

Attachment 1 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Floor plans and elevations

# 390-394 BRUNSWICK ST

CLIENT: SIMSON PROPERTY DEVELOPMENTS

DRAWING NO.	DRAWING NAME	REVISION
TP001	INDEX	C
TP002	EXISTING & DEMOLITION SITE & ROOF PLAN	C
TP003	EXISTING & DEMOLITION GROUND FLOOR PLAN	E
TP004	EXISTING & DEMOLITION FIRST FLOOR PLAN	D
TP005	EXISTING & DEMOLITION ELEVATIONS	C
TP006	EXISTING & DEMOLITION ELEVATIONS	B
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TP009	PROPOSED FIRST FLOOR PLAN	L
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TP014	DETAILED APARTMENT PLANS	B
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TP027	SHADOW DIAGRAMS - 11AM	B
TP028	SHADOW DIAGRAMS - 12PM	B
TP029	SHADOW DIAGRAMS - 1PM	B
TP030	SHADOW DIAGRAMS - 2PM	B
TP031	SHADOW DIAGRAMS - 3PM	B
TP032	MATERIALS SCHEDULE	C

REVISED  
13 FEB 2018

**CLARE COUSINS ARCHITECTS**  
 28 Blackwood Street  
 North Melbourne  
 Victoria Australia 3048  
 03 9329 2888  
 studio@clarecousins.com.au  
 www.clarecousins.com.au

TOWN PLANNING		
REV	ISSUE DATE	BY REASON FOR ISSUE
A	14/05/2017	CONSULTANT ISSUE
B	17/06/2017	TW PRELIMINARY PLANNING
C	18/10/2017	TW PLANNING ISSUE

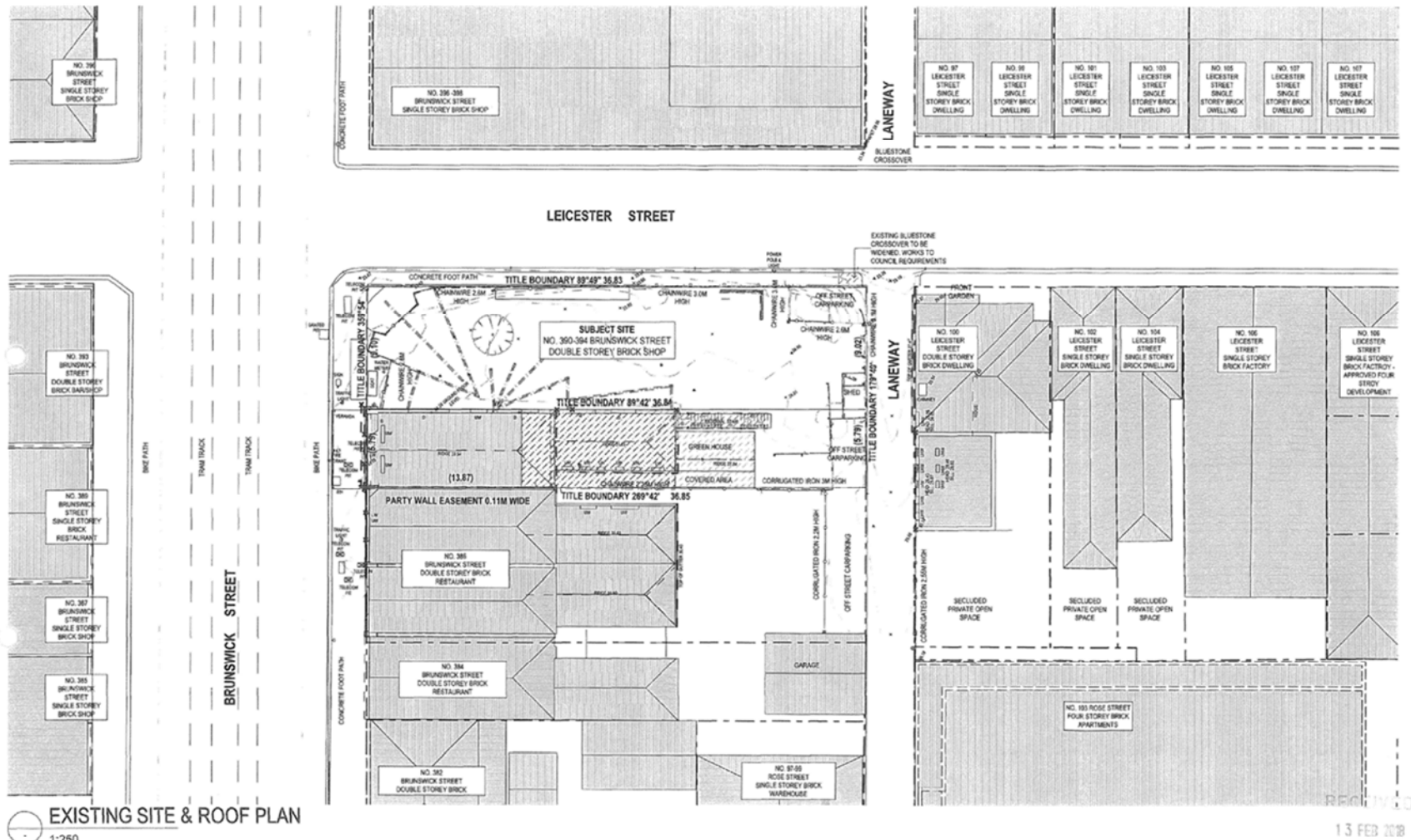
PROJECT  
**390-394 BRUNSWICK ST**  
 390-394 BRUNSWICK STREET FITZROY 3065

CLIENT  
**SIMSON PROPERTY DEVELOPMENTS**

ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE		
<b>INDEX</b>		
SCALE AT A3	JOB NUMBER	
	452	
ISSUE DATE	DRAWN BY	DRAWING NO.
18/10/2017	TW	TP001

Attachment 1 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Floor plans and elevations



EXISTING SITE & ROOF PLAN  
1:250

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	EXISTING BUILDING FABRIC TO REMAIN	LHW	UPPER HABITABLE WINDOW
	EXISTING BUILDING FABRIC TO BE DEMOLISHED	LHW	LOWER HABITABLE WINDOW
	NEIGHBOURING BUILDINGS	HW	HABITABLE WINDOW
		D	DOOR
		DD	DOUBLE DOOR

**TOWN PLANNING**

REV	ISSUE DATE	BY	REASON FOR ISSUE
A	14/07/2017	TM	CONCEPT ISSUE
B	17/09/2017	TW	PRELIMINARY PLANNING
C	18/10/2017	TW	PLANNING ISSUE

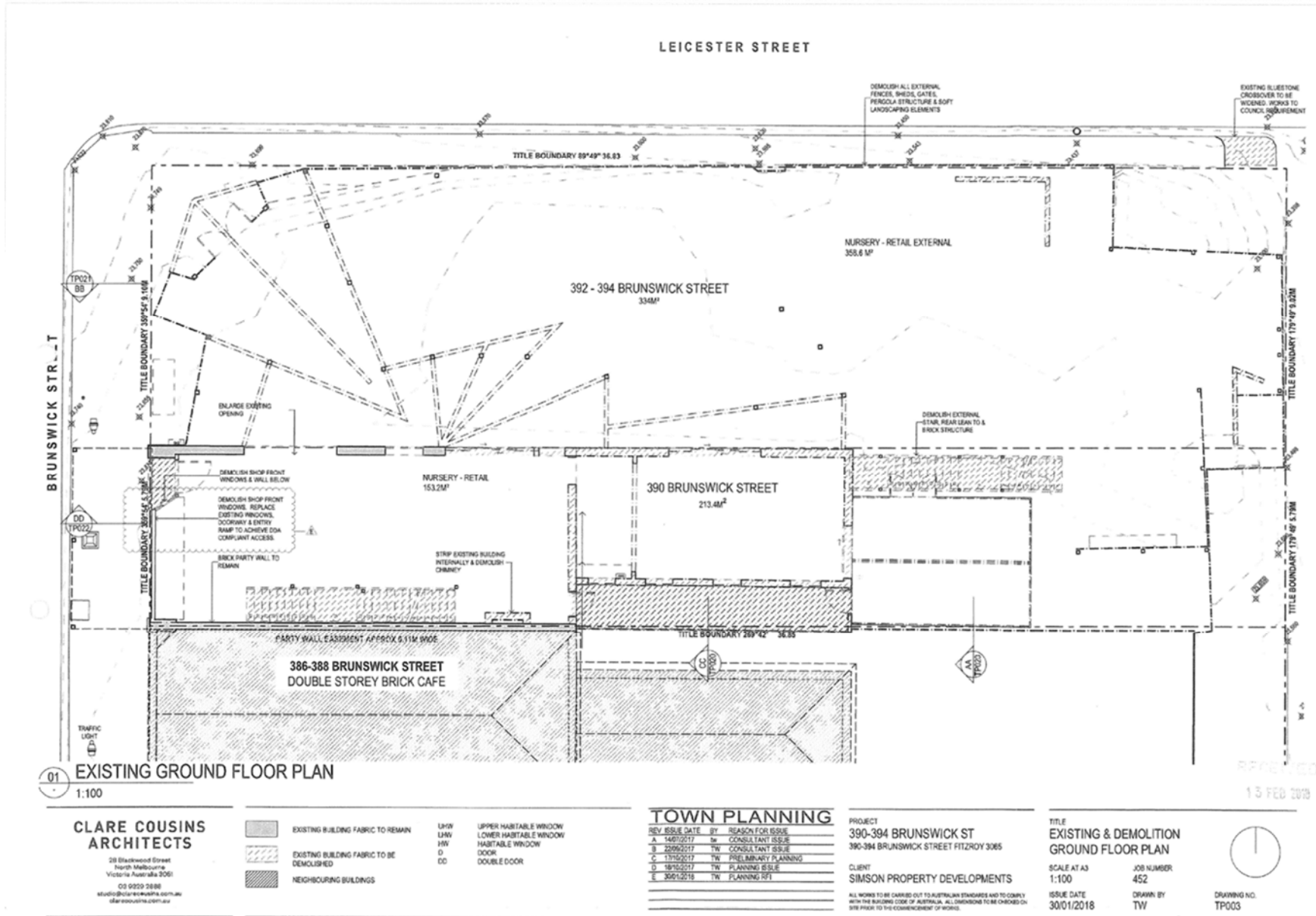
PROJECT  
390-394 BRUNSWICK ST  
390-394 BRUNSWICK STREET FITZROY 3065

CLIENT  
SIMSON PROPERTY DEVELOPMENTS

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TITLE EXISTING & DEMOLITION SITE & ROOF PLAN	SCALE AT A3 1:250, 1:100	JOB NUMBER 452	DRAWN BY TW	DRAWING NO. TP002
ISSUE DATE 18/10/2017				

Attachment 1 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Floor plans and elevations



01 EXISTING GROUND FLOOR PLAN  
1:100

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- EXISTING BUILDING FABRIC TO REMAIN
- EXISTING BUILDING FABRIC TO BE DEMOLISHED
- NEIGHBOURING BUILDINGS
- LHW UPPER HABITABLE WINDOW
- LW LOWER HABITABLE WINDOW
- HW HABITABLE WINDOW
- D DOOR
- DD DOUBLE DOOR

**TOWN PLANNING**

REV	ISSUE DATE	BY	REASON FOR ISSUE
A	14/07/2017	tw	CONSULTANT ISSUE
B	22/08/2017	tw	CONSULTANT ISSUE
C	13/10/2017	tw	PRELIMINARY PLANNING
D	18/10/2017	tw	PLANNING ISSUE
E	30/01/2018	tw	PLANNING RFI

PROJECT  
390-394 BRUNSWICK ST  
390-394 BRUNSWICK STREET FITZROY 3065

CLIENT  
SIMSON PROPERTY DEVELOPMENTS

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TITLE  
EXISTING & DEMOLITION  
GROUND FLOOR PLAN

SCALE AT A3  
1:100

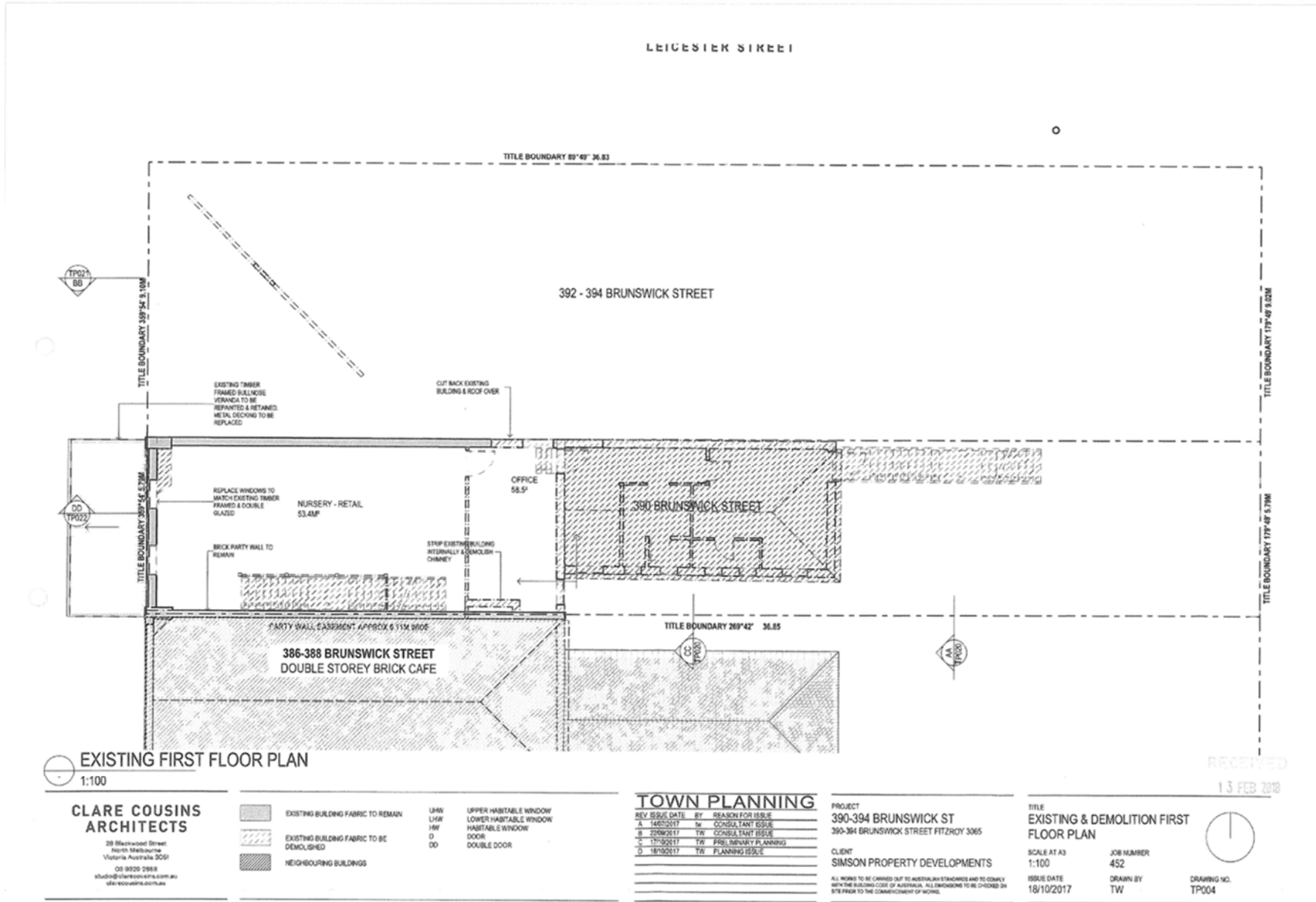
ISSUE DATE  
30/01/2018

JOB NUMBER  
452

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TW

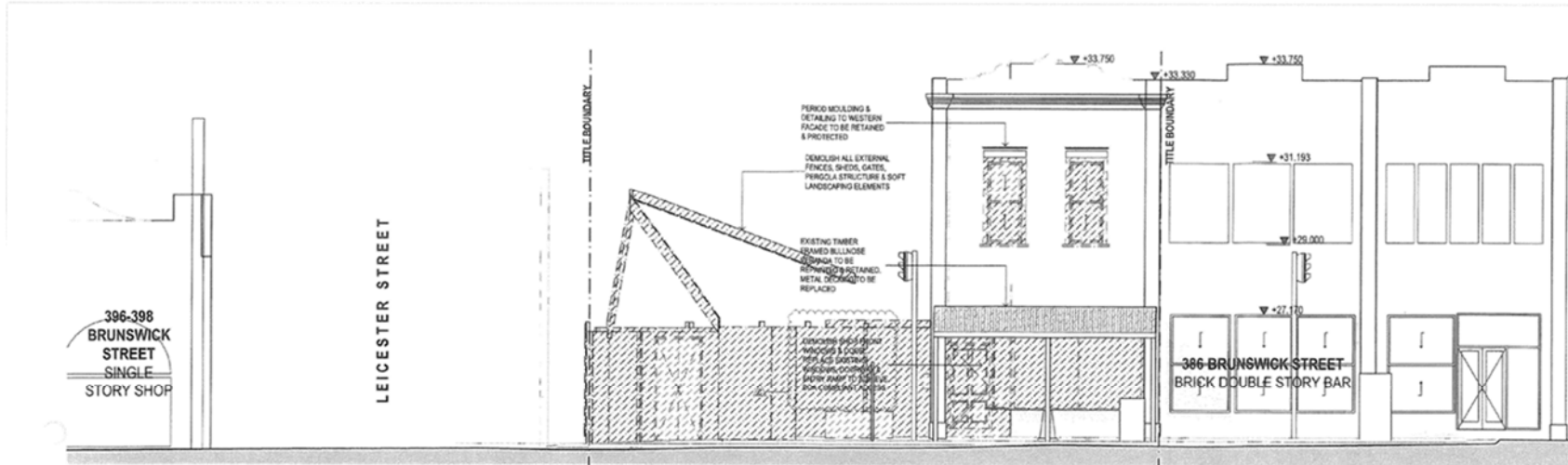


Attachment 1 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Floor plans and elevations

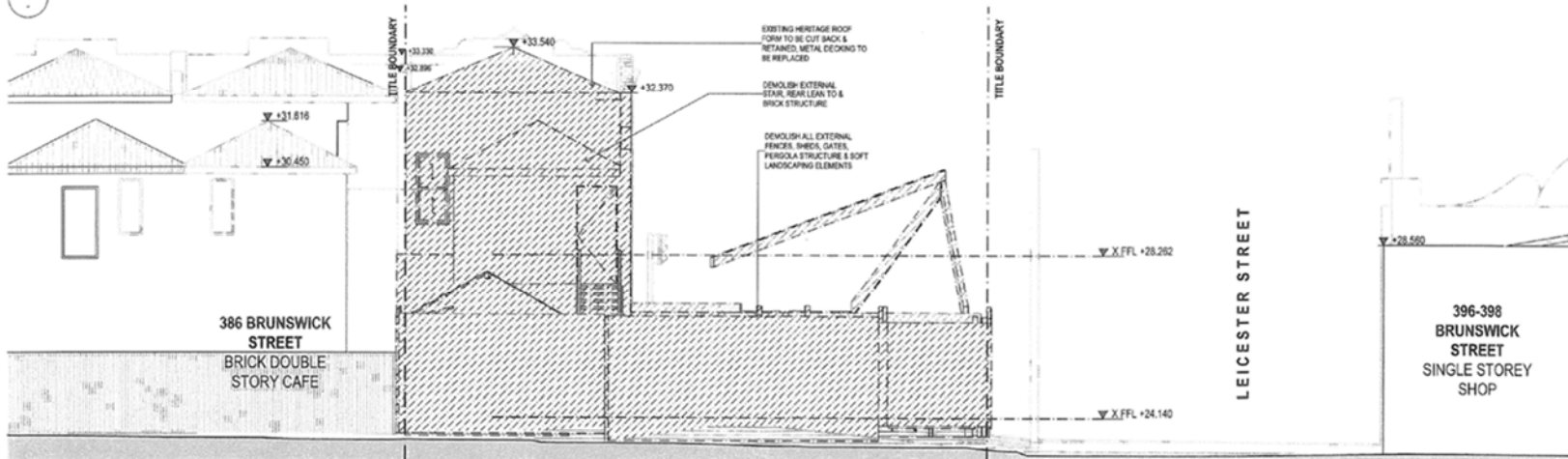




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01 EXISTING & DEMOLITION WEST ELEVATION



02 EXISTING & DEMOLITION EAST ELEVATION

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- EXISTING BUILDING FABRIC TO REMAIN
- EXISTING BUILDING FABRIC TO BE DEMOLISHED
- NEIGHBOURING BUILDINGS

- HW HABITABLE WINDOW
- LHW LOWER HABITABLE WINDOW
- HW HABITABLE WINDOW
- D DOOR
- DD DOUBLE DOOR

**TOWN PLANNING**

REV	ISSUE DATE	BY	REASON FOR ISSUE
A	17/10/2017	TW	PRELIMINARY PLANNING
B	18/10/2017	TW	PLANNING ISSUE
C	30/1/2018	TW	PLANNING REV

PROJECT  
390-394 BRUNSWICK ST  
390-394 BRUNSWICK STREET FITZROY 3065

CLIENT  
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TITLE  
EXISTING & DEMOLITION ELEVATIONS

SCALE AT A3  
1:100

ISSUE DATE  
30/1/2018

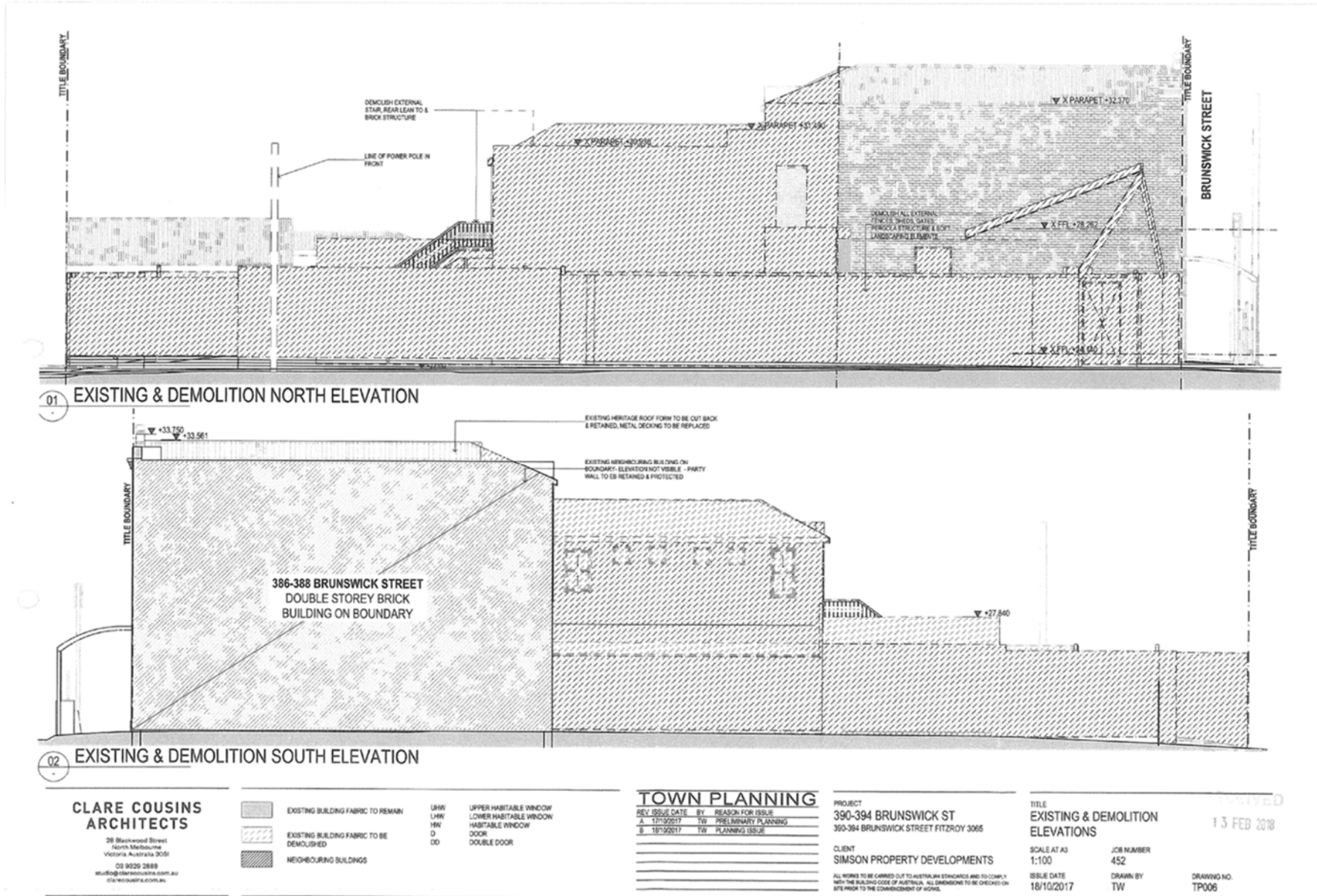
JOB NUMBER  
452

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-  EXISTING BUILDING FABRIC TO REMAIN
-  EXISTING BUILDING FABRIC TO BE DEMOLISHED
-  NEIGHBOURING BUILDINGS

- UHW UPPER HABITABLE WINDOW
- LHW LOWER HABITABLE WINDOW
- HW HABITABLE WINDOW
- D DOOR
- DD DOUBLE DOOR

**TOWN PLANNING**

REV	ISSUE DATE	BY	REASON FOR ISSUE
A	13/11/2017	TW	PRELIMINARY PLANNING
B	18/10/2017	TW	PLANNING ISSUE

PROJECT  
390-394 BRUNSWICK ST  
390-394 BRUNSWICK STREET FITZROY 3065

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TITLE  
EXISTING & DEMOLITION ELEVATIONS

13 FEB 2018

SCALE AT A3  
1:100

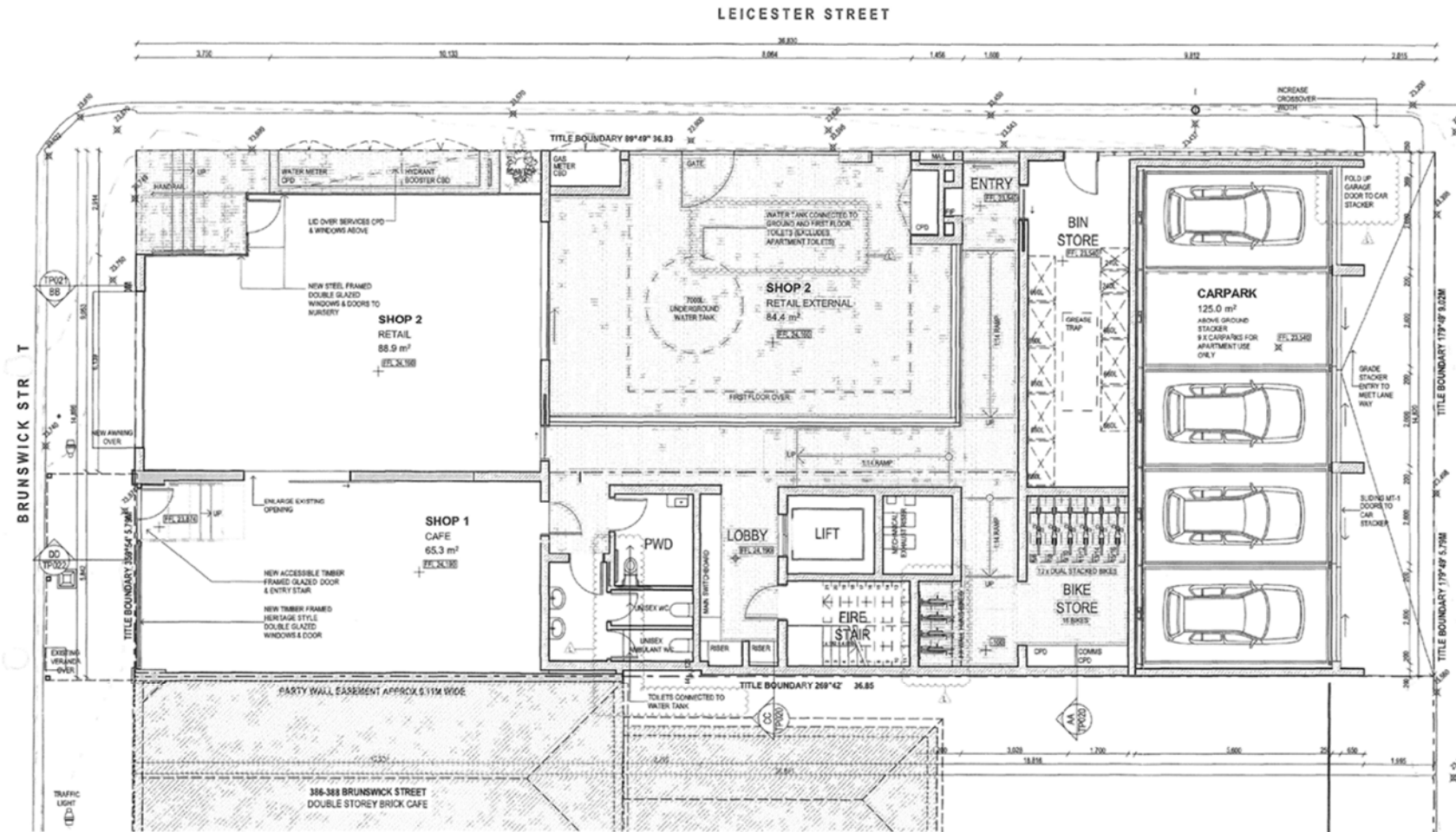
ISSUE DATE  
18/10/2017

JOB NUMBER  
452

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TW

DRAWING NO.  
TP006

Attachment 1 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Floor plans and elevations



01 PROPOSED GROUND FLOOR PLAN  
1:100

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**TOWN PLANNING**

REV	ISSUE DATE	BY	REASON FOR ISSUE
D	23/02/2017	AN	CLIENT MEETING
E	26/02/2017	TW	CONSULTANT ISSUE
F	26/02/2017	TW	CLIENT MEETING
G	22/03/2017	TW	CONSULTANT ISSUE
H	5/12/2017	TW	CONSULTANT ISSUE
I	12/12/2017	TW	CLIENT MEETING
J	11/12/2017	TW	PRELIMINARY PLANNING
K	16/12/2017	TW	PLANNING ISSUE
L	30/01/2018	TW	PLANNING IPI

PROJECT  
390-394 BRUNSWICK ST  
390-394 BRUNSWICK STREET FITZROY 3065

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TITLE  
PROPOSED GROUND FLOOR PLAN

SCALE AT A3

1:100

ISSUE DATE  
30/01/2018

JOB NUMBER

452

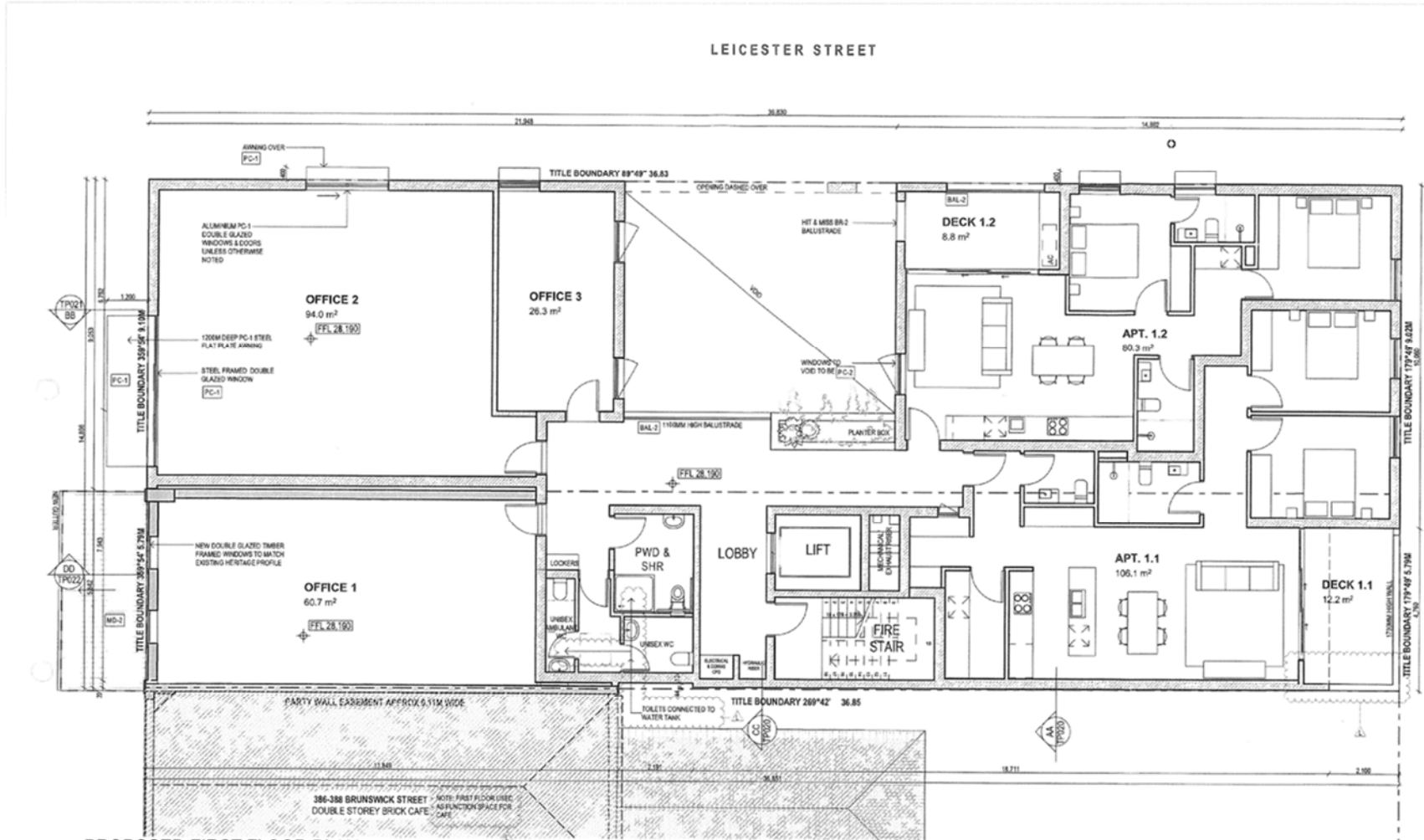
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Attachment 1 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Floor plans and elevations



01 PROPOSED FIRST FLOOR PLAN  
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**TOWN PLANNING**

REV	ISSUE DATE	BY	REASON FOR ISSUE
D	23/09/2017	AN	CLIENT MEETING
E	20/09/2017	TW	CONSULTANT ISSUE
F	20/09/2017	TW	CLIENT MEETING
G	22/09/2017	TW	CONSULTANT ISSUE
H	01/10/2017	TW	CONSULTANT ISSUE
I	07/10/2017	TW	CLIENT MEETING
J	17/10/2017	TW	PRELIMINARY PLANNING
K	18/10/2017	TW	PLANNING ISSUE
L	30/07/2018	TW	PLANNING RFI

PROJECT  
390-394 BRUNSWICK ST  
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TITLE  
PROPOSED FIRST FLOOR PLAN

SCALE AT A3  
1:100  
ISSUE DATE  
30/01/2018

JOB NUMBER  
452

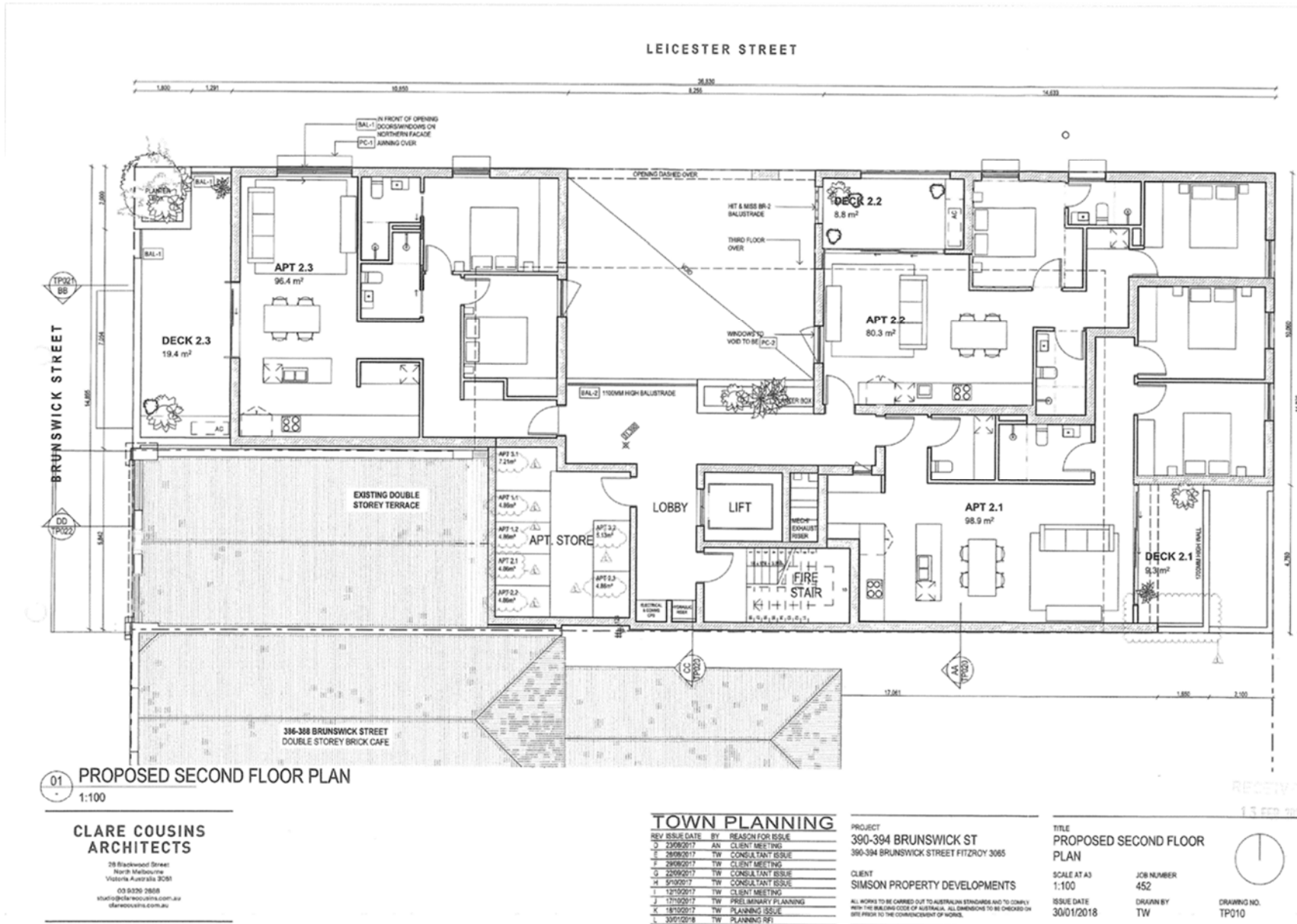
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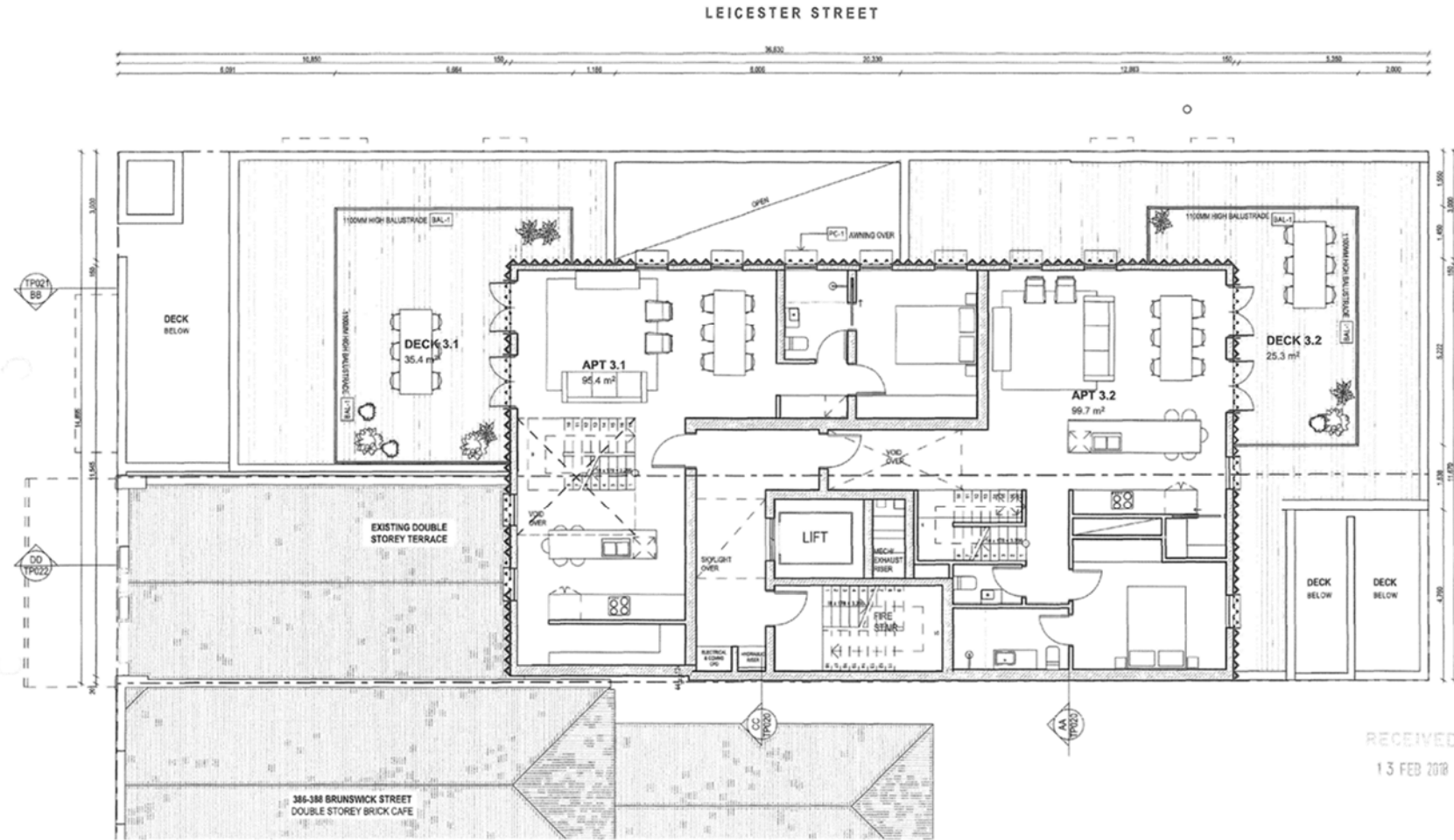


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TP009

Attachment 1 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Floor plans and elevations



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01 PROPOSED THIRD FLOOR PLAN  
1:100

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**TOWN PLANNING**

REV	ISSUE DATE	BY	REASON FOR ISSUE
B	31/07/2017	TW	CLIENT REVIEW
C	23/09/2017	AW	CLIENT MEETING
D	28/08/2017	TW	CONSULTANT ISSUE
E	29/08/2017	TW	CLIENT MEETING
F	22/09/2017	TW	CONSULTANT ISSUE
G	21/02/17	TW	CONSULTANT ISSUE
H	12/10/2017	TW	CLIENT MEETING
I	17/10/2017	TW	PRELIMINARY PLANNING
J	18/10/2017	TW	PLANNING ISSUE

PROJECT  
390-394 BRUNSWICK ST  
390-394 BRUNSWICK STREET FITZROY 3065

CLIENT  
SIMSON PROPERTY DEVELOPMENTS

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TITLE  
PROPOSED THIRD FLOOR PLAN

SCALE AT A3  
1:100

ISSUE DATE  
18/10/2017

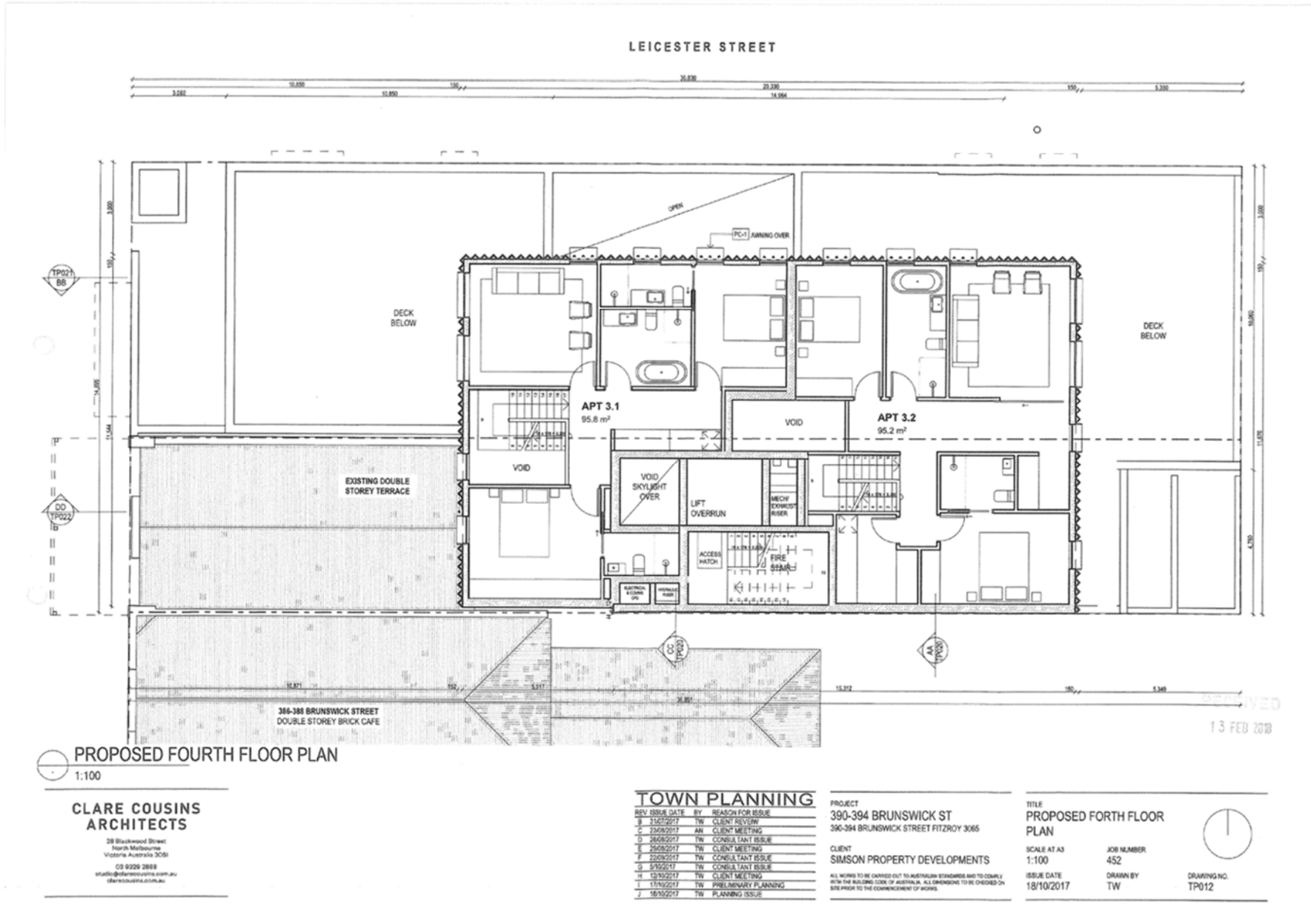
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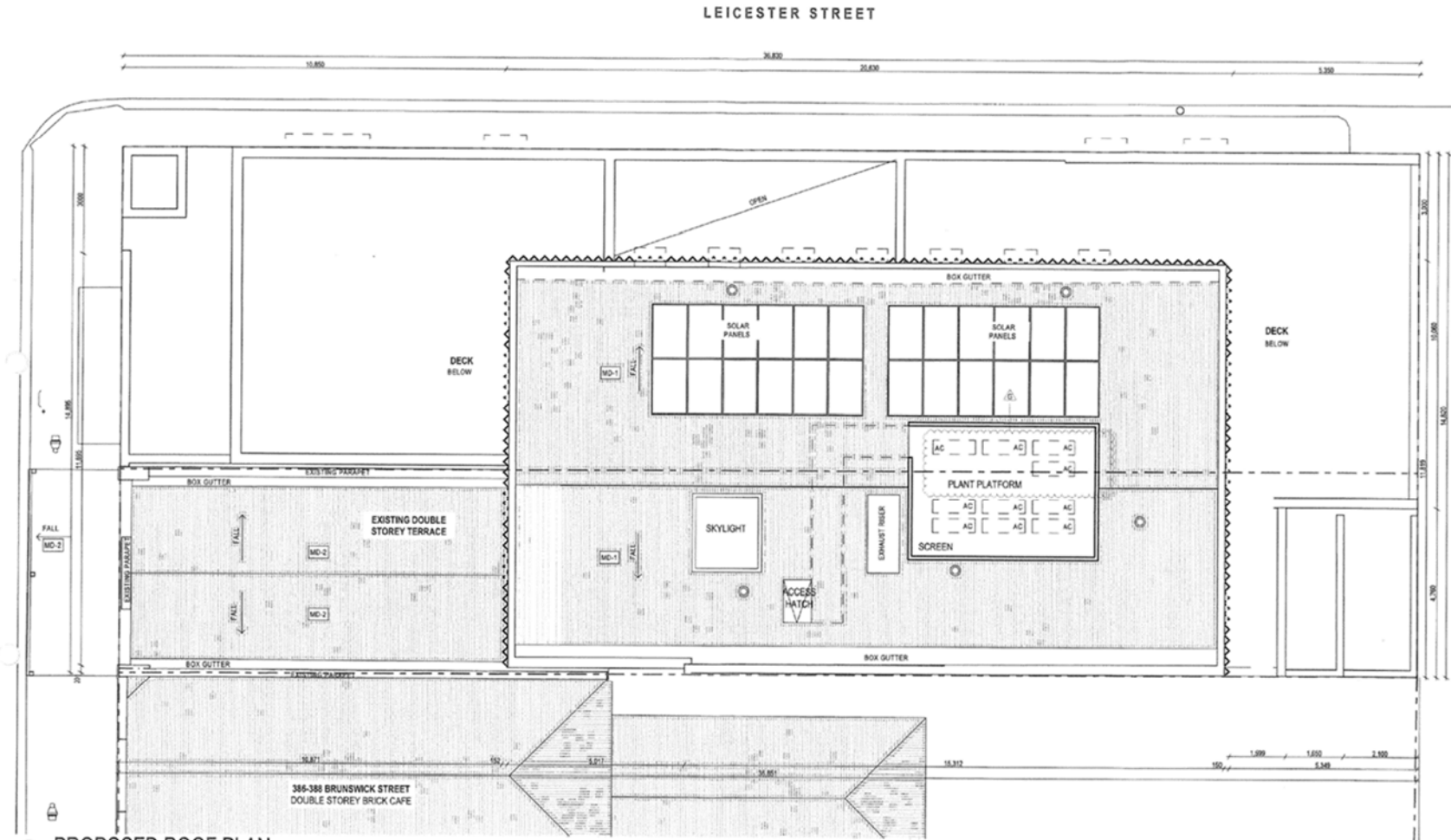
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TP011

Attachment 1 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Floor plans and elevations





Attachment 1 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Floor plans and elevations



PROPOSED ROOF PLAN  
1:100

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**TOWN PLANNING**

REV	ISSUE DATE	BY	REASON FOR ISSUE
A	14/07/2017	tw	CONSULTANT ISSUE
B	11/05/2017	tw	CLIENT REVIEW
C	09/02/17	tw	CONSULTANT ISSUE
D	12/10/2017	tw	CLIENT MEETING
E	17/02/2017	tw	PRELIMINARY PLANNING
F	18/05/2017	tw	PLANNING ISSUE
G	23/01/2018	tw	PLANNING 101

PROJECT  
390-394 BRUNSWICK ST  
390-394 BRUNSWICK STREET FITZROY 3065

CLIENT  
SIMSON PROPERTY DEVELOPMENTS

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TITLE  
PROPOSED ROOF PLAN

SCALE AT A3  
1:100

ISSUE DATE  
30/01/2018

JOB NUMBER  
452

DRAWN BY  
TW

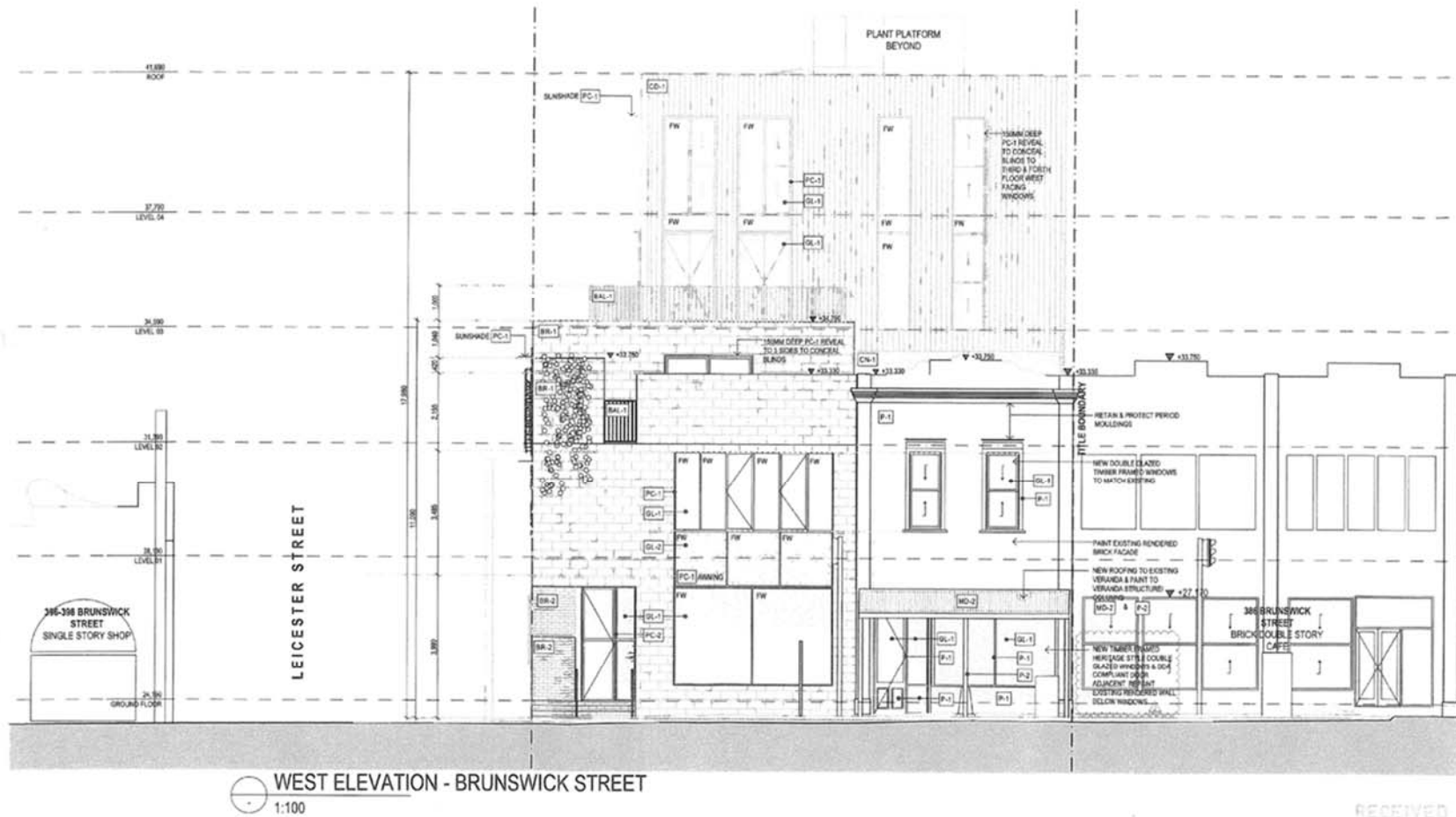
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 28 Blackwood Street  
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SAL-1	WHITE METAL ROD BALLUSTRADE	GL-4	OBSCURE GLASS - MAXIMUM 25% TRANSPARENCY
SAL-2	RED METAL ROD BALLUSTRADE	MD-2	ZINCALUME CORRUGATED IRON ROOFING
BR-1	OFF WHITE MASONRY BLOCK	MD-1	ZINCALUME CORRUGATED TRIMDECK ROOFING
BR-2	RED BRICK	MT-1	WHITE PERFORATED METAL SCREEN
CD-1	METAL CLADDING - COLOURBOND SURFMET	P-1	PAINT FINISH - WHITE
CN-1	PRECAST CONCRETE - PAW GREY FINISH	P-2	PAINT FINISH - CHARCOAL
CN-2	TEXTURED PRECAST CONCRETE	PC-1	METAL FINISH - POWDERCOAT OR SITE PAINT - WHITE
GL-1	CLEAR GLASS	PC-2	METAL FINISH - POWDERCOAT OR SITE PAINT - RED

**TOWN PLANNING**

REV	ISSUE DATE	BY	REASON FOR ISSUE
1	13/02/2017	TW	CLIENT REVIEW
2	23/08/2017	AW	CLIENT MEETING
3	29/08/2017	TW	CLIENT MEETING
4	22/09/2017	TW	CONSULTANT ISSUE
5	07/02/2017	TW	CONSULTANT ISSUE
6	12/02/2017	TW	CLIENT MEETING
7	17/02/2017	TW	PRELIMINARY PLANNING
8	18/02/2017	TW	PLANNING ISSUE
9	20/02/2018	TW	PLANNING RFI

PROJECT  
**390-394 BRUNSWICK ST**  
 390-394 BRUNSWICK STREET FITZROY 3065

CLIENT  
**SIMSON PROPERTY DEVELOPMENTS**

ALL WORKS TO BE CHANGED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK.

TITLE  
**WEST ELEVATION**

SCALE AT A3  
 1:100

JOB NUMBER  
 452

ISSUE DATE  
 30/01/2018

DRAWN BY  
 TW

DRAWING NO.  
 TP016

Attachment 1 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Floor plans and elevations



NORTH ELEVATION - LEICESTER STREET

1:100

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BAL-1	WHITE METAL ROD BALUSTRADE	GL-2	OBSCURE GLASS - MAXIMUM 25% TRANSPARENCY
BAL-2	RED METAL ROD BALUSTRADE	WD-2	ZINCALUME CORRUGATED IRON ROOFING
BR-1	OFF WHITE MASONRY BLOCK	WD-1	ZINCALUME CORRUGATED TRIMDECK ROOFING
BR-2	RED BRICK	MT-1	WHITE PERFORATED METAL SCREEN
CD-1	METAL CLADDING - COLOURBOND SURFMST	P-1	PAINT FINISH - WHITE
CM-1	PRECAST CONCRETE - RAW GREY FINISH	P-2	PAINT FINISH - CHARCOAL
CM-2	TEXTURED PRECAST CONCRETE	PC-1	METAL FINISH - POWDERCOAT OR SITE PAINT - WHITE
GL-1	CLEAR GLASS	PC-2	METAL FINISH - POWDERCOAT OR SITE PAINT - RED

**TOWN PLANNING**

REV	ISSUE DATE	BY	REASON FOR ISSUE
A	14/02/2017	TW	CONSULTANT ISSUE
B	21/02/2017	TW	CLIENT REVIEW
C	23/02/2017	AN	CLIENT MEETING
D	28/02/2017	TW	CLIENT MEETING
E	23/02/2017	TW	CONSULTANT ISSUE
F	15/02/2017	TW	CONSULTANT ISSUE
G	12/10/2017	TW	CLIENT MEETING
H	17/10/2017	TW	PRELIMINARY PLANNING
I	18/10/2017	TW	PLANNING ISSUE

PROJECT  
390-394 BRUNSWICK ST  
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TITLE  
NORTH ELEVATION

SCALE AT A3  
1:100

ISSUE DATE  
18/10/2017

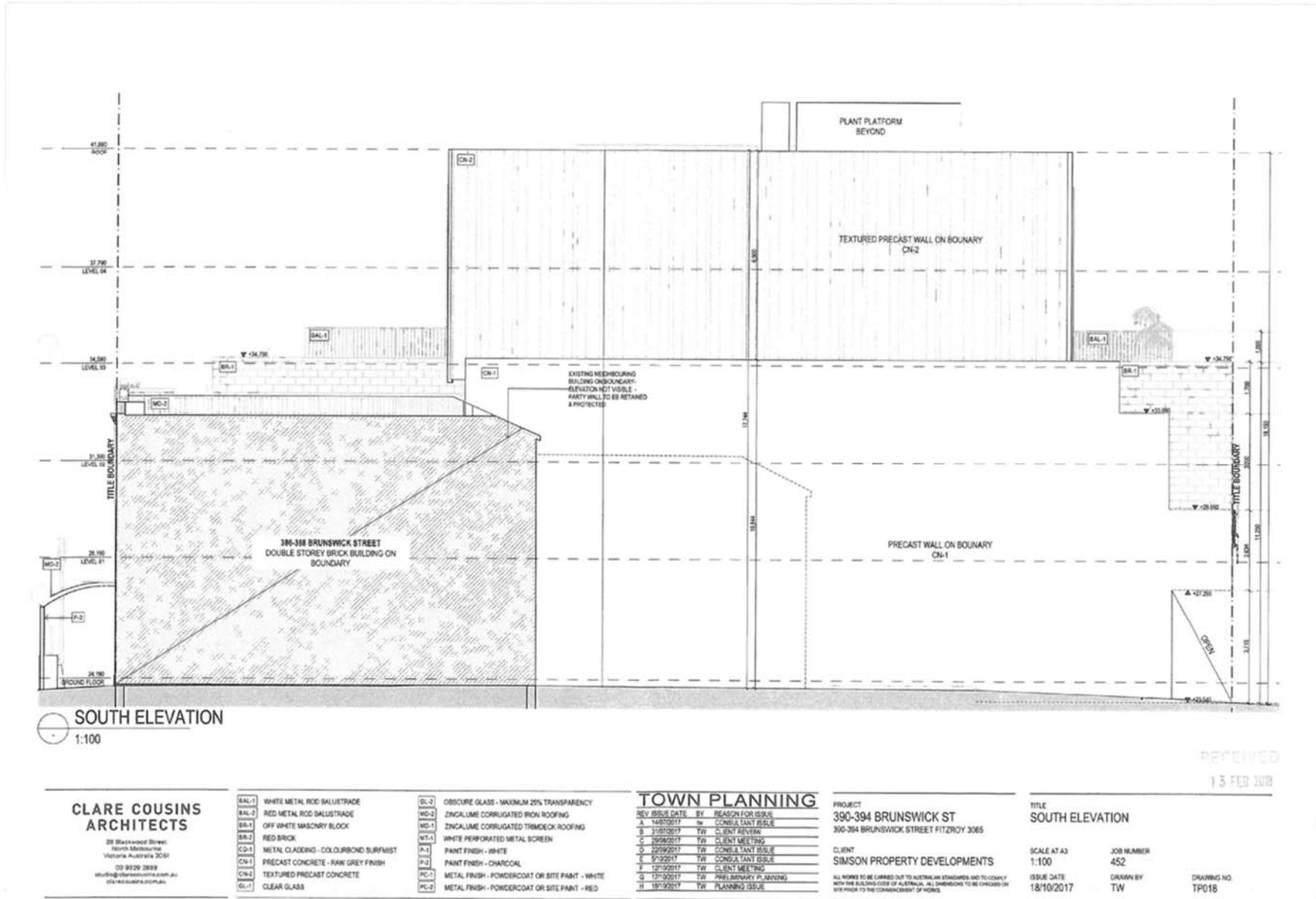
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**SOUTH ELEVATION**  
1:100

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BAL-1	WHITE METAL ROD BALUSTRADE	GL-2	OBSCURE GLASS - MAXIMUM 25% TRANSPARENCY
BAL-2	RED METAL ROD BALUSTRADE	MD-2	ZINCALUME CORRUGATED IRON ROOFING
BR-1	OFF WHITE MASONRY BLOCK	MD-1	ZINCALUME CORRUGATED TRIMDECK ROOFING
BR-2	RED BRICK	MT-1	WHITE PERFORATED METAL SCREEN
CD-1	METAL CLADDING - COLOURBOND SURFMIST	P-1	PAINT FINISH - WHITE
CN-1	PRECAST CONCRETE - RAW GREY FINISH	P-2	PAINT FINISH - CHARCOAL
CN-2	TEXTURED PRECAST CONCRETE	PC-1	METAL FINISH - POWDERCOAT OR SITE PAINT - WHITE
GL-1	CLEAR GLASS	PC-2	METAL FINISH - POWDERCOAT OR SITE PAINT - RED

**TOWN PLANNING**

REV	ISSUE DATE	BY	REASON FOR ISSUE
A	14/07/2017	tw	CONSULTANT ISSUE
B	11/07/2017	tw	CLIENT REVIEW
C	20/08/2017	tw	CLIENT MEETING
D	22/09/2017	tw	CONSULTANT ISSUE
E	01/10/2017	tw	CONSULTANT ISSUE
F	12/10/2017	tw	CLIENT MEETING
G	17/10/2017	tw	PRELIMINARY PLANNING
H	18/10/2017	tw	PLANNING ISSUE

PROJECT  
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CLIENT  
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TITLE  
**SOUTH ELEVATION**

SCALE AT A3  
1:100

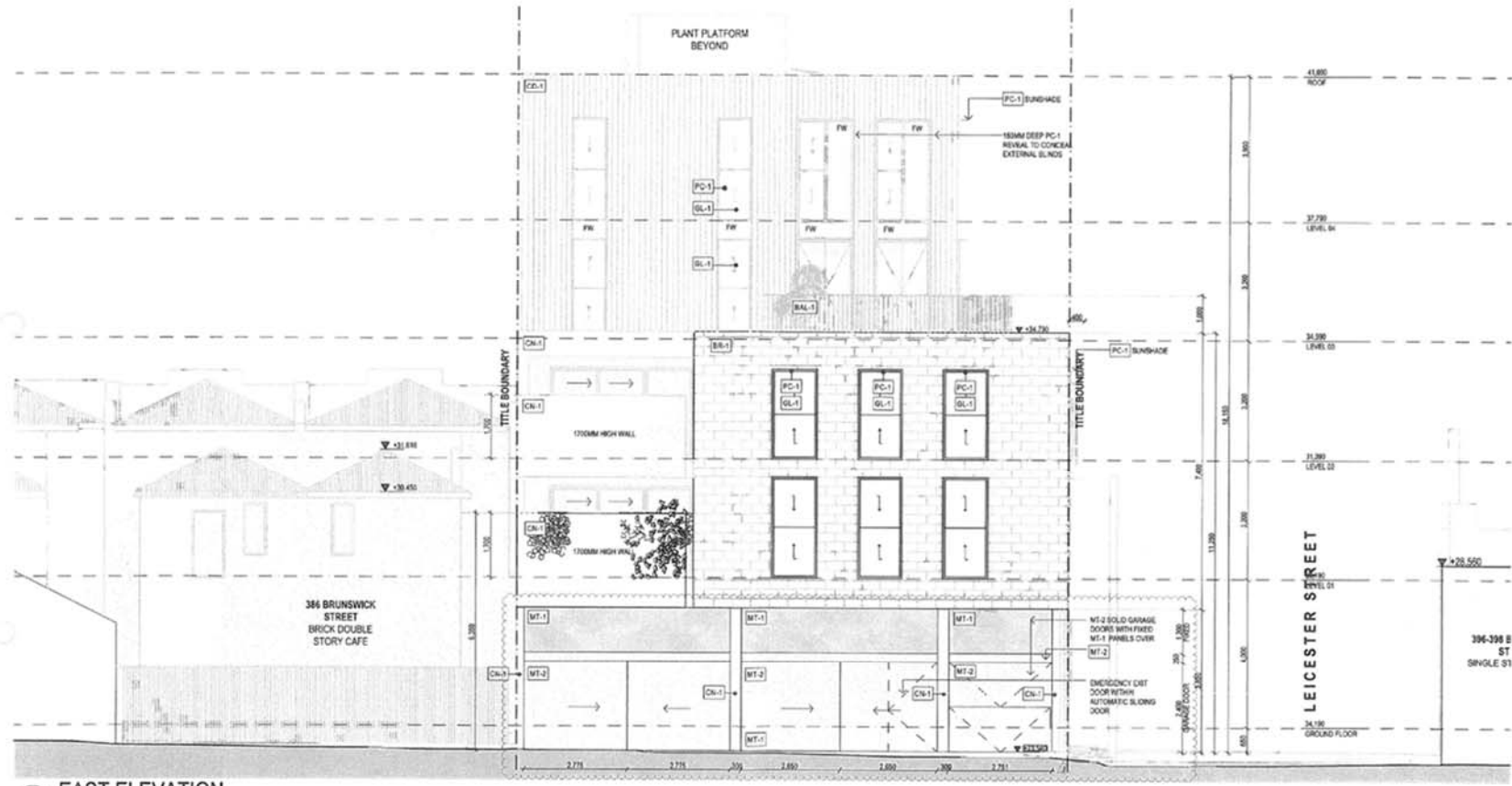
ISSUE DATE  
18/10/2017

JOB NUMBER  
452

DRAWN BY  
TW

DRAWING NO.  
TP018

Attachment 1 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Floor plans and elevations



**EAST ELEVATION**  
1:100

**CLARE COUSINS ARCHITECTS**  
28 Blackwood Street  
North Melbourne  
Victoria Australia 3061  
03 9229 2888  
studio@clarecousins.com.au  
clarecousins.com.au

BAL-1	WHITE METAL ROD BALUSTRADE	GL-2	OBSCURE GLASS - MAXIMUM 25% TRANSPARENTCY
BAL-2	RED METAL ROD BALUSTRADE	MD-2	ZINCALUM CORRUGATED IRON ROOFING
BR-1	OFF WHITE MASCHERY BLOCK	MD-1	ZINCALUM CORRUGATED TRIMDECK ROOFING
BR-2	RED BRICK	MT-1	WHITE PERFORATED METAL SCREEN
CC-1	METAL CLADDING - COLOURBOND BURFMIST	P-1	PAINT FINISH - WHITE
CN-1	PRECAST CONCRETE - RAW GREY FINISH	P-2	PAINT FINISH - CHARCOAL
CN-2	TEXTURED PRECAST CONCRETE	PC-1	METAL FINISH - POWDERCOAT OR SITE PAINT - WHITE
GL-1	CLEAR GLASS	PC-2	METAL FINISH - POWDERCOAT OR SITE PAINT - RED

**TOWN PLANNING**

REV	ISSUE DATE	BY	REASON FOR ISSUE
1	13/05/2017	TW	CLIENT REVIEW
2	13/05/2017	AW	CLIENT MEETING
3	26/06/2017	TW	CLIENT MEETING
4	26/06/2017	TW	CONSULTANT ISSUE
5	09/07/2017	TW	CONSULTANT ISSUE
6	13/05/2017	TW	CLIENT SITE TRNG
7	17/10/2017	TW	PRELIMINARY PLANNING
8	18/02/2018	TW	PLANNING ISSUE
9	20/01/2018	TW	PLANNING RP1

PROJECT  
**390-394 BRUNSWICK ST**  
390-394 BRUNSWICK STREET FITZROY 3065

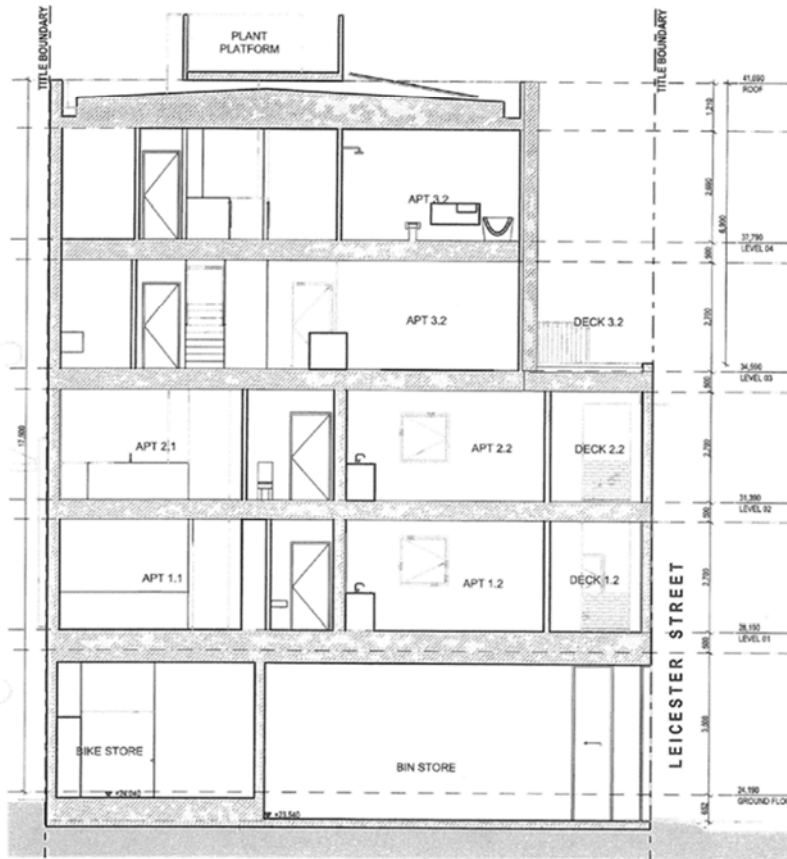
CLIENT  
**SIMSON PROPERTY DEVELOPMENTS**

ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

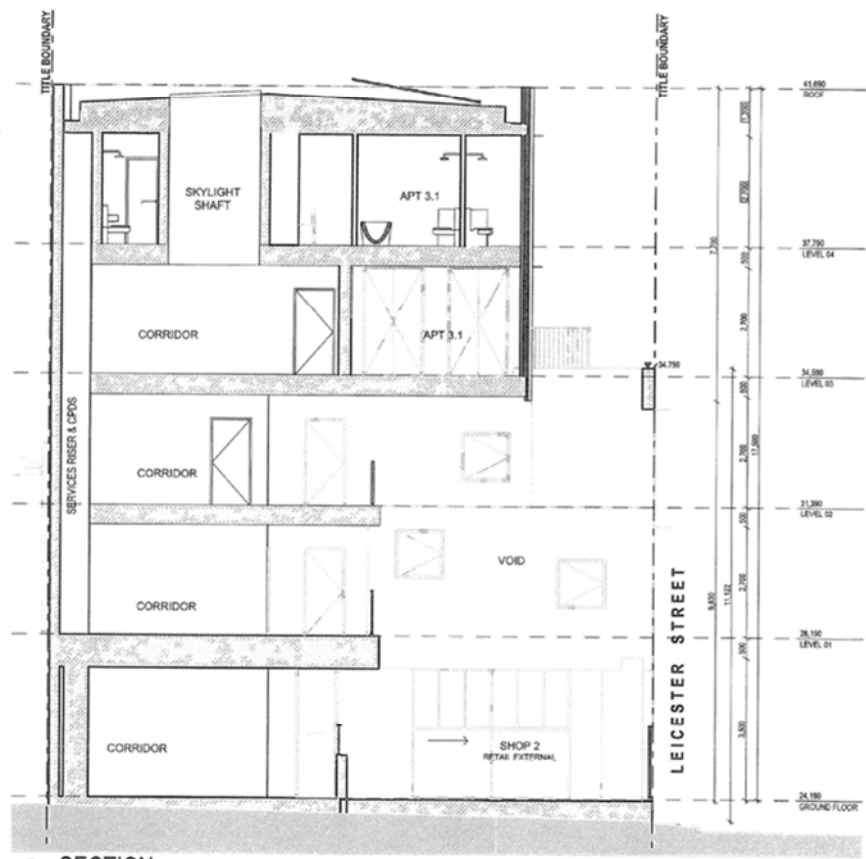
TITLE <b>EAST ELEVATION</b>	
SCALE AT A3 1:100	JOB NUMBER 452
ISSUE DATE 30/01/2018	DRAWN BY TW
	DRAWING NO. TP019

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Attachment 1 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Floor plans and elevations



AA SECTION  
1:100



CC SECTION  
1:100

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50 Blackwood Street  
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03 9329 2868  
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clarecousins.com.au

TOWN PLANNING		
REV	ISSUE DATE	BY REASON FOR ISSUE
A	14/01/2017	tw CONSULTANT ISSUE
B	31/07/2017	tw CLIENT REVIEW
C	01/02/2017	tw CONSULTANT ISSUE
D	12/05/2017	tw CLIENT MEETING
E	17/02/2017	tw PRELIMINARY PLANNING
F	18/10/2017	tw PLANNING ISSUE

PROJECT  
**390-394 BRUNSWICK ST**  
390-394 BRUNSWICK STREET FITZROY 3065

CLIENT  
**SIMSON PROPERTY DEVELOPMENTS**

ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE  
**SECTION AA & CC**

SCALE AT A3  
1:100

ISSUE DATE  
18/10/2017

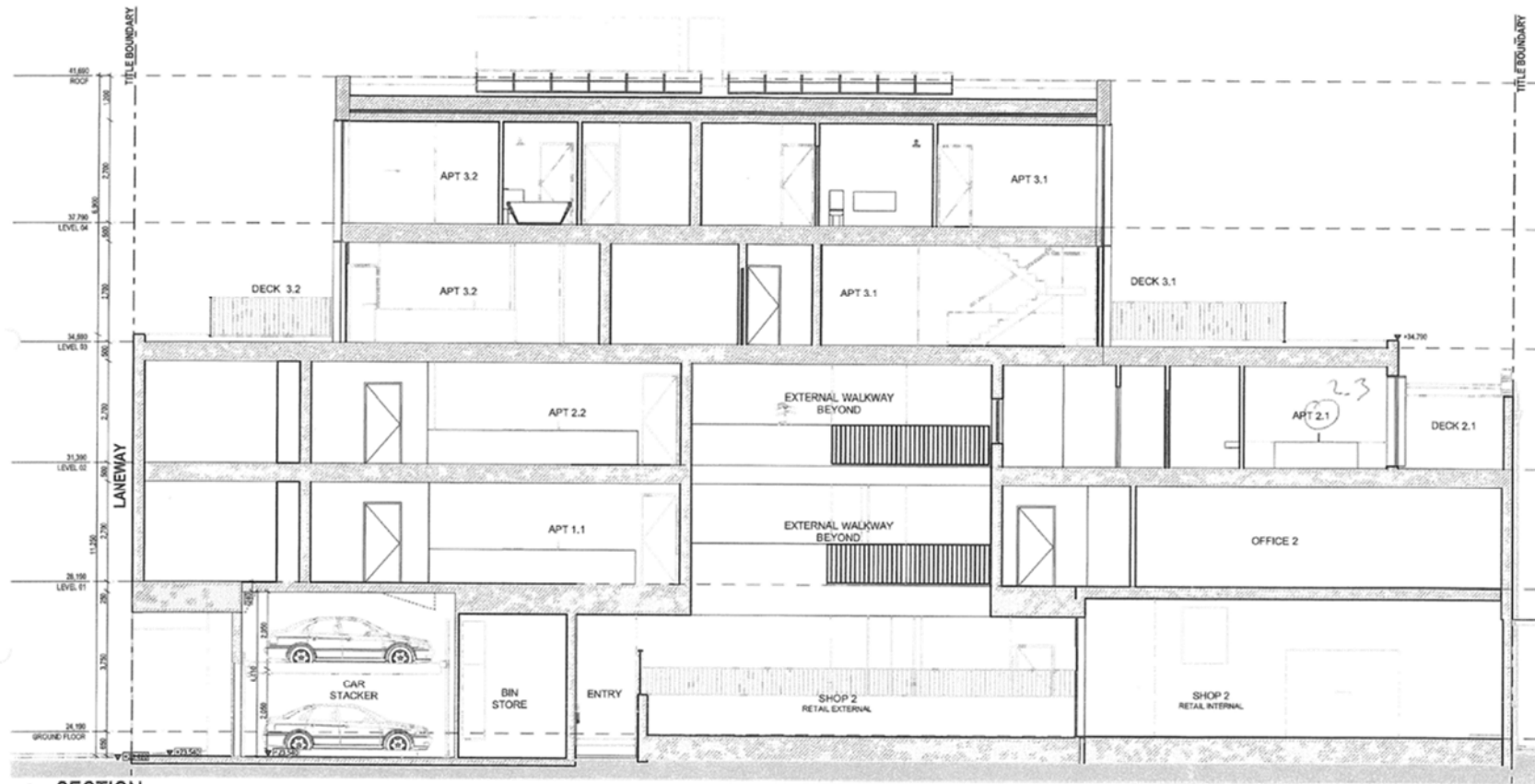
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452

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TW

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TP020

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Attachment 1 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Floor plans and elevations



BB SECTION  
1:100

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28 Blackwood Street  
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TOWN PLANNING		
REV	ISSUE DATE	BY REASON FOR ISSUE
A	14/03/2017	ME CONSULTANT ISSUE
B	21/07/2017	TW CLIENT REVIEW
C	22/08/2017	AN CLIENT MEETING
D	22/09/2017	TW CONSULTANT ISSUE
E	29/09/17	TW CONSULTANT ISSUE
F	13/10/2017	TW CLIENT MEETING
G	17/10/2017	TW PRELIMINARY PLANNING
H	18/10/2017	TW PLANNING ISSUE

PROJECT  
390-394 BRUNSWICK ST  
390-394 BRUNSWICK STREET FITZROY 3065

CLIENT  
SIMSON PROPERTY DEVELOPMENTS

ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE  
SECTION BB

SCALE AT A3  
1:100

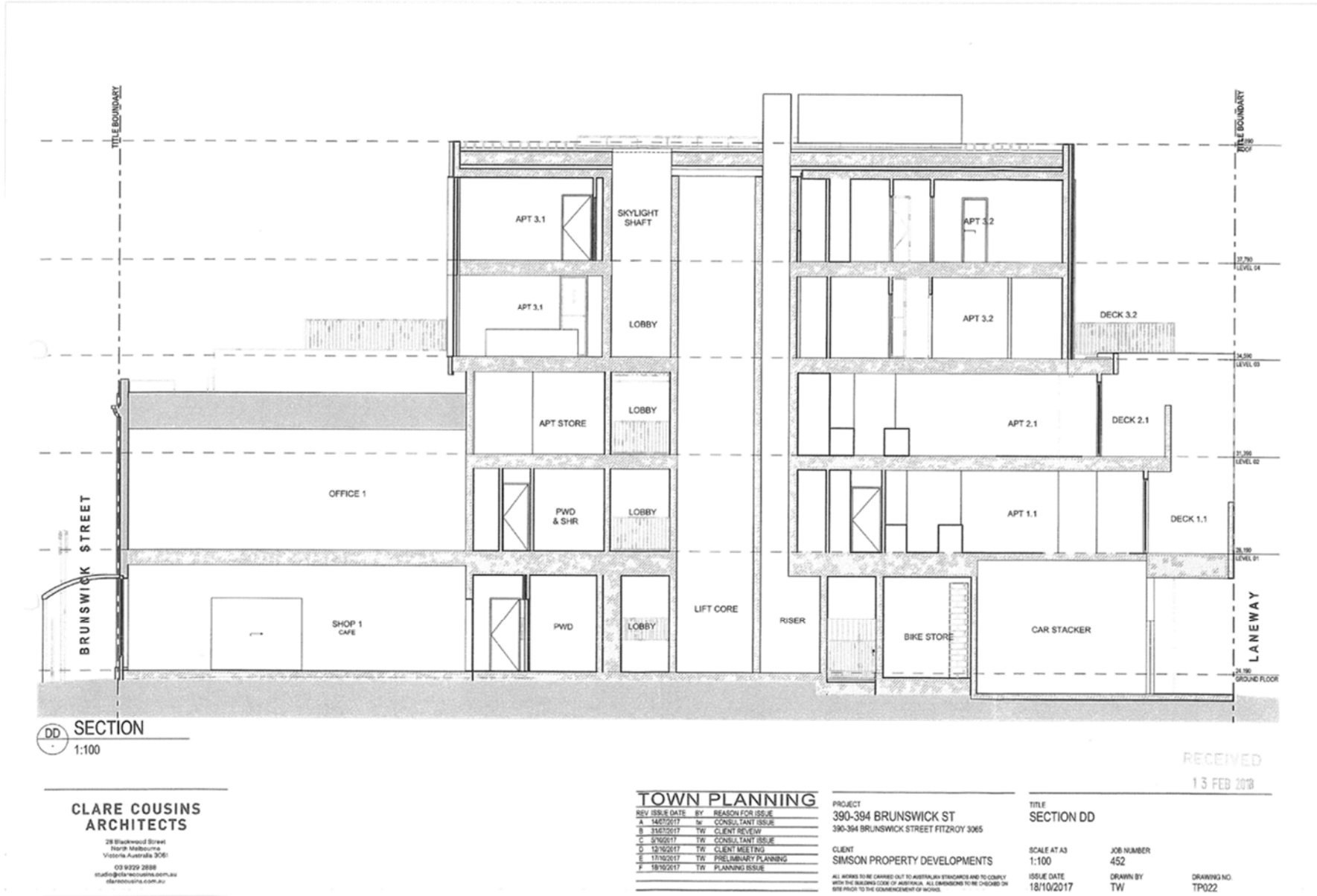
JOB NUMBER  
452

ISSUE DATE  
18/10/2017

DRAWN BY  
TW

DRAWING NO.  
TP021

Attachment 1 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Floor plans and elevations



DD SECTION  
1:100

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TOWN PLANNING		
REV	ISSUE DATE	BY REASON FOR ISSUE
A	14/07/2017	SK CONSULTANT ISSUE
B	21/07/2017	TW CLIENT REVIEW
C	07/08/2017	TW CONSULTANT ISSUE
D	12/08/2017	TW CLIENT MEETING
E	17/08/2017	TW PRELIMINARY PLANNING
F	18/10/2017	TW PLANNING ISSUE

PROJECT  
**390-394 BRUNSWICK ST**  
390-394 BRUNSWICK STREET FITZROY 3065

CLIENT  
**SIMSON PROPERTY DEVELOPMENTS**

ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE  
**SECTION DD**

SCALE AT A3  
1:100

ISSUE DATE  
18/10/2017

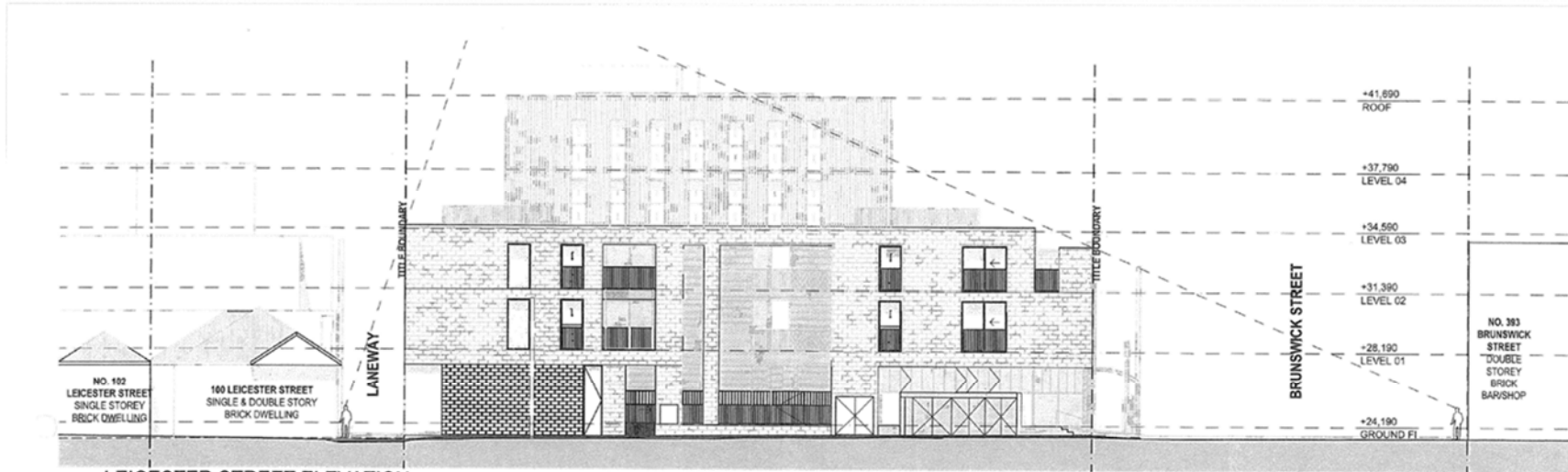
JOB NUMBER  
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LEICESTER STREET ELEVATION  
1:200



BRUNSWICK STREET ELEVATION  
1:200

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**TOWN PLANNING**

REV	ISSUE DATE	BY	REASON FOR ISSUE
0	27/01/2017	TW	CONSULTANT ISSUE
1	12/02/2017	TW	CLIENT MEETING
2	17/02/2017	TW	PRELIMINARY PLANNING
3	18/02/2017	TW	PLANNING ISSUE

PROJECT  
390-394 BRUNSWICK ST  
390-394 BRUNSWICK STREET FITZROY 3065

CLIENT  
SIMSON PROPERTY DEVELOPMENTS

ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO CONFORM WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE  
STREETSCAPE ELEVATIONS

SCALE AT A3  
1:200

ISSUE DATE  
18/10/2017

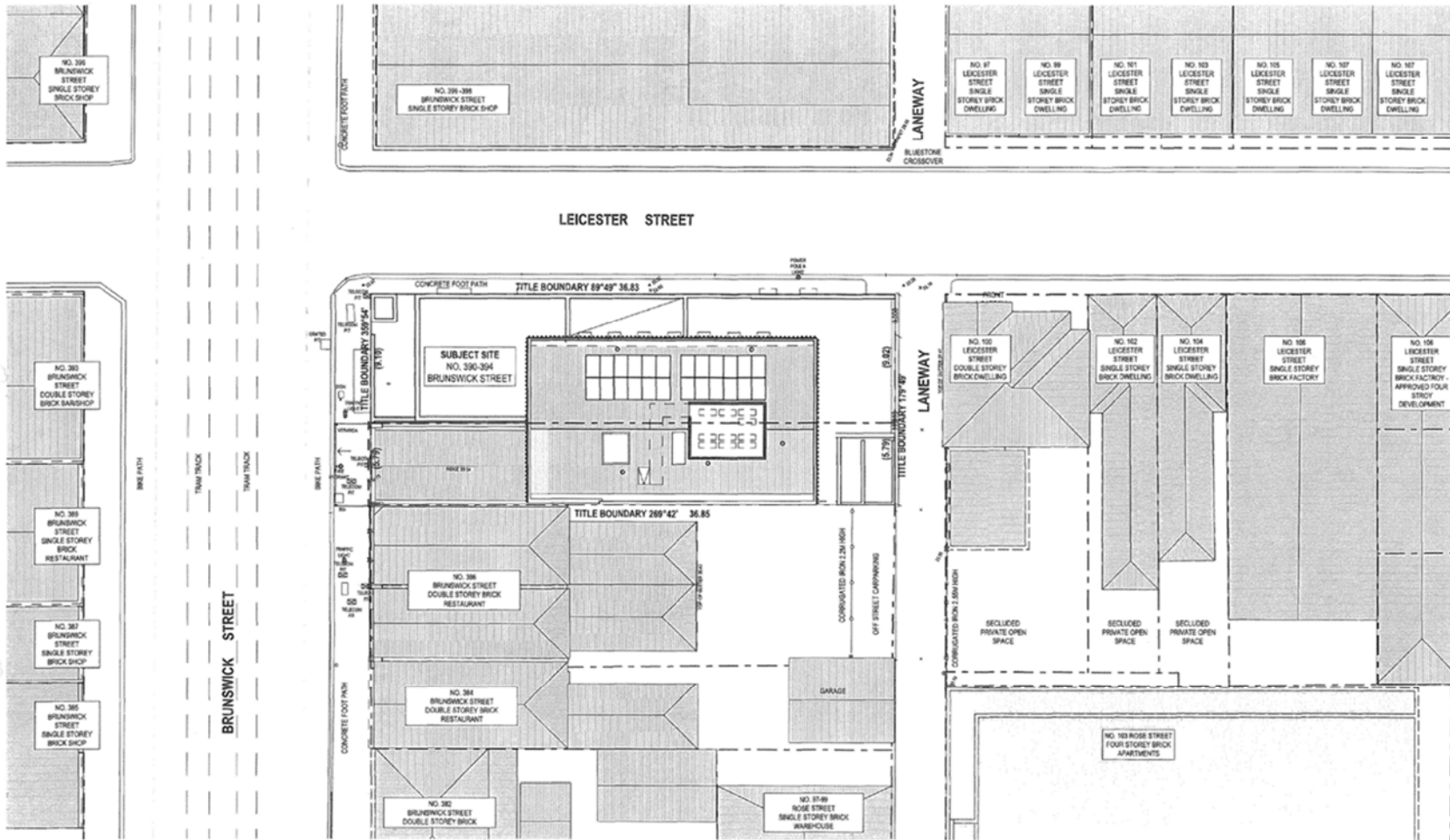
JOB NUMBER  
452

DRAWN BY  
TW

DRAWING NO.  
TP023



Attachment 2 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Shadow diagrams



PROPOSED SITE PLAN  
1:250

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www.clarecousins.com.au  
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**TOWN PLANNING**

REV	ISSUE DATE	BY	REASON FOR ISSUE
A	14/07/2017	TC	CONSULTANT ISSUE
B	17/10/2017	TW	PRELIMINARY PLANNING
C	18/10/2017	TW	PLANNING ISSUE

PROJECT  
390-394 BRUNSWICK ST  
390-394 BRUNSWICK STREET FITZROY 3065

CLIENT  
SIMSON PROPERTY DEVELOPMENTS

ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE  
PROPOSED SITE PLAN

SCALE AT A3  
1:250

ISSUE DATE  
18/10/2017

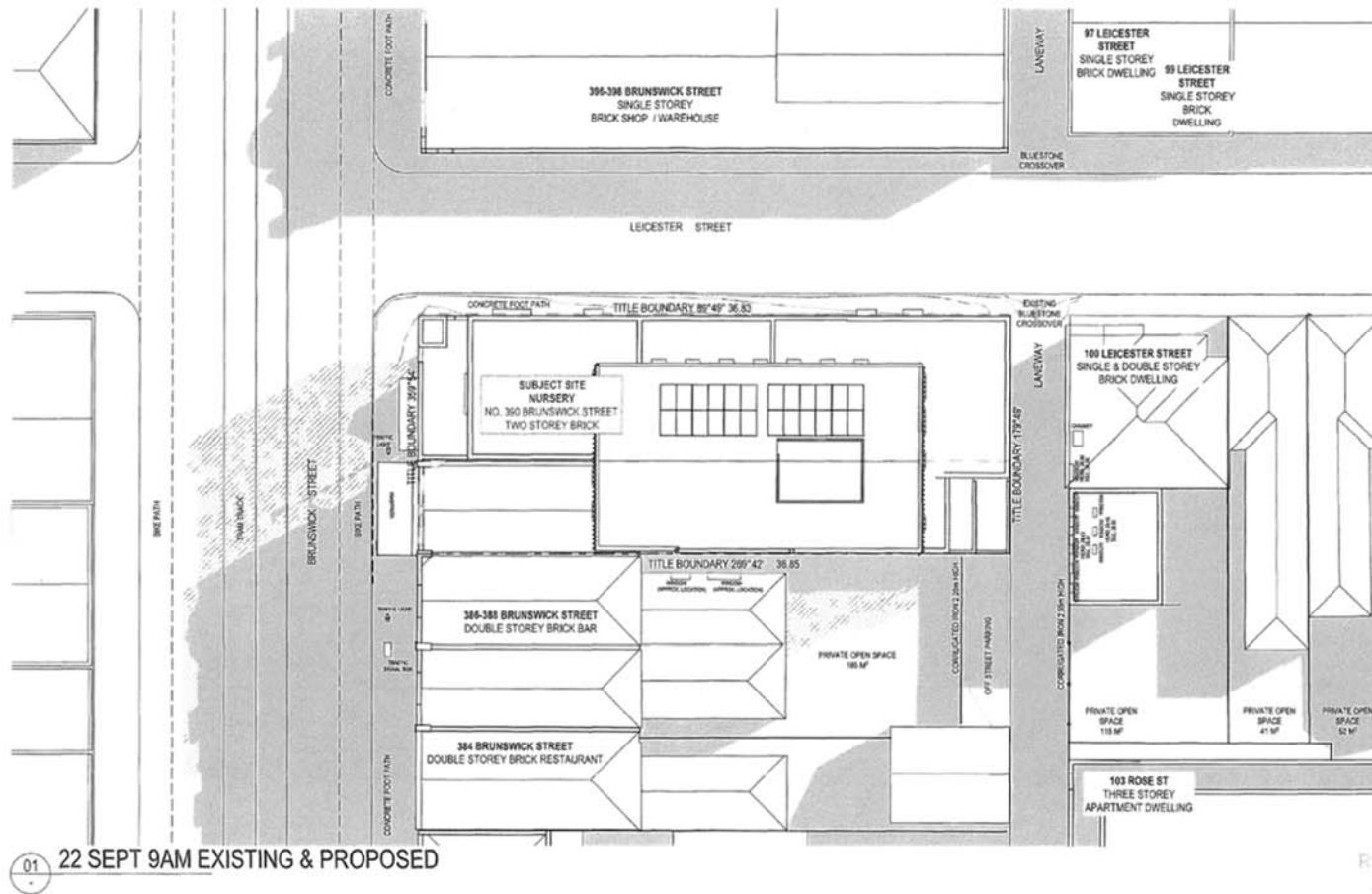
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TP007

Attachment 2 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Shadow diagrams



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 email: info@clarecousins.com.au  
 clarecousins.com.au

**LEGEND**

- SHADOWS CAST FROM EXISTING BUILDINGS
- ADDITIONAL SHADOWS CAST FROM PROPOSED DEVELOPMENT

**SHADOW SUMMARY**

NO. 100 LEICESTER ST- 22 SEPT 9AM

- EXISTING AREA UNSHADOWED SPACE- 50.0 M<sup>2</sup>
- PROPOSED AREA UNSHADOWED SPACE- 50.0M<sup>2</sup>
- ADDITIONAL OVERSHADOWING- 0M<sup>2</sup>

NO. 102 LEICESTER ST- 22 SEPT 9AM

- EXISTING AREA UNSHADOWED SPACE- 15.5M<sup>2</sup>
- PROPOSED AREA UNSHADOWED SPACE- 15.5M<sup>2</sup>
- ADDITIONAL OVERSHADOWING- 0M<sup>2</sup>

**TOWN PLANNING**

REV	ISSUE DATE	BY	REASON FOR ISSUE
A	11/10/2017	TW	PRELIMINARY PLANNING
B	18/10/2017	TW	PLANNING ISSUE

**PROJECT**  
 390-394 BRUNSWICK ST  
 390-394 BRUNSWICK STREET FITZROY 3065

**CLIENT**  
 SIMSON PROPERTY DEVELOPMENTS

ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED BY SITE PRIOR TO THE COMMENCEMENT OF WORKS.

**TITLE**  
 SHADOW DIAGRAMS - 9AM


**SCALE AT A3**  
 1:250

**JOB NUMBER**  
 452

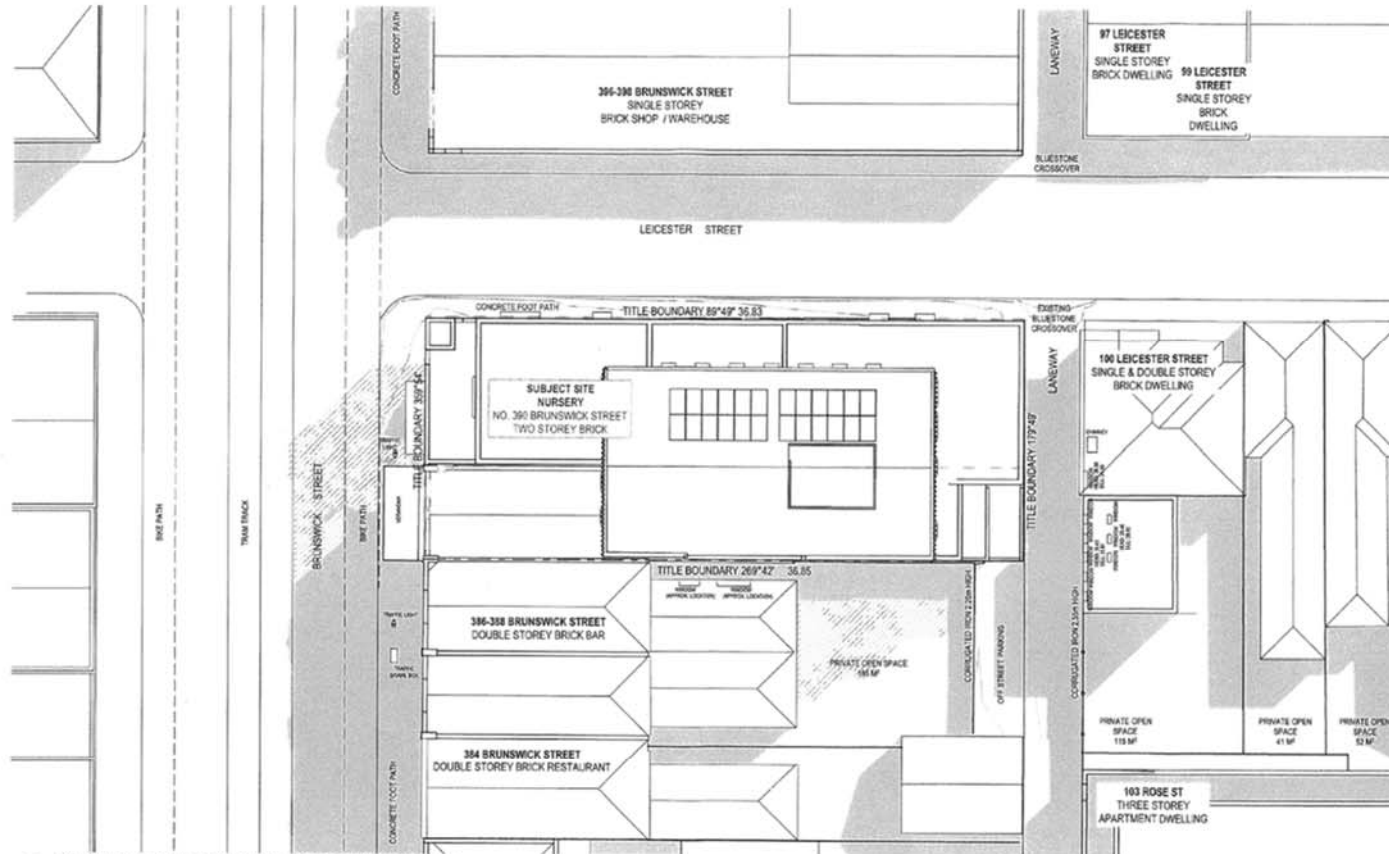
**ISSUE DATE**  
 18/10/2017

**DRAWN BY**  
 TW

**DRAWING NO.**  
 TP025




Attachment 2 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Shadow diagrams

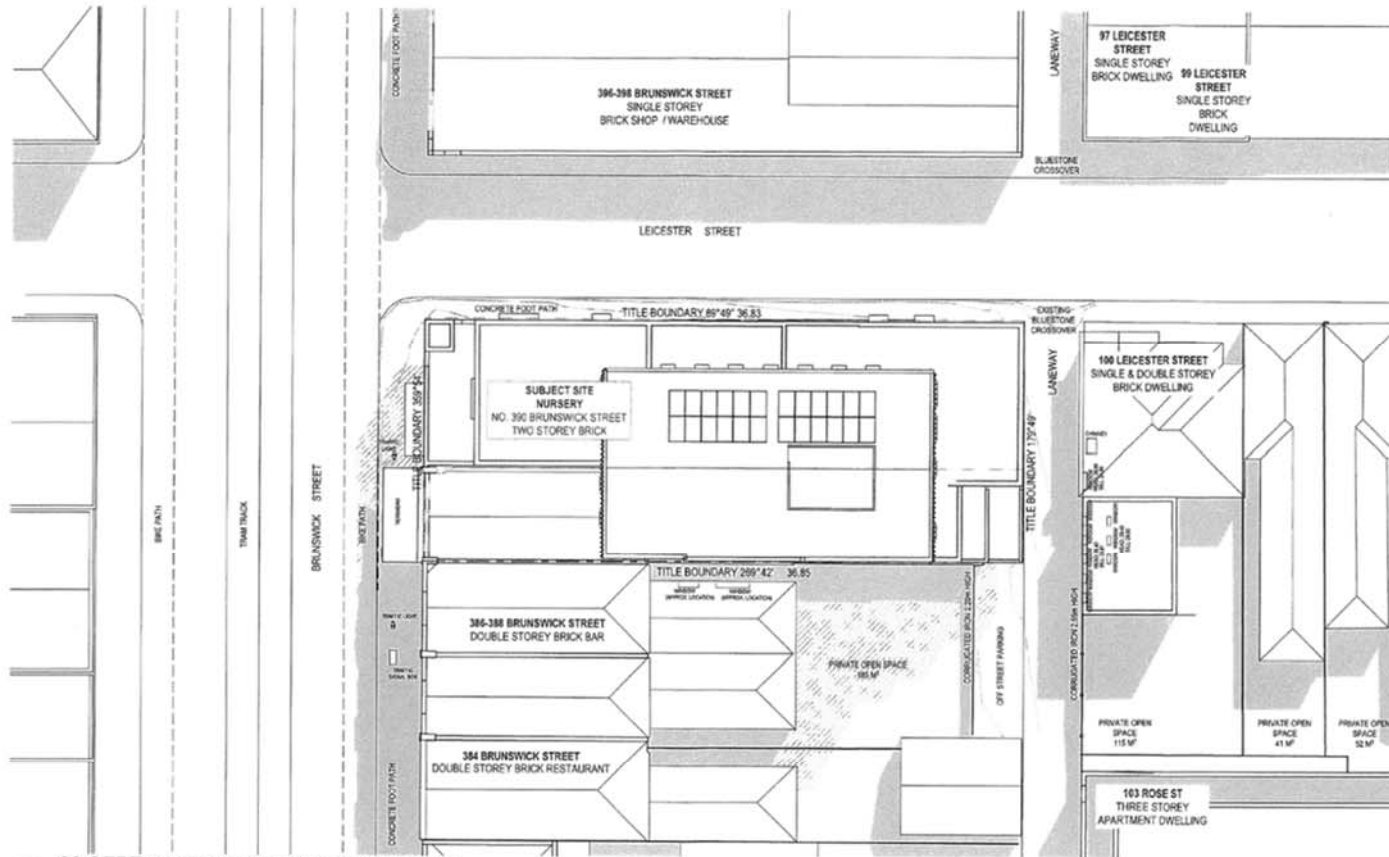


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<p><b>CLARE COUSINS ARCHITECTS</b> 28 Blackwood Street North Melbourne Victoria Australia 3061 03 9020 5888 studio@clarecousins.com.au clarecousins.com.au</p>	<p><b>LEGEND</b></p> <p> SHADOWS CAST FROM EXISTING BUILDINGS</p> <p> ADDITIONAL SHADOWS CAST FROM PROPOSED DEVELOPMENT</p>	<p><b>SHADOW SUMMARY</b></p> <p>NO. 100 LEICESTER ST- 22 SEPT 10AM</p> <ul style="list-style-type: none"> <li>- EXISTING AREA UNSHADED SPACE- 65.2 M<sup>2</sup></li> <li>- PROPOSED AREA UNSHADED SPACE- 65.2M<sup>2</sup></li> <li>- ADDITIONAL OVERSHADOWING- 0M<sup>2</sup></li> </ul> <p>NO. 102 LEICESTER ST- 22 SEPT 10AM</p> <ul style="list-style-type: none"> <li>- EXISTING AREA UNSHADED SPACE- 18.3M<sup>2</sup></li> <li>- PROPOSED AREA UNSHADED SPACE- 18.3M<sup>2</sup></li> <li>- ADDITIONAL OVERSHADOWING- 0M<sup>2</sup></li> </ul>	<p><b>TOWN PLANNING</b></p> <table border="1"> <thead> <tr> <th>REV</th> <th>ISSUE DATE</th> <th>BY</th> <th>REASON FOR ISSUE</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>17/10/2017</td> <td>TW</td> <td>PSCE PROPERTY PLANNING</td> </tr> <tr> <td>B</td> <td>18/10/2017</td> <td>TW</td> <td>PLANNING ISSUE</td> </tr> </tbody> </table>	REV	ISSUE DATE	BY	REASON FOR ISSUE	A	17/10/2017	TW	PSCE PROPERTY PLANNING	B	18/10/2017	TW	PLANNING ISSUE	<p><b>PROJECT</b> 390-394 BRUNSWICK ST 390-394 BRUNSWICK STREET FITZROY 3065</p> <p><b>CLIENT</b> SIMSON PROPERTY DEVELOPMENTS</p> <p><small>ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL CHANGES TO BE CHECKED OR NEW FROM THE COMMENCEMENT OF WORKS.</small></p>	<p><b>TITLE</b> SHADOW DIAGRAMS - 10AM</p> <p><b>SCALE AT A3</b> 1/250</p> <p><b>ISSUE DATE</b> 18/10/2017</p> <p><b>JOB NUMBER</b> 452</p> <p><b>DRAWN BY</b> TW</p> <p><b>DRAWING NO.</b> TP026</p> 
REV	ISSUE DATE	BY	REASON FOR ISSUE														
A	17/10/2017	TW	PSCE PROPERTY PLANNING														
B	18/10/2017	TW	PLANNING ISSUE														

Attachment 2 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Shadow diagrams

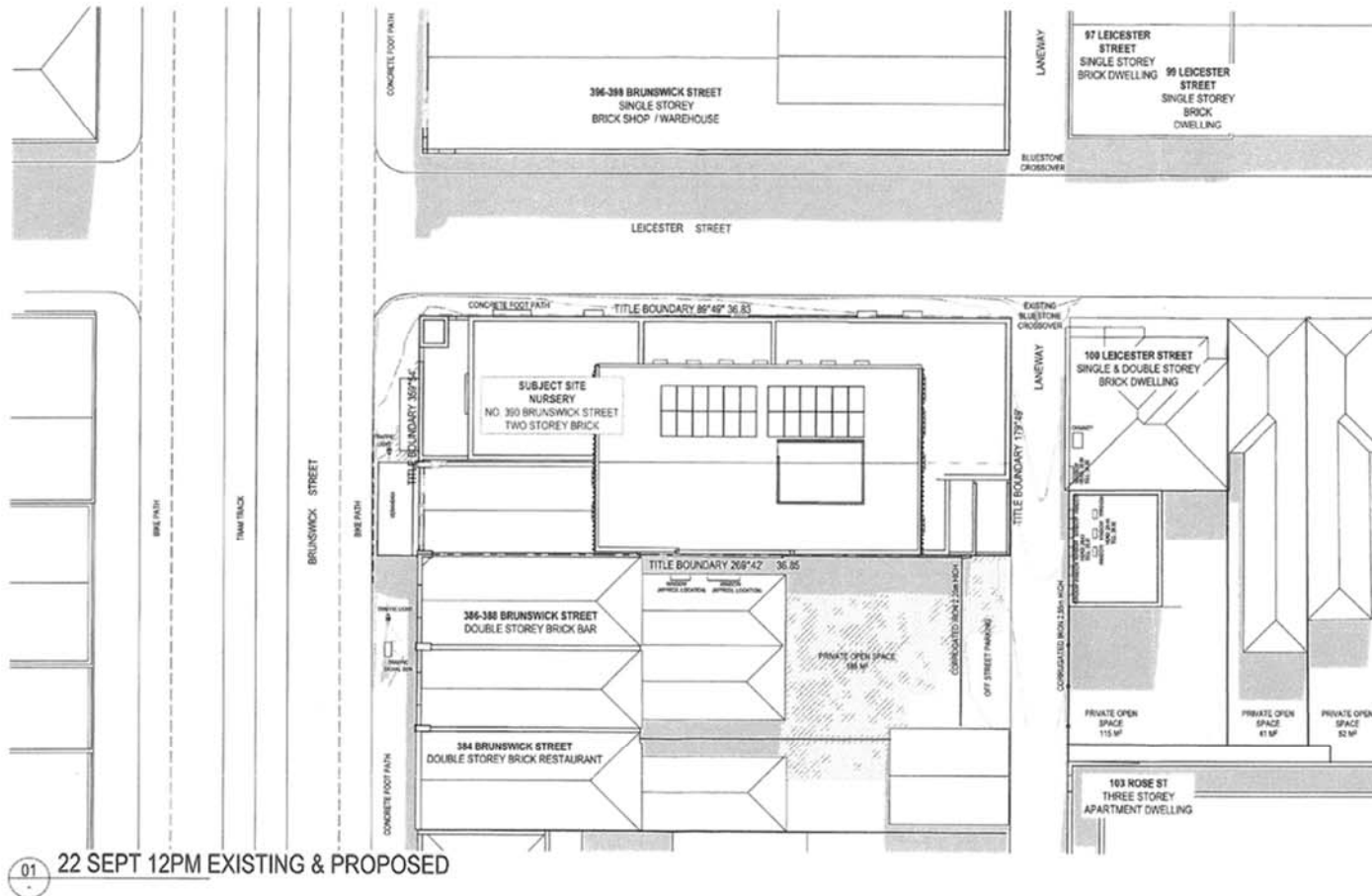


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Attachment 2 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Shadow diagrams



01 22 SEPT 12PM EXISTING & PROPOSED

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13 FEB 2018

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 03 9229 2838  
 clare@clarcousins.com.au  
 clarcousins.com.au

**LEGEND**  
 [Grey Box] SHADOWS CAST FROM EXISTING BUILDINGS  
 [Hatched Box] ADDITIONAL SHADOWS CAST FROM PROPOSED DEVELOPMENT

**SHADOW SUMMARY**  
 NO. 100 LEICESTER ST - 22 SEPT 12PM  
 - EXISTING AREA UNSHADOWED SPACE - 74.3 M<sup>2</sup>  
 - PROPOSED AREA UNSHADOWED SPACE - 74.3M<sup>2</sup>  
 - ADDITIONAL OVERSHADOWING - 0M<sup>2</sup>  
 NO. 102 LEICESTER ST - 22 SEPT 12PM  
 - EXISTING AREA UNSHADOWED SPACE - 23.8M<sup>2</sup>  
 - PROPOSED AREA UNSHADOWED SPACE - 23.8M<sup>2</sup>  
 - ADDITIONAL OVERSHADOWING - 0M<sup>2</sup>

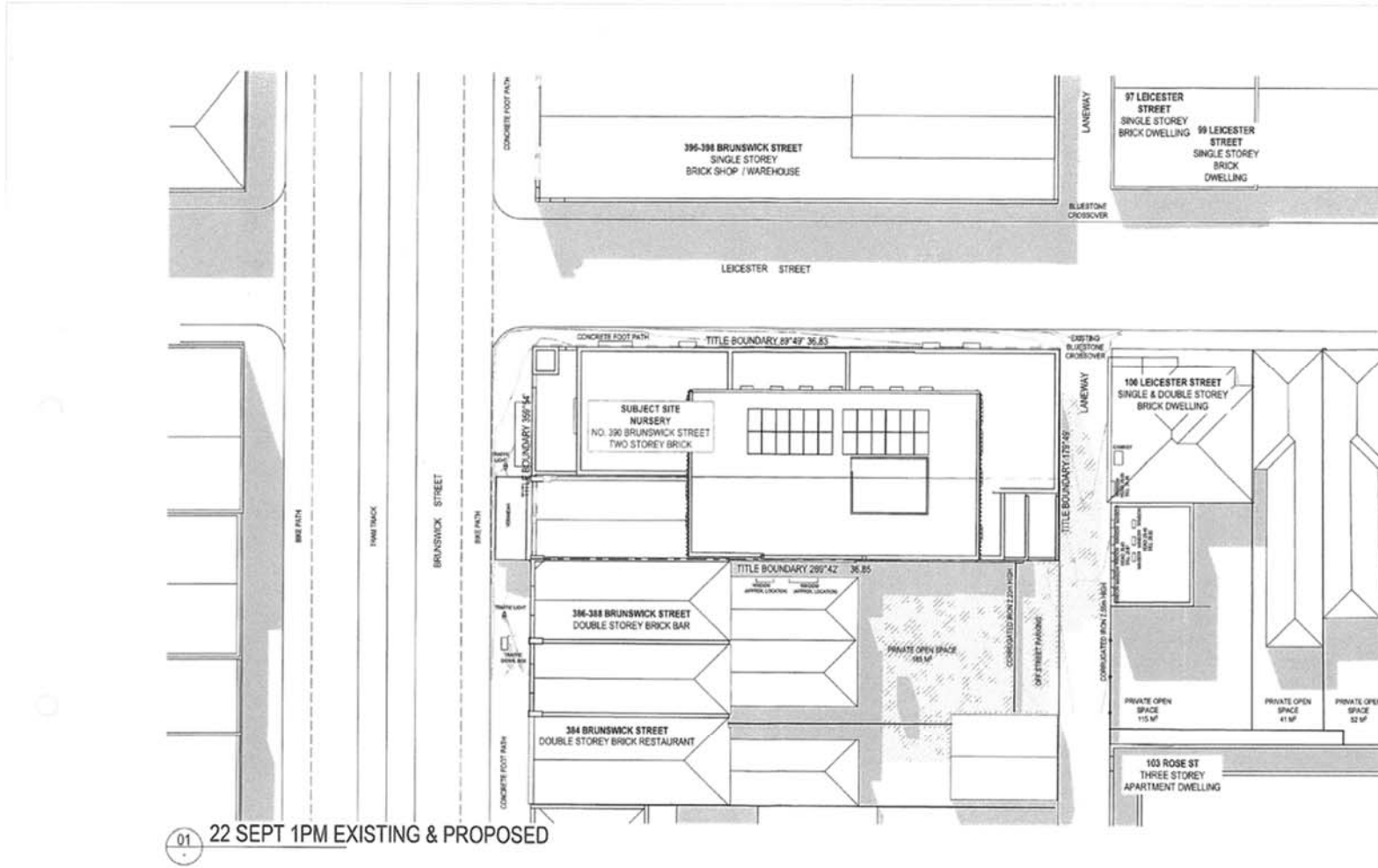
**TOWN PLANNING**  
 REV. ISSUE DATE BY REASON FOR ISSUE  
 A 17/10/2017 TW PRELIMINARY PLANNING  
 B 18/10/2017 TW PLANNING ISSUE

**PROJECT**  
 390-394 BRUNSWICK ST  
 390-394 BRUNSWICK STREET FITZROY 3065  
**CLIENT**  
 SIMSON PROPERTY DEVELOPMENTS  
ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL ENGINEERS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

**TITLE**  
 SHADOW DIAGRAMS - 12PM  
**SCALE** AT A3  
 1:250  
**ISSUE DATE**  
 18/10/2017  
**JOB NUMBER**  
 452  
**DRAWN BY**  
 TW  
**DRAWING NO.**  
 TP028



Attachment 2 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Shadow diagrams



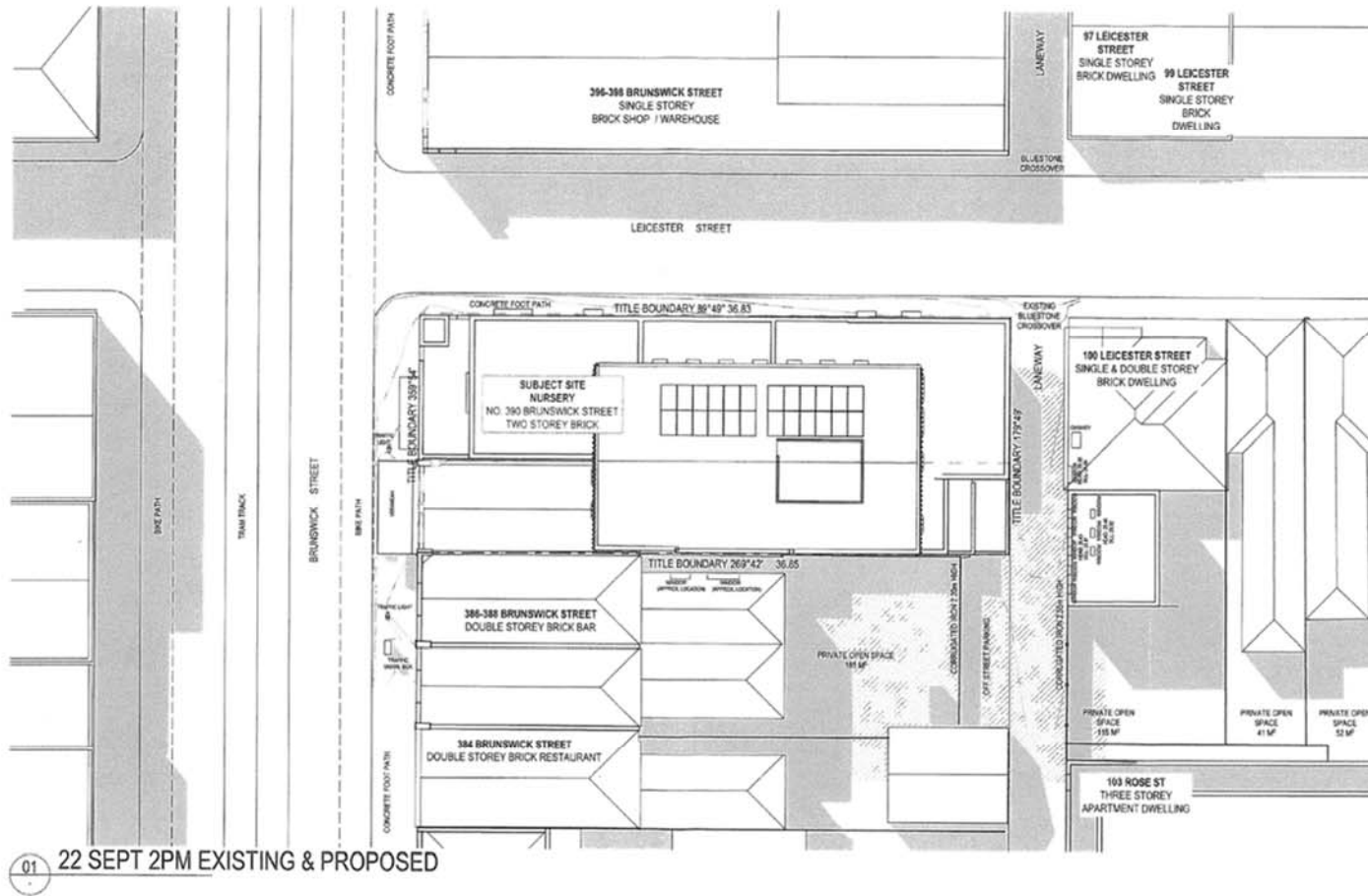
01 22 SEPT 1PM EXISTING & PROPOSED

<p><b>CLARE COUSINS ARCHITECTS</b></p> <p>38 Blackwood Street North Melbourne Victoria Australia 3061</p> <p>03 9229 2888 studio@clarecousins.com.au clarecousins.com.au</p>	<p><b>LEGEND</b></p> <p> SHADOWS CAST FROM EXISTING BUILDINGS</p> <p> ADDITIONAL SHADOWS CAST FROM PROPOSED DEVELOPMENT</p>	<p><b>SHADOW SUMMARY</b></p> <p>NO. 100 LEICESTER ST- 22 SEPT 1PM</p> <ul style="list-style-type: none"> <li>- EXISTING AREA UNSHADED SPACE- 58.8 MF</li> <li>- PROPOSED AREA UNSHADED SPACE- 56.8MF</li> <li>-ADDITIONAL OVERSHADOWING- 5MF</li> </ul> <p>NO. 102 LEICESTER ST- 22 SEPT 1PM</p> <ul style="list-style-type: none"> <li>- EXISTING AREA UNSHADED SPACE- 25.4MF</li> <li>- PROPOSED AREA UNSHADED SPACE- 25.4MF</li> <li>-ADDITIONAL OVERSHADOWING- 5MF</li> </ul>	<p><b>TOWN PLANNING</b></p> <table border="1"> <thead> <tr> <th>REV</th> <th>ISSUE DATE</th> <th>BY</th> <th>REASON FOR ISSUE</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>11/02/17</td> <td>TW</td> <td>PRELIMINARY PLANNING</td> </tr> <tr> <td>B</td> <td>18/10/2017</td> <td>TW</td> <td>PLANNING ISSUE</td> </tr> </tbody> </table>	REV	ISSUE DATE	BY	REASON FOR ISSUE	A	11/02/17	TW	PRELIMINARY PLANNING	B	18/10/2017	TW	PLANNING ISSUE	<p><b>PROJECT</b></p> <p>390-394 BRUNSWICK ST 390-394 BRUNSWICK STREET FITZROY 3065</p> <p><b>CLIENT</b></p> <p>SIMSON PROPERTY DEVELOPMENTS</p> <p><small>ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL CHANGES TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.</small></p>	<p><b>TITLE</b></p> <p>SHADOW DIAGRAMS - 1PM</p> <p><b>SCALE AT A3</b></p> <p>1:250</p> <p><b>ISSUE DATE</b></p> <p>18/10/2017</p> <p><b>JOB NUMBER</b></p> <p>452</p> <p><b>DRAWN BY</b></p> <p>TW</p> <p><b>DRAWING NO.</b></p> <p>TP029</p>
REV	ISSUE DATE	BY	REASON FOR ISSUE														
A	11/02/17	TW	PRELIMINARY PLANNING														
B	18/10/2017	TW	PLANNING ISSUE														

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Attachment 2 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Shadow diagrams



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 28 Blackwood Street  
 North Melbourne  
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 03 9229 2888  
 m.c@clarcousins.com.au  
 clarcousins.com.au

**LEGEND**

- SHADOWS CAST FROM EXISTING BUILDINGS
- ADDITIONAL SHADOWS CAST FROM PROPOSED DEVELOPMENT

**SHADOW SUMMARY**

NO. 103 LEICESTER ST - 22 SEPT 2PM  
 - EXISTING AREA UNSHADOWED SPACE - 34.2 M<sup>2</sup>  
 - PROPOSED AREA UNSHADOWED SPACE - 29.1M<sup>2</sup>  
 - ADDITIONAL OVERSHADOWING - 5.1M<sup>2</sup>

NO. 100 LEICESTER ST - 22 SEPT 2PM  
 - EXISTING AREA UNSHADOWED SPACE - 27.8M<sup>2</sup>  
 - PROPOSED AREA UNSHADOWED SPACE - 27.8M<sup>2</sup>  
 - ADDITIONAL OVERSHADOWING - 0M<sup>2</sup>

**TOWN PLANNING**

REV	ISSUE DATE	BY	REASON FOR ISSUE
A	17/09/2017	TW	PRELIMINARY PLANNING
B	18/10/2017	TW	PLANNING ISSUE

**PROJECT**  
 390-394 BRUNSWICK ST  
 390-394 BRUNSWICK STREET FITZROY 3065

**CLIENT**  
 SIMSON PROPERTY DEVELOPMENTS

ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

**TITLE**  
 SHADOW DIAGRAMS - 2PM


SCALE AT A3  
 1:250

ISSUE DATE  
 18/10/2017

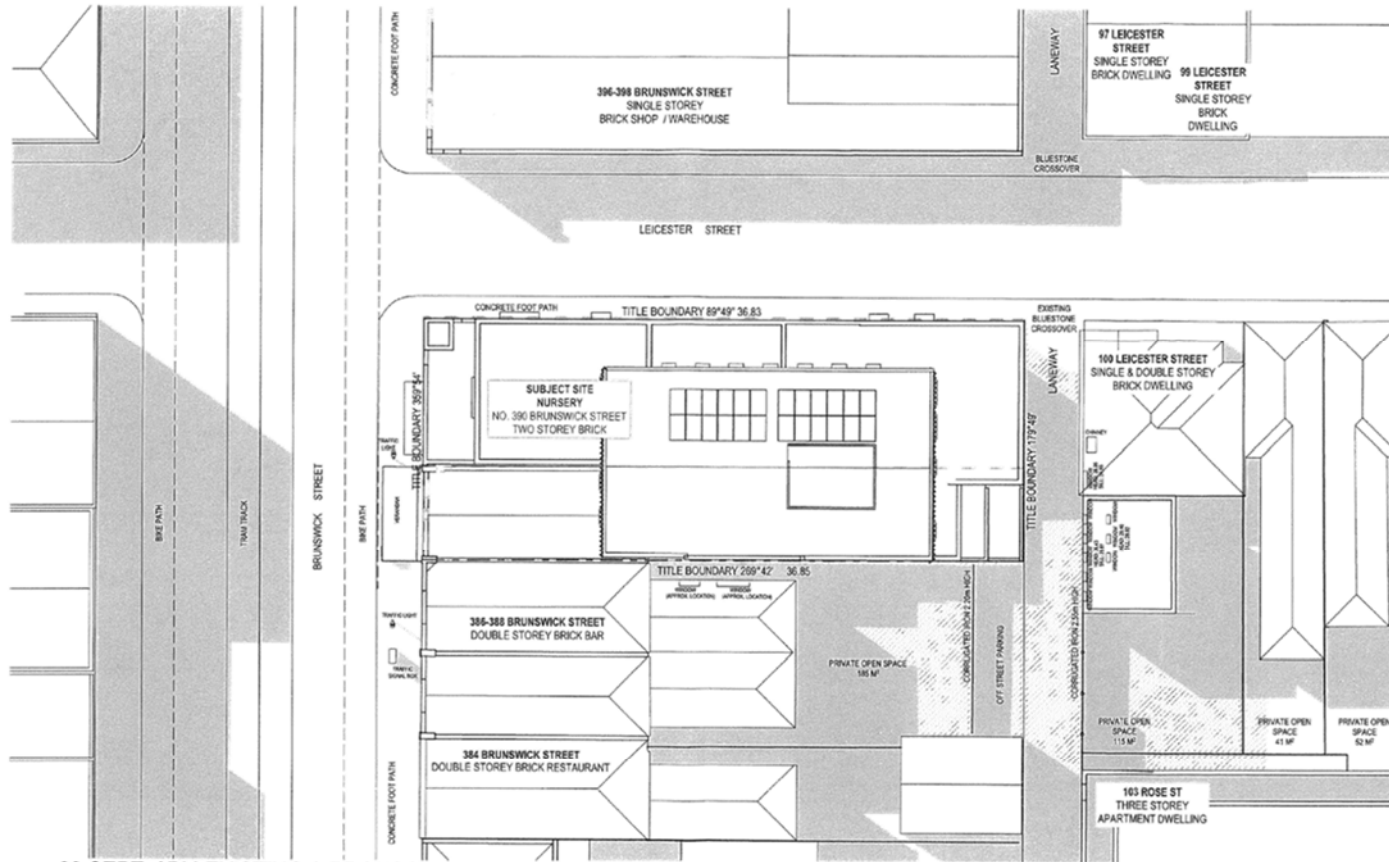
JOB NUMBER  
 452

DRAWN BY  
 TW

DRAWING NO.  
 TP030



Attachment 2 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Shadow diagrams




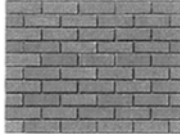


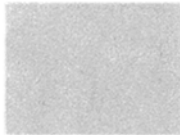


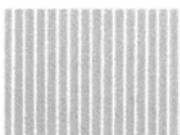

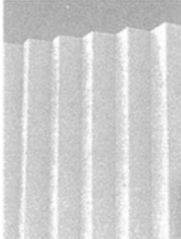
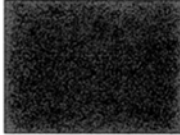

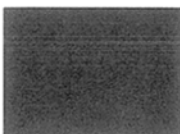
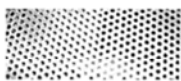

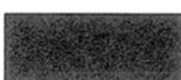

01 22 SEPT 3PM EXISTING & PROPOSED

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13 FEB 2018

<p><b>CLARE COUSINS ARCHITECTS</b></p> <p>28 Blackwood Street North Melbourne Victoria Australia 3051</p> <p>03 9220 2888 studio@clarecousins.com.au clarecousins.com.au</p>	<p><b>LEGEND</b></p> <p>SHADOWS CAST FROM EXISTING BUILDINGS</p> <p>ADDITIONAL SHADOWS CAST FROM PROPOSED DEVELOPMENT</p>	<p><b>SHADOW SUMMARY</b></p> <p>NO 100 LEICESTER ST- 22 SEPT 3PM</p> <ul style="list-style-type: none"> <li>- EXISTING AREA UNSHADED SPACE- 29.2 M<sup>2</sup></li> <li>- PROPOSED AREA UNSHADED SPACE- 19M<sup>2</sup></li> <li>- ADDITIONAL OVERSHADOWING- 29.2M<sup>2</sup></li> </ul> <p>NO 102 LEICESTER ST- 22 SEPT 3PM</p> <ul style="list-style-type: none"> <li>- EXISTING AREA UNSHADED SPACE- 17.2M<sup>2</sup></li> <li>- PROPOSED AREA UNSHADED SPACE- 12.2M<sup>2</sup></li> <li>- ADDITIONAL OVERSHADOWING- 5.0M<sup>2</sup></li> </ul>	<p><b>TOWN PLANNING</b></p> <p>REV. ISSUE DATE BY REASON FOR ISSUE</p> <p>A 17/10/2017 TW PRELIMINARY PLANNING</p> <p>B 18/10/2017 TW PLANNING ISSUE</p>	<p><b>PROJECT</b></p> <p>390-394 BRUNSWICK ST 390-394 BRUNSWICK STREET FITZROY 3066</p> <p><b>CLIENT</b></p> <p>SIMSON PROPERTY DEVELOPMENTS</p> <p>ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.</p>	<p><b>TITLE</b></p> <p>SHADOW DIAGRAMS - 3PM</p> <p>SCALE AT A3 1:250</p> <p>ISSUE DATE 18/10/2017</p> <p>JOB NUMBER 452</p> <p>DRAWN BY TW</p> <p>DRAWING NO. TP031</p>	



Attachment 2 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Shadow diagrams

	<b>BAL-1</b> METAL ROD BALUSTRADE WHITE		<b>BR-2</b> FACE BRICKWORK RED BRICK		<b>GL-1</b> CLEAR GLASS
	<b>BAL-2</b> METAL ROD BALUSTRADE RED		<b>CN-1</b> PRECAST CONCRETE PANELS STANDARD GREY		<b>GL-2</b> TEXTURED GLASS MAXIMUM 25% TRANSPARENCY
	<b>BR-1</b> FACE BLOCKWORK OFF WHITE		<b>CN-2</b> PRECAST CONCRETE PANELS TEXTURED FINISH PALE GREY		<b>MD-1</b> TRIMDECK METAL DECK ROOFING ZINCALUME
	<b>CD-1</b> PLEATED METAL CLADDING COLOURBOND SURFMIST		<b>PC-1</b> METAL FINISH WINDOWS & AWNINGS POWDERCOAT OR SITE PAINT WHITE		<b>MD-2</b> CORRUGATED METAL DECK ROOFING ZINCALUME
			<b>PC-2</b> METAL FINISH WINDOWS & AWNINGS POWDERCOAT OR SITE PAINT RED		<b>MT-1</b> PERFORATED METAL SCREEN GALVANISED
					<b>MT-2</b> METAL SCREEN GALVANISED
					<b>P-1</b> PAINT FINISH OFF WHITE
					<b>P-2</b> PAINT FINISH CHARCOAL

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13 FEB 2018

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**TOWN PLANNING**

REV	ISSUE DATE	BY	REASON FOR ISSUE
A	11/10/2017	TW	PRELIMINARY PLANNING
B	18/10/2017	TW	PLANNING ISSUE
C	30/01/2018	TW	PLANNING RFI

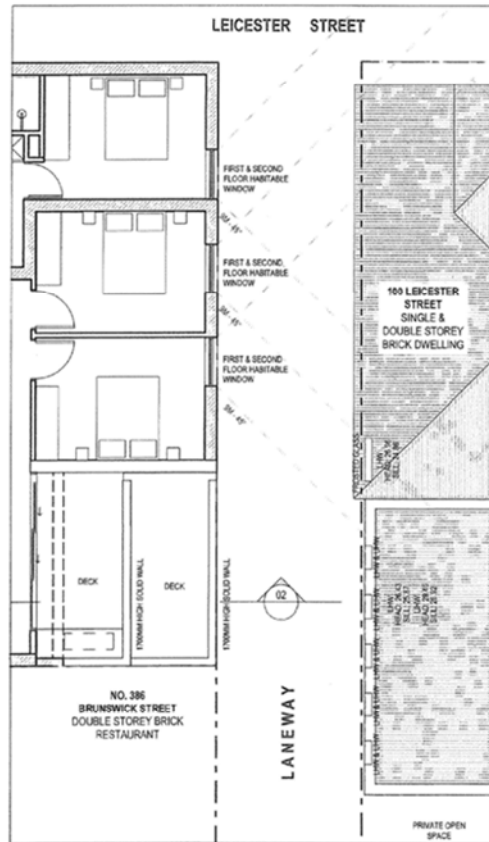
PROJECT  
**390-394 BRUNSWICK ST**  
390-394 BRUNSWICK STREET FITZROY 3065

CLIENT  
**SIMSON PROPERTY DEVELOPMENTS**

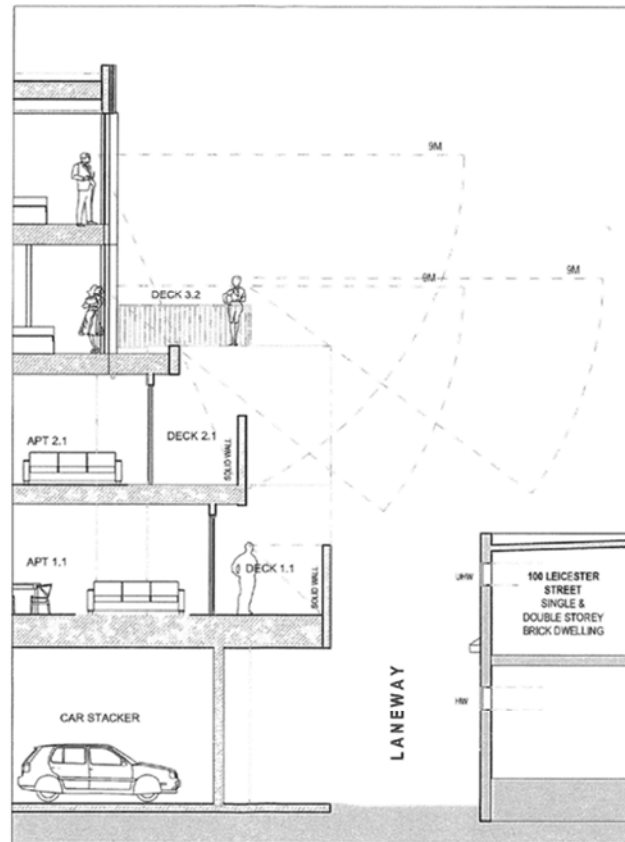
ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE	
<b>MATERIALS SCHEDULE</b>	
SCALE AT A3	JOB NUMBER
NTS	452
ISSUE DATE	DRAWN BY
30/01/2018	TW
	DRAWING NO.
	TP032

Attachment 2 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Shadow diagrams



01 PLAN DETAIL  
1:100



02 DETAIL SECTION  
1:100

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13 FEB 2018

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TOWN PLANNING

REV	ISSUE DATE	BY	REASON FOR ISSUE
A	17/02/17	TW	PRELIMINARY PLANNING
B	18/10/17	TW	PLANNING ISSUE

PROJECT  
390-394 BRUNSWICK ST  
390-394 BRUNSWICK STREET FITZROY 3065

CLIENT  
SIMSON PROPERTY DEVELOPMENTS

ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

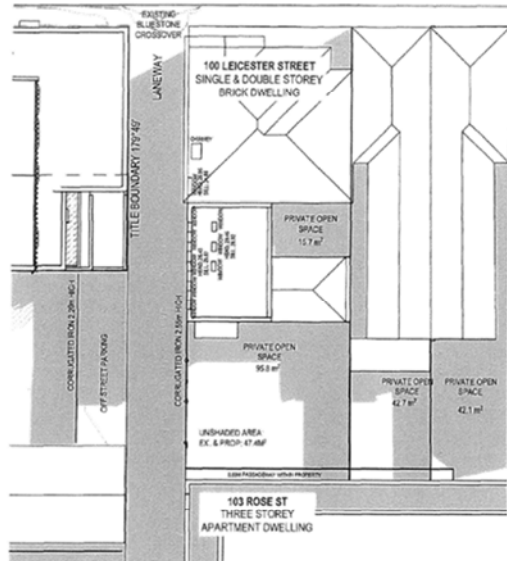
TITLE  
OVERLOOKING DIAGRAMS

SCALE AT A3  
1:100  
ISSUE DATE  
18/10/2017

JOB NUMBER  
452  
DRAWN BY  
TW

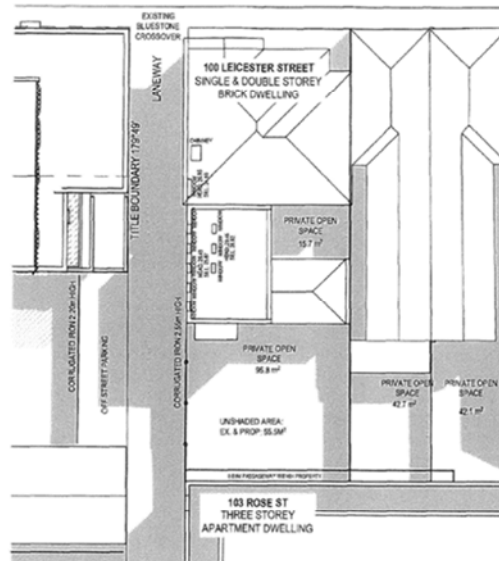
DRAWING NO.  
TP024

Attachment 3 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Detailed shadow diagrams including Brunswick Street

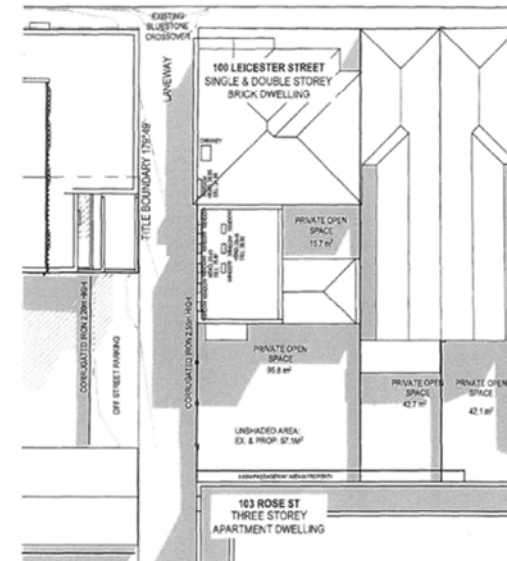


01 22 SEPT 9AM EXISTING & PROPOSED

SHADOW SUMMARY	
9AM	- EXISTING AREA UNSHADED SPACE - 47.4M <sup>2</sup> - PROPOSED AREA UNSHADED SPACE - 47.4M <sup>2</sup> - ADDITIONAL OVERSHADOWING - 0M <sup>2</sup>
10AM	- EXISTING AREA UNSHADED SPACE - 55.8M <sup>2</sup> - PROPOSED AREA UNSHADED SPACE - 55.8M <sup>2</sup> - ADDITIONAL OVERSHADOWING - 0M <sup>2</sup>
11AM	- EXISTING AREA UNSHADED SPACE - 57.1M <sup>2</sup> - PROPOSED AREA UNSHADED SPACE - 57.1M <sup>2</sup> - ADDITIONAL OVERSHADOWING - 0M <sup>2</sup>
12PM	- EXISTING AREA UNSHADED SPACE - 57.8M <sup>2</sup> - PROPOSED AREA UNSHADED SPACE - 57.8M <sup>2</sup> - ADDITIONAL OVERSHADOWING - 0M <sup>2</sup>
1PM	- EXISTING AREA UNSHADED SPACE - 52.1M <sup>2</sup> - PROPOSED AREA UNSHADED SPACE - 52.1M <sup>2</sup> - ADDITIONAL OVERSHADOWING - 0M <sup>2</sup>
2PM	- EXISTING AREA UNSHADED SPACE - 44.8M <sup>2</sup> - PROPOSED AREA UNSHADED SPACE - 44.8M <sup>2</sup> - ADDITIONAL OVERSHADOWING - 4.3M <sup>2</sup>
3PM	- EXISTING AREA UNSHADED SPACE - 35.9M <sup>2</sup> - PROPOSED AREA UNSHADED SPACE - 35.9M <sup>2</sup> - ADDITIONAL OVERSHADOWING - 38.9M <sup>2</sup>



02 22 SEPT 10AM EXISTING & PROPOSED



03 22 SEPT 11AM EXISTING & PROPOSED

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LEGEND

- SHADOWS CAST FROM EXISTING BUILDINGS
- ADDITIONAL SHADOWS CAST FROM PROPOSED DEVELOPMENT

**TOWN PLANNING**

REV	ISSUE DATE	BY	REASON FOR ISSUE
A	15/06/2018	TW	PLANNING MEETING
B	24/05/2018	TW	ADDITIONAL INFORMATION

PROJECT  
390-394 BRUNSWICK ST  
390-394 BRUNSWICK STREET FITZROY 3065

CLIENT  
SIMSON PROPERTY DEVELOPMENTS

ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

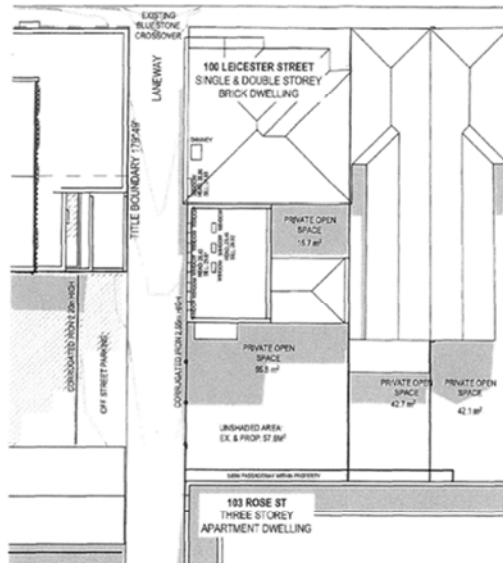
TITLE  
SHADOW DIAGRAMS - 9AM - 11AM

SCALE AT A3  
1:250  
JOB NUMBER  
452  
ISSUE DATE  
24/05/2018  
DRAWN BY  
TW

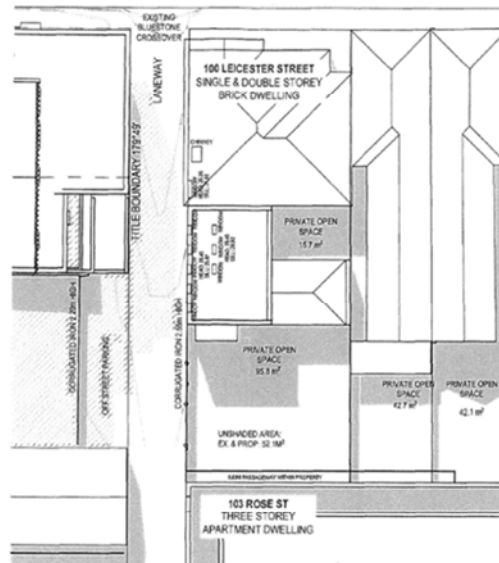


DRAWING NO.  
TP026

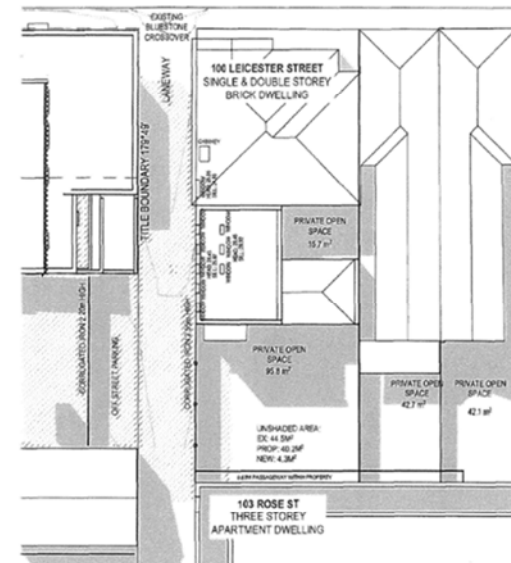
Attachment 3 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Detailed shadow diagrams including Brunswick Street



04 22 SEPT 12PM EXISTING & PROPOSED



05 22 SEPT 1PM EXISTING & PROPOSED



06 22 SEPT 2PM EXISTING & PROPOSED

**SHADOW SUMMARY**  
100 LEICESTER ST- 22 SEPT

9AM	- EXISTING AREA UNSHADED SPACE: 47.8M <sup>2</sup> - PROPOSED AREA UNSHADED SPACE: 47.8M <sup>2</sup> - ADDITIONAL OVERSHADOWING: 0M <sup>2</sup>
10AM	- EXISTING AREA UNSHADED SPACE: 55.9M <sup>2</sup> - PROPOSED AREA UNSHADED SPACE: 55.9M <sup>2</sup> - ADDITIONAL OVERSHADOWING: 0M <sup>2</sup>
11AM	- EXISTING AREA UNSHADED SPACE: 57.1M <sup>2</sup> - PROPOSED AREA UNSHADED SPACE: 57.1M <sup>2</sup> - ADDITIONAL OVERSHADOWING: 0M <sup>2</sup>
12PM	- EXISTING AREA UNSHADED SPACE: 57.8M <sup>2</sup> - PROPOSED AREA UNSHADED SPACE: 57.8M <sup>2</sup> - ADDITIONAL OVERSHADOWING: 0M <sup>2</sup>
1PM	- EXISTING AREA UNSHADED SPACE: 52.1M <sup>2</sup> - PROPOSED AREA UNSHADED SPACE: 52.1M <sup>2</sup> - ADDITIONAL OVERSHADOWING: 0M <sup>2</sup>
2PM	- EXISTING AREA UNSHADED SPACE: 44.8M <sup>2</sup> - PROPOSED AREA UNSHADED SPACE: 43.2M <sup>2</sup> - ADDITIONAL OVERSHADOWING: 4.3M <sup>2</sup>
3PM	- EXISTING AREA UNSHADED SPACE: 35.8M <sup>2</sup> - PROPOSED AREA UNSHADED SPACE: 30M <sup>2</sup> - ADDITIONAL OVERSHADOWING: 35.8M <sup>2</sup>

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**LEGEND**

- SHADOWS CAST FROM EXISTING BUILDINGS
- ADDITIONAL SHADOWS CAST FROM PROPOSED DEVELOPMENT

**TOWN PLANNING**

REV	ISSUE DATE	BY	REASON FOR ISSUE
A	15/05/2018	TW	PLANNING MEETING
B	24/05/2018	TW	ADDITIONAL INFORMATION

PROJECT  
390-394 BRUNSWICK ST  
390-394 BRUNSWICK STREET FITZROY 3065

CLIENT  
SIMSON PROPERTY DEVELOPMENTS

ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL OVERSHADOWING TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE  
SHADOW DIAGRAMS - 12PM - 2PM

SCALE AT A3  
1:250

ISSUE DATE  
24/05/2018

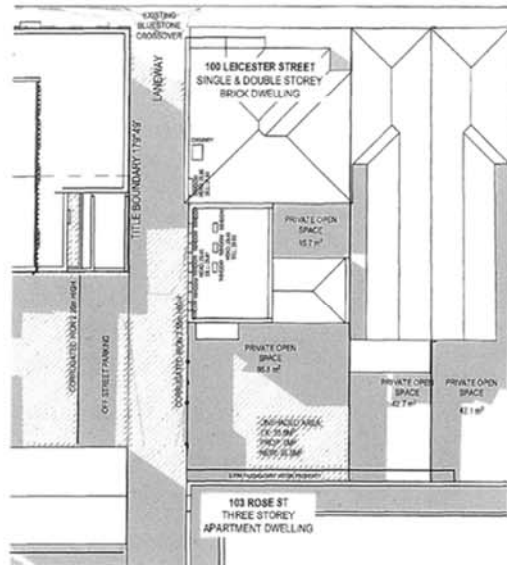
JOB NUMBER  
452

DRAWN BY  
TW



DRAWING NO.  
TP027

Attachment 3 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Detailed shadow diagrams including Brunswick Street



07 22 SEPT 3PM EXISTING & PROPOSED

SHADOW SUMMARY	
9AM	- EXISTING AREA UNSHADOWED SPACE: 47.8M <sup>2</sup> - PROPOSED AREA UNSHADOWED SPACE: 47.8M <sup>2</sup> - ADDITIONAL OVERSHADOWING: 8M <sup>2</sup>
10AM	- EXISTING AREA UNSHADOWED SPACE: 38.5M <sup>2</sup> - PROPOSED AREA UNSHADOWED SPACE: 38.5M <sup>2</sup> - ADDITIONAL OVERSHADOWING: 8M <sup>2</sup>
11AM	- EXISTING AREA UNSHADOWED SPACE: 57.1M <sup>2</sup> - PROPOSED AREA UNSHADOWED SPACE: 57.1M <sup>2</sup> - ADDITIONAL OVERSHADOWING: 8M <sup>2</sup>
12PM	- EXISTING AREA UNSHADOWED SPACE: 47.2M <sup>2</sup> - PROPOSED AREA UNSHADOWED SPACE: 47.2M <sup>2</sup> - ADDITIONAL OVERSHADOWING: 8M <sup>2</sup>
1PM	- EXISTING AREA UNSHADOWED SPACE: 42.1M <sup>2</sup> - PROPOSED AREA UNSHADOWED SPACE: 42.1M <sup>2</sup> - ADDITIONAL OVERSHADOWING: 8M <sup>2</sup>
2PM	- EXISTING AREA UNSHADOWED SPACE: 44.8M <sup>2</sup> - PROPOSED AREA UNSHADOWED SPACE: 44.8M <sup>2</sup> - ADDITIONAL OVERSHADOWING: 4.3M <sup>2</sup>
3PM	- EXISTING AREA UNSHADOWED SPACE: 38.3M <sup>2</sup> - PROPOSED AREA UNSHADOWED SPACE: 38.3M <sup>2</sup> - ADDITIONAL OVERSHADOWING: 38.5M <sup>2</sup>

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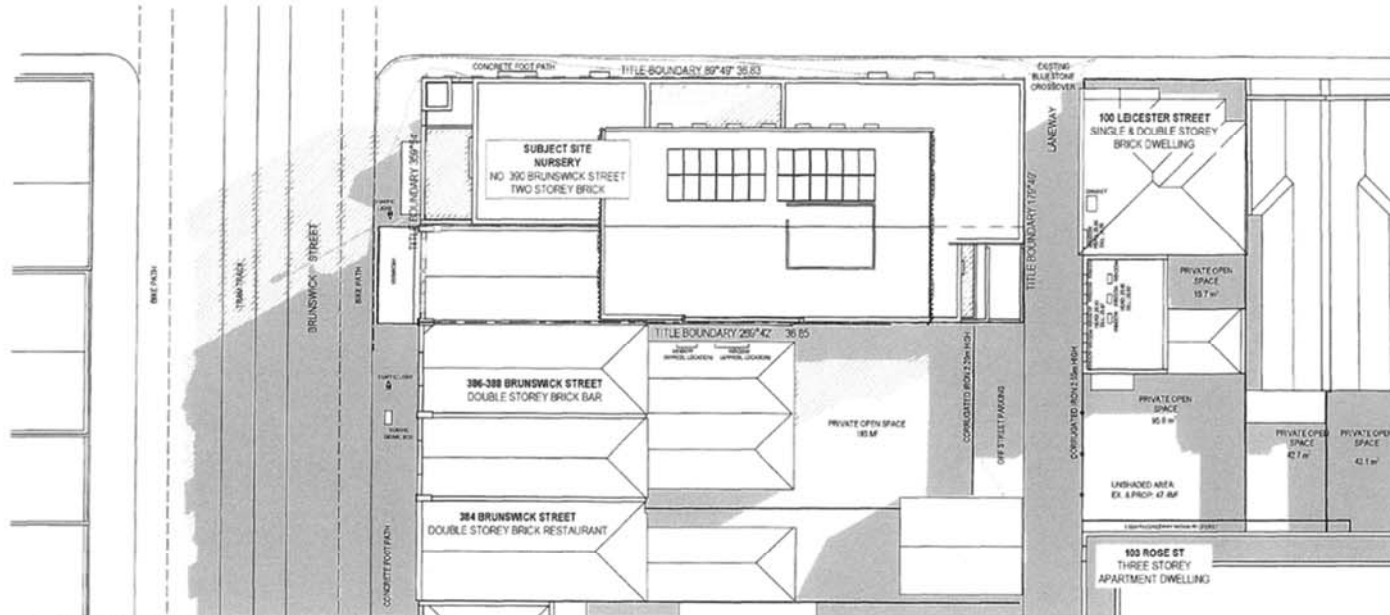
**LEGEND**

SHADOWS CAST FROM EXISTING BUILDINGS

ADDITIONAL SHADOWS CAST FROM PROPOSED DEVELOPMENT

<b>TOWN PLANNING</b>		PROJECT		TITLE	
REV	ISSUE DATE	BY	REASON FOR ISSUE	390-394 BRUNSWICK ST	SHADOW DIAGRAMS - 3PM
A	15/09/2018	TW	PLANNING MEETING	390-394 BRUNSWICK STREET FITZROY 3065	
B	24/05/2018	TW	ADDITIONAL INFORMATION		
				CLIENT	SCALE AT A3
				SIMSON PROPERTY DEVELOPMENTS	1:250
					JOB NUMBER
					452
				ISSUE DATE	DRAWN BY
				24/05/2018	TW
				DRAWING NO.	
				TP028	

Attachment 3 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Detailed shadow diagrams including Brunswick Street



01 22 SEPT 9AM EXISTING & PROPOSED

SHADOW SUMMARY	
100 LECESTER ST - 22 SEPT	
9AM	- EXISTING AREA UNSHADOWED SPACE: 47.8M <sup>2</sup> - PROPOSED AREA UNSHADOWED SPACE: 47.8M <sup>2</sup> - ADDITIONAL OVERSHADOWING: 0M <sup>2</sup>
10AM	- EXISTING AREA UNSHADOWED SPACE: 55.5M <sup>2</sup> - PROPOSED AREA UNSHADOWED SPACE: 55.5M <sup>2</sup> - ADDITIONAL OVERSHADOWING: 0M <sup>2</sup>
11AM	- EXISTING AREA UNSHADOWED SPACE: 57.1M <sup>2</sup> - PROPOSED AREA UNSHADOWED SPACE: 57.1M <sup>2</sup> - ADDITIONAL OVERSHADOWING: 0M <sup>2</sup>
12PM	- EXISTING AREA UNSHADOWED SPACE: 57.8M <sup>2</sup> - PROPOSED AREA UNSHADOWED SPACE: 57.8M <sup>2</sup> - ADDITIONAL OVERSHADOWING: 0M <sup>2</sup>
1PM	- EXISTING AREA UNSHADOWED SPACE: 52.1M <sup>2</sup> - PROPOSED AREA UNSHADOWED SPACE: 52.1M <sup>2</sup> - ADDITIONAL OVERSHADOWING: 0M <sup>2</sup>
2PM	- EXISTING AREA UNSHADOWED SPACE: 46.3M <sup>2</sup> - PROPOSED AREA UNSHADOWED SPACE: 46.3M <sup>2</sup> - ADDITIONAL OVERSHADOWING: 4.3M <sup>2</sup>
3PM	- EXISTING AREA UNSHADOWED SPACE: 35.5M <sup>2</sup> - PROPOSED AREA UNSHADOWED SPACE: 35.5M <sup>2</sup> - ADDITIONAL OVERSHADOWING: 18.5M <sup>2</sup>

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 clarecousins.com.au

LEGEND	
	SHADOWS CAST FROM EXISTING BUILDINGS
	ADDITIONAL SHADOWS CAST FROM PROPOSED DEVELOPMENT

TOWN PLANNING		
REV	ISSUE DATE	BY REASON FOR ISSUE
C	30/6/2018	TW REFERRAL RESPONSE

PROJECT  
**390-394 BRUNSWICK ST**  
 390-394 BRUNSWICK STREET FITZROY 3005

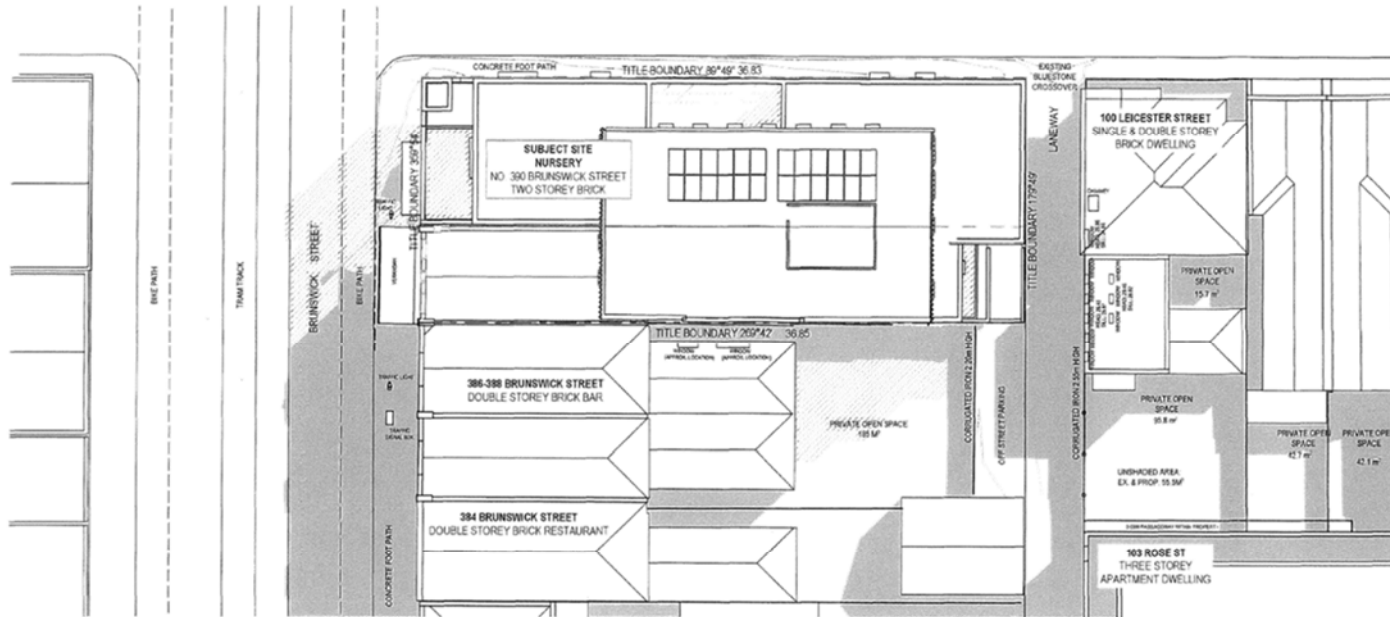
CLIENT  
**SIMSON PROPERTY DEVELOPMENTS**

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TITLE		SHADOW DIAGRAMS - 9AM	
SCALE AT A3	JOB NUMBER		
1:250	452		
ISSUE DATE	DRAWN BY		
5/06/2018	TW		
		DRAWING NO.	
		TP025	



Attachment 3 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Detailed shadow diagrams including Brunswick Street



02 22 SEPT 10AM EXISTING & PROPOSED

SHADOW SUMMARY	
9AM	- EXISTING AREA UNSHADED SPACE: 47.8M <sup>2</sup> - PROPOSED AREA UNSHADED SPACE: 42.4M <sup>2</sup> - ADDITIONAL OVERSHADOWING: -5M <sup>2</sup>
10AM	- EXISTING AREA UNSHADED SPACE: 36.5M <sup>2</sup> - PROPOSED AREA UNSHADED SPACE: 35.5M <sup>2</sup> - ADDITIONAL OVERSHADOWING: -1M <sup>2</sup>
11AM	- EXISTING AREA UNSHADED SPACE: 37.1M <sup>2</sup> - PROPOSED AREA UNSHADED SPACE: 37.1M <sup>2</sup> - ADDITIONAL OVERSHADOWING: -0M <sup>2</sup>
12PM	- EXISTING AREA UNSHADED SPACE: 37.1M <sup>2</sup> - PROPOSED AREA UNSHADED SPACE: 37.1M <sup>2</sup> - ADDITIONAL OVERSHADOWING: -0M <sup>2</sup>
1PM	- EXISTING AREA UNSHADED SPACE: 32.1M <sup>2</sup> - PROPOSED AREA UNSHADED SPACE: 32.1M <sup>2</sup> - ADDITIONAL OVERSHADOWING: -0M <sup>2</sup>
2PM	- EXISTING AREA UNSHADED SPACE: 44.5M <sup>2</sup> - PROPOSED AREA UNSHADED SPACE: 40.2M <sup>2</sup> - ADDITIONAL OVERSHADOWING: -4.3M <sup>2</sup>
3PM	- EXISTING AREA UNSHADED SPACE: 35.5M <sup>2</sup> - PROPOSED AREA UNSHADED SPACE: 30M <sup>2</sup> - ADDITIONAL OVERSHADOWING: -5.5M <sup>2</sup>

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 clare@clarcousins.com.au  
 clarcousins.com.au

LEGEND	
	SHADOWS CAST FROM EXISTING BUILDINGS
	ADDITIONAL SHADOWS CAST FROM PROPOSED DEVELOPMENT

TOWN PLANNING			
REV	ISSUE DATE	BY	REASON FOR ISSUE
C	5/09/2018	TW	REFERRAL RESPONSE

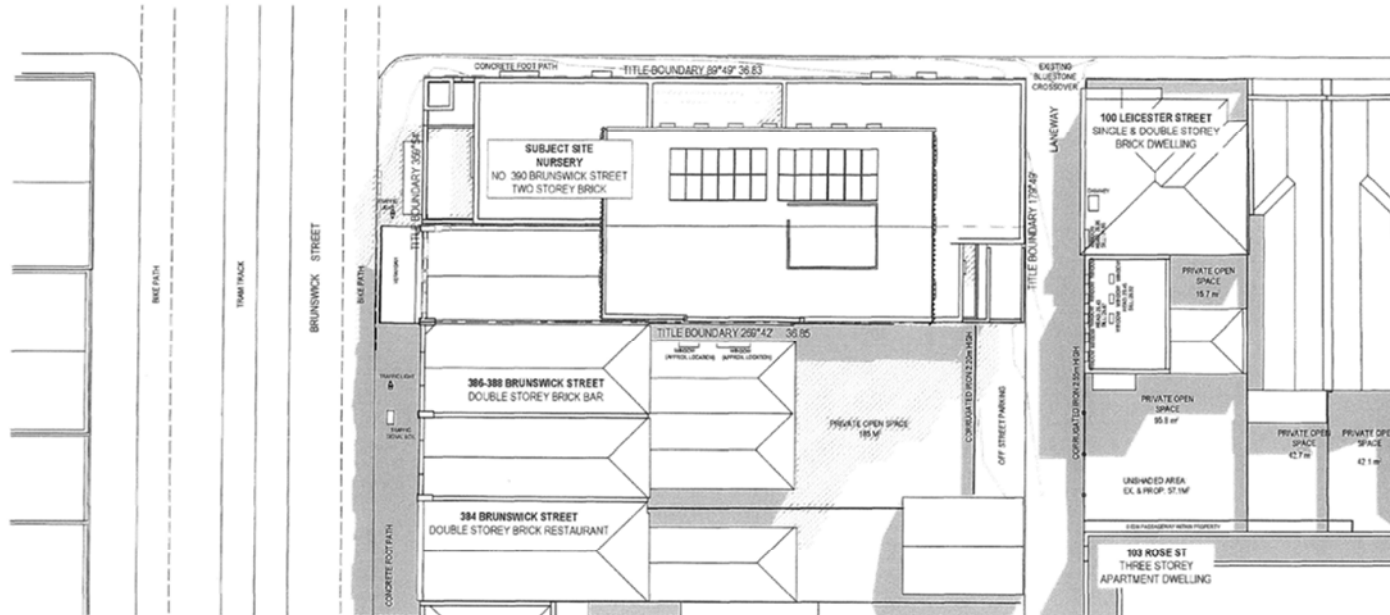
PROJECT  
**390-394 BRUNSWICK ST**  
 390-394 BRUNSWICK STREET FITZROY 3005

CLIENT  
**SIMSON PROPERTY DEVELOPMENTS**

ALL WORKS TO BE CARRIED OUT TO ALL APPLICABLE STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE			
<b>SHADOW DIAGRAMS - 10AM</b>			
SCALE AT A3	JOB NUMBER		
1:250	452		
ISSUE DATE	DRAWN BY		
5/08/2018	TW	DRAWING NO.	TP026

Attachment 3 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Detailed shadow diagrams including Brunswick Street



03 22 SEPT 11AM EXISTING & PROPOSED

SHADOW SUMMARY	
100 LEICESTER ST - 22 SEPT	
9AM	- EXISTING AREA UNSHADED SPACE: 47.6M <sup>2</sup> - PROPOSED AREA UNSHADED SPACE: 47.6M <sup>2</sup> - ADDITIONAL OVERSHADOWING: 0M <sup>2</sup>
10AM	- EXISTING AREA UNSHADED SPACE: 55.5M <sup>2</sup> - PROPOSED AREA UNSHADED SPACE: 55.5M <sup>2</sup> - ADDITIONAL OVERSHADOWING: 0M <sup>2</sup>
11AM	- EXISTING AREA UNSHADED SPACE: 57.1M <sup>2</sup> - PROPOSED AREA UNSHADED SPACE: 57.1M <sup>2</sup> - ADDITIONAL OVERSHADOWING: 0M <sup>2</sup>
12PM	- EXISTING AREA UNSHADED SPACE: 57.8M <sup>2</sup> - PROPOSED AREA UNSHADED SPACE: 57.8M <sup>2</sup> - ADDITIONAL OVERSHADOWING: 0M <sup>2</sup>
1PM	- EXISTING AREA UNSHADED SPACE: 52.1M <sup>2</sup> - PROPOSED AREA UNSHADED SPACE: 52.1M <sup>2</sup> - ADDITIONAL OVERSHADOWING: 0M <sup>2</sup>
2PM	- EXISTING AREA UNSHADED SPACE: 46.5M <sup>2</sup> - PROPOSED AREA UNSHADED SPACE: 43.2M <sup>2</sup> - ADDITIONAL OVERSHADOWING: 3.3M <sup>2</sup>
3PM	- EXISTING AREA UNSHADED SPACE: 36.5M <sup>2</sup> - PROPOSED AREA UNSHADED SPACE: 36M <sup>2</sup> - ADDITIONAL OVERSHADOWING: 0.5M <sup>2</sup>

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 clarcousins.com.au

**LEGEND**  
  
 SHADOWS CAST FROM EXISTING BUILDINGS  
 ADDITIONAL SHADOWS CAST FROM PROPOSED DEVELOPMENT

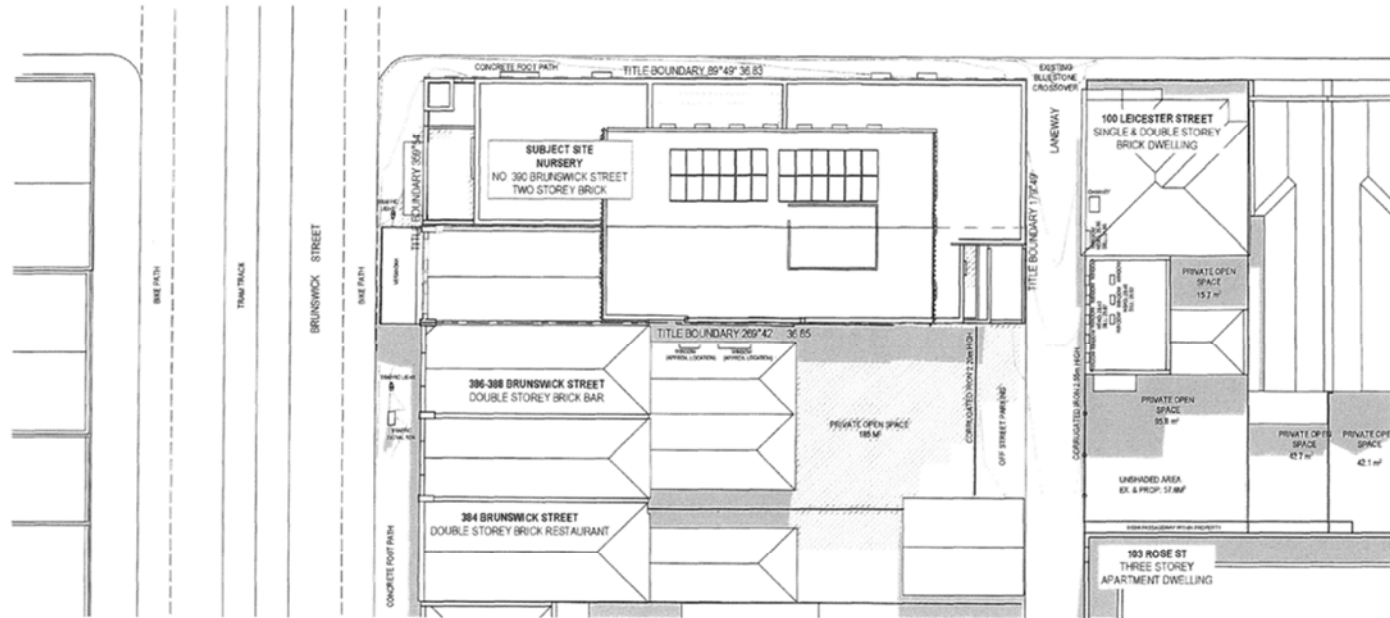
**TOWN PLANNING**  
 REV. ISSUE DATE BY REASON FOR ISSUE  
 C 5/09/2018 TW REFERRAL RESPONSE

PROJECT  
**390-394 BRUNSWICK ST**  
 390-394 BRUNSWICK STREET FITZROY 3005  
 CLIENT  
**SIMSON PROPERTY DEVELOPMENTS**

TITLE  
**SHADOW DIAGRAMS - 11AM**  
 SCALE AT A3  
 1:250  
 ISSUE DATE  
 5/06/2018  
 JOB NUMBER  
 452  
 DRAWN BY  
 TW  
 DRAWING NO  
 TP027



Attachment 3 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Detailed shadow diagrams including Brunswick Street



04 22 SEPT 12PM EXISTING & PROPOSED

SHADOW SUMMARY	
100 LEICESTER ST- 22 SEPT	
8AM	- EXISTING AREA UNSHADED SPACE: 42.8M <sup>2</sup> - PROPOSED AREA UNSHADED SPACE: 47.8M <sup>2</sup> - ADDITIONAL OVERSHADOWING: -9M <sup>2</sup>
10AM	- EXISTING AREA UNSHADED SPACE: 55.5M <sup>2</sup> - PROPOSED AREA UNSHADED SPACE: 55.5M <sup>2</sup> - ADDITIONAL OVERSHADOWING: -9M <sup>2</sup>
11AM	- EXISTING AREA UNSHADED SPACE: 57.8M <sup>2</sup> - PROPOSED AREA UNSHADED SPACE: 57.8M <sup>2</sup> - ADDITIONAL OVERSHADOWING: -9M <sup>2</sup>
12PM	- EXISTING AREA UNSHADED SPACE: 57.8M <sup>2</sup> - PROPOSED AREA UNSHADED SPACE: 57.8M <sup>2</sup> - ADDITIONAL OVERSHADOWING: -9M <sup>2</sup>
1PM	- EXISTING AREA UNSHADED SPACE: 52.1M <sup>2</sup> - PROPOSED AREA UNSHADED SPACE: 52.1M <sup>2</sup> - ADDITIONAL OVERSHADOWING: -9M <sup>2</sup>
2PM	- EXISTING AREA UNSHADED SPACE: 44.5M <sup>2</sup> - PROPOSED AREA UNSHADED SPACE: 46.2M <sup>2</sup> - ADDITIONAL OVERSHADOWING: -4.3M <sup>2</sup>
3PM	- EXISTING AREA UNSHADED SPACE: 35.5M <sup>2</sup> - PROPOSED AREA UNSHADED SPACE: 35.5M <sup>2</sup> - ADDITIONAL OVERSHADOWING: -5.5M <sup>2</sup>

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LEGEND	
	SHADOWS CAST FROM EXISTING BUILDINGS
	ADDITIONAL SHADOWS CAST FROM PROPOSED DEVELOPMENT

TOWN PLANNING			
REV	ISSUE DATE	BY	REASON FOR ISSUE
C	5/06/2018	TW	REFERRAL RESPONSE

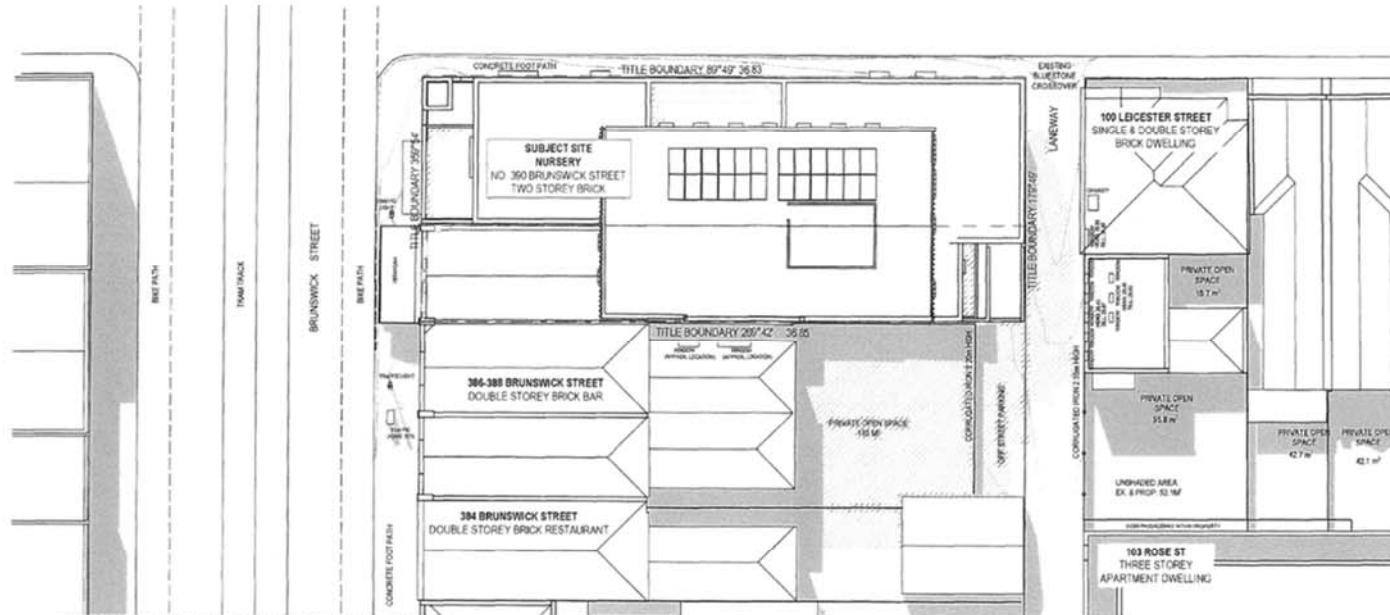
PROJECT  
**390-394 BRUNSWICK ST**  
 390-394 BRUNSWICK STREET FITZROY 3055

CLIENT  
**SIMSON PROPERTY DEVELOPMENTS**

ALL WORKS TO BE CARRIED OUT TO ALL APPLICABLE STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE	
SHADOW DIAGRAMS - 12PM	
SCALE AT A3	JOB NUMBER
1:250	452
ISSUE DATE	DRAWN BY
5/06/2018	TW
DRAWING NO.	
TP028	

Attachment 3 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Detailed shadow diagrams including Brunswick Street



05 22 SEPT 1PM EXISTING & PROPOSED

SHADOW SUMMARY	
100 LEICESTER ST - 22 SEPT	<p>9AM - EXISTING AREA UNSHADED SPACE: 41.6M<sup>2</sup>                      PROPOSED AREA UNSHADED SPACE: 47.4M<sup>2</sup>                      ADDITIONAL OVERSHADOWING: -5M<sup>2</sup></p> <p>10AM - EXISTING AREA UNSHADED SPACE: 18.5M<sup>2</sup>                      PROPOSED AREA UNSHADED SPACE: 18.5M<sup>2</sup>                      ADDITIONAL OVERSHADOWING: -0M<sup>2</sup></p> <p>11AM - EXISTING AREA UNSHADED SPACE: 31.5M<sup>2</sup>                      PROPOSED AREA UNSHADED SPACE: 31.5M<sup>2</sup>                      ADDITIONAL OVERSHADOWING: -0M<sup>2</sup></p> <p>12PM - EXISTING AREA UNSHADED SPACE: 37.6M<sup>2</sup>                      PROPOSED AREA UNSHADED SPACE: 37.6M<sup>2</sup>                      ADDITIONAL OVERSHADOWING: -0M<sup>2</sup></p> <p>1PM - EXISTING AREA UNSHADED SPACE: 33.1M<sup>2</sup>                      PROPOSED AREA UNSHADED SPACE: 32.9M<sup>2</sup>                      ADDITIONAL OVERSHADOWING: -0M<sup>2</sup></p> <p>2PM - EXISTING AREA UNSHADED SPACE: 44.3M<sup>2</sup>                      PROPOSED AREA UNSHADED SPACE: 43.2M<sup>2</sup>                      ADDITIONAL OVERSHADOWING: -1.1M<sup>2</sup></p> <p>3PM - EXISTING AREA UNSHADED SPACE: 33.5M<sup>2</sup>                      PROPOSED AREA UNSHADED SPACE: 30M<sup>2</sup>                      ADDITIONAL OVERSHADOWING: -3.5M<sup>2</sup></p>

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LEGEND	
	SHADOWS CAST FROM EXISTING BUILDINGS
	ADDITIONAL SHADOWS CAST FROM PROPOSED DEVELOPMENT

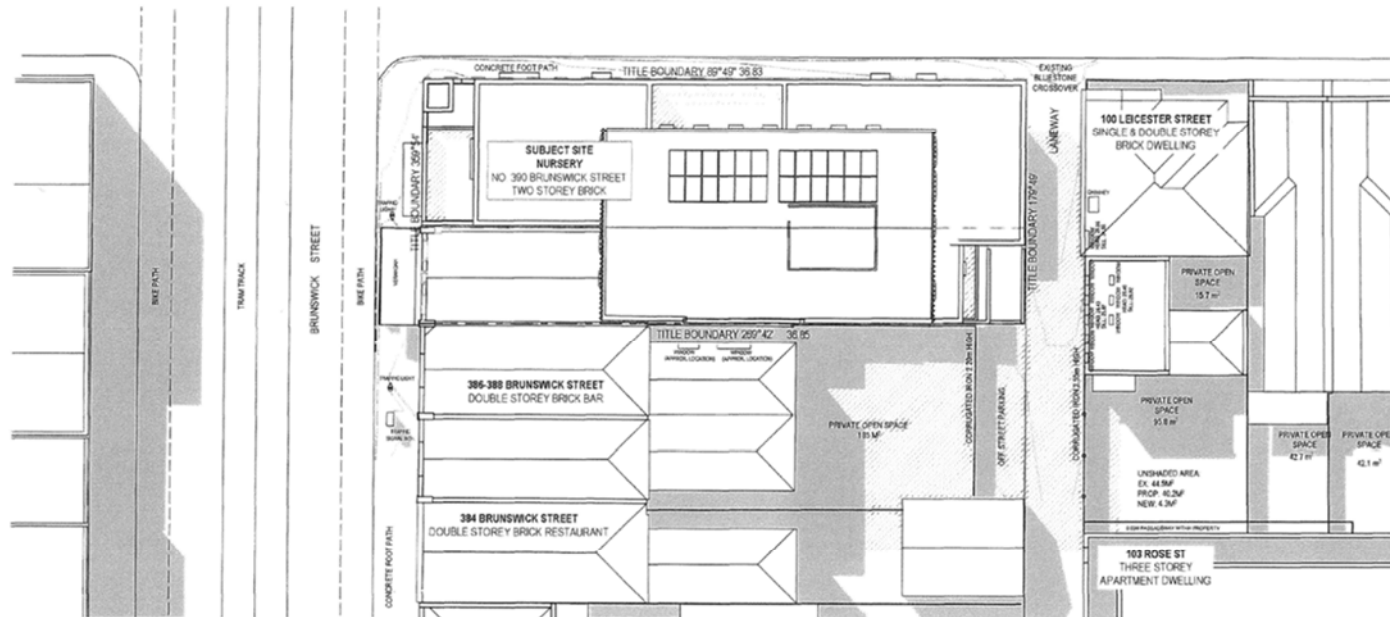
TOWN PLANNING		
REV	ISSUE DATE	BY REASON FOR ISSUE
1	5/09/2018	TW REFERRAL RESPONSE

PROJECT  
**390-384 BRUNSWICK ST**  
 390-384 BRUNSWICK STREET FITZROY 3055

CLIENT  
**SIMSON PROPERTY DEVELOPMENTS**

TITLE		
SHADOW DIAGRAMS - 1PM		
SCALE AT AS	JOB NUMBER	
1:250	452	
ISSUE DATE	DRAWN BY	
5/09/2018	TW	DRAWING NO. TP029

Attachment 3 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Detailed shadow diagrams including Brunswick Street



06 22 SEPT 2PM EXISTING & PROPOSED

SHADOW SUMMARY	
100 LEICESTER ST- 22 SEPT	
9AM	- EXISTING AREA UNSHADOWED SPACE- 47.8M <sup>2</sup> - PROPOSED AREA UNSHADOWED SPACE- 47.8M <sup>2</sup> - ADDITIONAL OVERSHADOWING- 0M <sup>2</sup>
10AM	- EXISTING AREA UNSHADOWED SPACE- 33.5M <sup>2</sup> - PROPOSED AREA UNSHADOWED SPACE- 35.9M <sup>2</sup> - ADDITIONAL OVERSHADOWING- 8M <sup>2</sup>
11AM	- EXISTING AREA UNSHADOWED SPACE- 31.1M <sup>2</sup> - PROPOSED AREA UNSHADOWED SPACE- 32.1M <sup>2</sup> - ADDITIONAL OVERSHADOWING- 6M <sup>2</sup>
12PM	- EXISTING AREA UNSHADOWED SPACE- 31.8M <sup>2</sup> - PROPOSED AREA UNSHADOWED SPACE- 31.8M <sup>2</sup> - ADDITIONAL OVERSHADOWING- 0M <sup>2</sup>
1PM	- EXISTING AREA UNSHADOWED SPACE- 32.1M <sup>2</sup> - PROPOSED AREA UNSHADOWED SPACE- 32.1M <sup>2</sup> - ADDITIONAL OVERSHADOWING- 0M <sup>2</sup>
2PM	- EXISTING AREA UNSHADOWED SPACE- 44.5M <sup>2</sup> - PROPOSED AREA UNSHADOWED SPACE- 43.2M <sup>2</sup> - ADDITIONAL OVERSHADOWING- 4.3M <sup>2</sup>
3PM	- EXISTING AREA UNSHADOWED SPACE- 35.5M <sup>2</sup> - PROPOSED AREA UNSHADOWED SPACE- 35M <sup>2</sup> - ADDITIONAL OVERSHADOWING- 35.5M <sup>2</sup>

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 clarcous.com.au

**LEGEND**  
  
 SHADOWS CAST FROM EXISTING BUILDINGS  
 ADDITIONAL SHADOWS CAST FROM PROPOSED DEVELOPMENT

TOWN PLANNING			
REV	ISSUE DATE	BY	REASON FOR ISSUE
C	5/09/2018	TW	REFERRAL RESPONSE

PROJECT  
**390-394 BRUNSWICK ST**  
 390-394 BRUNSWICK STREET FITZROY 3055

CLIENT  
**SIMSON PROPERTY DEVELOPMENTS**

ALL WORKS TO BE CARRIED OUT TO SATISFY THE STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE  
**SHADOW DIAGRAMS - 2PM**

SCALE AT A3  
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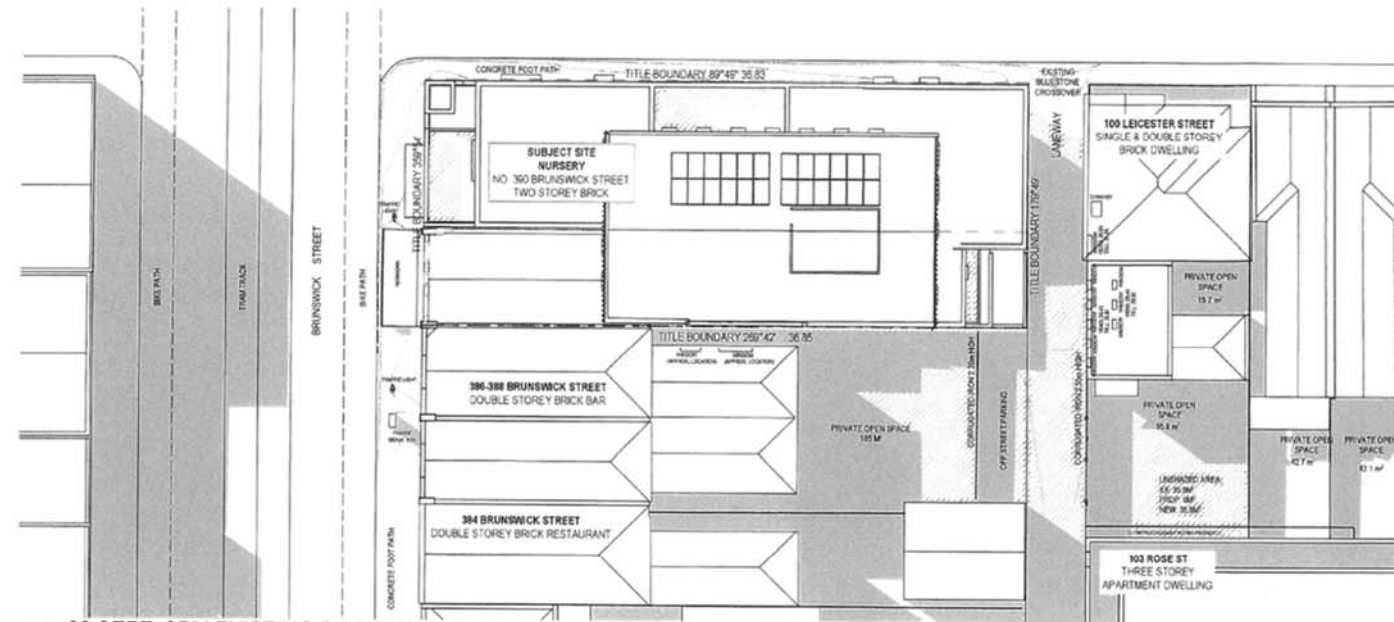
JOB NUMBER  
 452

ISSUE DATE  
 5/09/2018

DRAWN BY  
 TW

DRAWING NO.  
 TP030

Attachment 3 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Detailed shadow diagrams including Brunswick Street



07 22 SEPT 3PM EXISTING & PROPOSED

**SHADOW SUMMARY**  
100 LEICESTER ST - 22 SEPT

Time	Existing Area Unshaded Space	Proposed Area Unshaded Space	Additional Overshadowing
9AM	41.8M <sup>2</sup>	42.8M <sup>2</sup>	-0.9M <sup>2</sup>
10AM	35.5M <sup>2</sup>	35.5M <sup>2</sup>	0.0M <sup>2</sup>
11AM	31.1M <sup>2</sup>	31.1M <sup>2</sup>	0.0M <sup>2</sup>
12PM	27.8M <sup>2</sup>	27.8M <sup>2</sup>	0.0M <sup>2</sup>
1PM	24.5M <sup>2</sup>	24.5M <sup>2</sup>	0.0M <sup>2</sup>
2PM	21.2M <sup>2</sup>	21.2M <sup>2</sup>	0.0M <sup>2</sup>
3PM	17.9M <sup>2</sup>	17.9M <sup>2</sup>	0.0M <sup>2</sup>

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**LEGEND**

	SHADOWS CAST FROM EXISTING BUILDINGS
	ADDITIONAL SHADOWS CAST FROM PROPOSED DEVELOPMENT

**TOWN PLANNING**

REV	ISSUE DATE	BY	REASON FOR ISSUE
1	5/09/2018	TW	REFERRAL RESPONSE

PROJECT  
**390-394 BRUNSWICK ST**  
390-394 BRUNSWICK STREET FITZROY 3065

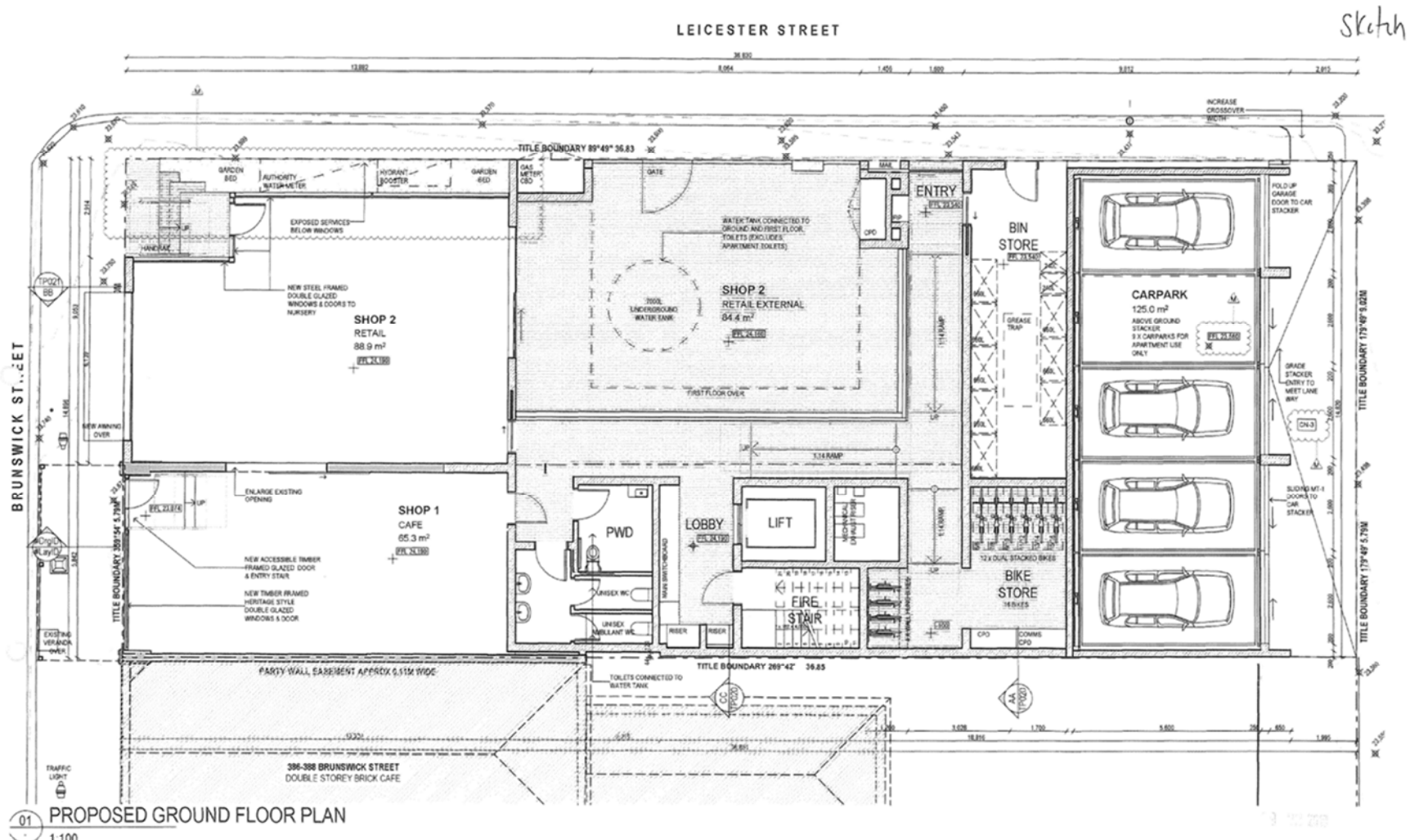
CLIENT  
**SIMSON PROPERTY DEVELOPMENTS**

ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED BY THE CLIENT PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE  
**SHADOW DIAGRAMS - 3PM**

SCALE AT A3 1:250	JOB NUMBER 452	
ISSUE DATE 5/08/2018	DRAWN BY TW	
DRAWING NO. TPG31		

Attachment 4 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Sketch plans



sketch

01 PROPOSED GROUND FLOOR PLAN  
1:100

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03 9529 2880  
info@clarecousins.com.au  
clarecousins.com.au

**TOWN PLANNING**

REV	ISSUE DATE	BY	REASON FOR ISSUE
E	28/09/2017	TW	CONSULTANT ISSUE
F	29/09/2017	TW	CLIENT MEETING
G	22/09/2017	TW	CONSULTANT ISSUE
H	01/10/2017	TW	CONSULTANT ISSUE
I	12/10/2017	TW	CLIENT MEETING
J	11/10/2017	TW	PRELIMINARY PLANNING
K	18/10/2017	TW	PLANNING ISSUE
L	20/10/18	TW	PLANNING RPT
M	06/02/18	TW	REFERRAL RESPONSE

PROJECT  
**390-394 BRUNSWICK ST**  
390-394 BRUNSWICK STREET FITZROY 3065

CLIENT  
**SIMSON PROPERTY DEVELOPMENTS**

ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE  
**PROPOSED GROUND FLOOR PLAN**

SCALE AT A3  
1:100

ISSUE DATE  
5/06/2018

JOB NUMBER  
452

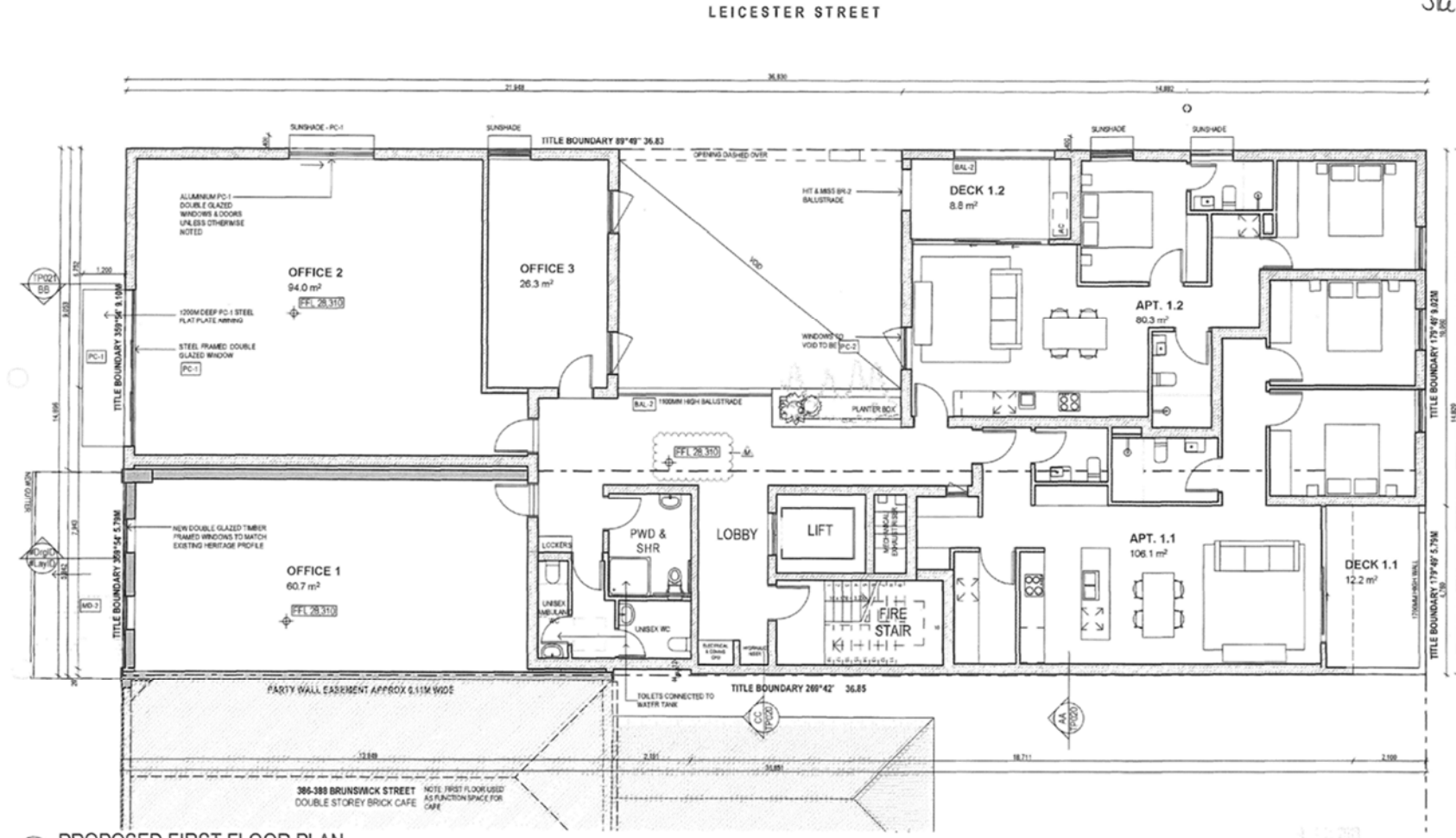
DRAWN BY  
TW



DRAWING NO  
TP008

Attachment 4 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Sketch plans

Sketch



01 PROPOSED FIRST FLOOR PLAN  
1:100

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sketch@clarecousinsarchitects.com.au  
clarecousinsarchitects.com.au

TOWN PLANNING			
REV	ISSUE DATE	BY	REASON FOR ISSUE
E	28/06/2017	TW	CONSULTANT ISSUE
F	28/06/2017	TW	CLIENT MEETING
G	22/07/2017	TW	CONSULTANT ISSUE
H	03/07/2017	TW	CONSULTANT ISSUE
I	13/10/2017	TW	CLIENT MEETING
J	17/10/2017	TW	PRELIMINARY PLANNING
K	18/10/2017	TW	PLANNING ISSUE
L	30/10/2018	TW	PLANNING ISSUE
M	05/02/2018	TW	REFERRAL RESPONSE

PROJECT  
**390-394 BRUNSWICK ST**  
390-394 BRUNSWICK STREET FITZROY 3065

CLIENT  
**SIMSON PROPERTY DEVELOPMENTS**

ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE  
**PROPOSED FIRST FLOOR PLAN**

SCALE AT A3  
1:100

JOB NUMBER  
452

ISSUE DATE  
5/06/2018

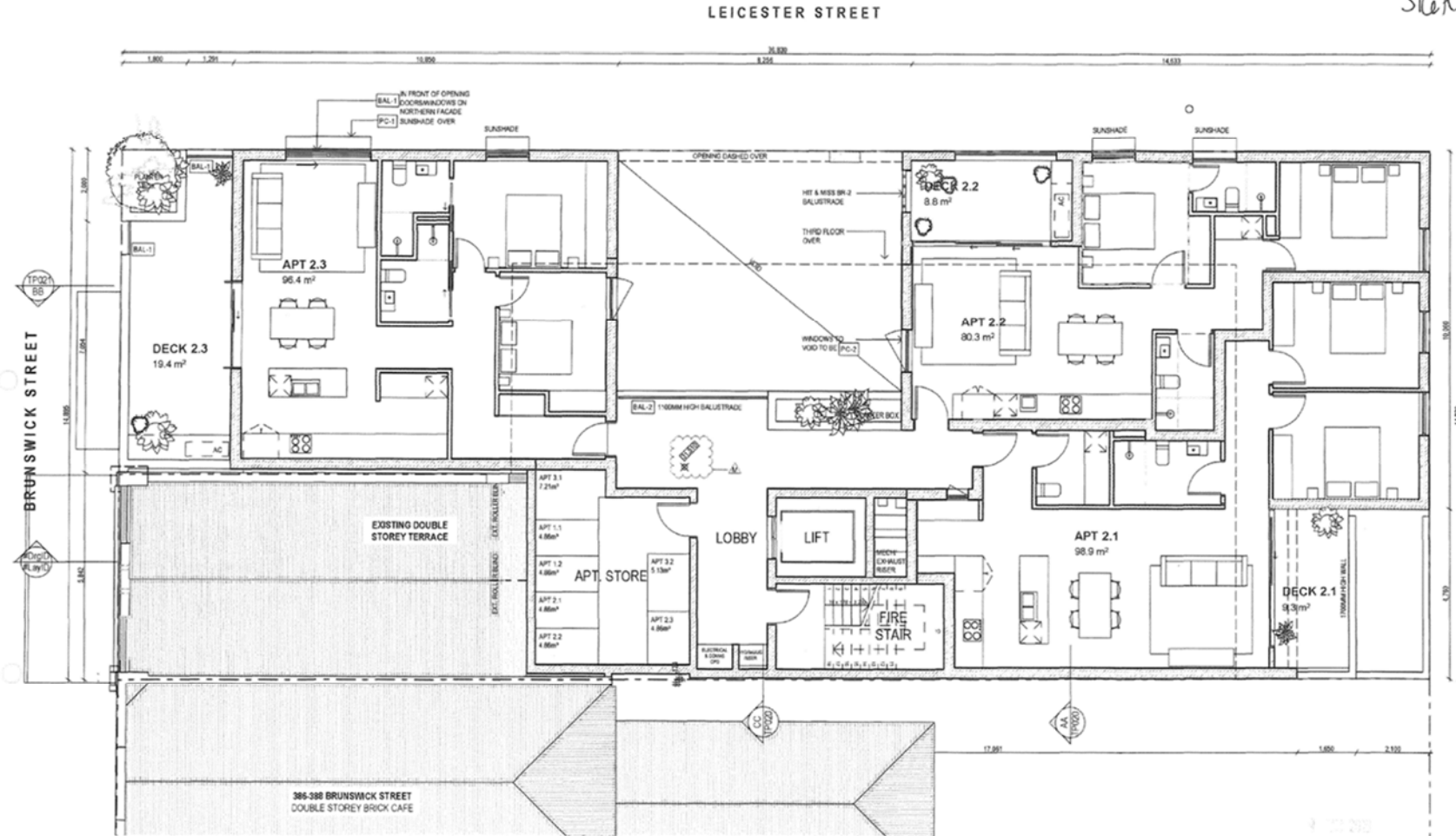
DRAWN BY  
TW

DRAWING NO  
TP009



Attachment 4 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Sketch plans

Sketch



01 PROPOSED SECOND FLOOR PLAN  
1:100

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clarecousins.com.au

**TOWN PLANNING**

REV	ISSUE DATE	BY	REASON FOR ISSUE
E	28/09/17	TW	CONSULTANT ISSUE
F	28/09/17	TW	CLIENT MEETING
G	29/09/17	TW	CONSULTANT ISSUE
H	05/10/17	TW	CONSULTANT ISSUE
I	12/10/17	TW	CLIENT MEETING
J	17/10/17	TW	PRELIMINARY PLANNING
K	18/10/17	TW	PLANNING ISSUE
L	30/10/18	TW	PLANNING ISSUE
M	30/09/18	TW	REFERRAL RESPONSE

PROJECT  
**390-394 BRUNSWICK ST**  
390-394 BRUNSWICK STREET FITZROY 3065

CLIENT  
**SIMSON PROPERTY DEVELOPMENTS**

ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE  
**PROPOSED SECOND FLOOR PLAN**

SCALE AT A3  
1:100

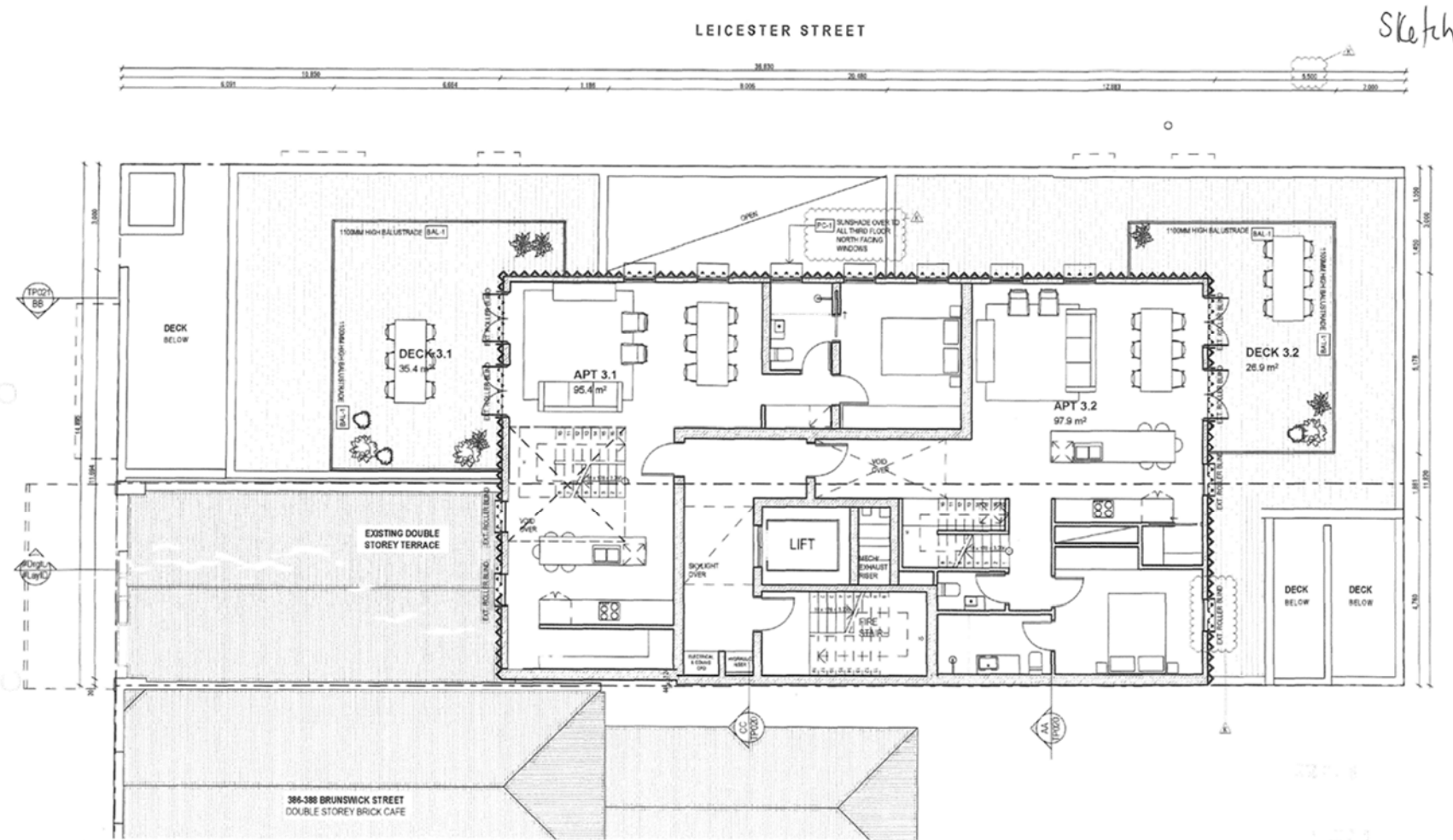
ISSUE DATE  
5/08/2018

JOB NUMBER  
452

DRAWN BY  
TW

DRAWING NO.  
TP1010

Attachment 4 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Sketch plans



01 PROPOSED THIRD FLOOR PLAN  
1:100

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**TOWN PLANNING**

REV	ISSUE DATE	BY	REASON FOR ISSUE
0	23/09/17	AN	CLIENT MEETING
1	28/09/17	TW	CONSULTANT ISSUE
2	29/09/17	TW	CLIENT MEETING
3	29/09/17	TW	CONSULTANT ISSUE
4	01/10/17	TW	CONSULTANT ISSUE
5	12/10/17	TW	CLIENT MEETING
6	17/10/17	TW	PRELIMINARY PLANNING
7	19/10/17	TW	PLANNING ISSUE
8	09/10/18	TW	REFERRAL RESPONSE

PROJECT  
**390-394 BRUNSWICK ST**  
390-394 BRUNSWICK STREET FITZROY 3065

CLIENT  
**SIMSON PROPERTY DEVELOPMENTS**

ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE  
**PROPOSED THIRD FLOOR PLAN**

SCALE AT A3  
1:100

ISSUE DATE  
5/08/2018

JOB NUMBER  
452

DRAWN BY  
TW

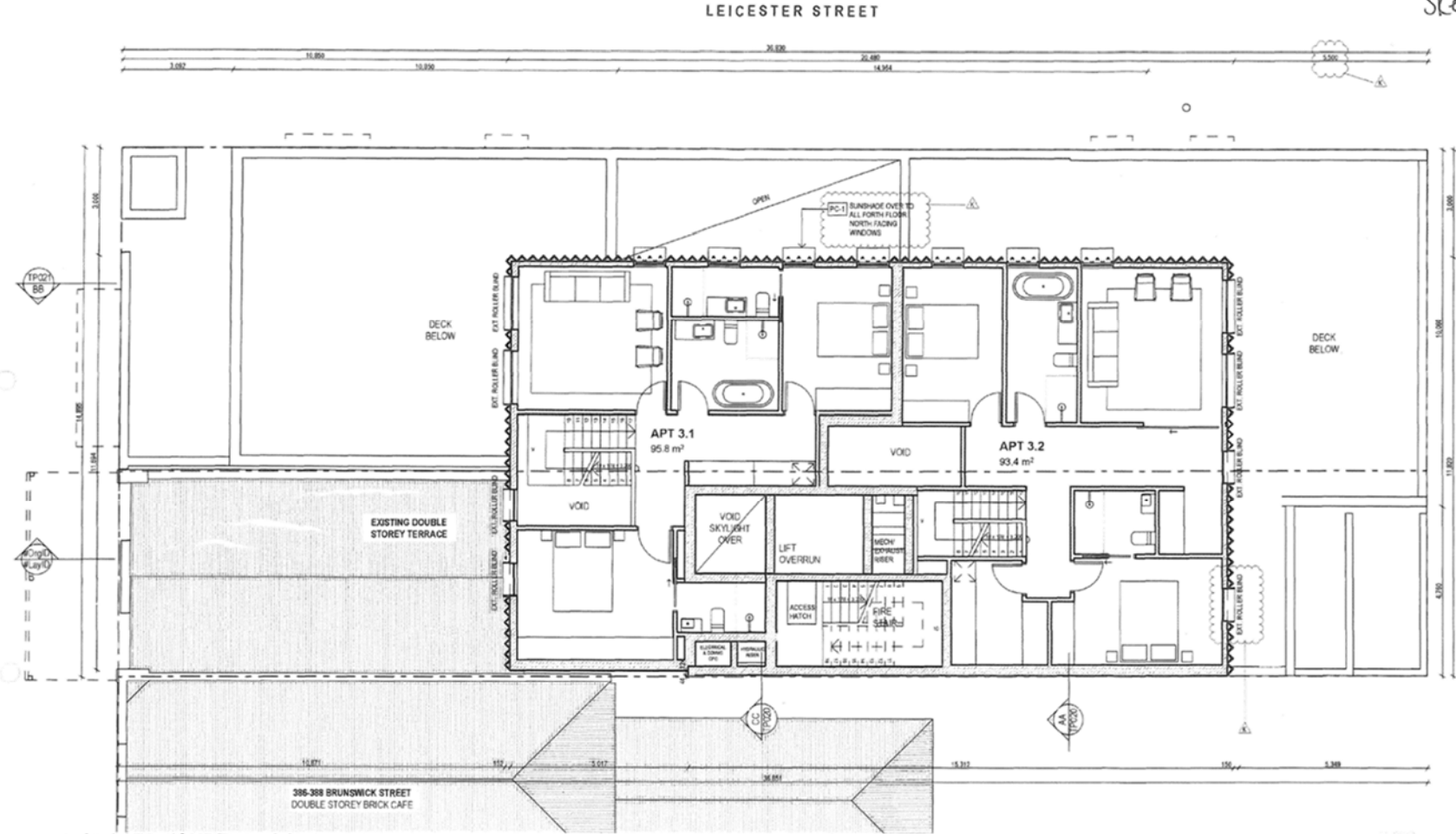
DRAWING NO.  
TP011





Attachment 4 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Sketch plans

Sketch



PROPOSED FOURTH FLOOR PLAN

1:100

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TOWN PLANNING		
REV	ISSUE DATE	REASON FOR ISSUE
C	23/09/2017	AN CLIENT MEETING
D	28/09/2017	TW CONSULTANT ISSUE
E	28/09/2017	TW CLIENT MEETING
F	22/02/2017	TW CONSULTANT ISSUE
G	5/10/2017	TW CONSULTANT ISSUE
H	12/10/2017	TW CLIENT MEETING
I	17/10/2017	TW PRELIMINARY PLANNING
J	19/10/2017	TW PLANNING ISSUE
K	30/07/2018	TW REFERRAL RESPONSE

PROJECT  
**390-394 BRUNSWICK ST**  
 390-394 BRUNSWICK STREET FITZROY 3065

CLIENT  
**SIMSON PROPERTY DEVELOPMENTS**

ALL WORKS TO BE SHOWN ON PLANS MUST BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE  
**PROPOSED FORTH FLOOR PLAN**

SCALE AT A3  
 1:100

ISSUE DATE  
 5/06/2018

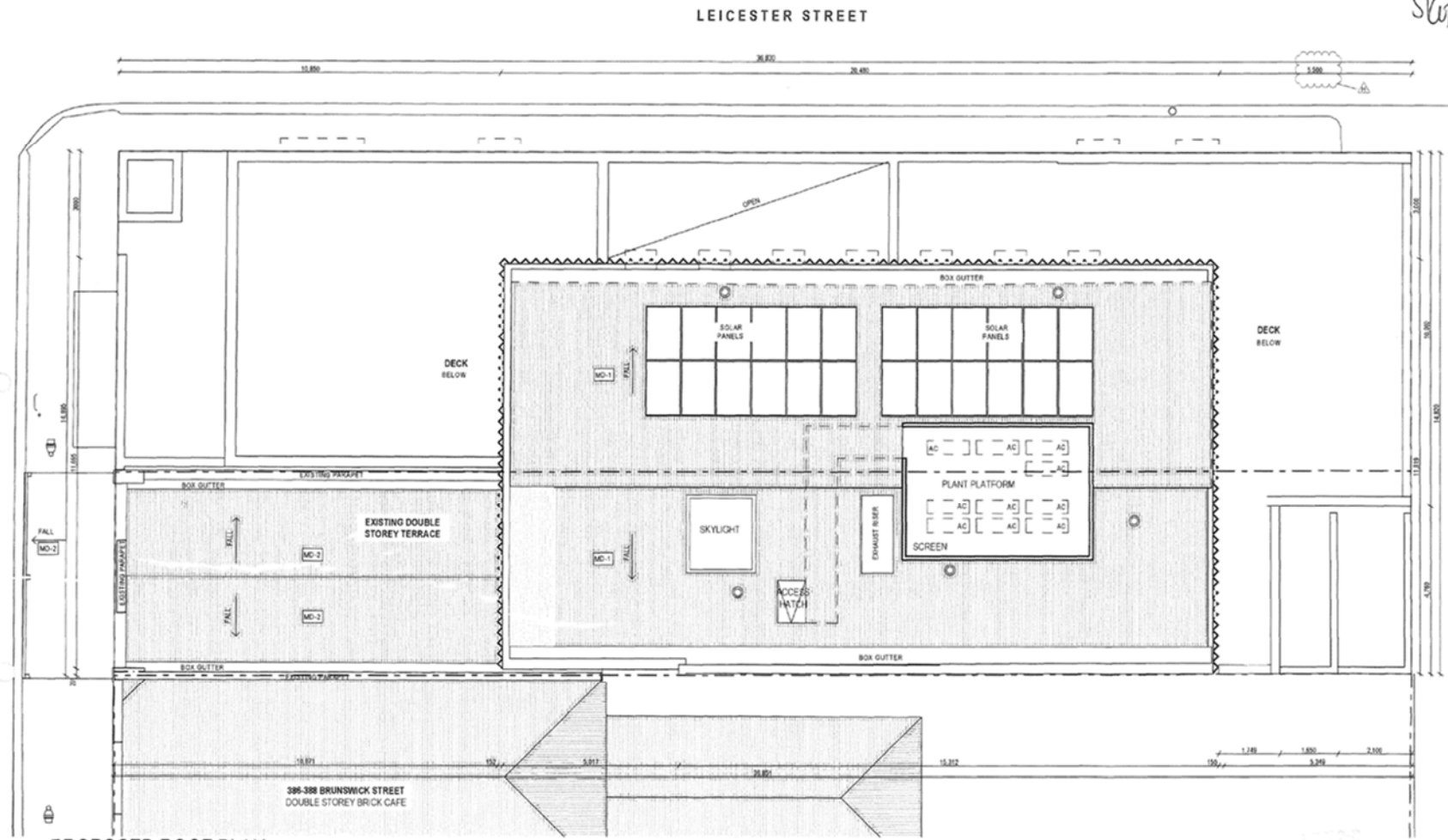
JOB NUMBER  
 452

DRAWN BY  
 TW

DRAWING NO.  
 TP012

Attachment 4 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Sketch plans

Sketch



PROPOSED ROOF PLAN  
1:100

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studio@clarecousins.com.au  
clarecousins.com.au

**TOWN PLANNING**

REV	ISSUE DATE	BY	REASON FOR ISSUE
A	14/07/2017	tw	CONSULTANT ISSUE
B	21/07/2017	TW	CLIENT REVIEW
C	5/02/2017	TW	CONSULTANT ISSUE
D	12/10/2017	TW	CLIENT MEETING
E	17/10/2017	TW	PRELIMINARY PLANNING
F	18/10/2017	TW	PLANNING ISSUE
G	3/02/2018	TW	PLANNING SET
H	5/09/2018	TW	REFERRAL RESPONSE

PROJECT  
**390-394 BRUNSWICK ST**  
390-394 BRUNSWICK STREET FITZROY 3055

CLIENT  
**SIMSON PROPERTY DEVELOPMENTS**

ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE  
**PROPOSED ROOF PLAN**

SCALE AT A3  
1:100

ISSUE DATE  
5/09/2018

JOB NUMBER  
452

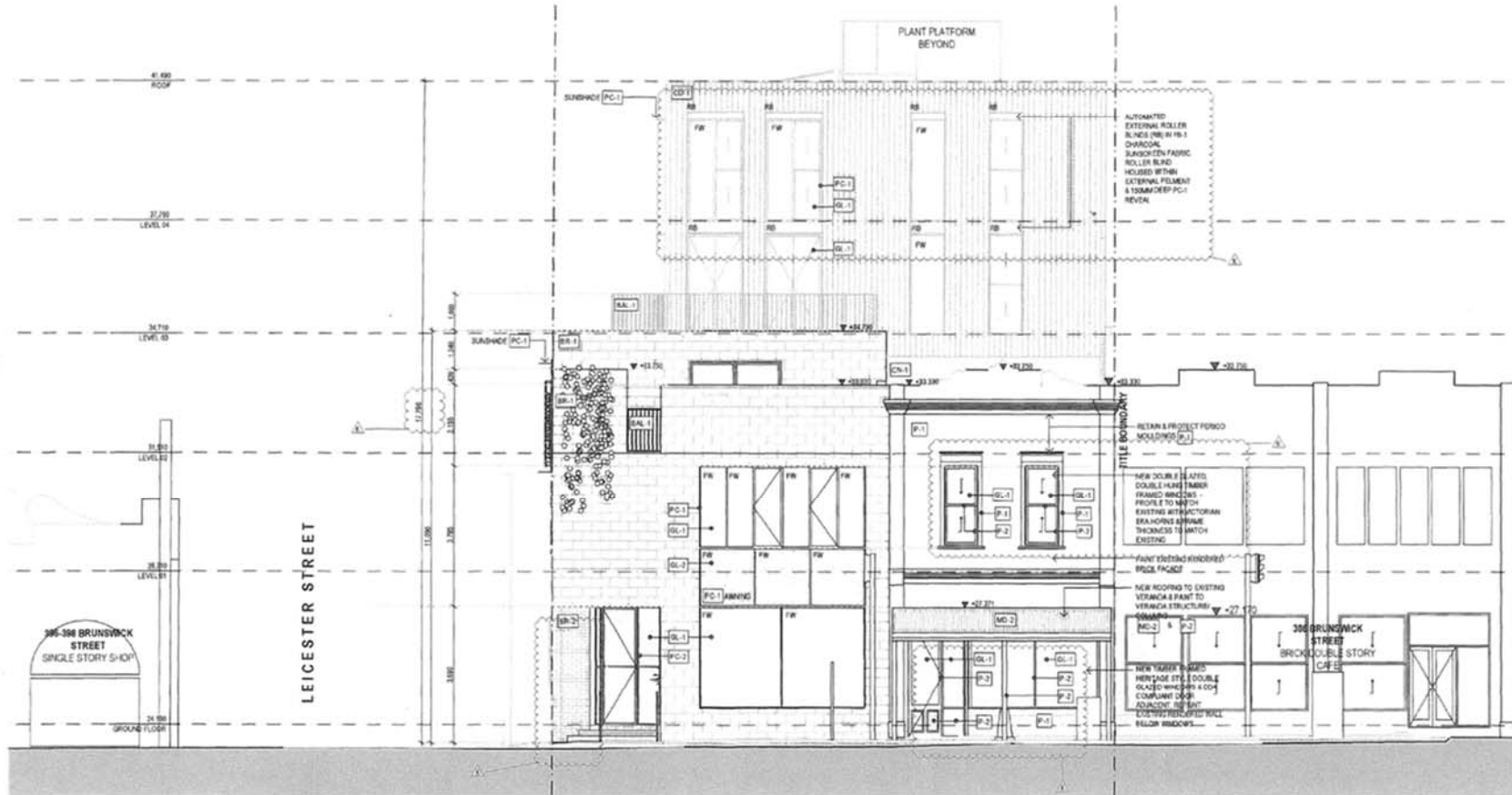
DRAWN BY  
TW

DRAWING NO.  
TP013



Attachment 4 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Sketch plans

Sketch



WEST ELEVATION - BRUNSWICK STREET  
1:100

**CLARE COUSINS ARCHITECTS**  
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Victoria Australia 3051  
03 9329 2900  
mel@clarcousins.com.au  
clarcousins.com.au

BA1-1	WHITE METAL ROD BALUSTRADE	GL-2	OBSCURE GLASS - MAXIMUM 50% TRANSPARENCY
BA2-2	RED METAL ROD BALUSTRADE	MD-2	GALVANISED CORRUGATED STEEL ROOFING
BR-1	OFF WHITE MASONRY BLOCK	MD-1	ZINCALUME CORRUGATED TRIMDECK ROOFING
BR-2	RED BRICK	MT-1	WHITE PERFORATED METAL SCREEN
CD-1	METAL CLADDING - COLOURBOND SURFMET	P-1	PAIN FINISH - BEIGE
CH-1	PRECAST CONCRETE - RAW GREY FINISH	P-2	PAIN FINISH - DARK RED
CH-2	TEXTURED PRECAST CONCRETE	PC-1	METAL FINISH - POWDERCOAT ON SITE PAINT - WHITE
GL-1	CLEAR GLASS	PC-2	METAL FINISH - POWDERCOAT ON SITE PAINT - RED

**TOWN PLANNING**

REV	ISSUE DATE	BY	REASON FOR ISSUE
0	23/09/2017	AN	CLIENT MEETING
1	25/09/2017	TW	CLIENT MEETING
2	29/09/2017	TW	CONSULTANT ISSUE
3	30/09/2017	TW	CONSULTANT ISSUE
4	12/10/2017	TW	CLIENT MEETING
5	17/10/2017	TW	PRELIMINARY PLANNING
6	18/10/2017	TW	PLANNING ISSUE
7	20/10/2018	TW	PLANNING RPT
8	30/09/2018	TW	REFERRAL RESPONSE

PROJECT  
**390-394 BRUNSWICK ST**  
390-394 BRUNSWICK STREET FITZROY 3005

CLIENT  
**SIMSON PROPERTY DEVELOPMENTS**

ALL WORKS DONE COMPLY WITH THE BUILDING REGULATIONS AND (1) DRAWN & (2) BY THE ARCHITECTURE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE  
**WEST ELEVATION**

SCALE AT A3 1:100	JOB NUMBER 452
ISSUE DATE 5/06/2018	DRAWN BY TW
	DRAWING NO. TP016

Attachment 4 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Sketch plans



NORTH ELEVATION - LEICESTER STREET

1:100

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0844006884.A001.AU

BAL-1	WHITE METAL ROD BALUSTRADE	GL-2	OBSCURE GLASS - MAXIMUM 25% TRANSPARENCY
BAL-2	RED METAL ROD BALUSTRADE	MD-2	GALVANISED CORRUGATED STEEL ROOFING
BR-1	OFF WHITE MASONRY BLOCK	MD-4	ZINCALUME CORRUGATED TRIMDECK ROOFING
BR-2	RED BRICK	MT-1	WHITE PERFORATED METAL SCREEN
CD-1	METAL CLADDING - COLOURBOND SURFMIST	P-1	PAINT FINISH - BEIGE
CN-1	PRECAST CONCRETE - RAIN GREY FINISH	P-3	PAINT FINISH - DARK RED
CN-2	TEXTURED PRECAST CONCRETE	PC-1	METAL FINISH - POWDERCOAT OR SITE PAINT - WHITE
GL-1	CLEAR GLASS	PC-2	METAL FINISH - POWDERCOAT OR SITE PAINT - RED

**TOWN PLANNING**

REV	ISSUE DATE	BY	REASON FOR ISSUE
B	3/10/2017	TW	CLIENT REVIEW
C	2/10/2017	AN	CLIENT MEETING
D	2/10/2017	TW	CLIENT MEETING
E	22/09/2017	TW	CONSULTANT ISSUE
F	5/10/2017	TW	CONSULTANT ISSUE
G	19/10/2017	TW	CLIENT MEETING
H	17/10/2017	TW	PRELIMINARY PLANNING
I	19/10/2017	TW	PLANNING ISSUE
J	5/09/2018	TW	REFERRAL RESPONSE

PROJECT  
**390-394 BRUNSWICK ST**  
390-394 BRUNSWICK STREET FITZROY 3065

CLIENT  
**SIMSON PROPERTY DEVELOPMENTS**

ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE  
**NORTH ELEVATION**

SCALE AT A3  
1:100

ISSUE DATE  
5/09/2018

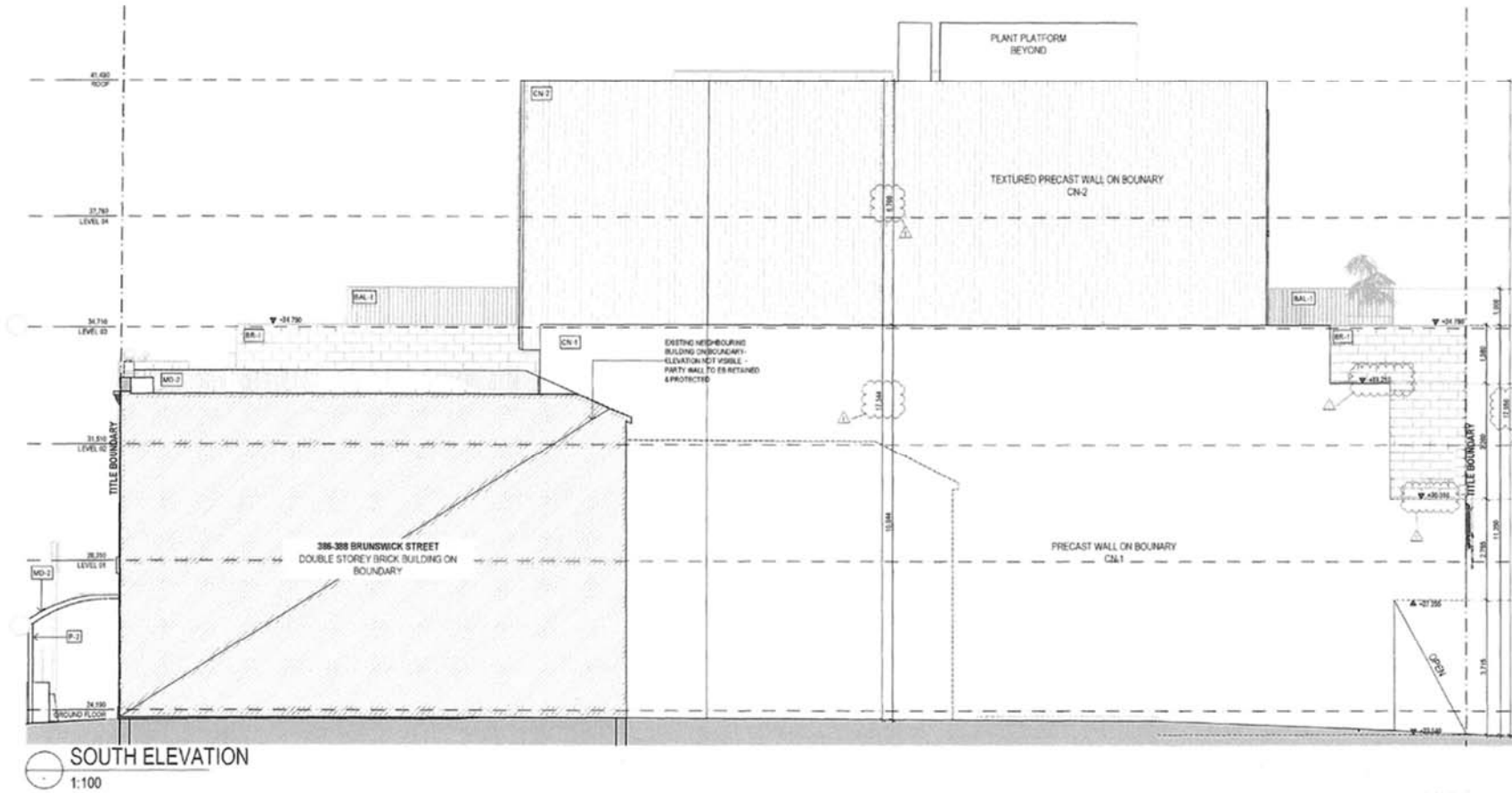
JOB NUMBER  
452

DRAWN BY  
TW

DRAWING NO.  
TP017

Attachment 4 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Sketch plans

Sketch



**CLARE COUSINS ARCHITECTS**  
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 clarecousins.com.au

BR-1	WHITE METAL ROD BALUSTRADE	GL-2	OBSCURE GLASS - MAXIMUM 25% TRANSPARENCY
BAL-2	RED METAL ROD BALUSTRADE	MO-2	GALVANISED CORRUGATED STEEL ROOFING
BR-1	OFF WHITE MASONRY BLOCK	MO-4	ZINCALUME CORRUGATED TRIMDECK ROOFING
BR-2	RED BRICK	MT-1	WHITE PERFORATED METAL SCREEN
CD-1	METAL CLADDING - COLOURBOND SURFMET	PF-1	PAINT FINISH - BEIGE
CM-1	PRECAST CONCRETE - RAW GREY FINISH	PF-2	PAINT FINISH - DARK RED
CN-2	TEXTURED PRECAST CONCRETE	PC-1	METAL FINISH - POWDERCOAT OR SITE PAINT - WHITE
GL-1	CLEAR GLASS	PC-2	METAL FINISH - POWDERCOAT OR SITE PAINT - RED

**TOWN PLANNING**

REV	ISSUE DATE	BY	REASON FOR ISSUE
A	14/02/2017	TW	CONCEPT PLAN ISSUE
B	31/03/2017	TW	CLIENT REVIEW
C	26/06/17	TW	CLIENT MEETING
D	23/09/17	TW	CONSULTANT ISSUE
E	3/10/2017	TW	CONSULTANT ISSUE
F	12/12/2017	TW	CLIENT MEETING
G	17/12/2017	TW	PRELIMINARY PLANNING
H	18/12/2017	TW	PLANNING ISSUE
I	06/02/18	TW	REFERRAL RESPONSE

PROJECT  
**390-394 BRUNSWICK ST**  
 390-394 BRUNSWICK STREET FITZROY 3065

CLIENT  
**SIMSON PROPERTY DEVELOPMENTS**

ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE  
**SOUTH ELEVATION**

SCALE AT A3  
 1:100

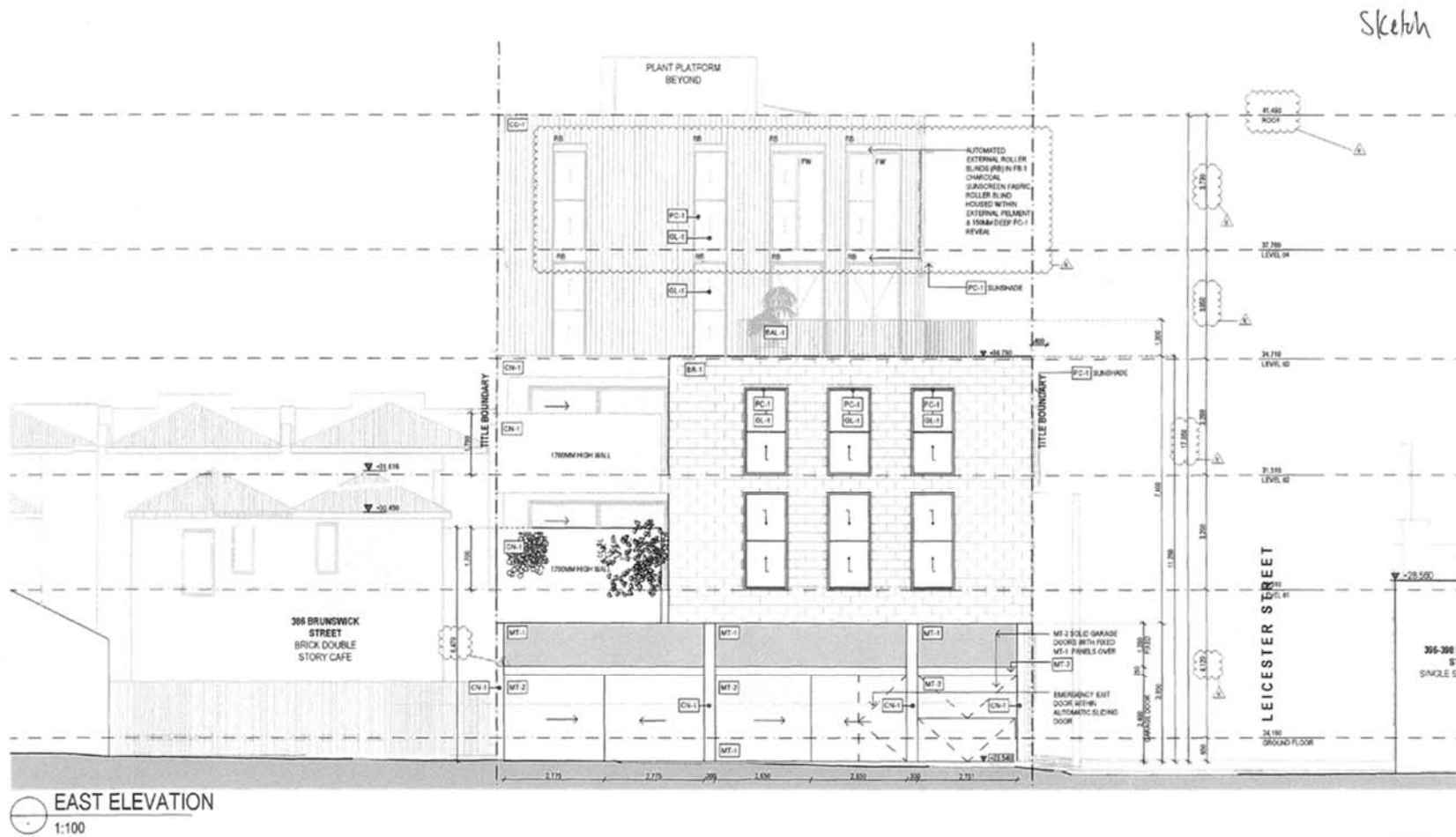
ISSUE DATE  
 5/08/2018

JOB NUMBER  
 452

DRAWN BY  
 TW

DRAWING NO  
 TP018

Attachment 4 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Sketch plans



<p><b>CLARE COUSINS ARCHITECTS</b></p> <p>28 Blackburn Street North Melbourne Victoria Australia 3051</p> <p>03 9399 2688 info@clarecousins.com.au clarecousins.com.au</p>	<p>BAL-1 WHITE METAL ROD BALLUSTRADE</p> <p>BAL-2 RED METAL ROD BALLUSTRADE</p> <p>BR-1 OFF WHITE MASONRY BLOCK</p> <p>BR-2 RED BRICK</p> <p>CO-1 METAL CLADDING - COLOURBOND SURFMIST</p> <p>CN-1 PRECAST CONCRETE - RAW GREY FINISH</p> <p>CN-2 TEXTURED PRECAST CONCRETE</p> <p>GL-1 CLEAR GLASS</p>	<p>GL-2 OBSCURE GLASS - MAXIMUM 25% TRANSPARENCY</p> <p>MD-2 GALVANISED CORRUGATED STEEL ROOFING</p> <p>MD-1 ZINCALUME CORRUGATED TRIMDECK ROOFING</p> <p>MT-1 WHITE PERFORATED METAL SCREEN</p> <p>PF-1 PAINT FINISH - BEIGE</p> <p>PF-2 PAINT FINISH - DARK RED</p> <p>PC-1 METAL FINISH - POWDERCOAT OR SITE PAINT - WHITE</p> <p>PC-2 METAL FINISH - POWDERCOAT OR SITE PAINT - RED</p>	<p><b>TOWN PLANNING</b></p> <table border="1"> <thead> <tr> <th>REV</th> <th>ISSUE DATE</th> <th>BY</th> <th>REASON FOR ISSUE</th> </tr> </thead> <tbody> <tr> <td>C</td> <td>20/06/2017</td> <td>AN</td> <td>CLIENT MEETING</td> </tr> <tr> <td>D</td> <td>20/06/2017</td> <td>TW</td> <td>CLIENT MEETING</td> </tr> <tr> <td>E</td> <td>22/06/2017</td> <td>TW</td> <td>CONSULTANT ISSUE</td> </tr> <tr> <td>F</td> <td>01/07/2017</td> <td>TW</td> <td>CONSULTANT ISSUE</td> </tr> <tr> <td>G</td> <td>12/07/2017</td> <td>TW</td> <td>CLIENT MEETING</td> </tr> <tr> <td>H</td> <td>17/07/2017</td> <td>TW</td> <td>PRELIMINARY PLANNING</td> </tr> <tr> <td>I</td> <td>18/07/2017</td> <td>TW</td> <td>PLANNING ISSUE</td> </tr> <tr> <td>J</td> <td>30/07/2018</td> <td>TW</td> <td>PLANNING RPT</td> </tr> <tr> <td>K</td> <td>06/08/18</td> <td>TW</td> <td>PREFERRAL RESPONSE</td> </tr> </tbody> </table>	REV	ISSUE DATE	BY	REASON FOR ISSUE	C	20/06/2017	AN	CLIENT MEETING	D	20/06/2017	TW	CLIENT MEETING	E	22/06/2017	TW	CONSULTANT ISSUE	F	01/07/2017	TW	CONSULTANT ISSUE	G	12/07/2017	TW	CLIENT MEETING	H	17/07/2017	TW	PRELIMINARY PLANNING	I	18/07/2017	TW	PLANNING ISSUE	J	30/07/2018	TW	PLANNING RPT	K	06/08/18	TW	PREFERRAL RESPONSE	<p>PROJECT <b>390-394 BRUNSWICK ST</b> 390-394 BRUNSWICK STREET FITZROY 3055</p> <p>CLIENT <b>SIMSON PROPERTY DEVELOPMENTS</b></p> <p>ALL WORKS TO BE DONE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.</p>	<p>TITLE <b>EAST ELEVATION</b></p> <p>SCALE AT A3 1:100</p> <p>ISSUE DATE 5/08/2018</p> <p>JOB NUMBER 452</p> <p>DRAWN BY TW</p> <p>DRAWING NO. TP019</p>
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C	20/06/2017	AN	CLIENT MEETING																																										
D	20/06/2017	TW	CLIENT MEETING																																										
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K	06/08/18	TW	PREFERRAL RESPONSE																																										



Attachment 5 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Colour renders and floor plans



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18 DESIGN RESPONSE

PROJECT

390-394 BRUNSWICK STREET, FITZROY  
OCTOBER 2017

RECEIVED

02 NOV 2017

Attachment 5 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Colour renders and floor plans



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19 DESIGN RESPONSE

---

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PROJECT

390-394 BRUNSWICK STREET, FITZROY  
OCTOBER 2017

RECEIVED

02 NOV 2017

---



Attachment 5 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Colour renders and floor plans



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20 DESIGN RESPONSE

PROJECT

390-394 BRUNSWICK STREET, FITZROY  
OCTOBER 2017

RECEIVED

02 NOV 2017

Attachment 5 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Colour renders and floor plans



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28 Blackwood Street  
North Melbourne  
Victoria Australia 3061

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17 DESIGN RESPONSE

PROJECT

390-394 BRUNSWICK STREET, FITZROY  
OCTOBER 2017

RECEIVED

02 NOV 2017

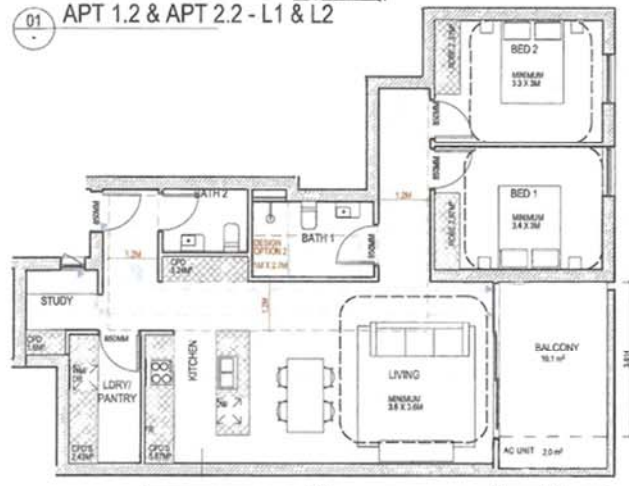
Attachment 5 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Colour renders and floor plans



01 APT 1.2 & APT 2.2 - L1 & L2

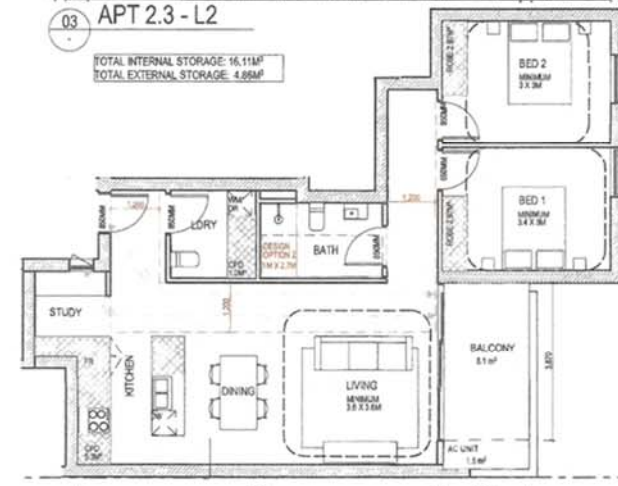


03 APT 2.3 - L2



02 APT 1.1 - L1

TOTAL INTERNAL STORAGE: 18.88M³  
TOTAL EXTERNAL STORAGE: 4.86M³



04 APT 2.1 - L2

TOTAL INTERNAL STORAGE: 12.24M³  
TOTAL EXTERNAL STORAGE: 4.86M³

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www.clarecousins.com.au



**TOWN PLANNING**

REV	ISSUE DATE	BY	REASON FOR ISSUE
A	17/10/2017	TW	PRELIMINARY PLANNING
B	18/10/2017	TW	PLANNING ISSUE

PROJECT  
390-394 BRUNSWICK ST  
390-394 BRUNSWICK STREET FITZROY 3065

CLIENT  
SIMSON PROPERTY DEVELOPMENTS

ALL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. ALL ENGINEERS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

TITLE  
DETAILED APARTMENT PLANS

SCALE AT AS  
1:100

ISSUE DATE  
18/10/2017

JOB NUMBER  
452

DRAWN BY  
TW

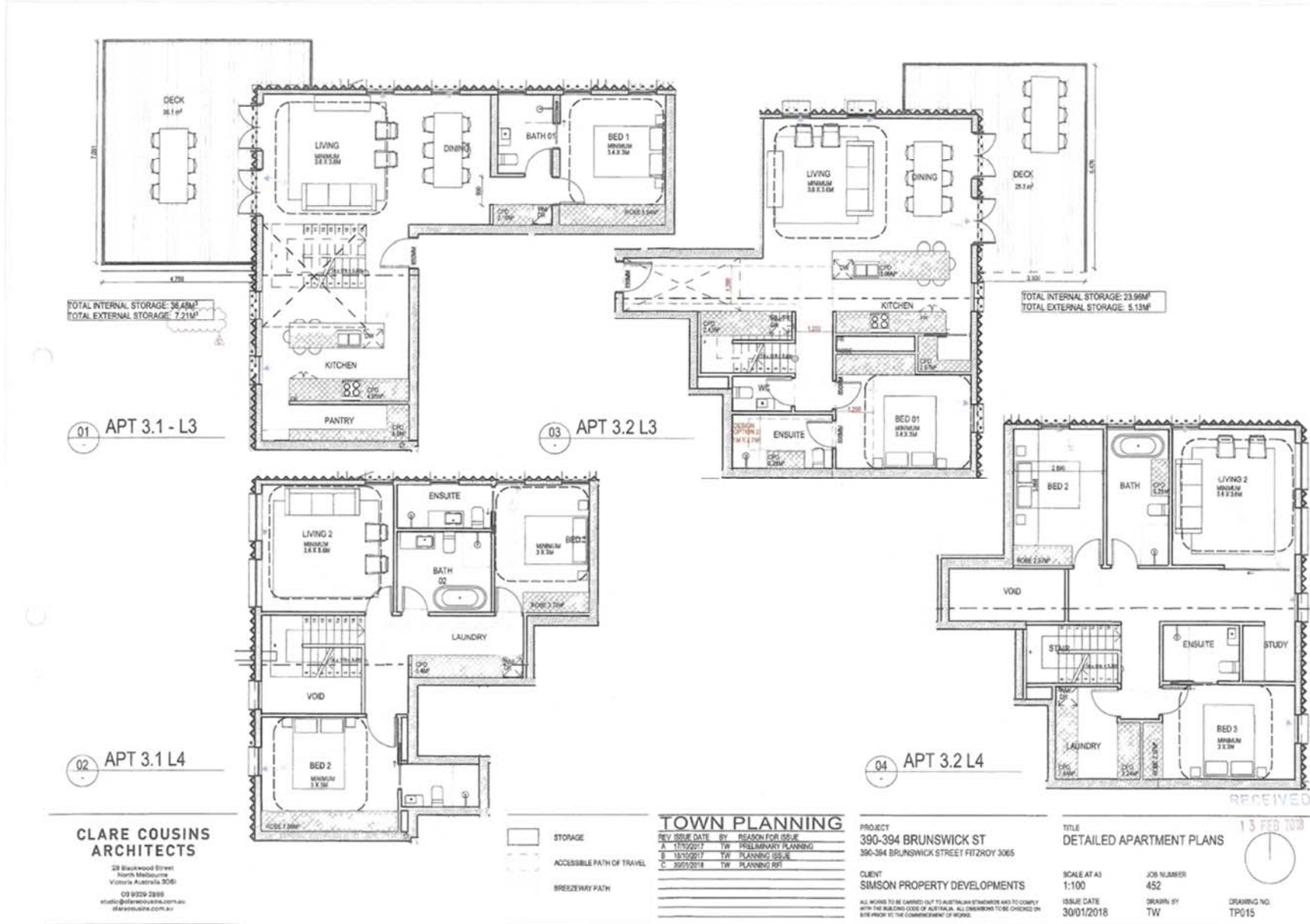
RECEIVED  
13 FEB 2018



DRAWING NO.  
TP014



Attachment 5 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Colour renders and floor plans



**Attachment 6 - PLN17/0941 - 390 - 394 Brunswick Street Fitzroy - Heritage advice**

**City of Yarra  
Heritage Advice**

---

<b>Application No.:</b>	<i>PLN17/0941</i>
<b>Address of Property:</b>	<b>390-394 Brunswick Street, Fitzroy</b>
<b>Planner:</b>	<i>Lara Fiscalini</i>
<b>Yarra Planning Scheme References:</b>	<p><i>STATE POLICY:</i></p> <ul style="list-style-type: none"> <li>• <i>Clause 15.03 Heritage</i></li> </ul> <p><i>LOCAL POLICY:</i></p> <ul style="list-style-type: none"> <li>• <i>Clause 21.05-1 Built Form (Heritage)</i></li> <li>• <i>Clause 43.01 Heritage Overlay</i></li> <li>• <i>Clause 22.02 Development Guidelines for sites subject to the Heritage Overlay</i></li> </ul>
<b>Heritage Overlay No. &amp; Precinct:</b>	<i>HO-311 Brunswick Street Precinct</i>
<b>Level of significance:</b>	<p><i>Contributory, constructed 1870-1890 (Appendix 8, City of Yarra Review of Heritage Overlay Areas 2007)</i></p> <p><i>Schedule to the heritage overlay: Paint controls apply</i></p>
<b>General description:</b>	<p><i>Part demolition and development of:</i></p> <ul style="list-style-type: none"> <li>• <i>A three-storey new development to the corner of Brunswick and Leicester Streets; and</i></li> <li>• <i>A two-storey roof top development set back from Brunswick Street</i></li> </ul>
<b>Drawing Nos.:</b>	<i>Set of 32 x A3 drawings prepared by Clare Cousins Architects, received by Council and date stamped 13 February 2018</i>

---

**CONTEXT DESCRIPTION:**

The subject site is composed of two adjoining rectangular allotments with principal frontages to Brunswick Street; a side frontage to Leicester Street; and a bluestone laneway at the rear. They are located on the eastern side of Brunswick Street, which is a wide street measuring 17.5metres footpath to footpath.

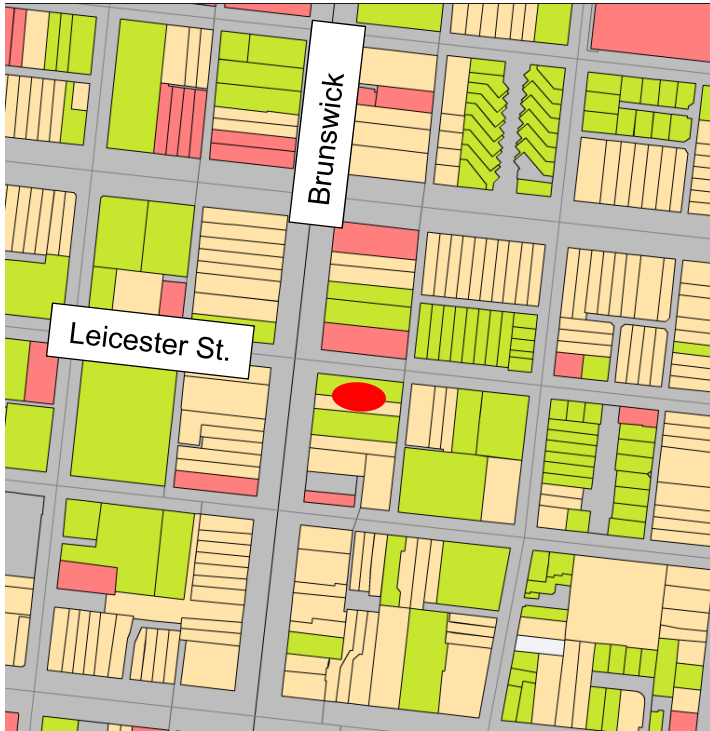
The subject site contains a Victorian-era shop with residence above (no.390 Brunswick Street) and a vacant lot (394 Brunswick Street). The building at No.390 has a rendered façade, timber sash windows, decorative façade and a rectangular parapet decorated with scrolls.

Remnant features of No's.386, 388 and especially no.384 Brunswick Street indicate that nos. 384-390 Brunswick Street were originally a row of four identical buildings. The MMBW plan from c.1900 for the site shows that nos.384-390 Brunswick Street shared a verandah and that no.394 Brunswick Street may always have been a vacant site (or at least developed later with less substantial structures). There are no new additions at the rear of no.384-390 Brunswick Street.

The site is surrounded by individually significant, contributory and some non-contributory buildings. Whilst No's.386 and 388 are now significantly altered, Victorian-era, non-contributory buildings, No.396 Brunswick Street (across from the subject site to the north) is an individually significant building. For the most part, Brunswick Street is a high quality, historic streetscape, particularly at the upper levels.

The site also has side frontage to Leicester Street, which is included in HO334. Leicester Street is predominately built up with small scale, moderately intact domestic dwellings and moderately intact warehouses.

**Attachment 6 - PLN17/0941 - 390 - 394 Brunswick Street Fitzroy - Heritage advice**



*Above: extract from Yarra GIS showing subject site (red dot) in relation to individually significant (pink), contributory (cream) and non-contributory (green) buildings.*



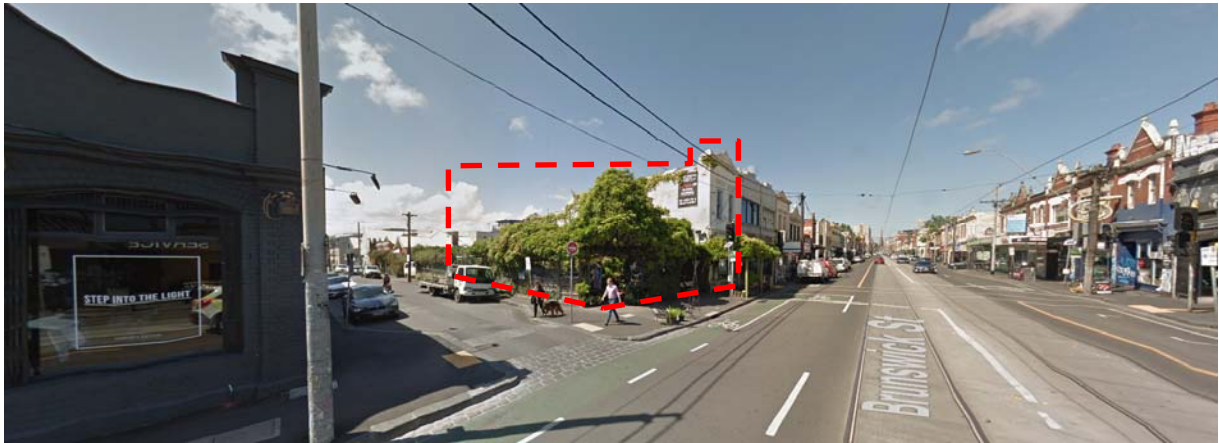
*Above: aerial image of subject site.*



**Attachment 6 - PLN17/0941 - 390 - 394 Brunswick Street Fitzroy - Heritage advice**



*Above: Subject site as seen from across the street.*



*Above: Brunswick Street as seen from the north. Subject site denoted by red dashed line.*



*Above: Rear of subject site as seen from Leicester Street.*

## Attachment 6 - PLN17/0941 - 390 - 394 Brunswick Street Fitzroy - Heritage advice

### ASSESSMENT OF PROPOSED WORKS:

#### Comments regarding proposed demolition:

The extent of demolition proposed by this application includes:

- Part removal of the main roof (at the rear) and all of the fabric beyond the main building;
- Partial removal of the northern-side wall for new openings;
- Removal of entire shopfront glazing at ground level;
- Removal and replacement of upper level façade windows for double glazed units;
- Removal of street awning roofing; and
- Removal of all fencing, gates, and other landscape structures.

The key consideration for assessing this aspect of the works is whether the proposed demolition will adversely affect the significance of the heritage building or the broader heritage precinct.

Clause 22.02-5.1 of the Yarra Planning Scheme encourages the removal of inappropriate alterations, additions and works that detract from the cultural significance of the place; and generally discourages the demolition of part of an individually significant or contributory building or removal of contributory elements unless:

- That part of the heritage place has been changed beyond recognition of its original or subsequent contributory character(s).

For a contributory building:

- that part is not visible from the street frontage (other than a laneway), abutting park or public open space, and the main building form including roof form is maintained; or
- the removal of the part would not adversely affect the contribution of the building to the heritage place.

The proposed extent of roof demolition will maintain a majority of the existing main hipped roof form. The extent of roof demolition will not be visible from directly opposite. The visibility of the existing roofs from Leicester Street is not considered contributory elements to that streetscape as the building is setback from that street and would typically be obscured by any building constructed on the corner.

There existing structures at the rear of the main building do not appear to be former stables or privies. Full demolition of fabric beyond the existing main building is therefore supported.

#### Removal of northern wall fabric is for access to the proposed building to the north:

Although the removal of original building fabric is not usually desirable, the wall affected by these works was originally intended to be a party wall between adjoining buildings. As such, the wall would not have been visible except from internally. The northern side wall of the heritage building is currently visible from the street only because the corner allotment was never built on.

Based on the current proposed works, this wall will no longer be visible from the street. As the proposed openings in the side wall will not be visible from the street, it is considered that the removal of fabric from the side wall is acceptable.



**Attachment 6 - PLN17/0941 - 390 - 394 Brunswick Street Fitzroy - Heritage advice**

Removal of ground level shop front:



Left: Existing shopfront

The existing shopfront does not appear to be original however its configuration (with fixed glazing, a stall and an angled ingo), timber frames and large panes of glass are typical of the Victorian style shopfronts. Removing this shopfront for the purposes of achieving DDA compliance is considered acceptable as no original fabric will be lost. The proposed replacement shopfront window should similarly be of Victorian configuration and constructed of timber.

Removal of upper level façade windows:

The existing upper level façade window frames appear to be original. Double-glazed timber window units will be 'chunkier' than the existing window frames due to the additional weight of the extra glazing. To maintain the appearance of the original windows, the existing window frames should be either repaired or replaced with identical single-glazed window units. Internal secondary glazing units should be installed if sound or temperature attenuation is required.



Victorian-era horns

Note thickness of frames

**Attachment 6 - PLN17/0941 - 390 - 394 Brunswick Street Fitzroy - Heritage advice**

Replacement of verandah roof:

The proposal seeks to replace the existing verandah roof with Zinalume. Zinalume is a highly reflective material and is not generally supported on heritage buildings. The most appropriate material would be unpainted galvanised, corrugated Heritage Grade Z600 steel.

**Comments regarding new development:**

The extent of new works proposed by this application includes development of:

- A three-storey new development at the corner of Brunswick and Leicester Streets (shaded blue below); and
- A two-storey roof top development setback from Brunswick Street (shaded red below)



**REGARDING THE THREE-STOREY NEW DEVELOPMENT AT NOS. 392-394**

The key consideration for assessing this aspect of the works is whether the proposed new development will

- Be in keeping with the character or appearance of nearby heritage buildings of contributory significance; AND
- Not adversely affect the significance of the broader heritage precinct.

*Setbacks:*

Clause 22.02-5.7.1 of the Yarra Planning Scheme encourages:

setbacks from the principal street frontage to be similar to those of adjoining contributory buildings; where there are differing adjoining setbacks, the greater setback will apply.

The proposed front setback for the new development will be zero metres from both street frontages with recess at ground level on the corner and partially along Leicester Street.

The top floor (Second floor level) is setback about 3 metres from Brunswick Street. This has allowed the balustrade/parapet to be of a consistent and positive response to the height of the adjoining buildings to the south.

The proposed setbacks of this part of the new development are considered acceptable.

*Scale/height/appearance*

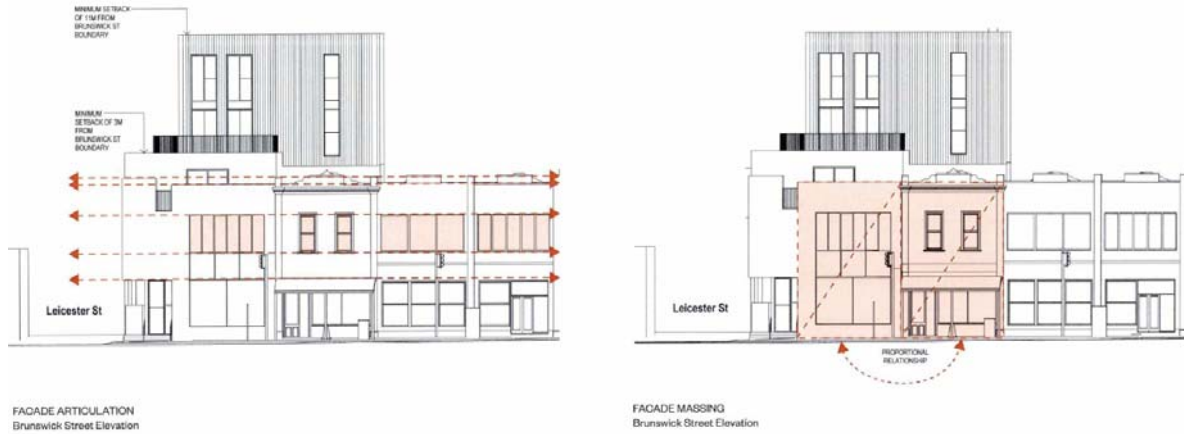
Clause 22.02-5.7.1 of the Yarra Planning Scheme encourages:

**Attachment 6 - PLN17/0941 - 390 - 394 Brunswick Street Fitzroy - Heritage advice**

similar façade heights to the adjoining contributory elements in the street. Where there are differing façade heights, the design should adopt the lesser height

The proposed facade height for the new development will be generally consistent with the height of the adjoining buildings to the south.

Similarly the articulation of the proposed window openings will be consistent with the façade of the adjoining heritage building. Despite the proposed new building being contemporary in appearance,



Above: Façade articulation details also detailed in TRIM: D18/40950 Advertising Detail Plans part 2.

The proposed external materials for the new development will be off-white masonry blockwork with white framed windows. A majority of the nearby shopfronts are painted render finishes so the colouring of the proposed blockwork façade will not be completely out of character.

The appearance of the proposed new building fronting Leicester Street is of less heritage concern than the Brunswick Street façade. The proposed recess/atrium is considered a good design approach to breaking up the impact of the scale/mass of the building on the secondary streetscape.

On heritage grounds, the scale and appearance of this part of the development is acceptable.

**REGARDING THE TWO-STOREY ROOFTOP DEVELOPMENT:**

*Setbacks/scale:*

Clause 22.02-5.7.1 of the Yarra Planning Scheme encourages:

setbacks from the principal street frontage to be similar to those of adjoining contributory buildings; where there are differing adjoining setbacks, the greater setback will apply.

The proposed rooftop development will be setback about 10.8 metres from Brunswick Street and 3 metres from Leicester Street. There are no comparable developments of this height in the immediate vicinity.

The submitted sightline drawing (shown below) indicates that only the topmost floor level (fourth floor) will be visible from the opposite side of the street. The visibility of just one floor level rising above the existing street front scale, is considered acceptable as will not dominate the streetscape.

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Above: Sightline diagram showing extent of visibility of rooftop development from directly across Brunswick Street.



Above: Proposed appearance of the new development showing extent of rooftop addition that will be visible from the opposite side of Brunswick Street

**Appearance:**

The proposed addition will be simple in appearance, clad in metal sheeting in ‘Surfmist’ colouring. The proposed openings will be rectangular in proportion and appear to be generally consistent with the character of the surrounding buildings which have about 40% of the street wall face comprised with openings such as windows and doors.

**REGARDING ALTERATIONS TO THE REMAINING HERITAGE BUILDING:**

The heritage building is subject to external paint controls. Clause 22.02-5.4 states that it is policy to:

Encourage paint colours to be consistent with the period of the heritage place.

The subject building is mid – late Victorian in style. The rendered walls of the building were likely to range from beige to salmon pink with timber joinery painted in dark contrasting colours deep Brunswick green or dark crimson. The proposed “white on white” scheme will not enhance the heritage character of the building and is contrary to the intent of the heritage controls.

**RECOMMENDATIONS:**

On heritage grounds the works proposed in this application may be approved subject to the following conditions:

- 1) That the existing window frames to no. 390 Brunswick Street must be either repaired or replaced with identical single-glazed window units. Internal secondary glazing units should be installed if sound or temperature attenuation is required;

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- 2) That the existing street verandah roof to no. 390 Brunswick Street must be replaced with unpainted Heritage Grade Z600 corrugated steel NOT Zinalume or Colourbond roofing products;
- 3) That the walls of the no. 390 Brunswick Street must be painted in a colour that is consistent with the mid Victorian period of the building, NOT white;
- 4) That the timber window and door joinery, both at ground and upper floor level of no. 390 Brunswick Street, must be painted in a dark contrasting colour (such as Venetian red, Brunswick green or dark crimson) to the pale main wall colour;

**SIGNED:**



Diahhh McIntosh

**DATED: 2 May 2018**



**Attachment 7 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Urban Design comments**



# MEMO

**TO:** Lara Fiscalini (Statutory Planning)  
**FROM:** Amruta Pandhe (Urban Design)  
**DATE:** 19 March 2018  
**SUBJECT:** 390 Brunswick Street Fitzroy  
**APPLICATION NO:** PLN17/0941  
**DESCRIPTION:** Part demolition and development of the land for the construction of a five-storey mixed-use building

**COMMENTS SUMMARY**

Urban Design comments have been sought on:

- Proposed design of development;
- Integration with the Brunswick and Leicester Street streetscapes.

Whether there are any capital works approved or proposed within the area of the subject site.

These set of comments are provided on the plans with issue date 30<sup>th</sup> January 2018.

**COMMENTS SUMMARY**

The proposal is supported in its current form and will set a good precedent for Brunswick Street. Urban Design comments have been sought on the above proposal. In summary, the following changes are recommended to make the proposal more acceptable from an urban design perspective. The rationale behind these changes is explained in more detail overleaf.

- Ground floor interface along Leicester Street needs to be provide a better public realm environment and the overall street frontage needs to incorporate more landscaping by:
  - Relocating the services and providing landscaping in that space to reflect the existing nursery character and provide visual interest to the corner;
  - Increasing landscaping in external retail space along the boundary line and explore provision of creepers that would be able to grown on the building façade along Leicester Street;
  - Provision of rooftop planting from third floor that cascades down the sides of the building along Leicester Street frontage; and
  - Explore any other landscaping opportunities within the development.

It is understood that there are no capital works to be carried out within the area of the subject site.

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**DEVELOPMENT PROPOSAL**

The development proposes part demolition and development of a 5-storey mixed use development incorporating shops, offices and apartments. The proposal provides entries to two retail tenancies from Brunswick Street and one retail tenancy, apartment and office lobby from Leicester Street and car park entry from the lane.

**URBAN DESIGN FEEDBACK**

- **Built Form**

The site is located on the corner of Brunswick Street and Leicester Street and will be more visible from surrounding area. Hence, it is important to ensure that the built form fits within the existing character without drawing too much attention to itself. The development proposes a 5 storey built form with 2-3 storey street wall and two storey upper level setback by approximately 10.8m from Brunswick Street and 3m from Leicester Street. The deep setback for upper floors from Brunswick Street makes the overall 5 storey form less dominant and respectful towards the valued heritage streetscape of the street. Given the site is a corner site and existing built form on 398, 400 and 404 are single storeys the upper levels will be more visible when coming from north. However, the upper levels are a two storey addition and proportionately lower than the volume of heritage form when viewed from the street. Hence, the overall heights and setbacks are acceptable.

- **Streetwall Character**

The existing buildings along Brunswick Street are predominantly two storeys and the ones adjacent to the subject site are approximately 9.5m. The proposal provides a continuation of the heritage streetwall by matching the parapet height. The corner is slightly raised and matches with the parapet detail. The stepped massing to moderate from the three storey streetwall on Leicester Street to the two storey streetwall on Brunswick Street is a smart design approach to respect heritage. Hence, the streetwall heights proposed are supported.

The design of Brunswick Street streetwall of the new addition takes reference from the proportions of the heritage facade next door. Further, the design uses vertically proportioned windows and continues the established sill and lintel datum lines on the new façade making the Brunswick Street façade integrating positively with the heritage fabric. There is good balance between void and massing. The design of Leicester Street streetwall presents an interesting composition with use of large voids and mix of brick colours. The ground floor interface along Leicester Street needs some improvements but the design of upper levels is supported.

- **Ground Floor Interface and Landscaping**

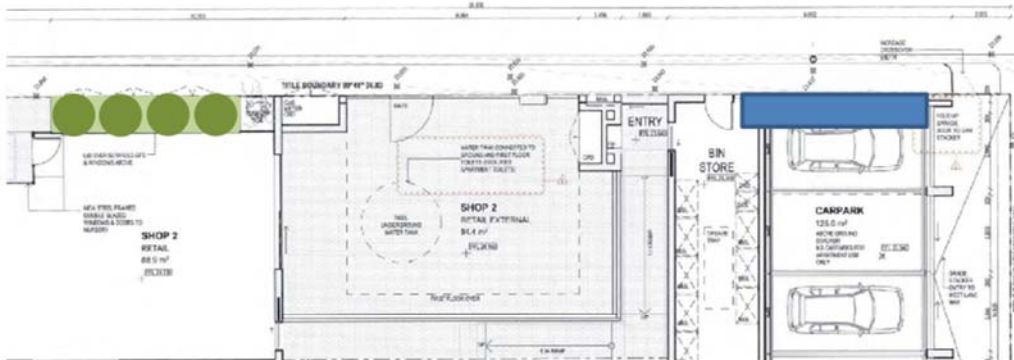
The existing character along Leicester Street is landscaped with the nursery which has high social and community values and is a unique character for an inner city environment. This character is replaced with predominantly large portions of blank wall on the ground floor which is not supported. The design tries to incorporate some landscaping within the design which is positive, however, overall the ground floor and corner treatment of the building needs to provide more landscaping to reduce large portion of blank walls.

The location of services (water meter and hydrant booster) is not the best outcome for the corner as it does not contribute in providing interesting and positive public realm. It is highly recommended to explore moving the services towards the east outside the car parking area (as shown in blue below), hence the corner can be all landscaped. This will reflect the existing character and provides visual interest to the corner. It is acknowledged that this will

**Attachment 7 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - Urban Design comments**

reduce the car parking number and traffic advice might be needed. The leftover space in the car park area can potentially be used for visitor bike parking for retail and office uses.

North Elevation shows that the doors for hydrant booster and water meter will be brick doors and it is unclear about practicality of this.



Ground Floor Plan showing location of services

- Existing location of services – recommend to be replaced with landscaping
- Recommended location of services

It is recommended to increase landscaping in the external retail space along the boundary line to reflect the nursery character. Explore providing creepers in this space that would be able to grow on the façade of the building. Similarly, it is recommended to explore more vertical landscaping for upper levels. For example, through provision of rooftop planting from third floor that cascades down the sides of the building along Leicester Street frontage, similar to the planter boxes proposed on the corner at second floor level. Consideration needs to be given to the arrangement for maintenance of all proposed landscaping.

It is recommended to have a landscape plan for the proposal and to get it assessed from the Open Space and Recreation team.

- **Materials and Finishes**

The proposed off white bricks used for podium gives a texture to the façade and the colour will not draw too much attention to itself. Hence, the proposed materials and finishes will complement the heritage along Brunswick Street. Similarly, the use of off white bricks for the façade and use of red bricks for voids will positively contribute to Leicester Street. There is good balance between glazing and brick.

Colourbond is used for upper levels which is a lightweight material and contrasts with the heavy masonry of the main form below. The design will benefit by exploring some 'higher quality' materials such as zinc for the upper levels.

Overall, the proposal presents a sophisticated design that has been actively informed by the adjacent heritage building and the wider streetscape.





19 March 2018

640.10090.05250 390-397 Brunswick St Fitzroy 20180309.docx

City of Yarra  
P.O. Box 168  
Richmond VIC 3121

**Attention: Lara Fiscalini**

Dear Lara

**390-394 Brunswick Street, Fitzroy  
Development Application Acoustical Review  
PLN 17/0941**

SLR Consulting Pty Ltd (SLR) has been retained by the City of Yarra to provide a review of the acoustic assessment report for the mixed use development proposed for 390-394 Brunswick Street, Fitzroy.

Details of the report are as follows:

- Title: 390-394 Brunswick Street, Fitzroy, Planning Application PLN17-0941. Acoustic Report
- Reference: R01Rev2 17030
- Date: 7 February 2018
- Prepared for: Simson Property Development Pty Ltd
- Prepared by: Clarity Acoustics

The report was prepared to address the City of Yarra request, reproduced below:

*An Acoustic Report, undertaken by a suitably qualified Acoustic consultant, detailing noise impacts on the proposed dwellings and how reasonable internal noise levels will be achieved. The Clause 58 assessment does not provide sufficient detail in order to undertake a detailed assessment of this aspect. It is also noted that the venue directly opposite the site to the west may have live music performances. Please confirm this, and if necessary, include an assessment against Clause 52.43 – Live music and entertainment noise within the report.*

## **1 Preliminary**

*(Sections 1, 2 and 4.3 of the report)*

The proposed use and the location of nearby noise sensitive receivers are identified in these sections of the report.

The proposal is for a five level mixed use development on Brunswick Street, Fitzroy. The building will comprise ground floor retail, first floor offices and apartments over four levels. Car stackers are proposed to be installed on the ground level and will be accessed from the rear lane.

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Surrounding uses are commercial to the north, south and west, and residential to the east, with the closest residence approximately 5 m from the eastern boundary of the development site.

Potential noise impacts to the subject development are identified as:

- Road traffic and trams on Brunswick Street
- Music and patron noise from nearby venues. These venues are identified later in the report as The Glamorama bar on Level 1 of 393 Brunswick Street (opposite the development site), and the Cider House at 386-388 Brunswick Street (single level venue south of the development site). Later in the report Clarity state that the Cider House, which has been bought by a venue which will trade as St Charlie and is currently closed, is proposing to construct an outdoor patron area.

**SLR Comments:** *The proposal, potential noise impacts to the site and the nearest residential receivers have generally been identified. From our understanding the Glamorama bar has a small first floor outdoor patron area, which is not explicitly noted in the acoustic report.*

*Potential noise impacts from the development are indicated in later sections of the report and are identified as:*

- Ground floor car stackers
- Project mechanical plant including condenser units and exhaust fans.

## 2 Road Traffic and Tram Noise

### 2.1 Traffic Noise targets

*(Section 3.5 of the acoustic report)*

Noise from transportation is proposed to be assessed to the levels nominated in Clause 58.04-3 of the Yarra planning scheme, being:

- 40 dB LAeq,16h in living areas
- 35 dB LAeq,8hr in bedrooms
- LAmax targets of 55 dBA in bedrooms at night

**SLR Comments:** *The proposed targets are reasonable. We also recommend that the loudest hour of the day and night periods do not exceed the nominated targets by more than 5 dB. These levels (45 dBA Leq,1h in living rooms and 40 dBA LAeq,1hr in bedrooms) align with the upper end of the AS/NZS2107:2016 recommended ranges. In line with our previous advice given to the City of Yarra, we recommend that the 6 am to 7 am period be treated as part of the 'night' period in the loudest hour assessment.*

### 2.2 Traffic Measurements

Traffic noise was measured at the corner of Leicester and Brunswick Streets between 8 am and 8:40 am on Tuesday 12 December, and between 10:20 pm and 10:40 pm Friday 16 December 2017.

The Leq levels were 67 dBA (day) and 65 dBA (night). Maximum noise levels due to tram passby events were 86 and 88 dBA.

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**SLR Comments:** *The measurement location is suitable for quantifying traffic noise impacts to the subject development. Clarity have confirmed that these levels were used to provide a reasonably conservative estimation of the Leq,16 h and Leq,8 hr levels.*

*The loudest hour for the night period is typically the 6 am to 7 am period, however we would not expect this to be more than 5 dB greater than the measurement conducted by Clarity between 10:20 and 10:40 pm. Given this, if the targets nominated in the acoustic report are met using the traffic noise data obtained by Clarity, we would also expect the 'loudest hour' targets proposed by SLR to also be met.*

### 2.3 Traffic Assessment

*(Sections 5.1 and Appendix D of the acoustic report)*

An explicit assessment is not included in the report. Recommended façade upgrade treatments are included Sections 5.1 and Appendix D. Advice is provided for external walls and windows. As a minimum, double glazing comprising 6 mm glass, 12 mm airgap, 6 mm glass, with an Rw rating of not less than 33 dB, is proposed. West facing windows on the fourth floor are proposed to be upgraded to 6 mm glass, 12 mm airgap, 10.76 mm thick laminated glass.

**SLR Comments:** *We do not have sufficient information to conduct a full independent assessment of traffic noise ingress to the proposed apartments. However the advice provided in the report appears reasonable for addressing the measured levels of traffic noise, taking into consideration the apartment setbacks and balconies.*

## 3 Music noise

### 3.1 Legislation and Guidelines

*(Sections 3.3, 3.4 and 6.1 of the report)*

Music is proposed to be assessed to SEPP N-2. Live music from venues within 50 m of the subject development is subject to the provisions of Clause 52.43 of the Yarra Planning Scheme, which places the responsibility for addressing SEPP N-2 exceedances on the residential developer, and allows music noise to be assessed internally, with windows closed.

Clarity state that they have assessed music emissions from the venue to internal targets notwithstanding the fact that Clause 52.43 strictly applies to live music venues only, and that the Glamorama bar may not be classified as a live music venue.

The SEPP N-2 base noise limits are proposed to be used as indoor limits for the subject development.

**SLR Comments:** *We agree that all music should be assessed to Clause 52.43 – this approach is in accordance with City of Yarra practice.*

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### 3.2 Music measurements

*(Section 4.3 of the acoustic report)*

Measurements of music were conducted on Friday 16 December between 10:20 pm and 10:40 pm and Sunday 17 December between 1:45 am and 2:15 am (Saturday night).

The results are presented as A-weighted L10 levels in Table 7 of the report and a derived octave band spectrum for music from Glamorama at the façade of the proposed dwellings is presented in Table 10 of the report.

Both venues were operating during the Friday night assessment, with high levels of amplified music in the Glamorama bar at 393 Brunswick Street (opposite the development site), and background music in the Cider House at 386-388 Brunswick Street (south of the development site).

Only the Glamorama bar was operating on during the early hours of Sunday morning.

The consultant notes that traffic was the dominant source of noise during most of both measurements, but indicates that music was audible during lulls in the traffic.

**SLR Comments:** *The measurements of music noise were undertaken at an appropriate time, however only one measurement was conducted. Where an 'agent of change' music assessment is carried out we recommend that either the venue is involved to ensure that worst case impacts are quantified, or that the measurements are undertaken over a number of nights. This approach also helps to ensure that worst case impacts are quantified.*

*The measurement location is at ground level, whereas music noise emissions may also be via the roof of the venue, and via the uncovered outdoor patron area. Clarity have emphasised that music from the venue was barely audible during the assessment, and while we agree that this suggests minimal impacts, we would nevertheless like to be sure that emissions from the roof to upper levels of the development have been adequately quantified. This may require measurements at an elevated location, or cooperation from the venue.*

### 3.3 Music assessment

*(Sections 5.1 and 6.2 of the report)*

Glazing and façade wall advice is provided for achieving SEPP N-2 base noise limits indoors, with windows closed.

The most exposed rooms are proposed to have 6/12/10.76 double glazing and Rw 47 walls. An indicative wall construction is provided in Section 5.1.

The most exposed room is noted to be the west facing bedroom of apartment 3.1.

**SLR Comments:** *In our opinion the proposed wall construction may not be sufficient to control the estimated levels of low frequency noise. Clarity to confirm.*

*The west facing living room of apartment 3.1 does not appear to have been assessed to SEPP N-2 octave band base noise limits. This approach may be reasonable provided that the space is clearly marketed as a living room. While the more stringent octave band limits do not apply to living rooms, the spaces are nevertheless required to comply with the SEPP N-2 A-weighted day/evening limit of 'background + 5 dB', or 32 dBA Leq.*



## Attachment 8 - PLN17/0941 - 390-394 Brunswick St Fitzroy - SLR Acoustic comments

### 4 Patron Noise

#### 4.1 Legislation and guidelines

*(Section 3.7 and Appendix C3 of the report)*

Patron noise is proposed to be assessed to indoor targets of 35 dBA Leq in all rooms, and Lmax targets of 55 dBA in bedrooms at night. The targets are drawn from Clause 37.01, Schedule 6 of the Yarra Planning Scheme.

Clarity suggest that strict compliance with these internal targets is not required. A risk matrix is provided in Appendix C3 which suggests that exceedances of up to 2 dB are unlikely to cause impacts.

**SLR Comments:** *The noise targets included in Clause 37.01, Schedule 6 apply specifically to residential developments exposed to noise from the Collingwood Arts Precinct at 35 Johnston Street, and are not formal City of Yarra guidelines for assessing patron noise internally in all contexts.*

*Our recommended approach has been to require patron noise to be designed to meet the 'satisfactory' levels provided in AS/NZS2107:2000 (a superseded version of this Standard). These were 35 dBA in living rooms and 30 dBA in bedrooms near major roads. The current, 2016, version of the Standard proposes higher minimum noise levels in bedrooms (35 dBA). In our opinion the higher target is not appropriate for voice noise in bedrooms. The lower 30 dBA target also aligns with the WHO recommendations for sleep disturbance during the night (WHO 1996). Patron noise is a very distinctive, potentially annoying and variable noise source – voice noise levels equal to 35 dBA Leq will include regular levels of over 40 dBA due to the variability of the noise source.*

*We are uncomfortable with the use of the risk matrix table, particularly for indoor assessments. This approach effectively raises the noise limit to 37 dBA Leq indoors. There may be some argument for applying the risk matrix target to venues where further noise control treatments can be implemented, should an exceedance be demonstrated at a later date, however this is not the case for internal apartment assessments.*

#### 4.2 Quantification of patron noise impacts

*(Section 10 of the acoustic report)*

Clarity conduct a theoretical assessment of potential patron noise impacts from the outdoor patron area proposed for St Charlie (currently The Cider House). The assessment assumes 100 patrons in the rear outdoor area and 10 patrons curbside on Brunswick Street. Patron noise data is provided in Appendix E of the report.

The predicted internal patron noise levels are up to 36 dBA Leq indoors, which exceeds the nominated target by 1 dB but is within the tolerances they propose.

**SLR Comments:** *We would need further information about the proposed changes to the venue and the extent of the outdoor patron area before assessing this aspect of the report.*

*Appendix E provides sound power data for a range of crowd types, however the report doesn't indicate which type, and associated vocal effort, has been used in calculations of noise from the outdoor patron area. This information should be included for transparency.*

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*Consideration of patron noise from the first floor open area at the Glamorama bar has not been provided. However our indicative calculations suggest that patron noise from this area are unlikely to exceed the indoor patron noise targets we have proposed with the specified glazing.*

## 5 Project Mechanical Plant

### 5.1 Legislation and guidelines

*(Sections 4.1 and 8.1 of the acoustic report)*

Project mechanical plant is proposed to be assessed to SEPP N-1. The critical noise limit for mechanical plant is the night noise limits. Background noise levels were measured during the night period and are noted to be 41 dBA L90. The resultant night noise limit is identified as 45 dBA Leq, which is equal to the zoning level for the night period.

Balcony mounted condenser units are proposed to be assessed to the Vic. EPA Noise Control Guidelines.

**SLR Comments:** *The assessment legislation and guidelines are appropriate. Our calculations of the SEPP N-1 zoning levels are consistent with those provided in the report. The location of the background noise measurement is not clearly indicated. This information should be provided for transparency. However, the measured level falls within the SEPP N-1 'neutral' zone and for this reason the results are not critical.*

### 5.2 Mechanical plant assessment

*(Sections 5.2, 8.1 and Appendix F)*

An indicative assessment of noise from mechanical plant proposed for the project has been conducted taking into consideration the sound power data for comparable plant (provided in Appendix F) and the roof upgrades detailed in Section 5.2 of the report. The resultant level of noise is predicted to comply with SEPP N-1 night noise limits at all residential receiver locations.

Recommendations are also provided for managing noise from balcony mounted condenser units, and include the requirement to relocate some units to the roof, and a recommended maximum sound power level for other units.

**SLR Comments:** *The provided assessment is sufficient for the planning stage of the development.*

## 6 Car stackers

### 6.1 Legislation and Guidelines

*(Sections 3.1, 3.6, 9.2 and Appendix F of the report)*

Noise from car stackers is proposed to be assessed to SEPP N-1 noise limits and sleep disturbance targets of 65 dBA Lmax outside habitable room windows and 55 dBA Lmax inside apartments within the development.

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**SLR Comments:** *The proposed noise targets for existing dwellings are appropriate, however the targets nominated for apartments within the development are in our opinion too high (if intended with windows closed). We recommend Lmax targets of 40 dBA in bedrooms and 45 dBA in living rooms for noise from car stackers to apartments within the development, rather than the 55 dBA proposed. Our recommended targets are in line with the Association of Australian Acoustical Consultants (AAAC) recommendations for '3 Star' apartments, and provide a reasonable minimum level of amenity for typical apartments.*

*Noise from the carstackers will be potentially transmitted via the building structure to the apartment above and therefore SEPP N-1 indoor noise limits will also apply to these apartments.*

## 6.2 Carstacker noise assessment and advice for noise control

*(Sections 5.3, 8.1, 9.2 and Appendix F of the report)*

The make and model of the car stacker proposed for installation is provided in Section 5.3 of the report, and Clarity state that they have measured noise from the same type of unit. Octave band sound power data for the measured unit are provided in Appendix F.

The SEPP N-1 assessment of noise from the car stacker is based on 5 vehicle movements in a 30 minute period. The predicted SEPP N-1 effective noise level to 10 Leicester Street (R10) is 43 dBA, and complies with the SEPP N-1 limit of 45 dBA.

To control noise emissions from the unit it has been recommended that the car park entrance door be constructed of a solid material with the exception of the top 1200 mm, which can be perforated.

**SLR Comments:** *The nearest noise sensitive receiver is 10 Leicester Street, which is only approximately 5 m from the location of the proposed car stackers and appears to have windows which will overlook the carpark. Assuming at least some of the windows are to habitable rooms, noise from the carstackers will need to achieve not more than 65 dBA Lmax at 5 m from the plant, as well as compliance with the SEPP N-1 night noise limit.*

*The SEPP N-1 assessment assumption of 5 vehicle movements per 30 minute is conservative, and can be assumed to represent worst case noise impacts. However, it is unclear from the assessment presented in Appendix F whether decibel penalties for noise character have been applied. In our experience noise from car stackers is impulsive and sometimes also tonal. This can result in a decibel penalty of up to 7 dB.*

*Given the close proximity of residential receivers we recommend that the planning permit include the requirement for post construction testing demonstrating compliance with both SEPP N-1 and Lmax targets at existing and future dwellings.*

## 7 SLR Summary

A review of the acoustic report for the mixed use development is provided above. The items we recommend are addressed in further detail are summarised below:

### Music Noise

- Music from the Glamorama bar has been measured at street level and it is unclear whether emissions from the roof of the bar, including the small roof top outdoor patron area, have been quantified. We would also like to be sure that worst case noise impacts have been quantified. Unless the assessment is fully coordinated with the venue operator, further measurements over a number of nights, and at an elevated location, are recommended.



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- Our indicative calculations suggest that the proposed façade treatments, and particularly the upper level lightweight walls, may not achieve the nominated internal design targets for the façade music levels identified in the report. We recommend that Clarity check these specifications.

**Patron Noise**

- Patron noise has been assessed to internal targets of 35 dBA Leq, and Clarity indicate that exceedances of up to 2 dB represent no risk of nuisance to future occupants. In our opinion a lower noise target of 30 dBA Leq should be provided to bedrooms, and there should be no tolerance of higher noise levels in the design.
- A patron noise assessment from the proposed outdoor patron area at St Charlie has been conducted, however the report does not provide sufficient information for us to determine whether the assessment adequately addresses potential noise impacts. Further information about the assumptions made in the assessment should ideally be included in the report.

**Car Stackers**

- Car stackers are proposed to be installed in close proximity to windows of an existing dwelling. The report includes an assessment of car stacker noise at existing dwellings to appropriate targets, and the consultant has used noise data based on measurements of the same make and model car stackers. However, due to the fact that noise from the plant presents a high risk of nuisance on this project, we recommend that the planning permit require post construction testing to demonstrate compliance with the identified limits. The SEPP N-1 assessment should also include decibel corrections for noise character, or evidence to suggest they are not necessary.
- The Lmax noise targets to the proposed dwellings are in our opinion too high. We recommend Lmax targets for 40 dBA in bedrooms (windows closed). SEPP N-1 indoor limits should also be met indoors, with windows closed.

Regards,

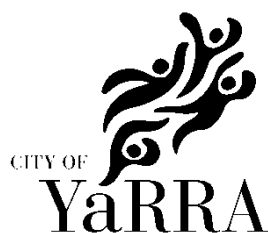


Dianne Williams  
Associate - Acoustics

Checked/ Authorised by: JA
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## Attachment 9 - PLN17/0941 - 390 - 394 Brunswick Street Fitzroy - Engineering comments



## MEMO

**To:** Lara Fiscalini  
**From:** Artemis Bacani  
**Date:** 19 March 2018  
**Subject:** Application No: PLN17/0941  
 Description: Five-Storey Mixed-Use Development  
 Site Address: 390-394 Brunswick Street, Fitzroy

I refer to the above Planning Application received on 20 February 2018 and the accompanying Traffic Engineering Assessment prepared by Traffix Group in relation to the proposed development at 390-394 Brunswick Street, Fitzroy. Council's Engineering Services unit provides the following information:

**CAR PARKING PROVISION****Proposed Development**

Under the provisions of Clause 52.06-5 of the Yarra Planning Scheme, the development's parking requirements are as follows:

Proposed Use	Quantity/ Size	Statutory Parking Rate	No. of Spaces Required	No. of Spaces Allocated
Two-bedroom dwelling	5	1 space per dwelling	5	5
Three-bedroom dwelling	2	2 spaces per dwelling	4	4
Residential visitors	7 dwellings	1 space per 5 dwellings	1	0
Café (Food and Drink)	65.3 m <sup>2</sup>	4 spaces to each 100 m <sup>2</sup> of leasable area	2	0
Office	181 m <sup>2</sup>	3.5 spaces to each 100 m <sup>2</sup> of net floor area	6	0
Plant Nursery (Landscape Gardening Supplies)	173.3 m <sup>2</sup>	10 % of site area*	1	0
<b>Total</b>			<b>19 Spaces</b>	<b>9 Spaces</b>

\* The area to be provided for car parking includes an accessway that directly abuts any car parking spaces, but does not include any accessway or portion of an accessway that does not directly abut any car parking spaces. One parking space and associated accessway would have an area of 29.38 m<sup>2</sup> (= 4.9 x 2.6 car space + 6.4 x 2.6 aisle).

**Attachment 9 - PLN17/0941 - 390 - 394 Brunswick Street Fitzroy - Engineering comments**

The development would have a parking shortfall of 10 spaces (consisting of one residential visitor space, two spaces for the food and drink use, six spaces for the office component, and one space for the plant nursery). To reduce the number of car parking spaces required under Clause 52.06-5 (including to reduce to zero spaces), the application for the car parking reduction must be accompanied by a Car Parking Demand Assessment.

**Car Parking Demand Assessment**

In reducing the number of parking spaces required for the proposed development, the Car Parking Demand Assessment would assess the following:

- *Parking Demand for Residential Visitors.*  
Peak parking for residential visitors generally occurs on weekday evenings and at weekends. The applicant proposes to accommodate all residential visitor parking off-site, since the site will be containing mostly mechanical parking - not practical for use by residential visitors. For mixed use and multi-unit residential developments that are located along or near activity centres, we would normally encourage applicants to provide some residential visitor parking on-site. In this instance, the proposed car parking arrangement cannot practically allow for residential visitor parking to be accommodated on the property. In the context of the surrounding area, the demand of one residential visitor parking space off-site should not be detrimental to existing on-street parking conditions in the area.
- *Parking Demand for Cafe Use.*  
Patrons to the food and drink premises would be drawn from employees of the office, nearby workplaces and local residents. It is unlikely that the proposed food and drink premises would be a specific destination in its own right. Employees would be fully aware with the scarcity of long-stay parking in the Fitzroy area and choose to commute to the site by alternative transportation modes.
- *Parking Demand for Office Use.*  
Parking associated with office type developments is generally long-stay parking for employees and short term parking (say up to two hours' duration) for customers and clients. The actual parking demand generated by the office is expected to be lower than the statutory parking rate of 3.5 spaces per 100 square metres of floor space, since the area has very good access to public transport services.

The proposed office use for the development would have no on-site car parking. In nearby Collingwood, a number of developments have been approved with reduced office rates, as shown in the following table:

Development Site	Approved Office Parking Rate
Collingwood	
71-93 Gipps Street PLN16/1150 issued 30 August 2017	0.96 spaces per 100 m <sup>2</sup> (86 on-site spaces; 8,923 m <sup>2</sup> )
2-16 Northumberland Street PLN16/1150 issued 14 June 2017	0.89 spaces per 100 m <sup>2</sup> (135 on-site spaces; 15,300 m <sup>2</sup> )

In this case, the office use cannot provide any on-site parking, and employees would need to make their own travel arrangements when commuting to and from the site.

- *Parking Demand for Plant Nursery Use.*  
The plant nursery use has a parking shortfall of one space. This space would be accommodated on-street, assuming the site is operating at peak capacity.

## **Attachment 9 - PLN17/0941 - 390 - 394 Brunswick Street Fitzroy - Engineering comments**

- *Availability of Public Transport in the Locality of the Land.*  
The site is within walking distance of tram services operating along Brunswick Street, Smith Street and Nicholson Street. The site is also within walking distance of bus services along Johnston Street and Alexandra Parade.
- *Multi-Purpose Trips within the Area.*  
Visitors to the site might combine their visit by engaging in other activities or business whilst in the area.
- *Convenience of Pedestrian and Cyclist Access.*  
The site is within walking distance of shops, businesses, essential facilities and public transport services. The site also has very good connectivity to the Principal Bicycle Network.

### **Appropriateness of Providing Fewer Spaces than the Likely Parking Demand**

Clause 52.06 lists a number of considerations for deciding whether the required number of spaces should be reduced. For the subject site, the following considerations are as follows:

- *Availability of Car Parking.*  
Traffix Group had conducted parking occupancy surveys of the surrounding area on Thursday 28 July 2016 at 11:00am. The survey area encompassed sections of Brunswick Street, Fitzroy Street, Young Street, Rose Street, Leicester Street and Westgarth Street. The times and extent of the survey are considered appropriate. A parking inventory of 209 publicly available parking spaces was identified. The results indicate that no fewer than 57 spaces were vacant or 73 % occupancy within the study area. The data suggests that any short-stay parking overflow from the site could be accommodated on-street.
- *Access to or Provision of Alternative Transport Modes.*  
The site has very good access to public transport and the on-road bicycle network. Car share pods are located within walking distance of the site and provide an alternative option of transport for residents and visitors. A Flexicar car share pod is located in Westgarth Street, approximately 80 metres north of the site.
- *Relevant Local Policy or Incorporated Document.*  
The proposed development is considered to be in line with the objectives contained in Council's *Strategic Transport Statement*. The site is ideally located with regard to sustainable transport alternatives and the reduced provision of on-site car parking would potentially discourage private motor vehicle ownership and use.
- *The Future Growth and Development of an Activity Centre.*  
Practice Note 22 – *Using the Car Parking Provisions* indicates that car parking should be considered on a centre-basis rather than on a site/individual basis. This is applicable to activity centres, such as Brunswick Street, where spare on-street car parking capacity would be shared amongst sites within the activity centre.

### **Adequacy of Car Parking**

From a traffic engineering perspective, the waiver of parking is considered appropriate in the context of the development and the surrounding area. The short-stay parking overflow from the site should not adversely impact on existing parking conditions in the surrounding area.

Engineering Services has no objection to the reduction in the car parking requirement for this site.

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**TRAFFIC GENERATION**

The traffic generation for the site adopted by Traffix Group is as follows:

Proposed Use	Adopted Traffic Generation Rate	Daily Traffic	Peak Hour	
			AM	PM
Residential Dwellings	5.0 trips per dwelling per day (7 dwellings) Peak hour volume is 10% of daily volume	35	3.5	3.5

The volume of traffic generated by the development in the peak hours is not unduly high and could be accommodated on the local road network without adversely impacting on its operation.

**DEVELOPMENT LAYOUT DESIGN**

**Layout Design Assessment**

Item	Assessment
<b>Access Arrangements</b>	
Width of Right of Way	According to the <i>Proposed Site Plan</i> , the rear bluestone Right of Way is approximately 3.3 metres in width.
Headroom Clearance	The headroom clearance of the entrance is 2.4 metres to satisfy <i>Design standard 1 – Accessways</i> .
Visibility	Visibility triangles have not been provided. Traffix Group's recommendation to provide a convex mirror at the entrance of the garage to improve sight lines to the west is supported.
Garage Setback	According to the <i>Proposed Ground Floor Plan</i> , the garages have a setback of 2.015 metres from the western edge of the edge of the Right of Way.
Swept Path Diagrams	The swept path diagrams for the B85 design vehicle entering and exiting the car stackers are considered satisfactory. In some instances, a correctional movement would be required to enter and exit the car stackers, permissible under AS/NZS 2890.1:2004.
<b>Mechanical Parking</b>	
Car Stacker Device	The development would be accommodating the Klaus Trendvario 4200 shuffle type stacker. This model has a minimum platform width of 2.6 metres.
Vehicle Clearance Height	The stacker model selected by the applicant has a vehicle clearance height of 1.8 metres for at least 25 per cent of platforms to satisfy <i>Design standard 4: Mechanical parking</i> .
Floor to Ceiling Height	A minimum floor to ceiling height of 4.41 metres has been provided within the garages. The largest model type has a height envelope of 4.4 metres. The development's floor to ceiling height can accommodate this device.

**Design Items to be Addressed**

**Attachment 9 - PLN17/0941 - 390 - 394 Brunswick Street Fitzroy - Engineering comments**

Item	Details
Garage Setback	The setback area (inside the property) should be constructed in a different material to the bluestone Right of Way.
Service Cabinet Doors	Any service cabinet door opening onto a Public Highway must swing 180 degrees and be latched to the building when opened.
Internal Concrete Slab	For any new internal concrete works, the finished floor levels along the edge of the slab must be set 40 mm above the edge of the Right of Way – Council's Infrastructure requirement.

**Capital Works Programme**

A check of the Capital Works Programme for 2017/18 indicates that no infrastructure works have been approved or proposed within the area of the site at this time

**IMPACT ON COUNCIL ROAD ASSETS**

The construction of the new buildings, the provision of underground utilities and construction traffic servicing and transporting materials to the site will impact on Council assets. Trenching and areas of excavation for underground services invariably deteriorates the condition and integrity of footpaths, kerb and channel, laneways and road pavements of the adjacent roads to the site.

It is essential that the developer rehabilitates/restores laneways, footpaths, kerbing and other road related items, as recommended by Council, to ensure that the Council infrastructure surrounding the site has a high level of serviceability for residents, employees, visitors and other users of the site.

**ENGINEERING CONDITIONS**

**Civil Works**

- Upon the completion of all building works and connections for underground utility services, the footpath immediately outside the property's Brunswick Street and Leicester Street road frontages must be reconstructed to Council's satisfaction and at the Permit Holder's expense.
- The kerb and channel along the south side of Leicester Street, from the western edge of the Right of Way to the commencement of the kerb extension, must be reconstructed to Council's satisfaction and at the Permit Holder's expense.
- The footpath must have a cross-fall of 1 in 40 or unless otherwise specified by Council.
- The rear bluestone Right of Way adjacent to the site must be reconstructed for vehicle access in accordance with Council's *Infrastructure Road Materials Policy*, Council's Standard Drawings and engineering requirements.
- The existing vehicle crossing servicing the Right of Way is to be demolished and reconstructed to Council's satisfaction and at the Permit Holder's cost. The new vehicle crossing must satisfy the ground clearance check for a B99 design vehicle.

**Car Stacker Device**

- The car stacker device must be installed, operated and maintained in accordance with the manufacturer's specifications and requirements.
- No pipes, ducting or protrusions from the ceiling or walls are to be installed above or within the space clearance envelope for the car stacker devices.

**Road Asset Protection**

## **Attachment 9 - PLN17/0941 - 390 - 394 Brunswick Street Fitzroy - Engineering comments**

- Any damaged roads, footpaths and other road related infrastructure adjacent to the development site as a result of the construction works, including trenching and excavation for utility service connections, must be reconstructed to Council's satisfaction and at the developer's expense.

### **Construction Management Plan**

- A Construction Management Plan must be prepared and submitted to Council. The Plan must be approved by Council prior to the commencement of works. A detailed dilapidation report should detail and document the existing and post construction conditions of surrounding road infrastructure and adjoining private properties.

### **Impact of Assets on Proposed Development**

- Any services poles, structures or pits that interfere with the proposal must be adjusted, removed or relocated at the owner's expense after seeking approval from the relevant authority.
- Areas must be provided inside the property line and adjacent to the footpath to accommodate pits and meters. No private pits, valves or meters on Council property will be accepted.

## **NON-PLANNING ADVICE FOR THE APPLICANT**

### **Legal Point of Discharge**

The applicant must apply for a Legal Point of Discharge under Regulation 610 – Stormwater Drainage of the *Building Regulations 2006* from Yarra Building Services unit. Any storm water drainage within the property must be provided and be connected to the nearest Council pit of adequate depth and capacity (legal point of discharge), or to Council's satisfaction under Section 200 of the *Local Government Act 1989* and Regulation 610.

### **Clearances from Electrical Assets**

Overhead power lines run along the south side of Leicester Street and east side of Brunswick Street, close to the property boundary.

The developer needs to ensure that the building has adequate clearances from overhead power cables, transformers, substations or any other electrical assets where applicable. Energy Safe Victoria has published an information brochure, *Building design near powerlines*, which can be obtained from their website:

<http://www.esv.vic.gov.au/About-ESV/Reports-and-publications/Brochures-stickers-and-DVDs>

### **Additional Comments provided by Construction Management**

- Power Lines are close to the building line in Leicester Street. Advice from CitiPower may be required.
- The developer must ensure that light projected from any existing, new or modified lights does not spill into the windows of any new dwellings or any existing nearby residences. The luminaire mounted on light pole number 20853, located on the north side of Leicester Street, would need to be changed at the cost of the Permit Holder. The applicant must liaise with Council and Citipower to determine the type of luminaire to be used.
- The existing bench seat along the Brunswick Street road frontage must be relocated.
- The existing fire hydrant along the Brunswick Street road frontage is to be converted to an in-ground hydrant.
- The existing rubbish bin along the Brunswick Street road frontage is to be retained.

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- Comment from Open Space should be sought in relation to the empty tree square on the south-east corner of Brunswick Street and Leicester Street intersection.

Regards

Artemis Bacani  
Road Development Engineer  
Engineering Services Unit

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## Attachment 10 - PLN17/0941 - 390-394 Brunswick Street, Fitzroy - ESD Referral comments

## Sustainable Design Assessment (SDA)

Referral Response by Yarra City Council

**Assessment Summary:**

Responsible Planner:	Lara Fiscalini
ESD Advisor:	Euan Williamson
Date: 07.03.2018	Planning Application No: PLN17/0941
Subject Site:	390-394 Brunswick Street, Fitzroy
Site Area:                      Approx. 551m <sup>2</sup>	Site Coverage:            100%
Project Description:	Five storey mixed used building, shop/café, offices and dwellings
Pre-application meeting(s):	Unknown

**This application meets Council's Environmental Sustainable Design (ESD) standards. If a permit is issued, it is recommended that all ESD commitments (1), deficiencies (2) and the outstanding information (3) are conditioned to be addressed in an updated SMP report and are clearly shown on Condition 1 drawings. ESD improvement opportunities (4) have been summarised as a recommendation to the applicant.**

**(1) Application ESD Commitments:**

- 6.5 Star NatHERS thermal energy ratings.
- A STORM report with a score of 105% has been submitted that relies on at least 362m<sup>2</sup> in total of roof connected to 7,000 litre rainwater tank provided for all non-residential toilet-flushing.
- Non-residential spaces to exceed NCC energy efficiency requirements by at least 10%.
- 6 kWp solar PV array to contribute to common area electricity consumption.
- Good access to daylight and natural ventilation.
- Energy efficient lighting, heating, cooling and hot water.
- Water efficient fixtures and taps.
- 12 bike parking spots.

**(2) Application ESD Deficiencies:**

*There are no outstanding ESD deficiencies identified at this time.*

**(3) Outstanding Information:**

- It appears that all east, west and north facing windows are fitted with operable blinds, to assist control summer solar gain. Please provide more detail on the type and location of the blinds and include on plans in the materials schedule and SMP.
- Prior to occupation, please provide the completed JV3 energy modelling report, demonstrating that the 10% energy efficiency target will be reached.

**(4) ESD Improvement Opportunities:**

- Consider a thermal energy rating of at least 7 Star NatHERS

**Further Recommendations:**

The applicant is encouraged to consider the inclusion of ESD recommendations, detailed in this referral report. Further guidance on how to meet individual planning conditions has been provided in reference to the individual categories. The applicant is also encouraged to seek further advice or clarification from Council on the individual project recommendations.



**Attachment 11 - PLN17/0941 - 390-394 Brunswick Street - Waste Management Referral comments**

**Waste Management Referral comments**

The waste management plan for 390-394 Brunswick St, Fitzroy dated September 2017 and authored by Waste Audit Consultants is unsatisfactory from a City Works branch’s perspective. Issues that need to be addressed may include, but may not be limited to:

1. No mention of hard waste storage area.
2. Dimensions of required bins as well as hard waste area and total area of bin storage room need to be shown to prove the bins will fit and able to be manoeuvred.
3. Yarra waste generation rates are not the same as City of Melbourne. See below table.
4. The mentioned bins will obstruct the footpath on Leicester St whilst waiting for collection, which is not appropriate.
5. An e-waste to landfill ban will come into effect 01/07/2019. Please detail how e-waste will be separated and disposed of.
6. City of Yarra would not collect this as part of the kerbside collection service, so all waste streams should be collected by a private contractor should be engaged.

Apartment Size	Waste Allocation (L)	Recycle Allocation(L)
1 bedroom	40	60
2 Bedrooms	50	80
3 Bedrooms	60	100

Regards,

Patrick Orr  
 Contract Management Officer  
 City Works  
 Yarra Operations Depot, Clifton Hill

City of Yarra PO Box 168 Richmond 3121  
 T:(03) 9205 5554 F:(03) 8417 6666  
 E: [patrick.orr@yarracity.vic.gov.au](mailto:patrick.orr@yarracity.vic.gov.au)

**Attachment 12 - PLN17/0941 - 390-394 Brunswick Street , Fitzroy- Supplementary SLR Acoustic comments**

**Supplementary comments - SLR Acoustic Consultants**

13/08/2018

I would still like to see compliance measurements for the car stackers due to the fact that they are in close proximity to existing dwellings, and the carpark is not fully enclosed. Could this be conditioned?

17/08/2018

Recommended condition from SLR - *Following completion of the project and prior to occupation, an acoustic report is to be submitted to the responsible authority demonstrating compliance of the car stackers with both SEPP N-1 and to sleep disturbance targets at existing residences.*

27/08/2018

Clarity have reduced their internal target for bedrooms from 35 dBA Leq to 30 dBA leq (section 3.7) and they have increased the patron sound power level from the 91 dBA Leq used in their previous report to 97 dBA Leq. Both these changes are generally in line with our recommendations.

I had suggested that even higher sound power levels may be appropriate; however Ross Leo from Clarity explained that the bar in question was not a heavy drinking / vertical consumption style of premises, and we agreed that the 97 dBA Leq could be used. This level is typical used for 'taverns with significant food offerings' (i.e. mid-level noisy bar).

28/08/2018

I've carried out indicative calculations using the Clarity proposed glazing and the design targets and patron noise levels included in the latest report, and the results suggest that the glazing proposed is adequate.