

Attachment 1 - PLN17/0894 - 127 George Street Fitzroy - Subject Land

SUBJECT LAND: 127 George Street, Fitzroy



↑ North

★ Subject Site

Attachment 2 - PLN17/0894 - 127 George Street Fitzroy - Decision Plans

1702 GEOR

127 GEORGE STREET, FITZROY

DRAWING LIST	SCALE
A0.00 TITLE SHEET	N/A
A0.01 EXISTING/DEMOLITION SITE + ROOF PLAN	1:100
A0.02 EXISTING/DEMOLITION GROUND FLOOR PLAN	1:100
A0.03 EXISTING/DEMOLITION FIRST FLOOR PLAN	1:100
A0.04 EXISTING/DEMOLITION ELEVATIONS	1:100
A0.05 EXISTING/DEMOLITION ELEVATIONS	1:100
A1.00 PROPOSED SITE + ROOF PLAN	1:100
A1.01 PROPOSED GROUND FLOOR PLAN	1:100
A1.02 PROPOSED FIRST FLOOR PLAN	1:100
A3.01 PROPOSED ELEVATIONS	1:100
A3.02 PROPOSED ELEVATIONS	1:100
A9.01 SHADOW DIAGRAMS	1:200

CLAIRE SCORPO
ARCHITECTS

• clairescorpoarchitects.com
 t 03 9447 1544
 • jph@csa.com.au
 127 George Street
 Fitzroy, VIC 3065

rev	type	date	notes
P1	PRELIMINARY ISSUE	21.08.2017	
P2	PLANNING ISSUE	14.10.2017	

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THAT ALL DIMENSIONS, LEVELS & DETAILS ARE TO BE PROVIDED FROM TO COMMENCEMENT OF THE WORK AND TRIMMING OF MATERIALS. ALL DIMENSIONS ARE TO BE REPORTED TO THE DESIGNER FOR REVISION PRIOR TO COMMENCEMENT OF THE WORK.

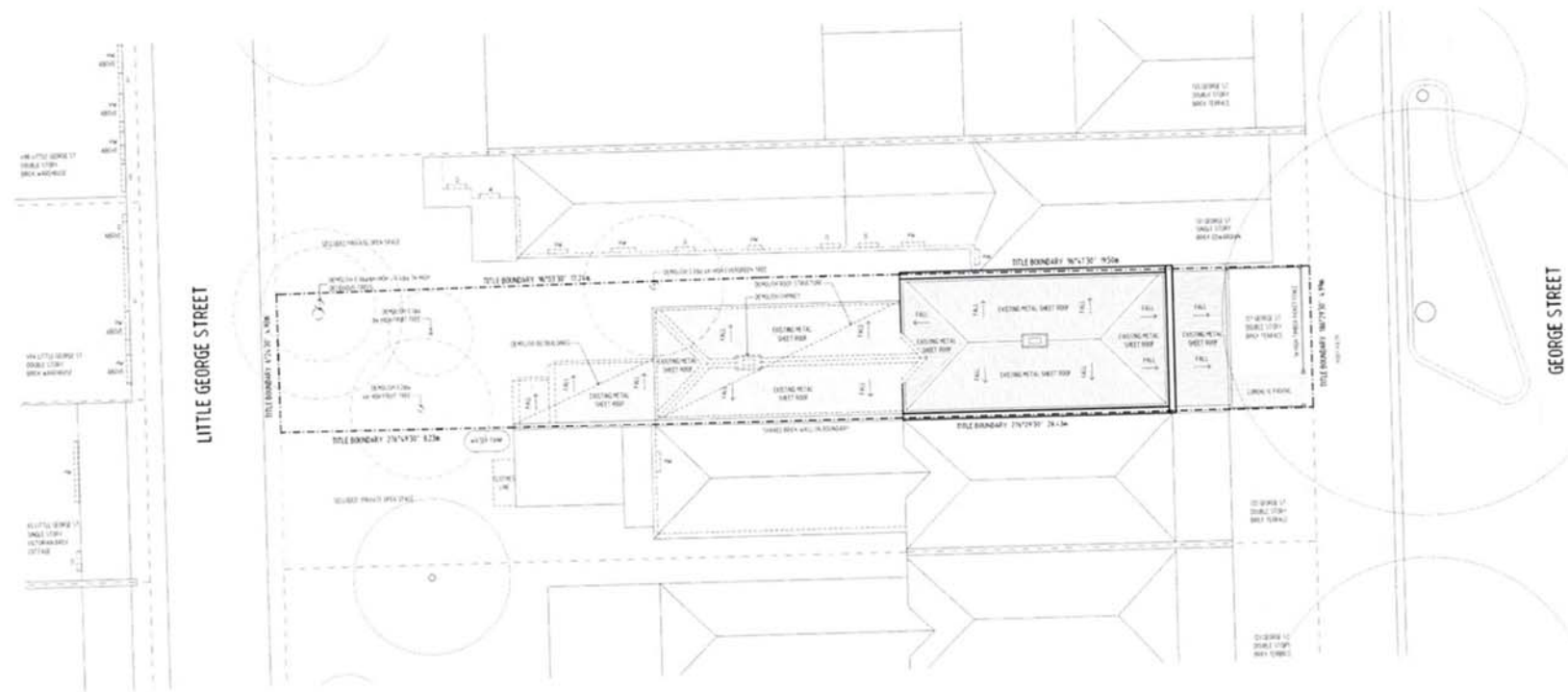
project: 1702 GEOR
 phase: Town Planning
 address: 127 George Street
 Fitzroy, VIC

drawing:
 COVER SHEET



A0.00 rev 0
 date: 13.10.2017
 scale: 1:1.0 @ A2

Attachment 2 - PLN17/0894 - 127 George Street Fitzroy - Decision Plans



EXISTING / DEMOLITION SITE & ROOF PLAN

CLAIRE SCORPO ARCHITECTS

41 Phillip Street
Melbourne VIC 3000
Phone: 03 9412 5300
Email: info@csa.com.au
127 George Street
Fitzroy VIC 3065

rev	type	date	notes
P1	PRELIMINARY ISSUE	31.08.2017	
P2	PLANNING ISSUE	22.02.2018	

NOTES:
 1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS.
 2. THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND REPORT TO THE ARCHITECT IMMEDIATELY.
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 5. THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND REPORT TO THE ARCHITECT IMMEDIATELY.

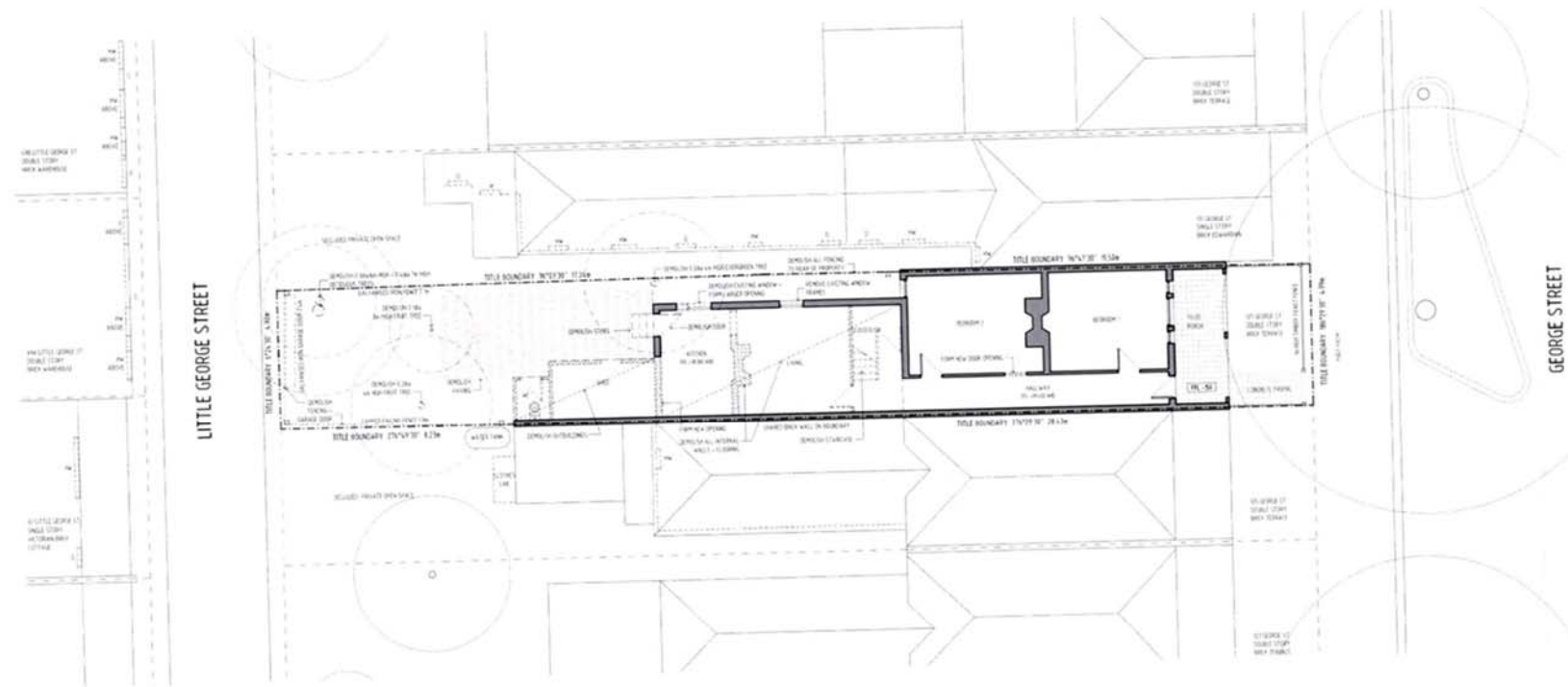
project: 127 GEORGE STREET
 phase: Planning
 address: 127 George Street
 Fitzroy VIC

drawing: EXISTING / DEMOLITION SITE & ROOF PLAN



A0.01
 date: 22.02.2018
 scale: 1:100

Attachment 2 - PLN17/0894 - 127 George Street Fitzroy - Decision Plans



EXISTING / DEMOLITION GROUND FLOOR PLAN
1:100

CLAIRE SCORPO
ARCHITECTS

44/45 Little George Street
Fitzroy VIC 3122
Phone: 03 9412 1111
127 George Street
Fitzroy VIC 3122

rev	type	date	notes
P1	PRELIMINARY ISSUE	21.08.2017	
P2	PLANNING ISSUE	22.09.2017	

NOTES:
1. THIS PLAN IS TO BE USED IN CONNECTION WITH ALL OTHER CONTRACT DOCUMENTS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
3. THE NAME AND ADDRESS OF MATERIALS AND SUPPLIERS SHALL BE TO BE DETERMINED BY THE CONTRACTOR.
4. TO BE USED FOR THE DESIGN AND CONSTRUCTION OF THE WORK.

project: 127 GEORGE STREET
phase: Town Planning
address: 127 George Street Fitzroy VIC

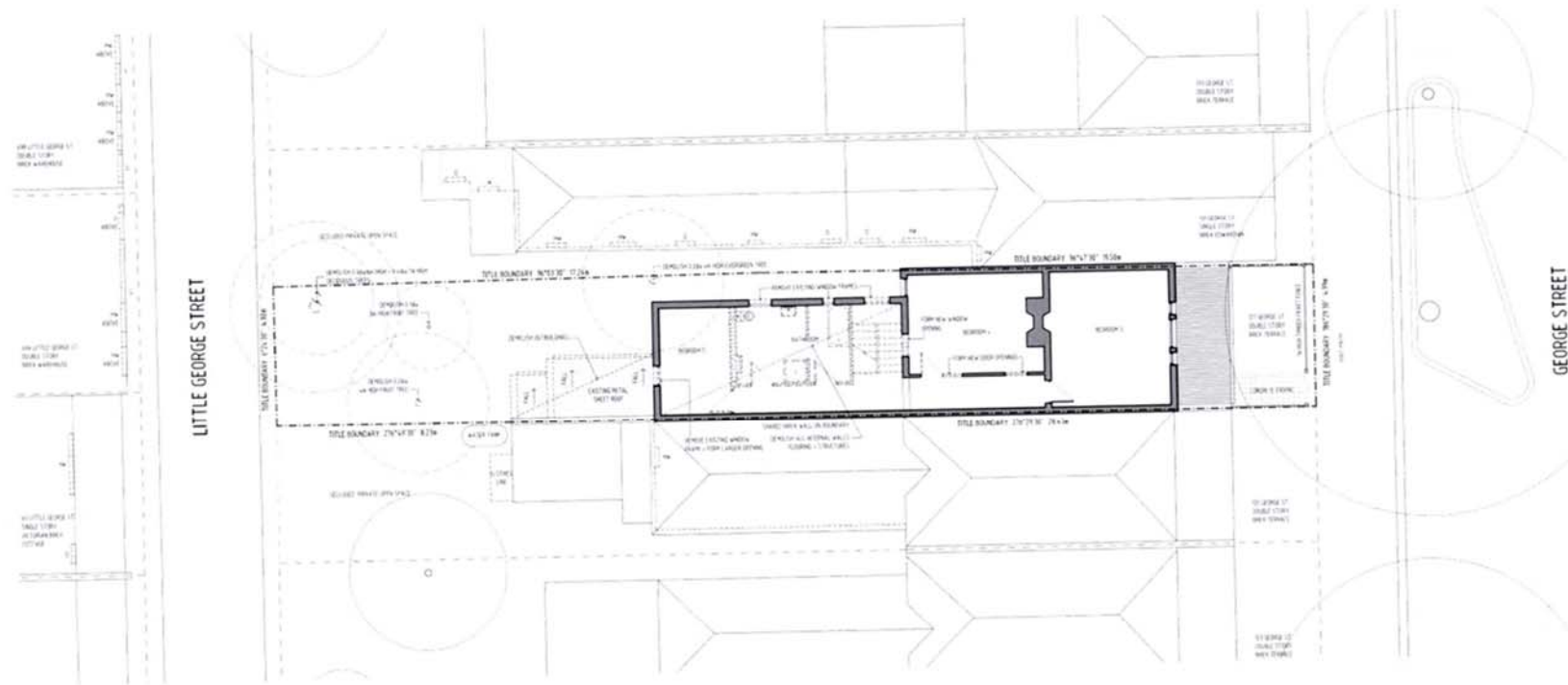
drawing: EXISTING / DEMOLITION GROUND FLOOR PLAN



A0.02

date: 22.09.2017
scale: 1:100

Attachment 2 - PLN17/0894 - 127 George Street Fitzroy - Decision Plans



EXISTING / DEMOLITION FIRST FLOOR PLAN
1:100

CLAIRE SCORPO
ARCHITECTS

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- 127 GEORGE STREET
- Fitzroy VIC 3065
- 03 9439 1234
- 127 George Street
- Fitzroy VIC 3065

rev	type	date	notes
P1	PRELIMINARY ISSUE	31.08.2017	
P2	PLANNING ISSUE	12.10.2017	

NOTES:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL COUNCIL AND ANY OTHER RELEVANT AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL COUNCIL AND ANY OTHER RELEVANT AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL COUNCIL AND ANY OTHER RELEVANT AUTHORITIES.

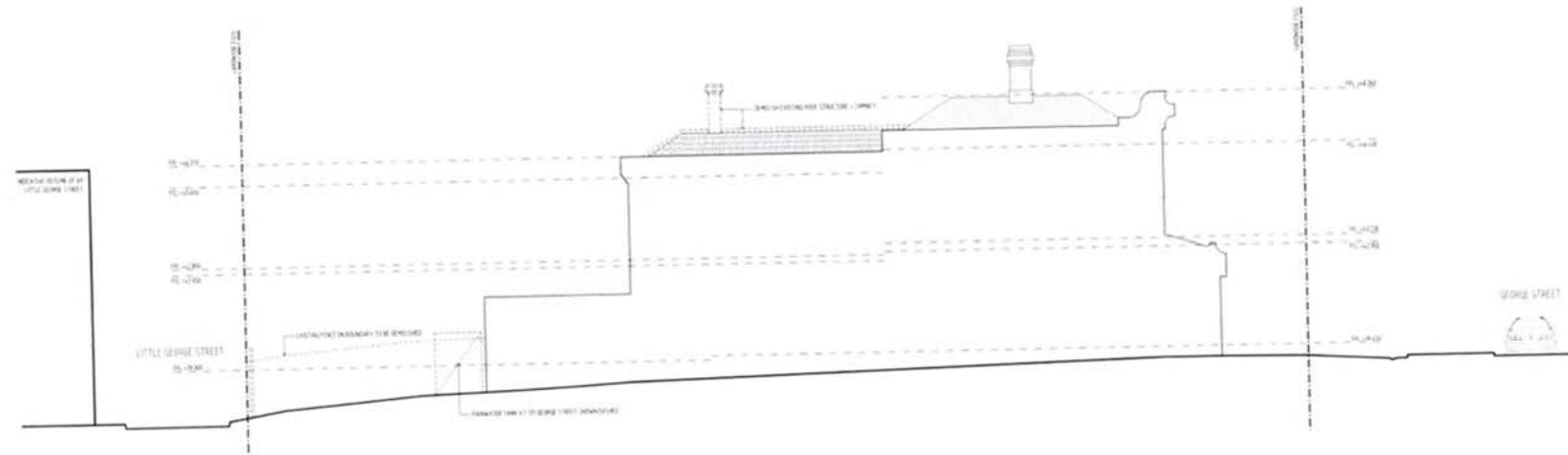
project: 127 GEORGE STREET
 phase: Town Planning
 address: 127 George Street
 Fitzroy VIC

drawing:
 EXISTING / DEMOLITION
 FIRST FLOOR PLAN

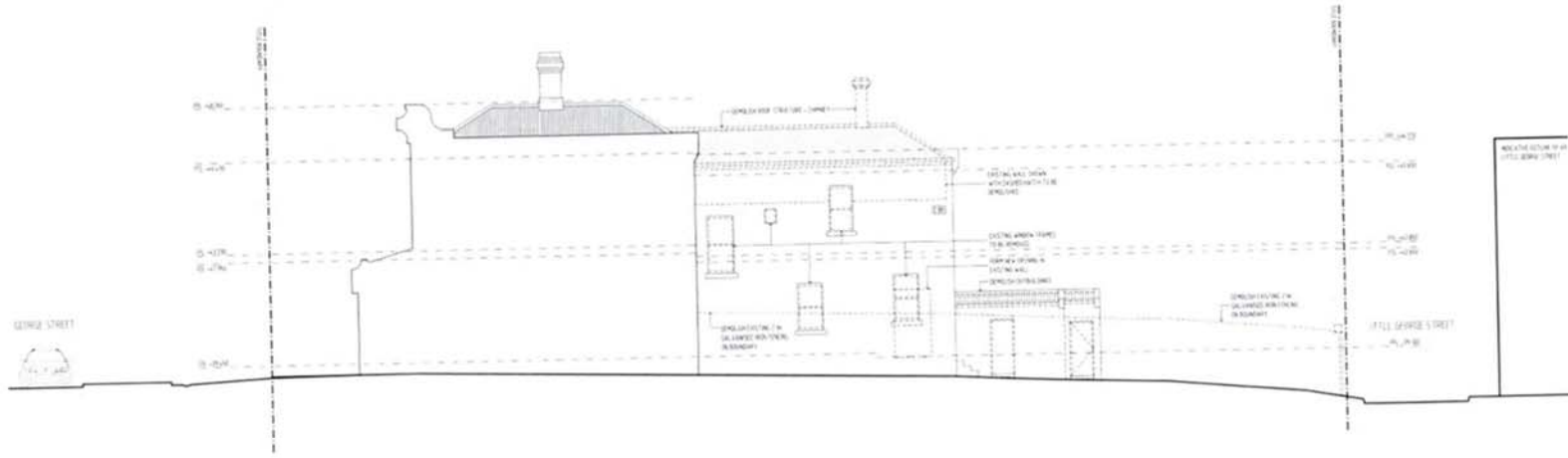


A0.03
 date: 27.08.2017
 scale: 1:100 (A4)

Attachment 2 - PLN17/0894 - 127 George Street Fitzroy - Decision Plans



EXISTING / DEMOLITION SOUTH ELEVATION



EXISTING / DEMOLITION NORTH ELEVATION

CLAIRE SCORPO
ARCHITECTS

Project: 127 George Street
Address: 127 George Street
Fitzroy, VIC 3065

REV	TYPE	DATE	NOTES
P1	PRELIMINARY ISSUE	31.08.2017	
P2	PLANNING ISSUE	12.10.2017	

NOTES:
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL COUNCIL AND ANY OTHER RELEVANT AUTHORITIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL COUNCIL AND ANY OTHER RELEVANT AUTHORITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL COUNCIL AND ANY OTHER RELEVANT AUTHORITIES.

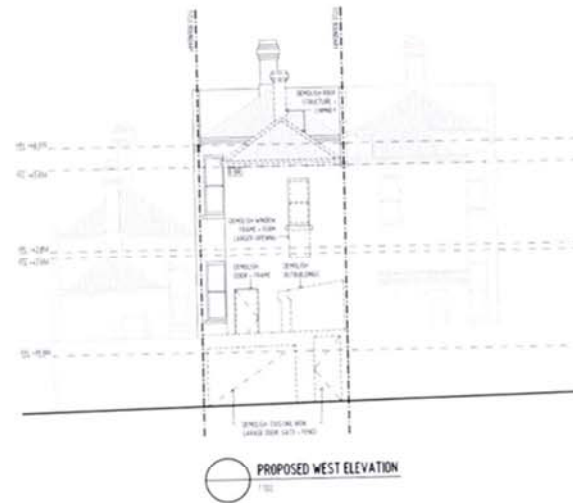
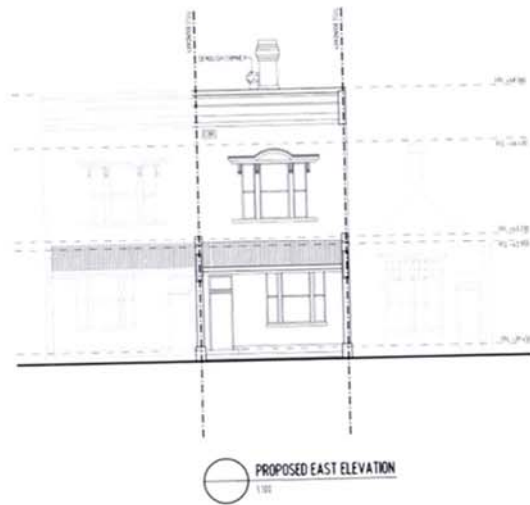
Project: 127 George Street
Address: 127 George Street
Fitzroy, VIC 3065

Drawing: EXISTING / DEMOLITION ELEVATIONS



A0.04
Date: 31.10.2017
Scale: 1:100 (B.A.)

Attachment 2 - PLN17/0894 - 127 George Street Fitzroy - Decision Plans



CLAIRE SCORPO
ARCHITECTS

- 127 George Street Fitzroy VIC 3065
- 127 George Street Fitzroy VIC 3065
- 127 George Street Fitzroy VIC 3065

rev	type	date	notes
P1	PRELIMINARY ISSUE	31.08.2017	
P2	PLANNING ISSUE	12.10.2017	

NOTES:
 1. THIS DOCUMENT IS TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THAT ALL DIMENSIONS, LEVELS, SIZES, AND QUANTITIES ARE CORRECT AND THAT THE WORK AND ORDERING OF MATERIALS, ALL DIMENSIONS, ARE TO BE REPORTED TO THE DESIGNER FOR REVISION PRIOR TO COMMENCEMENT OF THE WORK.

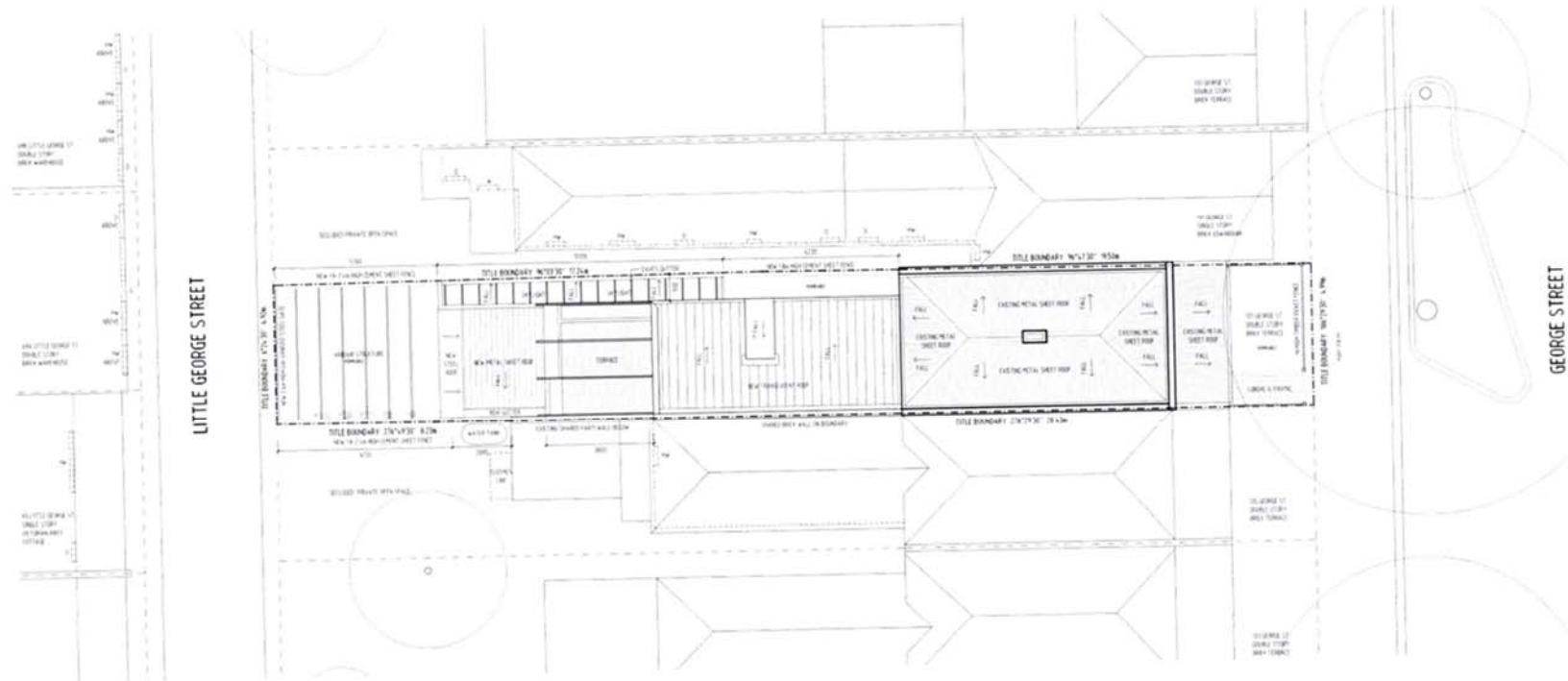
project: 1111 GEORGE STREET
 phase: Final Planning
 address: 127 George Street Fitzroy VIC

drawing: EXISTING / DEMOLITION ELEVATIONS



A0.05 rev P2
 date: 31.08.2017
 scale: 1:100 @ A2

Attachment 2 - PLN17/0894 - 127 George Street Fitzroy - Decision Plans



PROPOSED SITE & ROOF PLAN

SITE COVERAGE		SITE PERMEABILITY		PRIVATE OPEN SPACE		SUMMARY	
TOTAL SITE AREA	195m ²	EXISTING PERMEABLE AREA	56.2m ² - 28%	EXISTING P.O.S	24.0m ² - 12%	AREA OF EXISTING DWELLING	105.4m ²
EXISTING SITE COVERAGE	105.4m ² - 53%	PROPOSED PERMEABLE AREA	43.5m ² - 22%	EXISTING SECLUDED P.O.S	63.9m ² - 33%	AREA TO BE DEMOLISHED	9.9m ²
PROPOSED SITE COVERAGE	136.0m ² - 70%			PROPOSED P.O.S	24.0m ² - 12%	AREA OF PROPOSED ADDITION	39.5m ²
				PROPOSED SECLUDED P.O.S	4.93m ² - 2%		

COMPARATIVE NEIGHBOURING SITE COVERAGE

ADDRESS	SITE AREA	BUILT AREA	SITE COVERAGE
131 GEORGE ST	176.9m ²	123.9m ²	70%
133 GEORGE ST	185.9m ²	125.2m ²	67%
134 GEORGE ST	252.5m ²	205.5m ²	81%
139 GEORGE ST	380.0m ²	293.5m ²	77%
141 GEORGE ST	171.0m ²	139.0m ²	81%
151 GEORGE ST	192.0m ²	153.5m ²	80%
159 GEORGE ST	192.0m ²	150.0m ²	78%

CLAIRE SCORPO ARCHITECTS

177 George Street
Fitzroy VIC 3065

rev	type	date	notes
P1	PRELIMINARY ISSUE	31.08.2017	
P2	PLANNING ISSUE	12.02.2017	

NOTES:
1. ALL DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF THE WORK AND OBTAINING OF MATERIALS AND TO BE RE-REPORTED TO THE ARCHITECT FOR REVIEW PRIOR TO COMMENCEMENT OF THE WORK.

project: 177 GEORGE STREET
phase: PLANNING
address: 127 GEORGE STREET

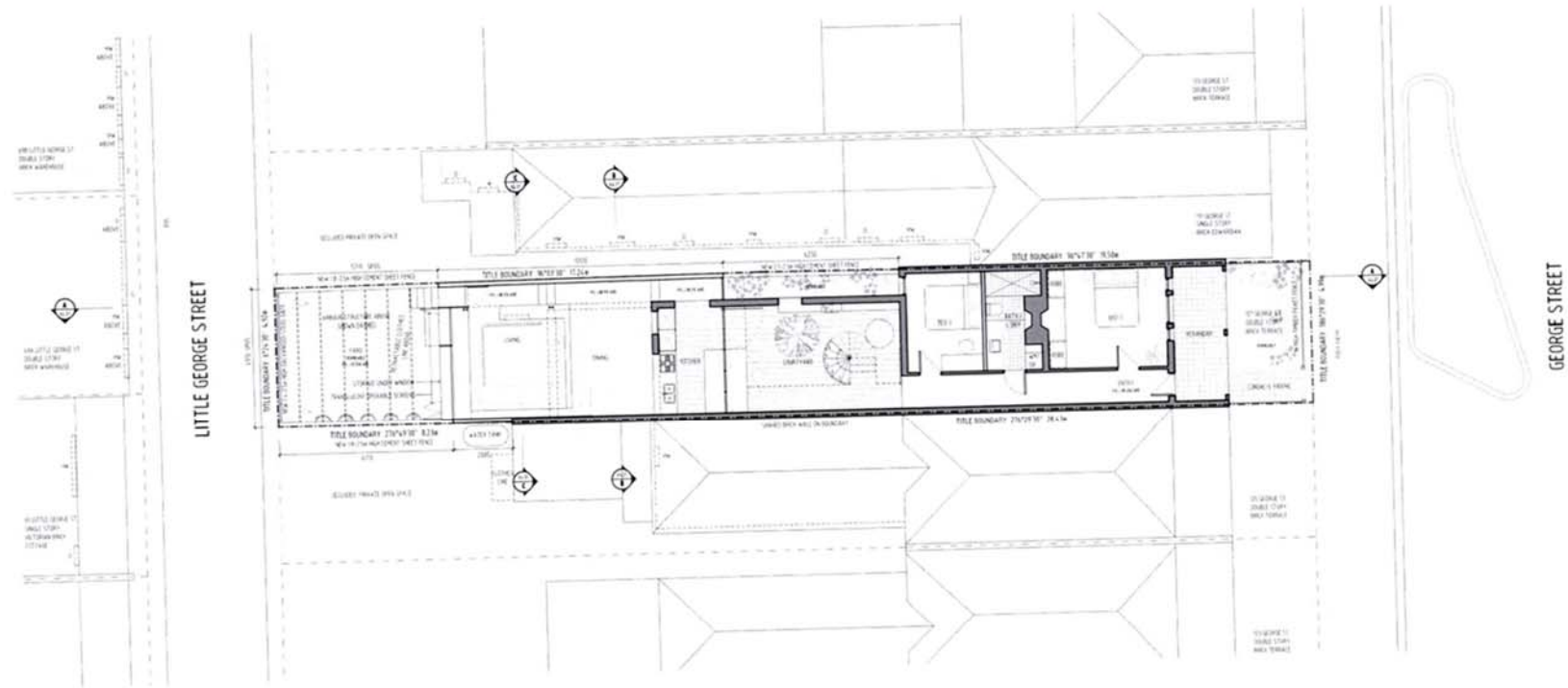
drawing: PROPOSED SITE & ROOF PLAN



A1.00

date: 17.02.17
scale: 1:100

Attachment 2 - PLN17/0894 - 127 George Street Fitzroy - Decision Plans



PROPOSED GROUND FLOOR PLAN

CLAIRE SCORPO
ARCHITECTS

• AutoCAD 2017
• CS: AutoCAD 2017
• AutoCAD 2017
• The George Street
• Fitzroy, VIC 3065

rev	type	date	notes
P1	PRELIMINARY ISSUE	31.08.2017	
P2	PLANNING ISSUE	12.10.2017	

notes:
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF THE WORK AND ORDERING OF MATERIAL. ALL DIMENSIONS ARE TO BE REFERRED TO THE SETBACK FOR REFERENCE PRIOR TO COMMENCEMENT OF THE WORK.

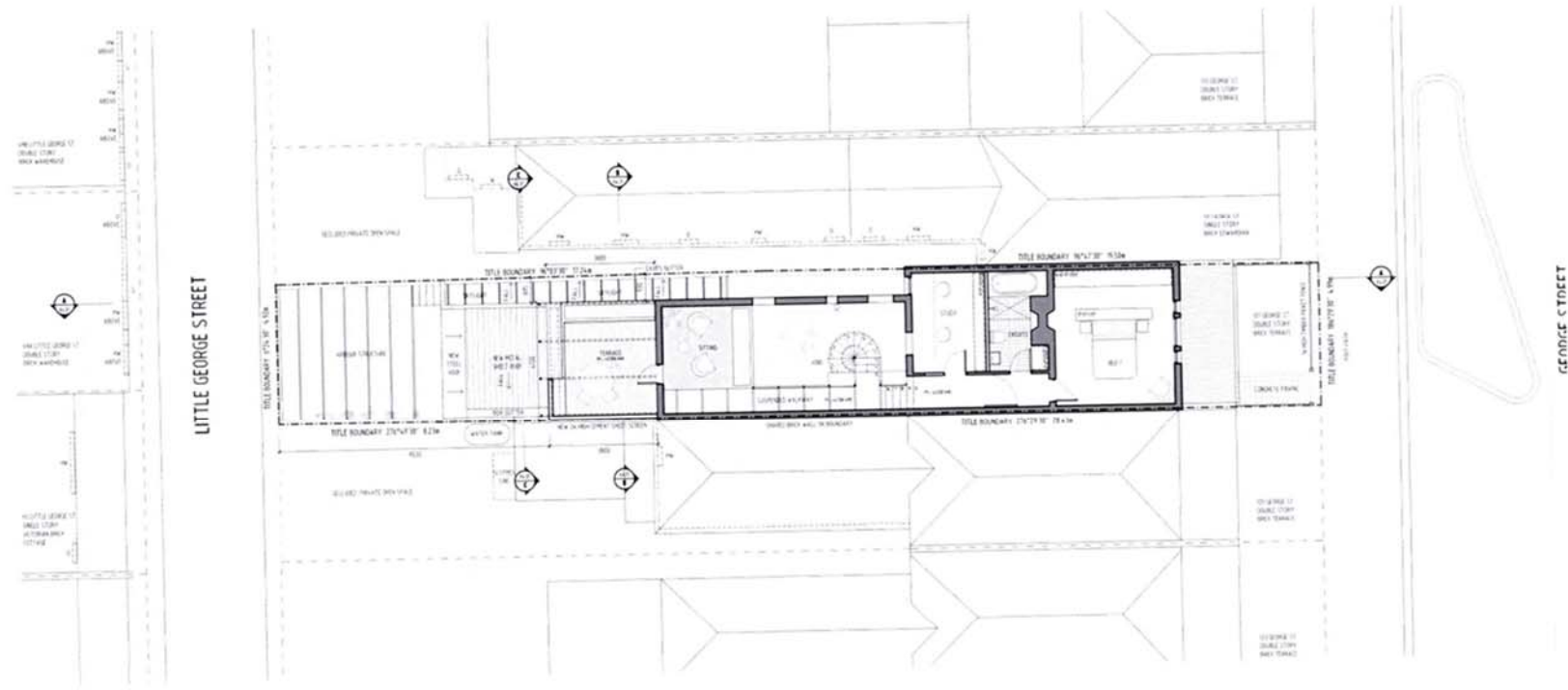
project: 127 GEORGE STREET
phase: Town Planning
address: 127 George Street
Fitzroy, VIC

drawing: PROPOSED GROUND FLOOR PLAN



A1.01 rev 0
date: 31.08.2017
scale: 1:100

Attachment 2 - PLN17/0894 - 127 George Street Fitzroy - Decision Plans



PROPOSED FIRST FLOOR PLAN
1:100

CLAIRE SCORPO
ARCHITECTS

- 1/16/2017 10:00 AM
- 1/16/2017 10:00 AM
- 1/16/2017 10:00 AM

rev	type	date	notes
P1	PRELIMINARY ISSUE	31.08.2017	
P2	PLANNING ISSUE	12.10.2017	

NOTES:
THE CONTRACTOR TO BE SEEN IN CONSULTATION WITH ALL OTHER CONTRACTORS TO DETERMINE THE ORDER OF CONSTRUCTION AND TO DETERMINE THE ORDER OF WORK AND MATERIALS TO BE USED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

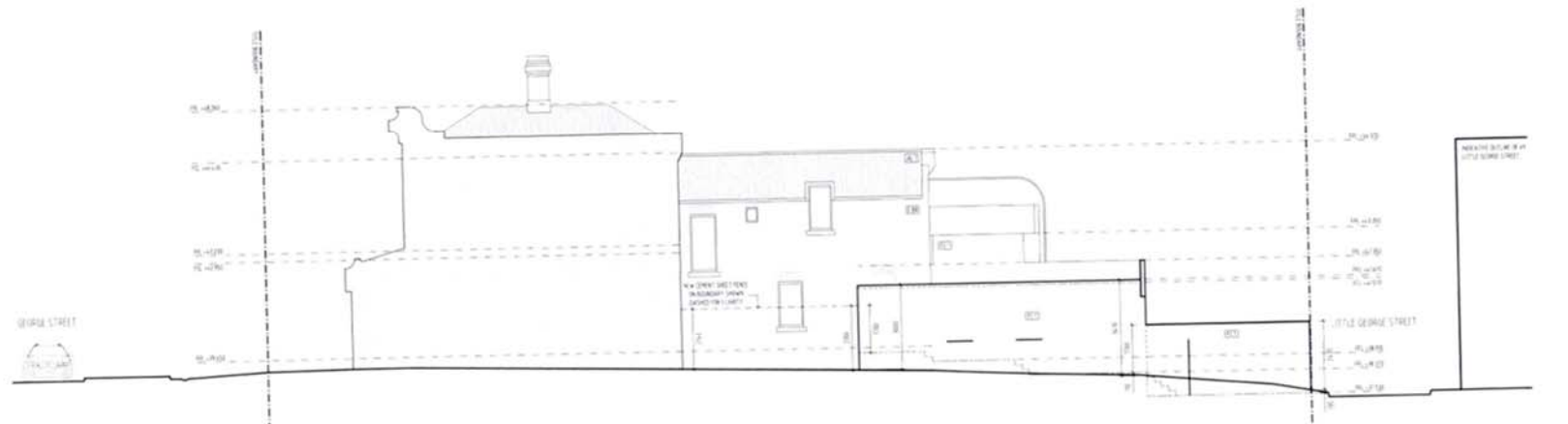
project: 127 GEORGE STREET
phase: 127 GEORGE STREET
address: 127 GEORGE STREET

drawing: PROPOSED FIRST FLOOR PLAN

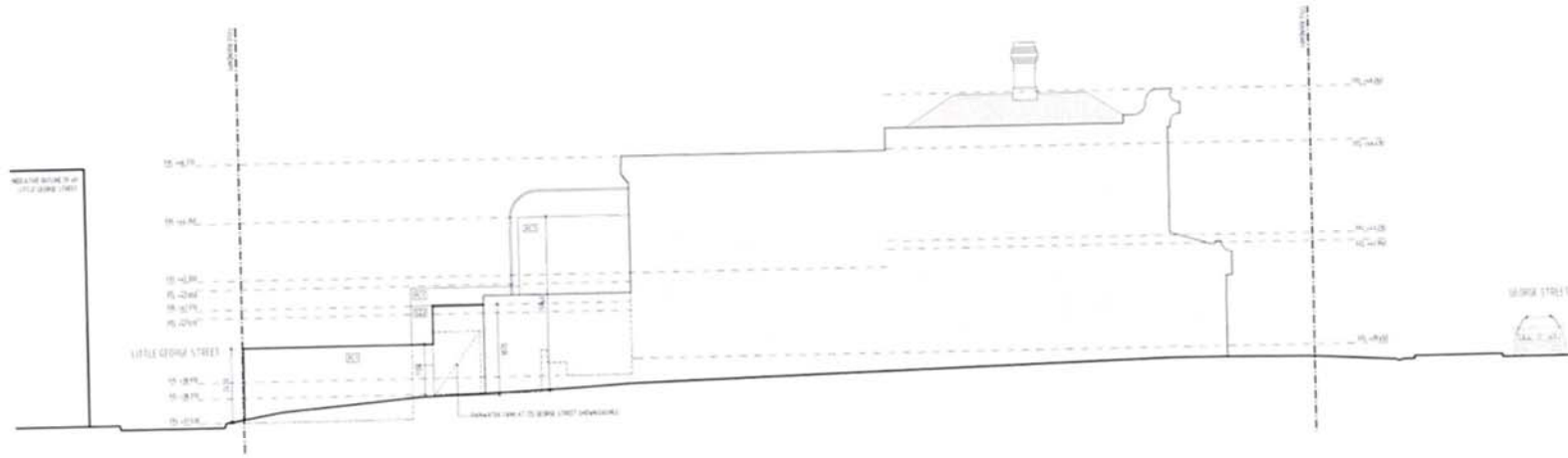


A1.02 rev 2
date: 12/10/17
scale: 1:100

Attachment 2 - PLN17/0894 - 127 George Street Fitzroy - Decision Plans



PROPOSED NORTH ELEVATION



PROPOSED SOUTH ELEVATION

CLAIRE SCORPO ARCHITECTS

- 127 George Street Fitzroy, VIC 3065
- 127 George Street Fitzroy, VIC 3065
- 127 George Street Fitzroy, VIC 3065

REV	TYPE	DATE	NOTES
P1	PRELIMINARY ISSUE	31.08.2017	
P2	PLANNING ISSUE	12.10.2017	

NOTES:
 THE DRAWINGS TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS AND SHOWN AS TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE LEGISLATION AND REGULATIONS AND TO BE KEPT UP TO DATE TO REFLECT THE WORK AND MATERIALS. ALL DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT FOR RESOLUTION PRIOR TO COMMENCEMENT OF THE WORK.

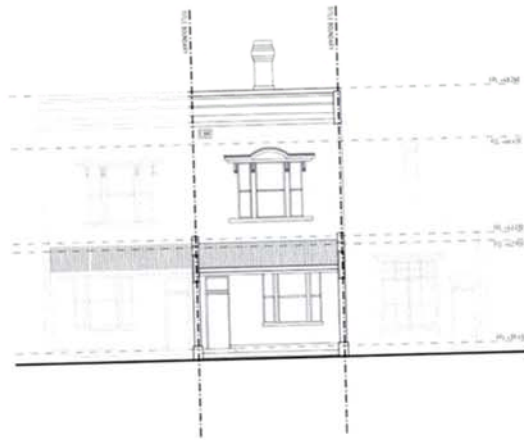
project: 127-0894
 phase: Town Planning
 address: 127 George Street Fitzroy, VIC

DRAWING: PROPOSED ELEVATIONS

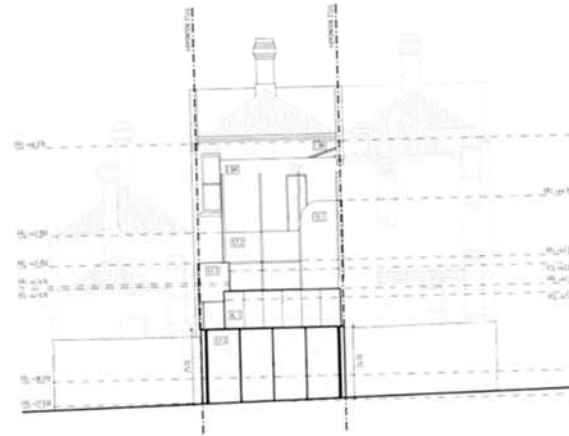


A3.01 rev 02
 date: 31.08.2017
 scale: 1:100 @ A1

Attachment 2 - PLN17/0894 - 127 George Street Fitzroy - Decision Plans



PROPOSED EAST ELEVATION
1:100



PROPOSED WEST ELEVATION - FENCE
1:100



012
RIB CORRUGATED STEEL SHEET



011
PERFORATED STEEL



013
STEEL SHEET



014
RIB CONCRETE SHEET CLADDING



010
EXTERIOR BRICKWORK

MATERIAL SCHEDULE
N/A



PROPOSED WEST ELEVATION
1:100

CLAIRE SCORPO
ARCHITECTS

11 Southbank Ave Melbourne VIC 3006
1111 9411 1388
1111 9411 1388
1111 9411 1388

rev	type	date	notes
P1	PRELIMINARY ISSUE	31.08.2017	
P2	PLANNING ISSUE	12.02.2018	

NOTES:
1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF WORK.
3. THE WORK AND DESIGN OF MATERIALS, ALL DIMENSIONS, ARE TO BE REFERRED TO THE DRAWING FOR REVISION PRIOR TO COMMENCEMENT OF WORK.

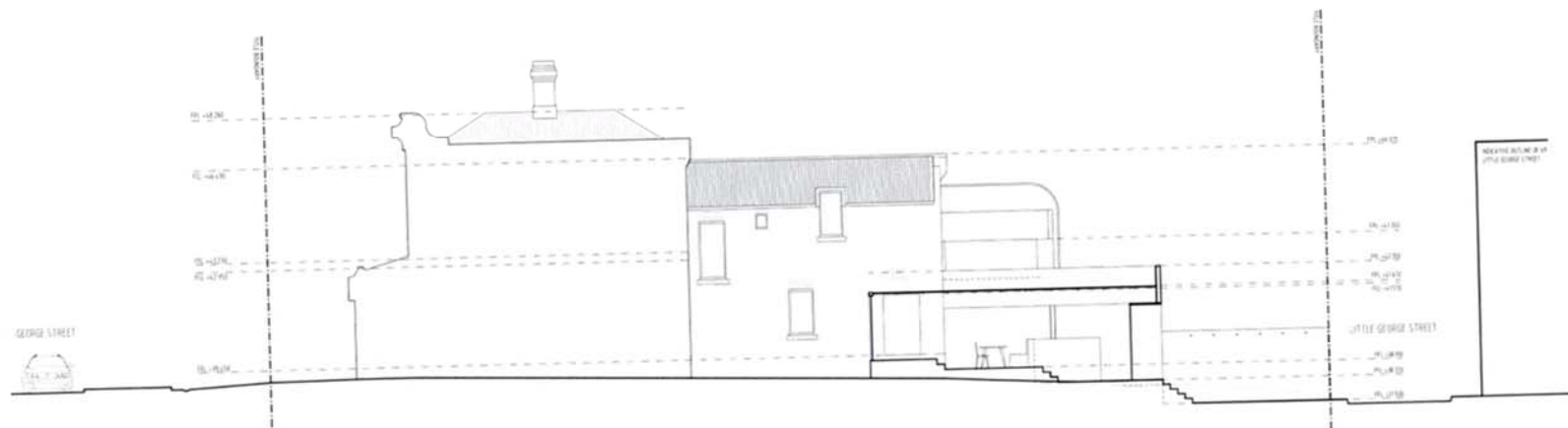
project: 1111 9411
phase: Town Planning
address: 127 George Street Fitzroy VIC

drawing: PROPOSED ELEVATIONS

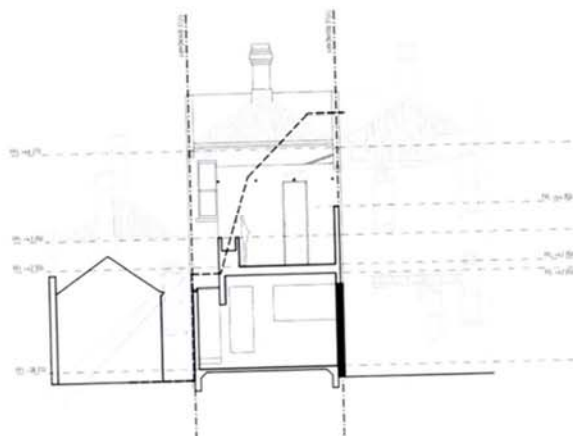


A3.02 rev 01
date: 11.08.2017
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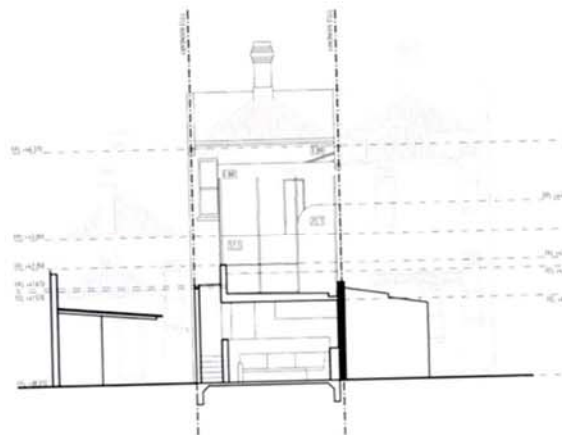
Attachment 2 - PLN17/0894 - 127 George Street Fitzroy - Decision Plans



PROPOSED SECTION AA
1:100



PROPOSED SECTION BB
1:100

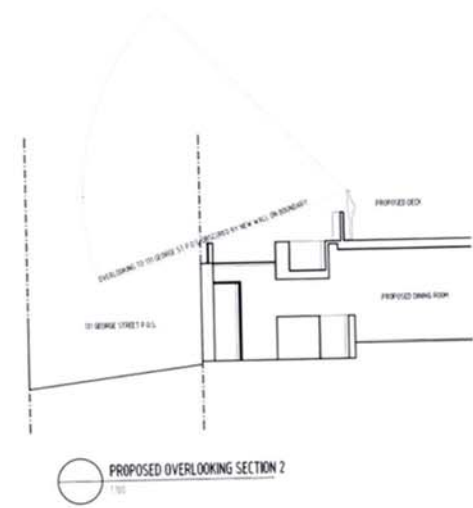
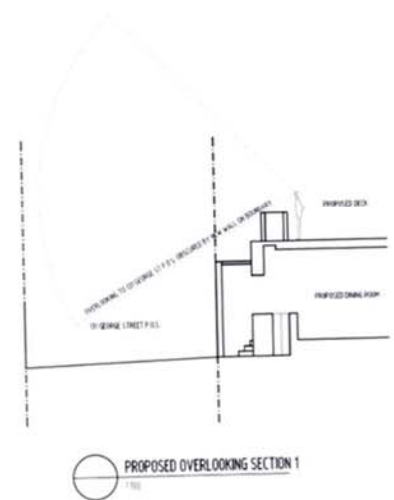
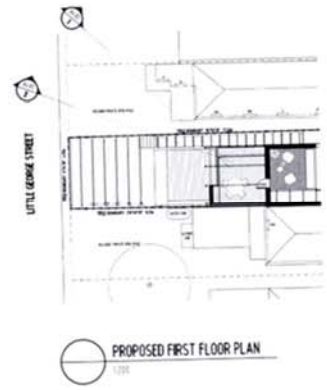


PROPOSED SECTION CC
1:100

CLAIRE SCORPO ARCHITECTS 111/113 Victoria Street Fitzroy VIC 3065	# 01600000000000000000 00 PLN17/0894	rev P2 type PLANNING ISSUE	date 12/10/2017	notes: THIS DRAWING IS FOR REFERENCE ONLY AND DOES NOT CONSTITUTE A CONTRACT. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED. THE WORK AND PROGRESS OF CONTRACTOR SHALL BE SUPERVISED BY THE ARCHITECT. ALL DIMENSIONS AND LEVELS TO BE REFERRED TO THE SURFACE FOR REFERENCE FROM TO CORNER OF THE WORK.
	# 01600000000000000000 00 PLN17/0894	rev P2 type PLANNING ISSUE	date 12/10/2017	notes: THIS DRAWING IS FOR REFERENCE ONLY AND DOES NOT CONSTITUTE A CONTRACT. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED. THE WORK AND PROGRESS OF CONTRACTOR SHALL BE SUPERVISED BY THE ARCHITECT. ALL DIMENSIONS AND LEVELS TO BE REFERRED TO THE SURFACE FOR REFERENCE FROM TO CORNER OF THE WORK.
	# 01600000000000000000 00 PLN17/0894	rev P2 type PLANNING ISSUE	date 12/10/2017	notes: THIS DRAWING IS FOR REFERENCE ONLY AND DOES NOT CONSTITUTE A CONTRACT. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED. THE WORK AND PROGRESS OF CONTRACTOR SHALL BE SUPERVISED BY THE ARCHITECT. ALL DIMENSIONS AND LEVELS TO BE REFERRED TO THE SURFACE FOR REFERENCE FROM TO CORNER OF THE WORK.

project	127 GEORGE STREET	drawing	PROPOSED ELEVATIONS	A4.01 rev 02 date 17/10/2017 scale 1:100 @ A1
phase	Final Planning			
address	127 George Street Fitzroy VIC			

Attachment 2 - PLN17/0894 - 127 George Street Fitzroy - Decision Plans



CLAIRE SCORPO ARCHITECTS

1 12/08/2016
2 12/08/2016
3 12/08/2016
4 12/08/2016

no	type	date	notes
P2	PLANNING ISSUE	12/10/2017	

notes:
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THAT ALL DIMENSIONS, LEVELS AND FINISHES ARE TO BE COMPLETED IN ACCORDANCE WITH THE WORK AND MATERIALS SPECIFICATIONS. ALL DIMENSIONS ARE TO BE REFERRED TO THE DESIGN DRAWING UNLESS OTHERWISE SPECIFIED.

project: 127 GEORGE STREET
phase: Final Planning
address: 127 George Street Fitzroy, VIC

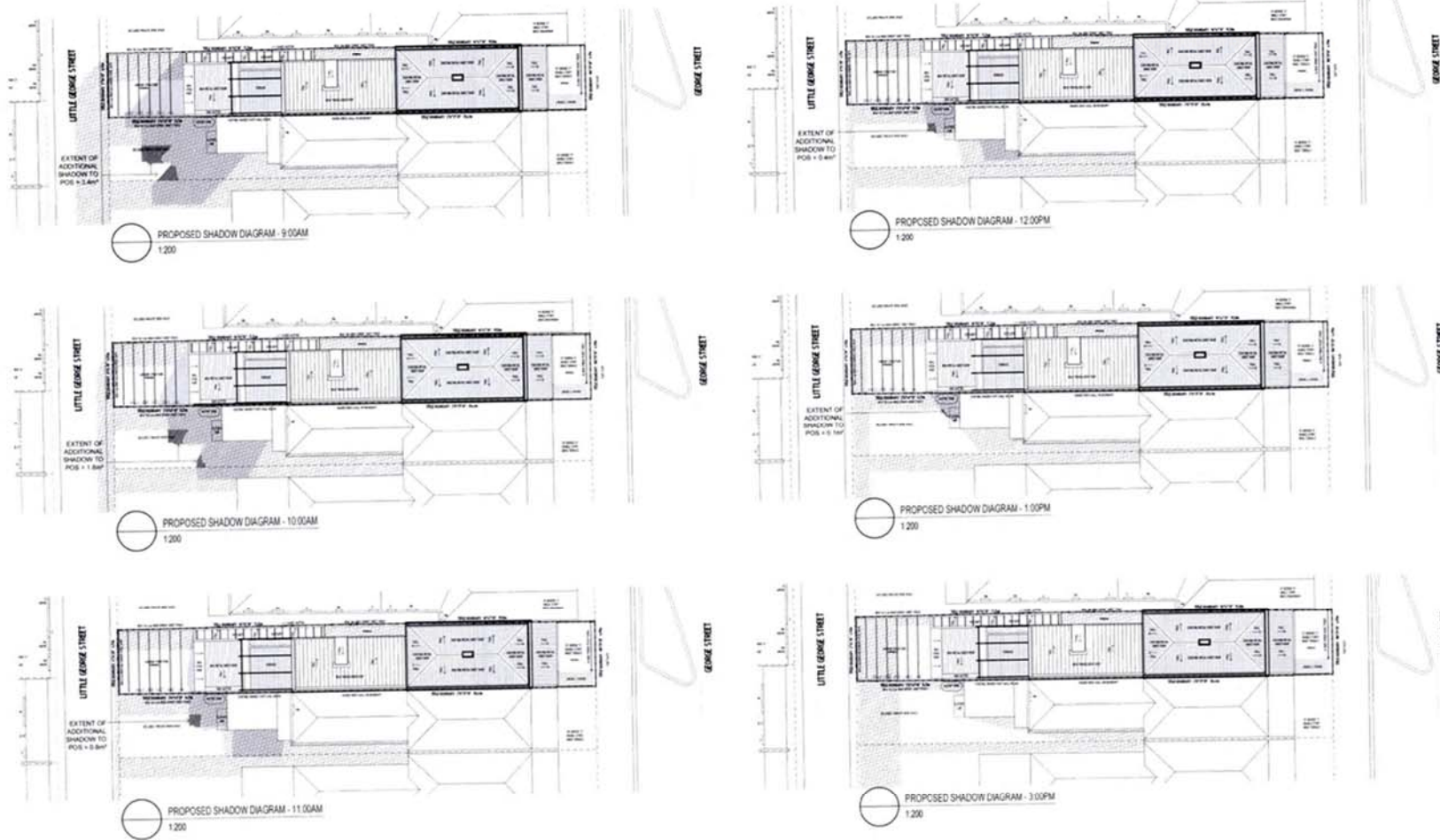
drawing: PROPOSED ELEVATIONS



A4.02
date: 12/08/2017
scale: 1:100 (A4)

rev: 02

Attachment 2 - PLN17/0894 - 127 George Street Fitzroy - Decision Plans



CLAIRE SCORPO
ARCHITECTS

1 31 West Street
Fitzroy VIC 3065
Tel: 03 9412 1344
Fax: 03 9412 1345

rev	Type	date	notes
P1	PRELIMINARY ISSUE	31.08.2017	
P2	PLANNING ISSUE	12.10.2017	

NOTES:
1. THIS DRAWING IS TO BE USED IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS.
2. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE COMPETENT AUTHORITIES.
3. THE WORK AND MATERIALS OF MATERIALS, ALL DIMENSIONS AND LEVELS ARE TO BE RETAINED UNLESS OTHERWISE NOTED.
4. THE DECISION MAKER IS TO TAKE FULL RESPONSIBILITY OF THE WORK.

project: 127 GEORGE ST
phase: Final Planning
address: 127 George Street Fitzroy VIC

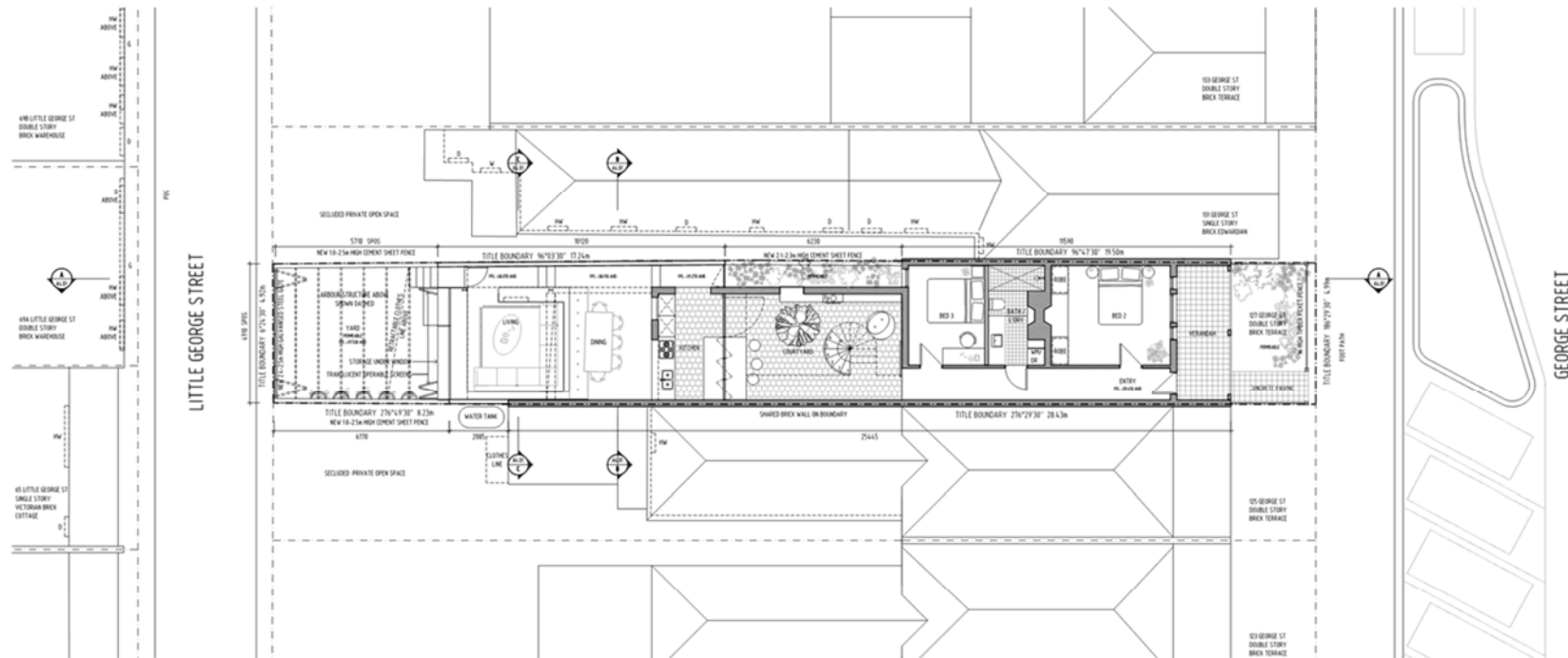
drawing: PROPOSED SHADOW DIAGRAMS Sep 22



A9.01

date: 11.09.2017
scale: 1:100 @ A4

Attachment 3 - PLN17/0894 - 127 George Street Fitzroy - Sketch Plans submitted 19 December 2017



PROPOSED GROUND FLOOR PLAN
1:100

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a studio 3 / level 1
106 George Street
Fitzroy 3065 VIC

rev	type	date
P1	PRELIMINARY ISSUE	31.08.2017
P2	PLANNING ISSUE	12.10.2017
P3	ADDITIONAL DIMENSIONS	14.12.2017

notes:
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMATION THAT ALL DIMENSIONS, LEVELS & DETAILS ARE CO-ORDINATED PRIOR TO COMMENCEMENT OF THE WORK AND ORDERING OF MATERIALS. ALL DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER FOR RESOLUTION PRIOR TO COMMENCEMENT OF THE WORK.

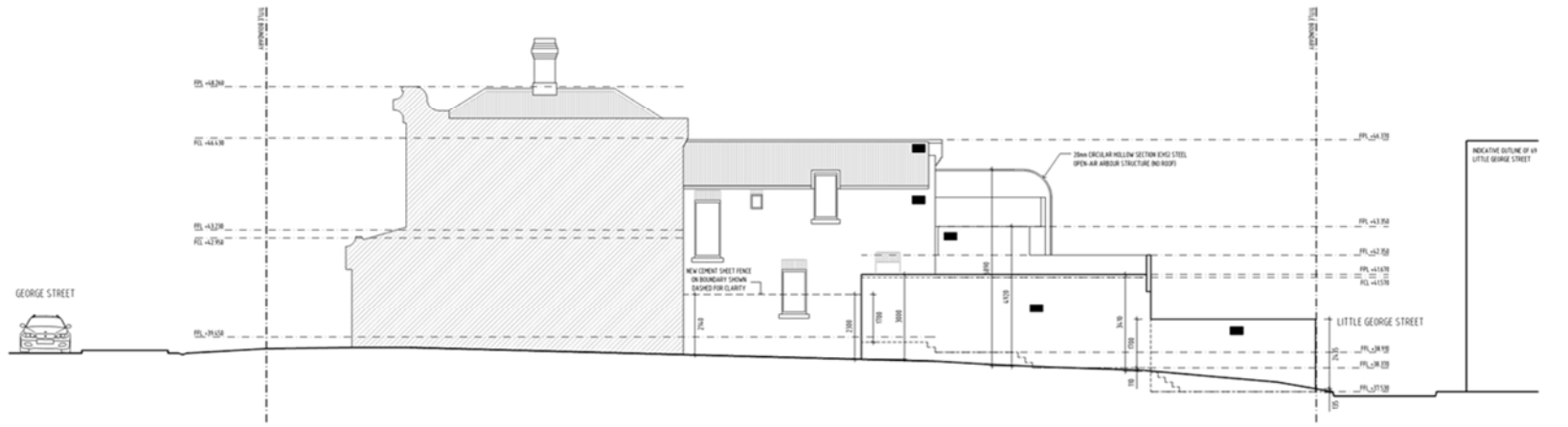
project: 1702 GEOR
phase: Town Planning
address: 127 George Street
Fitzroy VIC

drawing:
PROPOSED GROUND
FLOOR PLAN

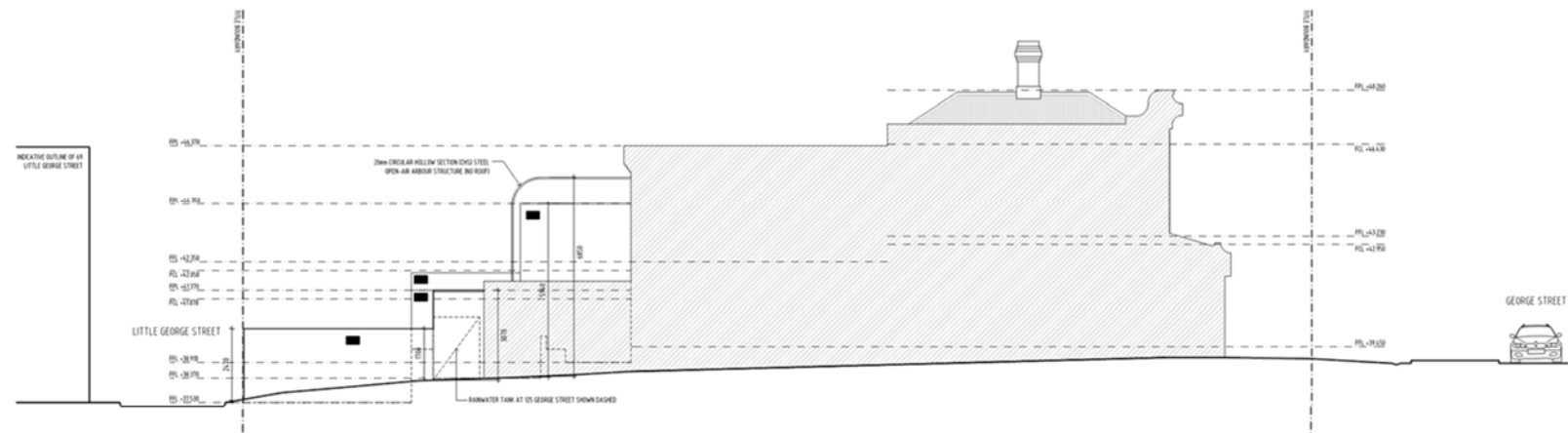


A1.01 rev p3
date 31.08.2017
scale 1:100 @ A2

Attachment 3 - PLN17/0894 - 127 George Street Fitzroy - Sketch Plans submitted 19 December 2017



PROPOSED NORTH ELEVATION
1/100



PROPOSED SOUTH ELEVATION
1/100

CLAIRE SCORPO ARCHITECTS

e studio@clairescorpo.com
t 03 9480 5388
studio 3 / level 1
127 George Street
Fitzroy 3065 VIC

rev	type	date
P1	PRELIMINARY ISSUE	31.08.2017
P2	PLANNING ISSUE	12.10.2017
P3	ADDITIONAL DIMENSIONS	14.12.2017

notes:
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMATION THAT ALL DIMENSIONS, LEVELS & DETAILS ARE CO-ORDINATED PRIOR TO COMMENCEMENT OF THE WORK AND ORDERING OF MATERIALS. ALL DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER FOR RESOLUTION PRIOR TO COMMENCEMENT OF THE WORK.

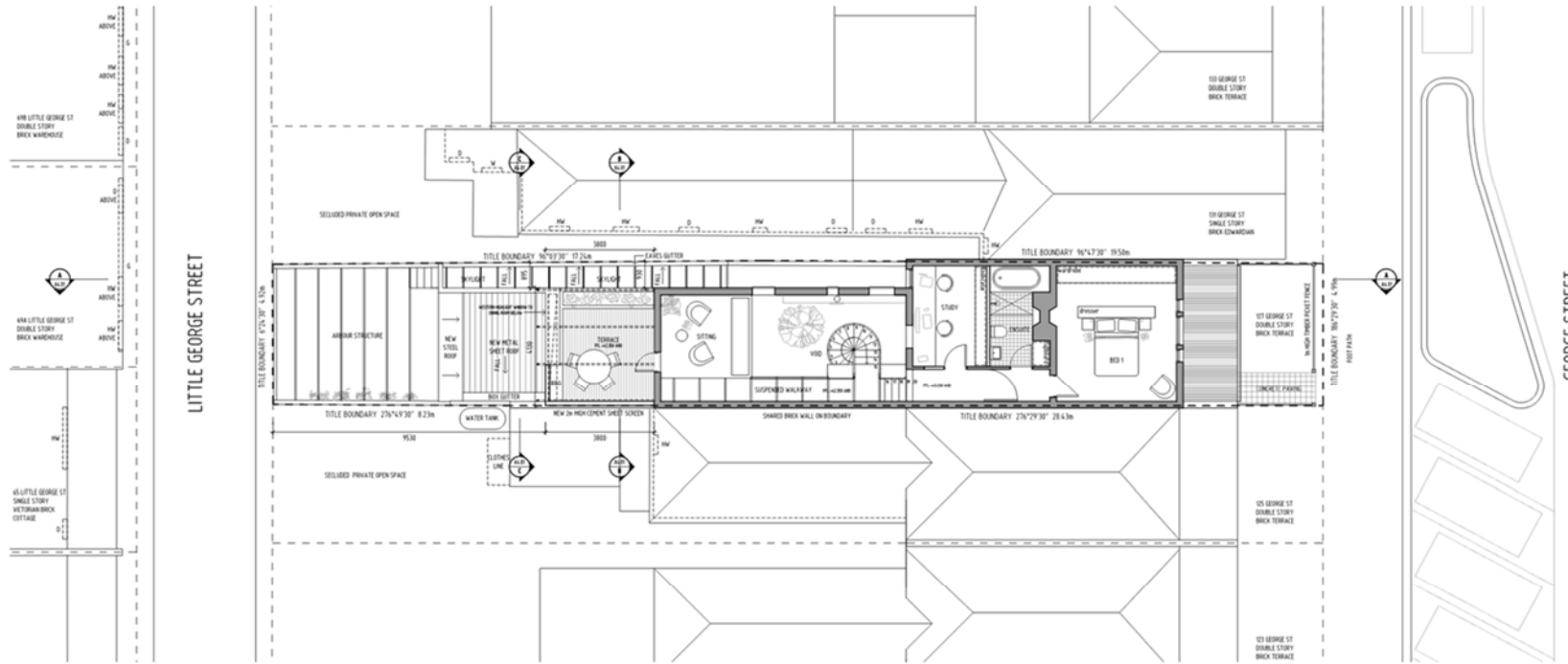
project: 1702 GEOR
phase: Town Planning
address: 127 George Street
Fitzroy VIC

drawing:
PROPOSED ELEVATIONS



A3.01 rev P3
date 31.08.2017
scale 1:100 @ A2

Attachment 4 - PLN17/0894 - 127 George Street Fitzroy - Sketch Plans Submitted 30 April 2018



PROPOSED FIRST FLOOR PLAN
1:100

CLAIRE SCORPO ARCHITECTS

e studio@clairescorpo.com
t 03 9440 5388
studio 3 / level 1
76a George Street
Fitzroy 3065 VIC

rev	type	date
P1	PRELIMINARY ISSUE	31.08.2017
P2	PLANNING ISSUE	12.10.2017
P3	PLANNING ISSUE	30.04.2018

notes:
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project: 1702 GEOR
phase: Town Planning
address: 127 George Street
Fitzroy VIC

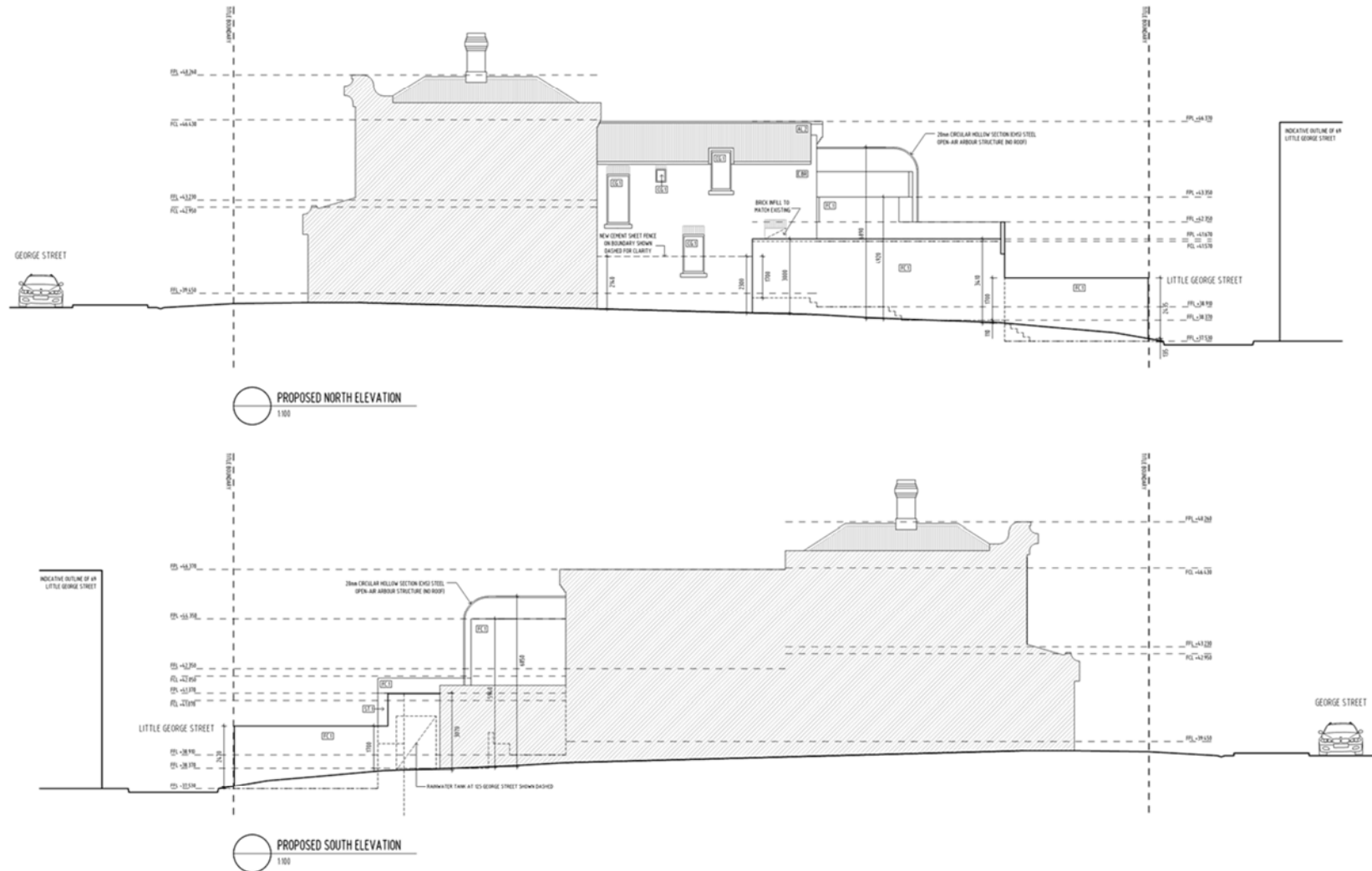
drawing:
PROPOSED FIRST
FLOOR PLAN



A1.02
date 31.08.2017
scale 1:100 @ A2

rev P3

Attachment 4 - PLN17/0894 - 127 George Street Fitzroy - Sketch Plans Submitted 30 April 2018



CLAIRE SCORPO
ARCHITECTS

e studio@clairescorpo.com
t 03 9440 5388
o studio 3 / level 1
56 George Street
Fitzroy 3065 VIC

rev	type	date
P1	PRELIMINARY ISSUE	31.08.2017
P2	PLANNING ISSUE	12.10.2017
P3	ADDITIONAL DIMENSIONS	16.12.2017
P4	MATERIALS/SOUTH WALL	30.04.2018

notes:
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project: 1702 GEOR
phase: Town Planning
address: 127 George Street
Fitzroy VIC

drawing:
PROPOSED ELEVATIONS



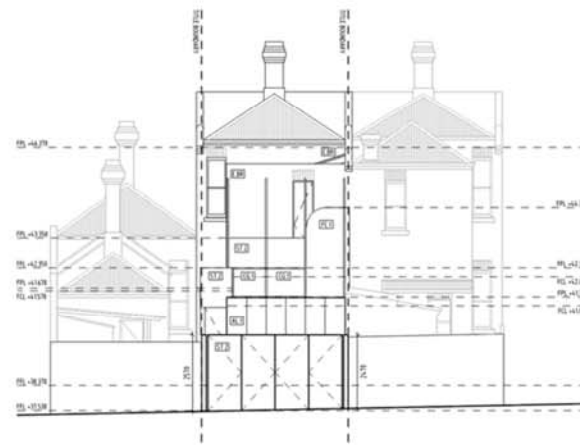
A3.01
date 31.08.2017
scale 1:100 @ A2

rev P4

Attachment 4 - PLN17/0894 - 127 George Street Fitzroy - Sketch Plans Submitted 30 April 2018



PROPOSED EAST ELEVATION
1:100



PROPOSED WEST ELEVATION - FENCE
1:100



KL1
TRANSLUCENT SHEETING



KL2
GALVANIZED CORRUGATED STEEL SHEET

GL1
CLEAR GLAZING



KL3
PERFORATED MESH



SL1
STEEL SHEET

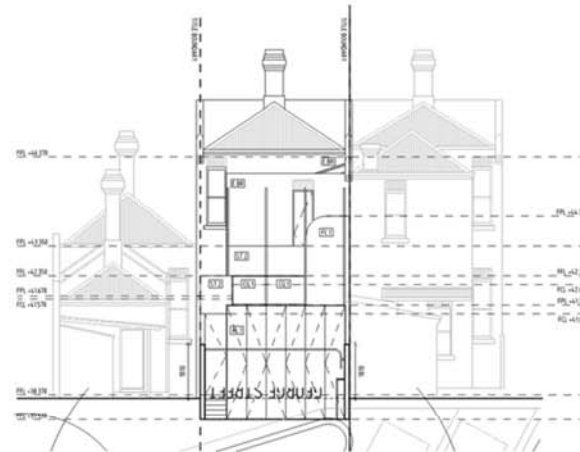


KL4
FIBRE CEMENT SHEET CLADDING



KL5
EXISTING BRICKWORK

MATERIAL SCHEDULE
N/S



PROPOSED WEST ELEVATION
1:100

CLAIRE SCORPO
ARCHITECTS

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r: Studio 3 / level 1
86 George Street
Fitzroy 3065 VIC

REV	TYPE	DATE
P1	PRELIMINARY ISSUE	31.08.2017
P2	PLANNING ISSUE	12.10.2017
P3	UPDATED MATERIALS	30.04.2018

NOTES:
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project: 1102 GEOR
phase: Town Planning
address: 127 George Street
Fitzroy VIC

drawing:
PROPOSED ELEVATIONS



A3.02
date: 31.08.2017
scale: 1:100 @ A2

rev p3

Attachment 5 - PLN17/0894 - 127 George Street Fitzroy - Heritage referral advice**City of Yarra
Heritage Advice**

Application No.:	PLN17/0894
Address of Property:	127 George Street, Fitzroy
Planner:	Madeleine Moloney
Yarra Planning Scheme	STATE POLICY:
References:	<ul style="list-style-type: none"> • Clause 15.03 Heritage LOCAL POLICY: <ul style="list-style-type: none"> • Clause 21.05-1 Built Form (Heritage) • Clause 43.01 Heritage Overlay • Clause 22.02 Development Guidelines for sites subject to the Heritage Overlay
Heritage Overlay No. & Precinct:	HO334-South Fitzroy Precinct)
Level of significance:	Letham's Buildings, Individually significant, constructed 1901-1902 (Appendix 8, City of Yarra Review of Heritage Overlay Areas 2007)
General description:	Demolition at the rear for construction of a double storey addition including terrace and arbour structures.
Drawing Nos.:	Set of 13 x A2 drawings prepared by Clare Scorpo Architects, received by Council and date stamped 23 October 2017

WHY IS THE PLACE INDIVIDUALLY SIGNIFICANT?

This row of four houses was constructed in 1901-1902 for Margaret Munro.

The name "Lethams Buildings" refers to Henry Latham, the owner of five earlier properties which occupied this site. Latham owned the buildings from 1866-1899.

The buildings are of considerable interest for their intact tripartite window surrounds, freestone string courses at sill height and impost height to the first floor, bands of coloured bricks and unpainted cement trims. The bullnose verandah and openwork timber columns are the only visible clues to the late construction dates of these buildings.

This terrace is finely proportioned and well detailed, with intact elements including encaustic tiling to the verandah floors and pathways. However, it must be viewed as an Edwardian building reviving the austerity and classical elements of the earlier simple Victorian buildings.

It would seem more desirable to register an early example of a Victorian terrace house, rather than this later building which is not a true representative of its period or any particular style.

This building is of local importance and provides an important streetscape element.

[Source: South Fitzroy Conservation Study, Jacobs Lewis Vines, 1979]

CONTEXT DESCRIPTION:

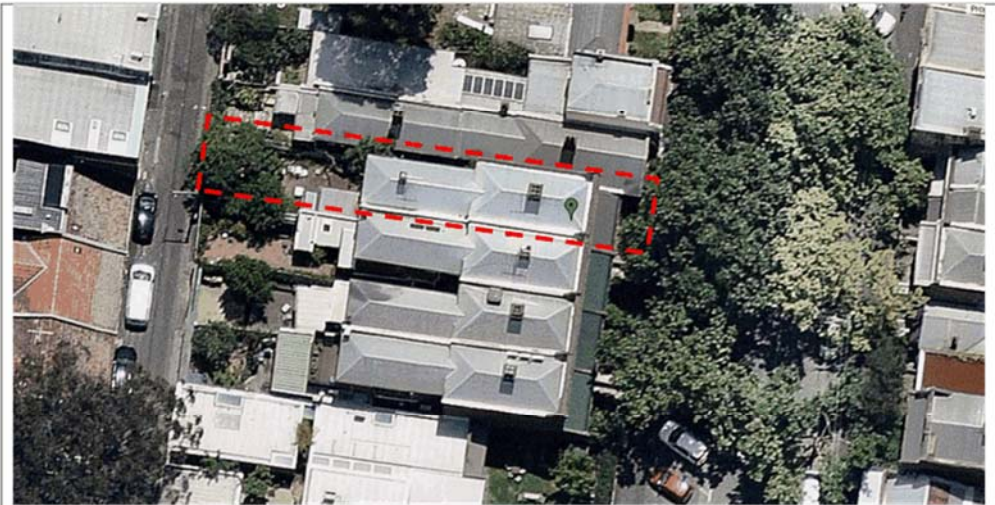
The subject site is a rectangular allotment with a principal frontage to George Street and rear access via Little George Street. It is located on the Western side of the street, between Webb Street to the north and Gertrude Street to the south.

George Street is a highly intact streetscape of mostly Victorian and Edwardian-era properties, many of which are double storey, attached or semi attached terraces constructed in masonry. As a group, the nineteenth century development and character of the HO334 area has importance to the broader setting and context of the Royal Exhibition Building (REB) which is included on the World Heritage List.

As described above, no. 127 George Street is located at the northern end of the row of four houses known as the "Lethams Buildings". All four houses retain a full roof form over the front and rear of the property, as well as front chimneys. The subject site appears to be most intact, also retaining its rear chimney. The rear of the site is highly visible from Little George Street and part visible from principal George Street, as the immediately adjoining individually building is single storey. Similarly, the rear of

Attachment 5 - PLN17/0894 - 127 George Street Fitzroy - Heritage referral advice

No.121 George Street, at the southern end of the row, is visible from George Street because the adjoining, individually significant building is also single storey (with a double storey addition at the rear).



Above: Aerial image of subject site. Note intactness of terrace houses.



Above: Lethams Buildings as seen from google street view (in winter beyond the trees). Subject site denoted by red dashed lines.



Above: Lethams Buildings as seen from google street view (in winter beyond the trees). Note visibility of rear wing (denoted by yellow dashed line). Immediately adjoining, single storey buildings to the south (left) and north (right) are also individually significant. Subject site denoted by red dashed lines.

Attachment 5 - PLN17/0894 - 127 George Street Fitzroy - Heritage referral advice



Above: George Street as seen from the north. Subject site denoted by red dashed lines.



Above: Rear of subject site.

ASSESSMENT OF PROPOSED WORKS:

Comments regarding proposed demolition:

The extent of demolition proposed by this application includes removal of the roof structure over the rear wing including a chimney, part demolition of the upper level northern wall of the rear wing, removal of existing window frames in the existing rear wing and full demolition of the single storey rear lean-to (refer to image below).



Above: Extent of building proposed for demolition shaded in red

Attachment 5 - PLN17/0894 - 127 George Street Fitzroy - Heritage referral advice

The key consideration for assessing this aspect of the works is whether the proposed demolition will adversely affect the significance of the heritage building or the broader heritage precinct.

In regard to removal of part of a Heritage Place, Clause 22.02-5.1 of the Yarra Planning Scheme encourages the removal of inappropriate alterations, additions and works that detract from the cultural significance of the place.

The policy also generally discourages the demolition of part of an individually significant or contributory building or removal of contributory elements unless:

- That part of the heritage place has been **changed beyond recognition of its original or subsequent contributory character(s)**.
- For a contributory building:
 - that **part is not visible from the street frontage** (other than a laneway), abutting park or public open space, and the main building form including roof form is maintained; or
 - the removal of **the part would not adversely affect the contribution** of the building to the heritage place.
- For individually significant building or works, it can be demonstrated that the removal of part of the building or works **does not negatively affect the significance of the place**.

The areas proposed for demolition have not been changed beyond recognition of their original appearance.

The single-storey lean-to is not visible from the street frontage or the rear laneway and appears to be a later addition which will not affect the significance of the place if removed.

In regard to the two-storey rear wing, it should be noted that it is currently partially visible from the street frontage (refer to image below). It is also visible from Little George Street. Whether Little George Street is strictly considered a secondary street frontage or a laneway is a matter of legal interpretation. For the purposes of this assessment, it has been assumed that Little George Street is a laneway and therefore the visibility of the rear wing from Little George Street is not considered a key factor in determining the acceptability of the proposed demolition.



Above : Extent of existing rear wing that is currently visible from George Street shown circled

Attachment 5 - PLN17/0894 - 127 George Street Fitzroy - Heritage referral advice

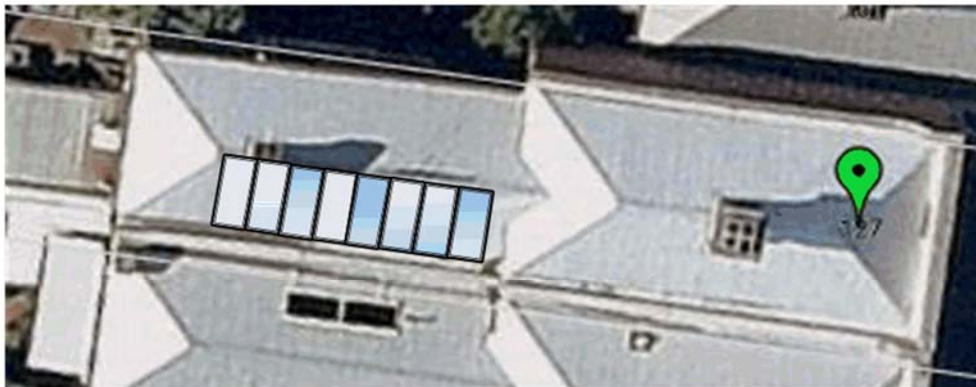


Above: Extent of existing rear wing that is currently visible from Little George Street shown circled

The proposed demolition works will affect that part of the rear wing's upper floor level that is visible from the principal street frontage. Although the extent of the rear wing that is currently visible is limited, the proposed alterations to this portion of the building will make this same part potentially stand out through the atypical appearance of its mono-pitched roof form and the even more peculiar appearance of a glowing roof form at night.

Given that the proposed upper floor plan can be accommodated without any changes to the existing roof form, **the removal of the roof structure to the rear wing is considered unwarranted and therefore not supported.**

It is considered that a similar internally lit effect could be achieved by replacing the existing corrugated metal roof covering on the southern pitch of the rear wing with a translucent roof sheeting (as shown in the diagram below). As the southern pitch is not visible from the principal street frontage, this extent of roofing removed would be of no heritage concern.



It would be desirable for the existing rear chimney to be retained (at least above the roofline). The loss of this element may however be tolerated on the grounds that the rear chimneys of all the other terrace houses this make up this row, known as the "Lethams Buildings", have already been lost.

Like the roof structure, the removal of existing window frames in the northern elevation seems unwarranted as the size of the window openings is not being changed. The existing window frames should be retained or replaced if deemed beyond repair, on a like-for-like basis.

Comments regarding new development, alterations and additions:

The extent of new works proposed by this application includes development of a part single, part double storey addition and an attached arbour structure with a gate to the rear.

Attachment 5 - PLN17/0894 - 127 George Street Fitzroy - Heritage referral advice

The key consideration for assessing this aspect of the works is whether the proposed new development will adversely affect the significance, character or appearance of the heritage building or the broader heritage precinct.

The proposed rear additions that will be substantially concealed from the principal street frontage. Parts of the proposed alterations to the two-storey rear wing that will be partially visible from the street have been previously addressed above as part of the demolition comments. Conditions/suggested modifications have been provided below to address concerns about the visibility of these parts of the proposed alterations.

The upper floor levels of the proposed additions will be clearly visible from the rear laneway. Views to the rear façade of the subject building, together with those of the adjacent town houses are not specifically required to be maintained by the heritage policy. It is however noted that these views from the laneway contribute to the appreciation of the architectural integrity of the subject building as part of the row of four houses known as the "Lethams Buildings".

On the basis that it is recommended that the existing roof structure and the northern side wall together with the window frames are all retained, it is considered that the extent of proposed alterations visible from the laneway will be reduced to little more than the upper level terrace attached to the rear of the existing two-storey rear wing.

The proposed rear terrace will be in the same location as the rear terrace to no. 121 although it will be a little deeper in length (refer to annotated image below).



Above: Comparative location of proposed rear terrace in comparison with the existing terrace at the rear of no. 121

A quick comparison of the rear facades of all the terrace houses making up the row reveals that two out of the four have already been modified. The integrity of the row has therefore already been compromised. The extent of change currently proposed will result in an addition of similar appearance as the rear of no. 121.

On the basis that the proposed alterations and additions to the rear of the subject terrace house will be consistent with the extent of alterations that have previously been carried out to terrace houses that together make up this row, known as the "Lethams Buildings", it is considered that the proposed rear additions are acceptable.

Attachment 5 - PLN17/0894 - 127 George Street Fitzroy - Heritage referral advice



RECOMMENDATIONS:

On heritage grounds the works proposed in this application should be modified prior to further consideration or conditioned as part of any approval.

Recommended modifications are as follows:

1. That the existing roof structure associated with the two-storey rear wing must be fully retained;
2. That only the south facing roof slope of the existing roof over the two-storey rear wing may be replaced with transparent roof sheeting;
3. That the north facing upper rear wall must be retained in full, including the existing window frames;

Other comments:

SIGNED:

Diahnn McIntosh

DATED: 6 February 2018

Attachment 6 - PLN17/0894 - 127 George Street Fitzroy - Informal ESD comments (email)

**City of Yarra
Heritage Advice**

Application No.:	PLN17/0894
Address of Property:	127 George Street, Fitzroy
Planner:	Madeleine Moloney
Yarra Planning Scheme References:	STATE POLICY: <ul style="list-style-type: none"> • Clause 15.03 Heritage LOCAL POLICY: <ul style="list-style-type: none"> • Clause 21.05-1 Built Form (Heritage) • Clause 43.01 Heritage Overlay • Clause 22.02 Development Guidelines for sites subject to the Heritage Overlay
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It would seem more desirable to register an early example of a Victorian terrace house, rather than this later building which is not a true representative of its period or any particular style.

This building is of local importance and provides an important streetscape element.

[Source: South Fitzroy Conservation Study, Jacobs Lewis Vines, 1979]

CONTEXT DESCRIPTION:

The subject site is a rectangular allotment with a principal frontage to George Street and rear access via Little George Street. It is located on the Western side of the street, between Webb Street to the north and Gertrude Street to the south.

George Street is a highly intact streetscape of mostly Victorian and Edwardian-era properties, many of which are double storey, attached or semi attached terraces constructed in masonry. As a group, the nineteenth century development and character of the HO334 area has importance to the broader setting and context of the Royal Exhibition Building (REB) which is included on the World Heritage List.

As described above, no. 127 George Street is located at the northern end of the row of four houses known as the "Lethams Buildings". All four houses retain a full roof form over the front and rear of the property, as well as front chimneys. The subject site appears to be most intact, also retaining its rear

Attachment 6 - PLN17/0894 - 127 George Street Fitzroy - Informal ESD comments (email)

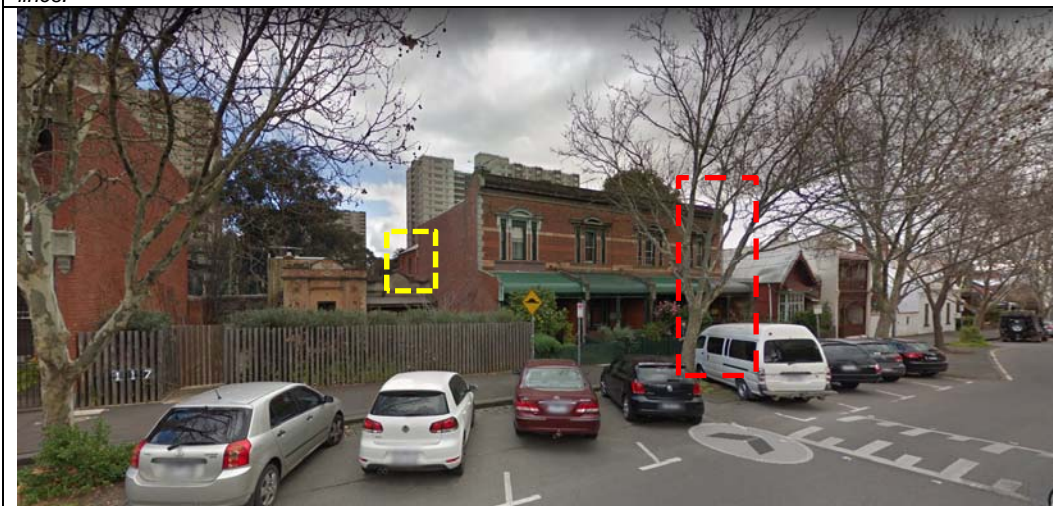
chimney. The rear of the site is highly visible from Little George Street and part visible from principal George Street, as the immediately adjoining individually building is single storey. Similarly, the rear of No.121 George Street, at the southern end of the row, is visible from George Street because the adjoining, individually significant building is also single storey (with a double storey addition at the rear).



Above: Aerial image of subject site. Note intactness of terrace houses.



Above: Lethams Buildings as seen from google street view (in winter beyond the trees). Subject site denoted by red dashed lines.



Attachment 6 - PLN17/0894 - 127 George Street Fitzroy - Informal ESD comments (email)

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Above: George Street as seen from the north. Subject site denoted by red dashed lines.



Above: Rear of subject site.

ASSESSMENT OF PROPOSED WORKS:

Comments regarding proposed demolition:

The extent of demolition proposed by this application includes removal of the roof structure over the rear wing including a chimney, part demolition of the upper level northern wall of the rear wing, removal of existing window frames in the existing rear wing and full demolition of the single storey rear lean-to (refer to image below).

Attachment 6 - PLN17/0894 - 127 George Street Fitzroy - Informal ESD comments (email)



Above: Extent of building proposed for demolition shaded in red

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Attachment 6 - PLN17/0894 - 127 George Street Fitzroy - Informal ESD comments (email)



Above : Extent of existing rear wing that is currently visible from George Street shown circled



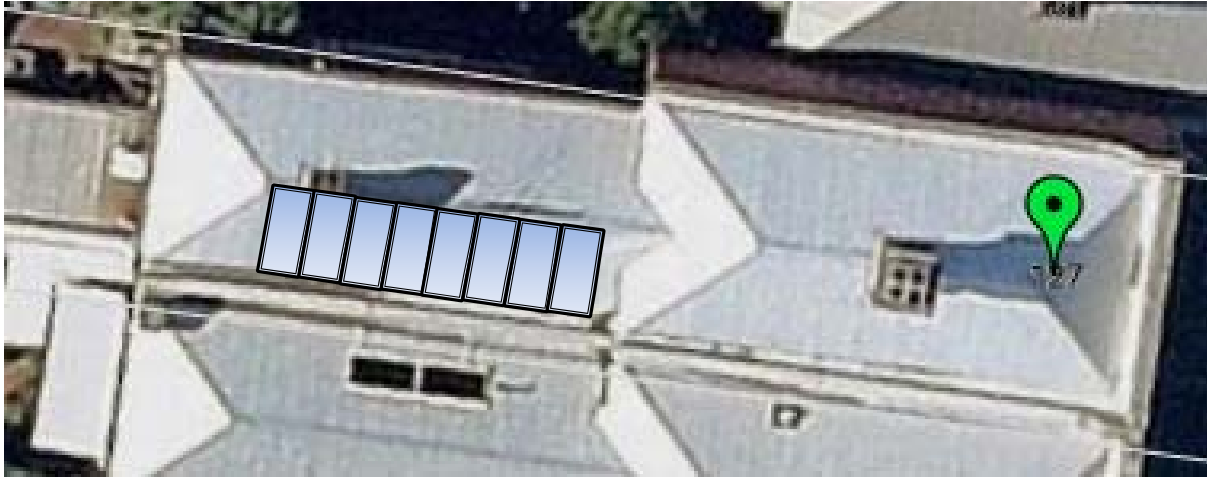
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Attachment 6 - PLN17/0894 - 127 George Street Fitzroy - Informal ESD comments (email)



It would be desirable for the existing rear chimney to be retained (at least above the roofline). The loss of this element may however be tolerated on the grounds that the rear chimneys of all the other terrace houses this make up this row, known as the “Lethams Buildings”, have already been lost.

Like the roof structure, the removal of existing window frames in the northern elevation seems unwarranted as the size of the window openings is not being changed. The existing window frames should be retained or replaced if deemed beyond repair, on a like-for-like basis.

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The key consideration for assessing this aspect of the works is whether the proposed new development will adversely affect the significance, character or appearance of the heritage building or the broader heritage precinct.

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The upper floor levels of the proposed additions will be clearly visible from the rear laneway. Views to the rear façade of the subject building, together with those of the adjacent town houses are not specifically required to be maintained by the heritage policy. It is however noted that these views from the laneway contribute to the appreciation of the architectural integrity of the subject building as part of the row of four houses known as the “Lethams Buildings”.

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The proposed rear terrace will be in the same location as the rear terrace to no. 121 although it will be a little deeper in length (refer to annotated image below).

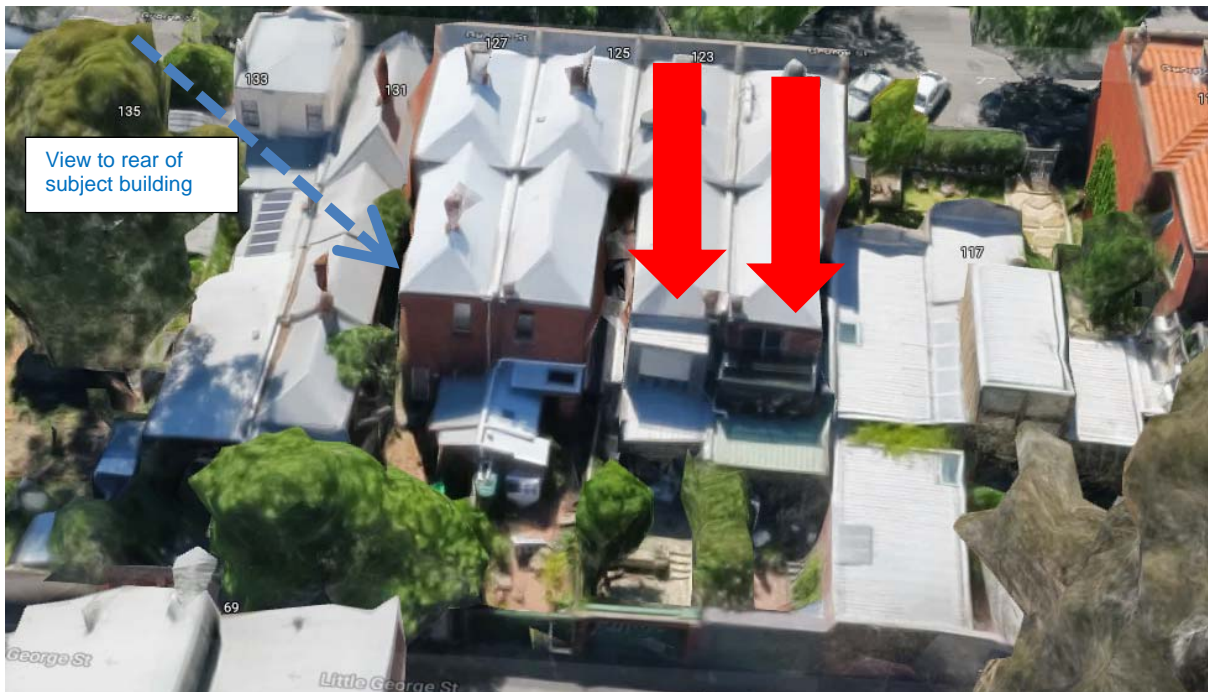
Attachment 6 - PLN17/0894 - 127 George Street Fitzroy - Informal ESD comments (email)



Above: Comparative location of proposed rear terrace in comparison with the existing terrace at the rear of no. 121

A quick comparison of the rear facades of all the terrace houses making up the row reveals that two out of the four have already been modified. The integrity of the row has therefore already been compromised. The extent of change currently proposed will result in an addition of similar appearance as the rear of no. 121.

On the basis that the proposed alterations and additions to the rear of the subject terrace house will be consistent with the extent of alterations that have previously been carried out to terrace houses that together make up this row, known as the "Lethams Buildings, it is considered that the proposed rear additions are acceptable.



RECOMMENDATIONS:

On heritage grounds the works proposed in this application should be modified prior to further consideration or conditioned as part of any approval.

Recommended modifications are as follows:

Attachment 6 - PLN17/0894 - 127 George Street Fitzroy - Informal ESD comments (email)

1. That the existing roof structure associated with the two-storey rear wing must be fully retained;
2. That only the south facing roof slope of the existing roof over the two-storey rear wing may be replaced with transparent roof sheeting;
3. That the north facing upper rear wall must be retained in full, including the existing window frames;

Other comments:

SIGNED:



Diahnn McIntosh

DATED: 6 February 2018

Moloney, Madeleine

From: Williamson, Euan
Sent: Monday, 30 April 2018 12:16 PM
To: Moloney, Madeleine
Subject: TRIM: 127 George St Fitzroy

HP TRIM Record Number: D18/73446

Madeleine,

Further to our discussions regarding the energy efficiency standard of the proposed building at 127 George St, I recommend that the following items be included to assist address thermal energy performance, and potential overheating in summer.

- Central courtyard roofing to be insulated translucent panels, to demonstrate thermal energy performance exceeds National Construction Code requirements.
- Roof glazing to rear living area to have a Solar Heat Gain Coefficient of no more than 0.5
- Operable glazing to north facing (upper) windows to encourage a breeze path for summer thermal comfort

If you or the applicant would like to discuss this further, please contact me.

Euan.

Euan Williamson

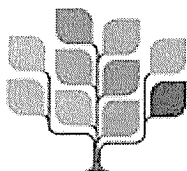
Environmental Sustainable Development Advisor

City of Yarra PO Box 168 Richmond 3121

T (03) 9205 5366 F (03) 8417 6666

E Euan.Williamson@yarracity.vic.gov.au

W www.yarracity.vic.gov.au



Did you know: There are new sustainability requirements of developments within Yarra? The new Clause 22.17 of the Yarra Planning Scheme is based on the popular SDAPP program and requires new developments greater than 2 dwellings to meet a best practice standard in their planning applications. See the City of Yarra website for more information.