

Memo

To: Amy Hodgen

**Cc: Richa Swarup; Clare Lee; Blake Farmer-Bowers;
Susan Stanes**

From: Carrie Lindsay

Date: 13/04/2018

Subject: The Village Precinct, Alphington

diverse

vibrant

exciting

inclusive

Dear Amy,

As requested, please find below comment on the concept plans submitted for the Village Precinct.

Streetscape and Natural Values comments

Heidelberg Road

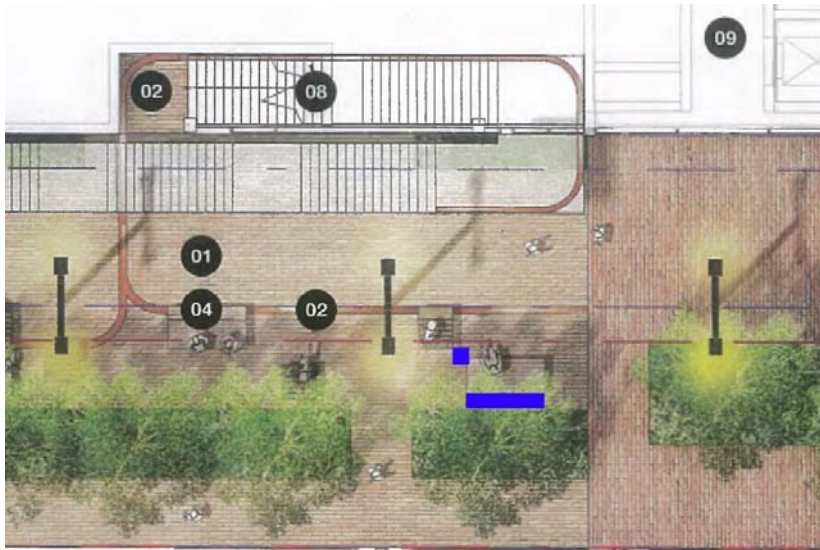
- A regular alignment of medium to large evergreen trees is supported.
- Clarification is required regarding the power line location – there are currently low and high voltage overhead power lines which restrict tree planting opportunities.
- The continuous planting strip is not supported. It would be preferable to provide seat and bike parking as necessary in the space between the street trees.
- Section 1 – More information is required on the extent of the steep gradient. If a retaining wall is required it is Council's preference that it be located at the kerbside edge to enable a continuous footpath space, improved tree planting conditions and improved access for tree maintenance.

Main Street

- The attached Council approved street profile and tree alignment should be referred to for street tree locations along Main Street. Also refer to Reeds Consulting engineering drawings (attached) for location of the pedestrian crossing.

Outer Circle Mews

- Preference for a single tree at each end of the Mews to continue the avenue of trees rather than a cluster of 4 trees at each end.
- Avoid small 'left over' spaces between street furniture and garden beds and minimise 'clutter' where possible (see below).



Avoid small spaces between and behind seats (shown in blue above). Some seating could be flush with garden beds.



consider aligning some seats with garden beds to avoid small spaces behind seats

avoid small spaces between seating

- Consider viability of small garden beds along the building edge on the east side – explore vertical garden planting as an alternative approach to this space to provide cooling and vertical green interest.

Southern Access Lane

- A regular tree alignment on the south side is supported.
- Explore the possibility of providing further tree planting at the north/east edge (triangular space) to supplement the gap in Main Street tree planting at this location.
- Consider how the tree alignment at the south east edge relates to the Artisan Park proposed for this corner.
- A 1.5m planting width is preferable.

Village Square

- Opportunity to provide large height trees on the western side to provide a canopy which is visible from higher levels of the surrounding buildings.
- There is the concern that the western edge of the square could be dark/overshadowed – select tree species which allow light to penetrate to ground level.
- Eastern edge – incorporate tree planting to supplement the Main Street trees with consideration to the approved alignment.

The Terrace

- Medium size trees in larger planters could be investigated to provide greater impact.

Residential Gardens/ Paper Trail Gardens

- Explore opportunities for further tree planting along the southern edge, particularly as it is not possible to plant street trees along this boundary.
- Explore opportunities to provide trees along the eastern boundary.

Open Space Planning and Design comments

Village Square

- The design of the Village Square does not adequately consider pedestrian access and circulation and it lacks a prominent address to Latrobe Avenue. The section supplied effectively shows a 1.9m wall between the footpath and the Square, which impacts on visual permeability into the space.
- Do not support the use of corten steel for the public space, due to maintenance issues.
- Given restrictions on street tree planting along Latrobe Avenue in front of the Square, tree planting should be allowed for along the eastern frontage.
- An additional point of entry into the Village Square that relates to the Latrobe Avenue crossing location should be provided. This would also help to break up the raised planting bed along Latrobe Avenue, which presents as a barrier to the open space.
- Request removal of the proposed in ground water jets for the Village Square – could the space occupied by this feature be better used?
- Consider custom seating that allows for groups to gather and interact, rather than the largely linear arrangement. Ensure seating with arm rests and seat backs are also included.
- The lawn area should be raised on at least two sides to reduce wear and tear from people cutting across it. A raised edge could also absorb some of the level changes across the site and incorporate a seating edge, eg



- Page 40 of the Urban Design report proposes:

“Even though the City of Yarra will be the freehold owner of the space with ongoing responsibility for management and maintenance of the space, it is envisaged that there will be a high level of cooperation between the City of Yarra and the retail owner in the engagement with the local community over the use of the space.

This coordination should encourage the frequent use and shared benefit of a meeting place for the local community, including a range of uses and programs designed to promote community activities. The ‘shared’ management of the Village Square will involve an agreed representation of the following key stakeholders:

- City of Yarra
- The Village Alphington centre management (incl traders)
- Alphington Primary School”

Any ‘shared’ management arrangements proposed for the Village Square and Terrace area will need to be subject to further discussion.

- Bicycle hoops, drinking fountains and bins within the public open space should be Yarra standard items.
- Further information regarding the condition of salvaged items proposed for re-used (such as “PV-02.3 feature metal inlay. Allowance for site salvaged artefact incorp” and “LF-07.1 salvaged paper roller element with clear sealant” before they can be accepted for use in the public realm.

Terrace

- The proposed terrace landscape does not create a hospitable environment. Some further greening of the space and incorporation of softer materials (timber?) will help break up the hardscape.
- Larger/more trees will also help to provide some respite.
- Seating could be clustered to allow for groups of people to sit and talk, rather than in a linear arrangement along the eastern boundary. Or consider different forms to achieve same eg.

Arc Seat



OR



<http://streetfurniture.com/au/product/arc-seat/>

Level 1 community space

- The arrangement of the level 1 community space should be reconsidered to allow for more flexibility – eg seating for groups.

Mews

- Please provide further detail of the 2mx2m porous windscreens (eg. will they be patterned, will they obscure sightlines, functionality)

Access Lane

- The proposed treatment on the north east corner of the access lane needs further resolution. The inclusion of the tree planting is supported, however the arrangement of the seating elements do not seem to relate to the streetscape or the building.

Urban Design comments

Village Square

Grading Approach (Refer to attached Grading sketches 01 & 02)

- Create level Town Square surface to promote comfortable and flexible access and occupation (suggest 1:80 long fall & 1:120 crossfall)
- Further co-ordination is required to resolve interface between Village Square and La Trobe Avenue. Intent is to maintain a compliant footpath that facilitates all required access without localised benching - 1:41 (1:40 max) longfall to accommodate landings, etc. without benching.
- Create a positive interface between the Town Square and La Trobe Avenue to improve connectivity, access and visibility. The proposed plaza grades and edge treatment obscure views into the square from southern approach and a significant length of La Trobe Avenue footpath - Grade Town Square with overall precinct topography to reduce difference in levels between footpath and square.
- Improve connectivity between La Trobe Avenue pedestrian crossing and Town Square - Objective is to offer a pedestrian connection into the Square at this location (Refer to attached Grading sketch 03 Alternate Access Considerations).

Lawn Edge (Refer to attached Lawn Edge sketch 01 & Section C)

- Explore raising edge to lawn at north-east corner to deter pedestrian desire line through lawn. Create an occupiable edge to encourage occupation of the north-east corner of the square and interface with streetscape. Raised edge may also help to activate lawn (as it may help transition between standing and reclining).

Stair Planter Edge (Refer to attached Lawn Edge sketch 01 and Section D)

- Integrate a seating edge to the raised planter along the staircase to Level 1 Terrace. Creates addition seating along an unused edge that offers long views across plaza. May be useful waiting, meeting location.

Salvaged Rollers Lawn Edge

- Confirm proposed heights of salvaged rollers with consideration to free height of fall.

Primary Entry Access Path (Refer to attached Lawn Edge sketch 01)

- Primary access path is very generous at 5.5m wide. It is recommended that a 4.0m typical width (with a 3.5m minimum) would accommodate access requirements.

Food Mall Interface (Refer to attached Square Interface sketch 01)

- Adjust functional layout at Food Mall and square interface to:
 - create hierarchy of access along building frontage
 - define F&B outdoor dining
 - make allowance for clearances for furniture occupants
 - integrate trench grates to articulate layout and locate away from primary access path

Water feature

- Water feature is not supported.

Tree planting

- Determine size parameters and tree species (deciduous)

- Review location and relationship to lawn, furniture, ribbon. (What is southern tree located in? grate. Is offset alignment purposeful?)
750mm offset within lawn (mulch will need to be installed within establishment period. Confirm if ring/ square will be used).
- Area in front of Level 1 staircase is vast (12m x 10m). It is recommended that tree planting be incorporated within this area.

Stairs

- Confirm maximum offset to handrails (Village Square to Terrace, La Trobe Street to Village Square)

Furniture Selections

- Ensure double sided timber benches do include backs & armrests to promote comfort, longer stay and equity of public seating.
- Are any public/ visitor bicycle hoops located within Village Square? (La Trobe Avenue?) Proposed bicycle hoops and bin enclosures are to be as per YCC Public Domain manual standards.

Heritage interpretation

- Provide further detail regarding heritage interpretation/ wayfinding element (steel paving inlay to vertical element transition). #1 on illustrative plan.

Walls and edges selections

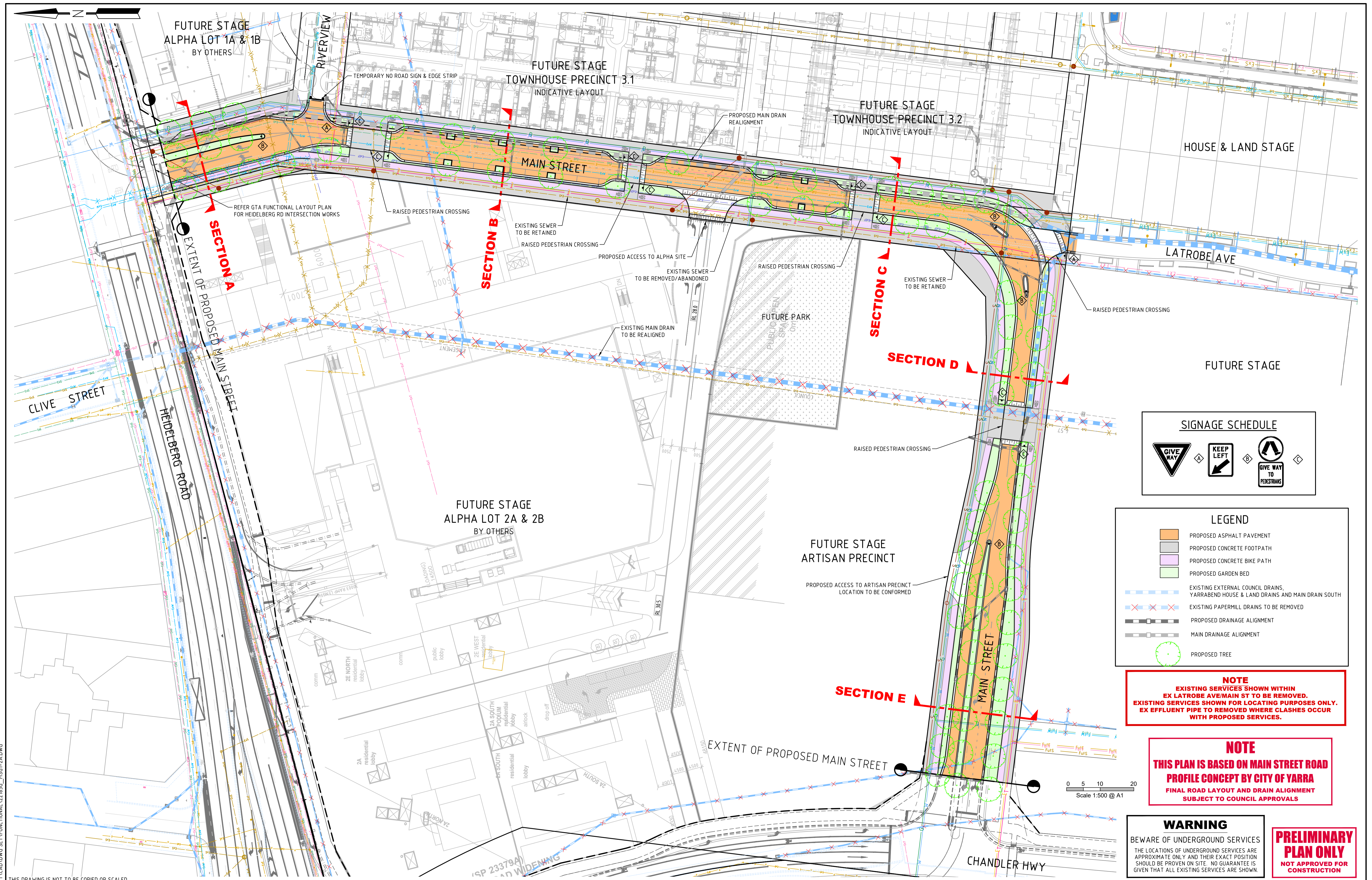
- Consider durability, maintenance and comfort (touch/ contact) when detailing steel walls, edges and inlays. Specify steel type, profile and finish.
- Confirm length of useable seating height for precast concrete walls on La Trobe Avenue. (Min-max heights)

Please let me know if you have any queries or require any further information.

Kind regards,



Carrie Lindsay
Coordinator Open Space Planning and Design



FUTURE STAGE
ALPHA LOT 1A & 1B
BY OTHERS

FUTURE STAGE
TOWNHOUSE PRECINCT 3.1
INDICATIVE LAYOUT

FUTURE STAGE
TOWNHOUSE PRECINCT 3.2
INDICATIVE LAYOUT

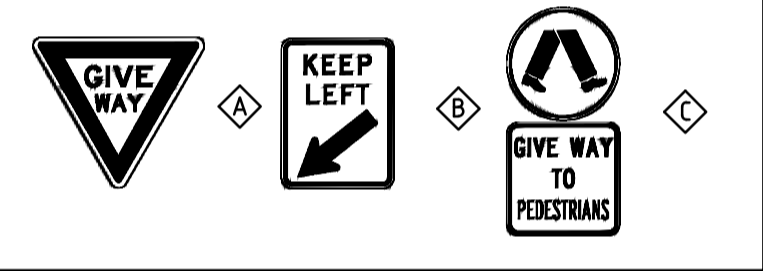
HOUSE & LAND STAGE

FUTURE STAGE
ALPHA LOT 2A & 2B
BY OTHERS

FUTURE STAGE
ARTISAN PRECINCT

FUTURE STAGE

SIGNAGE SCHEDULE



LEGEND

- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE FOOTPATH
- PROPOSED CONCRETE BIKE PATH
- PROPOSED GARDEN BED
- EXISTING EXTERNAL COUNCIL DRAINS, YARRABEND HOUSE & LAND DRAINS AND MAIN DRAIN SOUTH
- EXISTING PAPERMILL DRAINS TO BE REMOVED
- PROPOSED DRAINAGE ALIGNMENT
- MAIN DRAINAGE ALIGNMENT
- PROPOSED TREE

NOTE
EXISTING SERVICES SHOWN WITHIN EX LATROBE AVE/MAIN ST TO BE REMOVED.
EXISTING SERVICES SHOWN FOR LOCATING PURPOSES ONLY.
EX EFFLUENT PIPE TO BE REMOVED WHERE CLASHES OCCUR WITH PROPOSED SERVICES.

NOTE
THIS PLAN IS BASED ON MAIN STREET ROAD PROFILE CONCEPT BY CITY OF YARRA
FINAL ROAD LAYOUT AND DRAIN ALIGNMENT SUBJECT TO COUNCIL APPROVALS

WARNING
BEWARE OF UNDERGROUND SERVICES
THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.

PRELIMINARY PLAN ONLY
NOT APPROVED FOR CONSTRUCTION

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VERSION	REMARKS	DATE	BY
A	PRELIMINARY ISSUE	12.12.17	PC

SYMBOL	DESCRIPTION
	DRAIN, PROPERTY INLET & PIT
	SEWER AND MAINTENANCE HOLE
	WATER MAIN
	GAS MAIN
	TELSTRA SERVICES & PITS

SYMBOL	DESCRIPTION
	RECYCLED WATER
	ELECTRICAL U.G. SERVICES
	ELECTRICAL SERVICE & PIT
	GAS & WATER CONDUITS
	TOP OF BATTER

SYMBOL	DESCRIPTION
	FINISHED SURFACE AFTER CUTTING OR FILLING
	PROPOSED PAVEMENT OR FOOTPATH SURFACE
	EXISTING OR PROPOSED INVERT LEVEL OF PIPE OR OPEN DRAIN
	STREET SIGN
	DRAINAGE PIT No.
	STREET SIGN
	EX FENCE
	EX WALL OR BUILDING

DRAWN BY	DESIGNED BY	CHECKED BY	AUTHORISED BY
MELWAY	S. JELICIC		D. DAKIN S. RAVIDA

DATUM	DATE
AHD	31 B11

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www.reedsconsulting.com.au
engineering@reedsconsulting.com.au

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CIVIL ENGINEERING
PLANNING
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Lvl 6, 440 Elizabeth Street Melbourne Victoria 3000
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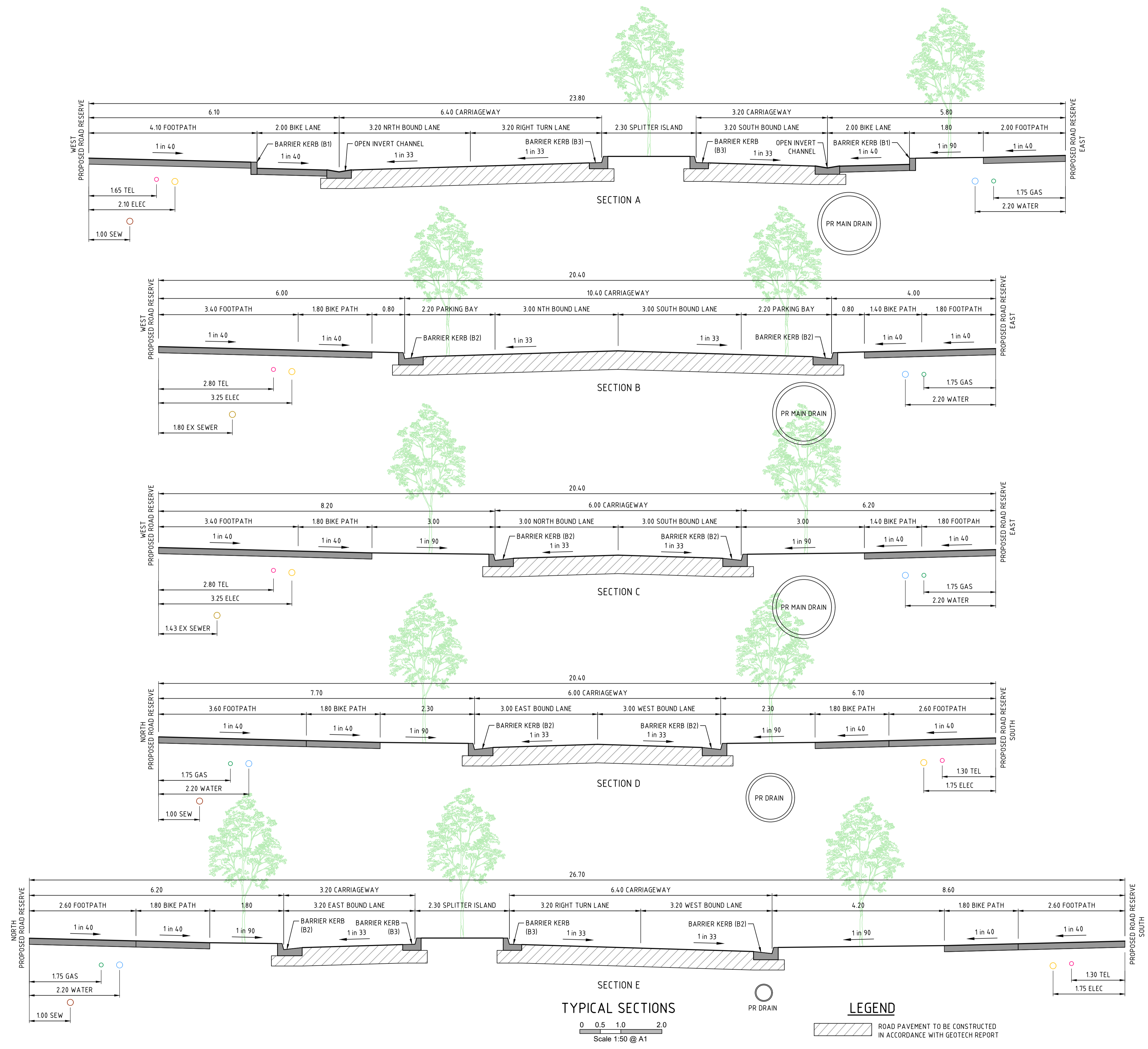
CITY OF YARRA
YARRABEND - PARK PRECINCT
STAGE MAIN STREET
FUNCTIONAL LAYOUT PLAN
LAYOUT PLAN

DRAWING No.	VERSION
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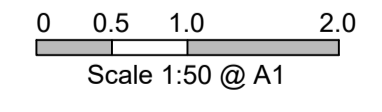
REFERENCE
22185G/MS

SHEET	OF
1	3

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TYPICAL SECTIONS



LEGEND

ROAD PAVEMENT TO BE CONSTRUCTED IN ACCORDANCE WITH GEOTECH REPORT

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PRELIMINARY PLAN ONLY
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VERSION	REMARKS	DATE	BY
A	PRELIMINARY ISSUE	12.12.17	PC

LEGEND	
	DRAIN, PROPERTY INLET & PIT
	EX DRAIN & PIT
	SEWER AND MAINTENANCE HOLE
	EX SEWER AND MAINTENANCE HOLE
	WATER MAIN
	EX WATER MAIN, VALVE & HYDRANT
	GAS MAIN
	EX GAS MAIN, VALVE
	TELSTRA SERVICES & PITS
	EX TELSTRA SERVICES & PITS
	RECYCLED WATER
	EX RECYCLED WATER
	ELECTRICAL U.G. SERVICES
	EX ELECTRICAL U.G. SERVICES
	ELECTRICAL SERVICE & PIT
	EX ELECTRICAL ASSETS
	EX ELECTRICAL OVERHEADS
	GAS & WATER CONDUITS
	TOP OF BATTER
	TOE OF BATTER
	FINISHED SURFACE AFTER CUTTING OR FILLING
	TOP OF PROPOSED BATTER
	PROPOSED PAVEMENT OR FOOTPATH SURFACE
	EXISTING OR PROPOSED INVERT LEVEL OF PIPE OR OPEN DRAIN
	TANGENT POINT
	CHAINAGE
	PSM
	EX FENCE
	EX WALL OR BUILDING
	STREET SIGN
	DRAINAGE PIT No.
	TBM

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MELWAY	31 B11	CHECKED BY
DATUM	AHD	AUTHORISED BY
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		S. RAVIDA

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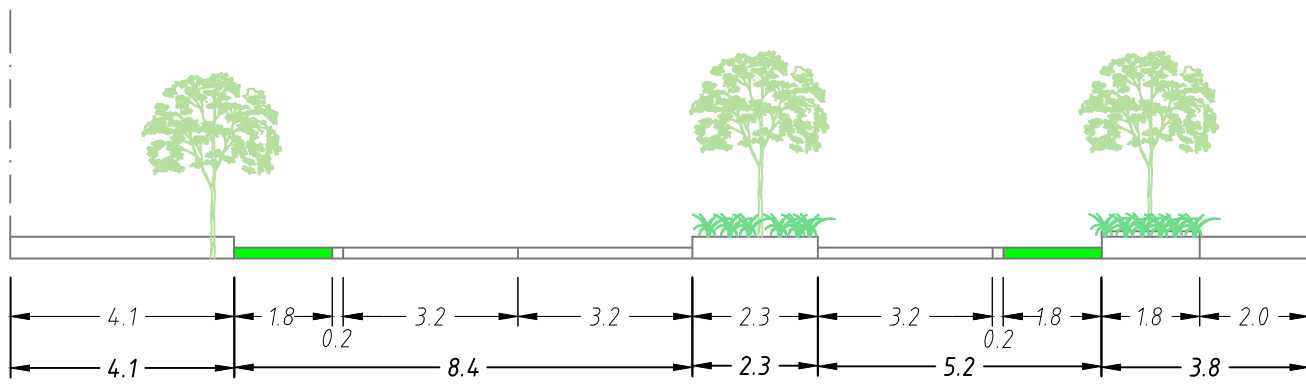
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p (03) 8640 3000

CITY OF YARRA
YARRABEND - PARK PRECINCT
STAGE MAIN STREET
FUNCTIONAL LAYOUT PLAN
TYPICAL SECTIONS

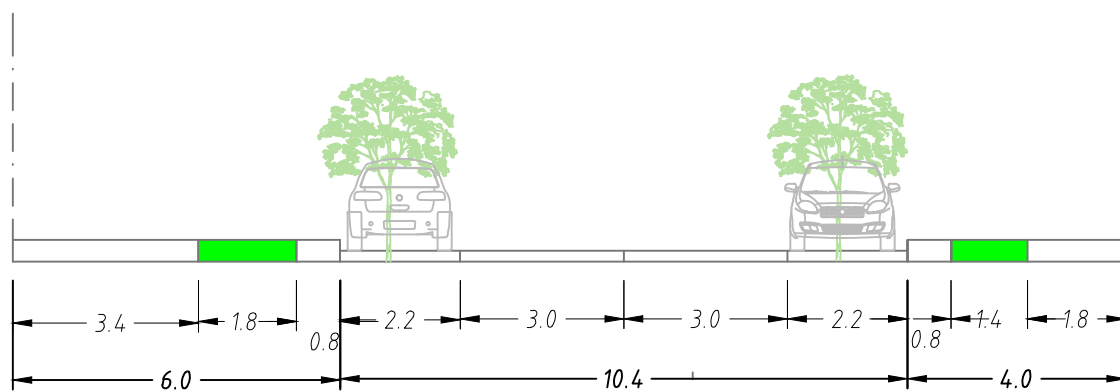
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SHEET	2 OF 3

MAIN STREET

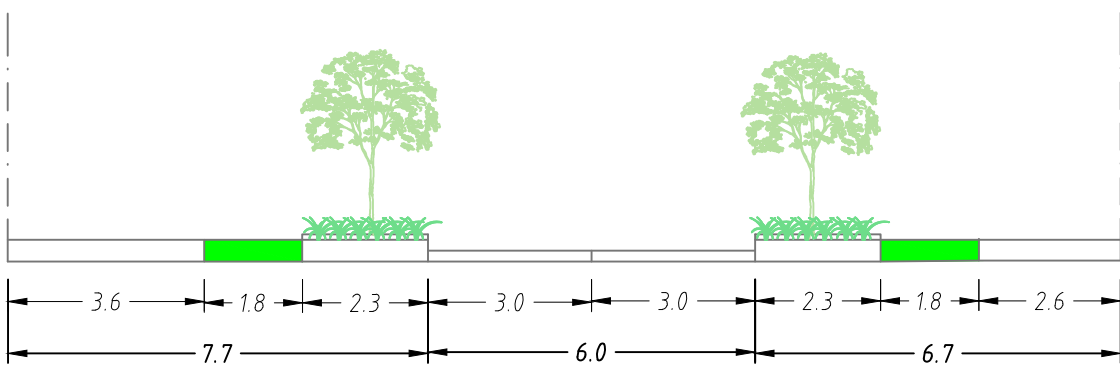
Section A-A



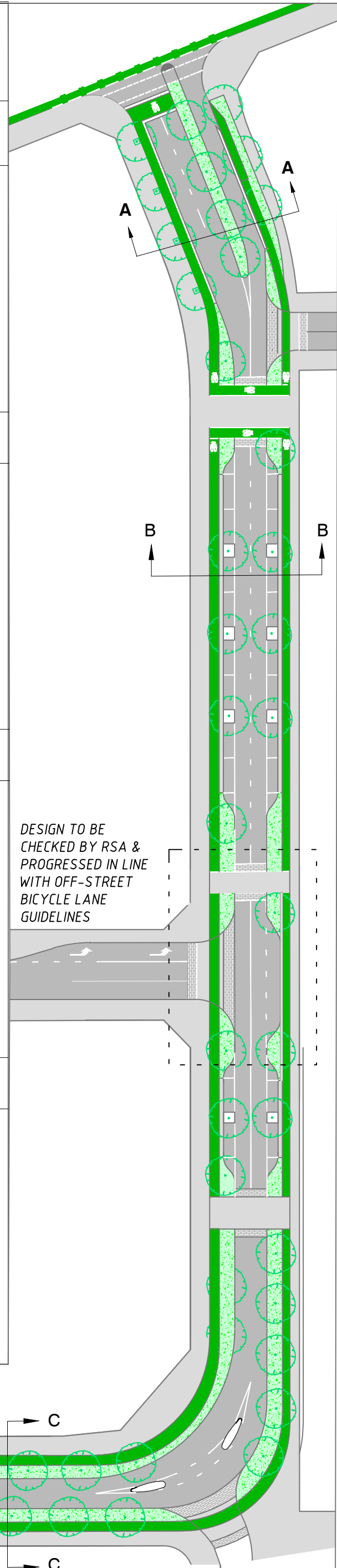
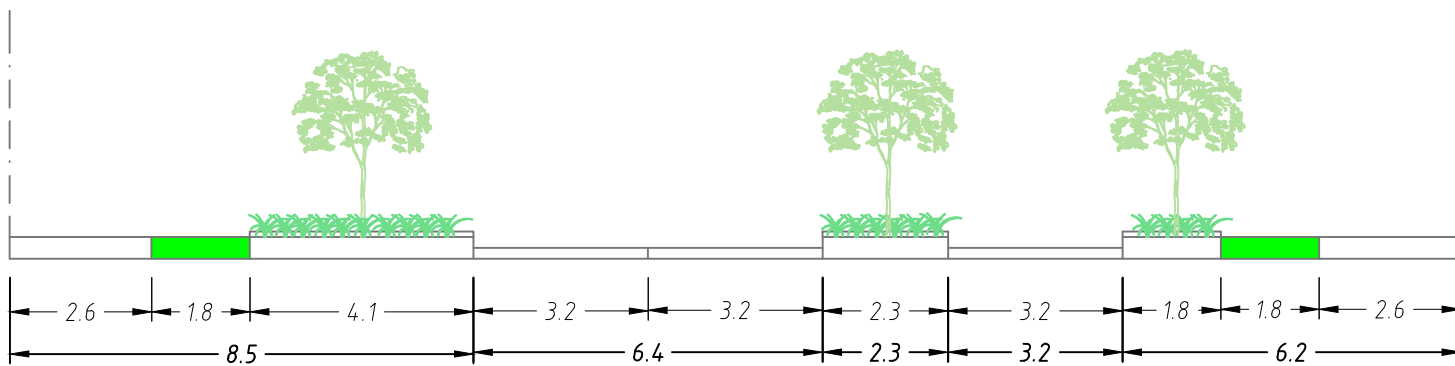
Section B-B



Section C-C



Section D-D



DESIGN TO BE CHECKED BY RSA & PROGRESSED IN LINE WITH OFF-STREET BICYCLE LANE GUIDELINES

DRAWING: S:\01_INFRASTRUCTURE\TRANSPORT\CAPITALWORKS\UTEN_TRANSPORT\PROJECTS\MAIN STREET_V1_RECONSTRUCTING_SHEET.dwg | PLOTTED: October 5, 2017 AT 8:45 AM BY TRAM.UTEN

REV	DATE	BY	DESCRIPTION
R1	26/9/2017	UT	MS
R2			
R3			

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DIAL BEFORE YOU DIG

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LEGEND			

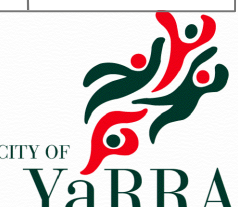
Yarra City Council

TITLE: MAIN STREET ROAD PROFILE

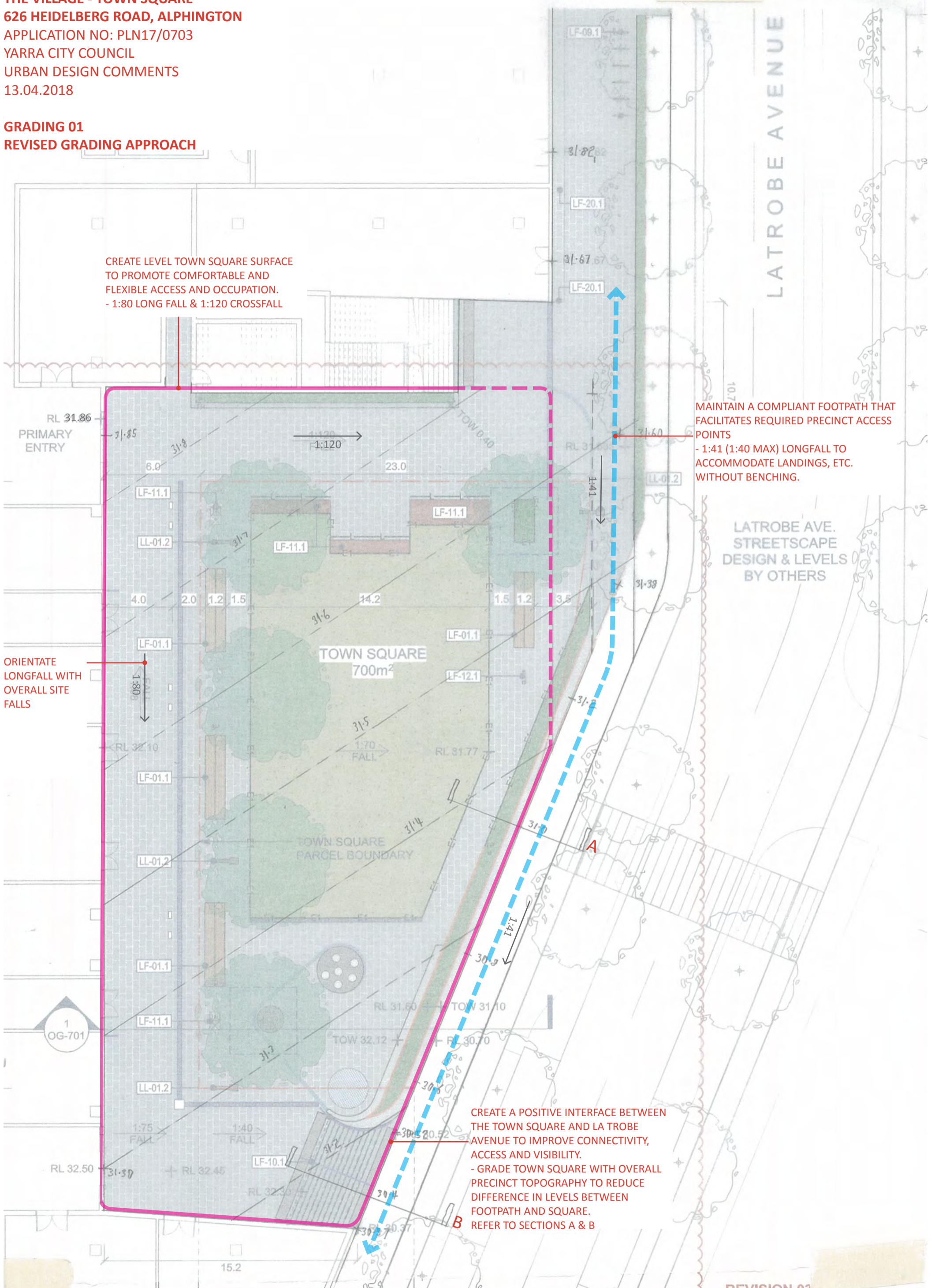
STATUS: CONCEPT

DRAWING NO: REV: 1 SIZE: A3

DRAWN: UT	DATE: 26/09/17	MELWAYS REF:
DESIGNED: UT	DATE: 26/09/17	SCALE:
CHECKED: DM	DATE: 26/09/17	SHEET 1 OF 1
APPROVED: RY	DATE: 26/09/17	



GRADING 01
REVISED GRADING APPROACH



CREATE LEVEL TOWN SQUARE SURFACE TO PROMOTE COMFORTABLE AND FLEXIBLE ACCESS AND OCCUPATION.
- 1:80 LONG FALL & 1:120 CROSSFALL

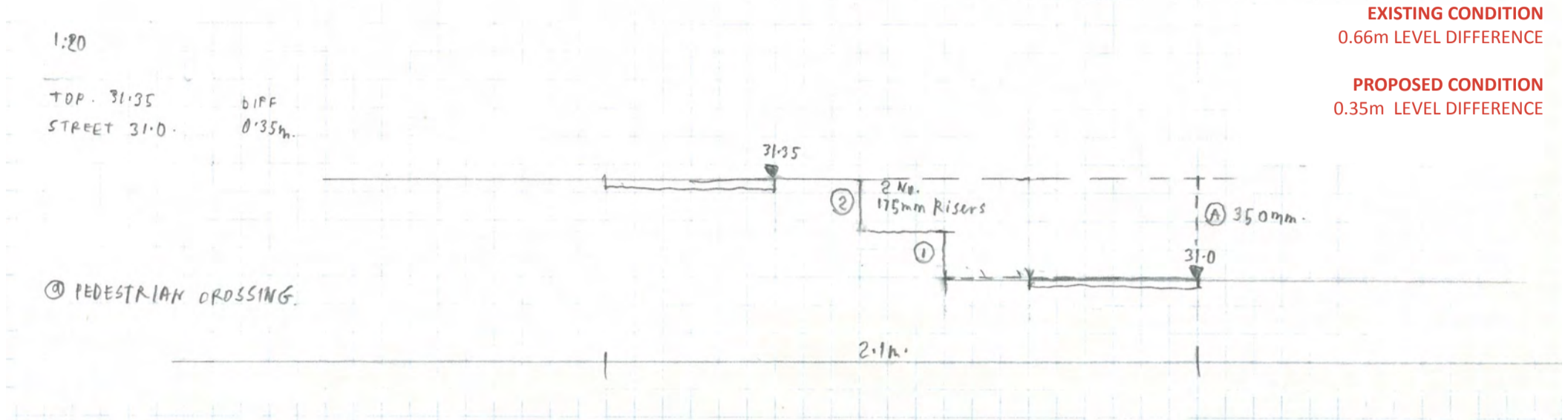
MAINTAIN A COMPLIANT FOOTPATH THAT FACILITATES REQUIRED PRECINCT ACCESS POINTS
- 1:41 (1:40 MAX) LONGFALL TO ACCOMMODATE LANDINGS, ETC. WITHOUT BENCHING.

ORIENTATE LONGFALL WITH OVERALL SITE FALLS

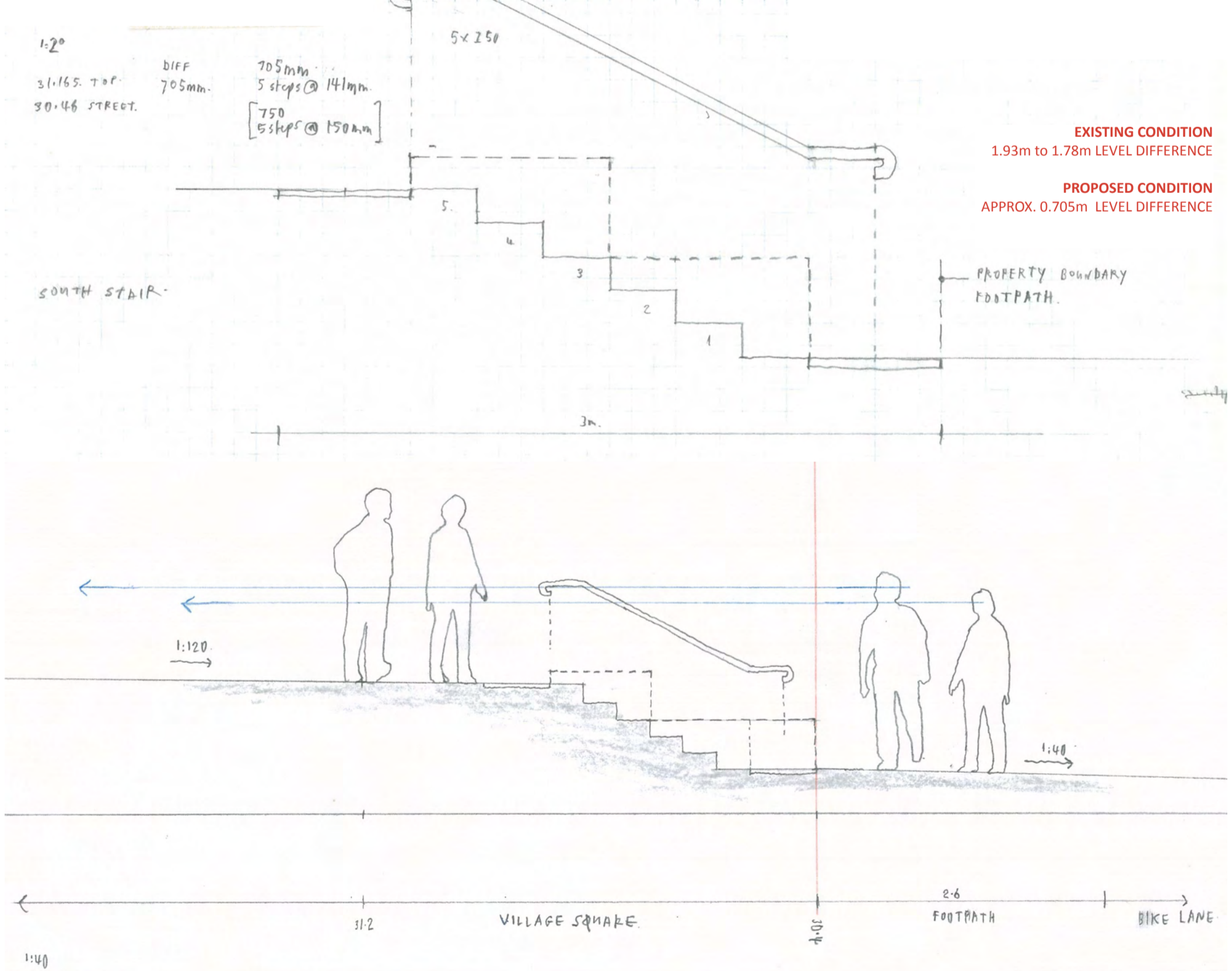
CREATE A POSITIVE INTERFACE BETWEEN THE TOWN SQUARE AND LA TROBE AVENUE TO IMPROVE CONNECTIVITY, ACCESS AND VISIBILITY.
- GRADE TOWN SQUARE WITH OVERALL PRECINCT TOPOGRAPHY TO REDUCE DIFFERENCE IN LEVELS BETWEEN FOOTPATH AND SQUARE.
REFER TO SECTIONS A & B

GRADING 02
EDGE SECTIONS

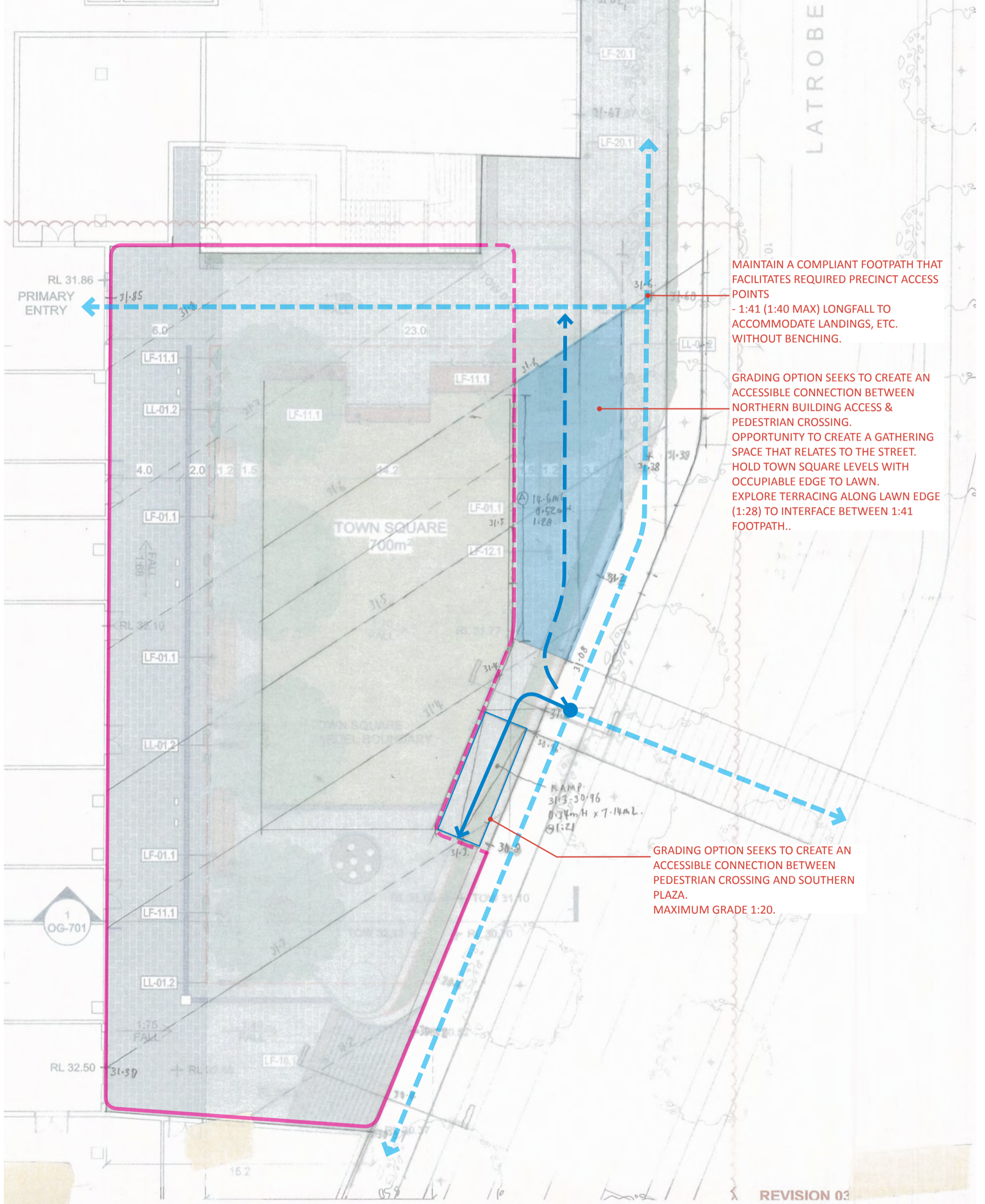
SECTION A
PEDESTRIAN CROSSING EDGE 1:20



SECTION B
SOUTHERN STAIR 1:20 & 1:40



GRADING 03
ALTERNATE ACCESS CONSIDERATIONS

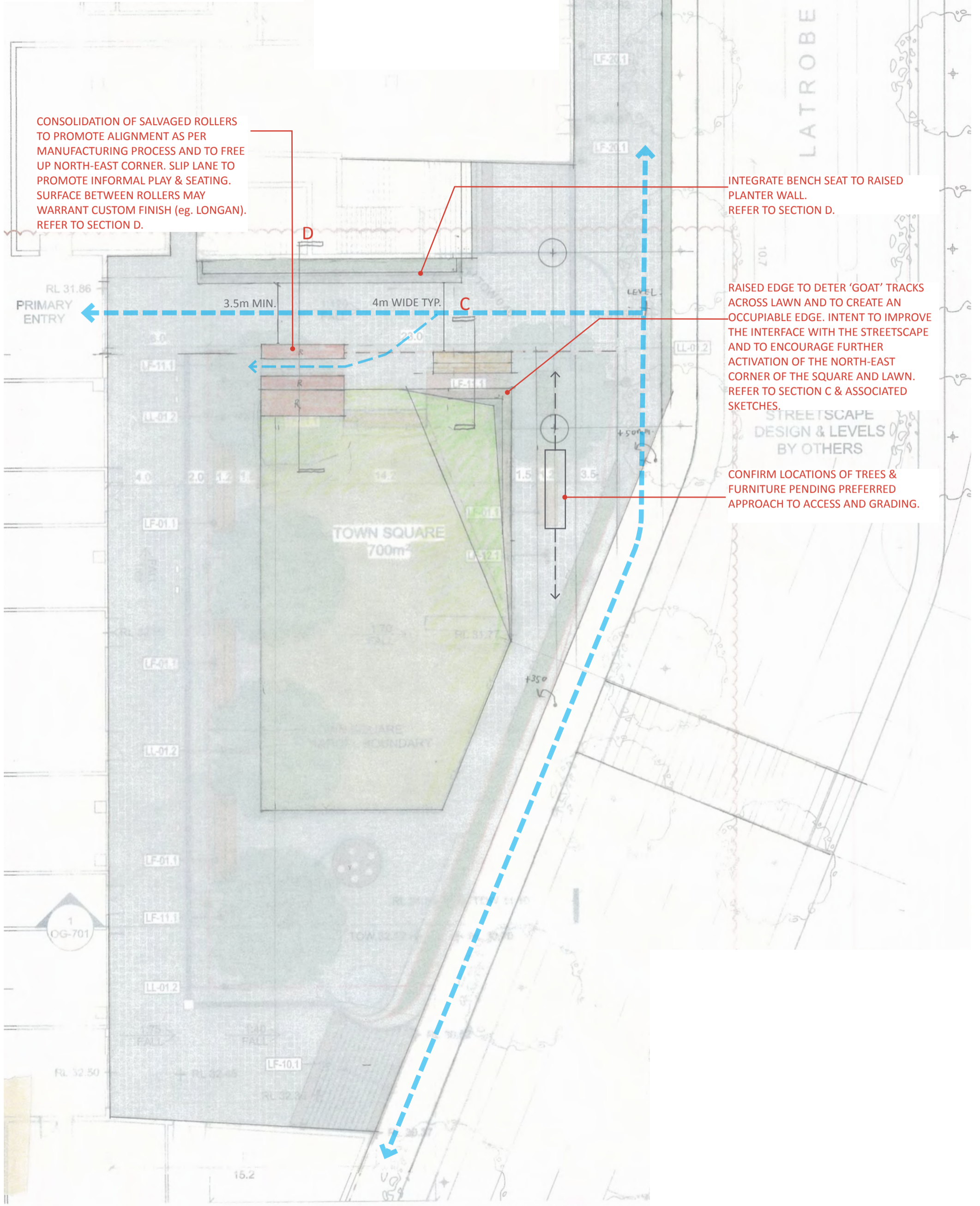


MAINTAIN A COMPLIANT FOOTPATH THAT FACILITATES REQUIRED PRECINCT ACCESS POINTS
- 1:41 (1:40 MAX) LONGFALL TO ACCOMMODATE LANDINGS, ETC. WITHOUT BENCHING.

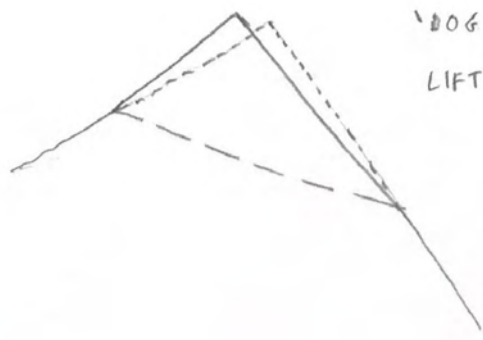
GRADING OPTION SEEKS TO CREATE AN ACCESSIBLE CONNECTION BETWEEN NORTHERN BUILDING ACCESS & PEDESTRIAN CROSSING.
OPPORTUNITY TO CREATE A GATHERING SPACE THAT RELATES TO THE STREET. HOLD TOWN SQUARE LEVELS WITH OCCUPIABLE EDGE TO LAWN.
EXPLORE TERRACING ALONG LAWN EDGE (1:28) TO INTERFACE BETWEEN 1:41 FOOTPATH..

GRADING OPTION SEEKS TO CREATE AN ACCESSIBLE CONNECTION BETWEEN PEDESTRIAN CROSSING AND SOUTHERN PLAZA.
MAXIMUM GRADE 1:20.

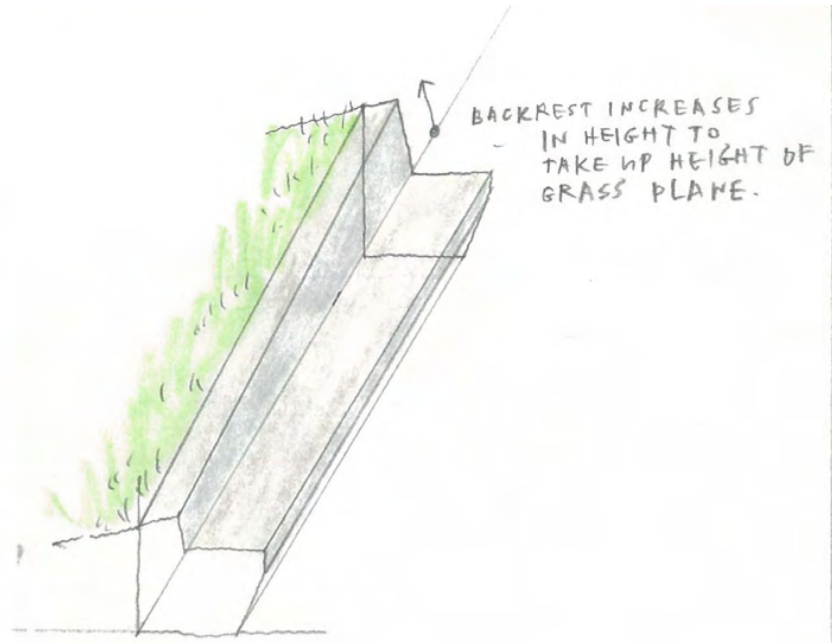
LAWN EDGE 01



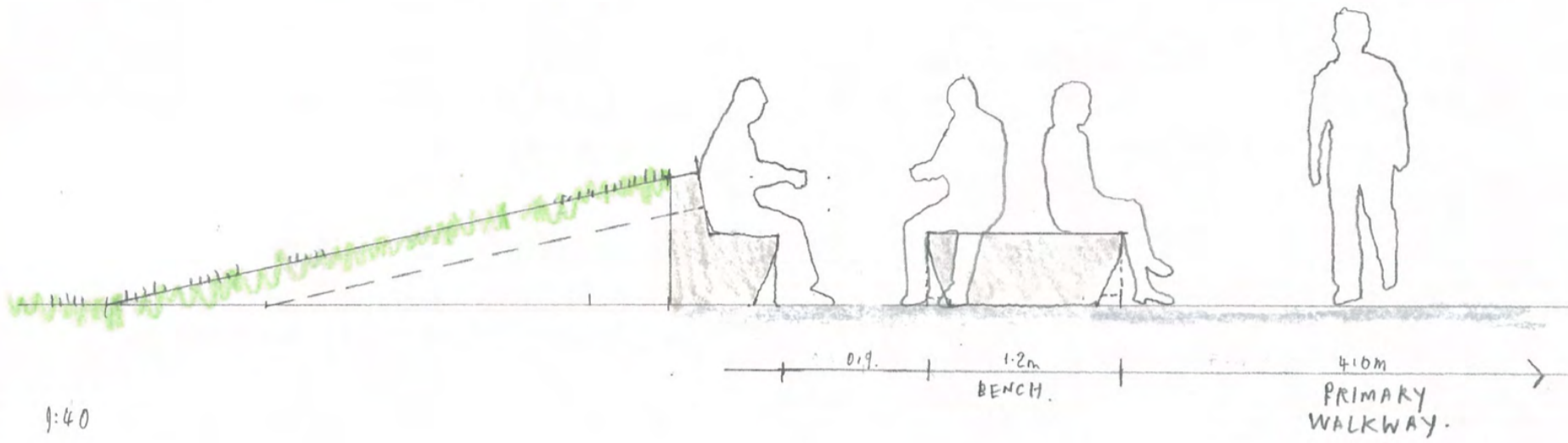
LAWN EDGE 02



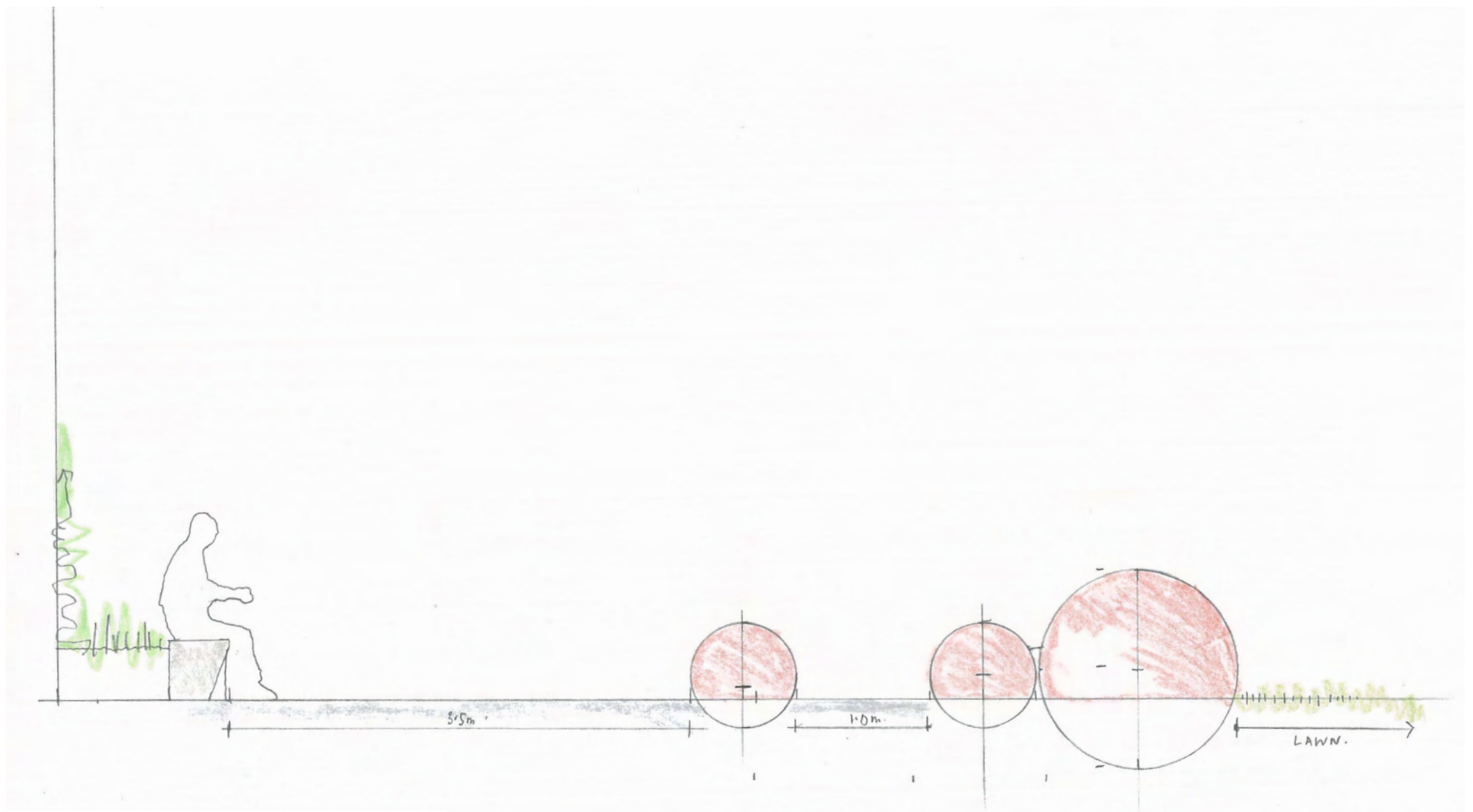
'DOG EAR' CORNER.
LIFT EDGE (SINGLE PLANE)



BACKREST INCREASES
IN HEIGHT TO
TAKE UP HEIGHT OF
GRASS PLANE.

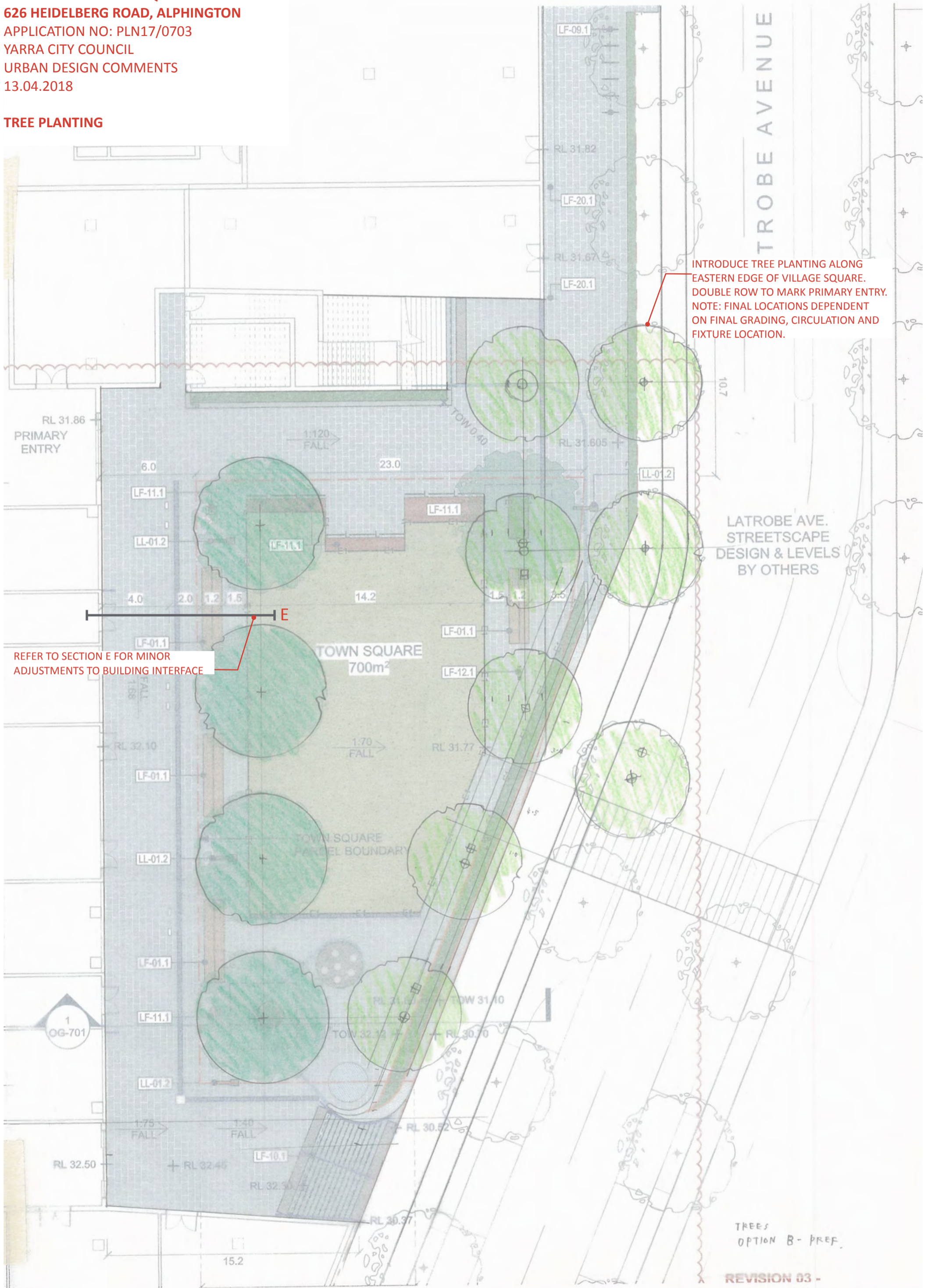


SECTION C
RAISED LAWN & SEATING EDGE



SECTION D
SALVAGED ROLLERS

TREE PLANTING



INTRODUCE TREE PLANTING ALONG EASTERN EDGE OF VILLAGE SQUARE. DOUBLE ROW TO MARK PRIMARY ENTRY. NOTE: FINAL LOCATIONS DEPENDENT ON FINAL GRADING, CIRCULATION AND FIXTURE LOCATION.

REFER TO SECTION E FOR MINOR ADJUSTMENTS TO BUILDING INTERFACE

TREES
OPTION B - PREF.

REVISION 03 -

SQUARE INTERFACE 01



SECTION E
FOOD MALL & SQUARE INTERFACE