawing Title  
**Section Detail - Design  
Detail (Cross-section  
Diagram)**  
22 / 23

North

Drawn by Carmelo Rodriguez & Carlos Reyes-Ramos	Date 16/09/2018, 21 de agosto de 2018
Checked by John Chow	Date 16/09/2018, 21 de agosto de 2018
Drawing Status	Planning Permit Application
Drawing Scale	1:75 on A3 PAPER
Layout ID	A.03.3

**PRELIMINARY ONLY  
NOT FOR CONSTRUCTION**



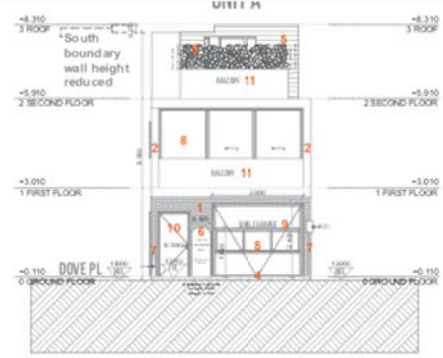
DOVE PLACE FACING WINDOWS  
(LEFT - 88 TYPE ST, RIGHT - 84 TYPE ST)  
TRANSLUCENT GLASS BLOCK WINDOWS



DOVE PLACE  
(LOOKING IN FROM TYPE STREET)



DOVE PLACE  
(IN BETWEEN 88 & 84 TYPE STREET)



**E-03 EAST ELEVATION - PROPOSED 1:100**



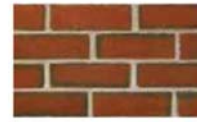
TYPE STREET



88 TYPE STREET  
(THREE STOREY EXPOSED BRICK BUILDING)



TYPE STREET  
(ADJACENT TO 76 TYPE STREET CARPARK - RIGHT)



Burwood Blue 1



2



3



4



5



REAR OF 84 TYPE STREET  
(ADJACENT TO 76 TYPE STREET CARPARK - LEFT)



REAR OF 84 TYPE STREET  
(BETWEEN 76 TYPE STREET CARPARK ON LEFT & DOVE PLACE ON RIGHT)



DOVE PLACE  
(FACING TOWARDS TYPE STREET)



7



10 (bustrade steel in black) 11



81 TYPE STREET  
(DOUBLE STOREY SINGLE RESIDENTIAL DWELLING)



89 TYPE STREET  
(SINGLE TO DOUBLE STOREY WAREHOUSE)



76 TYPE STREET  
(DOUBLE STOREY RESIDENTIAL APARTMENT BUILDING)



8



9



**E-02 SOUTH ELEVATION - PROPOSED 1:200**

REVISIONS		ISSUE		REVISIONS		ISSUE	
NO.	DESCRIPTION	TO	DATE	NO.	DESCRIPTION	TO	DATE

CONTRACTOR MUST VERIFY DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK AND FOR SUPERVISION PURPOSES DURING CONSTRUCTION. THE DIMENSIONS ON THIS DRAWING DO NOT CONSTITUTE A GUARANTEE OF ACCURACY AND SHALL BE USED IN CONJUNCTION WITH THE TERMS AND CONDITIONS OF THE CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING DIMENSIONS ON SITE PRIOR TO COMMENCEMENT.

**JOHN CHOW ARCHITECT**  
30 Hill Street Bayside, VIC 3103

Architect & Urbanist  
G/104-104-4th, Bayside, Victoria

Project Title  
**RESIDENTIAL DEVELOPMENT: 84 TYPE STREET RICHMOND**

Client

Drawing Title  
**South Elevation - Proposed, East Elevation - Proposed**

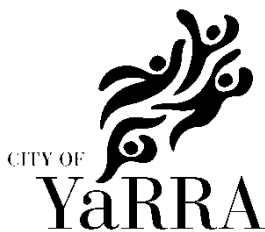
23 / 23

Drawn by: Corinne Eckwood & Gavin Hayes-Rouse  
Checked by: John Chow

Date: 16/09/18, 21/09/2018

Drawing Status: Planning Permit Application  
Drawing Scale: 1:200, 1:100 (on A4)  
Layout ID: A.04.1

**Attachment 4 - PLN17/0081 - 84 Type Street, Richmond - Urban Design Unit comments**



# MEMO

**TO: Patrick Sutton**  
**FROM: David Pryor**  
**DATE: 17 October 2017**  
**SUBJECT: 84 Type Street Richmond**  
**APPLICATION NO: PLN17/0081**  
**DESCRIPTION: Construction of two 3-storey dwellings**

Urban design advice has been sought in relation to:

- Presentation of the buildings to Type Street and Dove Place;
  - Dwelling entries and sense of address/street integration for both dwellings;
  - The prominence of car parking areas in relation to dwelling entries;
- Height and form of the building and whether this is appropriate in the context of the subject site;
- Design detail.

## COMMENTS SUMMARY

This proposal is supported in principle, but not in its current form. Recommended improvements are outlined below, including the following:

- Relocate the entrance door of Unit B to better address the street;
- Reduce the impact of parking and review the treatment of the setbacks (especially at the front) to present as spaces for people, not just vehicles;
- Reduce the bulk of the building by halving the extent of the top floor;
- In conjunction with the reduction in bulk, revise the design to achieve a more compelling composition.

## Site and Context

The site is zoned GRZ2, where dwellings must not exceed the height of 9 metres. No known overlays apply. It sits within the Inner Suburban Residential area.

A two-storey house currently occupies the site with tumbled bricks to the ground floor and weatherboards above.

## Built Form and Massing

The proposal is a three-storey form filling most of the site, except for 2.9m setbacks at the front and back. There is a further setback at first and second floor levels, but its effectiveness is limited by full-width balconies with fairly solid side walls. The front setback is reasonably consistent with the existing pattern.

#### **Attachment 4 - PLN17/0081 - 84 Type Street, Richmond - Urban Design Unit comments**

The three storey form is somewhat out of character with the neighbourhood, where most buildings are one or two storeys. 88 Type St, on the south side of Dove Pl, does reach three storeys for part of its frontage; however, being a converted heritage building, it is desirable for #88 to have a stronger presence in the streetscape than the subject proposal; its height is therefore not considered sufficient justification for the proposed bulk of the subject proposal. Although the proposal is only one storey taller than the adjacent two-storey building to the north, the neighbour has a substantial setback from the side boundary, resulting in the full height of the proposed three-storey blank side elevation impacting on views from the street.

Design Guidelines under Clause 22.10-3.3 include: *New development which abuts a laneway should be no higher than 2 storeys.*

To address the above issues, it is recommended that the extent of the top floor level be reduced by at least half. The architect could be given some flexibility to achieve this reduced bulk in a way which best contributes to the overall composition of the building, noting that the narrow (5.4m) width of the site limits the scope for effective side setbacks.

#### **Street Interface**

Entries: Unit A addresses Type St, the entry door flush with the front wall. The 2.9m setback provides a modest buffer from the street. This is acceptable, but shelter over this entry would give it a stronger presence, and more extensive planting would create a more effective buffer. The address to the street could be further improved by locating the water tank beneath paving and replacing it with a garden bed.

Unit B is accessed from Dove Place, and the entry door is concealed behind a solid wing wall. This results in a very poor sense of address and is not considered acceptable. Even without the wing wall, the entry would not be visible as one approaches from Type St, as it is set back behind the driveway and obscured by the garage. It is recommended that this entry be relocated to the southeast corner of Unit B, with a deeper, more distinctive opening to help highlight the entry.

Carparking has an unduly dominating impact at ground floor level, occupying most of the frontage. Further, the associated driveways severely limit opportunities for soft landscaping, and the proposed paving resembles asphalt, resulting in the whole frontage presenting as a space for vehicles. A more pedestrian-focused paving treatment is recommended (eg sleepers or pavers with ground-cover between), so that the setback areas can present as spaces for people. It is further recommended that the garage doors be more transparent, allowing for greater visual interaction between inside and outside. These measures are particularly important at the front of the site. Alternatively, the impact of parking could be reduced by halving the area and frontage occupied by it.

The openable windows looking onto the lane (Dove Place) are supported from an urban design perspective, noting that Objectives under Clause 22.07 include: *To provide an environment which has a feeling of safety for users of the laneway.* However, I have not assessed overlooking, and I note that some window sashes project into the lane with a clearance of only a metre.

#### **Building Design and Finishes**

The proposed brick and timber contribute tactile qualities appropriate to a residential development. However, the design lacks a strong composition in its overall form, in the distribution of materials and in the pattern of fenestration to the south elevation. It is recommended that, in the process of

**Attachment 4 - PLN17/0081 - 84 Type Street, Richmond - Urban Design Unit comments**

reducing the building's bulk as recommended above, the design be reviewed and strengthened generally. A perspective sketch and a design rationale would be appreciated, accompanying the revised design.

The "timber look" aluminium screening to balconies will tend to look artificial, given its juxtaposition with real timber. Consideration should be given to using ironbark slats to match the adjacent wall.

The above advice is limited to urban design issues, and does not address ESD, amenity or heritage, for example.

## Attachment 5 - PLN17/0081 - 84 Type Street - Engineering comments



## MEMO

**To:** Patrick Sutton  
**From:** Artemis Bacani  
**Date:** 6 October 2017  
**Subject:** Application No: PLN17/0081  
 Description: Construction of Two Three-Bedroom Dwellings  
 Site Address: 84 Type Street, Richmond

I refer to the above Planning Application received on 11 September 2017 in relation to the proposed development at 84 Type Street, Richmond. Council's Engineering Services unit provides the following information:

**CAR PARKING PROVISION****Proposed Development**

Under the provisions of Clause 52.06-5 of the Yarra Planning Scheme, the development's parking requirements are as follows:

Proposed Use	Quantity/ Size	Statutory Parking Rate	No. of Spaces Required	No. of Spaces Allocated
Three-bedroom dwelling	2	2 spaces to each dwelling	4	2

A car parking reduction of two spaces is sought.

To reduce the number of car parking spaces required under Clause 52.06-5 (including to reduce to zero spaces), the application for the car parking reduction must be accompanied by a Car Parking Demand Assessment.

**Car Parking Demand Assessment**

In reducing the number of parking spaces required for the proposed development, the Car Parking Demand Assessment would assess the following:

- *Parking Demand for Three-Bedroom Dwellings.*  
 Car ownership rates for three-bedroom dwellings in Richmond have been sourced from the 2011 Census conducted by the Australian Bureau of Statistics. For townhouse type dwellings of two or more storeys, the car ownership rate for three-bedroom townhouses in Richmond is 1.5 cars. The proportion of three-bedroom townhouses in Richmond owning one vehicle is 43% (compared with 50% for the proposed development). The proportion of three-bedroom townhouses owning two cars is 41%. The statistics suggest that there is a sizeable proportion of three-bedroom townhouses in Richmond that own at least one car. The car parking provision for the proposed three-bedroom dwellings is considered appropriate and is fairly consistent with the statistical average for this dwelling type.

The property has excellent accessibility to public transport services and occupants would be well aware of the on-site allocation of car parking for each dwelling.



## Attachment 5 - PLN17/0081 - 84 Type Street - Engineering comments

- *Availability of Public Transport in the Locality of the Land.*  
The site is within walking distance of tram services operating along Bridge Road and Swan Street. Rail services can be obtained from Burnley railway station.
- *Multi-Purpose Trips within the Area.*  
Visitors to the site might combine their visit by engaging in other business or activities whilst in the Richmond area.
- *Convenience to Pedestrian and Cycling Access to the Site.*  
The Bridge Road and Swan Street activity centres would have a very high serviceability for pedestrians. The site has good connectivity to the on-road bicycle network. It is highly probable that some visitors to the site would either live or work locally. Pedestrians and cyclists should be able to access the site conveniently.

### **Appropriateness of Providing Fewer Spaces than the Likely Parking Demand**

Clause 52.06 lists a number of considerations for deciding whether the required number of spaces should be reduced. For the subject site, the following considerations are as follows:

- *Availability of Car Parking.*  
Long-stay parking in the surrounding area is very scarce to almost non-existent. Type Street and many of the surrounding streets contain a 2P parking restriction. The short-stay restrictions would have regular turnover throughout the day and improve opportunities for visitors to find a parking space near the site. The lack of long-stay parking and high parking demand would encourage visitors to commute to the site by alternative transportation modes such as catch public transport or ride a bicycle or walk to the site.
- *Access to or Provision of Alternative Transport Modes.*  
The site has very good accessibility to public transport and connectivity to the on-road bicycle network. The site is also in proximity to on-street car share pods. A Flexicar car share pod is located in Burnley Street (south of Bliss Street), approximately 250 metres south-west of the site.
- *Other Relevant Considerations.*  
The occupants of the new dwellings will not be eligible to apply for on-street residential and visitor car parking permits.

### **Adequacy of Car Parking**

From a traffic engineering perspective, the waiver of two parking spaces associated with the dwellings is considered appropriate in the context of the development and the surrounding area. The parking overflow generated by the site can be accommodated on-street.

Engineering Services has no objection to the reduction in the car parking requirement for this site.

**Attachment 5 - PLN17/0081 - 84 Type Street - Engineering comments**

**DEVELOPMENT LAYOUT DESIGN  
Layout Design Assessment**

Item	Assessment
<b>Access Arrangements</b>	
Development Entrance	<p>Access to the garage for Unit A would be via Type Street and the garage for Unit B would be off Dove Place.</p> <p>A new vehicle crossing in Type Street would be required to service Unit A.</p> <p>A site inspection revealed that there is an existing concrete bollard, service pit and a parking sign in front of the site's Type Street road frontage.</p>
Doorway Width of Garages	The doorway width for the garages is 2.5 metres.
Headroom Clearance at Garage Entrance	Doorways have a headroom clearance of 2.4 metres to satisfy <i>Design standard 1 – Accessways</i> of Clause 52.06-9.
Vehicle Crossing – Type Street	Not shown on the drawings.
Vehicle Turning Movements – Unit B	<p>Swept path diagrams not provided.</p> <p>The swept path for a B85 design vehicle for the garage at Unit B was checked using AutoCAD's Auto Track program.</p> <p>The program demonstrated that the proposed garage is insufficient to provide vehicle entry and exit off Dove Place.</p>
<b>Car Parking Modules</b>	
Car Parking Spaces	The garages have an internal dimension of 3.1 metres by 6.6 metres which satisfy AS/NZS2890.1:2004.

**Design Items to be Addressed**

Item	Details
Development Entrance	All existing service pits, street furniture, and parking signs at the Type Street road frontage must be shown on the drawings.
Vehicle Crossing – Type Street	The position and width of the vehicle crossing must be shown on the drawings.
Vehicle Turning Movements – Unit B	<p>Since the vehicle access for Unit B is insufficient off Dove Place, the applicant must consider an alternative design for the car space.</p> <p>The applicant could consider re-positioning the garage/car space along the western boundary of the site, adjacent to the Right of Way, and to orientate the garage/car space at 90-degrees from Dove Place.</p>

**Attachment 5 - PLN17/0081 - 84 Type Street - Engineering comments**

**Design Items to be Addressed**

Item	Details
Internal Concrete Slab	For any new internal concrete works, the finished floor levels along the edge of the slab must be set 40 mm above the edge of Dove Place – Council Infrastructure Requirement.
Telecommunication Pit – Type Street Road Frontage	The construction of a vehicle crossing for Unit A would require the applicant to obtain advice and consent from the relevant service authority in relation to the position of the telecommunication pit along the footpath. A copy of written advice/consent from the service authority must be submitted to Council as part of the planning application.
Concrete Bollards	Concrete bollards are currently positioned on the south-east corner of Type Street and Dove Place, and along the southern boundary of the site in Dove Place. The bollards must either be removed or relocated at the Permit Holder's expense.

**ENGINEERING CONDITIONS**

**Civil Works**

- Upon the completion of all building works and connections for underground utility services, the footpath and the kerb and channel immediately outside the property's Type Street road frontage must be fully re-constructed to Council's satisfaction and at the Permit Holder's expense.

**Road Asset Protection**

- Any damaged roads, footpaths and other road related infrastructure adjacent to the development site as a result of the construction works, including trenching and excavation for utility service connections, must be reconstructed to Council's satisfaction and at the developer's expense.

**Impact of Assets on Proposed Development**

- Any services poles, structures or pits that interfere with the proposal must be adjusted, removed or relocated at the owner's expense after seeking approval from the relevant authority.
- Areas must be provided inside the property line and adjacent to the footpath to accommodate pits and meters. No private pits, valves or meters on Council property will be accepted.

**Removal, Adjustment, Changing or Relocation of Parking Restriction Signs**

- No parking restriction signs or line-marked on-street parking bays are to be removed, adjusted, changed or relocated without approval or authorisation from Council's Parking Management unit and Construction Management branch.
- Any on-street parking reinstated (signs and line markings) as a result of development works must be approved by Council's Parking Management unit.

**Attachment 5 - PLN17/0081 - 84 Type Street - Engineering comments**

**NON-PLANNING ADVICE FOR THE APPLICANT**

**Legal Point of Discharge**

- The applicant must apply for a Legal Point of Discharge under Regulation 610 – Stormwater Drainage of the *Building Regulations 2006* from Yarra Building Services unit. Any storm water drainage within the property must be provided and be connected to the nearest Council pit of adequate depth and capacity (legal point of discharge), or to Council's satisfaction under Section 200 of the *Local Government Act 1989* and Regulation 610.

**Pedestrian Access and Provisions of Public Lighting**

- Pedestrian access off Dove Place must be Disability Discrimination Act (DDA) compliant and would require the developer to provide an adequate level of lighting to the pedestrian entrance. Essentially, Rights of Way, lanes, and back roads that provide primary pedestrian access to residential properties must be adequately lit from the nearest street the entrances of the residential properties (Council policy).

Public lighting for pedestrian access must comply with the minimum lighting level of P4 as per the Australian Standard AS/NZS 1158.3.1:2005 *Lighting for roads and public spaces – Pedestrian area (Category P) lighting – Performance and design requirements*.

Any public lighting works that are required will require the developer to consult all nearby properties with respect to the location of any lights or poles. The placement of poles must not affect manoeuvrability into garages or off-street parking spaces. Light must not spill into the windows of the subject site or into the windows of any adjoining residences.

Should a new luminaire and pole be required, all installation works can only be carried out by Citipower and must comply with Citipower standard requirements and regulations. The new light would be under the Citipower maintenance scheme once installed. A new light can only be sourced from the energy efficient series adopted by Citipower for standard lights.

**Vehicle Crossing – Cross Sectional Drawing**

- The applicant must prepare and submit a 1 in 20 scale cross sectional drawing of the development's vehicular entrance, showing the actual reduced levels to three decimal places (not interpolated levels from the application drawings) of the Type Street road profile (from the centre line to the property line). The required levels include the building line level, top of kerb level, invert level, lip level and road pavement levels. The existing road profile of Type Street and the accessway inside the property must be accurately drawn. The applicant must demonstrate by way of a ground clearance check using the B85 design vehicle that vehicles can traverse the new vehicle crossing and ramp without scraping or bottoming out.

The 1 in 20 scale cross sectional drawing must be submitted to Council's Construction Management branch for assessment and approval.

Regards

Artemis Bacani  
Roads Engineer  
Engineering Services Unit

**Attachment 5 - PLN17/0081 - 84 Type Street - Engineering comments**

## Attachment 5 - PLN17/0081 - 84 Type Street - Engineering comments



## MEMO

**To:** Laura Condon  
**From:** Artemis Bacani  
**Date:** 14 June 2018  
**Subject:** Application No: PLN17/0081  
 Description: 57A Amended Drawings  
 Site Address: 84 Type Street, Richmond

I refer to the above Planning Application received on 18 May 2018 in relation to the proposed development at 84 Type Street, Richmond. Council's Civil Engineering unit provides the following information:

**AMENDED DRAWINGS**  
**Development Layout Design**

John Chow Architect Drawing Nos. A.01.5 dated 14 February 2018

Item	Assessment
<b>Access Arrangements</b>	
Development Entrance off Dove Place	Vehicle access into and out of the garage off Dove Place is considered satisfactory.
Development Entrance off Type Street	Vehicle access into and out of the garage off Type Street is considered satisfactory.
Doorway Width of Garages	Using the Trapeze management tool, the garage doorway have widths of 3.0 and 3.5 metre respectively to satisfy satisfy <i>Design standard 1 – Accessways</i> .
Headroom Clearance at Garage Entrance	Using the Trapeze management tool, the headroom clearance at each doorway is 2.3 metres which also satisfies <i>Design standard 1 – Accessways</i> .
Vehicle Crossing – Type Street	The proposed vehicle crossing off Type Street is 3.0 metres wide.
<b>Car Parking Modules</b>	
Car Parking Spaces	The minimum internal dimension of each garage is 3.0 metres by 5.7 metres which satisfies AS/NZS2890.1:2004.

**Attachment 5 - PLN17/0081 - 84 Type Street - Engineering comments**

**Design Items to be Addressed**

Item	Details
Primary Pedestrian Entrance – Unit B	The main pedestrian access for Unit B is off the Right of Way along the southern boundary of the site. Pedestrians exiting the property would step out immediately onto the Right of Way. Given that the Right of Way carries some vehicle traffic, the main pedestrian access should be relocated/setback or the pedestrian visibility at the entry should be improved.
Concrete Bollards	The concrete bollards on the south-east corner of Type Street and Dove Place and along the north side of Dove Place must either be removed or relocated at the Permit Holder's expense.
Existing Parking Sign	The applicant is to liaise with Council's Parking Management unit to relocate the No Stopping/2P 7am-7pm Mon to Sat parking sign and pole north of the new vehicle crossing.

**N.B.** - The Engineering Conditions and Non-Planning Advice as per our engineering referral comments of 6 October 2017 are relevant and pertinent to this development application. In addition:

**ENGINEERING CONDITIONS**

**Civil Works**

- The vehicle crossing servicing the development's entrance on the west side of Type Street must be constructed to Council's satisfaction. Materials to be used must comply with Council's *Infrastructure Road Materials Policy*. The vehicle crossing must satisfy the vehicle ground clearance requirements for the B99 design vehicle.

Attachment 5 - PLN17/0081 - 84 Type Street - Engineering comments



MEMO

To: Laura Condon  
 From: Artemis Bacani  
 Date: 23 August 2018  
 Subject: Application No: PLN17/0081  
 Description: Amended Sketch Drawings  
 Site Address: 84 Type Street, Richmond

I refer to the amended **sketch** drawings received on 21 August 2018 in relation to the proposed development at 84 Type Street, Richmond. Council's Civil Engineering unit provides the following information:

**VEHICLE GATE OPENING**

The vehicle gate opening for Unit B must be a minimum of 4.0 metres in width to provide adequate entry and exit for a B85 design vehicle off Dove Place. The gate opening must commence approximately 1.0 metre from the south-west corner of the site as shown in *Diagram 1* and extend along the southern boundary for a minimum distance of 4m. The vehicle entry into the property may require a correctional movement to access the garage.

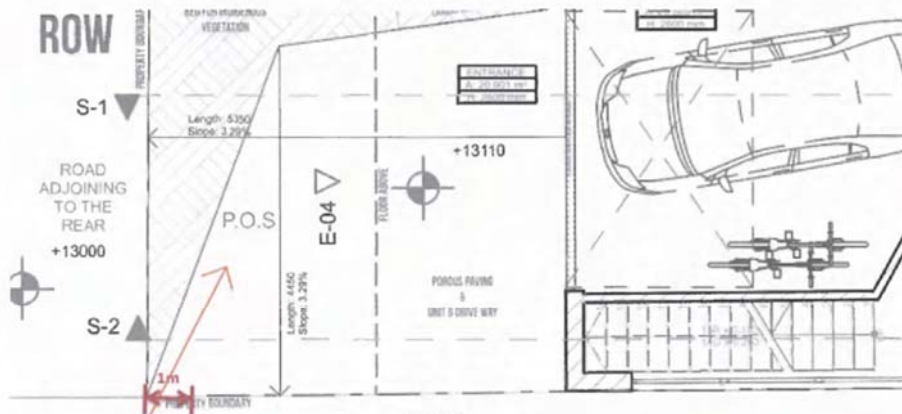


Diagram 1

A check on Trapeze shows that vehicle access into the garage is adequate off Dove Place for a B85 design vehicle as shown in *Diagram 2*.

The reverse manoeuvre for Unit B for a B85 design vehicle was also checked and was considered adequate as shown in *Diagram 3*.

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Attachment 5 - PLN17/0081 - 84 Type Street - Engineering comments

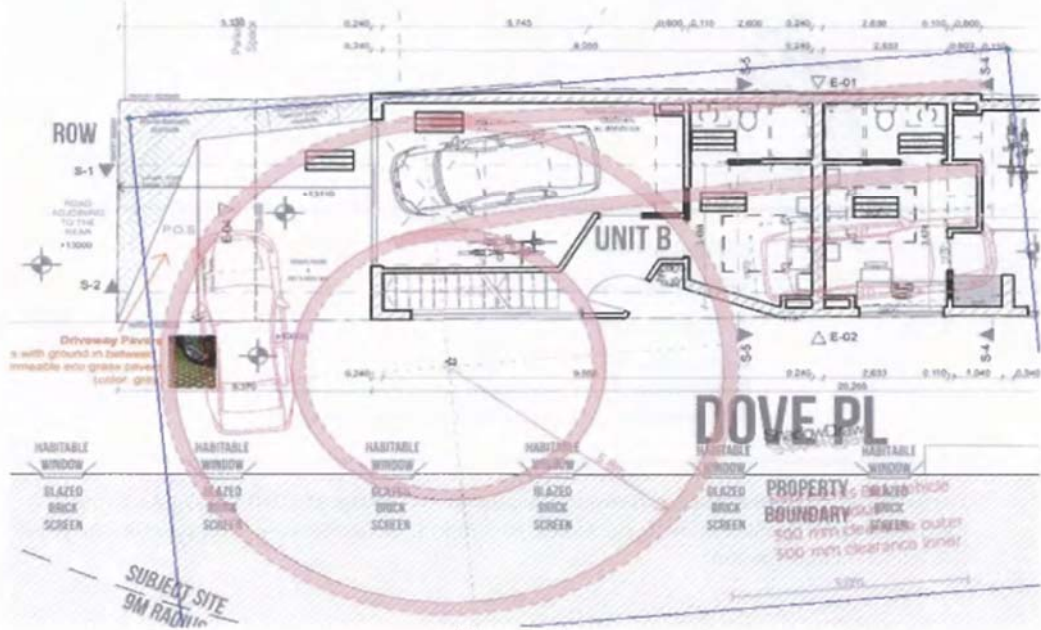


Diagram 2

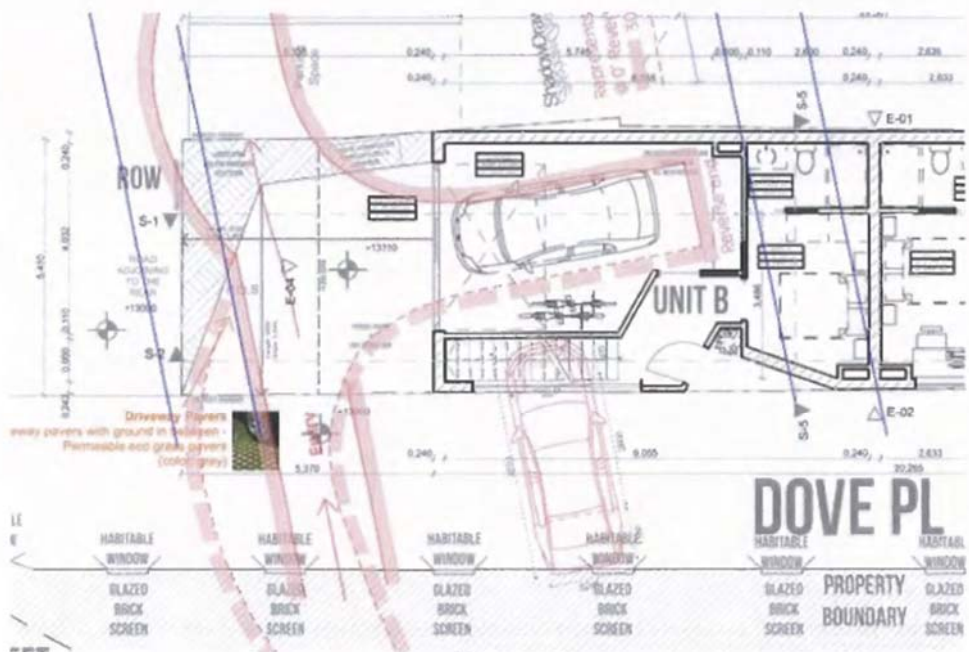


Diagram 3

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