



4.0

Urban Design Principles

4.1 Introduction

Based on the background review undertaken at Chapter 2 and the analysis undertaken at Chapter 3 providing a picture of “the place”, a series of Urban Design Principles have been prepared.

The purpose of the Urban Design Principles is to provide overall guidance and direction to the shape of future built form within the study area that responds to the urban structure of the area, whilst respecting both the existing and future character of the places referred to within this report.

The 14 Urban Design Principles are as follows:

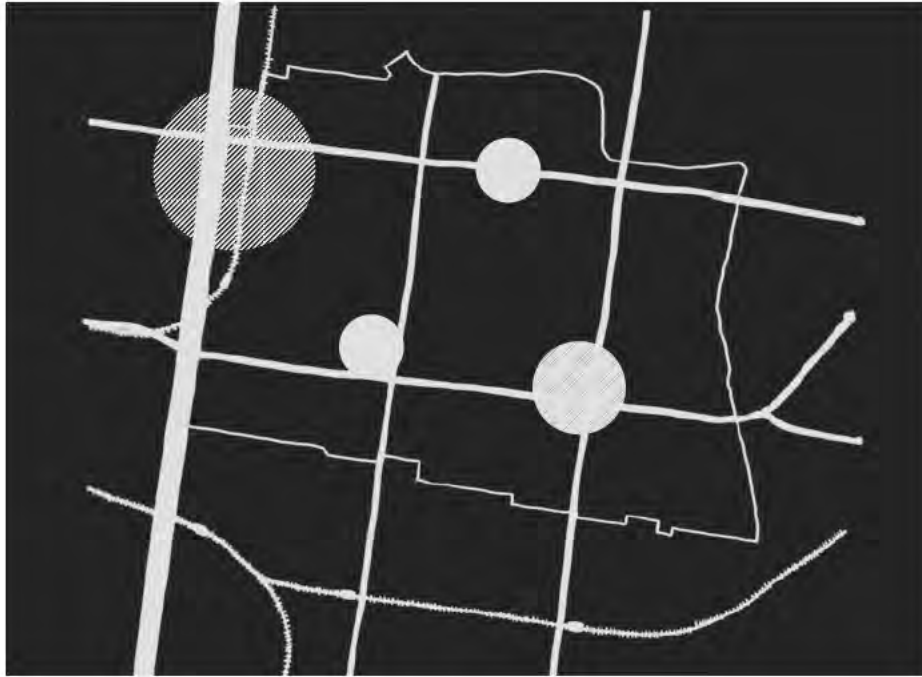
- **UDP1 - URBAN CONSOLIDATION**
- **UDP2 - TRANSIT-ORIENTED DEVELOPMENT**
- **UDP3 - URBAN STRUCTURE**
- **UDP4 - STREET WALL AND HUMAN SCALE**
- **UDP5 - HERITAGE STREESTSCAPE**
- **UDP6 - HERITAGE BUILDINGS**
- **UDP7 - SUNNY STREETS**
- **UDP8 - RESIDENTIAL INTERFACES**
- **UDP9 - RESIDENTIAL CHARACTER**
- **UDP10 - LANDMARKS**
- **UDP11 - SKY VIEWS**
- **UDP12 - SKYLINE**
- **UDP13 - REAR LANES**
- **UDP14 - HIGH QUALITY ARCHITECTURE**

Each Urban Design Principle is described further overleaf diagrammatically and supported by its purpose.

The Urban Design Principles have been designed to be overarching and applicable to the entire study area, whilst also having elements of place specificity based on the urban structure outlined at Figure 14.

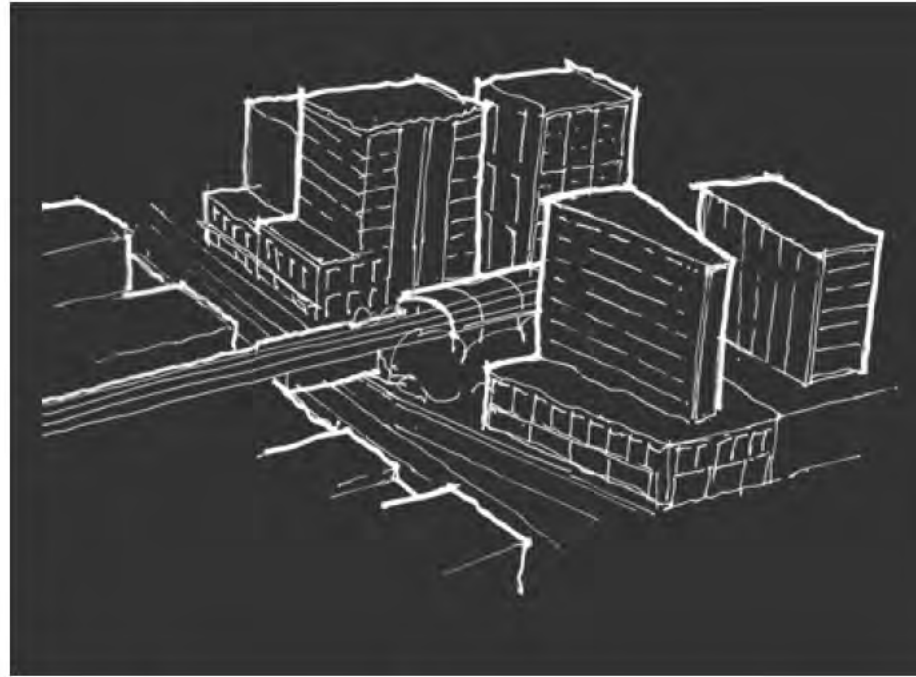
UDP1 Urban consolidation

Enable the potential for growth consistent with the urban structure



UDP2 Transit-oriented development

Capitalise on opportunities for growth adjacent to railway stations



UDP3 Urban structure

Mark key entries with a built or natural element that stands out from its surroundings



UDP4 Street wall & human scale

Contributing to an inviting, visually interesting and vibrant public realm at walking pace



UDP5 Heritage streetscapes

Contribute to an inviting, visually interesting and vibrant public realm



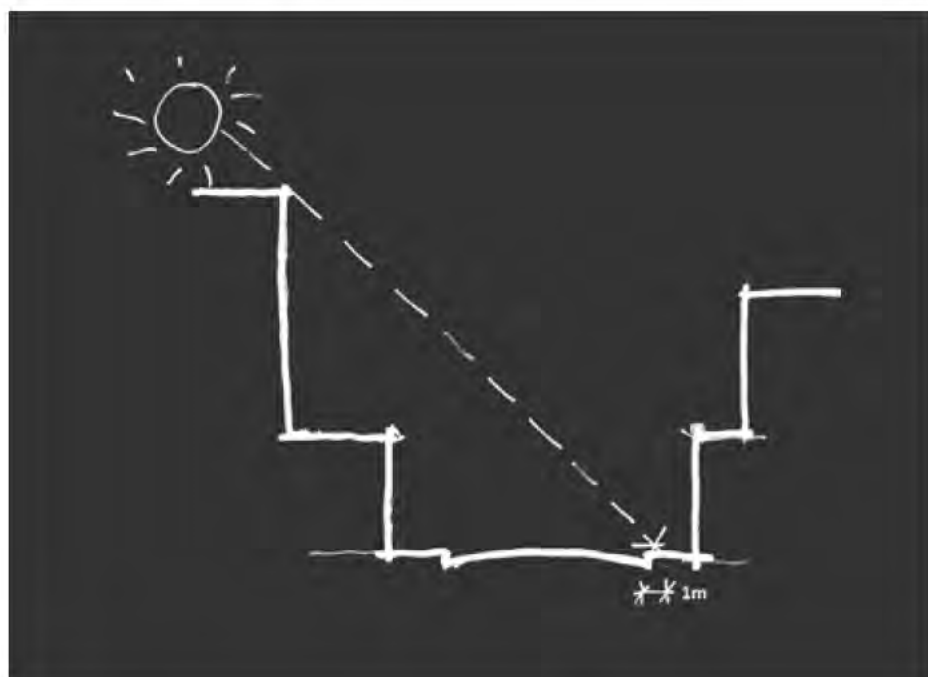
UDP6 Heritage buildings

Support the protection of heritage buildings of significance



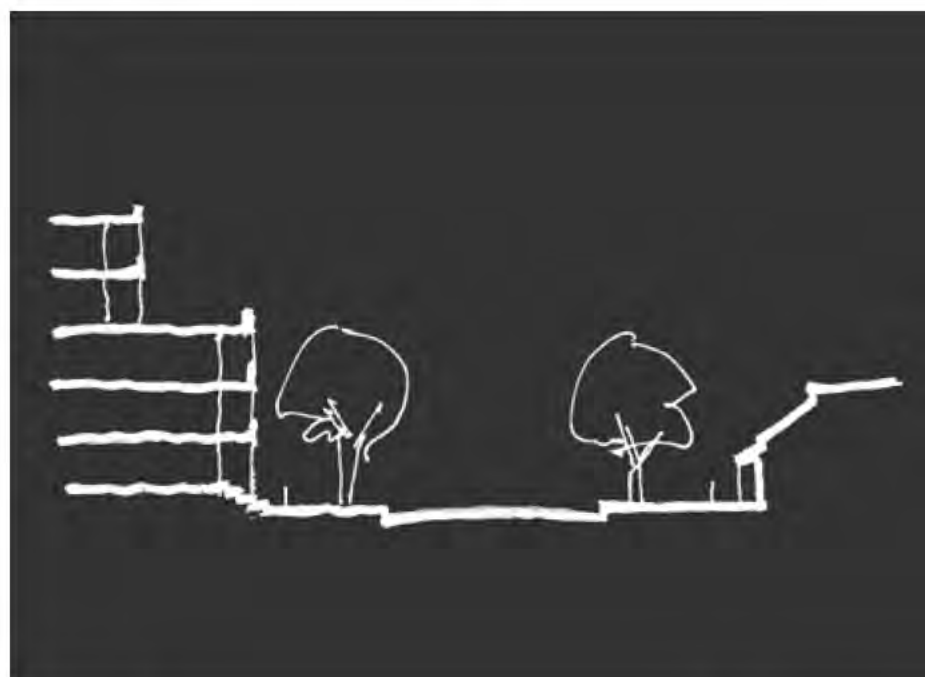
UDP7 Sunny Streets

Maintain solar access to main streets



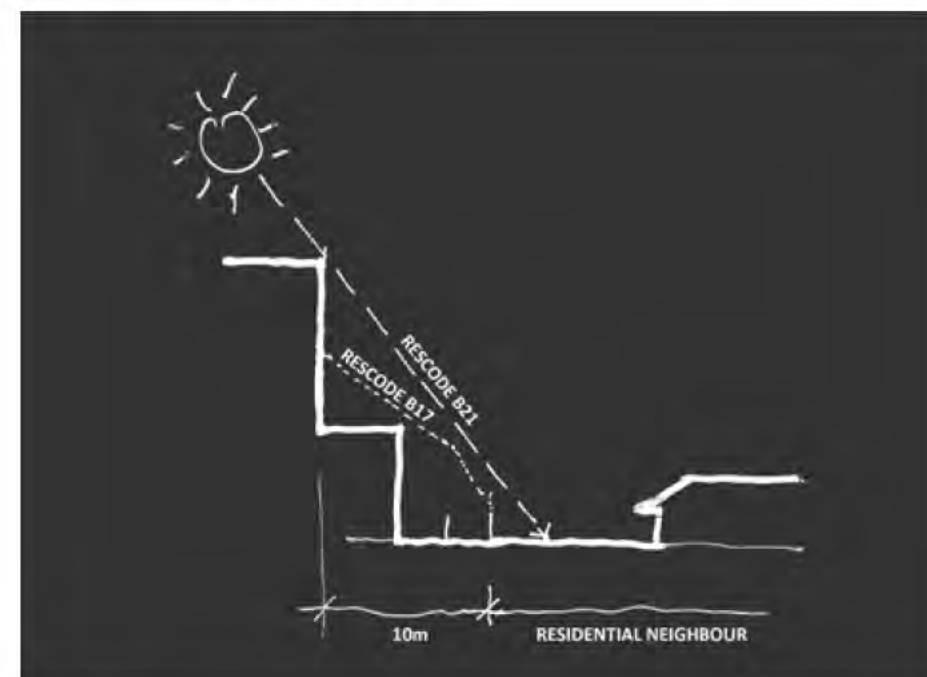
UDP8 Residential Character

Respect the character of residential streets



UDP9 Residential Interface

Maintain reasonable amenity for neighbouring residential properties



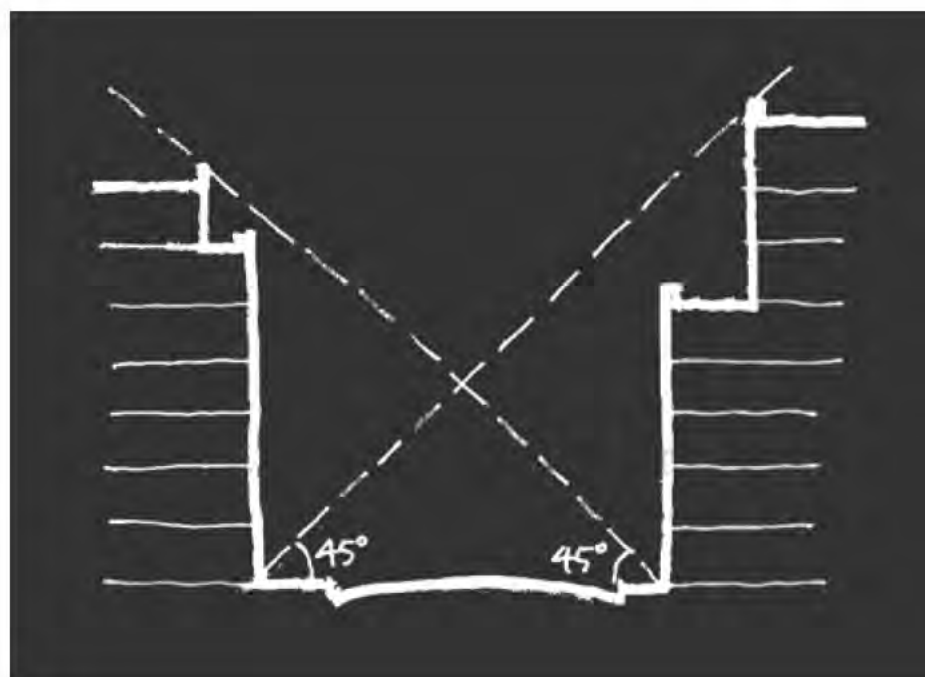
UDP10 Landmarks

Protect key views to existing landmarks



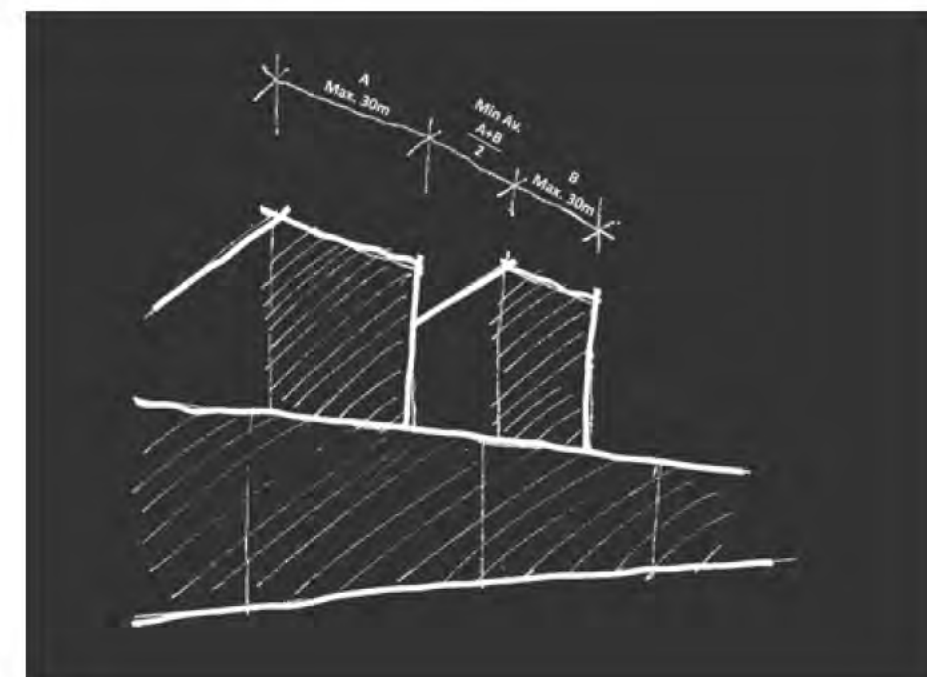
UDP11 Sky views

Maintain a relatively open streetscape



UDP12 Skyline

Avoid a 'wall' of taller form



UDP13

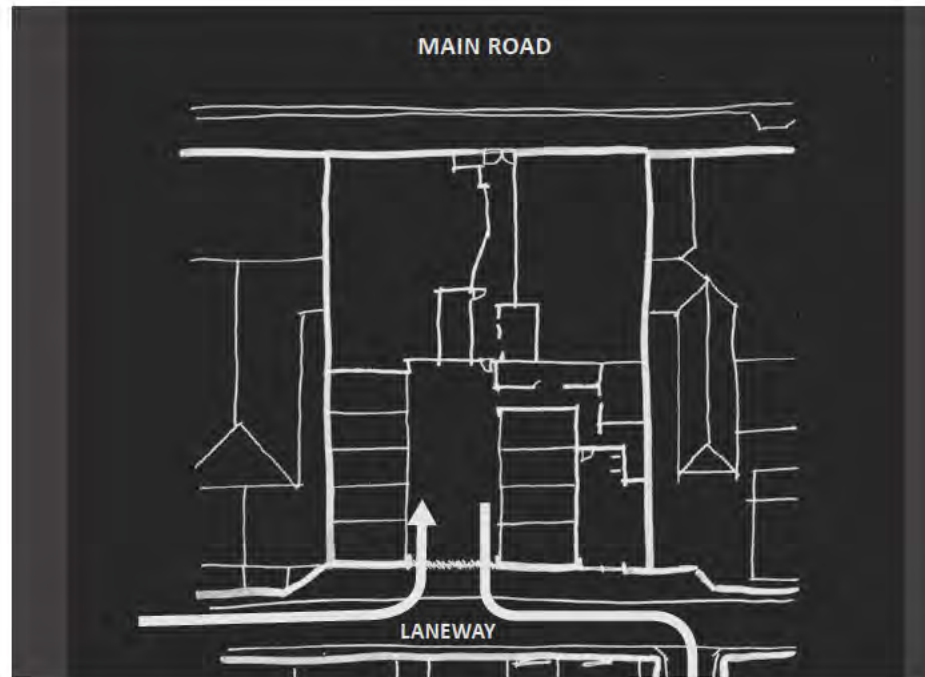
Ensure functional service lanes

Rear lanes

UDP14

High quality architecture

Deliver a high quality architectural response





Norman

Harvey Norman

Harvey Norman

SALE

SALE

CARLTON DRAPERY

JILL

Kanzama

mpcmedia

aman

PALOM

Rent a Bomb



5.0 Built Form Framework

5.1 Introduction

This section sets out the proposed built form framework for the future character precincts outlined at figure 5 excluding Precincts V7, V8, B9, B10 as they are subject to further investigation. It provides recommendations in relation to building heights and setbacks, and the detailed design of building facades.

The following overarching design objectives have been identified based on the Urban Design Principles:

- To contribute to an inviting, visually interesting and vibrant public realm.
- To respect heritage and character values.
- To provide for growth.
- To reinforce the legibility of the urban structure.
- To maintain reasonable amenity for neighbouring residential properties.

Section 5.2 outlines the rationale underpinning the built form recommendations. It also contains a set of Framework Plans which summarise the recommended building heights and street profiles.

Section 5.3 contains built form guidelines for each future character precinct. In each precinct, the preferred character statements, key objectives that have informed the guidelines are provided.

Section 5.4 provides general guidelines in relation to interface responses and façade design.

5.2 Built Form Guidelines Rationale

This section outlines the rationale underpinning the built form recommendations, which vary between each future character precinct.

Street Wall Heights

- Where there are streetscapes or individual buildings that have been identified as significant from a heritage perspective, the heritage fabric at the street frontage is encouraged to be retained. Where it is to be replaced, a maximum street wall height of 11m is recommended to reinforce the prevailing street wall character. It is estimated that the heritage buildings along Victoria Street and Bridge Road typically have 9.5m high facades.
- Where there is a valued low-rise street wall character (but with little or no significant heritage fabric), a maximum street wall height of 12m is recommended to comfortably allow three levels along with a parapet/balustrade to a terrace at the fourth level.
- In Victoria Street between Church Street and Burnley Street (Precinct V4 except at 316-326 Victoria Street, which contains significant heritage buildings, and 408-472 Victoria Street, which is zoned GRZ), a maximum street wall height of 15m is recommended because the existing street wall character is not considered to warrant protection. A height of 15m allows for four levels, which will increase development capacity, particularly given the shallow lot depths. A 15m street wall will maintain a comfortable relationship with the 20m wide street, avoiding an uncharacteristic sense of enclosure.
- A maximum street wall height of 15m is recommended on the north side of Bridge Road east of Gardner Street (Precinct B6), on the south side of Palmer Street east of Burnley Street, and on the southern corner of Hoddle Street and Victoria Street, for the same reasons. A 15m street wall will also ensure reasonable spatial definition of the 30m wide sections of Bridge Road and Palmer Street.

- 23-29 Bridge Road lies at the western entry to the Bridge Road Activity Centre. It is an island property which fronts a 30m wide section of Bridge Road. It is also a shallow property. Therefore, it is recommended that no street wall or upper level setback be required at the Bridge Road frontage, to help mark this important node and because the wider street will avoid an uncharacteristic sense of enclosure, the isolation of the property means that it does not form part of a cohesive streetscape, and to lessen the need to build close to the northern boundary which lies opposite residential land.
- Along Hull Street, there is an existing character of 3-4 storey street walls. Therefore, a maximum street wall height of 15m (four storeys) is recommended to reinforce this existing character.
- Butler Street, Neptune Street and Stawell Street are only 10m wide, and Little Charles Street is only 5m wide. Each of these streets has 1-2 storey dwellings opposite the subject land. Therefore, a maximum street wall height of 7.5m (two storeys) is recommended on these streets to avoid an unreasonable sense of enclosure and to complement the existing character.
- Except where a lower maximum street wall is sought, a minimum street wall height of 8m is recommended to ensure adequate spatial definition of the street.

Building Heights and Street Relationship

Overall building heights and upper level street setbacks have been determined as follows:

- For individually significant heritage buildings and significant heritage streetscapes, the height and setback of buildings above the street wall have been determined to ensure that the built form will not dominate the street wall. This has been measured by ensuring that the view of the building from the opposite footpath occupied by the upper form is no more than one quarter of that occupied by the street wall (see Figure 40 below). This approach capitalises on the ability of deeper lots to accommodate taller buildings without adversely affecting heritage or character values. Notably, it reflects the emerging character on the north side of Bridge Road between Lennox Street and Church Street, where a series of 9-10 storey buildings with upper level setbacks of 13m or more have been constructed or approved. This also reflects the location of this precinct at the topographic high point of Bridge Road.
- For streets without notable heritage value but with an existing streetscape character that needs to be responded too, the upper form above the street wall should be viewed as no more than one third of the overall building.
- In places without either notable heritage or character values and the opportunity to create a new character, the height and setback of buildings above the street wall have been determined to ensure that the built form

will balance a sense of openness and enclosure. This has been measured by ensuring that the built form does not encroach within a 45° plane from the opposite side of the street (see Figure 41 below).

- On the north side of Victoria Street, east of Walmer Street, no maximum building height is recommended because DDO1 already imposes a maximum height of 18m. Street wall height and upper level setback recommendations are made for those properties that may be developed in the future, noting that much of this precinct has already been developed and strata-titled, or has a recent permit to do so.
- Exceptions are made to the approach outlined above at 'marker' locations, being the western end of Victoria Street and Bridge Road, where greater height is recommended to mark the entries to the two major activity centres.
- Greater height is recommended in the MUZ land south of North Richmond Station, to capitalise on its public transport accessibility and relative lack of sensitive interfaces. However, it is recommended that this height be stepped down at the interfaces of this precinct with low-rise residential neighbourhoods to the east and south.

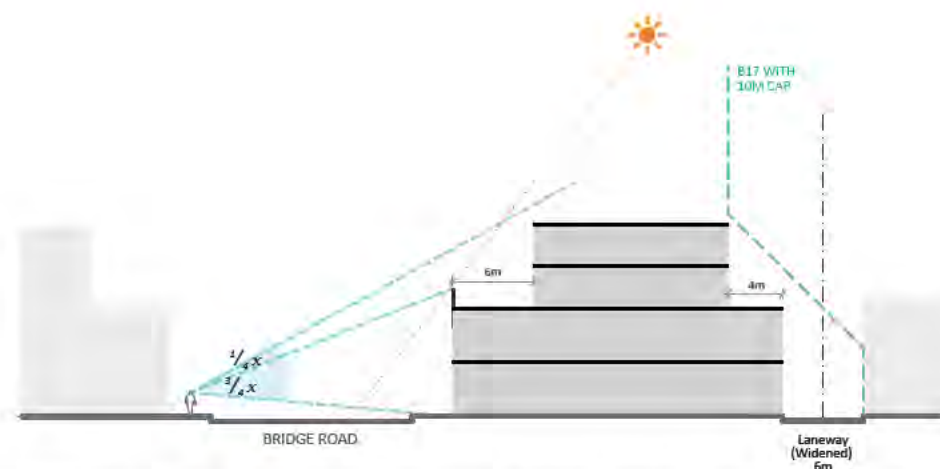


Figure 41. Example of upper form height and setback above a heritage street

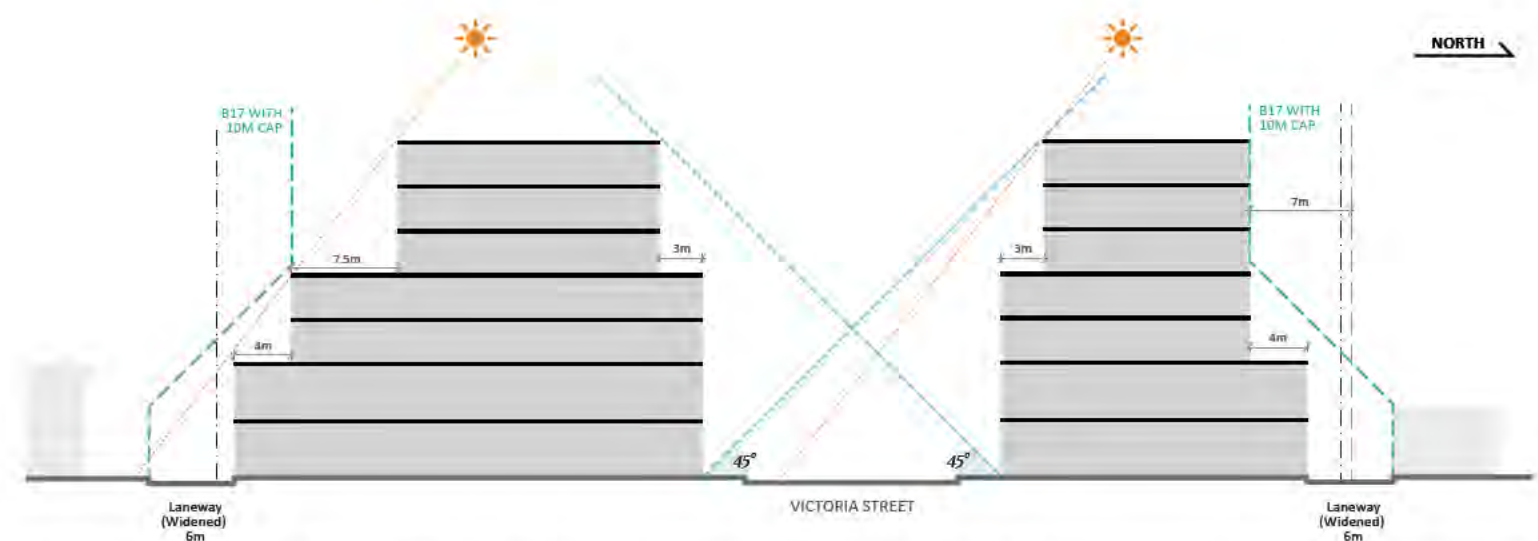


Figure 42. Example of height and setbacks of upper form in areas without notable heritage or character values

Upper Level Setbacks

- Where significant heritage fabric is retained or within a significant heritage streetscape, a mandatory upper level setback of 6m is recommended to maintain a clear distinction between the heritage fabric and addition. A mandatory 6m upper level setback is also recommended alongside the Richmond Town Hall and Skipping Girl sign to maintain views of them,
- On the north side of Bridge Road between Lennox Street and Church Street a 13m upper level setback is recommended to reinforce the emerging character (noting that this is offset by a greater maximum height on those properties, which have sufficient depth to accommodate the setback).
- 10m and 13m upper level setbacks on Neptune Street and Burnley Street south of the Bridge Road properties are recommended to ensure the upper form does not overwhelm the heritage street wall.
- Where upper forms higher than 20m (six storeys) are proposed above a 2-3 storey street wall, a minimum upper level setback of 5m is recommended to maintain a clear distinction between the street wall and upper form.
- A minimum 5m upper level setback is recommended on properties opposite low-rise residential neighbourhoods, to better complement their character. This is reduced to 4m on narrow streets where maximum heights of only 3-4 storeys are proposed, such as Butler Street and Little Charles Street, due to the steeper angle of view above the street wall from the opposite side of the street.
- A minimum 5m upper level setback is also recommended on properties fronting narrow streets, to maintain a sense of openness in the street.
- The recommended upper level street setbacks are proposed to apply along the side street frontages of corner lots too. However, on corner lots that are 20 metres wide or less, it is recommended that the setback from the secondary street frontage be allowed to be reduced by up to 50%, to maintain a viable floorplate.

Street Setback

There are a small number of locations where a street setback is recommended. These include:

- 316-326 Victoria Street, where a 6m setback is recommended to reinforce the prevailing character
- 566 Bridge Road, where a 5m setback from Bridge Road is recommended to protect mature trees with the potential to form part of an attractive public open space, and a 2m setback from Stawell Street is recommended to complement the residential character opposite

These assumptions are illustrated in the sections contained in section 5.3.

21-31 Goodwood Street houses the Pelaco sign. It is included within the subject land. However, as the appropriate built form response to this site will be site-specific and primarily driven by heritage considerations, this report does not make specific recommendations in relation to it.

Development of the Epworth Hospital site is similarly governed by site- and use-specific considerations. It also has a relatively recent approval for a major development. Therefore, this report does not make specific recommendations in relation to it.

Off-Site Amenity

Management of off-site amenity has been applied in the same manner across the study area and can be summarised as follows:

- Buildings must be setback from land that is in a residential zone by a dimension equal to the height of that part of the building minus 5m, up to a maximum of 10m or greater if necessary to comply with ResCode Standard B21.
- To manage overshadowing to the private open space of residential properties to the south of the study area, buildings must be setback behind a sun angle of 52 degrees (September Equinox) measured from the backyard of the adjacent residential property to the top of the proposed building.

Overshadowing of the Public Realm

Buildings should be designed to ensure that pedestrians on the southern footpath of Victoria Street and Bridge Road will be in sunlight during the warmer half of the year. Therefore buildings must not overshadow the southern footpath of Victoria Street and Bridge Road at the Equinox between 11am and 2pm. On Lennox Street, Church Street and Burnley Street, buildings must not overshadow the opposite footpath between 11am and 2pm at the September Equinox.

Design Assumptions

The street wall and overall building heights are based on the following assumptions:

- Commercial uses at a minimum of the lowest two levels in C1Z-zoned land and all levels in C2Z-zoned land
- Either commercial use or raised residential use at the ground floor in MUZ-zoned land, with residential use above
- Typical floor-to-floor dimensions of 4m for retail uses, 3.6m for office uses and 3.2m for residential uses
- A minimum viable floorplate depth of 16m
- Non-habitable architectural features including parapets not more than 1.5 metres in height, and building services set back at least 3 metres behind the façade, may exceed the maximum height

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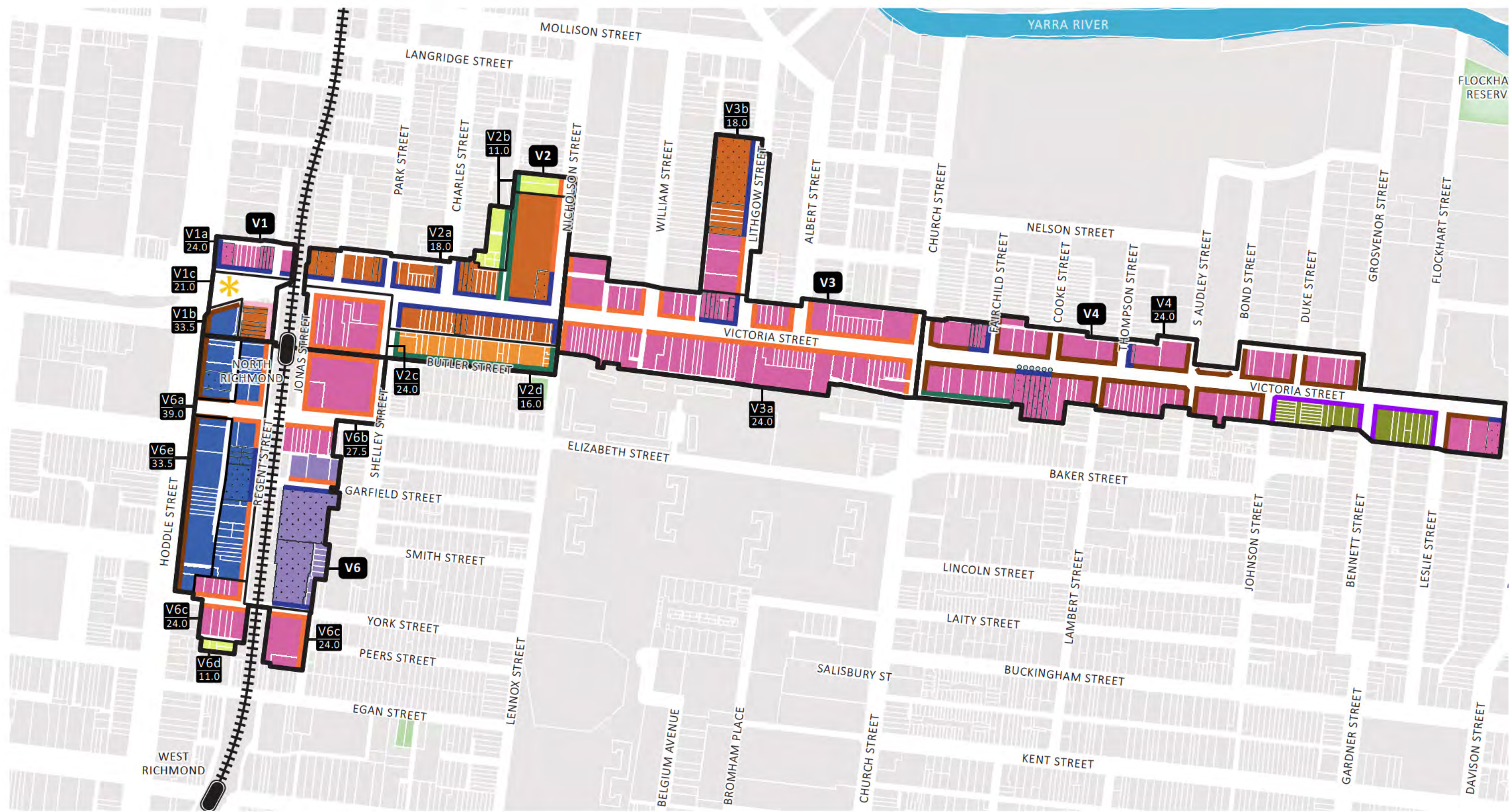
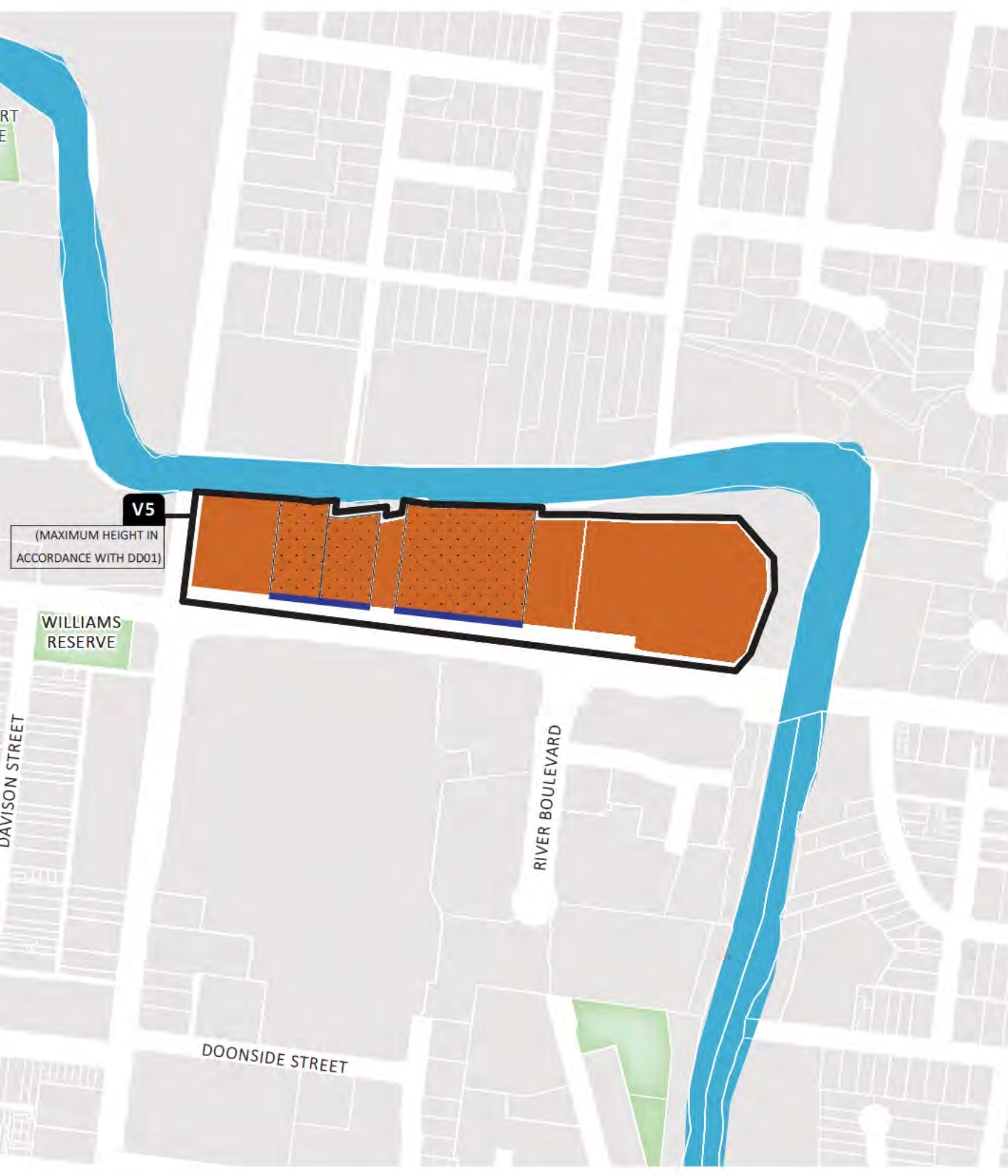


Figure 43. Framework Plan: Victoria Street



- PRECINCT BOUNDARY
- EXISTING OPEN SPACE
- KEY PRECINCT LANDMARKS
- INDIVIDUALLY SIGNIFICANT HERITAGE BUILDINGS
- PROPOSED NEW STREET
- PRECINCT CODE
V5
23.5
PREFERRED MAXIMUM HEIGHT (m) (EXCLUDING ARCHITECTURAL FEATURES AND ROOFTOP SERVICES)
- 9.0 m (GRZ2)
- 11.0 m (3 storeys)
- 16.0 m (4 storeys)
- 18.0 m (5 storeys)
- 21.0 m (6 storeys)
- 24.0 m (7 storeys)
- 27.5 m (8 storeys)
- 33.5 m (10 storeys)
- 39.0 m (12 storeys)
- THE HEIGHTS ARE DISCRETIOARY AND MUST BE APPLIED IN ACCORDANCE WITH THE SIGHT LINE DIAGRAM
- MAXIMUM STREET WALL HEIGHTS & MINIMUM UPPER LEVEL STREET SETBACKS (ALL DISCRETIONARY EXCEPT WHERE NOTED)
- RETAIN HERITAGE FRONTAGE OR 5m STREET WALL WITH A MANDATORY 6m SETBACK ABOVE
- RETAIN HERITAGE FRONTAGE OR 11m STREET WALL WITH A 6m SETBACK ABOVE (MANDATORY FOR INDIVIDUALLY SIGNIFICANT BUILDINGS AND HERITAGE STREETSCAPES)
- 8m STREET WALL WITH 4m SETBACK ABOVE
- 9m STREET WALL
- 11m STREET WALL WITH 5m SETBACK ABOVE (EXCEPT WITHIN 5M OF A HERITAGE PROPERTY, WHERE A 6m DISCRETIONARY SETBACK IS REQUIRED)
- 11m STREET WALL WITH 3m SETBACK ABOVE (EXCEPT WITHIN 5M OF A HERITAGE PROPERTY, WHERE A 6m DISCRETIONARY SETBACK IS REQUIRED)
- 15m STREET WALL WITH 3m SETBACK ABOVE (EXCEPT WITHIN 5M OF A HERITAGE PROPERTY, WHERE A 6m DISCRETIONARY SETBACK IS REQUIRED)
- PREFERRED FRONT SETBACKS
- 6m

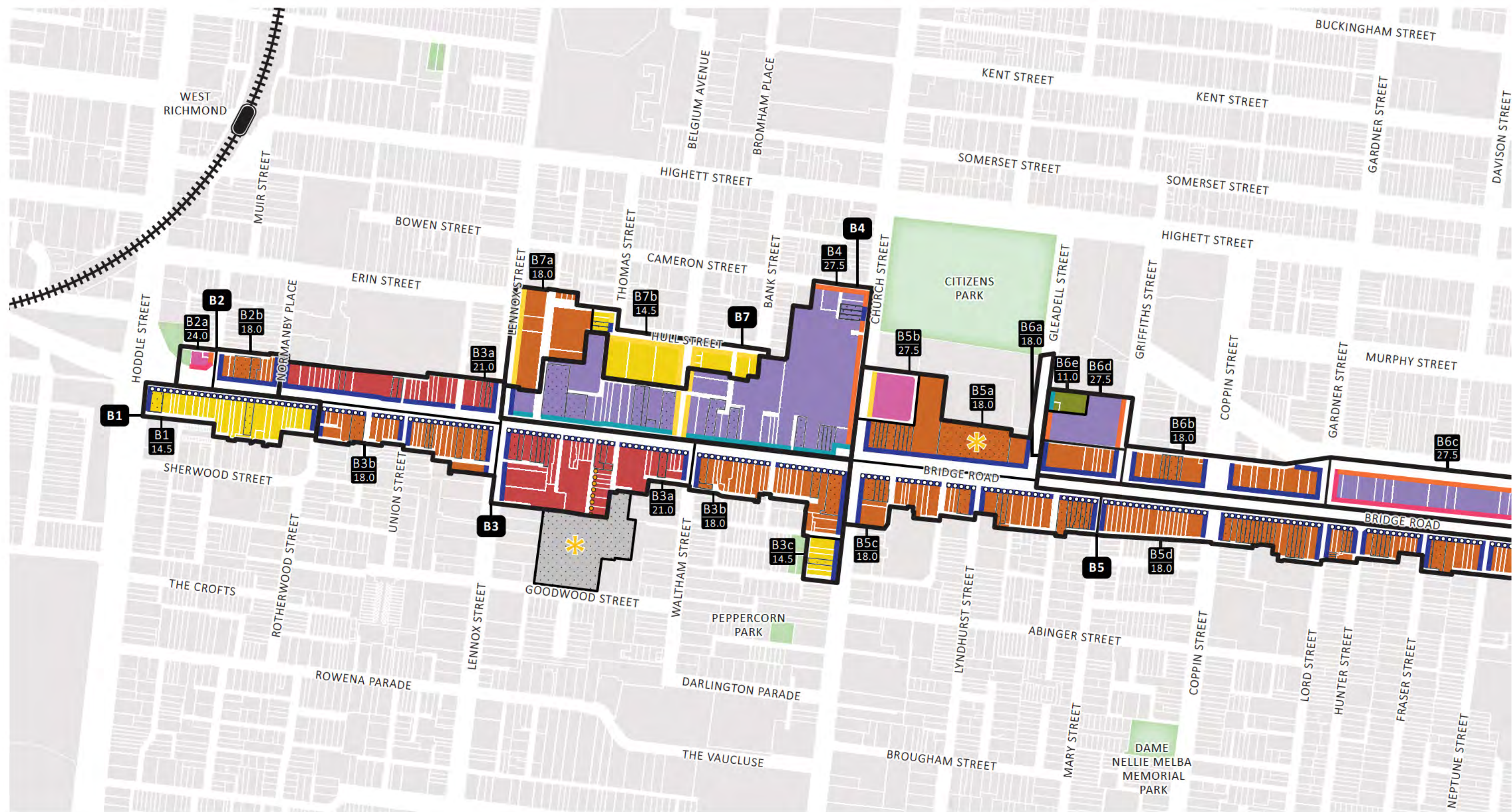


Figure 44. Framework Plan: Bridge Road



- PRECINCT BOUNDARY
- EXISTING OPEN SPACE
- KEY PRECINCT LANDMARKS
- INDIVIDUALLY SIGNIFICANT HERITAGE BUILDINGS
- SIGNIFICANT HERITAGE STREETS CAPES
- PRECINCT CODE**
V5
23 5
- 11 0 m (3 storeys)
- 14 5 m (4 storeys)
- 18 0 m (5 storeys)
- 21 0 m (6 storeys)
- 24 0 m (7 storeys)
- 27 5 m (8 storeys)
- 30 5 m (9 storeys)
- 33 5 m (10 storeys)
- THE HEIGHTS ARE DISCRETIONARY AND MUST BE APPLIED IN ACCORDANCE WITH THE SIGHT LINE DIAGRAM

- MAXIMUM STREET WALL HEIGHTS & MINIMUM UPPER LEVEL STREET SETBACKS (ALL DISCRETIONARY EXCEPT WHERE NOTED)**
- RETAIN HERITAGE FRONTAGE OR 11m STREET WALL WITH A 6m SETBACK ABOVE (MANDATORY FOR INDIVIDUALLY SIGNIFICANT BUILDING AND HERITAGE STREETS CAPES)
 - RETAIN HERITAGE FRONTAGE OR 11m STREET WALL WITH 13m SETBACK ABOVE
 - RETAIN HERITAGE FRONTAGE OR 11m STREET WALL WITH A MANDATORY 10m SETBACK ABOVE
 - 8m STREET WALL WITH 5m SETBACK ABOVE
 - 11m STREET WALL WITH 3m SETBACK ABOVE (EXCEPT WITHIN 5m OF A HERITAGE PROPERTY, WHERE A 6m DISCRETIONARY SETBACK IS REQUIRED)
 - 11m STREET WALL WITH 5m SETBACK ABOVE (EXCEPT WITHIN 5m OF A HERITAGE PROPERTY, WHERE A 6m DISCRETIONARY SETBACK IS REQUIRED)
 - 15m STREET WALL WITH 5m SETBACK ABOVE (EXCEPT WITHIN 5m OF A HERITAGE PROPERTY, WHERE A 6m DISCRETIONARY SETBACK IS REQUIRED)
- PREFERRED FRONT SETBACKS**
- 2m
 - 5m

5.3 Built Form Guidelines - Victoria Street

V1

Preferred character statement:

Precinct V1 will continue to be a vibrant retail and restaurant precinct supporting a local mix of businesses.

Buildings would have a fine grain and low scale street wall, and heritage buildings would be retained and enhanced as key features of the street.

Any development is set back to make the street wall more prominent and achieve a relatively open character.

The entrance to North Richmond will have a strong built form presence to the street and support an improved public realm along the street.

Sub-precinct	Street wall height	Minimum upper level street setback	Maximum height*	Objectives
V1a	Retain heritage frontage or 8-11m (2-3 storeys)	6m (mandatory for individually significant buildings)	24m (6-7 storeys)	<ul style="list-style-type: none"> To mark the western entry to the Victoria St Activity Centre To recognise public transport accessibility To respect the significant heritage streetscapes To avoid visually overwhelming the street wall, particularly heritage fabric
V1b	8-15m (4 storeys)	5m	33.5m (9-10 storeys)	
V1c	Retain heritage frontage or 5m (single storey)	6m (mandatory for individually significant buildings)	21.0m (5-6 storeys)	

* Development in a heritage overlay must occupy no more than one quarter of the vertical angle defined by the whole building in view from a sight line of 1.7 metres. Development outside of a heritage overlay must occupy no more than one third of the vertical angle. The rules above do not apply to sub-precincts V1a and V1b.



	PRECINCT BOUNDARY
	EXISTING OPEN SPACE
	KEY PRECINCT LANDMARKS
	INDIVIDUALLY SIGNIFICANT HERITAGE BUILDINGS
	PROPOSED NEW STREET
	PRECINCT CODE
	PREFERRED MAXIMUM HEIGHT (m) (EXCLUDING ARCHITECTURAL FEATURES AND ROOFTOP SERVICES)
	9.0 m (GRZ2)
	11.0 m (3 storeys)
	16.0 m (4 storeys)
	18.0 m (5 storeys)
	21.0 m (6 storeys)
	24.0 m (7 storeys)
	27.5 m (8 storeys)
	33.5 m (10 storeys)
	39.0 m (12 storeys)
	THE HEIGHTS ARE DISCRETIONARY AND MUST BE APPLIED IN ACCORDANCE WITH THE SIGHT LINE DIAGRAM
	MAXIMUM STREET WALL HEIGHTS & MINIMUM UPPER LEVEL STREET SETBACKS (ALL DISCRETIONARY EXCEPT WHERE NOTED)
	RETAIN HERITAGE FRONTAGE OR 5m STREET WALL WITH A MANDATORY 6m SETBACK ABOVE
	RETAIN HERITAGE FRONTAGE OR 11m STREET WALL WITH A 6m SETBACK ABOVE (MANDATORY FOR INDIVIDUALLY SIGNIFICANT BUILDINGS AND HERITAGE STREETSCAPES)
	8m STREET WALL WITH 4m SETBACK ABOVE
	9m STREET WALL
	11m STREET WALL WITH 5m SETBACK ABOVE (EXCEPT WITHIN 5M OF A HERITAGE PROPERTY, WHERE A 6m DISCRETIONARY SETBACK IS REQUIRED)
	11m STREET WALL WITH 3m SETBACK ABOVE (EXCEPT WITHIN 5M OF A HERITAGE PROPERTY, WHERE A 6m DISCRETIONARY SETBACK IS REQUIRED)
	15m STREET WALL WITH 3m SETBACK ABOVE (EXCEPT WITHIN 5M OF A HERITAGE PROPERTY, WHERE A 6m DISCRETIONARY SETBACK IS REQUIRED)
	PREFERRED FRONT SETBACKS
	6m

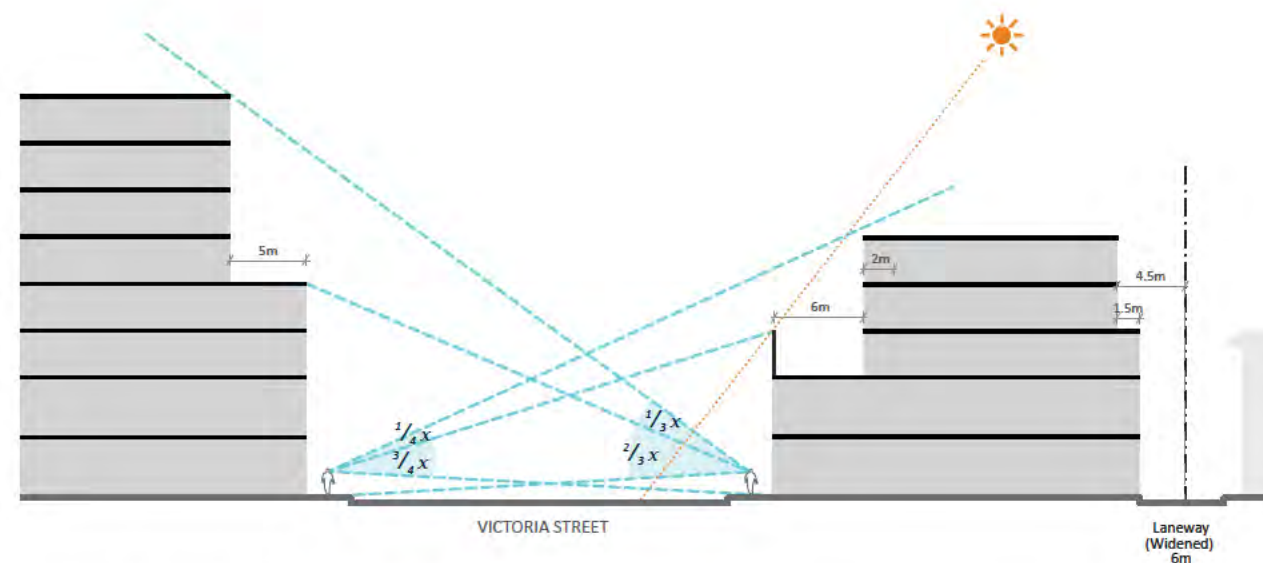


Figure 45. Precinct V1a and 1c: North-South Section

V2

Preferred character statement:

Precinct V2 will continue to be a unique food and cultural destination that is supported with a strong retail character.

It will develop to a slightly greater height to recognise its well-served location while providing transtion in height between moderate height forms on Nicholson Street, and residential neighbourhoods to the north and south of Victoria Street.

Buildings will have a fine grain and low scale street wall to maintain a sense of openness within the street.

Any development above the street wall will be set back to highlight the existing retail character.



	PRECINCT BOUNDARY
	EXISTING OPEN SPACE
	KEY PRECINCT LANDMARKS
	INDIVIDUALLY SIGNIFICANT HERITAGE BUILDINGS
	PROPOSED NEW STREET
	PRECINCT CODE
	PREFERRED MAXIMUM HEIGHT (m) (EXCLUDING ARCHITECTURAL FEATURES AND ROOFTOP SERVICES)
	9.0 m (GRZ2)
	11.0 m (3 storeys)
	16.0 m (4 storeys)
	18.0 m (5 storeys)
	21.0 m (6 storeys)
	24.0 m (7 storeys)
	27.5 m (8 storeys)
	33.5 m (10 storeys)
	39.0 m (12 storeys)
THE HEIGHTS ARE DISCRETIOARY AND MUST BE APPLIED IN ACCORDANCE WITH THE SIGHT LINE DIAGRAM	
MAXIMUM STREET WALL HEIGHTS & MINIMUM UPPER LEVEL STREET SETBACKS (ALL DISCRETIONARY EXCEPT WHERE NOTED)	
	RETAIN HERITAGE FRONTAGE OR 5m STREET WALL WITH A MANDATORY 6m SETBACK ABOVE
	RETAIN HERITAGE FRONTAGE OR 11m STREET WALL WITH A 6m SETBACK ABOVE (MANDATORY FOR INDIVIDUALLY SIGNIFICANT BUILDINGS AND HERITAGE STREETSCAPES)
	8m STREET WALL WITH 4m SETBACK ABOVE
	9m STREET WALL
	11m STREET WALL WITH 5m SETBACK ABOVE (EXCEPT WITHIN 5m OF A HERITAGE PROPERTY, WHERE A 6m DISCRETIONARY SETBACK IS REQUIRED)
	11m STREET WALL WITH 3m SETBACK ABOVE (EXCEPT WITHIN 5m OF A HERITAGE PROPERTY, WHERE A 6m DISCRETIONARY SETBACK IS REQUIRED)
	15m STREET WALL WITH 3m SETBACK ABOVE (EXCEPT WITHIN 5m OF A HERITAGE PROPERTY, WHERE A 6m DISCRETIONARY SETBACK IS REQUIRED)
PREFERRED FRONT SETBACKS	
	6m

Sub-precinct	Street wall height	Minimum upper level street setback	Maximum height*	Objectives
V2a	Retain heritage frontage or up to a maximum of 8-11m (2-3 storeys)	6m (mandatory for individually significant buildings)	18.0m (5-6 storeys)	<ul style="list-style-type: none"> To maintain the existing street wall character To avoid visually overwhelming the street wall, particularly heritage fabric
V2b	8m (2 storey)	5m	11.0m (3 storeys)	<ul style="list-style-type: none"> To recognise public transport accessibility
V2c	8-11m (2-3 storeys)	5m	24.0m (6-7 storeys)	<ul style="list-style-type: none"> To ensure reasonable solar access to the southern footpath
V2d	8m	4m	16m (4 storeys)	<ul style="list-style-type: none"> To maintain a sense of openness within the street To provide a transition between taller forms on Nicholson St and the adjacent low-rise residential neighbourhood To provide a transition between taller forms on Victoria St and the adjacent low-rise residential neighbourhood

* Development in a heritage overlay must occupy no more than one quarter of the vertical angle defined by the whole building in view from a sight line of 1.7 metres. Development outside of a heritage overlay must occupy no more than one third of the vertical angle. Development on Butler must not encroach within a 45 degree plane from the opposite side of the street.

V2

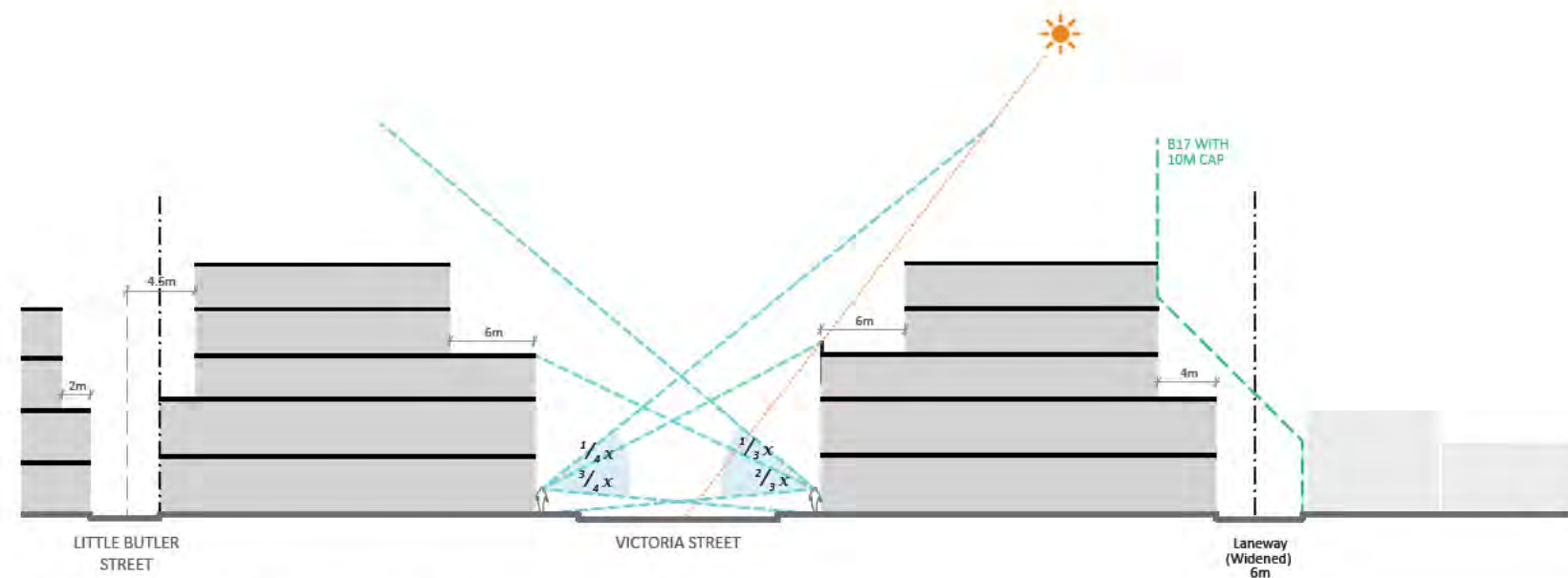


Figure 46. Precinct V2a: North-South Section

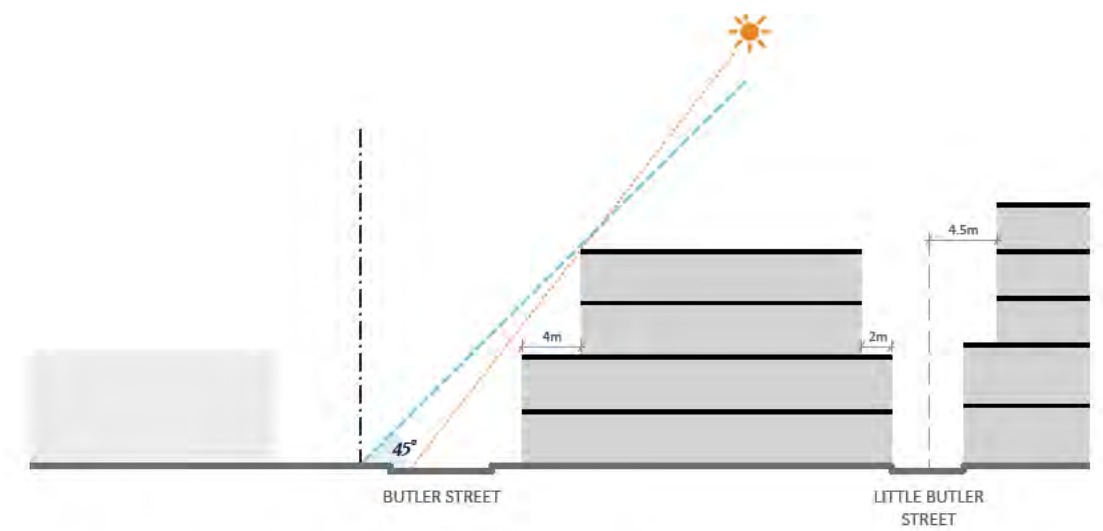


Figure 48. Precinct V2d and 2c: North-South Section

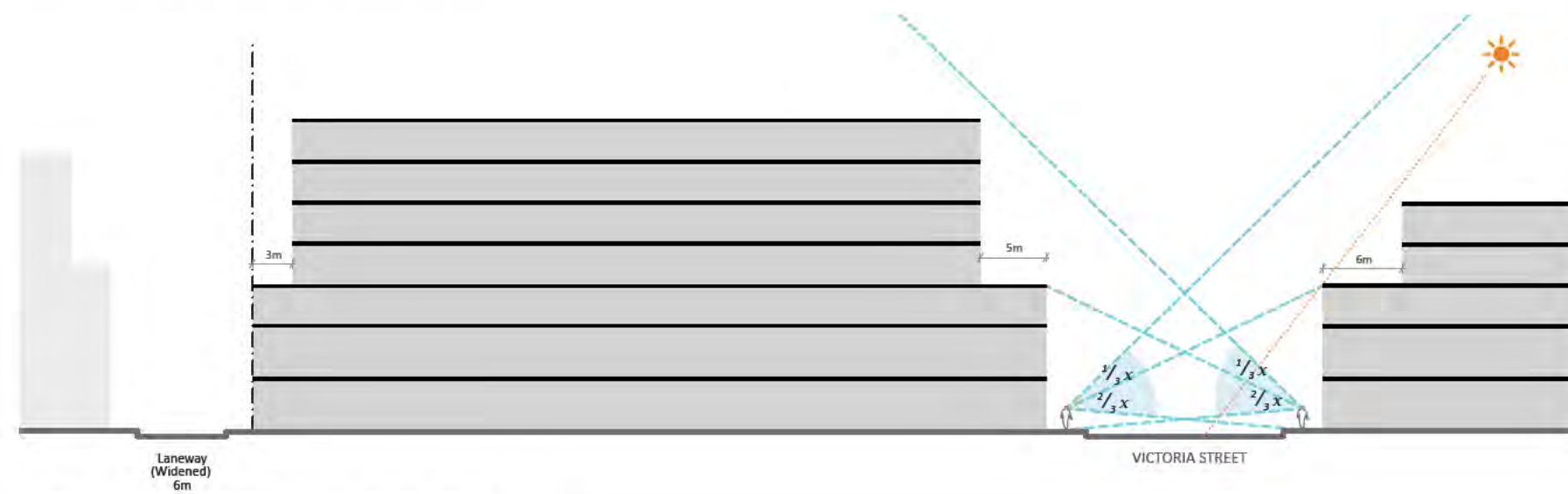


Figure 47. Precinct V2a and 2c: North-South Section

V3

Precinct V3

Sub-precinct	Street wall height	Minimum upper level street setback	Maximum height*	Objectives
V3a	Retain heritage frontage or 8-11m (2-3 storeys)	<ul style="list-style-type: none"> 6m within the HO (mandatory for individually significant buildings) 5m outside the HO (except within 6m of a heritage property, where a 6m discretionary setback is required) 	24.0m (6-7 storeys)	<ul style="list-style-type: none"> To maintain the existing street wall character To ensure reasonable solar access to the southern footpath To maintain a sense of openness within the street To respect the significant heritage fabric To avoid visually overwhelming the street wall, particularly heritage fabric
V3b	Retain heritage frontage or 8-11m (2-3 storeys)		18.0m (5 storeys)	

* Development in a heritage overlay must occupy no more than one quarter of the vertical angle defined by the whole building in view from a sight line of 1.7 metres. Development outside of a heritage overlay must occupy no more than one third of the vertical angle.

Preferred character statement:

Precinct V3 will retain the existing low-rise street wall and retail character along Victoria Street, while providing for growth in the form of moderate height forms setback from the street wall.

Upper levels are setback to ensure a reasonable solar access to the southern footpath.

The precinct will respect heritage values and the character and amenity of the adjacent residential areas



	PRECINCT BOUNDARY
	EXISTING OPEN SPACE
	KEY PRECINCT LANDMARKS
	INDIVIDUALLY SIGNIFICANT HERITAGE BUILDINGS
	PROPOSED NEW STREET
	PRECINCT CODE
	PREFERRED MAXIMUM HEIGHT (m) (EXCLUDING ARCHITECTURAL FEATURES AND ROOFTOP SERVICES)
	9.0 m (GRZ2)
	11.0 m (3 storeys)
	16.0 m (4 storeys)
	18.0 m (5 storeys)
	21.0 m (6 storeys)
	24.0 m (7 storeys)
	27.5 m (8 storeys)
	33.5 m (10 storeys)
	39.0 m (12 storeys)
THE HEIGHTS ARE DISCRETIOARY AND MUST BE APPLIED IN ACCORDANCE WITH THE SIGHT LINE DIAGRAM	
MAXIMUM STREET WALL HEIGHTS & MINIMUM UPPER LEVEL STREET SETBACKS (ALL DISCRETIONARY EXCEPT WHERE NOTED)	
	RETAIN HERITAGE FRONTAGE OR 5m STREET WALL WITH A MANDATORY 6m SETBACK ABOVE
	RETAIN HERITAGE FRONTAGE OR 11m STREET WALL WITH A 6m SETBACK ABOVE (MANDATORY FOR INDIVIDUALLY SIGNIFICANT BUILDINGS AND HERITAGE STREETSAPES)
	8m STREET WALL WITH 4m SETBACK ABOVE
	9m STREET WALL
	11m STREET WALL WITH 5m SETBACK ABOVE (EXCEPT WITHIN 5M OF A HERITAGE PROPERTY, WHERE A 6m DISCRETIONARY SETBACK IS REQUIRED)
	11m STREET WALL WITH 3m SETBACK ABOVE (EXCEPT WITHIN 5M OF A HERITAGE PROPERTY, WHERE A 6m DISCRETIONARY SETBACK IS REQUIRED)
	15m STREET WALL WITH 3m SETBACK ABOVE (EXCEPT WITHIN 5M OF A HERITAGE PROPERTY, WHERE A 6m DISCRETIONARY SETBACK IS REQUIRED)

V3

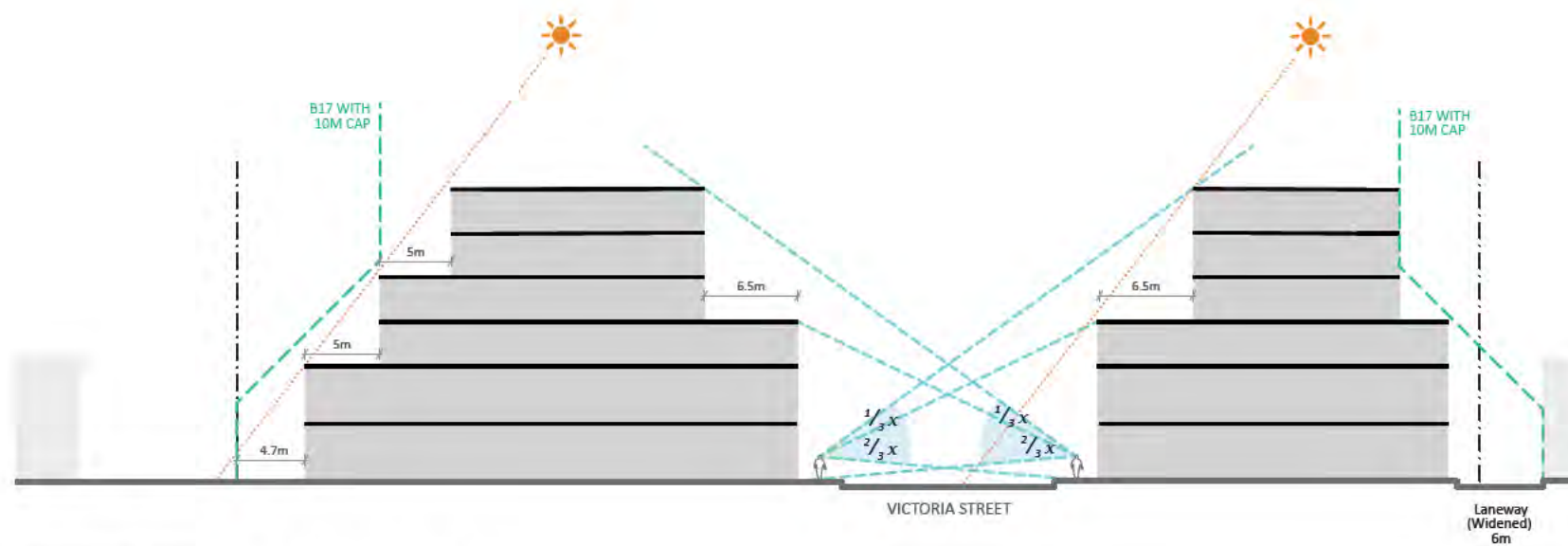


Figure 49. Precinct V3a: North-South Section

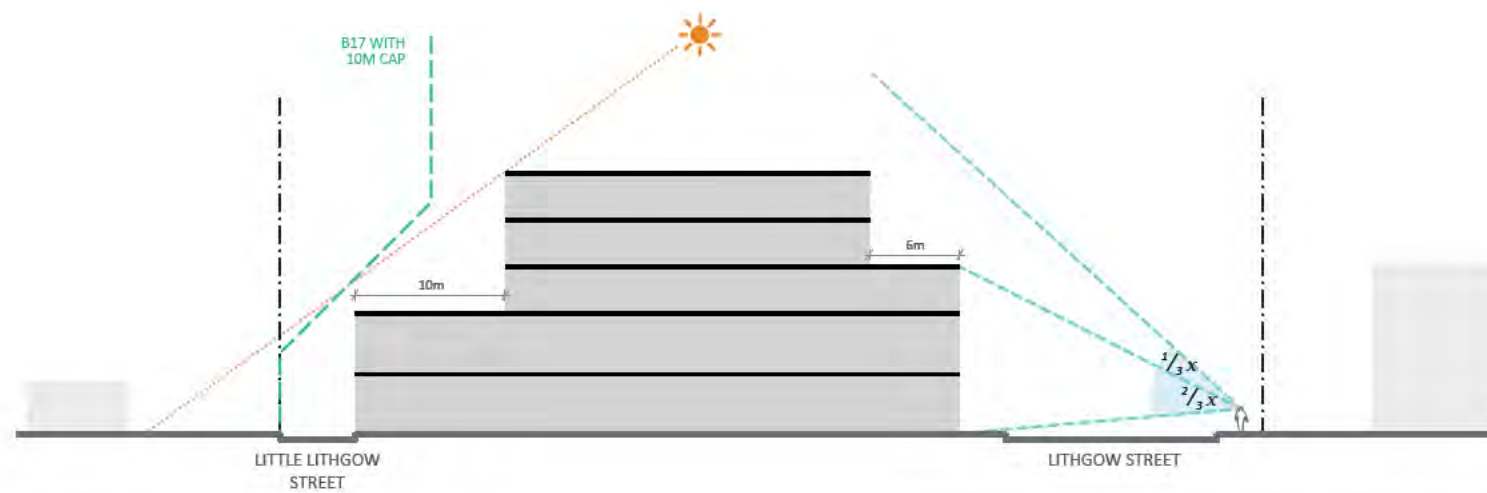


Figure 50. Precinct V3b: East-West Section

V4

Preferred character statement:

Precinct V4 will develop into a more robust built form that allows for growth and diversity.

Higher street walls accommodate uses and activities that generate vibrancy along Victoria Street whilst maintaining an attractive public realm environment.

Sub-precinct	Street wall height	Minimum upper level street setback	Maximum height*	Objectives
V4 - properties excluding GRZ land	Retain heritage frontage or 8-15m (2-4 storeys)	<ul style="list-style-type: none"> 6m within the HO (mandatory for individually significant buildings) 3m outside the HO (except within 5m of a heritage property, where a 6m discretionary setback is required) 	24.0m (6-7 storeys)	<ul style="list-style-type: none"> To ensure reasonable solar access to the southern footpath To maintain a sense of openness within the street To avoid visually overwhelming heritage fabric
V4 - GRZ (408-472 Victoria St)	9m		9m	(In accordance with zone provisions)

*Development in a heritage overlay must occupy no more than one quarter of the vertical angle defined by the whole building in view from a sight line of 1.7 metres. Development outside of a heritage overlay must not encroach within a 45 degree plane from the opposite side of the street.



V5

Preferred character statement:

Precinct V5 will continue to grow into a mixed use high density precinct with an active ground floor along Victoria Street and passive surveillance along Yarra River trail.

The concentration of height and density will visually mark the east end of Victoria Street.

Views of the Skipping Girl sign from the east will be maintained.

Sub-precinct	Street wall height	Minimum upper level street setback	Maximum height*	Objectives
V5	Retain heritage frontage or 11m (2-3 storeys)	<ul style="list-style-type: none">6m within the HO (mandatory for individually significant buildings)5m outside the HO (except within 5m of a heritage property, where a discretionary 6m is required)	In accordance with DDO1	<ul style="list-style-type: none">To maintain a view of the Skipping Girl sign from the eastTo avoid visually overwhelming heritage fabricTo reinforce the existing and emerging street wall character

* Development in a heritage overlay must occupy no more than one quarter of the vertical angle defined by the whole building in view from a sight line of 1.7 metres. Development outside of a heritage overlay must occupy no more than one third of the vertical angle.

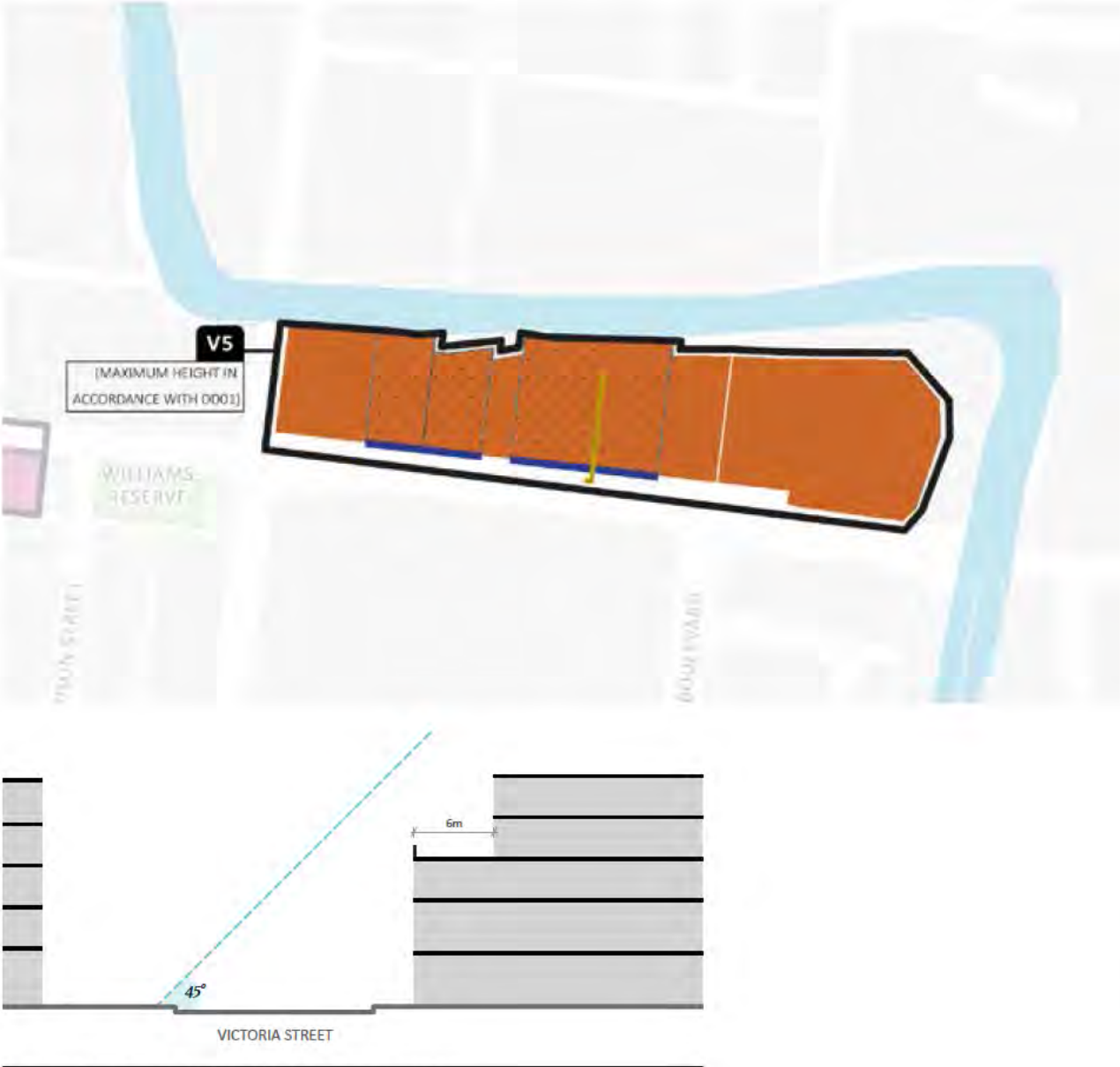


Figure 52. Precinct V5: North-South Section

PRECINCT BOUNDARY

EXISTING OPEN SPACE

KEY PRECINCT LANDMARKS

INDIVIDUALLY SIGNIFICANT HERITAGE BUILDINGS

PROPOSED NEW STREET

PRECINCT CODE
V5
23.5

PREFERRED MAXIMUM HEIGHT (m) (EXCLUDING ARCHITECTURAL FEATURES AND ROOFTOP SERVICES)

9.0 m (GRZ2)

11.0 m (3 storeys)

16.0 m (4 storeys)

18.0 m (5 storeys)

21.0 m (6 storeys)

24.0 m (7 storeys)

27.5 m (8 storeys)

33.5 m (10 storeys)

39.0 m (12 storeys)

THE HEIGHTS ARE DISCRETIONARY AND MUST BE APPLIED IN ACCORDANCE WITH THE SIGHT LINE DIAGRAM

MAXIMUM STREET WALL HEIGHTS & MINIMUM UPPER LEVEL STREET SETBACKS (ALL DISCRETIONARY EXCEPT WHERE NOTED)

RETAIN HERITAGE FRONTAGE OR 5m STREET WALL WITH A MANDATORY 6m SETBACK ABOVE

RETAIN HERITAGE FRONTAGE OR 11m STREET WALL WITH A 6m SETBACK ABOVE (MANDATORY FOR INDIVIDUALLY SIGNIFICANT BUILDINGS AND HERITAGE STREETSCAPES)

8m STREET WALL WITH 4m SETBACK ABOVE

9m STREET WALL

11m STREET WALL WITH 5m SETBACK ABOVE (EXCEPT WITHIN 5M OF A HERITAGE PROPERTY, WHERE A 6m DISCRETIONARY SETBACK IS REQUIRED)

11m STREET WALL WITH 3m SETBACK ABOVE (EXCEPT WITHIN 5M OF A HERITAGE PROPERTY, WHERE A 6m DISCRETIONARY SETBACK IS REQUIRED)

15m STREET WALL WITH 3m SETBACK ABOVE (EXCEPT WITHIN 5M OF A HERITAGE PROPERTY, WHERE A 6m DISCRETIONARY SETBACK IS REQUIRED)

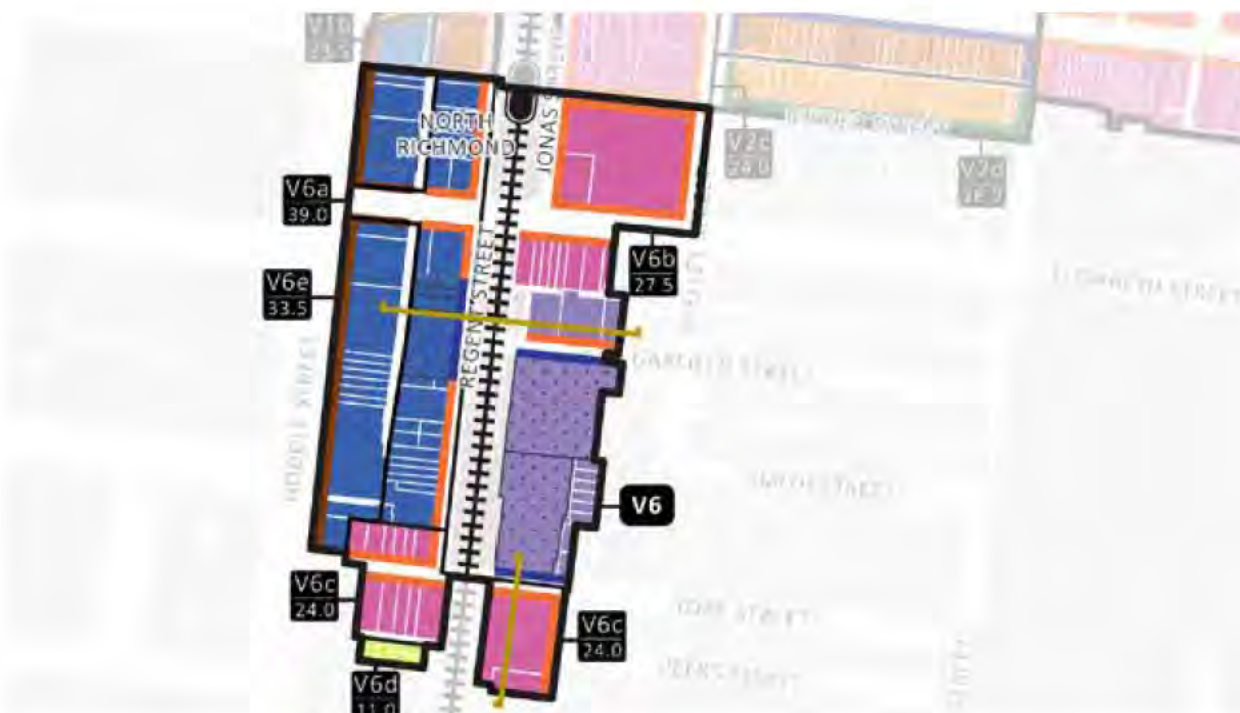
V6

Sub-precinct	Street Wall Height	Minimum Upper Level Setback	Maximum height*	Objectives
V6a	Retain heritage frontage or 11m (2-3 storeys)	<ul style="list-style-type: none"> 6m within the HO (mandatory for individually significant buildings) 	39m (10-12 storeys)	<ul style="list-style-type: none"> To recognise public transport accessibility To avoid visually overwhelming heritage fabric
V6b	Retain heritage frontage or 11m (2-3 storeys)	<ul style="list-style-type: none"> 5m outside the HO (except within 5m of a heritage property, where a discretionary 6m is required) 	27.5m (7-8 storeys)	<ul style="list-style-type: none"> To provide a transition between taller forms and the adjacent low-rise residential neighbourhood To maintain a sense of openness within the street
V6c	11m (2-3 storeys)		24m (6-7 storeys)	
V6d			11m (3 storeys)	
V6e	15m (4 storeys)	<ul style="list-style-type: none"> 6m within the HO (mandatory for individually significant buildings) 3m outside the HO (except within 5m of a heritage property, where a discretionary 6m is required) 		

Preferred character statement:

This precinct will transform into a corridor or taller forms to recognise its adjacency to North Richmond Station.

Built form step down to residential interfaces to protect their amenity and character.



* Development in a heritage overlay must occupy no more than one quarter of the vertical angle defined by the whole building in view from a sight line of 1.7 metres. Development outside of a heritage overlay must occupy no more than one third of the vertical angle unless located as follows:

- Hoddle, Regent and Elizabeth Street have no sight line.
- Development in York Street must not encroach within a 45 degree plane from the opposite side of the street.

PRECINCT BOUNDARY

EXISTING OPEN SPACE

KEY PRECINCT LANDMARKS

INDIVIDUALLY SIGNIFICANT HERITAGE BUILDINGS

PROPOSED NEW STREET

PRECINCT CODE

PREFERRED MAXIMUM HEIGHT (m) (EXCLUDING ARCHITECTURAL FEATURES AND ROOFTOP SERVICES)

9.0 m (GRZ2)

11.0 m (3 storeys)

16.0 m (4 storeys)

18.0 m (5 storeys)

21.0 m (6 storeys)

24.0 m (7 storeys)

27.5 m (8 storeys)

33.5 m (10 storeys)

39.0 m (12 storeys)

THE HEIGHTS ARE DISCRETIOARY AND MUST BE APPLIED IN ACCORDANCE WITH THE SIGHT LINE DIAGRAM

MAXIMUM STREET WALL HEIGHTS & MINIMUM UPPER LEVEL STREET SETBACKS (ALL DISCRETIONARY EXCEPT WHERE NOTED)

RETAIN HERITAGE FRONTAGE OR 5m STREET WALL WITH A MANDATORY 6m SETBACK ABOVE

RETAIN HERITAGE FRONTAGE OR 11m STREET WALL WITH A 6m SETBACK ABOVE (MANDATORY FOR INDIVIDUALLY SIGNIFICANT BUILDINGS AND HERITAGE STREETSCAPES)

8m STREET WALL WITH 4m SETBACK ABOVE

9m STREET WALL

11m STREET WALL WITH 5m SETBACK ABOVE (EXCEPT WITHIN 5M OF A HERITAGE PROPERTY, WHERE A 6m DISCRETIONARY SETBACK IS REQUIRED)

11m STREET WALL WITH 3m SETBACK ABOVE (EXCEPT WITHIN 5M OF A HERITAGE PROPERTY, WHERE A 6m DISCRETIONARY SETBACK IS REQUIRED)

15m STREET WALL WITH 3m SETBACK ABOVE (EXCEPT WITHIN 5M OF A HERITAGE PROPERTY, WHERE A 6m DISCRETIONARY SETBACK IS REQUIRED)

PREFERRED FRONT SETBACKS

6m

V6

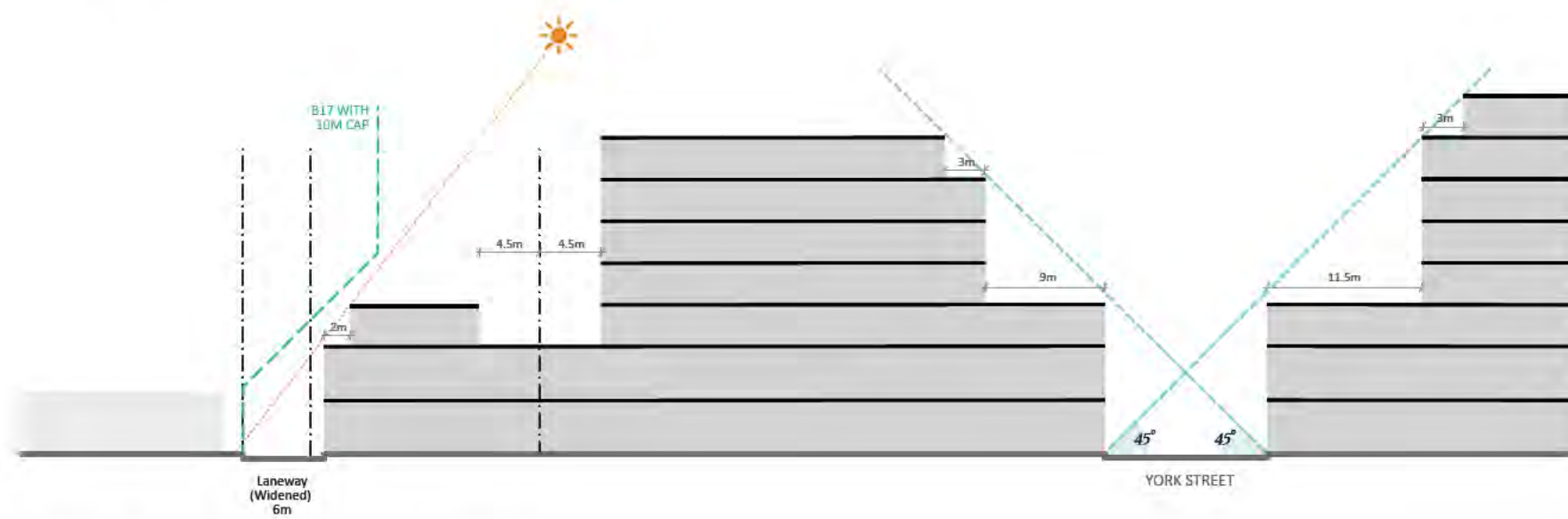


Figure 54. Precinct V6b and 6c: North-South Section

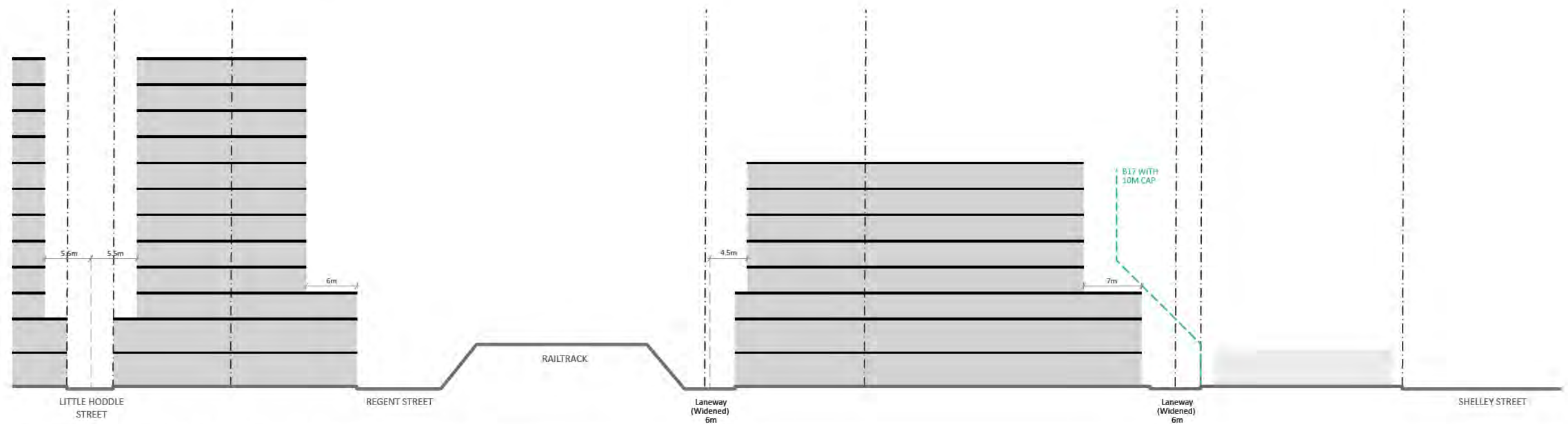


Figure 53. Precinct V6b and 6e: East-West Section

5.4 Built Form Guidelines - Bridge Road

B1

Preferred Character Statement

Precinct B1 will retain its significant heritage streetscape.

Buildings would have a fine grain and low scale street wall, and heritage buildings would be retained and enhanced as key features of the street.

Additional height above the street wall will be limited in height to maintain views of Pelaco sign from Tram Stop 13 on Wellington Parade and the north-western corner of the intersection of Wellington Parade and Hoddle Street, and adopt greater upper level setbacks to respect heritage streetscape.

Sub-precinct	Street wall height	Minimum upper level street setback	Maximum height	Objectives
B1	Retain heritage frontage or 11m (2-3 storeys) (mandatory)	6m (mandatory)	14.5m (4 storeys)	<ul style="list-style-type: none">To respect the significant heritage streetscapeTo avoid visually overwhelming the street wall, particularly heritage fabricTo maintain views of the Pelaco sign from Wellington Pde

* Development in a heritage overlay must occupy no more than one quarter of the vertical angle defined by the whole building in view from a sight line of 1.7 metres.

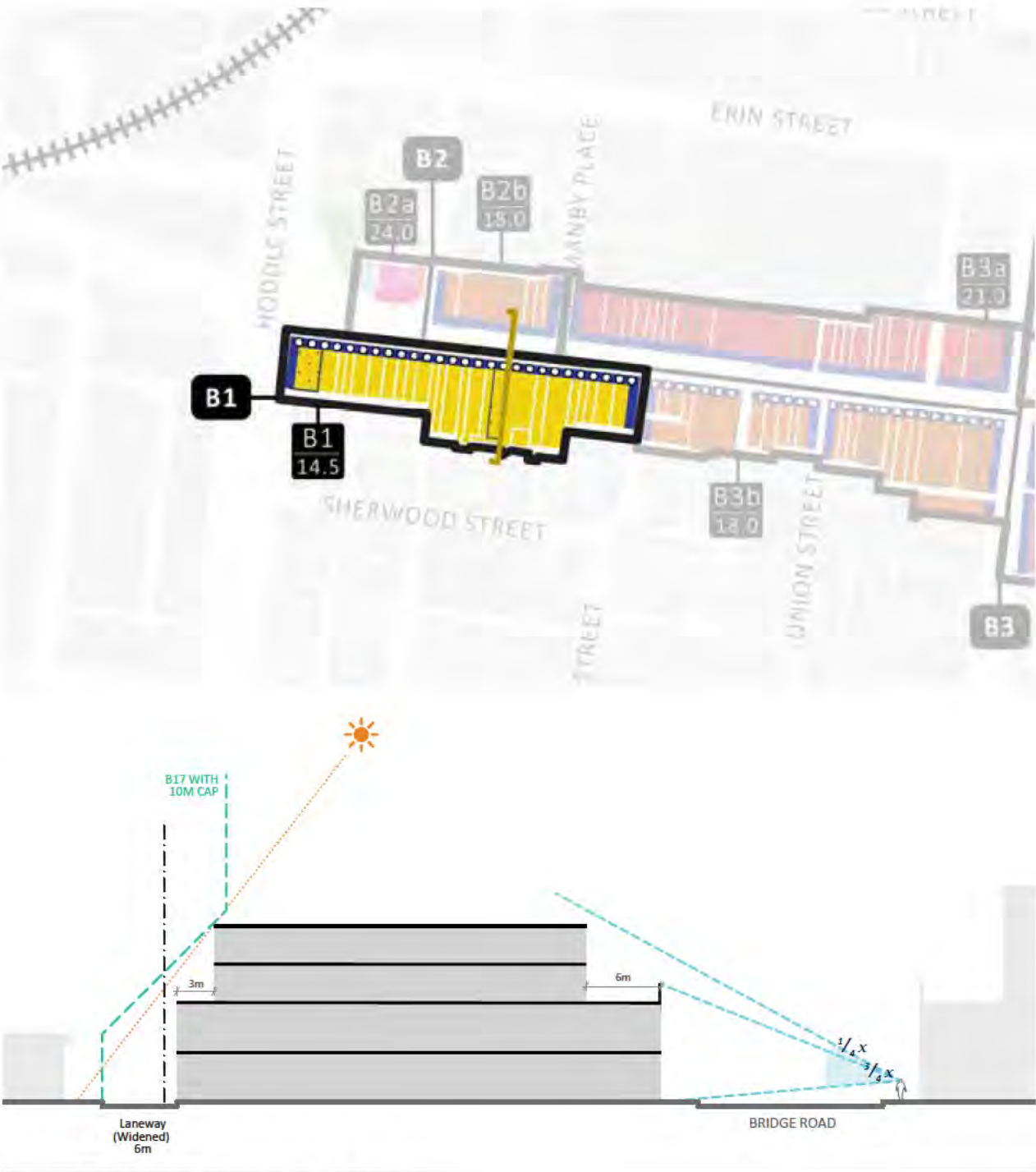


Figure 55. Precinct B1: North-South Section

B2

Sub-precinct	Street wall height	Minimum upper level street setback	Maximum height*	Objectives
B2a	8-15m to Bridge Rd 8-11m to Moorhouse St	5m to Bridge Rd 5m to Moorhouse St	24m (7 storeys)	<ul style="list-style-type: none"> To mark the western entry to the Bridge Rd Activity Centre To ensure reasonable solar access to the southern footpath To respect significant heritage streetscapes To maintain the existing street wall character To avoid visually overwhelming the street wall, particularly heritage fabric To provide a transition between taller forms on Bridge Road and adjacent low-rise residential neighbourhood
B2b	Retain heritage frontage or 8-11m (2-3 storeys)	6m (mandatory)	18.0m (4-5 storeys)	

*Development in a heritage overlay must occupy no more than one quarter of the vertical angle defined by the whole building in view from a sight line of 1.7 metres. This excludes properties west of Moorhouse Street.

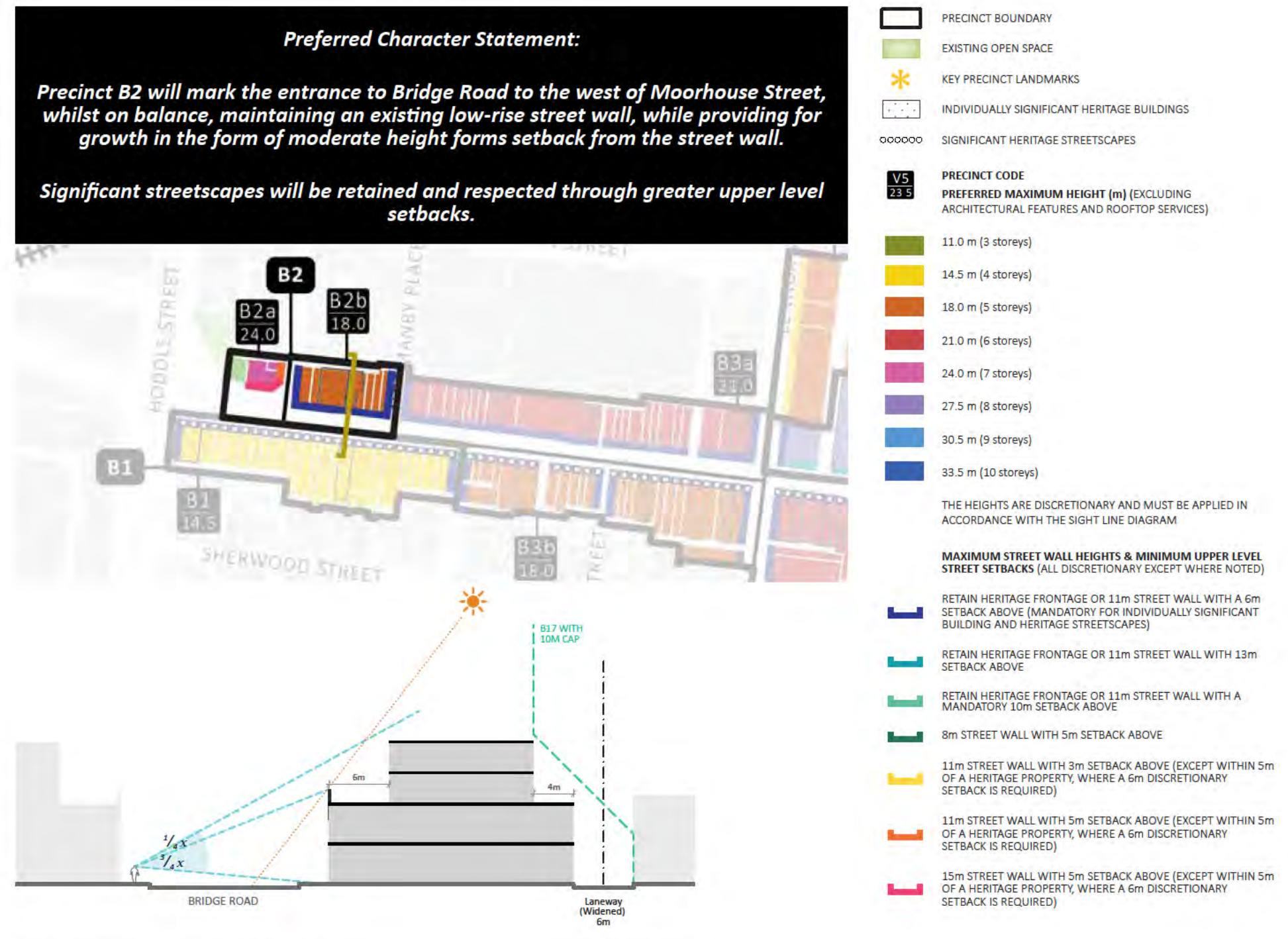


Figure 56. Precinct B2b: North-South Section

B3

Sub-precinct	Street wall height	Minimum upper level street setback	Maximum height*	Objectives
B3a	Retain heritage frontage or 8-11m (2-3 storeys)	6m (mandatory for individually significant buildings and significant streetscapes)	21.0m (5-6 storeys)	<ul style="list-style-type: none"> To respect significant heritage streetscapes To maintain the existing street wall character
B3b	Retain heritage frontage or 8-11m (2-3 storeys) (mandatory)	6m (mandatory for individually significant buildings and significant streetscapes)	18.0m (4-5 storeys)	<ul style="list-style-type: none"> To avoid visually overwhelming the street wall, particularly heritage fabric To ensure reasonable solar access to the southern footpath To maintain a sense of openness within the street

* Development in a heritage overlay must occupy no more than one quarter of the vertical angle defined by the whole building in view from a sight line of 1.7 metres.

Preferred Character Statement:

Precinct B3 will maintain an existing low-rise street wall, while providing for growth in the form of moderate height forms setback from the street wall.

Significant streetscapes will be retained and respected through greater upper level setbacks.

Views to St Ignatius Church from the Tram Stop on Church Street (at Victoria Street), the north east corner of Bridge Road and Church Street, and from Citizens Park (entrance from Highett and Church and Gleadell Street intersection and central entry from Highett Street) will be protected)



	PRECINCT BOUNDARY
	EXISTING OPEN SPACE
	KEY PRECINCT LANDMARKS
	INDIVIDUALLY SIGNIFICANT HERITAGE BUILDINGS
	SIGNIFICANT HERITAGE STREETSCAPES
	PRECINCT CODE PREFERRED MAXIMUM HEIGHT (m) (EXCLUDING ARCHITECTURAL FEATURES AND ROOFTOP SERVICES)
	11.0 m (3 storeys)
	14.5 m (4 storeys)
	18.0 m (5 storeys)
	21.0 m (6 storeys)
	24.0 m (7 storeys)
	27.5 m (8 storeys)
	30.5 m (9 storeys)
	33.5 m (10 storeys)
THE HEIGHTS ARE DISCRETIONARY AND MUST BE APPLIED IN ACCORDANCE WITH THE SIGHT LINE DIAGRAM	
MAXIMUM STREET WALL HEIGHTS & MINIMUM UPPER LEVEL STREET SETBACKS (ALL DISCRETIONARY EXCEPT WHERE NOTED)	
	RETAIN HERITAGE FRONTAGE OR 11m STREET WALL WITH A 6m SETBACK ABOVE (MANDATORY FOR INDIVIDUALLY SIGNIFICANT BUILDING AND HERITAGE STREETSCAPES)
	RETAIN HERITAGE FRONTAGE OR 11m STREET WALL WITH 13m SETBACK ABOVE
	RETAIN HERITAGE FRONTAGE OR 11m STREET WALL WITH A MANDATORY 10m SETBACK ABOVE
	8m STREET WALL WITH 5m SETBACK ABOVE
	11m STREET WALL WITH 3m SETBACK ABOVE (EXCEPT WITHIN 5m OF A HERITAGE PROPERTY, WHERE A 6m DISCRETIONARY SETBACK IS REQUIRED)
	11m STREET WALL WITH 5m SETBACK ABOVE (EXCEPT WITHIN 5m OF A HERITAGE PROPERTY, WHERE A 6m DISCRETIONARY SETBACK IS REQUIRED)
	15m STREET WALL WITH 5m SETBACK ABOVE (EXCEPT WITHIN 5m OF A HERITAGE PROPERTY, WHERE A 6m DISCRETIONARY SETBACK IS REQUIRED)

B3

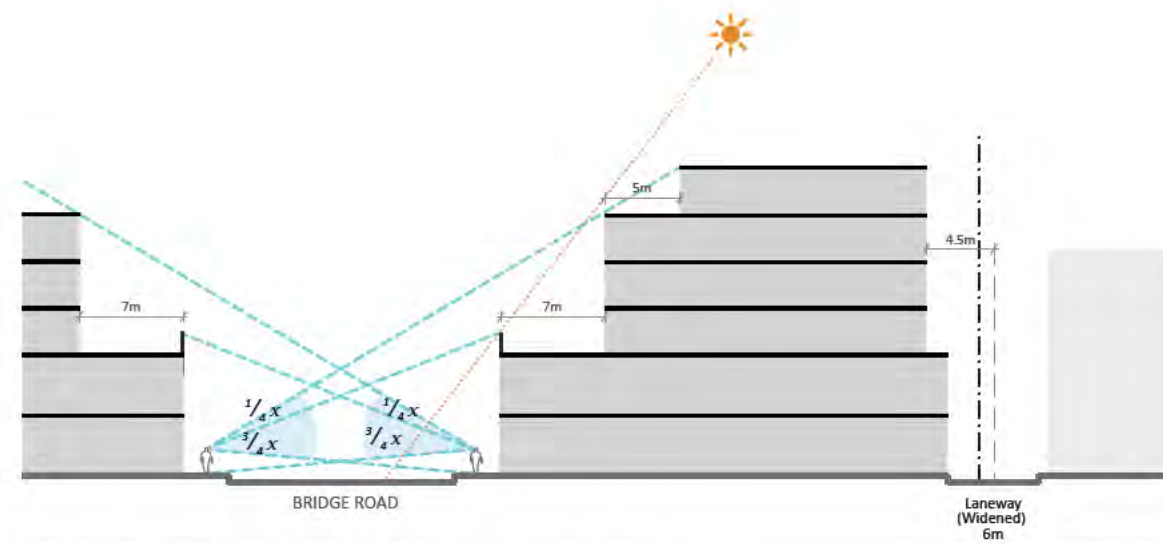


Figure 57. Precinct B3a and 3b: North-South Section

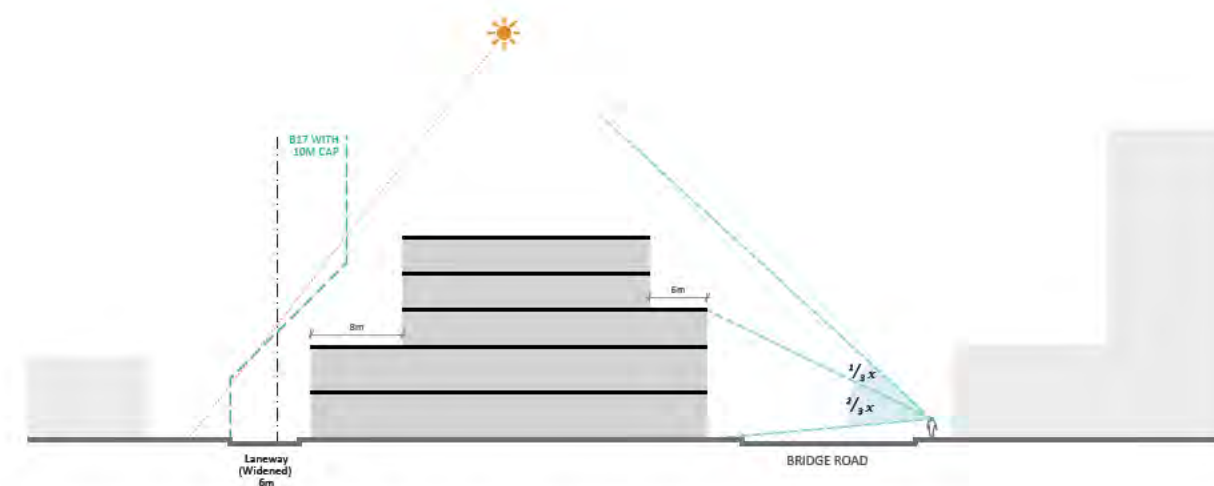


Figure 58. Precinct B3a: North-South Section

B4

Preferred Character Statement:

Precinct B3 will maintain an existing low-rise street wall, while providing for growth in the form of moderate height forms setback from the street wall.

Views to St Ignatius Church from the Tram stop on Church Street (at Victoria Street) will be protected. Views to Richmond Town Hall from the south west corner of Bridge Road and Lennox Street will be protected.

Sub-precinct	Street wall height	Minimum upper level street setback	Maximum height*	Objectives
B4	Retain heritage frontage or 8-11m (2-3 storeys) (mandatory)	<ul style="list-style-type: none">13m on Bridge Road3 metres on Church Street and Bosisto Street (except within 5m of a heritage property, where a 6m discretionary setback is required)	27.5m (8-storeys)	<ul style="list-style-type: none">To maintain the existing street wall characterTo reinforce the emerging upper form characterTo ensure reasonable solar access to the southern footpathTo maintain a sense of openness within the street

* Development in a heritage overlay must occupy no more than one quarter of the vertical angle defined by the whole building in view from a sight line of 1.7 metres.



Figure 59. Precinct B4: North-South Section

B5

Preferred Character Statement:

This precinct will retain its significant heritage streetscape, particularly in relation to the southern side of Bridge Road and its uniformity.

Additional height above the street wall will be limited in height to maintain views of the Richmond Town Hall from within Bridge Road and St Ignatius Church from Citizens Park, and adopt greater upper level setbacks to respect the heritage streetscape.

Views to Richmond Town Hall from the south west corner of Bridge Road and Lennox Street, south east corner of Burnley Street and Bridge Road and Citizens Park (entrance from Highett and Church and Gleadell Street intersection and Central Entry from Highett Street) will be protected.

Views to St Ignatius Church from the north east corner of Bridge Road and Church Street and from Citizens Park (entrance from Highett and Church and Gleadell Street intersection and Central Entry from Highett Street) will be protected.

Sub-precinct	Street wall height	Minimum upper level street setback	Maximum height*	Objectives
B5a	Retain heritage frontage or 8-11m (2-3 storeys)	6m (mandatory)	18.0m (4-5 storeys)	<ul style="list-style-type: none">• To maintain views of the Richmond Town Hall from Bridge Rd• To maintain views of St Ignatius Church from Citizens Park• To respect the heritage values of Richmond Town Hall• To respect significant heritage streetscapes• To maintain the existing street wall character• To maintain a sense of openness within the street• To avoid visually overwhelming the street wall, particularly heritage fabric
B5b	8-11m (2-3 storeys)	3m (except within 5 metres of a heritage property, where a 6m discretionary setback is required)	27.5m (7-8 storeys)	
B5c	Retain heritage frontage or 8-11m (2-3 storeys)	6m (mandatory)	18.0m (4-5 storeys)	
B5d	Retain heritage frontage or 8-11m (2-3 storeys)	<ul style="list-style-type: none">• 6m within the HO (mandatory for individually significant buildings)	18.0m (4-5 storeys)	
B5e	Retain heritage frontage or 8-11m (2-3 storeys) (mandatory)	<ul style="list-style-type: none">• 5m outside the HO (except within 5m of a heritage property, where a discretionary 6m is required)	21.0m (5-6 storeys)	
B5f	8-11m (2-3 storeys)	5m	21.0 (5-6 storeys)	

*** Development in a heritage overlay must occupy no more than one quarter of the vertical angle defined by the whole building in view from a sight line of 1.7 metres. Development outside of a heritage overlay must occupy no more than one third of the vertical angle.**

B5



- PRECINCT BOUNDARY
- EXISTING OPEN SPACE
- KEY PRECINCT LANDMARKS
- INDIVIDUALLY SIGNIFICANT HERITAGE BUILDINGS
- SIGNIFICANT HERITAGE STREETSCAPES
- PRECINCT CODE
V5
23.5
- PREFERRED MAXIMUM HEIGHT (m) (EXCLUDING ARCHITECTURAL FEATURES AND ROOFTOP SERVICES)

- 11.0 m (3 storeys)
- 14.5 m (4 storeys)
- 18.0 m (5 storeys)
- 21.0 m (6 storeys)
- 24.0 m (7 storeys)
- 27.5 m (8 storeys)
- 30.5 m (9 storeys)
- 33.5 m (10 storeys)

THE HEIGHTS ARE DISCRETIONARY AND MUST BE APPLIED IN ACCORDANCE WITH THE SIGHT LINE DIAGRAM

MAXIMUM STREET WALL HEIGHTS & MINIMUM UPPER LEVEL STREET SETBACKS (ALL DISCRETIONARY EXCEPT WHERE NOTED)

- RETAIN HERITAGE FRONTAGE OR 11m STREET WALL WITH A 6m SETBACK ABOVE (MANDATORY FOR INDIVIDUALLY SIGNIFICANT BUILDING AND HERITAGE STREETSCAPES)
- RETAIN HERITAGE FRONTAGE OR 11m STREET WALL WITH 13m SETBACK ABOVE
- RETAIN HERITAGE FRONTAGE OR 11m STREET WALL WITH A MANDATORY 10m SETBACK ABOVE
- 8m STREET WALL WITH 5m SETBACK ABOVE
- 11m STREET WALL WITH 3m SETBACK ABOVE (EXCEPT WITHIN 5m OF A HERITAGE PROPERTY, WHERE A 6m DISCRETIONARY SETBACK IS REQUIRED)
- 11m STREET WALL WITH 5m SETBACK ABOVE (EXCEPT WITHIN 5m OF A HERITAGE PROPERTY, WHERE A 6m DISCRETIONARY SETBACK IS REQUIRED)
- 15m STREET WALL WITH 5m SETBACK ABOVE (EXCEPT WITHIN 5m OF A HERITAGE PROPERTY, WHERE A 6m DISCRETIONARY SETBACK IS REQUIRED)

PREFERRED FRONT SETBACKS

- 2m
- 5m

B5

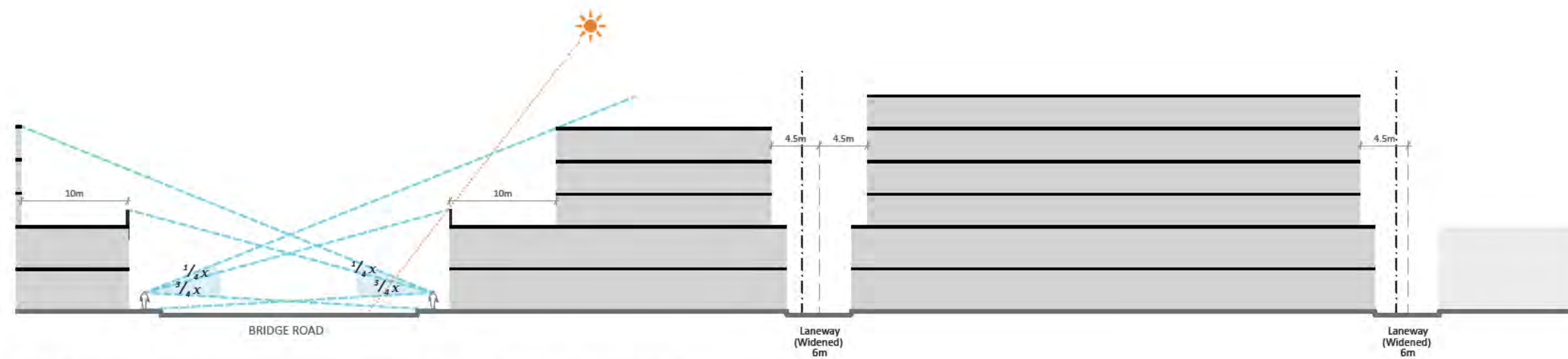


Figure 60. Precinct B5a, 5b and 5c: North-South Section through BBQ Galore site

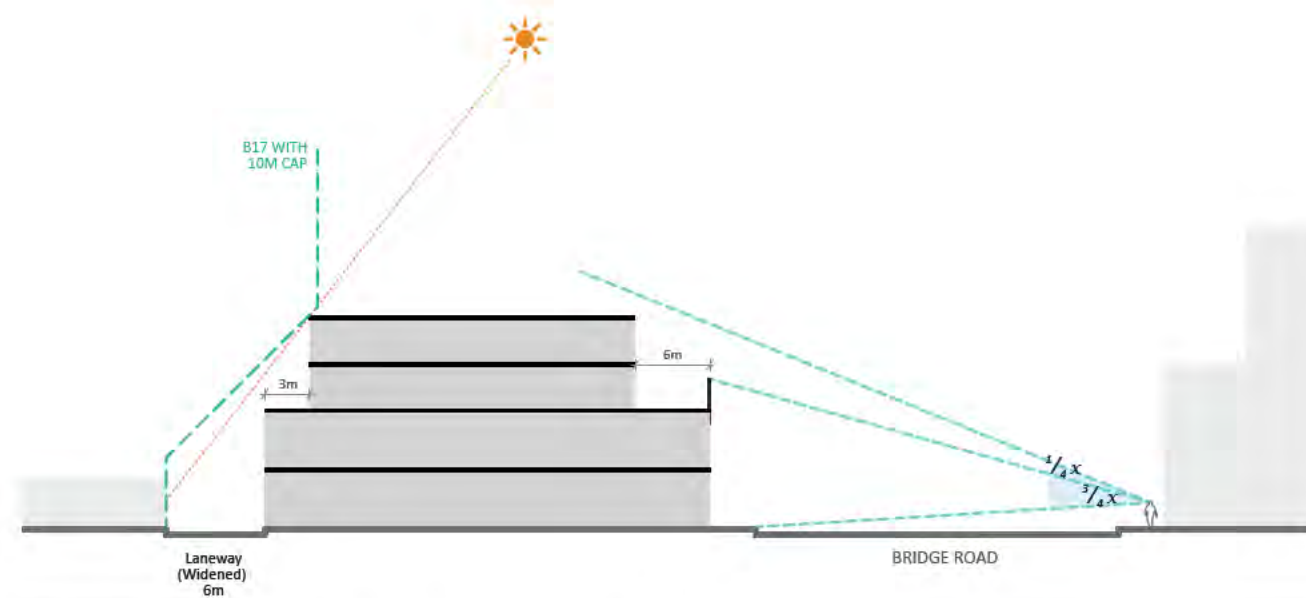


Figure 61. Precinct B5d (Heritage): North-South Section

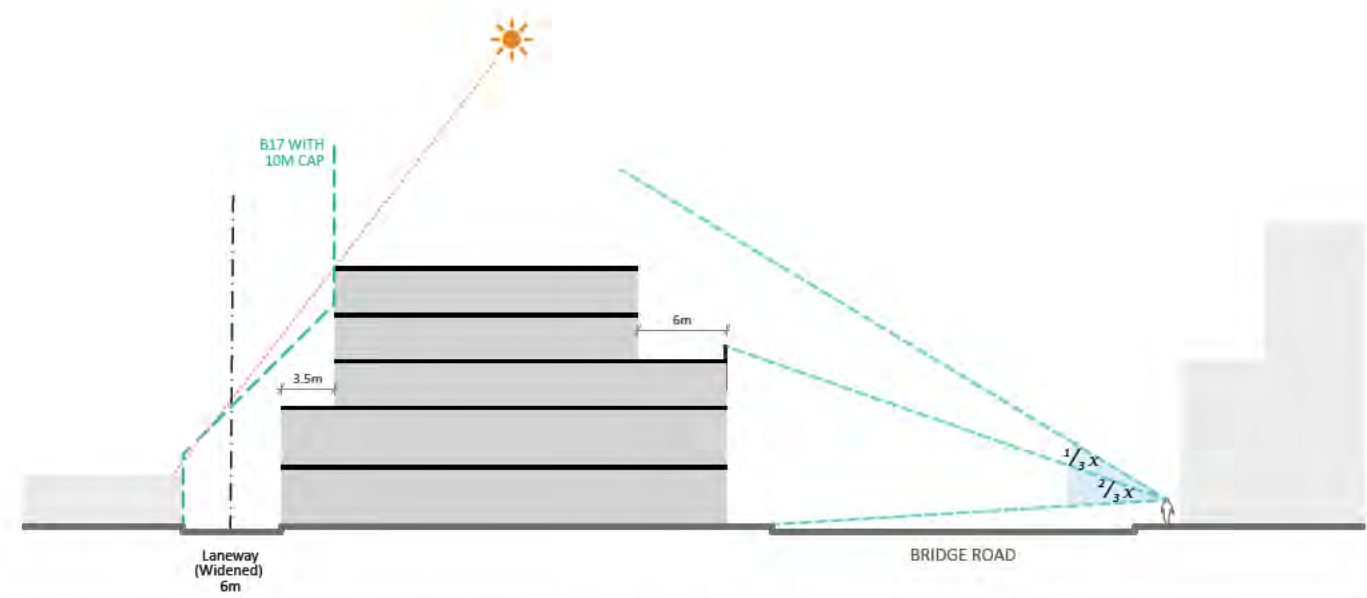


Figure 62. Precinct B5d (Non-Heritage): North-South Section



B6

Preferred character statement:

Precinct B6 will develop into a robust medium-rise developments supporting various retail, commercial and residential uses.

Buildings are set back to protect access to amenity, both for pedestrians on Bridge Road and surrounding neighbourhood.

The greatest height concentration will be on the northeastern side, where there is minimal presence of heritage overlays and residential interface on the south.

West of Gardner Street will maintain the existing low-rise street wall.

Sub-precinct	Street wall height	Minimum upper level street setback	Maximum height*	Objectives
B6a	Retain heritage frontage or 8-11m (2-3 storeys) (mandatory)	<ul style="list-style-type: none">6m within the HO (mandatory for individually significant buildings)5m outside the HO (except within 5m of a heritage property, where a discretionary 6m is required)	20.5m (5-6 storeys)	<ul style="list-style-type: none">To maintain the existing street wall characterTo avoid visually overwhelming the street wallTo ensure reasonable solar access to the southern footpathTo maintain a sense of openness within the streetTo protect the amenity of the low-rise neighbourhood to the northTo avoid visually overwhelming heritage fabric
B6b	Retain heritage frontage or 8-11m (2-3 storeys)		18.0m (4-5 storeys)	
B6c	8-15m (2-4 storeys) fronting Bridge Rd and 8-11m (2-3 storeys) fronting Palmer St		27.5m (7-8 storeys)	
B6d	Retain heritage frontage or 8-15m (2-4 storeys)		27m (7-8 storeys)	
B6e	Retain heritage frontage or up to 11m (2-3 storeys)	<ul style="list-style-type: none">13m within the HO5m outside the HO (except within 5m of a heritage property, where a discretionary 6m is required)	11m	

B6



Figure 63. Precinct B6c: North-South Section

B7

Sub-precinct	Street wall height	Minimum upper level street setback	Maximum height*	Objectives
B7a	8-11m	3m (except within 5m of a heritage property, where a 6m discretionary setback is required)	21m (5-6 storeys)	<ul style="list-style-type: none">To provide a transition between taller forms on Bridge Rd and the low-rise residential neighbourhood to the north
B7b	8-11m	3m (except within 5m of a heritage property, where a 6m discretionary setback is required)	14.5m (4 storeys)	<ul style="list-style-type: none">To maintain the existing street wall character

* Development in a heritage overlay must occupy no more than one quarter of the vertical angle defined by the whole building in view from a sight line of 1.7 metres. Development outside of a heritage overlay must occupy no more than one third of the vertical angle unless located as follows:

- Hull Street has sight line

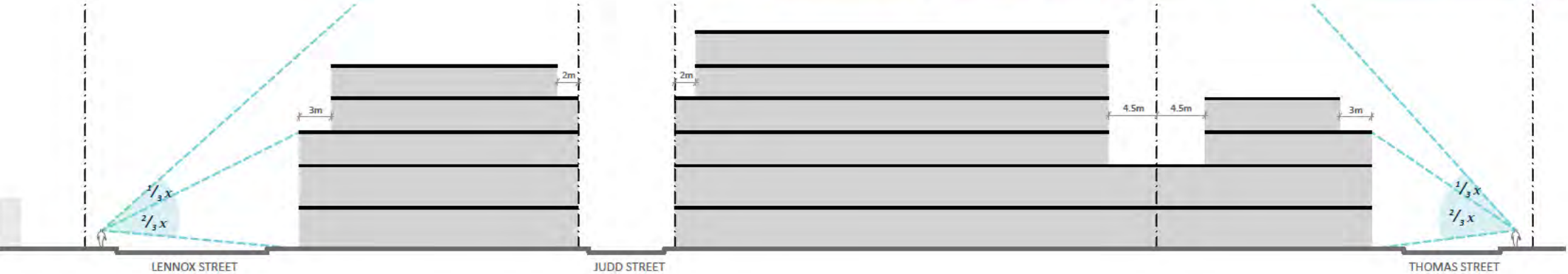


Figure 64. Precinct B7a and 7b: East-West Section

Preferred character statement:

Precinct B7 will redevelop to slightly greater height to recognise its well-served location while providing a transition in height between moderate height forms on Bridge Road and the residential neighbourhood to the north.

Significant heritage properties on Hull Street will be retained.



PRECINCT BOUNDARY

EXISTING OPEN SPACE

KEY PRECINCT LANDMARKS

INDIVIDUALLY SIGNIFICANT HERITAGE BUILDINGS

SIGNIFICANT HERITAGE STREETS

PRECINCT CODE

PREFERRED MAXIMUM HEIGHT (m) (EXCLUDING ARCHITECTURAL FEATURES AND ROOFTOP SERVICES)

11.0 m (3 storeys)

14.5 m (4 storeys)

18.0 m (5 storeys)

21.0 m (6 storeys)

24.0 m (7 storeys)

27.5 m (8 storeys)

30.5 m (9 storeys)

33.5 m (10 storeys)

THE HEIGHTS ARE DISCRETIONARY AND MUST BE APPLIED IN ACCORDANCE WITH THE SIGHT LINE DIAGRAM

MAXIMUM STREET WALL HEIGHTS & MINIMUM UPPER LEVEL STREET SETBACKS (ALL DISCRETIONARY EXCEPT WHERE NOTED)

RETAIN HERITAGE FRONTAGE OR 11m STREET WALL WITH A 6m SETBACK ABOVE (MANDATORY FOR INDIVIDUALLY SIGNIFICANT BUILDING AND HERITAGE STREETS)

RETAIN HERITAGE FRONTAGE OR 11m STREET WALL WITH 13m SETBACK ABOVE

RETAIN HERITAGE FRONTAGE OR 11m STREET WALL WITH A MANDATORY 10m SETBACK ABOVE

8m STREET WALL WITH 5m SETBACK ABOVE

11m STREET WALL WITH 3m SETBACK ABOVE (EXCEPT WITHIN 5m OF A HERITAGE PROPERTY, WHERE A 6m DISCRETIONARY SETBACK IS REQUIRED)

11m STREET WALL WITH 5m SETBACK ABOVE (EXCEPT WITHIN 5m OF A HERITAGE PROPERTY, WHERE A 6m DISCRETIONARY SETBACK IS REQUIRED)

15m STREET WALL WITH 5m SETBACK ABOVE (EXCEPT WITHIN 5m OF A HERITAGE PROPERTY, WHERE A 6m DISCRETIONARY SETBACK IS REQUIRED)

B8

Sub-precinct	Street setback	Street wall height	Minimum upper level street setback	Maximum height*	Objectives
B8a	5m to Bridge Road and 2m to Stawell Street	8-11m (2-3 storeys)	5m	21.5m (6 storeys)	<ul style="list-style-type: none">To protect the trees along the Bridge Rd frontageTo respect significant heritage fabricTo avoid visually overwhelming the heritage fabricTo maintain a sense of openness within the streetTo respect the character and amenity of the adjacent low-rise neighbourhood
B8b	2m	8m (2 storeys)	5m	18m (5 storeys)	
B8c	-	Retain heritage frontage or 8-11m (2-3 storeys) <ul style="list-style-type: none">6m within the HO (mandatory for individually significant buildings)5m outside the HO (except within 5m of a heritage property, where a discretionary 6m is required)		18m (5-6 storeys)	

* Development in a heritage overlay must occupy no more than one quarter of the vertical angle defined by the whole building in view from a sight line of 1.7 metres. Development outside of a heritage overlay must occupy no more than one third of the vertical angle.

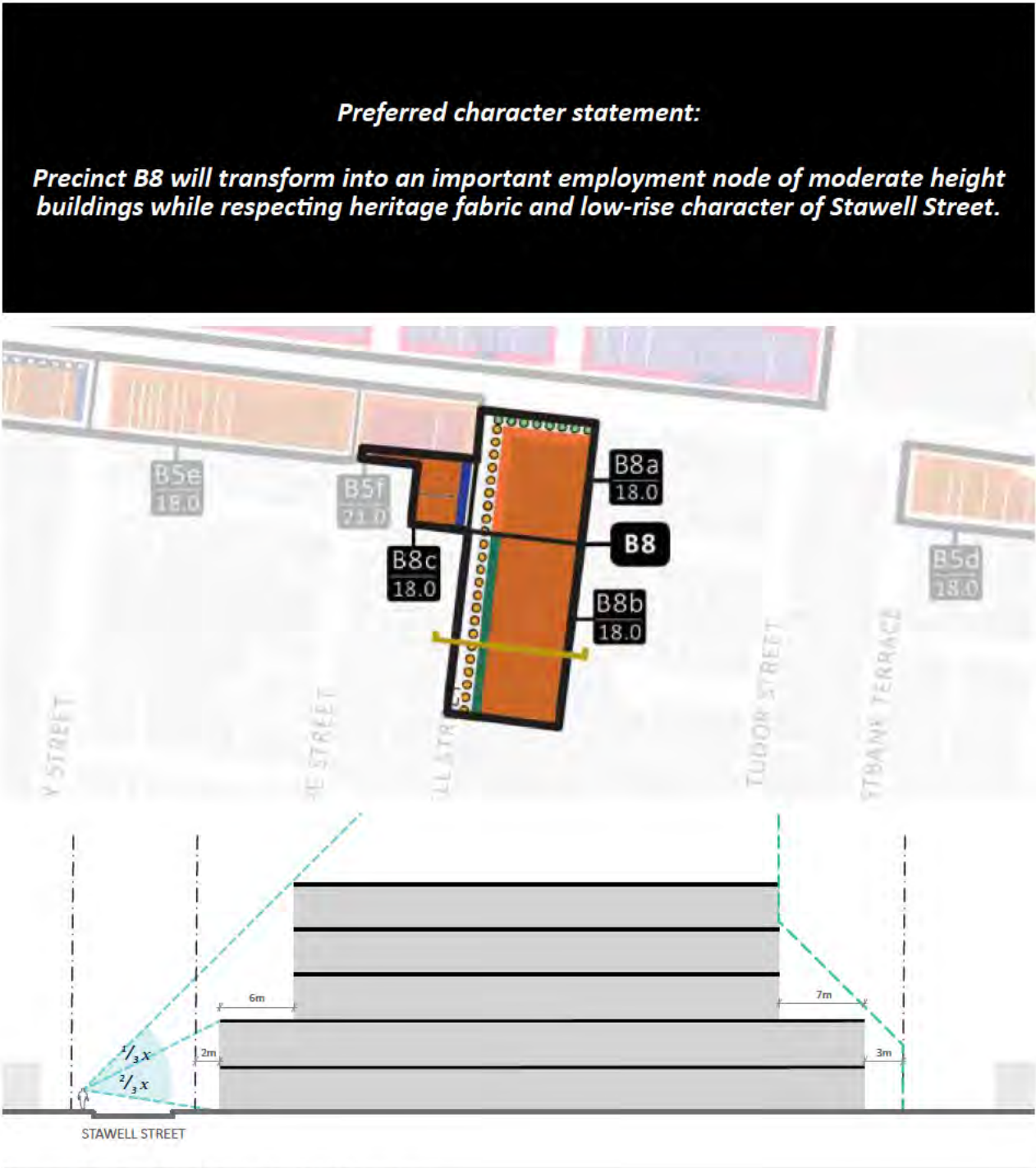


Figure 65. Precinct B8b: East-West Section

PRECINCT BOUNDARY

EXISTING OPEN SPACE

KEY PRECINCT LANDMARKS

INDIVIDUALLY SIGNIFICANT HERITAGE BUILDINGS

SIGNIFICANT HERITAGE STREETSCAPES

V5

23.5

PRECINCT CODE

PREFERRED MAXIMUM HEIGHT (m) (EXCLUDING ARCHITECTURAL FEATURES AND ROOFTOP SERVICES)

11.0 m (3 storeys)

14.5 m (4 storeys)

18.0 m (5 storeys)

21.0 m (6 storeys)

24.0 m (7 storeys)

27.5 m (8 storeys)

30.5 m (9 storeys)

33.5 m (10 storeys)

THE HEIGHTS ARE DISCRETIONARY AND MUST BE APPLIED IN ACCORDANCE WITH THE SIGHT LINE DIAGRAM

MAXIMUM STREET WALL HEIGHTS & MINIMUM UPPER LEVEL STREET SETBACKS (ALL DISCRETIONARY EXCEPT WHERE NOTED)

RETAIN HERITAGE FRONTAGE OR 11m STREET WALL WITH A 6m SETBACK ABOVE (MANDATORY FOR INDIVIDUALLY SIGNIFICANT BUILDING AND HERITAGE STREETSCAPES)

RETAIN HERITAGE FRONTAGE OR 11m STREET WALL WITH 13m SETBACK ABOVE

RETAIN HERITAGE FRONTAGE OR 11m STREET WALL WITH A MANDATORY 10m SETBACK ABOVE

8m STREET WALL WITH 5m SETBACK ABOVE

11m STREET WALL WITH 3m SETBACK ABOVE (EXCEPT WITHIN 5m OF A HERITAGE PROPERTY, WHERE A 6m DISCRETIONARY SETBACK IS REQUIRED)

11m STREET WALL WITH 5m SETBACK ABOVE (EXCEPT WITHIN 5m OF A HERITAGE PROPERTY, WHERE A 6m DISCRETIONARY SETBACK IS REQUIRED)

15m STREET WALL WITH 5m SETBACK ABOVE (EXCEPT WITHIN 5m OF A HERITAGE PROPERTY, WHERE A 6m DISCRETIONARY SETBACK IS REQUIRED)

PREFFERED FRONT SETBACKS

2m

5m

5.5 General Guidelines

This section outlines built form and design guidelines that apply across the subject land, and are not specific to one or more precincts.

Objectives	Guideline	Commentary
Residential interfaces		
To maintain reasonable visual amenity and solar access in adjoining residential properties	Buildings should be set back from land that is residentially zoned and used (excluding MUZ land) by a dimension equal to the height of that part of the building minus 5m, up to a maximum of 1m, or greater if necessary to comply with ResCode Standard B21. [diagram]	This guideline is equivalent to ResCode Standard B17, except that it is truncated at a point 10m from the neighbouring residential property to balance the objective of protecting residential amenity with that of accommodating growth in well-serviced locations.
Rear lanes		
To enable the widening of rear lanes to allow two-way traffic movement in accordance with advice from Traffic Group.	As required by advice from Traffic Group, buildings should be set back 6 metres from the opposite boundary of a rear lane up to a minimum clearance of 3.6 metres above the finished level of the road.	Upper levels may project over the widening, provided other guidelines are satisfied.
Upper level setbacks		
To ensure high quality architecture	At least 75% of the height of the proposed built form above the street wall should have the same street setback.	Buildings with too many distinct elements tend to lack a legible composition.
Upper form design detail		
To maintain the street wall character	Any part of a building above the street wall height should have an architectural expression and external cladding that are distinct from but complementary to the street wall.	A distinct architectural expression at upper levels helps the street wall to be read as a distinct built form element, reinforcing the ‘traditional’ low-rise character.

Objectives	Guideline	Commentary
Street wall design detail		
To activate the street	The street wall should: <ul style="list-style-type: none">• Incorporate clear glazing for 65-80% of its width between 0.5 and 2.4 metres above the footpath• Incorporate clear-glazed windows facing the street at upper levels• Not include any vehicle access, car parking, substations or other services cabinets except where it is unavoidable	Active street frontages contribute to a safe and inviting public realm.
To contribute to the visual experience of pedestrians	The street wall should: <ul style="list-style-type: none">• Incorporate vertical articulation that reflects the prevailing pattern of subdivision and buildings	Vertical articulation contributes to an interesting visual experience at a pedestrian pace.
To clearly define the public realm	On commercially-zoned land, the street wall should: <ul style="list-style-type: none">• Be aligned with and set on or within 0.4 metres of the front boundary (except 316-326 Victoria Street and 566 Bridge Road), and extend to both side boundaries, except where a purposeful public space is to be created on a street corner or at the entry to a publicly-significant building• Not include deep recesses at ground floor level	Clear delineation between the public and private realms fosters a high level of engagement between them.
To respect the prevailing character	On commercially-zoned land, the street wall should: <ul style="list-style-type: none">• Be designed as a contemporary interpretation of traditional facades, taking account of their materials, ‘solid-to-void’ ratio and opening proportions	New street walls that creatively reinterpret traditional street facades lessen the disruption to the character caused by redevelopment while remaining authentic to their time.
To contribute to the amenity of the public realm	On commercially-zoned land, the street wall should: <ul style="list-style-type: none">• Incorporate an awning over the footpath for the full width of the lot, continuous with any adjoining awnings, at least 3m wide and no higher than 1.3 times its width	To provide effective weather protection, awnings need to extend well across the footpath and not be too high relative to their width.

Objectives	Guideline	Commentary
Side setbacks (other than from boundaries abutting or within 6 metres of residentially-zoned land)		
To provide for the reasonable amenity and equitable development of neighbouring properties	Up to a height of 21m, buildings may be built to a side boundary, except where a setback is required to maintain reasonable amenity on the adjoining property. A part of a building containing balconies or living room windows whose primary orientation is towards that boundary should be set back at least 4.5m. This may be measured from the centreline of a lane that runs along the boundary.	Most properties in the subject land are relatively narrow. This means that the most efficient form of development is to build to both side boundaries, and gain amenity (daylight, natural ventilation, outlook and sunlight) from the front and/or rear of the property. Adopting this configuration enables neighbouring properties to be developed in the same way, rather than having to provide a side setback. However, where an adjoining building contains apartments facing the site, it may be necessary for a building to be set back from the boundary to protect its amenity. A separation of 9m should be achieved. Similarly, where a building contains apartments facing a side boundary, it should be set back at least 4.5m to contribute fairly to the 9m separation between two neighbouring buildings, assuming both properties are relatively equal. This setback may be measured from the centreline of an intervening lane, whose contribution to building separation should be ‘shared’ between the two adjoining properties. It can be reduced if the neighbouring property is unlikely to be developed, already has a more generous setback which is unlikely to change, or is much wider than the site enabling it to contribute more to the building separation. It should be increased if the neighbouring property is significantly narrower than the site.

Objectives	Guideline	Commentary
Side setbacks (other than from boundaries abutting or within 6 metres of residentially-zoned land)		
To maintain sky views from the street	Above a height of 21m buildings should be set back at least one-sixth of the width of the lot.	<p>Up to a height of approximately six storeys (21m), the side walls of upper forms that are setback from the street wall tend to be largely hidden in oblique views from within the street by 2-3 storey buildings alongside. However, above that height, they become more exposed. As boundary walls are necessarily blank, they tend to be unattractive. Further, if a row of adjoining sites are developed to heights greater than six storeys, this can create a ‘wall’ of built form that detracts from the sense of openness within the street.</p> <p>Therefore, above six storeys, buildings are proposed to have side setbacks to create separations between them. Adopting a setback of $\frac{1}{6}$ of the width of the site will result in a pattern where no more than $\frac{2}{3}$ of a block is occupied by built form higher than six storeys, maintaining sky views between taller buildings.</p> <p>This will encourage the amalgamation of narrow lots where buildings of more than six storeys are allowed, enabling more efficient and higher quality buildings.</p>

Objectives	Guideline	Commentary
Rear setbacks (other than from boundaries abutting or within 6 metres of residentially-zoned land)		
To provide for the reasonable amenity and equitable development of neighbouring properties	<p>Above ground floor level and up to a height of 21 metres, buildings should be set back at least 4.5 metres from the rear boundary.</p> <p>Buildings that exceed a height of 21 metres should be set back at least 6 metres from the rear boundary, above ground floor level.</p> <p>This may be measured from the centreline of a lane that runs along the boundary.</p>	<p>As noted above, the most efficient form of development for most properties in the subject land is to build to both side boundaries, and gain amenity (daylight, natural ventilation, outlook and sunlight) from the front and/or rear of the property.</p> <p>Therefore, the rear facades of buildings need to be separated from each other. A minimum separation of 9m avoids the need for privacy screens and ensures reasonable daylight, natural ventilation and a sense of outlook. A set back of at least 4.5m is a fair contribution to a 9m separation, assuming both properties are relatively equal. Taller buildings require greater separations. A 12m separation is required for buildings up to the twelve storey maximum contemplated by this Built Form Framework, resulting in a 6m setback.</p> <p>The setback may be measured from the centreline of an intervening lane, whose contribution to building separation should be ‘shared’ between the two adjoining properties. It can be reduced if the neighbouring property is unlikely to be developed, already has a more generous setback which is unlikely to change, or is much wider than the site enabling it to contribute more to the building separation. It should be increased if the neighbouring property is significantly narrower than the site.</p>



Pokies

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6.0 Implementation

6.1 Built Form and Design Controls

The recommendations of this report lend themselves to being implemented via two schedules to the Design and Development Overlay or Activity Centre Zone (one per corridor).

It is recommended that the built form and design controls be introduced in the following way:

- Translate the **Objectives** outlined in section 5.1 directly into such a schedule as design objectives.
- A table of **General Street Wall Height and Building Setback** controls, containing the built form guidelines set out in section 5.5 translated to Requirements and the Objectives translated to associated Built Form Outcomes, and a reference to the **Framework Plans**, which should be included to indicate the preferred maximum street wall heights and upper level street setbacks.
- A table of **Building Heights** containing the maximum heights set out for each sub-precinct in the Framework Plans and section 5.4, with associated Built Form Outcomes drawn from the relevant objectives.
- A table of **Detailed Design** requirements for the street wall and upper form facades, containing the remaining guidelines contained in section 5.5 translated to Requirements and the Objectives translated to associated Built Form Outcomes.
- A provision for Precinct V11 requiring the formalisation of the extension of Vere Street to Bromham Street.

All of the guidelines contained above are intended to be translated to discretionary controls, except for those associated with significant heritage fabric, which provides a justification for mandatory maximum street wall height and upper level street setback controls.

The format recommended above would enable clear guidance in relation to the ability to vary from discretionary controls, via a requirement that any application to vary from a discretionary control demonstrate how the design objectives and built form outcomes will continue to be achieved.

6.2 Other Implementation Mechanisms

This report recommends the formalisation of the extension of Vere Street to Bromham Street and the extension of Salisbury Street to Bromham Street. Both of these initiatives are likely to be most easily achieved via negotiation with the landowners.

The report also recommends that a development plan be prepared to guide the redevelopment of Precinct V12, to ensure that it is developed in a coordinated way incorporating new internal streets. It is recommended that a schedule to the Development Plan Overlay be introduced to achieve this.





40

7 AM - MIDNIGHT

FAIRWAY

DO NOT
DELAY TRAMS

RITZ GELATO

Grilled

331

TRANSIT

TDS 895

PFD

100% AUSTRALIAN OWNED

HAIR
DESIGN



For Men
&
Women

TRELANE



7.0

Appendices

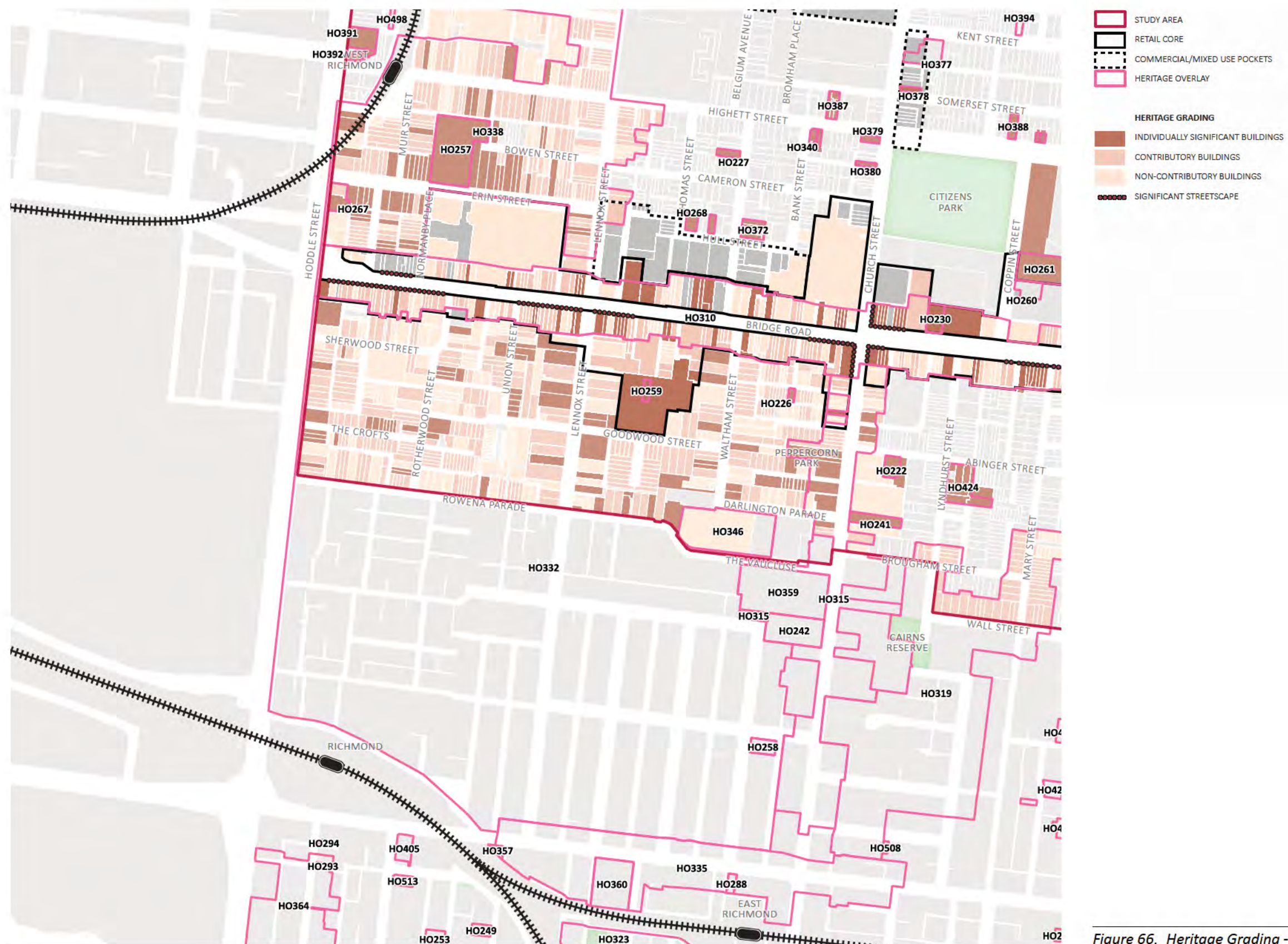
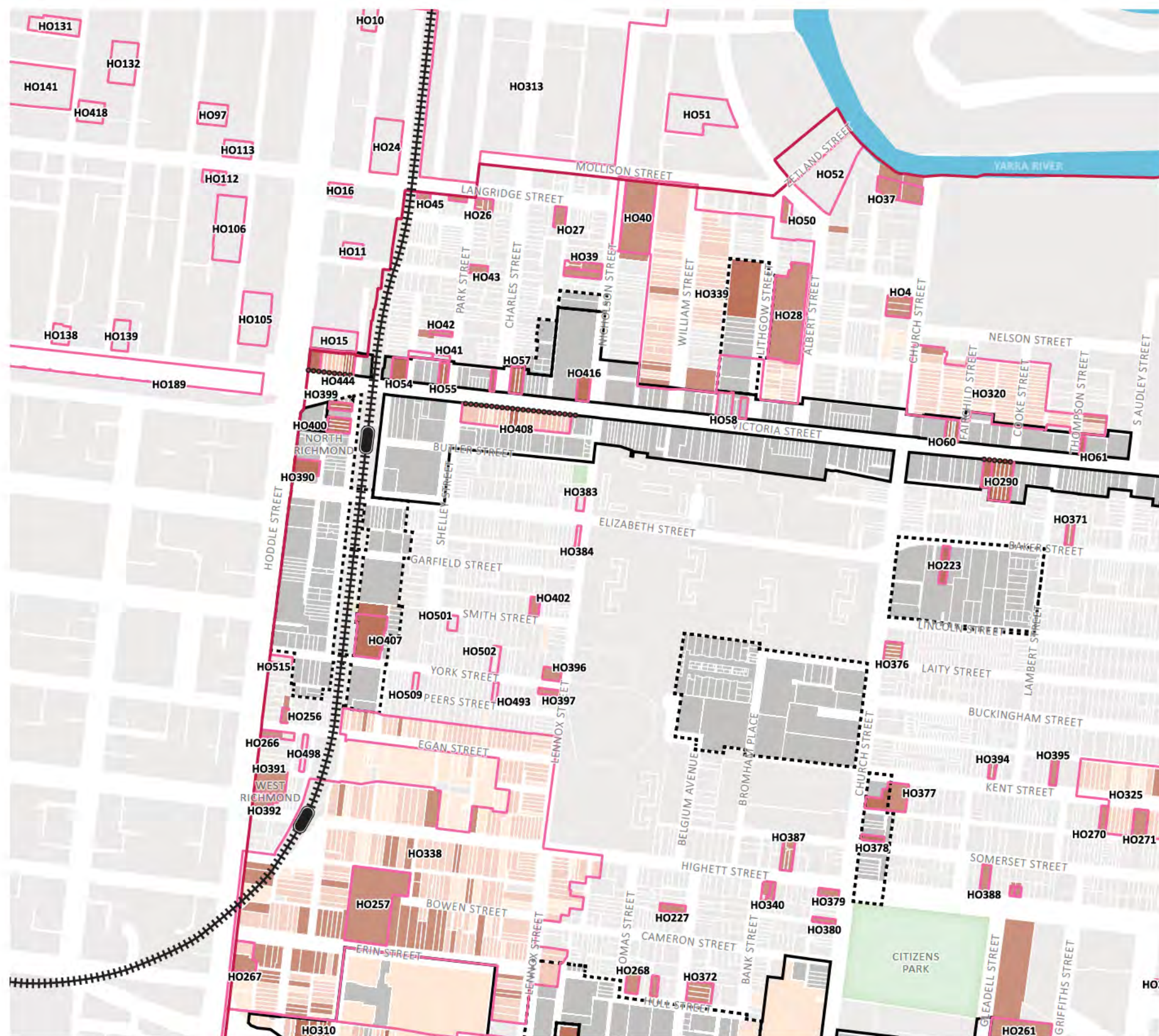


Figure 66. Heritage Grading - Bridge Road West



- STUDY AREA
 - RETAIL CORE
 - COMMERCIAL/MIXED USE POCKETS
 - HERITAGE OVERLAY
- HERITAGE GRADING**
- INDIVIDUALLY SIGNIFICANT BUILDINGS
 - CONTRIBUTORY BUILDINGS
 - NON-CONTRIBUTORY BUILDINGS
 - SIGNIFICANT STREETScape

Figure 68. Heritage Grading - Victoria Street West

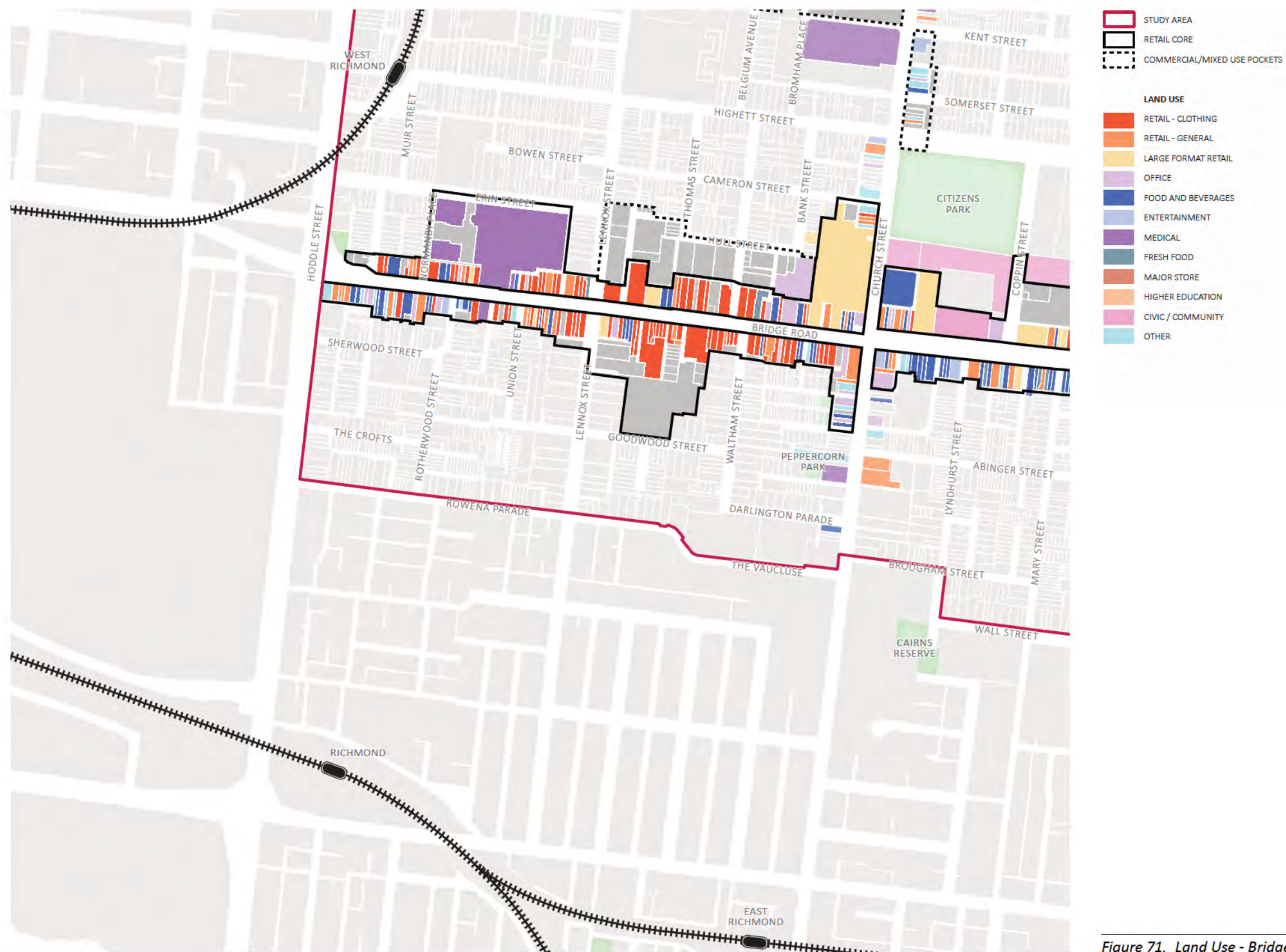


Figure 71. Land Use - Bridge Road West

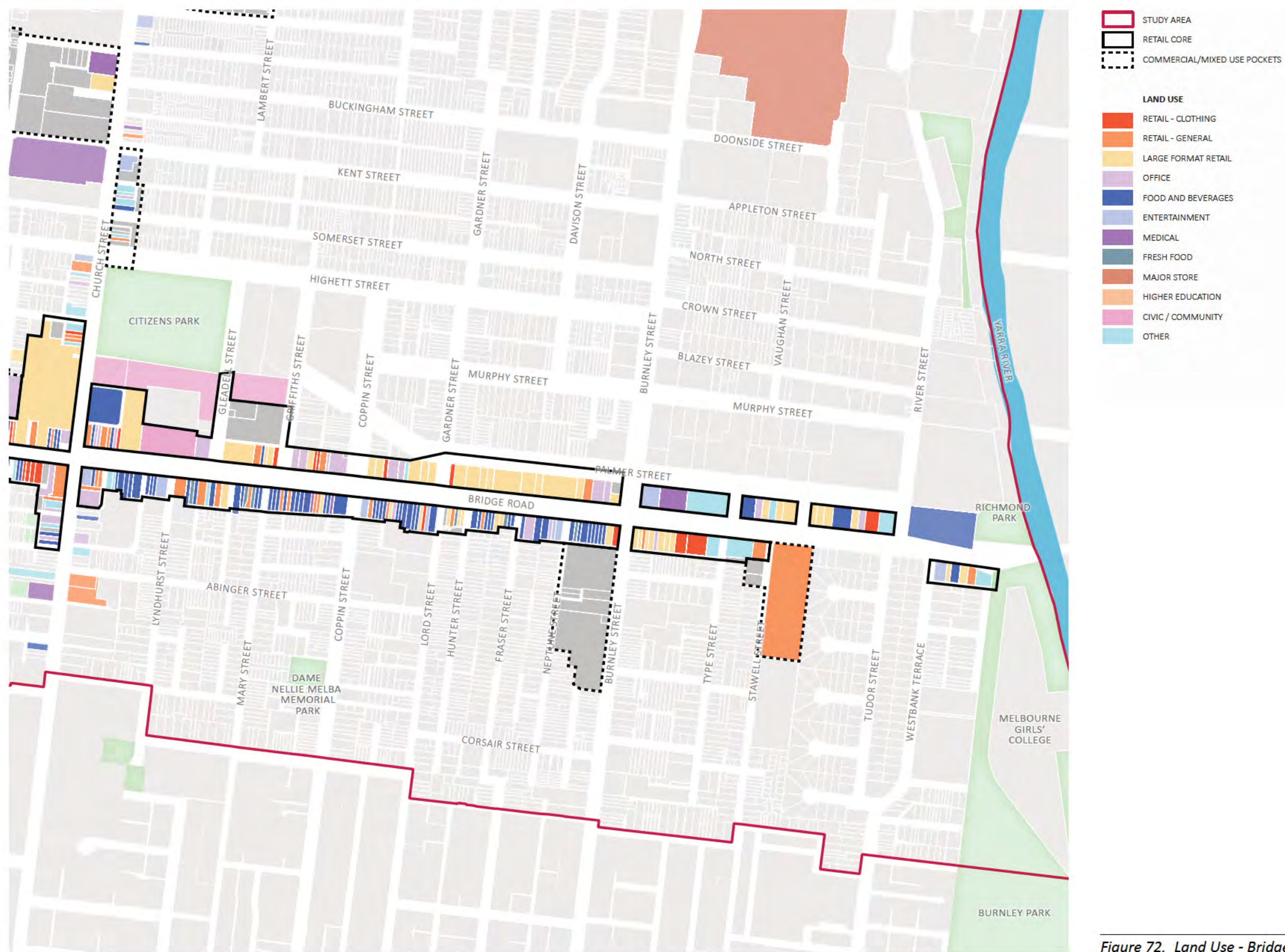


Figure 72. Land Use - Bridge Road East

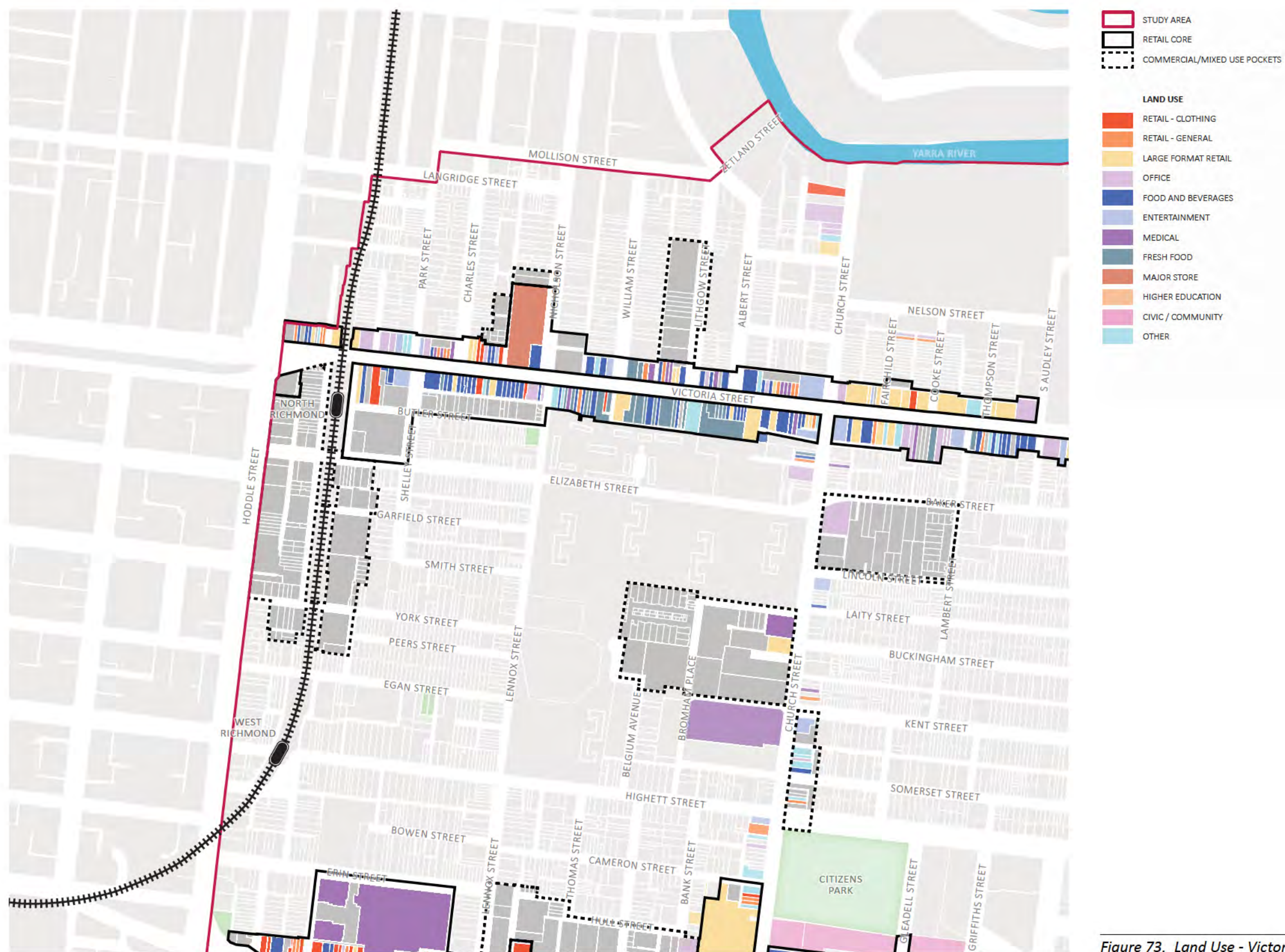


Figure 73. Land Use - Victoria Street West

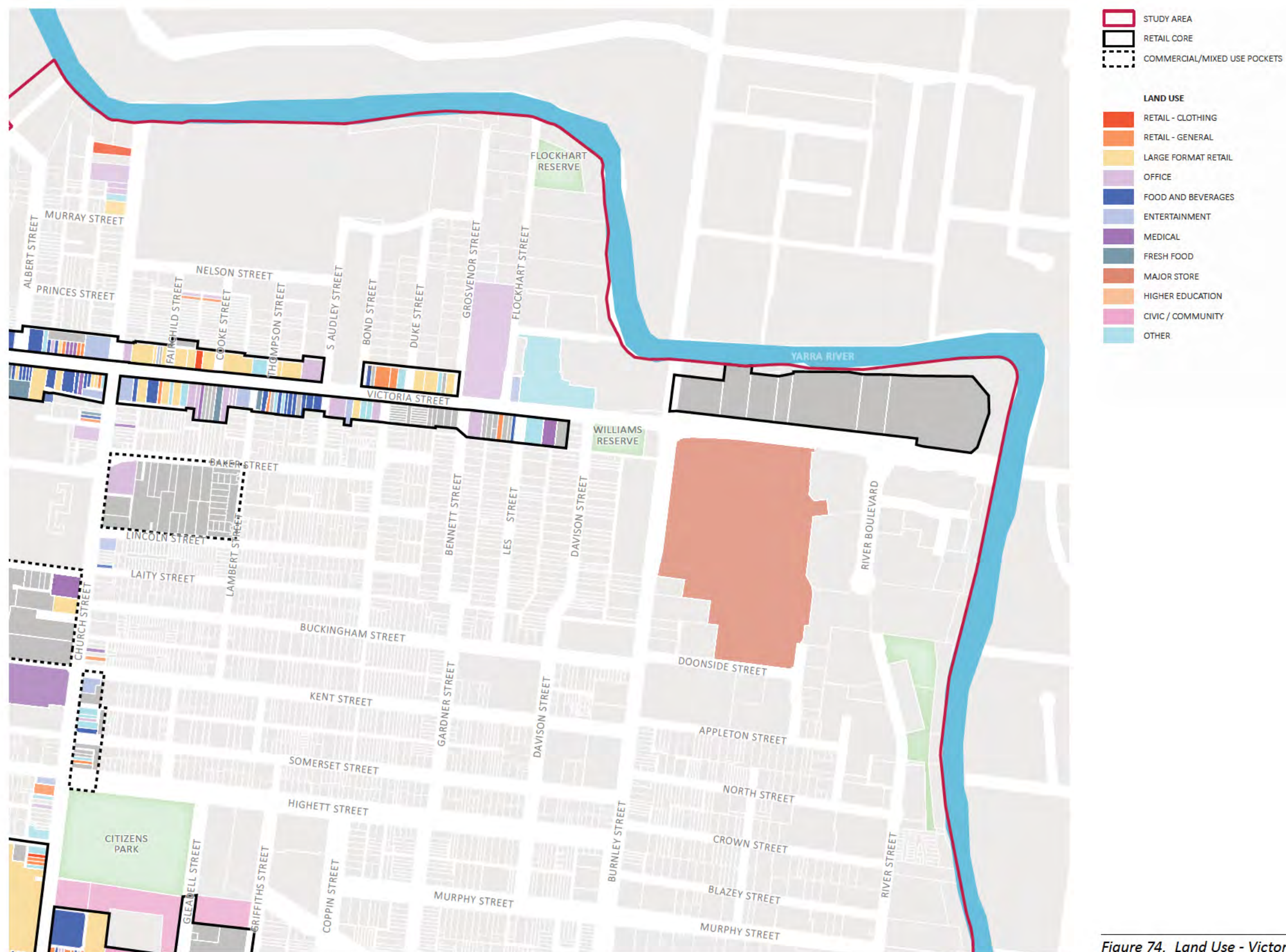


Figure 74. Land Use - Victoria Street East



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