

Victoria Street and Bridge Road Built Form Review

Heritage Assessments



Figure 1. Looking west down Bridge from Hoddle Street, c1900. The Napier Hotel is on the right (SLV, Image H35215/68).

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Attachment A – Proposed Reference Document to Clause 22.02 of the Yarra Planning Scheme

Attachment B – Statement of Significance: Former Melbourne Savings Bank, 182-184 Bridge Road, Richmond

Attachment C – Statement of Significance: Former Commonwealth Savings Bank of Australia, 267 Bridge Road, Richmond

Attachment D – Heritage Citation: Halls Building, 202-206 Church Street, Richmond

Attachment E – Heritage Citation: 32 & 34 Thomas Street, Richmond

Attachment F – Heritage Citation: 637-639 Bridge Road, Richmond

Attachment G – Heritage Citation: Boland’s Shop & Residence, 635 Bridge Road, Richmond

Attachment H – Heritage Citation: Royal Oak Hotel, 529-533 Bridge Road, Richmond

Attachment I – Heritage Citation: Whipps Terrace, 597-599 Bridge Road, Richmond

Attachment J – Heritage Citation: Flour Mill & Grain Store Complex (Former), 534-534A Bridge Road, Richmond

Attachment K – Heritage Citation: City Hall, 325-333 Bridge Road, Richmond

1. Introduction

In 2017, the City of Yarra engaged GJM Heritage to participate in the *Victoria Street and Bridge Road Built Form Review* (the Built Form Review) with David Lock Associates Pty Ltd. The purpose of the Built Form Review is to determine where and how new development can appropriately occur along and around Victoria Street and Bridge Road. Heritage advice has been provided to ensure that the Built Form Review and the subsequent Design and Development Overlay (DDO) appropriately responds to the heritage fabric and values of the study area, leading to fully integrated decision-making when considering new development opportunities.

A key component of the Built Form Review has been to:

- Review the suitability of the extent of the existing Heritage Overlays within the study area and to identify where gaps or inconsistencies exist (if any); and
- Review the suitability of the existing Statements of Significance for heritage places and precincts against the extant heritage fabric and identify where the statements require updating for the purposes of properly considering built form recommendations; and
- Review the current gradings for heritage places in Appendix 8 and identify where updates are required.

A series of recommendations have arisen from the above heritage assessment and analysis. These recommendations relate to:

- Updates to existing Statements of Significance (refer to Section 2)
- Potential inclusion of eight (8) places in site-specific Heritage Overlays in the Yarra Planning Scheme (refer to Section 3)
- Review of heritage gradings in Appendix 8 (refer to Section 4)
- Review of Heritage Overlay boundaries (refer to Section 5).

2. Statement of Significance Review

A key part of the Built Form Review has been to analyse the existing Statements of Significance for the heritage precincts and individually significant places within the Study Area to ensure that they remained current and useful for managing change within the Study Area.

The review found that the majority of the existing Statements of Significance for the individual places and heritage precincts within the Study Area were sound; however, updates were recommended for the following locally significant places and precincts:

- Savings Bank, 231 Victoria Street, Abbotsford (HO53)
- National Bank of Australasia, 261 Victoria Street, Abbotsford (HO54)
- Lambeth Buildings, 275-277 Victoria Street, Abbotsford (HO55)
- 295 Victoria Street, Abbotsford (HO56)
- 297-301 Victoria Street, Abbotsford (HO57)
- 371-377 Victoria Street, Abbotsford (HO58)
- Former East Collingwood Hotel, 385 Victoria Street, Abbotsford (HO59)
- 459-465 Victoria Street, Abbotsford (HO60)
- 511 Victoria Street, Abbotsford (HO61)
- Former Brickmakers Arms Hotel, 605 Victoria Street, Abbotsford (HO62)
- Former Alma Woolworks Complex, 661-663 Victoria Street, Abbotsford (HO65)
- Richmond Police Station, 319-323 Bridge Road, Richmond (HO230)
- 316 Victoria Street, Richmond (HO289)
- Byrne's Arcade Terrace, 318 Victoria Street, Richmond (HO290)
- Simpson's Glove Factory, 488-496 Victoria Street, Richmond (HO291)
- Bridge Road Precinct, Richmond (HO310)
- Victoria Street Precinct, Richmond (HO408)
- Quint Café/Former Duke of Albany Hotel, 323-325 Victoria Street, Abbotsford (HO416)
- Victoria Street West Precinct, 233-251 Victoria Street, Abbotsford (HO444)

Further, two 'Individually Significant' places considered to be 'atypical' in the context of the Bridge Road Precinct (HO310) have had site-specific Statements of Significance prepared to ensure their heritage values are appropriately considered and managed into the future. These places are:

- Former Melbourne Savings Bank, 182-184 Bridge Road, Richmond
- Former Commonwealth Savings Bank of Australia, 267 Bridge Road, Richmond

To ensure that the most up-to-date version of the Statement of Significance for a place or precinct within the Study Area is easily and readily accessible, the Statements of Significance have been added to a Reference Document to Clause 22.02 of the Yarra Planning Scheme. This is provided at Attachment A.

2.1 Savings Bank, 231 Victoria Street, Abbotsford (HO53)

The Savings Bank has been identified as 'Individually Significant' in Appendix 8 and is included in a site-specific Heritage Overlay (HO53).

While the current Statement of Significance broadly captures the architectural qualities of the place, the following elements that contribute to the place should be identified:

- Façade parapet with pitched roof behind
- No setbacks
- Rendered walls
- Rendered façade detailing including window frames, hoods, pilasters, engaged columns and rusticated banding
- Strong horizontal lines formed by parapet line, cornices, string courses and rusticated banding

- Repetitive fenestration patterns at ground and first floor
- Corner building with two symmetrical, articulated, principal facades
- Emphasis on corner and façade extremities with concentration of decorative elements.

An updated Statement of Significance is provided in the Reference Document at Attachment A.

2.2 National Bank of Australasia, 261 Victoria Street, Abbotsford (HO54)

The National Bank of Australasia has been identified as ‘Individually Significant’ in Appendix 8 and is included in a site-specific Heritage Overlay (HO54).

While the current Statement of Significance broadly captures the architectural qualities of the place, the following elements that contribute to the place should be identified:

- Facade parapet with pitched roof behind
- No side setback and minimal front setback
- Rendered walls
- Rendered façade detailing including window frames, sills and pedimented hoods, balustrading, columns and piers, name plates, vermiculated quoining and rusticated banding
- Strong horizontal lines formed by parapet line, cornices, string courses and rusticated banding
- Repetitive fenestration patterns to both facades at ground and first floor
- Corner building with symmetrical, articulated, front façade and secondary façade to side street
- Emphasis on central bay of front facade with concentration of decorative elements and raised pediment at parapet
- Cast iron picket fence to front facade.

An updated Statement of Significance is provided in the Reference Document at Attachment A.

2.3 Lambeth Buildings, 275-277 Victoria Street, Abbotsford (HO55)

The Lambeth Buildings have been identified as ‘Individually Significant’ in Appendix 8 and are included in a site-specific Heritage Overlay (HO55).

While the current Statement of Significance broadly captures the architectural qualities of the place, the following elements that contribute to the place should be identified:

- Facade parapet with pitched roof behind
- No front or side setbacks
- Rendered walls
- Rendered façade detailing and ornament including window frames and sills, masks, finials and pediment with name plate
- Strong horizontal lines formed by parapet line, cornices and string courses
- Repetitive fenestration patterns to both facades at ground and first floor
- Corner building with principal facades to both streets
- Shopfront with display windows, plinth and entry recess (no 277)
- Smaller scale facades at rear (Park Street) with similar detailing to main building

An updated Statement of Significance is provided in the Reference Document at Attachment A.

2.4 295 Victoria Street, Abbotsford (HO56)

The property at 295 Victoria Street has been identified as ‘Individually Significant’ in Appendix 8 and is included in a site-specific Heritage Overlay (HO56).

While the current Statement of Significance broadly captures the architectural qualities of the place, the following elements that contribute to the place should be identified:

- Simple façade parapet with pitched roof behind

- No front or side setbacks
- Rendered walls
- Strong horizontal lines formed by parapet line and cornices
- Repetitive fenestration patterns at first floor level
- Corner building with principal facades to both streets
- Splayed corner to building.

An updated Statement of Significance is provided in the Reference Document at Attachment A.

2.5 297-301 Victoria Street, Abbotsford (HO57)

The property at 297-301 Victoria Street has been identified as 'Individually Significant' in Appendix 8 and is included in a site-specific Heritage Overlay (HO57).

While the current Statement of Significance broadly captures the architectural qualities of the place, the following elements that contribute to the place should be identified:

- Façade parapet with pitched roof behind
- No front or side setbacks
- Face red brick walls, overpainted (except for 301 Victoria Street)
- Rendered façade detailing including window frames, sills and pilasters
- Horizontal lines formed by parapet line and cornices
- Strong vertical lines formed by pilaster strips on main facade
- Repetitive fenestration patterns at first floor level, including unusual tripartite windows at first floor level and semi-circular arch-headed windows at ground floor (retained at 299 only)
- Continuation of fenestration patterns to Charles Street with simplified detail
- Corner building with articulated front and part side façade
- Splayed corner to building.

An updated Statement of Significance is provided in the Reference Document at Attachment A.

2.6 371-377 Victoria Street, Abbotsford (HO58)

The property at 371-377 Victoria Street has been identified as 'Individually Significant' in Appendix 8 and is included in a site-specific Heritage Overlay (HO58).

While the current Statement of Significance broadly captures the architectural qualities of the place, the following elements that contribute to the place should be identified:

- Façade parapet with pitched roof behind
- No front or side setbacks
- Polychromatic brick walls
- Rendered façade detailing including window sills and hoods, cornices and plainly detailed parapet (unpainted)
- Strong horizontal lines formed by parapet and cornices
- Strong vertical pilaster lines clearly defining individual shops
- Repetitive upper floor fenestration patterns
- Principal front façade to Victoria Street and secondary façade to side street.

An updated Statement of Significance is provided in the Reference Document at Attachment A.

2.7 Former East Collingwood Hotel, 385 Victoria Street, Abbotsford (HO59)

The Former East Collingwood Hotel has been identified as 'Individually Significant' in Appendix 8 and is included in a site-specific Heritage Overlay (HO59).

While the current Statement of Significance broadly captures the architectural qualities of the place, the following elements that contribute to the place should be identified:

- Façade parapet with pitched roof behind
- No front or side setbacks
- Rendered walls
- Rendered façade detailing including window sills and hoods, masks and banded and vermiculated rustication
- Strong horizontal lines formed by parapet line, cornices and banded rustication
- Repetitive upper floor fenestration patterns
- Repetitive lower floor arch-headed pattern of window and door openings
- Corner building with principal facades to both streets
- Splayed corner to building.

An updated Statement of Significance is provided in the Reference Document at Attachment A.

2.8 459-465 Victoria Street, Abbotsford (HO60)

The property at 459-465 Victoria Street has been identified as 'Individually Significant' in Appendix 8 and is included in a site-specific Heritage Overlay (HO60).

While the current Statement of Significance broadly captures the architectural qualities of the place, the following elements that contribute to the place should be identified:

- Simple façade parapet with pitched roof behind
- No front or side setbacks
- Face red brick walls with brown brick and render contrasts (nos 459 & 465 overpainted), including decorative corner pediment
- Strong horizontal lines formed by parapet, cornice and stringcourses
- Strong vertical pilaster lines clearly defining individual shops
- Repetitive upper floor fenestration patterns
- Corner building with principal front facade
- Splayed corner to building.

An updated Statement of Significance is provided in the Reference Document at Attachment A.

2.9 511 Victoria Street, Abbotsford (HO61)

The property at 511 Victoria Street has been identified as 'Individually Significant' in Appendix 8 and is included in a site-specific Heritage Overlay (HO61).

While the current Statement of Significance broadly captures the architectural qualities of the place, the following elements that contribute to the place should be identified:

- Simple façade parapet with pitched roof behind
- No front or side setbacks
- Face brick walls
- Strong horizontal lines formed by parapet and cornice
- Repetitive upper floor fenestration patterns.

An updated Statement of Significance is provided in the Reference Document at Attachment A.

2.10 Former Brickmakers Arms Hotel, 605 Victoria Street, Abbotsford (HO62)

The Former Brickmakers Arms Hotel has been identified as 'Individually Significant' in Appendix 8 and is included in a site-specific Heritage Overlay (HO62).

While the current Statement of Significance broadly captures the architectural qualities of the place, the following elements that contribute to the place should be identified:

- Plain façade parapet with flat roof behind

- No front or side setbacks
- Rendered facades
- Strong horizontal lines formed by parapet, stringcourses, window openings and tiled dado
- Moderne detailing including projecting curved canopy, applied decoration and tiled dado
- Irregular pattern of fenestration including multi-paned and double-hung windows
- Corner building with principal and secondary facades and curved corner.

An updated Statement of Significance is provided in the Reference Document at Attachment A.

2.11 Former Alma Woolworks Complex, 663 Victoria Street, Abbotsford (HO65)

The Former Alma Woolworks Complex has been identified as 'Individually Significant' in Appendix 8 and is included in a site-specific Heritage Overlay (HO65).

While the current Statement of Significance broadly captures the architectural qualities of the place, the following elements that contribute to the place should be identified:

- Low hipped roof forms
- Rectilinear forms.

An updated Statement of Significance is provided in the Reference Document at Attachment A.

2.12 Richmond Police Station, 319-323 Bridge Road, Richmond (HO230)

The Richmond Police Station has been identified as 'Individually Significant' in Appendix 8 and is included in a site-specific Heritage Overlay (HO230).

While the current Statement of Significance broadly captures the heritage values and architectural qualities of the place, the following elements that contribute to the place should be identified:

- Two storey, free-standing, symmetrical building
- repetitive arch-headed fenestration patterns at both levels
- Front and side setbacks
- Face red brick walls with contrasting cream and red brick detailing to openings, string courses, chimneys and entrance porch
- Bluestone base
- Exposed hipped slate roof with consoled eaves
- Horizontal lines formed by eaves, sills, stringcourses
- Central focal point (entry)
- Bluestone lock-up with slate roof at the rear of the building.

An updated Statement of Significance is provided in the Reference Document at Attachment A.

2.13 316 Victoria Street, Richmond (HO289)

The property at 316 Victoria Street has been identified as 'Individually Significant' in Appendix 8 and is included in a site-specific Heritage Overlay (HO289).

While the current Statement of Significance broadly captures the architectural qualities of the place, the following elements that contribute to the place should be identified:

- Simple façade parapet with pitched roof behind
- Front setbacks but no side setbacks
- Rendered walls (overpainted)
- Front verandahs and balconies with decorative cast iron balustrading and friezes
- Render detailing including parapet balustrading and cornice (overpainted)
- Strong horizontal lines formed by parapet, cornices, stringcourse and balconies

- Side wing walls with simple decorative detailing
- Repetitive fenestration and openings patterns at both levels
- Cast iron palisade fencing, gate, posts and bluestone base.

An updated Statement of Significance is provided in the Reference Document at Attachment A.

2.14 Byrnes Arcade Terrace, 318-326 Victoria Street, Richmond (HO290)

The Byrnes Arcade Terrace has been identified as 'Individually Significant' in Appendix 8 and is included in a site-specific Heritage Overlay (HO290).

While the current Statement of Significance broadly captures the architectural qualities of the place, the following elements that contribute to the place should be identified:

- Simple façade parapet with pitched roof behind
- Front setbacks but no side setbacks
- Rendered walls (overpainted)
- Front verandahs and balconies with decorative cast iron balustrading and friezes (not all original)
- Render detailing including dentilled cornice, central pediment, rosettes, masks and urns (overpainted)
- Strong horizontal lines formed by parapet, cornices and balconies
- Strong vertical pilaster lines clearly defining individual residences
- Repetitive fenestration and openings patterns at both levels
- Cast iron palisade fencing and gates, and bluestone bases, to the majority of properties.

An updated Statement of Significance is provided in the Reference Document at Attachment A.

2.15 Simpson's Glove Factory, 488-496 Victoria Street, Richmond (HO291)

The Simpson's Glove Factory has been identified as 'Individually Significant' in Appendix 8 and is included in a site-specific Heritage Overlay (HO291).

While the current Statement of Significance broadly captures the architectural qualities of the place, the following elements that contribute to the place should be identified:

- Façade parapet with pitched roof behind
- No front or side setbacks
- Red brick walls with dark brick contrasts
- Plain rendered façade detailing including parapet, consoles, window lintels and sills and curved entrance hood
- Strong vertical pilaster lines
- Repetitive fenestration patterns
- Symmetrical front façade.

An updated Statement of Significance is provided in the Reference Document at Attachment A.

2.16 Bridge Road Precinct, Richmond (HO310)

The Bridge Road Precinct occupies much of the length of Bridge Road. It is a substantially intact and highly significant turn-of-the-century 'High Street' and is one of Richmond's two key commercial and civic centres. An updated Statement of Significance has been prepared to ensure the heritage significance of this important streetscape is clearly articulated.

An updated Statement of Significance is provided in the Reference Document at Attachment A.

2.17 Victoria Street Precinct, 68-120 Victoria Street, Richmond (HO408)

The Victoria Street Precinct is a Victorian and Edwardian commercial streetscape, located on the south side of Victoria Street from Shelley Street to near the corner of Lennox Street. The majority of buildings within the precinct have been identified as 'Contributory' in Appendix 8 with three 'Individually Significant' buildings and two 'Not Contributory' buildings. The precinct is included within Heritage Overlay HO408.

While the current Statement of Significance broadly captures the heritage values of the precinct, including the architectural qualities, the following elements that contribute to the precinct should be identified:

- Predominantly two-storey façade parapets, with pitched roofs behind
- No front or side setbacks
- Rendered and face brick walls
- Rendered window frames, sills and hoods to upper stories
- Rendered detailing and ornament to upper stories, including parapets, pediments, cornices and pilaster strips
- Horizontal lines formed by parapets, cornices and string courses
- Repetitive upper floor fenestration patterns.

An updated Statement of Significance is provided in the Reference Document at Attachment A.

2.18 Quint Café / Former Duke of Albany Hotel, 323-325 Victoria Street, Abbotsford (HO416)

The Quint Café (Former Duke of Albany Hotel) has been identified as 'Individually Significant' in Appendix 8 and is included in a site-specific Heritage Overlay (HO416).

While the current Statement of Significance broadly captures the architectural qualities of the place, the following elements that contribute to the place should be identified:

- Plain façade parapet with flat roof behind
- No front or side setbacks
- Rendered facades
- Strong horizontal lines formed by parapet, applied raised strips and window openings
- Moderne detailing including curved corner with staggered parapet and flagpole
- Corner building with principal facades to both streets.

An updated Statement of Significance is provided in the Reference Document at Attachment A.

2.19 Victoria Street West Precinct, 233-251 Victoria Street, Abbotsford (HO444)

The Victoria Street West Precinct is a Victorian commercial streetscape, located on the north side of Victoria Street from near the corner of Hoddle Street to Ferguson Street. All buildings within the precinct have been identified as 'Contributory' in Appendix 8. The precinct is included within Heritage Overlay HO444.

While the current Statement of Significance broadly captures the heritage values of the precinct, including the architectural qualities, the following elements that contribute to the precinct should be identified:

- Two-storey façade parapets, with pitched roofs behind
- No front or side setbacks
- Rendered and face brick walls (nos. 249-251 unpainted bichromatic brickwork)
- Rendered or face brick window frames, sills and hoods to upper stories
- Rendered or brick detailing to upper stories, including parapets, pediments, cornices and stringcourses
- Horizontal lines formed by parapets, cornices and string courses
- Repetitive upper floor fenestration patterns
- Corner building with principal facades to both streets.

An updated Statement of Significance is provided in the Reference Document at Attachment A.

2.20 Statements of Significance for atypical buildings in Bridge Road Precinct (HO310)

Two 'Individually Significant' places are considered to be 'atypical' in the context of the Bridge Road Precinct and have had site-specific Statements of Significance prepared to ensure their heritage values are appropriately considered and managed into the future.

The Statement of Significance for the **Former Melbourne Savings Bank, 182-184 Bridge Road, Richmond** is provided at Attachment B and is included in the Reference Document at Attachment A.

The Statement of Significance for the **Former Commonwealth Savings Bank of Australia, 267 Bridge Road, Richmond** is provided at Attachment C and is included in the Reference Document at Attachment A.

3. Assessment for inclusion in the Heritage Overlay on a site-specific basis

Two places (Halls Buildings, 202-206 Church Street, Richmond and 32 & 34 Thomas Street, Richmond) have been assessed for potential for inclusion in the Heritage Overlay on a site-specific basis.

A further five buildings are currently included as 'Individually Significant' places in the Bridge Road Precinct (HO310); however their inclusion in the precinct is irregular, being included within site-specific, non-contiguous Heritage Overlay polygons at the eastern end of Bridge Road but identified as being part of the precinct. To ensure there is no future debate as to the significance of these places and the contribution they make to the precinct that substantially ends some distance to the west, the heritage merits of these places have been re-evaluated and it is proposed to include them in site-specific Heritage Overlays.

Additionally, the Richmond Town Hall is currently identified as being 'Individually Significant' within the Bridge Road Precinct (HO310), however, its heritage values are different from those of the precinct and it is considered more appropriate to include the Richmond Town Hall in a site-specific Heritage Overlay.

3.1 Methodology

The assessments have been completed having regard to the Department of Environment, Land, Water & Planning's *Planning Practice Note 1: Applying the Heritage Overlay* (January 2018) (PPN1) and the following gradings for heritage places as defined in Council's Heritage Policy at Clause 22.02 of the Yarra Planning Scheme ('Development Guidelines for sites subject to the Heritage Overlay'):

Individually significant: *The place is a heritage place in its own right. Within a Heritage Overlay applying to an area each individually significant place is also Contributory.*

Contributory: *The place is a contributory element within a larger heritage place. A contributory element could include a building, building groups and works, as well as building or landscape parts such as chimneys, verandahs, wall openings, rooflines and paving.*

Not contributory: *The place is not individually significant and not contributory within the heritage place.*

The properties were visually inspected from the street and historic research was conducted using a variety of sources including historic plans and maps (including the Kearney Map and Melbourne and Metropolitan Board of Works Plans), Sands and McDougall Directories, rate books and historic photographs and aerials. Comparative analysis against similar places identified in the Heritage Overlay was undertaken to determine whether the place satisfied the threshold for local heritage significance.

3.2 Halls Buildings, 202-206 Church Street, Richmond

An assessment of the building at 202-206 Church Street, Richmond has resulted in a recommendation for inclusion in the Heritage Overlay on a site-specific basis as an 'Individually Significant' place.

The heritage citation prepared in support of the recommendation is provided at Attachment D of this report.

It is further recommended that:

- Appendix 8 be updated to reflect the above finding.
- The Statement of Significance for the place be included within the 'Statements of Significance for Yarra High Streets' reference document to Clause 22.02 of the Yarra Planning Scheme (see Attachment A).

3.3 32 & 34 Thomas Street, Richmond

An assessment of the pair of terraces at 32 & 34 Thomas Street, Richmond has resulted in a recommendation for inclusion in the Heritage Overlay on a site-specific basis as an 'Individually Significant' place.

The heritage citation prepared in support of the recommendation is provided at Attachment E of this report.

It is further recommended that:

- Appendix 8 be updated to reflect the above finding.
- The Statement of Significance for the place be included within the 'Statements of Significance for Yarra High Streets' reference document to Clause 22.02 of the Yarra Planning Scheme (see Attachment A).

3.4 637-639 Bridge Road, Richmond

Currently included as an 'Individually Significant' building in a site-specific, non-contiguous Heritage Overlay polygon as part of the Bridge Road Precinct (HO310). It is recommended that this place be included within a site-specific Heritage Overlay.

The heritage citation prepared in support of the recommendation is provided at Attachment F of this report.

It is further recommended that:

- Appendix 8 be updated to reflect the above finding.
- The Statement of Significance for the place be included within the 'Statements of Significance for Yarra High Streets' reference document to Clause 22.02 of the Yarra Planning Scheme (see Attachment A).

3.5 Boland's Shop and Residence, 635 Bridge Road, Richmond

Currently included as an 'Individually Significant' building in a site-specific, non-contiguous Heritage Overlay polygon as part of the Bridge Road Precinct (HO310). It is recommended that this place be included within a site-specific Heritage Overlay.

The heritage citation prepared in support of the recommendation is provided at Attachment G of this report.

It is further recommended that:

- Appendix 8 be updated to reflect the above finding.
- The Statement of Significance for the place be included within the 'Statements of Significance for Yarra High Streets' reference document to Clause 22.02 of the Yarra Planning Scheme (see Attachment A).

3.6 Royal Oak Hotel, 529-533 Bridge Road, Richmond

Currently included as an 'Individually Significant' building in a site-specific, non-contiguous Heritage Overlay polygon as part of the Bridge Road Precinct (HO310). It is recommended that this place be included within a site-specific Heritage Overlay.

The heritage citation prepared in support of the recommendation is provided at Attachment H of this report.

It is further recommended that:

- Appendix 8 be updated to reflect the above finding.
- The Statement of Significance for the place be included within the 'Statements of Significance for Yarra High Streets' reference document to Clause 22.02 of the Yarra Planning Scheme (see Attachment A).

3.7 Whipps Terrace, 597-599 Bridge Road, Richmond

Currently included as an 'Individually Significant' building in a site-specific, non-contiguous Heritage Overlay polygon as part of the Bridge Road Precinct (HO310). It is recommended that this place be included within a site-specific Heritage Overlay.

The heritage citation prepared in support of the recommendation is provided at Attachment I of this report.

It is further recommended that:

- Appendix 8 be updated to reflect the above finding.
- The Statement of Significance for the place be included within the 'Statements of Significance for Yarra High Streets' reference document to Clause 22.02 of the Yarra Planning Scheme (see Attachment A).

3.8 Flour Mill & Grain Store Complex (Former), 534-534A Bridge Road, Richmond

Currently included as an 'Individually Significant' building in a site-specific, non-contiguous Heritage Overlay polygon as part of the Bridge Road Precinct (HO310). It is recommended that this place be included within a site-specific Heritage Overlay.

The heritage citation prepared by Context Pty Ltd in 2014 is appropriate to support the recommendation and is provided at Attachment J of this report.

It is further recommended that:

- Appendix 8 be updated to reflect the above finding.
- The Statement of Significance for the place be included within the 'Statements of Significance for Yarra High Streets' reference document to Clause 22.02 of the Yarra Planning Scheme (see Attachment A).

3.9 Richmond Town Hall, 325-333 Bridge Road, Richmond

Currently included as an 'Individually Significant' building in the Bridge Road Precinct (HO310). It is recommended that this place be included within a site-specific Heritage Overlay in recognition of its particular architectural and historical significance.

The heritage citation prepared in support of the recommendation is provided at Attachment K of this report.

It is further recommended that:

- Appendix 8 be updated to reflect the above finding.
- The Statement of Significance for the place be included within the 'Statements of Significance for Yarra High Streets' reference document to Clause 22.02 of the Yarra Planning Scheme (see Attachment A).

4. Heritage Grading Review

Two buildings contained within the Bridge Road Precinct are currently graded 'Individually Significant' but have been demolished. One building on Bridge Road is currently graded 'Not contributory' but is part of a terrace and should be 'Contributory'. Two buildings on Bridge Road and one building on Church Street are currently graded 'Contributory' but do not contribute to their respective precincts and should be 'Not contributory'. The following material provides justification for the regrading of these places in Appendix 8.

4.1 77 Bridge Road, Richmond



Figure 1. From left to right, 73, 75 & 77 Bridge Road, Richmond (May 2018).

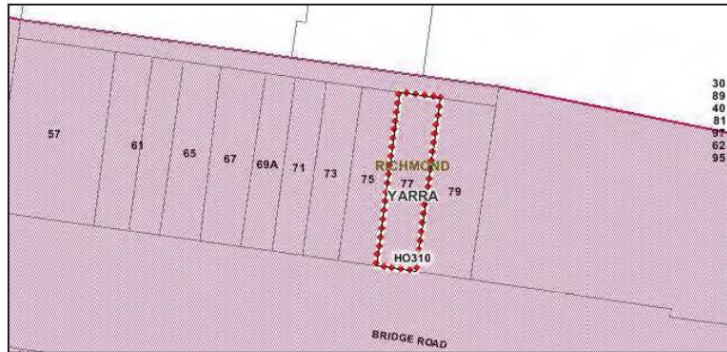


Figure 2. Extract of Heritage Overlay map showing 77 Bridge Road, Richmond within HO310 (© Planning Maps Online).

The property at 77 Bridge Road, Richmond is currently graded as 'Individually Significant' within HO310 – Bridge Road Precinct.

Bridge	Road	77	Richmond	Reinforced Concrete & Monier Pipe Construction Co P/L offices (since demolished)	181130	Individually significant	1936
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Table 1. Current entry in Appendix 8

The current building at 77 Bridge Road, Richmond is a two-storey shop and office building with glazed façade to Bridge Road. The lower shop façade is fully glazed. Adjoining buildings to the west are a pair of two-storey Victorian shops and residences. They have parapetted facades with pediments, rows of festoons, dividing pilasters with crowning urns, pairs of first floor windows and early shopfront forms. It would appear that the original building at 77 Bridge Road formed a row of three with these buildings (Figure 3).

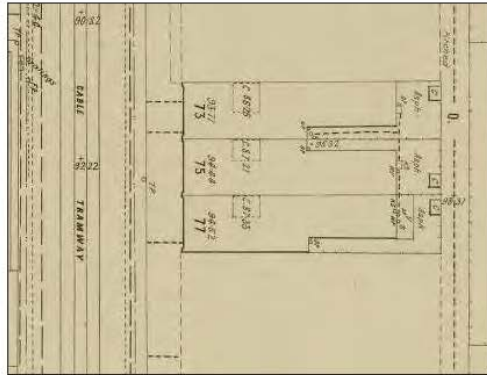


Figure 3. MMBW Detail Plan 1049 & 1055, 1897 (SLV)

A row of three attached shops and residences had been built at 73-77 Bridge Road, Richmond by 1897, as indicated on the Melbourne and Metropolitan Board of Works (MMBW) Detail Plan (Figure 3). The buildings at 73 and 75 Bridge Road remain (Figure 1).

In 1936 the building at 77 Bridge Road was replaced by a two-storey office building for the Reinforced Concrete & Monier Pipe Construction Co P/L, a company which was established by John Monash and had associations with architect Walter Mason. The two-storey brick office building, with contrasting render wall finishes and steel window frames, was designed in a Moderne style (Figure 4).¹



Figure 4. Reinforced Concrete & Monier Pipe Construction Co P/L offices before demolition in 2005/6 (VHD image)

¹ City of Yarra Citation for 77 Bridge Road, Richmond, Victorian Heritage Database

A demolition permit for this building was granted by VCAT in 2005 and demolition occurred by 2006.² The present building was subsequently constructed on the site.

Recommendation:

It is recommended that Appendix 8 be amended to identify 77 Bridge Road as 'not contributory' within HO310.

4.2 177 Bridge Road, Richmond



Figure 5. Current development at 177 Bridge Road, Richmond (GJM Heritage, February 2018).

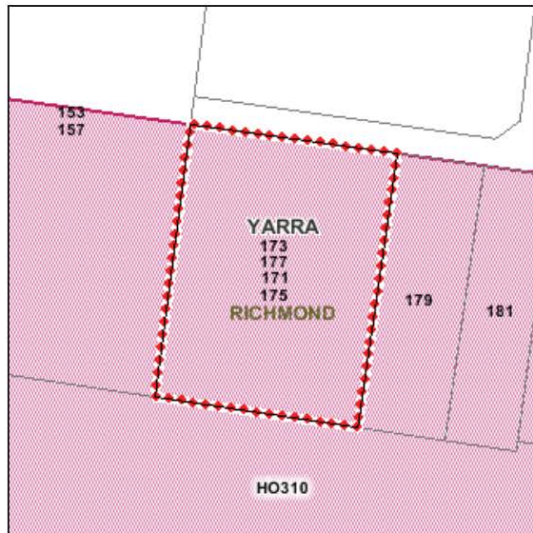


Figure 6. Extract of Heritage Overlay map showing 177 Bridge Road, Richmond within HO310 (© Planning Maps Online).

² City of Yarra Citation for 77 Bridge Road, Richmond, Victorian Heritage Database

The property at 177 Bridge Road, Richmond is currently graded as 'Individually Significant' within HO310 – Bridge Road Precinct.

Bridge	Road	177	Richmond	Nation Picture Theatre, former	181300 individually significant	1920-1925
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Table 2. Current entry in Appendix 8

The grading applies to the Former Nation Picture Theatre building (Figure 7), which has recently been demolished and replaced with new built form (see Figure 5).



Figure 7. Former Nation Picture Theatre before demolition (VHD image)

Recommendation:

As no heritage fabric remains at the site, it is recommended that Appendix 8 be amended to identify 177 Bridge Road as 'not contributory' within HO310.

4.3 113, 113A, 115 & 115A Bridge Road, Richmond



Figure 8. (Left to right) 109, 111, 113 & 115 Bridge Road (GJM Heritage, February 2018).



Figure 9. (Left to right) 115A & 113A Bridge Road, facing Corns Place (©Google).

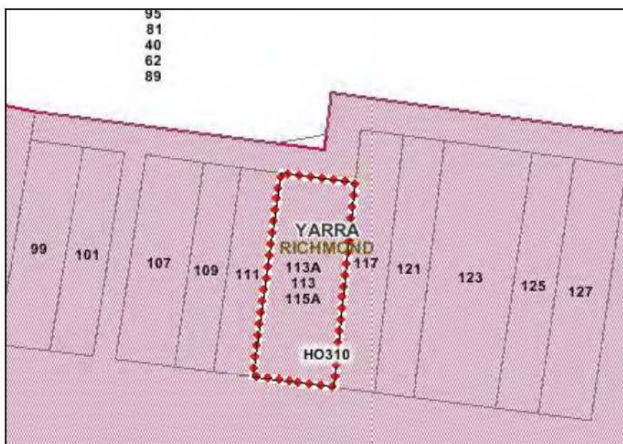


Figure 9. Extract of Heritage Overlay map showing 113A, 113 & 115A Bridge Road within HO310 (© Planning Maps Online).

113 and 115 Bridge Road are currently listed as ‘not contributory’ within HO310 – Bridge Road Precinct while 113A and 115A are identified as being ‘contributory’.

Bridge	Road	107	Richmond	Shop & residence	181205 contributory	1870-1890
Bridge	Road	108	Richmond	Shop & residence	182020 individually significant	1885-
Bridge	Road	109	Richmond	Shop & residence	181215 contributory	1870-1890
Bridge	Road	110	Richmond	Shop & residence	182015 individually significant	1885-
Bridge	Road	111	Richmond	Shop & residence	181220 contributory	1870-1890
Bridge	Road	112	Richmond	Shop & residence	182000 contributory	1870-1890
Bridge	Road	113 -115	Richmond	Unit	181225 not contributory	1990-2000
Bridge	Road	113A	Richmond	Shops & residences	285095 contributory	1870-1890?
Bridge	Road	114	Richmond	Shops & residences	306160 contributory	1870-1890
Bridge	Road	115A	Richmond	Shops & residences	285100 contributory	1870-1890?

Table 3. Current entries in Appendix 8

The buildings at 107-115 Bridge Road, Richmond currently present as a run of two-storey Victorian shops and residences. The buildings at 109-113 Bridge Road are a group of three matching buildings with central pediment, while 115 Bridge Road is a separate single fronted building (Figure 8). To the rear of 113 and 115 is a recent two-storey unit development (Figure 9).

The 1897 MMBW Detail Plan (Figure 10) shows that the buildings at 107-113 had been constructed, while no. 115 at the east end remained vacant. An aerial photo dating to 1945 appears to show that 115 Bridge Road was occupied by a single-storey building, or was vacant land bound by a fence on the front boundary, creating a shadow (Figure 11). The Sands & McDougall Directories do not list 115 on Bridge Road during this period, which suggests that if a building did occupy the site, it may have operated with, and been addressed as part of no. 113 (this has not been confirmed).

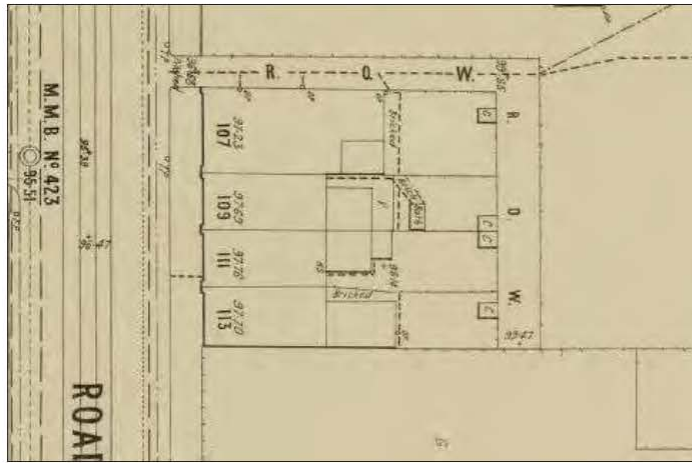


Figure 10. The 1897 MMBW Detail Plan (No 1049 & 1055) indicating that no. 115 remained vacant.

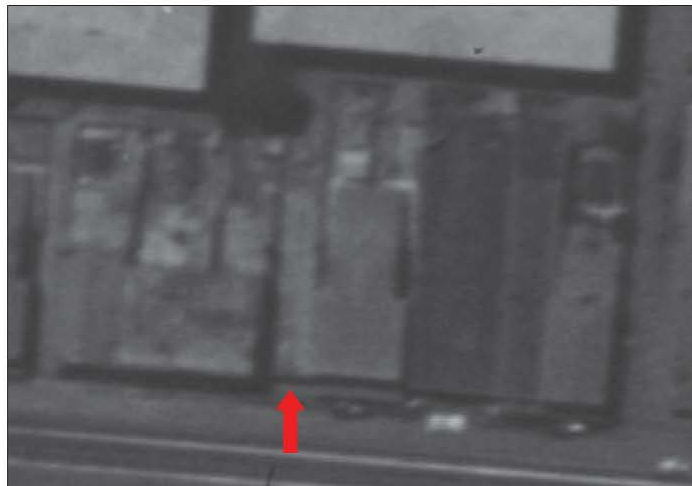


Figure 11. A 1945 aerial showing the buildings between Corns Place and Leigh Place. No. 115 is indicated by the arrow (Landata historical aerial photos: Melbourne and Metropolitan Area Project, Run 23 (12/1945)).

By 1952, no. 115 appears to have been vacant land. An article published in *The Argus* in 1952 (22 Feb 1952:2) advertised the sale of 'No. 113-115 Bridge Road, Richmond' which was described as comprising a 'Two-storied Brick Shop and adjoining Shop site' on land measuring 10.6m by 33.5m and 26.2m (34'9" by 110' and 86"); the depth of no. 115 appears to have matched the current depth of no. 117.

In 1957, Mr E Haralampou submitted an application to the City of Richmond for a 'brick building' at 115 Bridge Road, Richmond (PROV, VPRS 16189/P2/Unit 451, catalogue entry; drawings not sighted). By 1965, 115 Bridge Road was listed in the Sands & McDougall Directories for the first time (not listed in 1960), occupied by E Haralampou. By 1970, RG Lee, surveyor, occupied 115 Bridge Road (S&Mc).

Recommendation:

As 113 Bridge Road is a substantially intact building within a terrace row constructed prior to 1897, it is recommended that Appendix 8 be updated to identify this building as being 'contributory' within HO310. As nos. 115, 113A and 115A were all constructed post-1957, it is recommended that these buildings are all identified as 'not contributory' in Appendix 8.

5. Heritage Boundary Review

During the course of the Built Form Review it was determined that a number of corrections or alterations to existing Heritage Overlay curtilages (boundaries) are required. These are addressed below, in combination with other heritage updates where relevant.

5.1 Former Crusader Plate Building, 651-653 Victoria Street, Abbotsford (HO63) and Former Handley & Tilley Building, 655 Victoria Street, Abbotsford (HO64)



Figure 12. Former Crusader Plate Building (L) and Former Handley & Tilley Building (R), (May 2018)

The Former Crusader Plate Building (HO63) was built in 1937 to the immediate west of the earlier (1929) Former Handley & Tilley Building (HO64). The Skipping Girl Sign (VHR H2083, HO353) is situated above the Former Crusader Plate Building, at its south-eastern end. The Former Crusader Plate Building is a Moderne style industrial building, located on the north side of Victoria Street, near the corner of Walmer Street. The Heritage Overlay for the Former Crusader Plate Building is shown as HO63 in Figure 13.



Figure 13. Extract of Heritage Overlay map showing 651-655 Victoria Street, Abbotsford (© Planning Maps Online).

The Former Crusader Plate Building has been identified as 'Individually Significant' in a site-specific Heritage Overlay.

HO63					
Victoria	Street	651 -653	Abbotsford	Crusader Plate Building, former, & Skipping Girl Vinegar sign	103585 individually significant 1937

Table 4. Current entry in Appendix 8 for HO63



Figure 14. Former Handley & Tilley Building (May 2018)

The Former Handley & Tilley Building, 655 Victoria Street, Abbotsford (HO64) is a Moderne style industrial building, located on the north side of Victoria Street, near the corner of Walmer Street. The Former Crusader Plate Building (HO63) was built in 1937 to the immediate east of the building and it is understood that the western wing of the Former Handley & Tilley Building (left hand side of Figure 14) was also constructed at that time. The Heritage Overlay for the Former Handley & Tilley Building is shown in Figure 13 as HO64. It is noted that the Heritage Overlay currently only covers the central tower form of the building. The left hand wing is currently included within the Former Crusader Plate Building Heritage Overlay (HO63) while the right hand wing is currently not covered by the Heritage Overlay.

The Former Handley & Tilley Building has been identified as 'Individually Significant' in a site-specific Heritage Overlay.

HO64					
Victoria	Street	655	Abbotsford	Handley & Tilley Building, Former	103580 individually significant 1929

Table 5. Current entry in Appendix 8 for HO64

As the Former Handley & Tilley Building is a symmetrical building with central tower and identical wings either side (see Figure 14), it is recommended that HO64 be extended to the east and west to include the two flanking wings and associated land. Figure 15 below shows the extent of the proposed extended Heritage Overlay with the yellow outline indicating the portion of land to be removed from HO63 and included within HO64 (subject to the boundaries of the VHR listed Skipping Girl Vinegar sign).



Figure 15. Aerial photograph of 651-653 Victoria Street, Abbotsford (outlined in red), showing the recommended addition to HO64 (outlined in blue) and the portion of HO63 which should be included in HO64 (outlined in yellow) (Google Maps 2017).

Further to the boundary issue, it is noted that the current Statements of Significance for the two places broadly captures the heritage values and architectural qualities of the places; however it is recommended that the following elements that contribute to the places should also be identified:

Former Crusader Plate Building:

- Plain façade parapet with sawtooth roof behind
- No front setback
- Face brick facade, including graded brick colours towards the top of the façade
- Repetitive fenestration patterns to front and side facades.

Former Handley & Tilley Building:

- Plain façade parapet with generally flat roof behind
- Various minimal front setbacks
- Face brick facades, including graded brick colours towards the top of the facade
- Strong horizontal lines formed by parapets, strips of fenestration and spandrels
- Strong vertical lines formed by central tower element and associated detailing
- Repetitive fenestration patterns
- Moderne detailing including curved walls, projecting canopy and tops of piers.

Updated Statements of Significance are provided in the Reference Document at Attachment A.

5.2 21-23 Lithgow Street, Abbotsford (HO339)

The building at 21-23 Lithgow Street, Abbotsford is a single storey, late twentieth century commercial building which is located at the southern boundary of the HO339 – William Street Precinct, Abbotsford.



Figure 16. 21-23 Lithgow Street, Abbotsford (May 2018)



Figure 17. Extract of Heritage Overlay map showing 21-23 Lithgow Street, included at the southern end of HO339 (© Planning Maps Online).

Appendix 8 identifies the building as 'not contributory' within HO339 – William Street Precinct.

Lithgow	Street	21 -23	Abbotsford	Factory/warehouse	106025	not contributory	1970-1980
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Table 6. Current entry in Appendix 8 for HO339

The William Street Precinct (HO339) is of significance for the following reasons:

- As an important group of substantially intact, modest masonry and timber workers' housing dating predominantly from the late nineteenth and early twentieth century, including a number of early significant bluestone dwellings;
- For contributory industrial buildings in Lithgow and William Streets;
- For early street, lane and allotment layouts, together with mature street trees, original bluestone infrastructure (such as kerbs and guttering), providing an appropriate setting for this collection of buildings; and
- For the enhancement to the historic character of the area provided by individually significant landmark buildings, such as St David's church, the highly significant Denton's Hat Mill adjoining in Nicholson Street, and the Abbotsford Primary School in Lithgow Street.

Recommendation:

The building at 21-23 Lithgow Street does not contribute to the identified heritage values of the precinct and is located at the southern boundary of HO339. It is recommended that this building be removed from the Heritage Overlay and from Appendix 8.

5.3 Former Richmond Cinema, 311 Bridge Road, Richmond (HO310)



Figure 18. 311 Bridge Road (rear), Richmond (May 2018)

The former Richmond Cinema (and former Crystal Palace Skating Rink) is a large, simple, gable roofed warehouse building located on the north side of Bridge Road, to the immediate west of the former Richmond Police Station and Richmond Town Hall. The former Richmond Cinema is partially included within HO310 (Bridge Road Precinct) and is partially excluded from the Heritage Overlay (see Figure 19). Appendix 8 identifies the property as being 'Contributory' to HO310.

Bridge	Road	311 -317 Richmond	Richmond Cinema, former part rear, later Hoyts (now Showroom), former Crystal Palace Skating Rink	193690 contributory	1919 rebuild
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Table 7. Current entry in Appendix 8 for HO339



Figure 19. Extract of Heritage Overlay map showing 311 Bridge Road, included at the southern end in HO310 (© Planning Maps Online).

It is understood that the building is currently being assessed as part of a thematic heritage study relating to cinemas commissioned by Council; however, in the interim, it is considered appropriate for the Heritage Overlay to cover the full extent of the site. This is particularly important given the former Crystal Palace / Richmond Cinema was located at the rear of the building (see Figure 20).

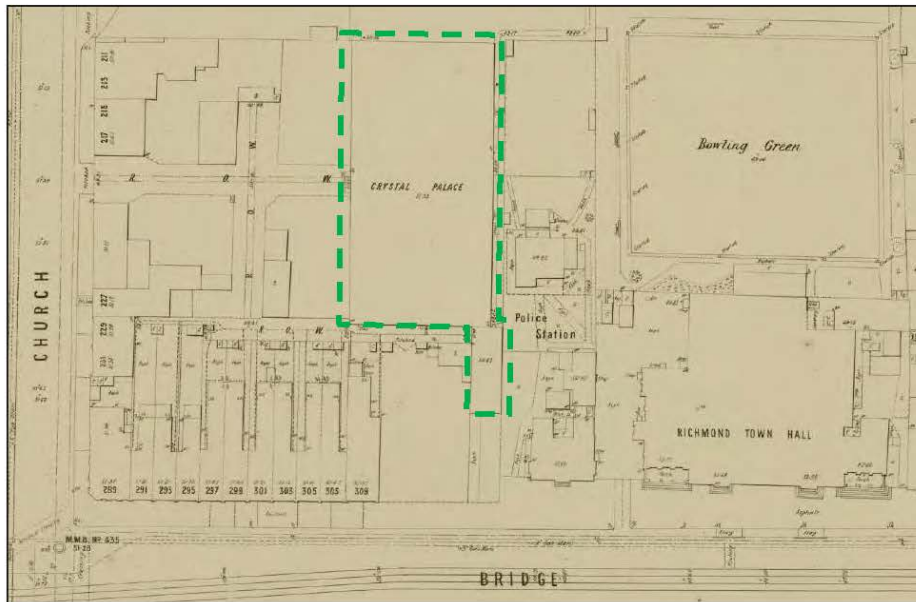


Figure 20. The extent of the Crystal Palace building in 1898, within the civic centre of Richmond (MMBW DP 1053, 1898).

Recommendation:

The whole of the land parcel at 311 Bridge Road, Richmond should be included within HO310 Bridge Road Precinct.

**Attachment A – Proposed Reference Document to Clause 22.02 of the
Yarra Planning Scheme**

Yarra High Streets: Statements of Significance

October 2017 (updated June 2018)

This reference document contains the Statement of Significance for all Heritage Precincts and Individually Significant Places (where a Statement of Significance has been prepared) within:

- *Swan Street Built Form Review Study Area* (City of Yarra & Tract, Oct 2017).
- *Swan Street Built Form Study: Heritage Assessments & Analysis* (GJM Heritage, Oct 2017)
- *Queens Parade Built Form Heritage Analysis and Recommendations Report* (GJM Heritage, Nov 2017)
- *Victoria Street and Bridge Road Built Form Review Heritage Assessments* (GJM Heritage, June 2018)

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Individually Significant Places

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Individually Significant Places within a Precinct

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STATEMENTS OF SIGNIFICANCE

PRECINCTS

1. Bendigo Street Precinct, Richmond

HO309

Source: Graeme Butler & Associates (2007, 2013), *City of Yarra Review of Heritage Overlay Areas*
Updated by GJM Heritage (2017), *Swan Street Built Form Review*

What is significant?

The Bendigo Street Heritage Overlay Area was part of Crown Allotment 16 as sold to J M Chisholm in 1840.17 Plans from 1895 show that, by then, three-quarters of the area was developed with housing, mostly in Park Grove, Kimber, Brooks and Survey Streets. The Wertheim Piano Factory (HO224), later the GTV9 television studios, dominated the area from the Edwardian-era. The factory was once the largest piano factory in Australia, occupying a four acre site, complete with its own power generator and tramline. Designed c1909 by architect Nahum Barnet, the buildings are important heritage elements in the streetscape.

Nearby Richmond Park (now Burnley Park) was the pleasure ground for this area as well as the rest of inner Melbourne and now forms the eastern boundary of the area.

Main development era

The main development era evident in the heritage overlay is that of the Victorian and Edwardian-eras, with a contribution from well preserved inter-war buildings and individually significant places of all eras, such as the former Wertheim Piano Factory.

Contributory elements

The contributory buildings in the Bendigo St Heritage Overlay Area include mainly (but not exclusively) small attached and detached Victorian-era and Edwardian-era one-storey houses, but with some well preserved residential examples from the immediate post First-War era, having typically:

- Consistent building scale and setbacks
- Pitched gabled or hipped roofs, with some façade parapets;
- One storey wall heights;
- Weatherboard, face brick (red, bichrome and polychrome), bluestone, or stucco walls;
- Corrugated iron roof cladding, Marseilles pattern terra-cotta tiles, with some slate roofing;
- Chimneys of either stucco finish (with moulded caps) or of matching face brickwork with corbelled capping courses;
- Post-supported verandah or porch elements facing the street;
- Less than 40% of the street wall face comprised with openings such as windows and doors; and
- Front gardens, originally bordered by typically timber picket front fences or wire fences (inter-war) of around 1m height; also
- Corner shops and residences with large display windows and zero boundary setbacks.

Public infrastructure, expressive of the Victorian and Edwardian-eras such as stone pitched road paving, kerbs and channels, and asphalt paved footpaths

How is it significant?

HO309 Bendigo Street Heritage Overlay Area, Richmond is **aesthetically and historically** significant to the City of Yarra (National Estate Register [NER] Criteria E1, A4)

Why is it significant

The Bendigo Street Heritage Overlay Area is significant for:

- Its substantially intact single-storey Victorian-era housing that varies between modest and

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- ornate;
 - Edwardian house examples, particularly in Swan and Moore Streets, being both typical and highly decorated Edwardian dwelling types, complemented by the significant Edwardian-era former Wertheim Piano Factory;
 - The retention of early materials and elements in the public domain, such as street construction, and the retention of many bluestone laneways;
 - The demonstration of a typical 19th century suburban area with its attached and detached housing stock and corner shops, that has been subsequently lost in other parts of the inner suburbs; and
 - The consistency of building scale and setbacks, creating cohesive and homogeneous streetscapes that are enhanced by mature plane tree avenue plantings.
-

2. Bridge Road Precinct, Richmond

HO310

Source: GJM Heritage (2018), *Victoria Street and Bridge Road Built Form Review Heritage Assessments*

What is significant?

North side of Bridge Road, Richmond from Punt Road to east of Church Street (nos. 1- 433, with some specific exclusions)

South side of Bridge Road, Richmond from Punt Road to east of Burnley Street (nos. 2-534)

West side of Church Street, south of Bridge Road (nos. 252-256)

Waltham Street (nos. 1A & 2A).

History

Bridge Road was designated as a road reserve in Hoddle's Crown survey of 1837. It became a principal thoroughfare from Melbourne to the eastern suburbs when a bridge over the Yarra River was constructed at its eastern end in 1855. Retail and service trades first concentrated at the west end near Hoddle Street, and by the 1860s there was a proliferation of shops and businesses, including butchers, drapers, shoemaker, fruiterers, tailors, hairdressers, grocers, Egan's steam sawmill and several hotels. Amongst the early hotels were The Vine, 254 Bridge Road and Morans Spread Eagle, 372 Bridge Road.

From its inception, Bridge Road was intended to be the civic centre of the district with the town hall, courthouse and post office complex and police station constructed in 1869-71. In the 1870s Bridge Road, east of Church Street, was widened and named Campbell Parade and the civic centre soon became the site for other public buildings, including a market, skating rink, bowling green and baths.

During the prosperous 1870s and 1880s boom period many earlier buildings along Bridge Road were replaced with rows of one and two-storey commercial buildings with residences to the first floor or to the rear. Much of the present streetscape reflects this period, with notable buildings including Stanford Block, 314-328 Bridge Road; commercial premises at 289-307 Bridge Road; Bleasby Buildings, 398-404 Bridge Road and Allans Buildings, 384-392 Bridge Road. Development was encouraged by the opening of the first cable tram line in Melbourne in 1885, which ran along the length of Bridge Road from Bourke Street to the Hawthorn Bridge. This was replaced with an electrified tram service in 1916.

Commercial development along Bridge Road virtually ceased for a decade during the 1890s depression and recommenced with the construction of substantial and distinctive buildings, such as Wustermann's Buildings, 138-144 Bridge Road (1901) and Theobald's Buildings, 294-296 Bridge Road (1909). This added an Edwardian presence to the existing Victorian character of the precinct. A small number of Interwar buildings added to the streetscape character, including the Royal Oak Hotel, 529-533 Bridge Road (1923), the former Commonwealth Savings Bank of Australia, 267 Bridge Road (1939) and the distinctively remodelled Richmond Town Hall (1934-36).

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Since World War II, much of the nineteenth century streetscape of the eastern end of Bridge Road has been eroded, however the predominantly Victorian and Edwardian commercial character of the central and western portions has been largely retained, even with the growth of the Epworth Hospital Complex in the north-western portion of the precinct and larger apartment developments in the area immediately east of the Epworth Complex.

Description

The main development period of the Bridge Road Precinct is from the 1870s/1880s to the 1920s and the streetscape dates largely from this period. A small number of buildings from both earlier and later periods make a contribution to the precinct. A number of individually significant Victorian, Edwardian and Interwar buildings are contained within the precinct.

The dominant building form is attached Victorian and Edwardian shops and residences. They are predominantly two-storey with some one and three-storey shops interspersed.

Elements that contribute to the significance of the place include (but are not limited to):

- A variety of simple and highly decorative façade parapets, with pitched roofs behind
- No front or side setbacks
- Face red brick (including polychrome) or rendered walls
- Rendered window frames, sills and hoods to upper storeys
- Rendered ornament and incised decoration to upper storeys
- Brickwork with corbelled capping courses
- Some original post-supported street verandahs
- Strong horizontal lines formed by parapets, cornices, string courses
- Repetitive upper floor fenestration patterns
- Consistent two-storey scale with some one and three-storey buildings
- Shop fronts with display windows, timber or tiled plinths, and entry recesses
- Some red brick storage or stable buildings at the rear or side lanes
- Splayed corners to buildings at intersections
- Corrugated iron and slate roof cladding
- Bluestone pitched road paving, crossings, stone kerbs and channels and asphalt paved footpaths
- Some intact rear wings and outbuildings.

How is it significant?

Bridge Road, Richmond is of historical, architectural and aesthetic significance to the City of Yarra.

Why is it significant?

The Bridge Road Precinct is a major 'High Street' in the City of Yarra and has functioned continuously as one of Richmond's two key commercial centres since the 1840s. It retains a substantial collection of intact commercial buildings, predominantly from the Victorian and Edwardian periods, including shops and associated residences, hotels and other commercial and civic buildings. Together these buildings demonstrate the development of this major 'High Street', particularly from the 1870s/80s and from c1900 to the 1920s when substantial growth in the street occurred. These buildings are illustrative of the enduring role the street has played in the economic and social life of Richmond since the establishment of the suburb [Criterion A].

The substantially intact streetscape of the Bridge Road Precinct clearly demonstrates the principal characteristics of a major turn of the century 'High Street' in the City of Yarra. Typical characteristics, including predominantly two-storey Victorian and Edwardian wall heights, parapeted rendered or red

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brick facades with repetitive upper floor fenestration, and ground floor shopfronts, are displayed in the original forms, fabric and detailing of many of the buildings. The Bridge Road Precinct contains groups of buildings that retain intact typical rear wings and outbuildings, these include, amongst others, commercial premises at 289-307 Bridge Road and Stanford Block (314-328 Bridge Road). The streetscape on the south side of Bridge Road between Punt Road and Burnley Street are particularly notable for their highly intact and consistent architectural form and expression [Criterion D].

The Bridge Road Precinct contains a number of individually significant buildings which are well-considered and carefully detailed examples of commercial and civic buildings. These include, among others, the former Melbourne Savings Bank (182-184 Bridge Road); Wustermann's Building (138-144 Bridge Road); commercial premises at 289-307 Bridge Road; Theobalds Building (294-296 Bridge Road); Stanford Block (314-328 Bridge Road); Allans Buildings (384-392 Bridge Road) and Bleasby Buildings (398-404 Bridge Road), as well as hotels such as The Vine (254 Bridge Road) and Morans Spread Eagle (372 Bridge Road). The clock tower of the Richmond Town Hall is of particular prominence and is a local landmark. Richly detailed facades throughout the precinct, including parapet ornamentation, balustrading and pediments, incised and applied decoration and polychromatic brickwork, make an aesthetic contribution to the overall character of the precinct [Criterion E].

3. Church Street Precinct, Richmond

HO315

Source: Graeme Butler & Associates (2012), *City of Yarra Heritage Gaps Review (Review 1)*

What is significant?

Subdivision

The Church Street Heritage Overlay Area includes parts of the first suburban Crown Allotments sold in the City, being Crown Portions 20, 21, 26 and 27, each 25 acres in area. Allotments 21 and 22 were purchased in 1839 by Rev. Joseph Docker (squatter), Allotment 20 by Charles Williams (auctioneer), and Allotment 26 by W H Yaldwyn (squatter, banker).

The Waltham Street and Darlington Parade areas were subdivided in 1853 and further subdivided in the 1880s. Docker had subdivided his two allotments by 1853, with plans for a model village set out on the flat below his townhouse at 370 Church Street. By the turn of the century, most of the Heritage Overlay Area was developed. The topography of the Heritage Overlay Area, the highest point in Richmond, attracted both the churches and the wealthier colonists with the result that the majority of the earliest residences were of a more substantial nature compared with other sections of Richmond.

This area has remained one of the most prestigious parts of Richmond for residential development. As an example, Howard Lawson's Elmhurst Flat block of 1934 aimed to tap into this prestigious residential location, paralleling with his significant Hollywood style Beverley Hills and Stratton Heights Flats, sited across the Yarra River at South Yarra.

Large villas

By 1855, villas with large gardens and orchards had been established in Church Street between Brougham and Elm Streets. Early houses which survive include Doery House (353 Church Street) and Messenger House (333 Church Street, formerly Stonehenge), the latter being built prior to 1843 for Captain John Roach⁴ and remodelled in the Edwardian period.

Major church complexes

Three major church complexes were established in the Heritage Overlay Area in the mid-1800s. St Stephen's Anglican Church (1850-1876) at 360 Church Street was designed by Blackburn and Newson on land donated to the church by the Rev. Joseph Docker and is one of the earliest bluestone churches

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built in Victoria. The Wesleyans began the construction of a temporary timber chapel (later the schoolhouse) in 1853, bluestone chapel in 1858, and added a schoolhouse (1871) and a parsonage (1876). St Ignatius' Roman Catholic Church (326) was built in stages between 1867 and 1928, to a design by prominent architect William Wardell, with the bluestone Presbytery added in 1872.

Civic buildings

Other non-residential developments in the Heritage Overlay Area included the former Richmond United Friendly Society Dispensary (1884; 294 Church Street), and the Hibernian Hall (1872; 316 Church Street), which was built as a temperance hall. The Richmond RSL was built in 1922, as an expression of the continuing premier civic status of this part of Church Street in the 20th century. The Richmond Library is the most recent civic development in the area.

Commercial development

Commercial development extended north from the major thoroughfares of Swan St and south from Bridge Road in the late Victorian and Edwardian-eras.

Main development era

The main development period evident in the heritage overlay is that of the Victorian and Edwardian-period, with a contribution from some well preserved inter-war buildings and individually significant places of all eras. Large houses, religious and public buildings from this period are the key elements in the heritage overlay.

Contributory elements

The Church Street Heritage Overlay contributory elements include (but not exclusively) large detached Victorian-era and Edwardian-era and small attached Victorian-era, one and two storey houses having typically:

- pitched gabled or hipped roofs, with some façade parapets;
- face brick (red, bichrome and polychrome) or stucco walls;
- corrugated iron, unglazed Marseilles pattern terra-cotta tiles, and slate roofing;
- chimneys of either stucco finish (with moulded caps) or of matching face brickwork with corbelled capping courses;
- typically with post-supported verandah elements facing the street;
- less than 40% of the street wall face comprised with openings such as windows and doors; and
- front gardens, originally bordered typically by timber picket front fences of around 1m height;

Contributory elements also include shops and residences of the Victorian and Edwardian-eras, with:

- display windows and recessed entries;
- zero boundary setbacks;
- mainly one storey scale;
- attached rectilinear plan form, a parapeted roofline; and

Substantial Victorian-era ecclesiastical buildings with:

- free standing rectilinear form
- pitched roofs, some towers and spires positioned to be visible from a distance;
- fenced yards, with potential use of timber or iron pickets and a stone base for the frontage fence;
- two storey and greater wall heights;
- stone, masonry or stuccoed masonry facades, slate or tiled roofs; and
- less than 40% of the street wall face comprised with openings such as windows and doors.

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Contributory elements also include:

- Public infrastructure, expressive of the Victorian and Edwardian-eras such as stone pitched road paving, kerbs and channels, and asphalt paved footpaths - mainly in side streets; and
- Many significant buildings within the Heritage Overlay Area have their own heritage overlay (HO241, HO242, and the St Ignatius complex) but nevertheless are contributory to the Church St Heritage Overlay Area.

How is it significant?

HO315 Church Street Heritage Overlay Area, Richmond is aesthetically and historically significant to the City of Yarra (National Estate Register [NER] Criteria E1, A4).

Why is it significant?

The Church Street Heritage Overlay Area is significant:

- As one of the first parts of Richmond to be subdivided and developed, as expressed by early buildings like Messenger House 333 Church Street, from the 1840s;
- As the chosen site for a high number of individually significant 19th and early 20th century buildings set in grounds and including early ecclesiastical and civic buildings, and some Melbourne landmarks, as well as substantial residential buildings that were attracted to the area by its elevated topography, high amenity and proximity to churches;
- As the site of key civic or institutional buildings in Richmond from the 19th century through to the 1920s (i.e. The Richmond RSL Hall); and
- For its significant architecture such as the William Wardell designed St. Ignatius Roman Catholic Church as a well known and prominent landmark across the metropolitan area.

The heritage character of the precinct is also supported by the commercial development extending up Church St from the Swan St and Bridge Road shopping areas with shops dating from the late 19th and early 20th centuries, as part of the cultural context of Victorian and Edwardian-era life on the hill.

4. Clifton Hill Western Precinct

HO317

Source: Graeme Butler & Associates (2007, 2013), *City of Yarra Review of Heritage Overlay Areas* [see Study for footnote references]

What is significant?

Survey

Following the establishment of the East Collingwood Council in 1855, The East Collingwood Local Committee successfully sought permission for East Collingwood to annex what is now Clifton Hill. East Collingwood wanted to extend East Collingwood's north south streets (Smith, Wellington and Hoddle) northwards to the Heidelberg Road (today's Queens Parade) to tap the traffic and trade coming from country areas such as Heidelberg; to gain access to the quarrying area for street making materials; and for space to erect public buildings, such as a town hall and market.

Distinguished naturalist and engineer, Clement Hodgkinson, as Victorian Assistant-Commissioner of Crown Lands and Survey 1861-74, was responsible for the government subdivisions of Carlton (south of Princes St, 1860), North Carlton, North Fitzroy and Clifton Hill (1865-9), Hotham Hill (1866), South and North Parkville (1868-9). Under his supervision, suburban planning employed the cost-efficient grid system used by Hoddle. Hodgkinson's predecessor.

The P. M. Goldbrick's 1864 *Plan of Allotments in the Boroughs of East Collingwood and Fitzroy* shows the distinctive geometric forms of Darling Gardens and Mayor's Park in Clifton Hill and Edinburgh Gardens in North Fitzroy.³⁵ The streets of Clifton Hill, North Fitzroy and North Carlton, as set out by the

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Colonial Government, were broader and better ordered than those created privately in Richmond, South Fitzroy and Collingwood, with the added distinction of the curved street forms in Fitzroy North.

Sale of land commenced in the 1860s with ample reserves for public purposes, the Darling Gardens and Mayors Park, a Market Reserve in Smith Street extending from Alexandra Parade to Council Street, a Public Baths Reserve in Smith Street from Council Street to Hodgkinson Street, a School Reserve in Gold Street and five Church Reserves throughout the area. By way of contrast, all the land sold in East Clifton Hill between 1871-1874 had no provision for public reserves.

Early Residential Development

In the three years from the first land sales in 1864 only six houses were built and in the next five years to 1872, 58 houses, four commercial premises (Queens Parade) and one industrial building (in Hoddle Street) were built. Early residential concentrations were at the west end of Alexandra Parade and the west end of Hodgkinson and Council Streets. These were near the horse drawn omnibuses to Northcote along Smith Street and Queens Parade (started in 1869) and employment opportunities at the Collingwood Gas Works in Smith Street, opened in 1861.

Amenity protection

Members of the public, including councils and organised pressure groups, wrote annually in relation to crown land reserves. In 1862-62 a petition from the 'Municipal District of East Collingwood' was presented to the Legislative Assembly citing the good work of the local Vigilance Committee towards improving Clifton Hill.³⁶

The level of community involvement engaged in 'articulating public interest priorities' can be gauged by the level and nature of the correspondence of which there was a great deal.³⁷ Demands for public parks, recreation areas, sporting grounds and botanic gardens increased.³⁸

More recently, The House of the Gentle Bunyip, constructed in three phases by two families between 1867 and the 1920s was the subject of controversy in the late 1990s when the local community successfully saved the building from demolition, after staging a picket lasting over 400 days.

Early public gardens

Preparations for planting the two Reserves (Darling Gardens and Mayors Park) proceeded with an application made in 1864 to Dr. Mueller FRS, Botanical Gardens Melbourne, for an assortment of trees, plants and shrubs and a liberal supply of Victorian *Hakea*, for the planting of Darling Gardens.³⁹ Many significant trees in Mayors Park and Darling Gardens have been identified as significant, including elm groups, cotton and Canary Island palms, and oaks.⁴⁰ The National Trust of Australia (Vic) has identified a *Quercus ilex* and *Ulmus procera* as significant trees in the Darling Gardens.

Trees

The 1897 MMBW Record Plan 29 shows that Hoddle Street had a double avenue of trees in Clifton Hill, Wellington Street was fully planted both sides with street trees from one end to the other, and Noone Street had trees at the east end. North Terrace had ten trees planted by local identity, George Langridge, MLA and former Mayor.

Boom era

During the metropolitan boom of 1881-91, the population of Collingwood increased by half, from 23,829 to 35,070, and the number of dwellings rose from nearly 5,000 to 7,000, mostly reflecting the development of Clifton Hill.⁴¹ The character of the area, as later described in *Victoria and its Metropolis*, was of a residential suburb "... that has of late years been extensively built on with a good class of houses and numerous handsome shops. It has an elevated position, and commands an excellent view of the metropolis."⁴² Local politicians and business figures (such as George Langridge) promoted development and aided in home ownership via building societies.

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By the end of the boom in 1891, West Clifton Hill was almost fully developed. The 1897 MMBW record plan shows few vacant blocks. Most of this development took place between 1881 and 1891, more quickly and more completely than in East Clifton Hill, North Fitzroy or North Carlton, the other government planned suburbs. This growth was due to Clifton Hill's closer proximity to employment and commerce in the south, with industries in Collingwood and Abbotsford being within walking distance of Clifton Hill, and aided by cable trams running along Queens Parade and down Smith Street.

Victorian-era industrial development

Industries such as the Clifton Hill Brewery, Ridgeway's Tannery and Stacey's Boot Factory, continued to be located in the south east of the area fronting Alexandra Parade and Hoddle Street, adjacent to the former Reilly Street drain that was essential for effluent disposal. There was also Richard Hodgson's distinctive shot manufacturer's tower.

Post Boom

The early years of the 20th century saw some reinvigoration of industry after the financial trials of the 1890s. Comparatively little residential development took place after the Boom, except for development in two small subdivisions of the original Crown allotments in streets around the Darling Gardens.

Main development period

The main development period evident in the heritage overlay is that of the Victorian-era with a substantial contribution from the Edwardian-period. There is also a contribution from some well preserved inter-war buildings and individually significant places of all eras.

Contributory elements

Contributory buildings are typically (but not exclusively) detached and attached Victorian-era and Edwardian-era mainly one-storey houses having:

- Expressed pitched gabled or hipped roofs, with some façade parapets;
- Mainly one storey wall heights but with some two storey house rows;
- Weatherboard, face brick (red, bichrome and polychrome), or stucco walls;
- Corrugated iron roof cladding, Marseilles pattern terra-cotta tiles, with some slate roofing;
- Chimneys of either stucco finish (with moulded caps) or of matching face brickwork with corbelled capping courses;
- Typically with post-supported verandah elements facing the street, set out on two levels as required with cast-iron detailing;
- Less than 40% of the street wall face comprised with openings such as windows and doors; and
- Front gardens, originally bordered by typically timber picket front fences of around 1m height; and
- Corner shops and residences with display windows and zero boundary setbacks.

And

- Well preserved buildings, including one storey houses plus one and two storey industrial buildings from the pre Second World War era;
- The Darling Gardens as a typical Victorian-era Garden Square, with mature exotic formally arranged planting;
- Significant and mature park, street and private tree plantings (including plane, oak and elm trees, palms in Mayors Park, and National Trust of Australia (Vic) significant trees);
- Provision of public and church reserves in the town plan; and
- Public infrastructure, expressive of the Victorian and Edwardian-eras such as bluestone pitched road paving, crossings, stone kerbs, and channels, and asphalt paved footpaths.

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How is it significant?

HO317 Clifton Hill Western Heritage Overlay Area is aesthetically, socially and historically significant to the City of Yarra (National Estate Register [NER] Criteria E1, A4)

Why is it significant?

Clifton Hill Western Heritage Overlay Area annexed by East Collingwood Council in 1855 and substantially developed by World War One is significant:

- As an expression, in the history of its creation as part of Collingwood East, of the aspirations of tradesmen of the Collingwood Slope for improved urban development and the provision of public facilities;
- For the role of local politicians and business figures in social, physical and industrial improvement and home ownership in the area;
- As the focus of community sentiment and resident protest from its initial development in the 1860s, from the actions of the Victorian-era Vigilance Committee to the preservation movements of the 20th Century, specifically the House of the Gentle Bunyip conservation campaign;
- For the distinctive street and allotment layout created under Government surveyor, Clement Hodgkinson⁴³, and the liberal allowance for garden squares and reserves for a market, public baths, a school, a recreation reserve and five churches, contrasting with private surveys in the City of Yarra;
- For Hoddle's provision of boulevards (Hoddle Street and Queen's Parade) skilfully merged with wide streets on a north south grid, with unusual five way intersections and triangular public spaces at each end of Queen's Parade;
- For the unique series of vistas from the crest of the hill at the end of Hoddle street that includes views of significant landmarks like the shot tower, spires of St. Johns and the former Wesleyan Church, Town Hall towers at Collingwood and Fitzroy, the Exhibition Buildings, and long vistas to the Kew hill and Studley Park, plus those to and from the Darling Gardens;
- For the area's fine representation of Victorian-era life, as expressed by the street and public reserves, along with the dominantly Victorian-era building stock including churches, a State school, factories, early houses, a large number of late Victorian terrace houses, attached and freestanding, and key house designs such as 12 North Terrace.
- For its focus on a representative and intact example of a residential garden square (Darling Gardens) based on British and European precedents, with associated significant trees;
- For the mature, largely exotic trees, including those planted by George David Langridge, MLA and former Mayor, bluestone kerbs, gutters, drains, channelling, and laneways from the area's major period of development;
- For the strong industrial theme, seen in the south of the area with several 19th Century industrial buildings including former boot factories, and a carriage factory, that links the area with the City's other creek and riverside industrial localities such as Clifton Hill East, Abbotsford and Collingwood;
- For well preserved Edwardian housing estates and individual houses as complements to the dominant Victorian-era residences; and
- For good examples of the Californian Bungalow style and other well preserved interwar houses.

5. North Fitzroy Precinct

HO327

Source: Graeme Butler & Associates (2007, 2013), *City of Yarra Review of Heritage Overlay Areas* [see Study for footnote references]

North Fitzroy has two sub-areas:

(A) The Government planned section south of Holden St

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(B) The privately planned section north of Holden St

(A) NORTH FITZROY HERITAGE OVERLAY AREA (SOUTH OF HOLDEN ST)

What is significant?

Early subdivision

The south section of North Fitzroy (south of Holden Street) was retained in Crown ownership until 1865, as part of the Melbourne township reserve. This was a ring of land extending 5 miles from Hoddle's original Melbourne town plan that was set aside in 1844 for 'orderly' development in government-planned subdivisions.⁷⁵

North of Holden Street, large agricultural allotments had been sold in 1839, their boundaries surviving in the east-west streets of Miller, Barkly and Clausen Streets. There was also an area, bounded by (approximately) Nicholson, Church, Rae and Scotchmer Sts, that was sold as private quarry allotments in 1851 to encourage production of building stone.⁷⁶

The future suburb was bordered by a road to Heidelberg and the Plenty districts (later Queen's Parade) that ran diagonally to Hoddle's survey grid through the North Fitzroy's Crown reserve. It was proclaimed in 1850 as one of Melbourne's 3 chain (60 metre) government roads, now called 'Hoddle boulevards'.

To the north, the township of *Northcote on the Merri-Merri Creek* (later Westgarth) was laid out by Hoddle in 1852 with some allotments extending south of the Merri Creek to Rushall Crescent in North Fitzroy. These allotments now have substantial buildings dating from the 1850s and 1860s (see Queen's Parade Heritage Area, HO331).

St. George's Rd was another diagonal route, on the western flank of the area, used to transport construction materials to the 1854-8 Yan Yean water supply scheme near Whittlesea.⁷⁷ By 1860, Fitzroy Council annexed the 480 acres now comprising North Fitzroy.

Distinguished naturalist and engineer, Clement Hodgkinson, as Victorian Assistant-Commissioner of Crown Lands and Survey 1861-74, was responsible for the government subdivisions of Carlton (south of Princes St, 1860), North Carlton, North Fitzroy and Clifton Hill (1865-9), Hotham Hill (1866), South Parkville and North Parkville (1868-9). Under his supervision, suburban planning employed the cost-efficient grid system used by Hoddle. A model town design⁷⁸ in the area by Hodgkinson's predecessor, Andrew Clarke (the designer of St Vincent's Place, South Melbourne), is thought to have inspired the curved streets of Alfred and Rushall Crescents in North Fitzroy, although both streets were laid out under Hodgkinson.⁷⁹

Edinburgh Gardens

Lacking a public recreation reserve, the new Fitzroy Council was temporarily granted 7 acres in 1858 bounded by Reilly Street (Alexandra Parade), Queens Parade and Smith St.⁸⁰ The 1858 reserve was for a future Anglican parish church and the Collingwood (later the Metropolitan) Gas Company which commenced production in 1861. In 1862, Fitzroy Council requested an oval-shaped 50 acre public reserve flanking the Yan Yean tramway (St. George's Road). The oval reserve was laid out under Hodgkinson and extended south in 1863, as a squared-off addition to the reserve to the line of Freeman St, to provide the Prince of Wales Cricket Club an extra playing ground.⁸¹ In 1882-3, Edinburgh Gardens was permanently granted to the Council and planting of its avenues commenced.

Land sales and development

Sale of North Fitzroy's ¼ - ½ acre allotments commenced in 1865, extending west from Rushall

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Crescent. Further east, lots between Brunswick and Nicholson Street were sold between 1867 and 1875.⁸² Settlement increased after 1869 when horse-drawn omnibuses began running from North Fitzroy along Nicholson St and Queen's Parade to the city. Development concentrated around the established quarry route (Nicholson Street) and the road to the Yan Yean Reservoir (St. George's Road).

St. Brigid's Catholic Church in Nicholson Street was commenced in 1869 and the Methodist Church, further north, in 1874. In the pre-Boom years (before 1883) this was North Fitzroy's most established area, characterised by modestly scaled brick and wood houses, shops, hotels, and commercial premises, the latter prevailing on main routes such as Rae, Reid, Brunswick Sts and St Georges Rd.

North Fitzroy Primary School was built in Alfred Crescent (HO212) overlooking Edinburgh Gardens. This was typical of 19th century government-planned suburbs where public schools were located on or near public recreation reserves. A police station was established west of the school, giving the north-west corner of the gardens a civic character, embellished by an ornamental fountain after the turn of the century.⁸³ St Luke's Church of England in St Georges Rd was commenced in 1879.

Suburban development was rare east of St Georges Road prior to the Boom, but in 1869 philanthropist George Coppin created the Old Actor's Association village overlooking Merri Creek close to Northcote, later the site of the Old Colonists' Association (HO218). Nearby land was granted to the Licensed Victuallers' Association for asylum homes and a school (site of Fitzroy Secondary School since 1915).⁸⁴

Transport

When cable tram routes along Queen's Parade, Nicholson Street and St. Georges Road commenced construction in 1883, North Fitzroy landowners began subdividing their allotments. On the Nicholson Street tram route, owners of the 1850s stone quarries and the 1839 farm allotments north of Holden St, followed suit.

When tram services began in 1887 many new houses were ready for sale or under construction. North Fitzroy emerged as a late-Victorian commuter suburb with local shopping strips along the cable tram routes, the commercial strip of St Georges Road extending east and west along Scotchmer Street. Convenience shops were built on pedestrian street corners as households multiplied. The Inner Circle Railway running via Royal Park, North Carlton, Nicholson St, and Clifton Hill was completed in 1888 with a spur line dividing the Edinburgh Gardens into two, and terminating at the 'Fitzroy' station, Queen's Parade. A new rail link direct to the city (the Clifton Hill to Princes Bridge line) opened in 1901 and saw Edwardian buildings filling out the suburban streets east of St. Georges Road and the revitalising of the main shopping strips.⁸⁵ Public transport continued to support North Fitzroy as a commuter suburb during the 1920s with the opening of Rushall railway station and the electrification and extension of the St Georges Rd and Nicholson St tramways.

North Fitzroy's suburban development, especially east of St George's Road to Rushall Crescent, was far from complete when the Boom collapsed in 1893. However its good access to public transport led to a rapid recovery. A number of small factories were built in or near the 19th century commercial strip of Scotchmer St, the best architectural examples being of the late 1930s.

Main development era, south of Holden St

The main development period evident in the heritage overlay south of Holden St is that of the Victorian era with a substantial contribution from the Edwardian-period. There is also a contribution from some well-preserved inter-war buildings and individually significant places of all eras.

Contributory elements, south of Holden St

The North Fitzroy Heritage Overlay Area (south of Holden St) contributory elements include (but not

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exclusively) generally detached and attached Victorian-era and Edwardian-era houses having:

- Pitched gabled or hipped roofs, with some façade parapets, many elaborate;
- One storey wall heights but with many two storey house rows,
- Rectilinear floor plans, with many bayed room projections on the plans of large houses;
- Face brick (red, bichrome and polychrome) or stucco walls, some weatherboard;
- Corrugated iron and slate roof cladding, some Marseilles pattern terra-cotta tiles;
- Chimneys of either stucco finish (with moulded caps) or of face brickwork with corbelled or cemented capping courses;
- Post-supported verandah elements facing the street, set out on two levels as required with cast-iron and timber detailing, and many curved verandah wing-walls;
- Less than 40% of the street wall face comprised with openings such as windows and doors; and
- Front gardens, originally bordered by timber or iron picket front fences of around 1m height; often set between brick or cemented pillars and curved brick garden wing walls.
- Face brick (typically red) privies set on rear lanes, with some stables and lofts to the larger houses;
- Shops and residences sited on corners with display windows and zero boundary setbacks;

Contributory elements also include attached Victorian and Edwardian-era shops, and residences over, with

- Façade parapets and pitched roofs behind,
- Two storey wall heights,
- Post-supported street verandahs as shown on the MMBW Detail Plans,⁸⁶
- No front or side setbacks; also
- Timber framed display windows and entry recesses.

Contributory elements also include:

- Well preserved buildings from the pre Second War era, that are visually related to the dominant scale, siting and form of the area;
- Service buildings, like pre WW2 electric substations;
- The distinctive suburban plan, enhanced by curving street forms, and defined by boulevards;
- Edinburgh Gardens as a Victorian-era residential circus, and for the other garden, boulevard and median reserves (such as Queens Parade), with mature exotic and formally arranged planting;
- Mature street tree plantings (such as plane and elm tree rows, Queensland brush box);
- The provision of public and church reserves in the town plan, including the Inner Circle Railway reserve;
- The rectilinear Victorian-era allotment plans and street layout with wide main streets, rear service lanes, all counter posed with circular parkland reserves, major angled streets and boulevards;
- The dominance of spires and towers of public buildings, churches and some large houses in the skyline; and
- Public infrastructure, expressive of the Victorian and Edwardian-eras such as bluestone pitched road paving, crossings, stone kerbs, and channels, and asphalt paved footpaths.

How is it significant?

HO327 North Fitzroy Heritage Overlay Area (south of Holden St) is aesthetically and historically significant to the City of Yarra (National Estate Register [NER] Criteria E1, A4)

Why is it significant

The Government planned section of Fitzroy North (south of Holden St) is significant

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- As a demonstration of the earliest stages in the development of North Fitzroy, commencing with the 1850s Yan Yean tramway and the quarry route of Nicholson St, the establishment of North Fitzroy's first churches and its pre-Boom suburban mixture of small residential and commercial buildings coinciding with provision of horse drawn public transport.;
- For its late 19th century buildings that represent rapid growth and change in the character of the relatively remote suburb to an established residential and business area with a range of commercial and institutional buildings serving the wider population of North Fitzroy;
- For the aesthetic value of its suburban planning, with the combination of curving streets and garden reserves, and the vistas created by the intersections of standard rectilinear subdivision with the strong diagonals formed by St Georges Road and Queens Parade, the exceptionally wide streets and crescents, the triangular garden reserves, and focal views to buildings and parkland. This aesthetic is underscored by the built form seen in the construction of commercial and institutional buildings to the property alignment along a number of streets and on corners;
- The generous public domain, with street plantings of historic elms and 20th century plane trees,
- For its low rise streetscapes of intact Victorian and Edwardian buildings one and two-storey terrace and villa housing;
- For the range of Victorian and Edwardian-era building form and finish, from the modestly decorated timber cottages and stuccoed Italianate style houses, simply designed corner hotels and shops, to the rich variety of decorative buildings including an extraordinary concentration of decorative bichrome and polychrome brickwork and flamboyantly decorated Italianate residential and commercial terraces, banks and hotels, interspersed very occasionally with dominating narrow spire and tower elements of religious, commercial and institutional buildings.
- As one of Melbourne's early residential commuter suburbs served by train and cable tram services linking it to the city by 1888, with extensive Boom era terrace buildings and closely built row housing within this sub-area providing evidence of the effects of public transport on early development;
- As essentially a well preserved Boom-era suburb that, despite the abrupt economic collapse of the early 1890s, continued developing during the Great Depression years and into the first decades of the 20th century due to the amenity of its planning, parkland, local schools and shops and extensive public transport. This yielded both the generous frontages and sizes of the post-Depression villa houses and the row house forms and narrow frontages of the Boom era;
- For its traditional Victorian-era residential character, evoked by the formal presentation of the decorated façade to the street with its small ornamental front garden, low front fence, pedestrian gateway and front path, with the functional necessities of delivering coal, removal of nightsoil and occasional stabling provided by the back lanes;
- For landmark buildings and sites that formed key meeting places in the area during the main development era of the 1860s to the 1930s, including religious institutions, schools, monasteries and churches, and the buildings associated with charitable bodies such as the Salvation Army, Church of Christ Bible School, and the temperance movement. Also the former Nth Fitzroy Police Station, the former Licensed Victualler's School and Asylum site and complexes such as the Old Colonists Homes;
- For the asphalt footpaths, pitched lanes, gutters and lane crossovers and mature street and individual plantings (such as mature elms, planes, palms, and Kurrajongs) that reinforce the unified character of the dense, relatively low-rise residential development;
- The 19th century landscape of Edinburgh Gardens and its representation of Fitzroy's cultural history in its plantings, memorials, recreation sports club grounds and pavilion buildings, plus the Inner Circle Railway reserve as a cultural landscape strip across the north of the area;
- For the outstanding Victorian and Edwardian-era streetscapes such as those surrounding the

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Edinburgh Gardens (Alfred Crescent, St Georges Road, Brunswick and Freeman Streets) that include a rich collection of Victorian-era Gothic and Italianate style buildings interspersed with fine buildings from the Edwardian period;

- For the important views and vistas within the area, including those of the Edinburgh Gardens, its mature trees and historic structures, as seen from many parts of the Heritage Overlay Area, and views obtained from Edinburgh Gardens to the many significant buildings at its curtilage and the city skyline, the vista from the elevated position of the Cricket Club grandstand toward the upper façades of buildings in Freeman and Brunswick Streets, and the Brunswick Street vistas (south to the spire of St Patrick's Cathedral, and north to St Luke's spire)
- For the contribution of well-preserved inter-war buildings, particularly the small intact inter-war houses where the building design has adapted to the prevailing built character of the area in siting, scale, decorative quality and stylistic variety.

(B) NORTH FITZROY HERITAGE OVERLAY AREA (NORTH OF AND INCLUDING HOLDEN ST)

What is significant?

Development north of Holden St

(Refer also to *Development south of Holden St*)

North of Holden St, the 1839 farm allotments closest to Nicholson St were subdivided for row-housing during the late Victorian-era Boom years but remained empty until after 1900. Suburban development followed in the years to 1920 with timber villas on relatively wide (approximately 10 metre frontages). Some empty sites were developed in the 1930s and 1940s with medium density, duplex and estate housing development, some of these being architecturally distinctive. Mature street tree planting includes plane trees, typical of Edwardian-era and inter-war planting. The Merri State (now Primary) School 3110 and landscaping, in Miller St, is a key early non-residential building in this part of the Heritage Overlay Area.

Main development era, north of Holden St

The main development period evident in the heritage overlay is that of the Edwardian-period with a contribution from the Victorian era. There is also a contribution from some well preserved inter-war buildings and individually significant places of all eras.

Contributory elements, north of Holden St

The North Fitzroy Heritage Overlay Area (north of and including Holden St) contributory elements include (but not exclusively) generally detached (and some attached) Victorian-era and Edwardian-era mainly one-storey houses having typically:

- Pitched gabled or hipped roofs, with few façade parapets;
- One storey wall heights but with some two storey house rows;
- Weatherboard or block fronted wall cladding, with face brick (red, bichrome and polychrome), or stucco walls;
- Corrugated iron roof cladding, with some Marseilles pattern terra-cotta tiles, with some slate roofing;
- Chimneys of either stucco finish (with moulded caps) or of matching face brickwork with corbelled capping courses;
- Post-supported verandah elements facing the street, with timber (Edwardian-era) or cast-iron detailing;
- Less than 40% of the street wall face comprised with openings such as windows and doors; and
- Front gardens, originally bordered by timber picket front fences of around 1m height.

Contributory elements also include:

- Corner shops and residences, with display windows and zero boundary setbacks;

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- One and two storey commercial strips (i.e. St Georges Road) with some key corner Victorian and Edwardian-era buildings and well preserved inter-war examples;
- Well preserved buildings, including visually related one and two storey residential buildings from the pre Second War era, are contributory to the heritage overlay;
- Long east-west streets as former rural allotment boundaries, with repeating allotment sizes and rectilinear allotment forms;
- The inner circle railway reserve, with associated railway infrastructure;
- Mature street tree plantings (typically plane trees) and reserve planting (typically palms), and
- Public infrastructure, expressive of the Victorian and Edwardian-eras such as bluestone pitched road paving, crossings, stone kerbs and channels, and asphalt paved footpaths.

How is it significant?

HO327 North Fitzroy Heritage Overlay Area (NORTH OF AND INCLUDING HOLDEN ST) is aesthetically and historically significant to the City of Yarra (National Estate Register [NER] Criteria E1, A4)

Why is it significant

North Fitzroy Heritage Overlay Area (NORTH OF AND INCLUDING HOLDEN ST) is important:

- For the clear indication of important early land development phases in the suburb as follows:
 - East-west, relatively long and narrow streets originating from private subdivision of the 1839 agricultural allotments that originally fronted Merri Creek;
 - The evident effect of the 19th century Boom era when aggressive subdivision coincided with provision of public transport, creating dense late-Victorian development near the Nicholson St cable tram terminus;
 - The more generous post-1906 subdivisions (suited the construction of detached timber villas) representing changed values in land prices, and the relatively new suburban ideal of affordable house and garden lifestyle;
 - The slow transformation into a completed residential suburb by WW2, with the last few vacant sites accommodating interwar dwellings, some developed with medium-density housing, duplexes and flats.
- For the consistent and intact streetscapes of late Victorian terrace and row housing in the south-west corner of the area, and Italianate style and Edwardian timber villas, interspersed occasionally with inter-war houses, in the balance of the area;
- For the visual consistency and good period expression of streets in the north and east parts of the area, consistently one-storey, timber construction, decorative detail, and detached siting with consistent garden setbacks;
- For the interwar medium density development pockets, including those contained within Pilkington St and parts of Barkly St, King and Miller Streets, significant for its intactness, form and high quality design.
- For the shopping strip streetscape of St Georges Rd, significant for its landmark Victorian-era buildings, plus intact early 20th century and interwar buildings in both Classical Revival and Moderne styles; and
- For important landscape and vistas, including the view of Merri Creek Bridge framed by palms and mature elms in the Merri Primary School reserve, and mature street plantings of plane trees.

6. Queens Parade Precinct, North Fitzroy/Clifton Hill

HO330

Source: GJM Heritage (2017), *Queens Parade Built Form Heritage Analysis & Recommendations Report*

What is significant?

Queens Parade, North Fitzroy from south-west of Delbridge Street to Brennand Street (nos. 264-492);

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Queens Parade, Clifton Hill from Wellington Street to Turnbull Street (nos. 61-197), Queens Parade Road Reserve from St John the Baptist Church Presbytery to the railway overpass, and Raines Reserve. NOTE: 12 and 14 Brennand Street (not contributory) are included in HO330 in Appendix 8 but mapped in HO327.

History

First established as a track linking Melbourne and Heidelberg in the late 1830s, Queens Parade was one of Melbourne's first major roads. Originally extending from the top of Bourke Street, the route followed an irregular course to the north-east and continued across Merri Creek. The road was surveyed by Hoddle as a substantial three chain (60 metre) wide boulevard, reserved in 1853, and known as Heidelberg Road at the south-west end and Plenty Road further to the north-east and crossing Merri Creek. This thoroughfare to Northcote and Heidelberg formed part of the boundary between Clifton Hill and North Fitzroy and was renamed Queens Parade in the early twentieth century.

Allotments were sold in Queens Parade from 1853, on the northern side, south of Merri Creek as part of the Northcote township reserve. The Scotch Thistle Hotel, the present Terminus Hotel, had been built as part of this township by 1854 and some early bluestone terrace houses remain nearby at the corner of Rushall Crescent. Allotments fronting both sides of Queens Parade sold from 1864, however the street remained largely undeveloped until the construction of buildings such as the Daintons Family Hotel at the corner of Gold Street in 1875 and St John's Roman Catholic Church (now St John the Baptist Church), in 1876.

This thoroughfare between Melbourne and the northern districts experienced a development boom in the 1880s, with commercial functions serving local residents as well as those travelling through, and much of the present building stock in the precinct was constructed at this time. Development on the North Fitzroy (northern) side was predominantly two-storeys, including shops with residences above, such as the building at the corner of Michael Street (336-338 Queens Parade, 1870-1890) and banks, including the National Bank of Australasia (1886) and the three-storey landmark building, the former London Chartered Bank (later the ANZ Bank, 1889). The Clifton Hill (southern) side of the street developed with some shops, large commercial enterprises and some public buildings, including the Post and Telegraph Office (1893), a row of seven shops and residences known as Campi's Buildings (1880s), the State Savings Bank (1889), and the Clifton Hill Hotel (1884) on the south-east corner of Wellington Street.

Public transport was established in the area during the Boom years of the 1880s. A cable tram service was provided along the developing Queens Parade commercial strip in 1887, terminating at the Merri Creek and this was extended to Northcote in 1889. Increasing demand for public transport resulted in the opening of the Royal Park to Clifton Hill railway in 1888.

Development in Queens Parade decreased during the depression years of the 1890s, however a 1904 Melbourne and Metropolitan Board of Works detail plan indicates it was a tree lined commercial street with verandahs over the footpaths on both sides of Queens Parade by that time. Commercial development re-commenced in the early twentieth century, adding an Edwardian presence to the existing Victorian character of the precinct. Edwardian buildings include the Clifton Hill & Northcote United Friendly Societies Dispensary (1914), the Clifton Hill Post Office (c1915-20) and the former doctor's surgery and residence (c1915). Additionally, a substantial group of detached Edwardian houses were built on the North Fitzroy side of Queens Parade, at the north-east end.

By the close of the Edwardian period (c1918) the streetscape, that continues today to mark the entrance to Melbourne's northern suburbs, had largely been established. Notable Interwar buildings were added to the streetscape in the 1930s including a pair of landmark Moderne buildings at the

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north-east end - the former United Kingdom Hotel (1937-38), located on the prominent intersection of Queens Parade and Heidelberg Road, and the nearby Clifton Motors Garage (1938 façade). Extensive beautification took place in the inter-war period in the form of landscaping and further street tree plantings. Grassed median strips were planted with plane and elm trees at the western end and a triangular garden (Raines Reserve, originally Rain's Reserve) was created at the junction with Heidelberg Road.

Description

The main development period of the Queens Parade Precinct is from the 1870s to c1920 and the streetscape largely dates to this period. A small number of buildings from both earlier and later periods make a contribution to the precinct. A number of individually significant buildings are contained within the precinct, dating predominantly from the 1870s-1920 period.

Buildings are predominantly attached Victorian and Edwardian shops and residences. They are predominantly two-storey with some single-storey shops interspersed. Towards the north-eastern end of the precinct are a row of detached single and two-storey residences, predominantly from the Edwardian period.

Elements that contribute to the significance of the place include (but are not limited to):

- The wide, open boulevard character with associated landscaping (including Raines Reserve, the planted medians, bluestone pitched road paving, crossings, stone kerbs and channels, and asphalt paved footpaths).
- Views afforded to significant buildings in and beyond the precinct (St John the Baptist Church, former ANZ Bank building, and former United Kingdom Hotel)
- The consistent Victorian and Edwardian commercial character of the precinct, which includes:
 - A consistent two-storey scale with some single-storey buildings
 - A variety of simple and some highly decorative façade parapets, with pitched roofs behind
 - No front or side setbacks
 - Face red brick or rendered walls
 - Rendered window frames, sills and hoods to upper stories
 - Rendered ornament to upper stories
 - Brickwork with corbelled capping courses
 - Strong horizontal lines formed by parapets, cornices, string courses
 - Repetitive upper floor fenestration patterns
 - Corrugated iron, slate and terracotta tiled roof cladding
 - Decorative chimneys (some with pots)
 - Original post-supported street verandahs
 - Shop fronts with display windows, timber or tiled plinths, and entry recesses.
- The predominantly Edwardian residential character at the north-eastern end, which includes:
 - Steeply pitched gabled or hipped roofs, predominantly with terracotta tiles and terracotta ridge capping and/or finials
 - Prominent, often highly decorative brick chimneys
 - Prominent gable ends
 - Predominantly red brick construction
 - Front gardens

How is it significant?

Queens Parade, North Fitzroy/Clifton Hill is of local historical, architectural and aesthetic significance to the City of Yarra.

Why is it significant?

The Queens Parade Precinct is located on a major thoroughfare that has linked Melbourne to the

PRECINCTS

northern suburbs since the 1830s. It is centred on one of Melbourne's early reserved boulevards, having been surveyed by Hoddle and reserved in 1853. The wide boulevard retains distinctive median strip landscaping from the twentieth century, including Raines Reserve. The Queens Parade Precinct is an intact turn of the century 'High Street' that has functioned continuously as a key commercial centre since the 1870s. It contains a substantial collection of intact commercial buildings, predominantly from the Victorian and Edwardian periods, including shops and associated residences, hotels and other commercial and civic buildings, as well as a group of detached Edwardian residences at the north-eastern end. Together these buildings demonstrate the development of this 'High Street', particularly from the 1870s to c1920 when substantial growth along the boulevard occurred, and are illustrative of the enduring role the street has played in the economic and social life of North Fitzroy and Clifton Hill since the establishment of the suburbs [Criterion A].

The highly intact streetscape of the Queens Parade Precinct clearly demonstrates the principal characteristics of a major turn of the century 'High Street' in the City of Yarra. Typical characteristics – including predominantly two-storey Victorian and Edwardian wall heights, parapeted rendered or red brick facades with repetitive upper floor fenestration, and ground floor shopfronts – are displayed in the original forms, fabric and detailing of many of the buildings. The streetscapes on the northern side of Queens Parade from Delbridge Street to 410 Queens Parade and on the southern side of Queens Parade from Wellington Street to 169 Queens Parade are particularly intact and are highly consistent in their architectural form and expression, forming a cohesive and significant streetscape. A group of detached houses at the north-eastern end of the precinct are intact and consistent in their Edwardian character and form [Criterion D].

The Queens Parade Precinct contains a number of landmark and individually significant buildings which are well considered and carefully detailed examples of commercial and civic buildings. These include, among others, the prominent three-storey Former London Chartered Bank of Australia Ltd (later ANZ Bank building), 370-374 Queens Parade, the former Daintons Family Hotel (139 Queens Parade, built 1875), the former Melbourne Savings Bank (97-99 Queens Parade, built 1889), former National Bank of Australasia (270 Queens Parade, built 1886), Ryans Building (314 Queens Parade, built 1884), Campi's Buildings (149-167 Queens Parade, built c1880-c1890) and the corner shop at 336-338 Queens Parade, North Fitzroy (c1870-c1890). Key views to the local landmarks of the St John the Baptist Church complex and the Former United Kingdom Hotel, 199 Queens Parade, which bookend the precinct are afforded from within the precinct [Criterion E].

7. Racecourse Precinct, Richmond

HO331

Source: Graeme Butler & Associates (2007, 2013), *City of Yarra Review of Heritage Overlay Areas* [see Study for footnote references]

What is significant?

The site of this estate was once the Richmond Racecourse, operated by the notorious entrepreneur John Wren from 1907. Located at the eastern end of Bridge Road, it was Melbourne's principal trotting track for many years before it closed in 1932.⁹³

The inner suburban slum abolition campaign of *The Herald* newspaper and social reformer, F Oswald Barnett⁹⁴, had inspired the formation of a new State Government committee (Housing Investigation and Slum Abolition Board) to seek out inner city housing development sites for local government slum reclamation. One such site arose in 1935 when John Wren's Victorian Trotting and Racing Association informed Richmond Council that its lease on the Richmond Racecourse was due to expire the following February. Council was unable to raise the £200,000 required to build the new housing estate so the area of the proposed estate was reduced by 10 percent and 15 of the 157 acres was sold to British

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Australasian Tobacco as a factory site, as a form of subsidy.

The result was an estate in the English cottage style as inspired by public housing in England and seen elsewhere at the Garden City development and early Housing Commission of Victoria estates at Newport and Sunshine. There was consistent use of materials and detailing in both two storey and single storey house formats; including clinker bricks, terracotta tiles, timber-framed double-hung sash windows and low brick front fences, with a communal landscape approach that united front gardens along the streets. The cul-de-sac planning was also distinctive and had been used in only a small number of estates at that time (see the AV Jennings' estate at Ivanhoe).

The estate was completed in 1941. The streets were named after the trade unionist and MHR for Yarra, Frank Tudor, and Richmond Councillors O'Connell, Lightfoot, Vesper, Longfield and Jackson.⁹⁵ The properties have gradually moved from Housing Commission tenure into private ownership with approximately only half the residents being public tenants by the end of the 20th century.

Main development period

The main development period in the Racecourse Heritage Overlay Area is that of the early 1940s.

Contributory elements

Contributory elements include (but not exclusively) houses built by the 1940s, with typically:

- Pitched gabled or hipped roofs;
- One storey wall heights (but with some two storey);
- Face brick (red, clinker) walls;
- Variegated Marseilles-pattern glazed terra-cotta tiles;
- Chimneys of face red brickwork with capping course;
- Entrance porch elements facing the street or set on the side;
- Less than 40% of the street wall face comprised with openings such as windows and doors, with timber joinery; and
- Front gardens, originally bordered by low brick pier and panel front fences of around 450mm panel height, with 900mm high piers at gateways;

Contributory elements also include:

- Stone kerbs and concrete footpaths;
- Street and allotment layout, particularly the cul-de-sac configuration; and
- Privet hedges at fence lines.

How is it significant?

HO331 Racecourse Heritage Overlay Area, Richmond is historically significant to the City of Yarra (National Estate Register [NER] Criteria E1, A4)

Why is it significant

The Racecourse Heritage Overlay Area is significant:

- As the first public housing estate to be built in Richmond and as an estate developed by Richmond Council rather than the State Government or the Housing Commission of Victoria (1938-);
- For its symbolism of the site of John Wren's popular trotting track, Richmond Racecourse;
- As a remarkable visually homogenous collection of dwellings, in a simplified English cottage style inspired by public housing in England, with consistent use of materials and detailing, including clinker bricks, terracotta tiles, timber-framed double hung sash windows and low brick front fences;
- For the innovative cul-de-sac planning, used previously in only a small number of estates at that

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time, and the communal landscape approach that saw use of low fences and consistent use of boundary hedges.

8. Richmond Hill Precinct

HO332

Source: Graeme Butler & Associates (2007, 2013), *City of Yarra Review of Heritage Overlay Areas* [see Study for footnote references]

ALL SUB-PRECINCTS

What is significant?

Subdivision types

The land which now comprises the Richmond Hill Area was purchased from the Crown in 1839 and consisted of six portions each of 25 acres in the parish of Jika Jika (CPs 21-26). The purchasers were Dr. Farquhar McCrae (CP24, surgeon), Rev. Joseph Docker (CP21-22, squatter), W H Yaldwyn (CP26, squatter, banker), Henry Gordon Brock (CP25), and John McNall (CP23, Melbourne's first butcher)⁹⁶.

From 1840 onwards, Dr. McCrae sold parts of his allotment (at the north west corner of the heritage overlay) to prominent Melbourne figures, including Alexander McCrae, Alfred Woolley, Charles Williams, George Arden, and Thomas Strode (proprietors of the *Port Phillip Gazette*).⁹⁷ He also subdivided off 36 half acre blocks, creating Rowena Parade, Sherwood and Rotherwood Streets. Further subdivisions took place in the 1870s and 1880s.

Yaldwyn sold his allotment (at the north-east corner of the heritage overlay) to William Meek in 1840 and, by 1853, the Waltham Street and Darlington Parade areas were subdivided, and further subdivided in the 1880s. The Vaucluse area was laid out in the 1860s and a private street was created to link Rowena Parade and Church Street, for the use of abutting landholders only. The Vaucluse, thought to be the only Victorian-era private street in the inner suburbs, has its eastern entry at St Ignatius Church. Large houses were erected on this section, including Richmond Hill for James Henty (Waltham Street, 1851) and a two-storey Italianate house for distinguished architect, James Blackburn Jr.

Docker had subdivided his two allotments by 1853 (at the south-east corner of the heritage overlay), creating a model village (Village of Clifton) set out as 365 lots on a grid plan designed by Charles Laing. Its regular layout was unlike the other haphazardly planned private subdivisions in the area. The village was bordered by Wangaratta St (inclusive) on the west, the Richmond Terrace service lane on the north, the Church St on the east and Swan Street on the south⁹⁸. By 1857 Docker still owned many of the houses built on these allotments. His own townhouse was at 370 Church Street. By the 1880s, this area was almost fully developed. (See South Residential Sub-precinct)

Brock's allotment (at the north-centre of the heritage overlay) was purchased by overlander John Gardiner⁹⁹ who erected a villa on it when he retired from his grazing activities to take up the position of managing director of the Port Phillip Bank in 1840.¹⁰⁰ By 1853, Lennox Street, Rowena Parade and Goodwood Street had been laid out. Further subdivisions occurred in the 1870s and 1880s.

The allotment purchased by McNall (at the south-west corner of the heritage overlay) had undergone minor subdivision by 1853. McNall erected his house there, and his widow continued to live there following his death in the 1850s.¹⁰¹ In 1859, the railway was established, and Richmond Station was constructed at the south-west corner of the allotment. The land had undergone major subdivision by the 1870s and 1880s.

PRECINCTS

Major industry development

In the early 20th century the expansion of manufacturing across the nation was reflected in new industrial centres that were developed close to rail and road transport, as distinct from the Victorian-era industrial development that had occupied coastal sites or river and creek banks. Near to the transport hub of Richmond Railway Station and busy Punt Road, grew a distinctive group of factories and warehouses, mainly associated with the growth of the clothing manufacturing industry in the City and dating substantially from the early decades of the 20th century. This area had previously been residential.¹⁰²

The Australian Knitting Mills Ltd. (41-43 Stewart St, knitted goods manufacturers) complex was at the centre of the Stewart-Tanner Streets industrial area development area. It was developed from 1912 when the supply for World War One uniforms was an impetus for its expansion and had another major building addition in 1922-5.¹⁰³ The company created the 'Golden Fleece' and 'Kookaburra' brands.

Inter-war residential estates

Set away from this concentrated industrial strip, but related historically to it, was the Pelaco factory (1922-1928), located on a hill on the former site of a Victorian-era mansion.

Houses in Fordham Court and the associated part of Goodwood Street were built speculatively in 1939 for Mrs B. E. Fordham of Yarradale Rd., Toorak, on land sold by Pelaco.¹⁰⁴ These houses provide a distinctive enclave within the surrounding Victorian and Edwardian-era development.

A. RICHMOND HILL HERITAGE OVERLAY AREA (WEST SUB-AREA)

Main development era

The main development period evident in the Richmond Hill west sub-area of the Heritage Overlay Area is that of the Victorian era with a substantial contribution from the Edwardian-period. There is also a contribution from some well preserved inter-war buildings and individually significant places of all eras.

Contributory elements

The Heritage Overlay Area contributory elements include (but not exclusively) mainly small, detached and some attached Victorian-era and Edwardian-era houses having typically:

- Pitched gabled or hipped roofs, with some façade parapets,
- One storey wall heights but with some two storey house rows,
- Face brick (red, dichrome and polychrome), weatherboard, or stucco walls;
- Corrugated iron roof and slate cladding, some unglazed Marseilles pattern terra-cotta tiles;
- Chimneys of either stucco finish (with moulded caps) or of matching face brickwork with corbelled capping courses;
- Post-supported verandah elements facing the street, set out on two levels as required with cast-iron detailing for Victorian-era houses and typically timber for Edwardian-era;
- Less than 40% of the street wall face comprised with openings such as windows and doors; and
- Small front gardens, originally bordered by typically timber picket front fences of around 1m height.

Contributory elements also include:

- Corner shops and residences with display windows and zero boundary setbacks.
- Well preserved buildings including typically one storey buildings from the pre Second War era.
- Public infrastructure, expressive of the Victorian and Edwardian-eras such as bluestone pitched road paving, crossings, stone kerbs, channels, and asphalt paved footpaths.

B. RICHMOND HILL HERITAGE OVERLAY AREA (NORTH SUB-AREA)

PRECINCTS

Main development era

The main development period of the Richmond Hill north sub-area of the Heritage Overlay Area is that of the Victorian-era with a substantial contribution from the Edwardian-period. There is also a contribution from some well preserved inter-war buildings and individually significant places of all eras.

Contributory elements

The Heritage Overlay Area contributory elements include (but not exclusively) mainly detached and some attached Victorian-era and Edwardian-era mainly one and two -storey houses having typically:

- Pitched gabled or hipped roofs, with some façade parapets,
- One and two storey wall heights but with some two storey house rows,
- Face brick (red, dichrome and polychrome), or stucco walls;
- Corrugated iron roof and slate cladding, some Marseilles pattern terra-cotta tiles;
- Chimneys of either stucco finish (with moulded caps) or of matching face brickwork with corbelled capping courses;
- Post-supported verandah elements facing the street, set out on two levels as required with cast-iron detailing for Victorian-era houses;
- Less than 40% of the street wall face comprised with openings such as windows and doors; and
- Front gardens, originally bordered by typically timber or iron picket front fences of around 1m height.

Contributory elements also include:

- Corner shops and residences with display windows and zero boundary setbacks.
- Well preserved buildings including typically one storey buildings from the pre Second War era.
- Public infrastructure, expressive of the Victorian and Edwardian-eras such as bluestone pitched road paving, crossings, stone kerbs, channels, and asphalt paved footpaths.

C. RICHMOND HILL HERITAGE OVERLAY AREA (PELACO, FORDHAM COURT/PART GOODWOOD STREET SUB-AREA)

Main development era

The main development period of the Richmond Hill Fordham Court/Goodwood Street sub-area of the Heritage Overlay Area is that of the Inter-war era.

Contributory elements

Contributory buildings in the Fordham Court/Goodwood Street sub-area are typically:

- Residential;
- Single storey;
- Constructed in brick and rendered masonry;
- Of a hipped and gabled tiled roof form, some with a single hipped or gabled roof form over the two dwellings to appear as single larger houses;
- Semi detached duplexes;
- Set in relatively deep garden setbacks; and
- Fenced originally with front fences of low (500-700mm panel height) brick and rendered masonry pier and panel walls.

And

- Public infrastructure, part expressive of the Victorian and Edwardian-eras such as asphalt paved footpaths but most of the kerb and channel is concrete, as typical of the inter-war period.
- Former Pelaco factory (c1922) as an icon in the area, but unrelated in scale and form to the inter-war housing nearby.

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D. RICHMOND HILL HERITAGE OVERLAY AREA (SOUTH SUB-AREA)

Main development era

The main development period evident in south sub-area of the Richmond Hill Heritage Overlay Area is that of the Victorian-era. There is also a contribution from the Edwardian-era and some well preserved inter-war buildings and individually significant places of all eras.

Contributory elements

The Heritage Overlay Area contributory elements include (but not exclusively) mainly detached and some attached Victorian-era (some early Victorian-era), one-storey houses having typically:

- Steeply pitched gabled or hipped roofs;
- One storey wall heights;
- Weatherboard (square or bead edge), face brick (dichrome), stone, or stucco walls;
- Corrugated iron roof and slate cladding;
- Chimneys of either stucco finish (with moulded caps) or of matching face brickwork with corbelled capping courses;
- Simple post-supported timber verandah elements facing the street;
- Less than 40% of the street wall face comprised with openings such as windows and doors; and
- Front gardens, sometimes minimal, originally bordered by typically timber picket front fences of around 1m height.

Contributory elements also include:

- Corner shops and residences with display windows and zero boundary setbacks;
- Well preserved buildings, including typically one storey buildings from the pre Second War era.
- A regular subdivision plan with alternating wide principal streets and narrow service streets; and
- Public infrastructure, expressive of the Victorian and Edwardian-eras such as bluestone pitched road paving, crossings, stone kerbs, channels, and asphalt paved footpaths.

E. RICHMOND HILL HERITAGE OVERLAY AREA (SOUTH INDUSTRIAL SUB-AREA)

Main development era

Main development period in the Richmond Hill south industrial sub-area of the Heritage Overlay Area is of the Edwardian-era and inter-war period.

Contributory elements

Contributory elements include (but not exclusively) industrial buildings from the early decades of the 20th century with typically:

- Wall heights ranging from 1-5 levels;
- Façade parapets, sometimes with proprietary logos, with pitched roofs behind;
- Limited or no setback from street frontages; and
- Walls of face red brick (some over-painted) with rendered bands.

Contributory elements also include:

- Public infrastructure, part expressive of the Victorian and Edwardian-eras such as some bluestone pitching and asphalt paved footpaths.

How is it significant?

HO332 Richmond Hill Heritage Overlay Area as a whole is aesthetically and historically significant to the City of Yarra (National Estate Register [NER] Criteria E1, A4)

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Why is it significant

A. The Richmond Hill Heritage Overlay Area (west sub-area)

The Richmond Hill Heritage Overlay Area (west sub-area) is significant:

- As an illustration of a typical early private subdivision and development in the City, shown by the irregular street patterns, widely varying allotment sizes, and unusual house siting (onto lanes);
- As one of the earliest private development areas in the City for worker housing, dating from the 1840s, as expressed today by the many early small cottages linked historically to developers who resided in the more salubrious elevated parts of this area;

B. The Richmond Hill Heritage Overlay Area (north sub-area)

The Richmond Hill Heritage Overlay Area (north) is significant:

- For the well preserved, well-situated and sometimes large Victorian and Edwardian period houses and for the contribution of well preserved buildings from the inter-war period and individually significant buildings from all periods;
- As one of the early private housing development areas for the wealthy, evolving from the 1840s, and associated with some of Melbourne's most prominent early settlers as seen in their gracious residences, elevated siting and proximity to religious centres of most denominations;
- As particularly indicative (like the west sub-area) of Victorian-era private subdivision with irregular street patterns and lot sizes, and one private road; and
- For the views, from both inside and outside the area, to The Vaucluse Convent, the church spires and towers of St Ignatius and the utilitarian four storey red brick Pelaco factory, with its early neon sign above.

C. The Richmond Hill Heritage Overlay Area (former Pelaco factory, Fordham Court/Goodwood Street sub-area)

The Richmond Hill Heritage Overlay Area (Pelaco, Fordham Court/Goodwood Street sub-area) is significant:

- For the well preserved and visually cohesive groups of inter-war and early post WW2 residential development
- For the historical and visual links of this inter-war development with the adjacent inter-war landmark Pelaco Factory;
- For the contribution of the iconic Pelaco factory complex and illuminated sign, that is well-preserved externally, large in scale and set prominently on the hill as, historically, a symbol of Richmond's special role in the development of key manufacturing centres in the first half of the 20th century.

D. The Richmond Hill Heritage Overlay Area (south residential sub-area)

The Richmond Hill Heritage Overlay Area (south) is significant:

- As one of the earliest private development areas in the City for worker housing, dating initially from the 1840s but extending in the gold-era of the 1850s, as early small cottages set on small allotments;
- For the historical links of the street layout and subsequent housing development with the Docker family and the estate's designer, the noted architect and surveyor, Charles Laing;
- As an illustration of a rare type of model private subdivision and development in the Melbourne area in the form of a planned 'village', as shown by the regular street patterns, similar allotment sizes, and the originally residential land use.

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E. The Richmond Hill Heritage Overlay Area (south industrial sub-area)

The Richmond Hill Heritage Overlay Area (south industrial sub-area) is significant:

- As a distinctive and visually related group of externally well-preserved factories and warehouses, associated with the growth of the clothing manufacturing industry in the City, dating from the early decades of the 20th century and symbolic of Richmond's special role in the development of key manufacturing centres in the first half of the 20th century.
- For the precinct's strategic location, next to major transport links (railway, Punt Road) and the resultant distinctive angled siting of key buildings to face the railway.

9. Swan Street Precinct, Richmond

HO335

Source: GJM Heritage (2017), *Swan Street Built Form Study: Heritage Assessments & Analysis*

What is significant?

Swan Street, Richmond from Botherambo Street to Brighton Street (nos. 63-221 & 90-272), Church Street, south of Swan Street to the railway line (nos. 421-425 & 454-468), Byron Street (nos. 2-8 & 140-160) and Kipling Street (nos. 1, 2, 2A, 3, 5 & 7).

History

Swan Street was designated as a road reserve in Hoddle's Crown survey of 1837. Allotments on the north side of Swan Street were sold from 1839 and the south side from 1846. By 1857 a number of commercial businesses had been established in Swan Street, particularly at the west end, and traders included butchers, drapers, fruiterers, tailors, shoemakers, hairdressers and hoteliers. Amongst the early hotels was the Swan Inn after which the street was named, and the predecessor of the present three-storey Swan Hotel (1889) at the corner of Church Street.

Swan Street ran from Punt Road to the Survey Paddock (now Burnley Park) before extension to the Yarra River sometime between 1874 and 1888. In 1859 a railway line from Princes Bridge to Punt Road provided access to Swan Street and this was extended to Church Street (East Richmond Station) and beyond to the present Burnley Park the following year. Running south of, and parallel to, Swan Street, this railway line provided transport to and from the city. In 1916 an electric tram service provided additional transport along Swan Street, encouraging further development along the length of Swan Street.

The commercial western end of Swan Street experienced a development boom in the 1880s and much of the present commercial building stock, particularly between the railway line (which was raised above Swan Street in 1887) and the Church Street intersection, was constructed at this time. This included a number of predominantly two-storey shops with residences above, including the extensive Perrins Building, 128-38 Swan Street (1884), shops opposite at 95-97 Swan Street (1885) and a highly decorative group of buildings at 224-234 Swan Street.

Swan Street was sealed in 1901 and construction of commercial buildings continued on allotments at the western end of Swan Street. Substantial and distinctive commercial and public buildings, such as the Maples Piano Showroom and the Richmond South Post Office in 1905, and Dimmays and the former State Savings Bank of Victoria in 1907 added an Edwardian presence to the existing Victorian character of the precinct. A highly prominent clock tower with ball, added to the Dimmays store in the 1910s, became a landmark feature in Swan Street.

Swan Street's long history as a commercial centre has also seen it play a central role in the social life of

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Richmond. For over 150 years, the street has provided the community with social and recreational opportunities, with the long-term commercial success of the street being predicated upon its attractiveness as a social space. It is this rich social legacy that binds the various phases of the street's development together, and which continues today to attract new residents and visitors.

Description

The main development period of the Swan Street Precinct is from the 1880s to 1920 and the streetscape dates largely from this period. A small number of buildings from both earlier and later periods make a contribution to the precinct. A number of individually significant buildings are contained within the precinct, dating predominantly from the 1880s-1920 period.

Buildings are predominantly attached Victorian and Edwardian shops and residences. They are predominantly two-storey with some three/four and single-storey shops interspersed.

Elements that contribute to the significance of the place include (but are not limited to):

- A variety of simple and highly decorative façade parapets, with pitched roofs behind
- No front or side setbacks
- Face red brick (including polychrome) or rendered walls
- Rendered window frames, sills and hoods to upper stories
- Rendered ornament and incised decoration to upper stories
- Brickwork with corbelled capping courses
- Original post-supported street verandahs
- Strong horizontal lines formed by parapets, cornices, string courses
- Repetitive upper floor fenestration patterns
- Consistent two-storey scale with some one and three-storey buildings
- Shop fronts with display windows, timber or tiled plinths, and entry recesses
- Some red brick storage or stable buildings at the rear or side lane frontage
- Corner buildings with secondary façades to side streets or lanes
- Splayed corners to buildings at intersections
- Corrugated iron and slate roof cladding
- Bluestone pitched road paving, crossings, stone kerbs and channels and asphalt paved footpaths.

How is it significant?

Swan Street, Richmond is of local historical, architectural and aesthetic significance to the City of Yarra.

Why is it significant?

The Swan Street Precinct is a major 'High Street' in the City of Yarra and has functioned continuously as one of Richmond's two key commercial centres since the 1840s. It retains a substantial collection of intact commercial buildings, predominantly from the Victorian and Edwardian periods, including shops and associated residences, hotels and other commercial and civic buildings. Together these buildings demonstrate the development of this major 'High Street', particularly from the 1880s to c1920 when substantial growth in the street occurred, and are illustrative of the enduring role the street has played in the economic and social life of Richmond since the establishment of the suburb [Criterion A].

The highly intact streetscape of the Swan Street Precinct clearly demonstrates the principal characteristics of a major turn of the century 'High Street' in the City of Yarra. Typical characteristics, including predominantly two-storey Victorian and Edwardian wall heights, parapeted rendered or red brick facades with repetitive upper floor fenestration, and ground floor shopfronts, are displayed in the original forms, fabric and detailing of many of the buildings. The streetscapes on the south side of Swan Street between the former Richmond Post Office and Church street, on the north side of Swan Street

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between Carroll and Dando Streets, and the west side of Church Street between Swan Street and the railway line are particularly intact and consistent in their architectural form and expression [Criterion D].

The Swan Street Precinct contains a number of landmark and individually significant buildings which are well-considered and carefully detailed examples of commercial and civic buildings. These include, among others, the former State Savings Bank of Victoria (216 Swan Street); the former Richmond South Post Office (90-92 Swan Street); large retail stores such as Maples Pianos (122-126 Swan Street); Dimmeys (140-48 Swan Street); and M Ball & Co (236-240 Swan Street), as well as hotels such as the Swan Hotel (425 Church Street). The clock tower and ball of the Dimmeys building is of particular prominence and is a local landmark. Variations in façade detailing throughout the precinct, including parapet ornamentation, balustrading and pediments, incised and applied decoration and polychromatic brickwork, make an aesthetic contribution to the overall character of the precinct [Criterion E].

10. Wellington Street Precinct, Cremorne

HO364

Source: Graeme Butler & Associates (2012), *City of Yarra Heritage Gaps Review (Review 1)*

What is significant?

Historical background

In 1839, two years after the first land sales in the township reserve of Melbourne, Crown allotments were auctioned in Richmond, Fitzroy and Collingwood. These allotments were mainly intended for development as farmlets. However many of the purchases in Richmond were speculative for, very soon, allotments were subdivided and advertised for sale in the 'Port Phillip Patriot'. The first was William Wilton's Crown allotment 46 which was to be sold in one or more acre lots. In 1840, at a subdivision sale of Dr. Farquhar McCrae's allotment 24, the auctioneer described Richmond as "...the abode of aristocracy, wealthy and retired opulence..." and 36 half-acre blocks were sold.

This was the boom period leading up to the recession of the early 1840s. As a sign of the times, subdivisions on the Richmond flats were advertised in 1842 as "...well deserving public attention among the working class", in contrast to earlier advertising of the higher parts of Richmond as for gentlemen only.

By the mid 1840s the depression had ended and resumption of the Immigration Act resulted in a new influx of workers. The sale of Crown allotments recommenced in Richmond in 1845 and by 1851 a further fifteen Crown Portions were sold. Reserves were also created for police purposes (Crown allotments 13-15), and for churches, recreation, produce market, schools and a mechanics' institute (Crown allotment 35). Thirty-one quarry sites were set aside on Crown allotments 9 to 15 where they abutted the river. The only other clay pits shown are at the locality of Yarraberg which David Mitchell operated in Crown Portion 42, off Burnley St.

Richmond's population in 1846 was 4029. At this time, Fitzroy and Collingwood were also being rapidly subdivided, St. Kilda and Port Melbourne were fashionable picnic spots and Williamstown a busy port. The village at Brighton was the leading pleasure resort, and Heidelberg a prosperous farming community. East Melbourne was little built upon until after 1848 when Bishop Perry chose a site there for the Anglican Bishop's Palace. This gave an impetus to building and the Richmond area went ahead as a select and convenient one in which to live. In 1852 North Melbourne, St. Kilda, South Melbourne, Port Melbourne, Essendon, Remington, Carlton and Hawthorn were laid out. Melbourne's population had trebled by 1853 with people returning from the goldfields, while in Richmond major residential subdivisions had occurred in the north and west. Within the next four years, men who established their suburban villas on the Richmond hills included senior Government officials, Alexander McCrae and

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William Hull; newspaper proprietors Thomas Strode, George Cavanaugh and George Arden; merchants Patrick Welsh, David Stodart Campbell and Alfred Woolley; and the bankers William Highett and John Gardiner. Their "...comfortable, if not architecturally stylish villas began to dot the place".

Richmond was created a separate municipality in 1855. The survey maps of Magee and Kearney show that at this time many of the existing major streets had been laid out but that almost all buildings, with the exception of those in the Yarraberg area to the northeast, were concentrated in the western half of Richmond, near to Melbourne town and the railway route: large suburban villas and gardens on the hill, and cottages on small blocks in the north and south, often in areas of relatively intense development isolated to individual streets. The factors influencing the location of the earliest development appear to have been a preference for high ground and a position on government roads, especially at cross roads.

Richmond's population in 1857 was 9,029 with 2,161 houses and five architects. The electors' roll for 1856-7 indicates an established retail and service trade in Swan Street and Bridge Road - butchers, drapers, shoemakers, hotels, fruiterers, tailors, hairdressers, grocers and blacksmiths.

With separation from Melbourne in 1855, Richmond, along with Collingwood, became exempt from the 'Melbourne Building Act' of 1849 which controlled building and subdivision standards. Developers were free to plan streets, reduce frontages and build what they liked. Closer development of Richmond was also encouraged by the railway which was extended to Brighton from Melbourne by 1859, and by horse drawn omnibuses which connected Richmond with Melbourne along Bridge Road.

Melbourne's population in 1861 was 37,000 (including Carlton and East Melbourne); Richmond, Collingwood and Fitzroy each had about 12,000, Prahran 10,000, South Melbourne 9,000, North Melbourne 7,000 and St. Kilda 6,000. Development was apparent along Punt Road c.1860, with little development in south-east Richmond was in 1869. Unemployment was a major issue during the 1860s and in 1862 the Richmond Council sought the repeal of the 'Yarra Pollution Prevention Act' of 1855 (which forbade fellmongeries, starch and glue factories, and boiling down works discharging waste into the Yarra River upstream from Melbourne) so that the river frontages could be opened to manufacturing. By 1865 a quarry, stone crushing mill, fellmongery and abattoir had been established on the river flats in Burnley, and by the 1870's a panoramic view of Richmond carried the caption 'Industry in Arcady'.

As with Melbourne and its other suburbs, the most active period of development in Richmond was in the 1870s and 1880s. The eastern half of the town was partly subdivided by 1874 and by 1888 most subdivision patterns were complete, the major exception being Cole's paddock on Victoria Street. Richmond was proclaimed a town in 1872 and a city in 1882. Its population in 1880 was 23,395 and in 1890 it was 38,797. The residential development trend was a marked increase from the 1850s, steeply rising until c1881 and then a plateau into the 1890s Great Depression. The rate books list 52 industrial establishments in 1880.

Houses constructed between Federation and World War One make up a substantial proportion of Richmond's building stock particularly in the eastern half of the city. Cole's paddock was subdivided by this time.

Encouraged by high tariff protection, new factories and stores were also being established, most notably Bryant & May, Wertheim's piano factory, Dimmey's Model Store, Ruwolt, Rosella, Moore Paragon and Mayall's tannery. By 1919 there were nine tanneries.

This industrial expansion continued after World War One when small gaps in the urban development were filled by inter-war housing estate and Wren's race course was changed to public housing. The

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Second War was the end of the first wave of urban development in Richmond and hence forms a perceptible period in the historic environment that is the basis for proposed heritage precincts in Richmond, Cremorne and Burnley.

Specific history

This area is part of the 17 acre Crown Portion (CP) 1 sold to Messrs William Burnley, David Lyons and Matthew Cantler in 1849: land sales started immediately in the south-west corner with subdivided lots going to Burnley, Thomas King and Mitchell, Black & Follett. Inspired by the major population increase caused by gold finds in the Colony, William Burnley began to sell more house lots further north in 1852 from an estate plan that included the formation of today's Rout and Blanche Streets running east-west, joined by Wellington Street running north-south. Lots of 32-35 feet width faced onto Wellington Street and backed onto CP2 on the east or the 15 feet wide Huckerby Street, on the west, that Burnley had created to serve the lots facing Punt Road.

The 1853 plan shows Jessie and Cremorne Streets in place within Crown Portions 1&2 and the 1855 plan has buildings distributed across the north part of the Crown Portions, along Wellington (as far as Blanche) and Cremorne Streets, while to the south they front only Cremorne Street. The 1874 plan shows the north part of Wellington, Huckerby, Blanche and Jessie Streets in this precinct. King, Mitchell, Black and Follett's block, created from the south part of Crown Portion 1 in 1849, was to eventually contain the residential subdivision of Melrose and Kelso Streets in 1884 (Lodged Plan 605) with lots of 33-45 feet frontages. This estate is shown on the Tuxen 1888 plan, along with added streets such as Rout, but still there was no continuity for Wellington Street which stopped at Blanche St. The MMBW Plan 911 of 1896 showed the extension of Wellington Street southwards, past Blanche Street, but named as Melrose Street.

Description

The Wellington Street, Cremorne Heritage Precinct is a largely Victorian-era residential area centred on Wellington Street and extends north from the riverside industrial precinct south of Gough Street to the commercial strip of Swan Street West on the north. The arbitrary crank in the line of Wellington Street shows the two development phases (early and late Victorian-era) and exemplifies the piecemeal nature of private development, generally, in the Richmond area.

The haphazard street alignments generate unexpected house groups and vistas. There is the long weatherboard cottage row in Gough Place that now faces out across a large development site towards Punt Road: its unbroken roofline is another testimony of how Richmond, as well as being planned on a free-market basis, was also outside of the building laws that initially applied to the other inner suburbs of Melbourne (Melbourne Building Act). The construction of small, weatherboard and brick cottages in the narrow confines of the early Huckerby and Jessie Streets is another illustration of this evasion of standard building codes. The Richmond Conservation Study (1985) notes of Cremorne Cottage, at 50 Jessie Street: '...Similar size building shown in similar location on Lands Dept 1855 Map of Richmond...' Other early houses such as 375-377 Punt Road can also be traced back in plan form to the 1855 survey map, adjoining the Rout Street entry to the precinct. A small Wellington Street house row (66-68) had rare and early brick-nogged wall construction as an indication of early construction techniques in this precinct. This method of wall construction involves brickwork placed between timber frame members and overlaid with weatherboard providing for an uncommon and environmentally sound building method. The Australian Architecture Index cites two other brick nogged houses nearby in Cremorne St auctioned in 1879.

The precinct has a number of individually significant Victorian-era buildings and building rows within its boundaries.

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Key buildings

Key buildings include late Victorian-era houses like the row-house pair at 397- 395 Punt Road, described in the 1990s as:

'... A double-storey, rendered, Boom terrace pair, set back with a parapet. The centrepiece is (set) between abstracted Doric pilasters, supported by scrolls. Cornice and frieze-mould has vermiculated corbels; also to verandah, these on scrollbrackets. The skillion verandah, between wing-walls, has cast-iron lace valence and Composite posts, with first-storey balustrade in an unusual pattern of panels between balusters. Ground-window is tripartite with Tuscan fluted mullions. Doors have fan and sidelights. Chimneys have corbelled brick-bands' as an illustration of the range of ornament that was used in the late 19th century... '

More typical, late Victorian-era masonry row houses line Wellington Street. Balino Cottage at 44 Wellington St, is an exception:

'A characteristic double-fronted, symmetrical, rendered, Boom cottage, on the street line, with rich decoration. There is a balustraded parapet between piers, surmounted by balloons. The centrepiece has a scallop-shell in a round arch, with acroterion. Piers are supported by small scroll-brackets. A frieze and cornice-mould is supported by brackets, between festoons. The parapet and verandah wing-wall corbels are vermiculated, the latter on scroll-brackets. The brickwork beneath the verandah was exposed, decorated with diamond ceramic tiles. The tripartite window has barley-sugar Tuscan mullions and bluestone cill and fanlight over door. The verandah is convex, with cast-iron posts, lace-valence and brackets. There are encaustic geometric tiles. The chimney has deep rendered Classical mould'...

Edwardian-era development is seen in houses facing Kelso Street (5, 9) as well as the former grocer's shop at 12 Kelso Street (Peter Byrne's shop in 1904 and Marcus Steel's in 1920), providing the sense of a self contained domain where provisions were available to householders within walking distance. Intermixed with these are the numerous Victorian-era houses, mainly weatherboard clad, with corrugated iron clad hipped roofs (but with some parapeted forms such as 17 Kelso Street) and little in the way of front gardens. Cremorne Court Flats in Punt Road and the Old English style house Teragram in Wellington Street, represent the well-preserved inter-war buildings that make up a minority of sites in the precinct.

Main development period

The main development period evident in the heritage overlay is that of the Victorian and Edwardian-eras, with a contribution from well preserved interwar buildings and individually significant places of all eras.

Contributory elements

Contributory elements include mainly (but not exclusively) Victorian-era and Edwardian-era houses, with some well preserved residential examples from the immediate post First-War era, having typically:

- pitched gabled or hipped roofs;
- one storey wall heights;
- weatherboard, face brick, or stucco wall cladding; corrugated iron, with some slate roofing;
- chimneys of either stucco finish (with moulded caps) or of matching face brickwork with capping courses;
- post-supported verandah elements facing the street;
- less than 40% of the street wall face comprised with openings such as
- windows and doors; and
- front gardens, bordered by low front fences, typically of timber picket for the Victorian and

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Edwardian-eras.

Contributory elements also include public infrastructure, expressive of the Victorian and Edwardian-eras such as stone pitched road paving, kerbs and channels, and asphalt paved footpaths.

How is it significant?

The Wellington Street, Cremorne, Heritage Precinct is aesthetically and historically significant (National Estate Register Criteria E1, A4) to the locality of Cremorne and the City of Yarra.

Why is it significant?

Wellington Street, Cremorne, Heritage Precinct is significant:

- As a well defined area of Victorian and Edwardian-era houses that matches the major growth periods in Richmond's and the City's housing history, complementing the existing adjoining Cremorne Heritage Overlay Area and individual heritage overlays within its boundaries;
- For some distinctive house groups such as in Gough Place, well preserved inter-war examples such as Cremorne Court Flats, and significant individual house examples; and
- For its role as one of the first development plans launched in Richmond, with some houses reflecting the 1850s estates.

11. Victoria Street Precinct, Richmond

HO408

Source: Lovell Chen (2012), *City of Yarra Heritage Gaps Study 2012 (Heritage Gaps Amendment two)*
Updated by GJM Heritage (2018), *Victoria Street and Bridge Road Built Form Review Heritage Assessments*

What is significant?

The Victoria Street Precinct is located on the south side of Victoria Street, Richmond. The precinct is linear in nature, following the alignment of Victoria Street between Shelley Street to the west and several properties short of Lennox Street to the east; Little Butler Street is to the rear. The precinct comprises historic commercial/retail buildings, the majority of which are two-storey rendered masonry and brick buildings, with several single-storey buildings at the west end. The buildings date from the second half of the nineteenth century through to the 1910s. Buildings in the precinct are predominantly of 'contributory' heritage value; with one 'individually significant' property (pair of twostorey Victorian shop/residences at 92-94 Victoria Street); and two 'not-contributory' properties. The graded properties of the precinct share many characteristics, including rendered masonry and brick buildings, many overpainted, of (mainly) two-storey scale; no setbacks to the street; typically concealed or partly concealed roof forms, with some visible chimneys; generally intact upper (first floor) facades with parapets which are variously plain or curved, with some triangular or square pediments; some elaborate detailing to parapets; and original first floor windows associated with the former residences above the ground floor shops. The shopfronts are typically altered, with many of quite recent origin; awnings over the street (cantilevered or suspended with tie rods) are also commonly not original. Signage varies in impact and prominence: signs are attached to the fascias of awnings; to parapets, first floor facades and the roofs of verandahs and awnings; and in painted form to shop windows. Many of the properties also have rear service yards, with annexes, skillions and outbuildings being common, accessed via Little Butler Street.

Elements that contribute to the significance of the place include (but are not limited to):

- Predominantly two-storey façade parapets, with pitched roofs behind
- No front or side setbacks
- Rendered and face brick walls
- Rendered window frames, sills and hoods to upper stories

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- Rendered detailing and ornament to upper stories, including parapets, pediments, cornices and pilaster strips
- Horizontal lines formed by parapets, cornices and string courses
- Repetitive upper floor fenestration patterns.

How is it significant?

The Victoria Street Precinct is of local historical and aesthetic/architectural significance.

Why is it significant?

The Victoria Street Precinct is of local historical significance. The street forms the boundary between Richmond and Abbotsford, and was originally known as Simpson's Road. It began to develop a commercial and retail character in the mid-nineteenth century, a pattern which was consolidated by the 1880s when there was a significant increase in the number of businesses. By the end of the century, many of the existing buildings had been constructed. Victoria Street has subsequently continued as a local retail and service precinct for Richmond and Abbotsford, albeit with the mix of businesses, and the commercial character of the precinct changing in the period since the Second World War. This was in response to waves of migrant groups moving to the area, including people from South East Asia who from the 1970s to the present have operated numerous restaurants, green grocers and grocery shops. The colourful retail character of the street, and the rich collection of restaurants, draws customers from all over Melbourne. The Victoria Street Precinct is also of local aesthetic/architectural significance. It has a comparatively high level of intactness to the collection of nineteenth and early twentieth century buildings, concentrated in the first floor facades. The predominantly two-storey scale, combined with the generally consistent and repetitive pattern of parapeted first floor facades, generates a high level of cohesion and homogeneity. The mix of single and paired buildings also adds to the character of the precinct. In addition, the precinct demonstrates some of the principal characteristics of late nineteenth and early twentieth century commercial/retail streets. These include many two-storey historic masonry buildings, which combine retail and residential components; zero setbacks to the street; shopfronts at ground floor level (albeit mostly altered to their original form); awnings; and a preponderance of intact first floor facades, with solid walls, punched rectangular windows, and often prominent parapets. The latter are variously plain or curved, with some triangular or square pediments, and elaborate detailing.

12. Victoria Street West Precinct , Abbotsford

HO444

Source: Anthemion Consultancies (2012), *City of Yarra Heritage Gaps Study*
Updated by GJM Heritage (2018), *Victoria Street and Bridge Road Built Form Review Heritage Assessments*

What is significant?

Nos. 233, 235, 237, 239, 241, 243, 245, 247, 249 and 251 Victoria Street, Abbotsford, plus the former bank on the corner of Hoddle Street, were all constructed before 1885. The shops form a cohesive group variously with distinctive features which identify them in sub-groups.

Elements that contribute to the significance of the place include (but are not limited to):

- Two-storey façade parapets, with pitched roofs behind
- No front or side setbacks
- Rendered and face brick walls (nos. 249-251 unpainted bichromatic brickwork)
- Rendered or face brick window frames, sills and hoods to upper stories
- Rendered or brick detailing to upper stories, including parapets, pediments, cornices and stringcourses
- Horizontal lines formed by parapets, cornices and string courses

PRECINCTS

- Repetitive upper floor fenestration patterns
- Corner building with principal facades to both streets.

Nos. 245, 247, 249 and 251 Victoria Street

Nos. 245, 247, 249 and 251 Victoria Street, Abbotsford are constructed from bi-chromatic brickwork and date from 1875/76. They are double-storey, constructed of red face brick and with cream brick detailing around the windows and cream brick string courses at window head (sash) height and at sill height on the upper level façades and east elevation of No. 251. Their appearance is highly unusual and possibly unique in the City of Yarra. The detailing of the gabled parapets and window surrounds is oddly heavy and is either an unusual design or contains exposed brickwork which may have been set and corbelled to take render which appears to have never been applied. At the ground floor level, the structural brickwork which has been rendered remains between the shopfronts. On No. 251 the bluestone plinth remains visible even though overpainted. This shop also retains the visible cornice above the ground floor level. Evidence of some original lower parapet mouldings also remains on the other shops above the non-original canopies. All of the shopfronts have stallboards which are original in style if not in fabric and it is assumed that the doors are at least in their original plane, if not original position. The rear of the shops appears to be highly intact despite some additional fabric having been added. From this aspect the rear chimneys, with elaborate bichromatic corbelled caps, are a dominant and unusual feature. The brickwork remains exposed face brick and windows are variously intact.

Nos. 239 – 243 Victoria Street

These shops, constructed 1885-86, form a more conventional group of three Italianate or Classical style double-storey shops with stuccoed upper levels and plain gabled pediments above a deep continuous moulded cornice, terminated by a corbel. Each façade has a pair of window openings, originally containing six-paned, timber-framed, double-hung sash windows set within simple moulded rendered architraves, and rendered sills supported by a simple corbel at the base of each architrave. The original sashes appear to remain at No. 239. Between the upper and ground floor levels is another moulded cornice with each shop being separated by a moulded corbel decorated with a boss and some have moulded consoles below. At the ground floor level, the structural brickwork which is rendered, remains between the shopfronts and all of the shopfronts have stallboards which are original in style if not in fabric. It appears that the doors are at least in their original plane, if not original position. The rear of the shops appears to be highly intact despite some additional fabric having been added. The brickwork remains exposed face brick and windows are variously intact as are face brick chimneys with moulded rendered caps. The roofs are gabled and have timber-framing and are clad in corrugated steel.

The attributed association with notable and prolific architect George Wharton is also of significance. His oeuvre to date is not represented by any identified shops.

No. 237 Victoria Street

This shop has a wider frontage than the others in the group and is of a conventional Italianate or Classical design for its era (1882). The upper level has a flat parapet which may have originally incorporated further embellishment, a moulded cornice terminated at each end by a moulded corbel with a console beneath. The equally-spaced window openings along the upper façade have no moulded detailing and simply have slightly arched heads and no sills. Each opening contains a timber-framed, double-hung sash window which appears to be original. At the ground floor level, the structural brickwork which is rendered remains between the shopfronts. The lower cornice is deep and moulded and is terminated at either end by a moulded corbel with a console below. The shopfront has a stallboard which is original in style if not in fabric and it appears that the door is at least in its original plane, if not original position. The rear of the shop appears to be highly intact. The brickwork remains exposed face brick and windows are variously intact. The roof appears to be a skillion with timberframing and is clad in corrugated steel.

PRECINCTS

Nos. 233 and 235 Victoria Street

This pair of shops, constructed 1885, forms a more conventional group of two Italianate or Classical style double-storey shops with stuccoed upper levels and plain gabled pediments above a deep continuous moulded cornice, terminated by a corbel, embellished with a boss. Each façade has a pair of window openings, containing what appears to be an original timberframed, double hung sash window set within simple moulded rendered architraves, and rendered sills supported by a simple corbel at the base of each architrave. Between the upper and ground floor levels is another moulded cornice which extends over both façades and which is terminated at either end by a moulded corbel decorated with a boss (patera) and with a moulded console below. At the ground floor level, the structural brickwork which is rendered remains between the shopfronts and the render is exposed. Both shopfronts have stallboards which are original in style if not in fabric and it appears that the doors are at least in their original plane, if not original position. The rear of the shops appears to be highly intact despite some additional fabric having been added. The brickwork of No. 233 remains exposed face brick and a window is intact. The roofs are hipped and have timber-framing and are clad in corrugated steel.

The highly probable association with notable and prolific architect George Wharton is also of significance. His oeuvre to date is not represented by any identified shops.

How is it significant?

The buildings at Nos. 233, 235, 237, 239, 241, 243, 245, 247, 249 and 251 Victoria Street, Abbotsford are of local historical and aesthetic/architectural significance.

Why is it significant?

The buildings at Nos. 233, 235, 237, 239, 241, 243, 245, 247, 249 and 251 Victoria Street, Abbotsford are of local historical and aesthetic significance. The northern stretch of Victoria Street between Hoddle and Ferguson Streets is recorded in the first Collingwood Rate Book of 1864, as containing three brick houses. The first shops may have appeared in 1872 but certainly by 1875, during a period of suburban growth, three properties each containing a brick house and shop are listed in addition to a brick cottage. By 1885 the remainder of the block had been fully developed with shops and a bank. As such the buildings as a group document the development of this part of Victoria Street which is a continuum of the commercial development which occurred on both sides further to the east. It typifies a local or neighbourhood retail strip, essentially providing goods and services for local residents, in contradistinction to the destination high streets, such as Smith and Brunswick Streets. It was at this period that the nature of the premises and services offered changed forever from being small manufacturing to retailing. From this time the shops increasingly came to serve the local community and, now most recently, people from South-East Asia and those who appreciate this culture. The shops are highly intact to their structures and are variously distinctive, even unique, aesthetically. Six of them typify the types of shops constructed in the Italianate or Classical style which were the predominant nineteenth century style in commercial areas. They are either the first buildings constructed on these originally vacant sites or are the first shops which replaced earlier dwellings and a workshop(s). In a restrained manner, the façades contain characteristic materials, detailing and decorative mouldings and elements of Boom style architecture. Nos. 245, 247, 249 and 251 Victoria Street, constructed from bi-chromatic brickwork, form a distinctive group which has a highly unusual appearance and which is possibly unique in the City of Yarra. The detailing of the gabled parapets and window surrounds is oddly heavy and is either an unusual design or may be exposed brickwork which was originally set and corbelled to take render which appears to have never been applied.

The examples of the work of notable and prolific architect George Wharton's shed further light on his practice and oeuvre which is known today mostly through other and perhaps more grand building types and designs which do not accurately represent the wider range of buildings emanating from his, and

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similar nineteenth century architects' practices. The range of their work is often beyond what has survived or been positively identified.

13. Burnley Street Precinct, Richmond

HO474

Source: Context Pty Ltd (2014), *Heritage Gap Study, Review of Central Richmond*

What is significant?

The Burnley Street Precinct, comprising 345-389 & 370-404 Burnley Street and 395-419 Swan Street, Richmond is significant. The following buildings and features contribute to the significance of the precinct:

- The buildings constructed from c.1880 to c.1940, as shown on the precinct map.
- The overall consistency of building form (buildings with roofs concealed by parapets, with residential quarters above if two storey and behind if single storey), materials and detailing (front walls of stucco with decorative parapets, some original timber or metal-framed shopfronts with timber or tiled stallboards and recessed entries), and siting (no front and side setbacks).
- The landmark qualities of the former Bank of Australasia.
- The nineteenth century subdivision pattern comprising regular allotments served by rear bluestone laneways.

The following places are Individually Significant and have their own statement of significance:

- Former Bank of Australasia, 377 Burnley Street,
- Former shop and residence, 380 Burnley Street,
- Shops and residences, 400-402 Burnley Street, and
- Shops and residences, 413-15 Burnley Street.

Non-original alterations and additions to the Contributory buildings shown on the precinct map, and the buildings at 381 & 382 Burnley Street, and 411 Swan Street are Not Contributory.

How is it significant?

The Burnley Street Precinct is of local historic and architectural significance to the City of Yarra.

Why is it significant?

Historically, the precinct is a representative example of a shopping centre serving local needs that developed in response to the significant population growth of Richmond in the late nineteenth and early twentieth centuries. The terrace row at nos. 345-67 Burnley Street provides evidence of the first significant phase of residential development that created the need for the centre in the late nineteenth century. (Criterion A)

The location, close to a railway station, and around a major intersection and the mix of single and double storey commercial premises, some with original shopfronts, the corner hotel and former bank are all characteristic of these local centres. The mix of residential and commercial premises is also typical with places such as nos. 373 and 375 Burnley Street that combine a Victorian house with an Edwardian shopfront demonstrating the evolution of the precinct from residential to commercial. (Criterion D)

The precinct contains late Victorian, Federation, and Inter-war shops and one hotel with consistent and characteristic parapeted form, siting and detailing, including some original shopfronts, which contrast

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with the Victorian residential terrace row. The former Bank of Australasia is notable as a landmark within the precinct. (Criterion E)

14. Swan Street West Precinct, Cremorne

HO524

Source: GJM Heritage (2017), *Swan Street Built Form Study: Heritage Assessments & Analysis*

What is significant?

The Swan Street West Precinct comprising 30-42 Swan Street, Cremorne.

Elements that contribute to the significance of the place include (but are not limited to):

- The original external form, materials and detailing of the four buildings
- The high level of integrity of the buildings to their late nineteenth and early twentieth century design.

Later (post 1940) alterations and additions to the rear and shopfront are not significant.

How is it significant?

The Swan Street West Precinct is of local historical and architectural significance to the City of Yarra.

Why is it significant?

The Swan Street West Precinct is illustrative of historical development along a major, early commercial thoroughfare in the City of Yarra. As the only remaining group of intact commercial buildings from the Victorian and Edwardian periods west of the Swan Street railway bridge, this precinct demonstrates the commercial development at the west entrance of the major Swan Street 'High Street' up to the 1920s [Criterion A].

The small but intact Swan Street West Precinct clearly demonstrates the principal characteristics of a major Victorian and Edwardian 'High Street' in the City of Yarra. Typical characteristics, including parapeted facades with repetitive upper floor fenestration, rendered facades and ground floor shopfronts, are displayed in the variety of original forms, fabric and detailing of the four buildings [Criterion D].

INDIVIDUALLY SIGNIFICANT PLACES

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1. **Former State Saving Bank** **HO53**
231 Victoria Street, Abbotsford

Source: Allom Lovell & Associates (1998), *City of Yarra Heritage Review*
Updated by GJM Heritage (2018), *Victoria Street and Bridge Road Built Form Review Heritage Assessments*

The former State Savings Bank at 231 Victoria Street, Abbotsford is of local architectural significance and historical interest. The building is a good example of the Italianate palazzo style, typical of bank premises in the late 19th century. The building is a notable element in the streetscape, occupying a prominent corner site at the intersection of Hoddle and Victoria Streets. The building's association with architect George Wharton, who designed other buildings for the Melbourne Savings Bank, is of interest.

Elements that contribute to the significance of the place include (but are not limited to):

- Façade parapet with pitched roof behind
- No setbacks
- Rendered walls
- Rendered façade detailing including window frames, hoods, pilasters, engaged columns and rusticated banding
- Strong horizontal lines formed by parapet line, cornices, string courses and rusticated banding
- Repetitive fenestration patterns at ground and first floor
- Corner building with two symmetrical, articulated, principal facades
- Emphasis on corner and façade extremities with concentration of decorative elements.

-
2. **Former National Bank** **HO54**
261 Victoria Street, Abbotsford

Source: Allom Lovell & Associates (1998), *City of Yarra Heritage Review*
Updated by GJM Heritage (2018), *Victoria Street and Bridge Road Built Form Review Heritage Assessments*

The former National Bank of Australasia at 261 Victoria Street, Abbotsford, is of local architectural significance and local historical interest. The building is a good example of the restrained use of the Italianate palazzo style, typical of bank premises in the late 19th century. The building's association with Albert Purchas, architect of the Melbourne General Cemetery (from 1852), and of the Richmond South branch of the bank, is of interest.

Elements that contribute to the significance of the place include (but are not limited to):

- Facade parapet with pitched roof behind
- No side setback and minimal front setback
- Rendered walls
- Rendered façade detailing including window frames, sills and pedimented hoods, balustrading, columns and piers, name plates, vermiculated quoining and rusticated banding
- Strong horizontal lines formed by parapet line, cornices, string courses and rusticated banding
- Repetitive fenestration patterns to both facades at ground and first floor
- Corner building with symmetrical, articulated, front façade and secondary façade to side street
- Emphasis on central bay of front facade with concentration of decorative elements and raised pediment at parapet

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- Cast iron picket fence to front facade.

3. **Shops** **HO55**
275-277 Victoria Street, Abbotsford

Source: Allom Lovell & Associates (1998), *City of Yarra Heritage Review*
Updated by GJM Heritage (2018), *Victoria Street and Bridge Road Built Form Review Heritage Assessments*

The Lambeth Buildings at 275-277 Victoria Street, Abbotsford, is of local architectural significance. The building is a typical and relatively intact example of a 19th century double storey shop and residence, which makes an important contribution to the streetscape.

Elements that contribute to the significance of the place include (but are not limited to):

- Facade parapet with pitched roof behind
- No front or side setbacks
- Rendered walls
- Rendered façade detailing and ornament including window frames and sills, masks, finials and pediment with name plate
- Strong horizontal lines formed by parapet line, cornices and string courses
- Repetitive fenestration patterns to both facades at ground and first floor
- Corner building with principal facades to both streets
- Shopfront with display windows, plinth and entry recess (no 277)
- Smaller scale facades at rear (Park Street) with similar detailing to main building.

4. **Shop** **HO56**
295 Victoria Street, Abbotsford

Source: Allom Lovell & Associates (1998), *City of Yarra Heritage Review*
Updated by GJM Heritage (2018), *Victoria Street and Bridge Road Built Form Review Heritage Assessments*

The shop and residence at 295 Victoria Street, Abbotsford, is of local architectural significance. The building is a typical and relatively intact example, other than the shopfront, of a doublestorey 19th century shop and residence, and contributes to the character of the streetscape.

Elements that contribute to the significance of the place include (but are not limited to):

- Simple façade parapet with pitched roof behind
- No front or side setbacks
- Rendered walls
- Strong horizontal lines formed by parapet line and cornices
- Repetitive fenestration patterns at first floor level
- Corner building with principal facades to both streets
- Splayed corner to building.

5. **Shops** **HO57**
297-301 Victoria Street, Abbotsford

Source: Allom Lovell & Associates (1998), *City of Yarra Heritage Review*

INDIVIDUALLY SIGNIFICANT PLACES

Updated by GJM Heritage (2018), *Victoria Street and Bridge Road Built Form Review Heritage Assessments*

The shops at 297-301 Victoria Street, Abbotsford, are of local architectural significance. They are particularly ornate examples of the Italianate style with unusual first floor fenestration, diminished somewhat by the painting of most of the brickwork, and a rare intact shopfront at no. 297. The shops are important heritage elements in the streetscape.

Elements that contribute to the significance of the place include (but are not limited to):

- Façade parapet with pitched roof behind
- No front or side setbacks
- Face red brick walls, overpainted (except for 301 Victoria Street)
- Rendered façade detailing including window frames, sills and pilasters
- Horizontal lines formed by parapet line and cornices
- Strong vertical lines formed by pilaster strips on main facade
- Repetitive fenestration patterns at first floor level, including unusual tripartite windows at first floor level and semi-circular arch-headed windows at ground floor (retained at 299 only)
- Continuation of fenestration patterns to Charles Street with simplified detail
- Corner building with articulated front and part side façade
- Splayed corner to building.

6. **Shops** **HO58**
371-377 Victoria Street, Abbotsford

Source: Allom Lovell & Associates (1998), *City of Yarra Heritage Review*
Updated by GJM Heritage (2018), *Victoria Street and Bridge Road Built Form Review Heritage Assessments*

The shops at 371-377 Victoria Street, Abbotsford, are of local architectural significance. Although the shopfronts have been altered, the first floor facades—an unusual composition of polychromatic brick and unpainted render elements—remain substantially intact, and are an important heritage element in the streetscape.

Elements that contribute to the significance of the place include (but are not limited to):

- Façade parapet with pitched roof behind
- No front or side setbacks
- Polychromatic brick walls
- Rendered façade detailing including window sills and hoods, cornices and plainly detailed parapet (unpainted)
- Strong horizontal lines formed by parapet and cornices
- Strong vertical pilaster lines clearly defining individual shops
- Repetitive upper floor fenestration patterns
- Principal front façade to Victoria Street and secondary façade to side street.

7. **Former Collingwood East Hotel** **HO59**
385 Victoria Street, Abbotsford

Source: Allom Lovell & Associates (1998), *City of Yarra Heritage Review*
Updated by GJM Heritage (2018), *Victoria Street and Bridge Road Built Form Review Heritage*

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Assessments

The former East Collingwood Hotel, 385 Victoria Street, Abbotsford, is of local architectural significance. Architecturally, the building has unusually detailed facades, and remains remarkably intact. The building is a good example of the Italianate style applied to a commercial building, and it is an important heritage element in the Victoria Street streetscape.

Elements that contribute to the significance of the place include (but are not limited to):

- Façade parapet with pitched roof behind
- No front or side setbacks
- Rendered walls
- Rendered façade detailing including window sills and hoods, masks and banded and vermiculated rustication
- Strong horizontal lines formed by parapet line, cornices and banded rustication
- Repetitive upper floor fenestration patterns
- Repetitive lower floor arch-headed pattern of window and door openings
- Corner building with principal facades to both streets
- Splayed corner to building.

8. **Shops** **HO60**
459-465 Victoria Street, Abbotsford

Source: Allom Lovell & Associates (1998), *City of Yarra Heritage Review*
Updated by GJM Heritage (2018), *Victoria Street and Bridge Road Built Form Review Heritage Assessments*

The shops at 459-465 Victoria Street, Abbotsford, are of local architectural significance. Relatively intact, they are unusual examples of richly decorated Edwardian double-storey shops.

Elements that contribute to the significance of the place include (but are not limited to):

- Simple façade parapet with pitched roof behind
- No front or side setbacks
- Face red brick walls with brown brick and render contrasts (nos 459 & 465 overpainted), including decorative corner pediment
- Strong horizontal lines formed by parapet, cornice and stringcourses
- Strong vertical pilaster lines clearly defining individual shops
- Repetitive upper floor fenestration patterns
- Corner building with principal front facade
- Splayed corner to building.

9. **Shop** **HO61**
511 Victoria Street, Abbotsford

Source: Allom Lovell & Associates (1998), *City of Yarra Heritage Review*
Updated by GJM Heritage (2018), *Victoria Street and Bridge Road Built Form Review Heritage Assessments*

The corner shop at 511 Victoria Street, Abbotsford, is of local architectural significance. The building is an unusually austere mid-Victorian retail building which contrasts with the more richly decorated facades of more contemporary shop architecture. The shopfront is a very rare surviving example of a

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Victorian shopfront.

Elements that contribute to the significance of the place include (but are not limited to):

- Simple façade parapet with pitched roof behind
- No front or side setbacks
- Face brick walls
- Strong horizontal lines formed by parapet and cornice
- Repetitive upper floor fenestration patterns.

10. **Terminus Hotel, former Bricklayers Arms Hotel** **HO62**
605 Victoria Street, Abbotsford

Source: Allom Lovell & Associates (1998), *City of Yarra Heritage Review*
Updated by GJM Heritage (2018), *Victoria Street and Bridge Road Built Form Review Heritage Assessments*

The former Brickmakers Arms Hotel is of local architectural and historical significance. Although the original 19th century building has been altered, it is a rare surviving building associated with the brickmaking industry in Abbotsford, which once occupied all the land along both sides of Flockhart Street, but which had relocated to the eastern and northern suburbs by the 1880s. A hotel has occupied this site continuously since 1866. The present building displays typical features of the Moderne style such as steel-framed windows, curved corner, and horizontal facade treatment, notable for its tiling. The building is substantially intact to the extent of the inter-War refurbishment, and being prominently sited at the eastern end of Victoria Street it is a local landmark.

Elements that contribute to the significance of the place include (but are not limited to):

- Plain façade parapet with flat roof behind
- No front or side setbacks
- Rendered facades
- Strong horizontal lines formed by parapet, stringcourses, window openings and tiled dado
- Moderne detailing including projecting curved canopy, applied decoration and tiled dado
- Irregular pattern of fenestration including multi-paned and double-hung windows
- Corner building with principal and secondary facades and curved corner.

11. **Former Crusader Plate Building** **HO63**
651 Victoria Street, Abbotsford

Source: Allom Lovell & Associates (1998), *City of Yarra Heritage Review*
Updated by GJM Heritage (2018), *Victoria Street and Bridge Road Built Form Review Heritage Assessments*

The former Crusader Plate building, at 651 Victoria Street, Abbotsford, is of local architectural significance. Whilst the adjacent Handley's building (No. 653-657), upon which the Crusader Plate building is styled, is a far more confident expression of the Moderne idiom, the Crusader Plate building is nonetheless an interesting and unusual Moderne composition. It is a particularly sympathetic extension to the Handley's complex. The significance of the building has been reduced by the alterations to the glazing and vehicle entrance. The Skipping Girl Vinegar sign is of local historical and social significance. The original sign was Melbourne's first animated neon sign, and the reconstruction remains a local landmark and a Melbourne cultural icon.

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Elements that contribute to the significance of the place include (but are not limited to):

- Plain façade parapet with sawtooth roof behind
- No front setback
- Face brick facade, including graded brick colours towards the top of the façade
- Repetitive fenestration patterns to front and side facades.

12. **Former Handley & Tilley Building** **HO64**
653-657 Victoria Street, Abbotsford

Source: Allom Lovell & Associates (1998), *City of Yarra Heritage Review*
Updated by GJM Heritage (2018), *Victoria Street and Bridge Road Built Form Review Heritage Assessments*

The former Handley & Tilley Building, 653-657 Victoria Street, is of local architectural significance. The building is an extraordinarily confident expression of the Moderne idiom and an important example of the style applied to a large industrial building. The distinctive polychromatic brickwork is of note. With the adjoining former Crusader Plate building at No. 651, the building is a striking landmark in the Victoria Street streetscape. The appearance of the building has been marred by the 1990s alterations.

Elements that contribute to the significance of the place include (but are not limited to):

- Plain façade parapet with generally flat roof behind
- Various minimal front setbacks
- Face brick facades, including graded brick colours towards the top of the facade
- Strong horizontal lines formed by parapets, strips of fenestration and spandrels
- Strong vertical lines formed by central tower element and associated detailing
- Repetitive fenestration patterns
- Moderne detailing including curved walls, projecting canopy and tops of piers.

13. **Former Alma Woolworks Complex** **HO65**
663 Victoria Street, Abbotsford

Source: Allom Lovell & Associates (1998), *City of Yarra Heritage Review*
Updated by GJM Heritage (2018), *Victoria Street and Bridge Road Built Form Review Heritage Assessments*

The former Alma Wool Works is of considerable local historical and architectural significance.

The former residence derives its significance from its association with Peter Nettleton, Collingwood's best known fellmonger. It is a remnant of the longest surviving fellmongery complex within Collingwood, established during the early phase of industrial activity in the suburb. The house demonstrates the practice of proprietors of industrial establishments living on their premises, in contrast to the preference of later Victorian industrialists to reside in the more fashionable residential suburbs of Melbourne. Largely intact, the former residence is also a rare surviving example of an early bluestone cottage.

The former woolshed is the major surviving building of the original Nettleton's Works, later to become James Schofield Pty Ltd and later again the Alma Woolscouring Co Pty Ltd. It is the key building in Collingwood's, and possibly Melbourne's, largest surviving woolscouring complex. Architecturally, the unusual arcade to the river is of particular note. The whole complex is the earliest

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remaining substantially intact industrial complex in Collingwood. Its location on the river illustrates the role of the Yarra as a sewer for Melbourne's animal processing factories in the 19th century.

Elements that contribute to the significance of the place include (but are not limited to):

- Low hipped roof forms
- Rectilinear forms.

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14. **Former United Kingdom Hotel (now McDonald's)** **HO92, VHR H0684**
199 Queens Parade, Clifton Hill

Refer to Victorian Heritage Database for Statement of Significance

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15. **Street Trees** **HO93**
Queens Parade, Between Alexandra Parade & Delbridge Street Clifton Hill/ North Fitzroy

Source: Allom Lovell & Associates and John Patrick Landscape Architects Pty Ltd (1998), *City of Yarra Heritage Review*

The double avenue of trees on Queens Parade is locally significant as an extensive and intact avenue planting in the City of Yarra. The trees provide a significant contribution to the heritage character of the precinct, and to the amenity of the local neighbourhood generally.

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16. **Haselmere** **HO216, VHR H0163**
96 Mckean Street, Fitzroy North

Refer to Victorian Heritage Database for Statement of Significance

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17. **Former ANZ Bank** **HO221, VHR H0892**
370-374 Queens Parade, North Fitzroy

Refer to Victorian Heritage Database for Statement of Significance

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18. **Melbourne Tramway & Omnibus Co. Ltd Cable Tram Depot, former,** **HO228**
later part Rydges Riverwalk hotel complex
649 Bridge Road, Richmond

Source: Allom Lovell & Associates (1998), *City of Yarra Heritage Review*

The former Richmond Cable Tram Depot, Bridge Road, Richmond, is of local architectural and historical significance. The facade is substantially intact, although its architectural significance is considerably diminished by the 1980s six-storey hotel built behind. Historically, it was the first of 15 cable tram depots to have been constructed in Melbourne, and is one of the surviving sheds of the original cable tram network, which now demonstrate the route and extent of the cable tram system.

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19. **[former] Richmond Police Station** **HO230**
319-323 Bridge Road, Richmond

Source: This site was removed from the Government Building Register on 21 May 1998 and placed in the Yarra Planning Scheme. The Statement below was provided to the City of Yarra by Heritage Victoria on 25 May 1998.

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Updated by GJM Heritage (2018), *Victoria Street and Bridge Road Built Form Review Heritage Assessments*

Richmond Police Station was built in 1878 as part of a civic strip comprising of the Town Hall, Court House and Post Office. The Lock-Up located at the rear is thought to have been erected in the 1860s and was moved to this site in 1872-3. Richmond Police Station is important because of the role it played in the colourful history of the community of Richmond. Police authority and local government were highly involved in the struggles of union development, industry and the political battles between the ALP working class and the conservative middle class of Richmond. The prominence of the building is representative of the high profile of police authority, in conjunction with local government in Richmond during the late nineteenth and early twentieth centuries. Of architectural importance is the intact government complex including the police lock-up. Architectural details include polychrome brickwork, arched windows and stone work in the lock-up. A better and more intact example of this building type and style exists at Carlton (1878) and has been transferred to the Victorian Heritage Register. The Richmond Police Station does not warrant inclusion on the Victorian Heritage Register as it is not of State significance and a more intact example of its type has been transferred to the Victorian Heritage Register. It is however of local significance. The Richmond Police Station has been removed from the Government Buildings Register and included in the Heritage Overlay of the relevant Planning Scheme.

Elements that contribute to the significance of the place include (but are not limited to):

- Two storey, free-standing, symmetrical building
- repetitive arch-headed fenestration patterns at both levels
- Front and side setbacks
- Face red brick walls with contrasting cream and red brick detailing to openings, string courses, chimneys and entrance porch
- Bluestone base
- Exposed hipped slate roof with consoled eaves
- Horizontal lines formed by eaves, sills, stringcourses
- Central focal point (entry)
- Bluestone lock-up with slate roof at the rear of the building.

20. **House** **HO245**
234 Coppin Street, Richmond

Source: Allom Lovell & Associates (1998), *City of Yarra Heritage Review*

234 Coppin Street, Richmond, is of local architectural significance. The house is representative of the late 19th century double-storey form, and is a good example of the Italianate style. The house is substantially intact, retaining most of the original cement render and cast iron decoration, and is notable for its unusual broken pedimented parapet.

21. **Pelaco Sign** **HO259, VHR H1149**
21-31 Goodwood Street, Richmond

Refer to Victorian Heritage Database for Statement of Significance

22. **Former Gas Inspector's Residence**

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	7 Gleadell Street, Richmond	HO260, VHR H1610
	Refer to Victorian Heritage Database for Statement of Significance	
23.	Former Central Club Hotel 291 Swan Street, Richmond	HO285
	Source: Allom Lovell & Associates (1998), <i>City of Yarra Heritage Review</i>	
	The former Central Club Hotel is of local architectural significance. The hotel is a good example of the late 19th century Italianate Boom style, notable for its lively asymmetrical facade composition and florid Victorian Mannerist cement rendered decoration. The three-storey building is a significant local landmark in Swan Street. Its association with the locally prominent Cremean family and their involvement in Catholic politics is of local historical interest.	
24.	Former Burnley Theatre 365 Swan Street, Richmond	HO286
	Source: Allom Lovell & Associates (1998), <i>City of Yarra Heritage Review</i> ; Updated by GJM Heritage (2017), <i>Swan Street Built Form Heritage Review</i>	
	The former Burnley Theatre is of local social and architectural significance. Until its closure in 1958, the theatre was popular with the residents of Richmond as a social gathering place. The Swan Street facade, although not of individual architectural importance, contributes to the streetscape and is a notable local landmark.	
	Additional contributory elements:	
	<ul style="list-style-type: none">• Capacious building with wide symmetrical facade to Swan Street• Strong horizontal lines define levels• Front facade has pattern of windows and engaged columns with wider central bay• Located on a corner with undecorated side facade to Edinburgh Street• Large gabled hall behind front facade.	
25.	Former State Bank 214-216 Swan Street, Richmond	HO288, VHR H732
	Refer to Victorian Heritage Database for Statement of Significance	
26.	House 316 Victoria Street, Richmond	HO289
	Source: Allom Lovell & Associates (1998), <i>City of Yarra Heritage Review</i> Updated by GJM Heritage (2018), <i>Victoria Street and Bridge Road Built Form Review Heritage Assessments</i>	
	The house at 316 Victoria Street, Richmond, is of local architectural significance. It is the only house of its type—a double-fronted double-storey terrace—in Victoria Street. It is a good and substantially intact example of an Italianate style terrace, with particularly fine detailing. It is a major contributor to the streetscape in an area much denuded by post-War commercial and industrial buildings.	

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Elements that contribute to the significance of the place include (but are not limited to):

- Simple façade parapet with pitched roof behind
- Front setbacks but no side setbacks
- Rendered walls (overpainted)
- Front verandahs and balconies with decorative cast iron balustrading and friezes
- Render detailing including parapet balustrading and cornice (overpainted)
- Strong horizontal lines formed by parapet, cornices, stringcourse and balconies
- Side wing walls with simple decorative detailing
- Repetitive fenestration and openings patterns at both levels
- Cast iron palisade fencing, gate, posts and bluestone base.

27. **Byrne's Arcade Terrace** **HO290**
318-326 Victoria Street, Richmond

Source: Allom Lovell & Associates (1998), *City of Yarra Heritage Review*
Updated by GJM Heritage (2018), *Victoria Street and Bridge Road Built Form Review Heritage Assessments*

Byrne's Arcade Terrace is of local architectural significance. Whilst there are a number of 19th century double-storey shops with residences above in Victoria Street, Byrne's Arcade Terrace is the only residential terrace, and a typical and reasonably intact example. It is a major contributor to the streetscape in an area much denuded by post-War commercial and industrial buildings.

Elements that contribute to the significance of the place include (but are not limited to):

- Simple façade parapet with pitched roof behind
- Front setbacks but no side setbacks
- Rendered walls (overpainted)
- Front verandahs and balconies with decorative cast iron balustrading and friezes (not all original)
- Render detailing including dentilled cornice, central pediment, rosettes, masks and urns (overpainted)
- Strong horizontal lines formed by parapet, cornices and balconies
- Strong vertical pilaster lines clearly defining individual residences
- Repetitive fenestration and openings patterns at both levels
- Cast iron palisade fencing and gates, and bluestone bases, to the majority of properties.

28. **Former Simpson's Glove Factory** **HO291**
488-496 Victoria Street, Richmond

Source: Allom Lovell & Associates (1998), *City of Yarra Heritage Review*
Updated by GJM Heritage (2018), *Victoria Street and Bridge Road Built Form Review Heritage Assessments*

The former Simpsons Glove Factory is of local architectural significance and local historical interest. The building has been used as a factory since its construction in 1920 until relatively recently. Architecturally, it is a typical example of the stripped Classical Revival style applied to a utilitarian building. The building is prominently sited at the eastern end of Victoria Street, and is a local landmark.

Elements that contribute to the significance of the place include (but are not limited to):

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- Façade parapet with pitched roof behind
- No front or side setbacks
- Red brick walls with dark brick contrasts
- Plain rendered façade detailing including parapet, consoles, window lintels and sills and curved entrance hood
- Strong vertical pilaster lines
- Repetitive fenestration patterns
- Symmetrical front façade.

29. **House** **HO294**
15 Wellington Street, Cremorne

Source: Allom Lovell & Associates (1998), *City of Yarra Heritage Review*;
Updated by GJM Heritage (2017), *Swan Street Built Form Heritage Review*

The house at 15 Wellington Street, Richmond, is of local architectural significance. Although the overall form of the house is relatively common, this building is distinguished by its highly unusual Dutch gables, and also by the unusual proportions of the fenestration to the projecting bay. The house is an important heritage element in Wellington Street.

Works in 2016/2017 have resulted in the re-rendering of external walls, removal and replacement of cast iron friezes and balustrading and the reinstatement of a previously bricked in ground level window opening.

30. **The Boulevard** **HO299**
The Boulevard Parklands, Burnley (and part Richmond)

Source: Context Pty Ltd (2014), *Heritage Gap Study, Review of Central Richmond*

What is significant?

Richmond Park, Burnley Park, and Yarra Boulevard are significant. The significant features are:

- The remnant indigenous vegetation throughout the park, mostly River Red Gums (*Eucalyptus camaldensis*).
- The mature trees, planted before 1945. They include Cedars (*Cedrus sp.*), Conifers (*Cupressus sp.*), Dutch Elms (*Ulmus x hollandica*), Oaks (*Quercus sp.*), various palms including Canary Island (*Phoenix canariensis*), Washingtonias (*Washingtonia filifera* and *Washingtonia robusta*) and Chinese Windmill (*Trachycarpus fortunei*), Pines (*Pinus sp.*), and Sugar Gums (*Eucalyptus cladocalyx*). Of particular note are the mature elms in the north section of the park and adjacent to Yarra Boulevard that appear to be remnants of the Dutch Elm avenue originally established c.1870s, the mature Sugar Gums in the Circus Site, Golf Course and Kevin Barlett Reserve, and the group of palms at the east corner of Swan Street and Park Grove.
- The hard landscaping associated with the construction of Yarra Boulevard including lava rock garden bed edging, random rock retaining walls, low walls/fences, planters and steps, generally located along the sides of Yarra Boulevard and in various locations throughout the park.
- The layout of paths in area to the north of Burnley Ovals, which date from prior to 1945.

The following places and features are Individually Significant and have their own statement of significance:

- Burnley Horticultural College (HO306, VHR 2052),

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- Corroboree or Marker Tree (HO298), and
- Park Keeper's cottage (former) (Individually Significant within HO299).

The following trees and features are Not Contributory:

- The railways and roadways (with the exception of Yarra Boulevard),
- Buildings constructed after 1945,
- Trees and soft and hard landscaping established after 1945,
- Modern park furniture including seating, bbqs and the like, and
- Modern fencing.

How is it significant?

Richmond Park, Burnley Park, and Yarra Boulevard are of local historic and aesthetic significance to the City of Yarra.

Why is it significant?

It is historically significant as one of the oldest reserves in Victoria and demonstrates how large areas of land were set aside for parkland as part of the first surveys of Melbourne. The surviving nineteenth century fabric including the buildings and plantings associated with the Horticultural Society gardens, the remnants of the Dutch Elm Avenue, mature Sugar Gums and the park keeper's cottage are of particular significance as evidence of the development of the park during the nineteenth century. (Criterion A)

It is significant as an example of the large informal reserves created during the nineteenth century park, that contain sections of naturalistic landscapes with remnant indigenous vegetation combined with introduced plantings and hard landscape elements. (Criterion D)

It is historically and socially significant as the oldest park within Richmond and as a place of passive and active recreation that has been in continuous use for over 150 years. (Criterion A & G)

Yarra Boulevard is historically significant as an example of the major public works projects undertaken to provide unemployment relief during the Great Depression. It is an example of the roads constructed along 'scenic' routes during the interwar period and is associated with the increasing use of private motor cars for sightseeing and leisure. (Criteria A & D)

Aesthetically, it is significant for its semi-naturalistic and highly picturesque landscape, which combines remnant indigenous trees with semi-formal plantings of exotic species. Yarra Boulevard is notable as a fine example of an interwar public landscape with a distinctive character created by the rock walls and garden edging, and mature exotic trees and shrubs. (Criterion E)

31.	Skipping Girl Neon Sign 651-653 Victoria Street, Abbotsford	HO353, VHR H2083
	Refer to Victorian Heritage Database for Statement of Significance	
32.	Former Richmond South Post Office 90-92 Swan Street, Richmond	HO357, VHR H48
	Refer to Victorian Heritage Database for Statement of Significance	
33.	Dimmeys 140-160 Swan Street, Richmond (Cremorne)	HO360, VHR H2184

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Refer to Victorian Heritage Database for Statement of Significance

34. **The Greyhound Hotel, later Depot Hotel, now Precinct Hotel** **HO405**
60-62 Swan Street, Richmond

Source: Graeme Butler & Associates (2012), *City of Yarra Heritage Gaps Review (Review 1)*;
Updated by GJM Heritage (2017), *Swan Street Built Form Heritage Review*

What is significant?

The Greyhound Hotel, later Depot Hotel and Precinct Hotel has been the site of a public house and gathering place since the 1850s-60s (as 52 Swan St) when licensees included John Davies and William Perrin. The Swan Street West area had consolidated by the 1890s with continuing commercial uses evolving around the new Bowling Club Hotel. The former Bowling Club Hotel, at 36-38 Swan Street, was licensed at another Richmond location to one John Smith in 1868, with a Miss Julia Topey keeping a hotel on this site by the 1880s. The hotel was kept by a M Fitzgerald in the early 1900s but as the new century progressed, the hotel had been delicensed such that by 1920, the only hotel that had survived in this part of Swan Street was the Greyhound Hotel at the Cremorne Street corner (and rebuilt in 1926). Meanwhile shops had occupied the former Bowling Club Hotel. The hotel is a 2 storey Neo-Grec style building, with a simple and boldly executed cemented facade. A deep projecting cornice with brackets underscores the raised parapet entablature with its symmetry to the two elevations expressed through panels, with the focus at the splayed corner. Leadlight glass is evident as is the upper level and ground level joinery (part).

Additional contributory elements include:

- Two-storey wall height
- Zero front setback
- Regular pattern of rectangular fenestration at upper level
- Corner building which address both Swan Street and Cremorne Street by continuing the pattern of openings and parapet detailing
- Splayed corner
- Strong horizontal lines defining levels.

How is it significant?

The building is aesthetically, socially and historically significant (National Estate Register Criteria E1, G1, A4) to Richmond.

Why is it significant?

The building is significant: - for its good representation of a key period in the City's history, being as a site, the initial growth of commercial Swan St and as a building, the rebirth of hotel development in the 1920s after the Licence Reduction Board had eliminated other less salubrious pubs; and - as a well-preserved example of a Greek revival style public house in the local context.

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35. **Quint Café (former Duke of Albany Hotel)** **HO416**
323-325 Victoria Street, Abbotsford

Source: Lovell Chen (2012), *City of Yarra Heritage Gaps Study (Heritage Gaps Amendment two)*
Updated by GJM Heritage (2018), *Victoria Street and Bridge Road Built Form Review Heritage Assessments*

What is significant?

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The former hotel at no. 323-325 Victoria Street, Abbotsford, was constructed in the nineteenth century with façade alterations undertaken in the early 1930s. It has a series of hipped roof forms clad in corrugated galvanised steel, and a collection of chimneys. The Victoria Street façade returns around Nicholson Street on the east side in a smooth-stuccoed finish with a parapet rising in three rounded steps to the curved corner, with course line mouldings and a flagpole anchored in two of the mouldings. At first floor level there are steel-framed windows with fanlights and horizontally proportioned panes to both the south and east elevations. The first floor corner is also set with steel-framed horizontally-proportioned windows that are faceted to fit the curve of the corner, and doors at either end of the corner window opening to a curved cantilevered balcony with steel tube balustrade. The ground floor has been altered externally.

Elements that contribute to the significance of the place include (but are not limited to):

- Plain façade parapet with flat roof behind
- No front or side setbacks
- Rendered facades
- Strong horizontal lines formed by parapet, applied raised strips and window openings
- Moderne detailing including curved corner with staggered parapet and flagpole
- Corner building with principal facades to both streets.

How is it significant?

The former hotel at no. 323-325 Victoria Street, Abbotsford, is of local historical and aesthetic/architectural significance.

Why is it significant?

The former hotel at no. 323-325 Victoria Street, Abbotsford, is of local historical significance. The property has accommodated a hotel for approximately 130 years, beginning with Simpson's Hotel from at least the 1850s, when Victoria Street was known as Simpson's Road and the section of street between Hoddle and Nicholson streets was developing its retail and commercial character. The earlier hotel was replaced by the current two-storey brick building, possibly in the 1880s, when it was known as the Duke of Albany Hotel; and in the 1930s, the external appearance of the hotel was dramatically altered, in line with many hotel makeovers of the interwar years. The former hotel is also of local aesthetic/architectural significance, and is distinguished by the Streamlined Moderne remodeling of the early 1930s. The date of the early 1930s also places this particular stylistic makeover as a comparatively early example. Although altered in part, the Streamlined Moderne styling of the building still reads strongly, particularly the curved emphasis to the Victoria and Nicholson street corner. Elements of note include the three-stepped parapet with course line mouldings; flagpole anchored in two of the mouldings; steel-framed windows; faceted windows to the first floor corner; and the curved cantilevered balcony with steel tube balustrade.

36. **400-402 Burnley Street, Richmond**

HO429

Source: Lovell Chen (2012), *City of Yarra Heritage Gaps Study (Heritage Gaps Amendment two)*

What is significant?

The property at 400-402 Burnley Street, Richmond, dates from 1912, and comprises a pair of two storied Federation red brick shops with combined residences. No. 402 is the larger of the two, with both building components matching in terms of design. The buildings have transverse gable roof forms, and rear roof pitches concealed by brick parapet walls to form asymmetrical side gables. On the east façade to Burnley Street, both buildings are walled in exposed face brick with two oriel gabled bays to the first floors. The bays and the transverse gable roofs are clad in terracotta tiles; the expressed central and side walls are topped by stepped moulded brackets with orbs; and the gables

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to the bays are half-timbered with roughcast stucco, crown four-light bay windows, and have apron panels clad in roughcast stucco. The ground floor shopfronts are also original or early.

How is it significant?

The property at 400-402 Burnley Street, Richmond, is of local historical and aesthetic/architectural significance.

Why is it significant?

The property at 400-402 Burnley Street, Richmond, dates from 1912, and is of local historical significance. It is associated with the later development of eastern Richmond, in an area of Burnley Street, near the junction with Swan Street, which had developed by the early twentieth century into an established retail precinct. The property is also of local aesthetic/architectural significance. It is a well preserved and substantially externally intact example of a Federation two-storey combined residence and shop, in exposed face brick. It is distinguished by the transverse gable roof form, the prominent oriel gabled bays to the first floors, the substantially intact ground floor shopfronts, and the asymmetrical side gable evident on the south elevation which was increasingly common in early twentieth century shop design. Other elements of note include the roof decoration, brackets with orbs, half-timbered gables to the oriel bays, and the oriel apron panels clad in roughcast stucco.

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| 37. | Swan Street Drill Hall
309 Swan Street, Richmond | HO440 |
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Source: Lovell Chen (2012), *City of Yarra Heritage Gaps Study (Heritage Gaps Amendment two)*

What is significant?

The property at 309 Swan Street, Richmond, is a rectangular shaped allotment with three buildings dating from 1916 and 1937. The buildings comprise the large former drill hall abutting the Duke Street (west) boundary; the narrower storage building abutting the Lord Street (east) boundary; and a smaller brick building between these to the Swan Street boundary. Both the hall and storage shed date from 1916 and are single storey, gable-roofed and gable-ended structures, clad in corrugated galvanised iron. Both buildings retain most of their original window framing, with some exceptions. The space between the two original buildings is concreted over. The third building dates from 1937, and is a single storey, overpainted brick building, with a transverse gable roof. The 1916 drill hall is the largest building on the site, has the distinctive 'drill hall' form, and was the focus of the original training operations and subsequent Commonwealth use. The 1916 storage shed, although original, and the later 1937 building, are less distinguished elements, and more utilitarian in character and form.

How is it significant?

The property at 309 Swan Street, Richmond, is of local historical and architectural significance.

Why is it significant?

The property at 309 Swan Street, Richmond, was established as a drill hall complex in 1916 and is of local historical significance. It dates from the period when compulsory military service was introduced, and a large number of drill halls were constructed in Australia. Richmond men between the ages of eighteen and thirty, who were called upon to enlist for military service in World War One, did so at the Swan Street drill hall. They were also given some training on the site. Later Commonwealth uses included housing the 2/11th Field Regiment in the 1940s; the Department of Technical Engineering copywriting section, and the Training Depot for the Australian Army's Royal Corps of Australian Electrical and Mechanical Engineers in the 1950s; and cadet battalions in the 1970s. The former drill hall building is also of local architectural significance for demonstrating some

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of the principal characteristics of World War One drill halls. These include the simple gabled form, albeit carried over a large building, and the large internal space. The galvanised and overpainted corrugated iron cladding is also typical of suburban and regional drill halls around the country. In addition, it is a comparatively externally intact example of a drill hall of this era.

38. **319 Swan Street, Richmond** **HO441**

Source: Lovell Chen (2012), *City of Yarra Heritage Gaps Study (Heritage Gaps Amendment two)*

What is significant?

No. 319 Swan Street, Richmond, was constructed in 1889 as a two storey corner shop and residence. The building is rectangular in plan form with a chamfered corner entry and a hipped roof clad in galvanised corrugated steel, with two stuccoed chimneys with cornices. The first floor is largely externally intact, with original detailing including moulded stringcourses, double-hung sashes with stilted segmental arches, and moulded architraves with accentuated keystones. Other details include half-fluted pilasters (piers) which support a dentilled entablature and above that a continuous bracketed cornice and parapet with waisted balustrading. The chamfered corner is capped with a triangular pediment on two broad piers, enclosing a cartouche panel and topped by an orb finial. At ground level, the shop front has been altered. The rear portion of 319 Swan Street, facing Lord Street, is largely externally intact, albeit more simply detailed than the corner shop component. Beyond this wing is an adjoining contemporary development which is not of heritage significance.

How is it significant?

No. 319 Swan Street, Richmond, is of local historical and aesthetic/architectural significance.

Why is it significant?

No. 319 Swan Street is of local historical significance, as a combined shop and residence constructed in 1889 for James Davison, a baker. At that time commercial development was being consolidating in Swan Street; the 1880s date is also consistent with the core period of commercial building construction in the street. Unusually, the bakery operation in the building was sustained until the mid-1970s. No. 319 Swan Street is also of local aesthetic/architectural significance. While the building is broadly consistent with many nineteenth century two-storey shop and house combinations in inner suburban main road locations, it is distinguished by the complexity and vigour of the first floor elevations in particular, and the reasonably intact side elevation to Lord Street. The segmentally arched first floor windows are usual in terraced shops, enlivened here by the Corinthian pilasters with cornice breakfronts above. The parapet and corner pediment, with baluster waisting, dentil mouldings and bracketing, are also largely intact. The chamfered corner enhances the streetscape presentation.

39. **St Johns Church Complex** **HO496**
61-87 Queens Parade, Clifton Hill

Source: GJM Heritage (2017), *Queens Parade Built Form Heritage Analysis & Recommendations Report*

What is significant?

St John the Baptist Roman Catholic Church Complex, 61-87 Queens Parade, Clifton Hill, built from 1876 to 1918, comprising the church, school, presbytery, former hall/shops, former presbytery and the Queens Parade boundary fence to the church and presbytery.

Elements that contribute to the significance of the place include (but are not limited to):

- The original external form, materials and detailing of the buildings

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- The high level of integrity to their original design
- The Queens Parade fence to the church and presbytery.

Later alterations and additions, particularly the recent addition to the rear of the shops and school, are not significant.

How is it significant?

St John the Baptist Roman Catholic Church Complex, 61-87 Queens Parade, Clifton Hill, is of local historical, architectural and aesthetic significance to the City of Yarra.

Why is it significant?

St John the Baptist Roman Catholic Church Complex, 61-87 Queens Parade, Clifton Hill is a large and intact group of religious buildings, including a church, school, presbytery, hall/shops and former presbytery. This group of buildings is illustrative of a large suburban parish, with place of worship and associated educational and community facilities, established from the late nineteenth century through to the twenty-first century (Criterion A).

St John the Baptist Roman Catholic Church Complex, 61-87 Queens Parade, Clifton Hill is a fine, intact and representative example of a religious complex. It contains buildings from the Victorian and Federation periods which display typical characteristics of a range of styles, including the Victorian Decorated Gothic style of the late nineteenth century (church) and the Gothic Tudor (school), Bungalow (presbytery) and Free Style (hall) of the Federation period (Criterion D).

St John the Baptist Roman Catholic Church Complex, 61-87 Queens Parade, Clifton Hill is a well-considered and carefully detailed complex of church buildings. The church is a richly composed bluestone building with freestone dressings, designed in a Decorated Gothic style. The soaring church spire is a prominent landmark in the Clifton Hill/Fitzroy North area. The church contains several important stained glass windows including works by Ferguson and Urie and Hardman of Birmingham. The school building is an imposing two-storey red brick building, designed in a Gothic Tudor style, and the former Church Hall is a carefully composed two-storey red brick triangular building, designed in a Federation Free Style. (Criterion E).

40.	Row of houses, Elizabeth Terrace 472-484 Napier Street, Fitzroy North	HO498
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Source: GJM Heritage (2017), *Queens Parade Built Form Heritage Analysis & Recommendations Report*

What is significant?

Elizabeth Terrace, 476-484 Napier Street and the terrace house at 472 Napier Street, Fitzroy North, built in 1885 and 1889 respectively.

Elements that contribute to the significance of the place include (but are not limited to):

- The houses' original external form, materials and detailing
- The houses' high level of integrity to its original design
- The original front fences and gates.

Later alterations and additions to the rear of the terraces and the addition to the north of 472 Napier Street, are not significant.

How is it significant?

Elizabeth Terrace, 476-484 Napier Street and the terrace house at 472 Napier Street, Fitzroy North are of local architectural and aesthetic significance to the City of Yarra.

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Why is it significant?

Elizabeth Terrace, 476-484 Napier Street and the terrace house at 472 Napier Street, Fitzroy North are fine and representative examples of terrace housing from the Victorian period. They display typical features of the Victorian Italianate architectural style popular in the 1880s boom period in Fitzroy North and across Melbourne more broadly, including a two-storey form with front verandahs and balconies, polychromatic brickwork, decorative cast iron, rendered decorative elements including balustrading and cast iron palisade fencing (Criterion D).

Elizabeth Terrace, 476-484 Napier Street and the terrace house at 472 Napier Street, Fitzroy North are well-considered and carefully detailed examples of Victorian Italianate terrace housing. The row of polychromatic terraces, with repetitive decorative elements across the facades, presents a picturesque composition of this architectural style (Criterion E).

41. **Clifton Motors (former)** **HO504**
205-211 Queens Parade, Fitzroy North

Source: GJM Heritage (2017), *Queens Parade Built Form Heritage Analysis & Recommendations Report*

What is significant?

The Former Clifton Motors Garage, Showroom and Residence, 205-211 Queens Parade, Fitzroy North. Elements that contribute to the significance of the place include (but are not limited to):

- The building's 1938-39 external form, materials and detailing
- The building's high level of integrity to its 1938-39 design.

How is it significant?

The Former Clifton Motors Garage, Showroom and Residence, Fitzroy North is of local historical and architectural significance to the City of Yarra.

Why is it significant?

The Former Clifton Motors Garage, Showroom and Residence, Fitzroy North is of significance as an early motor garage constructed in a prominent location in Queens Parade, Fitzroy North. Operating as a garage and vehicle-related facility from at least the 1920s until the late twentieth century, the place demonstrates the increasing use of motor vehicles in Melbourne and suburbs, and their need for repair and service, for much of the twentieth century. The Moderne façade in particular illustrates the motoring age of the 1930s (Criterion A).

The Former Clifton Motors Garage, Showroom and Residence, Fitzroy North is a fine and intact example of a distinctive Moderne style motor garage, designed by noted architect James H Wardrop. The building displays typical features of the Moderne architectural style popular in the 1930s, including a dominant central element comprising a series of vertical fins and contrasting decorative horizontal treatment (Criterion E).

42. **Shop and Residence** **HO522**
273A Swan Street, Richmond

Source: GJM Heritage (2017), *Swan Street Built Form Study: Heritage Assessments & Analysis*

What is significant?

The two-storey corner shop and residence at 273A Swan Street, Richmond, built c1885-90.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing

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- The building's high level of integrity to its original design.

Later (post 1900) alterations and additions to the rear, shopfront and eastern side are not significant.

How is it significant?

The two-storey corner shop and residence at 273A Swan Street, Richmond is of local historical and architectural significance to the City of Yarra.

Why is it significant?

The two-storey corner shop and residence at 273A Swan Street, Richmond is illustrative of historical development that occurred along a major, early commercial thoroughfare in the City of Yarra, particularly in the 'boom' period of the 1880s [Criterion A].

The two-storey corner shop and residence at 273A Swan Street, Richmond is a fine, intact and representative example of a Victorian shop and residence. It displays typical features of the Victorian style popular in the 1880s in Richmond and across Melbourne more broadly, including a parapeted façade with repetitive ground and upper floor fenestration, articulated facades to both streets with splayed corner, rendered facades and ground floor shopfronts [Criterion D].

43.	Pair of Shops 323-325 Swan Street, Richmond	HO523
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Source: GJM Heritage (2017), *Swan Street Built Form Study: Heritage Assessments & Analysis*

What is significant?

The two-storey pair of shops and residences at 323-325 Swan Street, Richmond, built in 1886. Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing
- The building's high level of integrity to its original design.

Later (post 1900) alterations and additions to the rear and shopfront are not significant.

How is it significant?

The pair of shops and residences at 323-325 Swan Street, Richmond is of local historical and architectural significance to the City of Yarra.

Why is it significant?

The pair of shops and residences at 323-325 Swan Street, Richmond is illustrative of historical development that occurred along a major, early commercial thoroughfare in the City of Yarra, particularly in the 'boom' period of the 1880s [Criterion A].

The commercial premises at 323-325 Swan Street, Richmond are a fine, intact and representative example of a pair of Victorian shops and residences. They display typical features of the Victorian architectural style popular in the 1880s in Richmond and across Melbourne more broadly, including a parapeted facade with repetitive upper floor fenestration, rendered facades and ground floor shopfronts [Criterion D].

44.	City Hall, Richmond Municipal Offices & former Court House (Richmond Town Hall) 325-333 Bridge Road, Richmond	HOXXX
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Source: GJM Heritage (2018), *Victoria Street and Bridge Road Built Form Review Heritage Assessments*

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What is significant?

City Hall at 325-333 Bridge Road, Richmond, built in 1869-71 to designs by architect Charles Vickers, and additions and alterations in 1934-36 to designs by Harry R Johnson.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original and 1934-36 external form, materials and detailing
- Highly intact internal detailing of the Ticket Office in the foyer and the Main Hall, reflecting both phases of development.
- The building's high level of integrity to its 1934-36 form.

Any alterations and additions made after 1936 are not significant.

How is it significant?

City Hall at 325-333 Bridge Road, Richmond is of local historical and architectural significance to the City of Yarra.

Why is it significant?

City Hall at 325-333 Bridge Road, Richmond is of historical significance as the centre of local government services in Richmond since 1869. Both the original 1869 building and the symbolic and monumental refacing of the building in 1934 to coincide with the centenary of Victoria, represent the civic aspirations of the local government (Criterion A).

City Hall at 325-333 Bridge Road, Richmond is a distinctive, intact and representative example of a municipal town hall building. It displays typical features of two major stages of construction - the east and west facades show the original Victorian Italianate style, including rows of simple round-headed brick arched openings, bracketed eaves and bichromatic brickwork and the front façade and tower show the severe and monumental Moderne style, including a variety of both Egyptian-influenced elements and Art Deco motifs (Criterion D).

The imposing rendered main façade of City Hall at 325-333 Bridge Road, Richmond, with prominent clock tower and front porticoes, presents a landmark form to Bridge Road and surrounding areas. Egyptian-influenced elements and Art Deco motifs add to the visual qualities of the exterior of the place. The Ticket Office in the foyer and the Main Hall retain decorative elements that clearly reflect both important phases of development of the place (Criterion E).

45. **Royal Oak Hotel**
529-533 Bridge Road, Richmond

HOXX

Source: GJM Heritage (2018), *Victoria Street and Bridge Road Built Form Review Heritage Assessments*

What is significant?

The Royal Oak Hotel, 529-533 Bridge Road, Richmond, built in 1923 to designs by architect Harry R Johnson.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing
- The building's high level of integrity to its original design.
- Façade parapet
- No front setbacks
- Rendered walls

INDIVIDUALLY SIGNIFICANT PLACES

- Horizontal lines formed by parapet, cornice and rows of windows
- Repetitive upper floor fenestration patterns
- Splayed corner with tower and articulated facades to both streets
- Balconies and recessed entrances
- Hipped roof forms with tiled roof cladding (including tower).

Later alterations and additions, including the single-storey building to the east, are not significant.

How is it significant?

The Royal Oak Hotel, 529-533 Bridge Road, Richmond is of local historical and architectural significance to the City of Yarra.

Why is it significant?

The Royal Oak Hotel, 529-533 Bridge Road, Richmond is of significance as a suburban hotel constructed at a prominent corner in Richmond. A hotel of this name has operated continuously on this site from the late 1860s (Criterion A).

The Royal Oak Hotel, 529-533 Bridge Road, Richmond is an intact and representative example of an Interwar hotel. It displays typical features of an unadorned Stripped Classical style, popular in the 1920s in Richmond and across Melbourne more broadly, including plain parapetted facades and simplified classical elements, and Art Deco influenced details (Criterion D).

46. **Flour Mill & Grain Store Complex (Former)**
518-524, 534 & 534A Bridge Road, Richmond

HOXX

Source: Context Pty Ltd (2014), *Heritage Gap Study, Review of Central Richmond*

What is significant?

The former Flour Mill & Grain Store complex, to the extent of the fabric dating from c.1870 to c.1951 associated with the use as a flour mill (including the c.1951 alterations and additions designed by architect, Frederick Moresby), at 534 & 534A Bridge Road, and the silo structure constructed c.1941 situated on part of 518-24 Bridge Road in Richmond is significant. It comprises a complex of brick and timber-framed iron clad buildings built in stages from the late nineteenth to the mid-twentieth centuries with an associated silo structure. The buildings are all built up to the frontages to Bridge Road, Type Street and the rear laneway, and vary in height from one to three stories. The three-storey building adjacent to Type Street, and immediately to the north of the vehicle crossing, dates from the late nineteenth century. It has a hip and gable roof, and double hung two pane sash windows with segmental arched heads and brick cills. Some of these windows (including a half-circular window at first floor level near the centre of the wall) have been closed up. This was described on a 1948 plan as the 'Mill building' and probably contained the milling equipment used to process the grain. At rear (south end) of this building is the 1948 skillion roof addition end, which originally contained staff amenities, motor and machinery rooms and a 'silk room'. To the west of this building and located toward the centre of the site is a building clad in corrugated iron with a skillion roof, with a tower element, which may have contained the flour and wheat bins as shown on the 1948 plans. Adjacent to the laneway is a mid-twentieth century parapeted brick building of one and two storeys that extends from Type Street to the silos. This was described on a 1948 plan as the 'Bag cleaning and store'. Adjacent to this the silo structure comprises four cylindrical reinforced concrete silos arranged in a square.

Alterations and additions made, and new buildings constructed after the use by the building as a flour mill ceased (1955 onwards) are not significant.

INDIVIDUALLY SIGNIFICANT PLACES

How is it significant?

The former Flour Mill & Grain Store complex at 518-24, 534 & 534A Bridge Road, Richmond is of local historic, architectural and aesthetic significance to the City of Yarra.

Why is it significant?

The former Flour Mill & Grain Store complex is associated with the development of secondary industry in Richmond. It demonstrates the diverse range of manufacturing carried out including flour milling, which remained an important industry in Richmond until the 1950s. (Criterion A)

The former Flour Mill & Grain Store complex is representative of the industrial complexes of the late nineteenth and early twentieth centuries, with a range of buildings that demonstrate the continuous use and development of the site as a flour mill over 100 years. The flour mill use is demonstrated by the form and scale of the three storey building adjacent to Type Street with the associated corrugated iron clad tower, and by the reinforced concrete silos, which demonstrate the change to bulk handling of grain by the early 1940s. The significance of the complex is enhanced by its rarity values, as surviving example of a nineteenth century flour mill in the City of Yarra. Most of the other flour mills in the City of Yarra have been demolished, while archaeological remains are all that survive of Dights Mill in Abbotsford. (Criteria B & D)

The reinforced concrete silo is significant as a landmark within the local area. (Criterion E)

47. **Whipp's Terrace**
597-599 Bridge Road, Richmond

HOXX

Source: GJM Heritage (2018), *Victoria Street and Bridge Road Built Form Review Heritage Assessments*

What is significant?

Whipps Terrace, a two-storey commercial premises at 597-599 Bridge Road, Richmond built in 1873.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing
- The building's high level of integrity to its original design.
- Façade parapet
- No setbacks
- Rendered walls
- Rendered façade detailing including window frames consoles and urns
- Strong horizontal lines formed by parapet line, cornices and string course
- Repetitive fenestration patterns at first floor level
- Symmetrical front façade
- Hipped roof form clad with slate, patterned with green scalloped rows.

How is it significant?

Whipps Terrace at 597-599 Bridge Road, Richmond is of local historical and architectural significance to the City of Yarra.

Why is it significant?

Whipps Terrace at 597-599 Bridge Road, Richmond is illustrative of the historical development that occurred along a major, early commercial thoroughfare in the City of Yarra in the Victorian period (Criterion A).

INDIVIDUALLY SIGNIFICANT PLACES

Whipps Terrace at 597-599 Bridge Road, Richmond is a fine, intact and representative example of a Victorian shop and residence. The terrace displays typical features of the Victorian architectural style popular in the 1870s in Richmond and across Melbourne more broadly, including a parapeted façade with repetitive upper floor fenestration, rendered facades and ground floor shopfronts (Criterion D).

48. **James Boland's Shop and Residence**
635 Bridge Road, Richmond

HOXX

Source: GJM Heritage (2018), *Victoria Street and Bridge Road Built Form Review Heritage Assessments*

What is significant?

James Boland's Shop and Residence, a two-storey commercial premises at 635 Bridge Road, Richmond built in 1867.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing
- The building's high level of integrity to its original design
- Façade parapet
- No front setbacks
- Rendered walls
- Rendered window frames and hoods to upper storey
- Rendered façade detailing including pilaster strips, consoles and central pediment with nameplate
- Horizontal lines formed by parapet line and cornice
- Repetitive upper floor fenestration patterns
- Gabled roof form.

How is it significant?

James Boland's Shop and Residence at 635 Bridge Road, Richmond is of local historical and architectural significance to the City of Yarra.

Why is it significant?

James Boland's Shop and Residence at 635 Bridge Road, Richmond is illustrative of historical development that occurred along a major, early commercial thoroughfare in the City of Yara [Criterion A].

James Boland's Shop and Residence at 635 Bridge Road, Richmond is a fine, intact and representative example of an early Victorian shop and residence. It displays typical features of the early Victorian architectural style popular in the late 1860s in Richmond and across Melbourne more broadly, including a parapeted façade with repetitive upper floor fenestration, rendered facades and ground floor shopfronts [Criterion D].

49. **Shop & Residences**
637-639 Bridge Road, Richmond

HOXX

Source: GJM Heritage (2018), *Victoria Street and Bridge Road Built Form Review Heritage Assessments*

What is significant?

The pair of two-storey shops and residences at 637-639 Bridge Road, Richmond built by 1892.

INDIVIDUALLY SIGNIFICANT PLACES

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing
- The building's high level of integrity to its original design
- Façade parapet
- No front setbacks
- Rendered walls
- Rendered façade detailing including pilaster strips, elaborate window aediculae, parapet scrolls and urns
- Horizontal lines formed by parapet line, cornice and string course
- Repetitive upper floor fenestration patterns.

How is it significant?

The pair of two-storey shops and residences at 637-639 Bridge Road, Richmond is of local historical and architectural significance to the City of Yarra.

Why is it significant?

The pair of two-storey shops and residences at 637-639 Bridge Road, Richmond are illustrative of the historical development that occurred along a major, early commercial thoroughfare in the City of Yarra, particularly in the 'boom' period of the 1880s and early 1890s [Criterion A].

The pair of two-storey shops and residences at 637-639 Bridge Road, Richmond are a fine, intact and representative example of a Victorian shop and residence. They display typical features of the Victorian architectural style popular in the 1880s and early 1890s in Richmond and across Melbourne more broadly, including an elaborate parapeted façade with repetitive upper floor fenestration, rendered facades and ground floor shopfronts [Criterion D].

50. **Hall's Buildings**
202-206 Church Street, Richmond

HOXX

Source: GJM Heritage (2018), *Victoria Street and Bridge Road Built Form Review Heritage Assessments*

What is significant?

Hall's Buildings, 202-206 Church Street, Richmond built in 1886.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing
- The building's high level of integrity to its original design.
- Façade parapet
- No front setbacks
- Rendered walls
- Rendered façade detailing including window frames and keystones, pilaster strips, consoles, decorative pediments including nameplate and festoons
- Incised decoration to keystones
- Horizontal lines formed by parapet line, cornice and string courses
- Repetitive upper floor fenestration patterns.

How is it significant?

Hall's Buildings, 202-206 Church Street, Richmond is of local historical and architectural significance to the City of Yarra.

INDIVIDUALLY SIGNIFICANT PLACES

Why is it significant?

Hall's Buildings, 202-206 Church Street, Richmond is illustrative of the historical development that occurred along a major, early commercial thoroughfare in the City of Yarra, particularly in the 'boom' period of the 1880s (Criterion A).

Hall's Buildings, 202-206 Church Street, Richmond is a fine, intact and representative example of a row of Victorian shops and residences. It displays typical features of the Victorian architectural style popular in the 1880s in Richmond and across Melbourne more broadly, including a parapeted façade with repetitive upper floor fenestration, rendered façade and ground floor shopfronts (Criterion D).

51. **Pair of Terrace Houses**
32 & 34 Thomas Street, Richmond

HOXX

Source: GJM Heritage (2018), *Victoria Street and Bridge Road Built Form Review Heritage Assessments*

What is significant?

The pair of terrace houses, 32 & 34 Thomas Street, Richmond, built c1894.

Elements that contribute to the significance of the place include (but are not limited to):

- The houses' original external form, materials and detailing
- The houses' high level of integrity to its original design
- Two-storey unparapeted form
- Front verandahs and balconies with decorative cast iron
- Face brick walls (overpainted) with cement render detailing
- Hipped roof form
- Rectangular window openings
- Pair of attached buildings with dividing wing walls with decorative detailing
- Iron palisade fence on a bluestone plinth to 34 Thomas Street.

Later alterations and additions to the rear of the terraces are not significant. The brick wall to the front boundary of 32 Thomas Street is not significant.

How is it significant?

The pair of terrace houses, 32 & 34 Thomas Street, Richmond are of local architectural and aesthetic significance to the City of Yarra.

Why is it significant?

The pair of terrace houses, 32 & 34 Thomas Street, Richmond are fine and representative examples of terrace housing from the Victorian period. They display typical features of the Victorian Italianate architectural style popular in the 1880s boom period in Richmond and across Melbourne more broadly, including a two-storey form with front verandahs and balconies, dividing wing walls, rendered decorative elements and decorative cast iron (Criterion D).

The pair of terrace houses, 32 & 34 Thomas Street, Richmond are well-considered and carefully detailed examples of Victorian Italianate terrace housing. The pair of brick terraces, with repetitive decorative elements across the facades, presents a picturesque composition of this architectural style (Criterion E).

INDIVIDUALLY SIGNIFICANT PLACES WITHIN PRECINCTS

Some 'Individually Significant' places within heritage precincts have a Statements of Significance. Those places that have one are listed below.

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|----|---|---------------------|
| 1. | Grynberg's Drapers Shop and Office
99-101 Bridge Road, Richmond | within HO310 |
|----|---|---------------------|
- Source: Graeme Butler & Associates (2007, 2013), *City of Yarra Review of Heritage Overlay Areas*
- What is significant?**
The Grynberg's drapers shop and office, at 99 and 101 Bridge Road, Richmond was created in 1941 for Thelma Paterson and has other historical associations with persons such as Louis Grynberg, draper. The place has a good integrity to its creation date. Fabric from the creation date at the Grynberg's drapers shop and office is locally significant within the City of Yarra, compared to other similar places from a similar era.
- How is it significant?**
The Grynberg's drapers shop and office, at 99 and 101 Bridge Road, Richmond, is architecturally significant to the locality of Richmond and the City of Yarra.
- Why is it significant?**
The Grynberg's drapers shop and office block is significant as a streamlined Moderne style two storey brick commercial building, given a strong horizontal emphasis with the use of horizontal brick banding to walls and parapet cappings at the upper level and horizontally proportioned window openings with metal framed windows. Horizontal elements are balanced visually by a projecting bay at the western end of the façade which incorporates a vertical slot of glass blocks and a scalloped parapet treatment, and a circular window at the eastern end of the façade. The ground floor's original or earlyshopfronts have been altered.
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|----|--|---------------------|
| 2. | Shops & residences
108-112 Bridge Road, Richmond | within HO310 |
|----|--|---------------------|
- Source: O'Connor, John & Coleman, Roslyn et al. (1985), *Richmond Conservation Study : undertaken for the City of Richmond*
- This boom style commercial building exhibits a now rare example of an original building facade with shopfronts. The building is an important contributor to the Bridge Road commercial precinct.
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|----|--|---------------------|
| 3. | Wustermann's Buildings, Shop & residence
138-144 Bridge Road, Richmond | within HO310 |
|----|--|---------------------|
- Source: O'Connor, John & Coleman, Roslyn et al. (1985), *Richmond Conservation Study : undertaken for the City of Richmond*
- An elaborate terrace of Edwardian shops forming part of the important Bridge Road commercial precinct.
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|----|---|---------------------|
| 4. | London Baby Carriage Manufacturers Pty Ltd. Factory and show room
153-161 Bridge Road, Richmond | within HO310 |
|----|---|---------------------|
- Source: Graeme Butler & Associates (2007, 2013), *City of Yarra Review of Heritage Overlay Areas*

INDIVIDUALLY SIGNIFICANT PLACES WITHIN PRECINCTS

Some 'Individually Significant' places within heritage precincts have a Statements of Significance. Those places that have one are listed below.

What is significant?

The London Baby Carriage Manufacturers Pty Ltd. factory and show room at 153-161 Bridge Road, Richmond was created in 1941 for Hilda and Ruby Wrixon and has other historical associations with the London Baby Carriage Pty Ltd. The place has a fair integrity to its creation date (tiles/bricks painted). Fabric from the creation date at the London Baby Carriage Manufacturers Pty Ltd. Factory and show room is locally significant within the City of Yarra, compared to other similar places from a similar era.

How is it significant?

The London Baby Carriage Manufacturers Pty Ltd. Factory and show room at 153-161 Bridge Road, Richmond is historically and architecturally significant to the locality of Richmond and the City of Yarra.

Why is it significant?

The London Baby Carriage Manufacturers Pty Ltd. Factory and show room is significant as a distinctive Moderne style factory on a corner site. 'This streamlined Moderne style painted and rendered brick building is ... given a strong horizontal emphasis with the use of horizontal banding to walls and parapet and expansive, horizontally proportioned window openings... The central projecting entry bay to the building is highlighted by a stepped-up section of parapet and a curved cantilevered horizontal awning, and is surmounted by a flagpole.' (Wight 2001)

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| 5. | Former Melbourne Savings Bank
184 Bridge Road, Richmond | within HO310 |
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Source: Source: GJM Heritage (2018), *Victoria Street and Bridge Road Built Form Review Heritage Assessments*

What is significant?

The Former Melbourne Savings Bank at 184 Bridge Road, Richmond built in 1889 to designs by architects Wight & Lucas.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing
- The building's high level of integrity to its original design.
- Façade parapet
- No front setbacks
- Rendered walls
- Elaborate rendered façade detailing including heavily decorated and clustered pilasters, pedimented aediculae, balustrading, stylized classical motifs
- Horizontal lines formed by parapet line, cornices, broad pediment and banded rustication
- Vertical lines formed by bold pilasters
- The steeply-pitched hipped roof form.

Later alterations and additions to the rear and shopfront are not significant.

How is it significant?

The Former Melbourne Savings Bank at 184 Bridge Road, Richmond is of local historical and

INDIVIDUALLY SIGNIFICANT PLACES WITHIN PRECINCTS

Some 'Individually Significant' places within heritage precincts have a Statements of Significance. Those places that have one are listed below.

architectural significance to the City of Yarra.

Why is it significant?

The Former Melbourne Savings Bank at 184 Bridge Road, Richmond is illustrative of historical development that occurred along a major, early commercial thoroughfare in the City of Yarra, particularly in the 'boom' period of the 1880s (Criterion A).

The Former Melbourne Savings Bank at 184 Bridge Road, Richmond is a distinctive, intact and representative example of a Victorian bank building. It displays typical features of the exuberant Victorian Boom Classical style popular in the 1880s in Richmond and across Melbourne more broadly, including an array of classical details which are applied in a liberal Mannerist style. (Criterion D).

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| 6. | Shops & residences
199-205 Bridge Road, Richmond | within HO310 |
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Source: O'Connor, John & Coleman, Roslyn et al. (1985), *Richmond Conservation Study : undertaken for the City of Richmond* [addressed as 201-207]

These transitional style commercial buildings are an important component of the Bridge Road commercial precinct.

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| 7. | National Bank of Australasia, former
231 Bridge Road, Richmond | within HO310 |
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Source: O'Connor, John & Coleman, Roslyn et al. (1985), *Richmond Conservation Study : undertaken for the City of Richmond*

The Richmond branch of the Bank of Australasia is a significant suburban commission of the prominent nineteenth century architect, Lloyd Tayler. The building maintains a high degree of integrity, and is an important element in the Bridge Road commercial precinct.

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| 8. | Former Commonwealth Savings Bank of Australia and residence
267 Bridge Road, Richmond | within HO310 |
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Source: Source: GJM Heritage (2018), *Victoria Street and Bridge Road Built Form Review Heritage Assessments*

What is significant?

The Former Commonwealth Savings Bank of Australia and Residence at 267 Bridge Road, Richmond built in 1939.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing
- The building's high level of integrity to its original design.
- Façade parapet
- No front setbacks
- Rendered walls
- Simple detailing including rendered bands and ruled lines

INDIVIDUALLY SIGNIFICANT PLACES WITHIN PRECINCTS

Some 'Individually Significant' places within heritage precincts have a Statements of Significance. Those places that have one are listed below.

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- Geometric decorative steel grilles
 - Window openings with glass brick infill
 - Vertical emphasis of front façade formed by pilasters and tall side openings
 - Hipped roof form.

Later alterations, and additions to the rear, are not significant.

How is it significant?

The Former Commonwealth Savings Bank of Australia and Residence at 267 Bridge Road, Richmond is of local historical and architectural significance to the City of Yarra.

Why is it significant?

The Former Commonwealth Savings Bank of Australia and Residence at 267 Bridge Road, Richmond is illustrative of the policy of expansion of banks into the suburbs in the late 1930s and early 1940s and was one of a number constructed in major commercial thoroughfares at this time in suburban Melbourne (Criterion A).

The Former Commonwealth Savings Bank of Australia and Residence at 267 Bridge Road, Richmond is a fine, intact and representative example of a Moderne building. It displays typical features of the Moderne architectural style popular in the late 1930s in Richmond and across Melbourne more broadly, including a strong vertical emphasis with secondary horizontal elements and fine decorative steel grilles of geometric pattern (Criterion D).

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| 9. | Theobalds Buildings
294-296 Bridge Road, Richmond | within HO310 |
| | Source: O'Connor, John & Coleman, Roslyn et al. (1985), <i>Richmond Conservation Study : undertaken for the City of Richmond</i> | |
| | An outstanding pair of Edwardian shops, intact above verandah level. | |
| <hr/> | | |
| 10. | Shops & residences
381-389 Bridge Road, Richmond | within HO310 |
| | Source: O'Connor, John & Coleman, Roslyn et al. (1985), <i>Richmond Conservation Study : undertaken for the City of Richmond</i> | |
| | These late Victorian commercial buildings with their original timber shopfronts are a prominent feature of the Bridge Road commercial precinct. | |
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| 11. | 12 Hodgkinson Street, Clifton Hill | within HO317 |
| | Source: Andrew Ward (May 1995), <i>Collingwood Conservation Study Review</i> | |
| | Significance:
Of local significance as a very early house in Clifton Hill, erected whilst crown land sales were proceeding. The architectural detail and general lack of enrichment are typical of its period and contrast with the majority of Clifton Hill's houses. | |

INDIVIDUALLY SIGNIFICANT PLACES WITHIN PRECINCTS

Some 'Individually Significant' places within heritage precincts have a Statements of Significance. Those places that have one are listed below.

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12. **William B Fox House, later 'House of the Gentle Bunyip'** **within HO317**
94 Hodgkinson Street, Clifton Hill
- Source: Andrew Ward (May 1995), *Collingwood Conservation Study Review*
- Significance:**
Important at the local level as a very early house in Clifton Hill, erected whilst the crown land sales were proceeding. The architectural details and lack of enrichment is representative of the mid Victorian years.
-
13. **Baptist Church & Hall** **within HO317**
100 Hodgkinson Street, Clifton Hill
- Source: Andrew Ward (May 1995), *Collingwood Conservation Study Review*
- Significance:**
Church: The Baptist Church, Clifton Hill, is of local importance as a substantially intact church designed along non-conformist lines with a distinctive bell tower. Its role as a prototype for the design of the Northcote Baptist Church is of interest.
- Former Baptist Sunday School Hall: This building forms a visual unit with the adjoining Church and is an important supportive element.
-
14. **Residence** **within HO317**
122 Hodgkinson Street, Clifton Hill
- Source: Andrew Ward (May 1995), *Collingwood Conservation Study Review*
- Significance:**
No. 122 Hodgkinson Street is important as a substantial arcaded villa of which there are few in the municipality.
-
15. **Fire Station No. 11 (former)** **within HO317**
662 Smith Street, Clifton Hill
- Source: GJM Heritage (2017), *Queens Parade Built Form Heritage Analysis & Recommendations Report*
- What is significant?**
The Former Fire Station, 662 Smith Street, Clifton Hill, built in 1884 as the Clifton Hill Temperance Fire Brigade.
- Elements that contribute to the significance of the place include (but are not limited to):
- The building's original external form, materials and detailing
 - The building's high level of integrity to its original design.
- Later alterations and additions are not significant.
- How is it significant?**
The Former Fire Station, 662 Smith Street, Clifton Hill is of local historical and architectural significance to the City of Yarra.

INDIVIDUALLY SIGNIFICANT PLACES WITHIN PRECINCTS

Some 'Individually Significant' places within heritage precincts have a Statements of Significance. Those places that have one are listed below.

Why is it significant?

The Former Fire Station, Clifton Hill is of historic significance as an early and rare example of a suburban fire station which pre-dated the establishment of the Metropolitan Fire Brigade (created through the *Fire Brigades Act 1890*). The building demonstrates the period of voluntary fire brigades established prior to the formalisation of the metropolitan fire service (Criterion A & B).

The Former Fire Station, Clifton Hill is a fine and representative example of a suburban fire station. The large arch-headed driveway entrance with panelled doors, and adjacent office entry at street level, are features that clearly demonstrate the use of the building as a nineteenth century fire station (Criterion D).

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| 16. | National Bank, former
460 Brunswick Street, Fitzroy North | within HO327 |
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Source: Jacobs Lewis Vines Architects (July 1978), *North Fitzroy Conservation Study*

'Building citation':

This bank, built in 1884, (Architects Smith & Johnson) is an important, conservative, classical, corner bank building. The upper storey with Ionic pilasters surmounts a lower storey with Tuscan pilasters. The whole is surmounted by a dentillated cornice with a recessed splayed panel on the corner. The exterior is largely intact - the corner door has been modernised, and a door to the south face has been filled in to make a window. In this corner position, it is an important streetscape element, and is worthy of addition to the Historic Buildings Register.

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| 17. | House
17 Delbridge Street, Fitzroy North | within HO327 |
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Source: Jacobs Lewis Vines Architects (July 1978), *North Fitzroy Conservation Study*

'Building citation':

This two storey house was constructed in 1890 for Mark Allen, a photographer. It has an arcaded front with the gable running out over the balcony level and the parapet at the front line. It is possibly the best example of this type in North Fitzroy, although the present paint colours are not appropriate. The most distinctive feature of the house is the frieze band of tiles surmounting the upper arcade. The parapet, supported on a dentillated cornice, consists of an interlocking balustrade, square name plate framed by large scrolls and balls. The composition is pleasing and the arcading at both levels is finely detailed.

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| 18. | 218 McKean Street, Fitzroy North | within HO327 |
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Source: Jacobs Lewis Vines Architects (July 1978), *North Fitzroy Conservation Study*

See entry below for Hatherlie, 224 McKean Street, Fitzroy North (HO327)

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|-----|---|---------------------|
| 19. | 220 McKean Street, Fitzroy North | within HO327 |
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Source: Jacobs Lewis Vines Architects (July 1978), *North Fitzroy Conservation Study*

See entry below for Hatherlie, 224 McKean Street, Fitzroy North (HO327)

INDIVIDUALLY SIGNIFICANT PLACES WITHIN PRECINCTS

Some 'Individually Significant' places within heritage precincts have a Statements of Significance. Those places that have one are listed below.

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20. **Hatherlie** **within HO327**
224 McKean Street, Fitzroy North
- Source: Jacobs Lewis Vines Architects (July 1978), *North Fitzroy Conservation Study* [addressed as 222 McKean Street]
- 'Building citation':**
This building constructed in 1888 for Samuel Lazarus, a financier, is a two storey polychrome brick terrace house with a small polychrome attachment at the side. The detailing as a whole is not very remarkable. This terrace is best appreciated in conjunction with 218 and 220 McKean Street. These are also largely intact two storey polychrome terraces. The three terraces together combine to create an imposing streetscape element.
-
21. **K. G. Luke Pty Ltd factory (former)** **within HO327**
26-52 Queens Parade, Fitzroy North
- Source: GJM Heritage (2017), *Queens Parade Built Form Heritage Analysis & Recommendations Report*
- What is significant?**
The K G Luke Pty Ltd Factory and Showrooms, 26-52 Queens Parade, Fitzroy North, built from 1933 - 1965.
Elements that contribute to the significance of the place include the form, materials and detailing of the Art Deco façade and the ability to understand the place as a former factory and showroom complex.
Alterations and additions to the factory and showrooms after 1965 do not contribute to the significance of the place.
- How is it significant?**
The K G Luke Pty Ltd Factory and Showrooms is of local historical and architectural significance to the City of Yarra.
- Why is it significant?**
The K G Luke Pty Ltd Factory and Showrooms is of historical significance as a large industrial complex in Fitzroy North, which was established close to the Collingwood Gas Company gasworks and the Inner Circle Railway branch line. It is a remnant example of industrial development that occurred in this area from the 1860s through to the post-war period (Criterion A).

The K G Luke Pty Ltd Factory and Showrooms is of aesthetic significance for its particularly unusual and distinctive Art Deco façade which utilises a complex arrangement of castellated and hexagonal decorative elements (Criterion E).

The K G Luke Pty Ltd Factory and Showrooms is of historical significance for its association with Victorian manufacturer and sporting administrator, Kenneth G Luke, who moved his fledgling business to this site in 1929 and subsequently developed a successful business enterprise. Knighted in 1962, Luke was a highly successful businessman, with a range of interests and involvements in various committees and clubs (Criterion H).

INDIVIDUALLY SIGNIFICANT PLACES WITHIN PRECINCTS

Some 'Individually Significant' places within heritage precincts have a Statements of Significance. Those places that have one are listed below.

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|-----|--|---------------------|
| 22. | Selotta Shoes Pty Ltd factory (former)
122 Queens Parade, Fitzroy North | within HO327 |
|-----|--|---------------------|

Source: Graeme Butler & Associates (2007, 2013), *City of Yarra Review of Heritage Overlay Areas*

What is significant?

The Selotta Shoes Pty Ltd Factory at 122 Queens Parade, Fitzroy North was created in 1934 for Selotta Shoes Pty Ltd. The place has a good integrity to its creation date. It was designed by architect, H V Gillespie. Fabric from the creation date at the Selotta Shoes Pty Ltd Factory, former is locally significant within the City of Yarra, compared to other similar places from a similar era.

How is it significant?

The Selotta Shoes Pty Ltd Factory at 122 Queens Parade, Fitzroy North is historically and architecturally significant to the locality of Fitzroy North and the City of Yarra.

Why is it significant?

The Selotta Shoes Pty Ltd Factory is significant as a distinctive two-storey brick and render Moderne factory design example, with Spanish revival ornament and steel-framed windows.

'An unusual 1930s large interwar Spanish styled industrial façade that retains a high degree of architectural integrity and recalls Harry Norris's St. Kilda Rd Motor Garage and Showroom in a similar boulevard location. The status of this part of Queens Parade as a showpiece for modern industry relied on the Edinburgh Gardens spur railway to the Queens Parade Fitzroy Station which ran as a goods line, from 1891 to c1980' (Wight 2001).

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|-----|--|---------------------|
| 23. | Christian Brothers Monastery, later units, G Maher House
256-262 Queens Parade, Fitzroy North | within HO327 |
|-----|--|---------------------|

Source: Graeme Butler & Associates (2007, 2013), *City of Yarra Review of Heritage Overlay Areas*

What is significant?

The Christian Brothers Monastery (later G Maher House) at 256-262 Queens Parade, Fitzroy North, was created in 1929 for the St Patrick's Cathedral Melbourne Roman Catholic Trust and has historical associations with the Christian Brothers Monastery. The place has a good integrity to its creation date.

Fabric from the creation date at the Christian Brothers Monastery is locally significant within the City of Yarra, compared to other similar places from a similar era.

How is it significant?

The Christian Brothers Monastery at 256-262 Queens Parade, Fitzroy North, is historically and architecturally significant to the locality of Fitzroy North and the City of Yarra.

Why is it significant?

The Christian Brothers Monastery, later Units, G Maher House is significant as a large two-storey tile, red brick and render hipped roof monastery with a parapeted entry porch, faceted window bays, cement detailing, an early fence and tall chimneys.

Historically and socially important locally as an uncommon building type and associated with local

INDIVIDUALLY SIGNIFICANT PLACES WITHIN PRECINCTS

Some 'Individually Significant' places within heritage precincts have a Statements of Significance. Those places that have one are listed below.

community uses.

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|-----|---|---------------------|
| 24. | Clifton Hill Hotel
89 Queens Parade, Clifton Hill | within HO330 |
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Source: Andrew Ward (May 1995), *Collingwood Conservation Study Review*

Significance:

The Clifton Hill Hotel is a prominent and substantially intact late Victorian hotel.

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|-----|--|---------------------|
| 25. | Melbourne Savings Bank, later State Savings Bank
97-99 Queens Parade, Clifton Hill | within HO330 |
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Source: Andrew Ward (May 1995), *Collingwood Conservation Study Review*

Significance:

This former bank is an important public building in Collingwood for its prominence and free expression and rich detailing in the late Victorian Italianate mode.

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|-----|---|---------------------|
| 26. | Doctor's surgery and house (former)
105 Queens Parade, Clifton Hill | within HO330 |
|-----|---|---------------------|

Source: GJM Heritage (2017), *Queens Parade Built Form Heritage Analysis & Recommendations Report*

What is significant?

The Former Doctor's Surgery and House, 105 Queens Parade, Clifton Hill, built c1915.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing
- The building's high level of integrity to its original design.

Later alterations and additions to the rear are not significant.

How is it significant?

The Former Doctor's Surgery and House, 105 Queens Parade, Clifton Hill is of local architectural and aesthetic significance to the City of Yarra.

Why is it significant?

The Former Doctor's Surgery and House, 105 Queens Parade, Clifton Hill is a fine and representative example of a Federation house with combined use as a doctor's surgery. It displays typical features of the Federation Arts and Crafts architectural style popular in the first decades of the twentieth century in Clifton Hill and across Melbourne more broadly, including roughcast walls and chimney, both hip and gable roofs, prominent exposed rafters and projecting window bay with fishscale shingle cladding (Criterion D).

The Former Doctor's Surgery and House, 105 Queens Parade, Clifton Hill is a well-considered and carefully detailed example of a Federation Arts and Crafts house. The design, with main hipped roof, prominent front bay and central chimney, presents a picturesque composition of this architectural style, particularly within the commercial context of Queens Parade (Criterion E).

INDIVIDUALLY SIGNIFICANT PLACES WITHIN PRECINCTS

Some 'Individually Significant' places within heritage precincts have a Statements of Significance. Those places that have one are listed below.

27.	Albert Hall (former), also Masonic Hall, later Samian Social Club 127-129 Queens Parade, Clifton Hill	within HO330
	Source: Andrew Ward (May 1995), <i>Collingwood Conservation Study Review</i>	
	Significance: The former "Albert Hall" was an important social venue in the locality throughout the late nineteenth and early-mid twentieth century, its architectural form in the Queens Parade streetscape being expressive of this role.	
28.	Daintons Family Hotel, later Normanby Hotel 139 Queens Parade, Clifton Hill	within HO330
	Source: Andrew Ward (May 1995), <i>Collingwood Conservation Study Review</i>	
	Significance: A prominent and comparatively early hotel forming part of the Queens Parade Streetscape. Ornamentation is typical of the period.	
29.	Clifton Hill Post Office, former 141 Queens Parade, Clifton Hill	within HO330
	Source: Andrew Ward (May 1995), <i>Collingwood Conservation Study Review</i>	
	Significance: The former Clifton Hill post office is of local importance on account of the buildings initial use as well as for its prominence and late Victorian architecture.	
30.	National Bank of Australasia, former 270 Queens Parade, Fitzroy North	within HO330
	Source: Jacobs Lewis Vines Architects (July 1978), <i>North Fitzroy Conservation Study</i>	
	'Building citation': This bank, constructed in 1886, provides an excellent example of transitional boom classicism bank architecture. It is a two storey corner bank with a recessed loggia to the upper floor. The lower floor has a bluestone rough dressed base. The parapet is elaborate with an intact balustrade, balls and sculptural piece on the splayed corner. This is a significant corner building, and the ornate design and composition combine to make this building of considerable merit and streetscape importance.	
31.	Shops and Residences 454-456 Church Street, Cremorne	within HO335
	Source: O'Connor, John & Coleman, Roslyn et al. (1985), <i>Richmond Conservation Study : undertaken for the City of Richmond</i>	
	A distinctive group of gabled Edwardian shops by the distinguished architect Nahum Barnet.	

INDIVIDUALLY SIGNIFICANT PLACES WITHIN PRECINCTS

Some 'Individually Significant' places within heritage precincts have a Statements of Significance. Those places that have one are listed below.

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| 32. | Corner Hotel
57-61 Swan Street, Richmond | within HO335 |
|-----|--|---------------------|
- Source: GJM Heritage (2017), *Swan Street Built Form Study: Heritage Assessments & Analysis*
- What is significant?**
The two-storey hotel known as the Corner Hotel, 57-61 Swan Street, Richmond, built in the 1960s.
- How is it significant?**
The Corner Hotel, 57-61 Swan Street, Richmond is of local historical and social significance to the City of Yarra.
- Why is it significant?**
The Corner Hotel, Richmond has made a strong contribution to the commercial and social life of Richmond from its establishment in the early 1870s and an important and highly influential contribution to the music industry as an important live music venue since its rebuilding in the mid 1960s and renovation in the 1990s [Criterion A].
- The Corner Hotel, Richmond is of particular social significance for its long-term and continued use as a live music venue. It is a well-established and well-known venue which is considered amongst the most pre-eminent in the City of Yarra and the broader community [Criterion G].
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| 33. | H. E. McNaughton ironmongery & residence, former
69 Swan Street, Richmond | within HO335 |
|-----|---|---------------------|
- Source: Graeme Butler & Associates (2007, 2013), *City of Yarra Review of Heritage Overlay Areas*
- What is significant?**
The former H.E. McNaughton ironmongery and residence at 69 Swan Street, Richmond, was created in 1924 for Henry Ernest McNaughton and has a close association with him. The place has a good integrity to its creation date. Fabric from the creation date at the H.E. McNaughton ironmongery and residence is locally significant within the City of Yarra, compared to other similar places from a similar era.
- How is it significant?**
The H.E. McNaughton ironmongery and residence, former at 69 Swan Street, Richmond is architecturally significant to the locality of Richmond and the City of Yarra.
- Why is it significant?**
The H.E. McNaughton ironmongery and residence is significant as a well preserved inter-war parapeted brick and stucco shop and residence with original or early shopfront and the owner's name cemented in bas-relief on the parapet.
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|-----|--|---------------------|
| 34. | National Bank of Australasia
105 Swan Street, Richmond | within HO335 |
|-----|--|---------------------|
- Source: O'Connor, John & Coleman, Roslyn et al. (1985), *Richmond Conservation Study : undertaken for the City of Richmond*
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INDIVIDUALLY SIGNIFICANT PLACES WITHIN PRECINCTS

Some 'Individually Significant' places within heritage precincts have a Statements of Significance. Those places that have one are listed below.

	<p>This suburban branch of the National Bank of Australasia was erected in 1886-7 by the notable bank architect Albert Purchas. Its imposing three storey height, prominent corner location, and fine architectural detailing are important components of the building's significance.</p>	
35.	<p>Shops and residences 232 & 234 Swan Street, Richmond</p> <p>Source: O'Connor, John & Coleman, Roslyn et al. (1985), <i>Richmond Conservation Study : undertaken for the City of Richmond</i></p> <p>A rare example of a pair of small shops designed in a boom style classicism, completely intact above verandah level.</p>	within HO335
36.	<p>M. Ball & Co, former 236 - 240 Swan Street, Richmond</p> <p>Source: O'Connor, John & Coleman, Roslyn et al. (1985), <i>Richmond Conservation Study : undertaken for the City of Richmond</i></p> <p>A Richmond landmark used as a drapery since 1871, retaining some original shop fittings and a now rare aerial cash conveyor.</p>	within HO335
37.	<p>Whitehorse Hotel, former 250-252 Swan Street, Richmond</p> <p>Source: O'Connor, John & Coleman, Roslyn et al. (1985), <i>Richmond Conservation Study : undertaken for the City of Richmond</i></p> <p>A rare example of an early 1850's stone commercial building designed in a colonial Regency style.</p>	within HO335
38.	<p>Shops & Residences 92-94 Victoria Street, Richmond</p> <p>Source: Lovell Chen (2012), <i>City of Yarra Heritage Gaps Study (Heritage Gaps Amendment two)</i></p> <p>What is significant? The property at 92-94 Victoria Street, Richmond, dates from the 1880s, and comprises a terrace pair of wider than usual two storey rendered brick Victorian shops and combined residences. The street facade has a rendered and overpainted first floor with moulded pilasters and moulded stringcourses. There are three double hung sash windows to each terrace, with the upper stringcourse incorporated into the window architrave, while the lower is incorporated with the window sills. There is also a moulded trapezoid shaped keystone set in the window heads and the sills are supported by moulded brackets. The pilasters are disengaged at the lower stringcourse, finishing in a moulded divider lug; there is another divider lug at the cornice line. Above the cornice, the parapet has two triangular pediments flanked by scrolled mouldings. The parapet conceals a pair of gable roofs, hipped at the southern ends, clad in corrugated galvanised steel and punctuated by a central chimney. The ground level shopfronts have what appear to be original aprons including bluestone plinths, and timber framing for the shop windows, including fanlights, although the framing/arrangement of the shopfronts may have been reconstructed sympathetically. The recessed entries also appear to be original; there is an additional entry door at the west end of no. 92, providing access to the first floor</p>	within HO408

INDIVIDUALLY SIGNIFICANT PLACES WITHIN PRECINCTS

Some 'Individually Significant' places within heritage precincts have a Statements of Significance. Those places that have one are listed below.

accommodation. The shops have a slightly convex shaped verandah canopy supported by cast iron columns with scrolled capitals and a lacework frieze. The verandah appears to have been rebuilt although the cast iron posts may be early elements.

How is it significant?

The property at 92-94 Victoria Street, Richmond, is of local historical and aesthetic/architectural significance.

Why is it significant?

The property at 92-94 Victoria Street, Richmond, which dates from the 1880s, is of local historical significance. It is located in an area of Victoria Street where commercial development began to be concentrated in the mid-nineteenth century, and was consolidated by the 1880s. The street subsequently continued as a local retail and service precinct for Richmond and Abbotsford residents, with a diverse mix of businesses, and a changing commercial character reflecting waves of immigration in the post WWII period. The property is also significant for its association with the major firm of funeral directors, John Allison/Monkhouse. John Allison, undertaker, was first connected with the property in 1883, continuing the business started by Henry Allison in North Melbourne in the 1850s. The subject building was the company's headquarters for many years. The property is additionally of local aesthetic/architectural significance, being distinguished by the comparatively high level of external intactness to the original design. The terrace pair is also unusually wide, in the Victoria Street context, with a finely detailed first floor facade. Elements of note to the first floor include triangular pediments with scrolled consoles, and moulded stringcourses incorporating decorative sills and architraves to the six windows. The timber-framed ground floor shopfronts with recessed entries appear original, including the bluestone plinths, or may have been sympathetically reconstructed. The survival of the additional entry door at the west end of no. 92, which provides main street access to the first floor accommodation, is also of note.

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|-----|--|---------------------|
| 39. | Shops and Residences
413 - 415 Swan Street, Richmond | within HO474 |
|-----|--|---------------------|

Source: Lovell Chen (2012), *City of Yarra Heritage Gaps Study (Heritage Gaps Amendment two)*

What is significant?

Nos 413-415 Swan Street, Richmond is a Victorian two storey brick terrace pair of shops and combined residences. The ground floor shopfronts have been modified, but the rendered first floor facades are intact, with no. 413 remaining unpainted save for the c.1920s 'Monopole Magnum Cigars' sign. Intact details include double-hung sash windows, window architraves, brackets, supporting stringcourse and mouldings, plus pedimented parapets incorporating panels, brackets, cornices and mouldings, urn pedestals and dividers. The buildings have been extended to the rear; these later elements are not of heritage significance.

How is it significant?

Nos 413-415 Swan Street, Richmond is of local historical and aesthetic/architectural significance.

Why is it significant?

Nos 413-415 Swan Street is of local historical significance, as a pair of two storey brick shops and combined residences constructed for carpenter, J Wood in 1892. This was just after the period of commercial development consolidation in Swan Street, and unusually during the severe economic Depression of the early 1890s. The buildings were subsequently occupied by a range of retailers and

INDIVIDUALLY SIGNIFICANT PLACES WITHIN PRECINCTS

Some 'Individually Significant' places within heritage precincts have a Statements of Significance. Those places that have one are listed below.

commercial operations, typical for a main street of the late nineteenth and early twentieth century. These included sellers of dairy produce, a greengrocer, butcher, hairdresser and tobacconist. The subject property is also of local aesthetic/architectural significance. It is a well-preserved pair of two storey shops/residences, broadly consistent with many similar nineteenth century commercial buildings in inner suburban main road locations. However, the first floor facades retain their original form and detailing; in particular, the upper level to no. 415 has remained unpainted. This façade is further distinguished through the retention of the 'Monopole Magnum Cigars' sign. Both first floors also have prominent and well-detailed arched pedimented parapets.

**Attachment B – Statement of Significance: Former Melbourne Savings
Bank, 182-184 Bridge Road, Richmond**

Heritage Citation

FORMER MELBOURNE SAVINGS BANK

Address: 184 Bridge Road, Richmond

Prepared by: GJM Heritage

Date: 30 April 2018

Place type: Bank	Architect: Wight & Lucas
Grading: Individually Significant within HO310	Builder: Not known
Integrity: High	Construction Date: 1889



Figure 1. 184 Bridge Road, Richmond (GJM Heritage, September 2017)

Statement of Significance

What is significant?

The Former Melbourne Savings Bank at 184 Bridge Road, Richmond built in 1889 to designs by architects Wight & Lucas.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing
- The building's high level of integrity to its original design.
- Façade parapet
- No front setbacks
- Rendered walls
- Elaborate rendered façade detailing including heavily decorated and clustered pilasters, pedimented aediculae, balustrading, stylized classical motifs
- Horizontal lines formed by parapet line, cornices, broad pediment and banded rustication
- Vertical lines formed by bold pilasters
- The steeply-pitched hipped roof form.

Later alterations and additions to the rear and shopfront are not significant.

How is it significant?

The Former Melbourne Savings Bank at 184 Bridge Road, Richmond is of local historical and architectural significance to the City of Yarra.

Why is it significant?

The Former Melbourne Savings Bank at 184 Bridge Road, Richmond is illustrative of historical development that occurred along a major, early commercial thoroughfare in the City of Yarra, particularly in the 'boom' period of the 1880s (Criterion A).

The Former Melbourne Savings Bank at 184 Bridge Road, Richmond is a distinctive, intact and representative example of a Victorian bank building. It displays typical features of the exuberant Victorian Boom Classical style popular in the 1880s in Richmond and across Melbourne more broadly, including an array of classical details which are applied in a liberal Mannerist style. (Criterion D).

Historical Themes

The place illustrates the following themes as outlined in the *City of Yarra Thematic History* (1998):

- 4.0 Developing Local Economies
 - 4.5 Financing the Suburbs

Place History

Architects Wight and Lucas, of Phoenix Chambers, Market Lane, called for tenders for the erection of a Richmond branch of the Melbourne Savings Bank in March 1889 (*Age*, 9 Mar 1889:11). The same year the Bridge Road branch was constructed and it was operated by the Melbourne Savings Bank until its amalgamation with the Commercial Bank of Australia (O'Connor et al, 1985: 145). The building was constructed in the distinctive style of Wight and Lucas, using extravagant motifs. The hallmark of the style is seen in the bold and extended consoles, pilaster capitals, and applied decorative arcuation (O'Connor et al, 1985: 145).

The 1898 Melbourne and Metropolitan Board of Works (MMBW) Detail Plan (Figure 2) shows a footprint of the building at 184 Bridge Road, which remained the same in 1937 (Figure 3). A photo dating to 1912 (Figure 4) shows the building with its unpainted facade and original ground floor exterior (altered between

1912 and 1985, as shown in Figure 5). Small additions were later constructed to the rear of the original building (dates not known).

The building served as a bank until at least 1951 (*Argus*, 12 Jun 1951:8). By 1985 the building had a glass shopfront (O'Connor et al, 1985: building identification form).

Wight and Lucas, architects

Many sources, including some contemporary newspaper articles, incorrectly spell Wight's surname 'Wright'. The correct spelling is confirmed by his 1914 Will (PROV), his obituary published in the 1915 *Royal Victorian Institute of Architects Journal* (May 1915:87), and contemporary listings in the Sands and McDougall Directories.

Gerard Wight (1860-1915) was born in Victoria and educated in Melbourne, before he was articled to the firm Smith & Johnson. In 1885, he won a competition for the design of a Merri Creek bridge, which was built to his design. Wight partnered with William Lucas to form Wight & Lucas (c1885-c1892) (AAI, record nos. 4820, 11085, 24576). Their commissions included houses, factories, shops, hotels and banks throughout Victoria (AAI). Several other suburban banks were erected by the practice, which repeat the motifs of the bank at 184 Bridge Road, Richmond, in particular the former Melbourne Savings Banks at Clifton Hill and Burwood Road, Hawthorn (O'Connor et al, 1985: 145).

Following a tour of Europe in 1891, Wight resumed practice in 1898, and partnered with William Pestell for a period. Key commissions included the Geelong Church of England Grammar School, for which Wight and architect Phillip B. Hudson were commissioned in collaboration (AAI, record no. 4820; *Geelong Advertiser*, 18 Jul 1911:3).

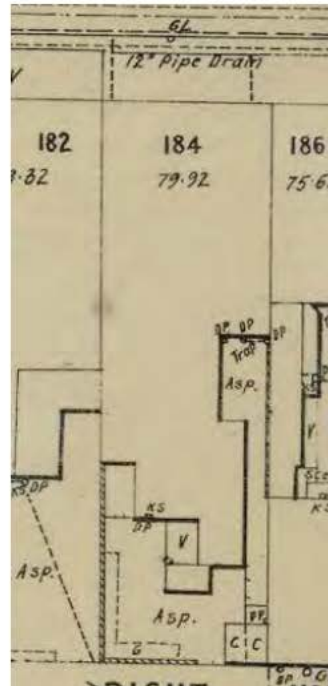


Figure 2. Footprint of the building in 1898 (MMBW DP 1058 & 1059, 1898).

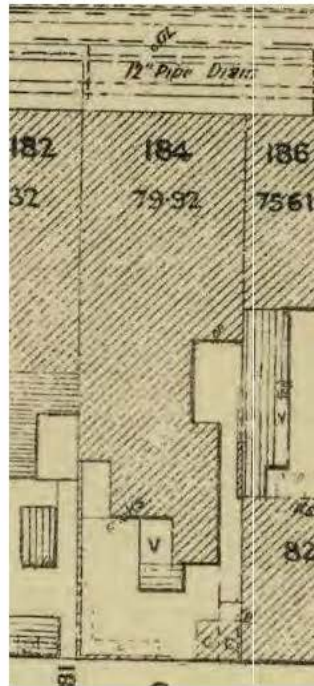


Figure 3. Footprint of the building in 1937 (MMBW DP 1058, 1937).



Figure 4. The unpainted building with its original ground floor exterior in 1912 (cited in O'Connor et al, 1985: 145).



Figure 5. The building in 1985; painted, with an altered ground floor facade (O'Connor et al, 1985: building identification form).

Physical Description

The Former Melbourne Savings Bank at 184 Bridge Road, Richmond, is located on the south side of Bridge Road, west of Church Street. Like the adjacent buildings, it is built to the front property boundary. The building was constructed as a bank in 1889, designed by architects Wight and Lucas with bold, distinct facade modelling in the Mannerist idiom.

The two-storey brick building has a hipped roof, clad in corrugated steel. The steeply-pitched hip of the first section is visible behind the parapet to the facade. The symmetrical facade is rendered (overpainted), with an elaborate and complex design of bold Classical motifs with exaggerated scale relationships. The parapet comprises a tall central section and balustrade either side, above a projecting dentilled cornice. The first floor has a recessed central balcony behind an arch supported by clustered pilasters. Either side, one-over one sash windows are surrounded by aediculae with open pediments. The first floor is divided into bays by wide pilasters with banded rustication, fluted bases and stylised ionic capitals.

The clerestory of the ground floor has a cornice above a bold frieze of alternating roundels and triglyph motifs. The side sections project with exaggerated triglyphs either side a large round window. At the centre of this clerestory level is a short window opening supported by squat piers.

The ground floor retains a bluestone or rendered base, and pilasters at the east end of the shopfront and flanking the entrance. A modern glazed shopfront (altered by 1985, see Figures 1 & 5) has altered part of the ground floor.

Integrity

The building retains a high degree of integrity to the Victorian period in fabric, form and detail. While the building has been overpainted and has undergone some alterations to the ground floor, these do not diminish the ability to understand and appreciate the place as a fine example of a Victorian building.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (January 2018).

Criterion A: *Importance to the course or pattern of our cultural or natural history (historical significance).*

The Former Melbourne Savings Bank at 184 Bridge Road, Richmond is illustrative of historical development that occurred along a major, early commercial thoroughfare in the City of Yarra, particularly in the 'boom' period of the 1880s.

Criterion D: *Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).*

The Former Melbourne Savings Bank at 184 Bridge Road, Richmond is a distinctive, intact and representative example of a Victorian bank building. It displays typical features of the exuberant Victorian Boom Classical style popular in the 1880s in Richmond and across Melbourne more broadly, including an array of classical details which, in this case, are applied in a liberal Mannerist style.

Identified by:

Butler, Graeme and Associates (2007, updated 2013), *City of Yarra Review Of Heritage Overlay Areas*.

Appendix 8 (updated May 2017) identified the place as 'Individually Significant'.

Allom Lovell & Associates (1998), *City of Yarra Heritage Review*.

The 1998 Review identified the place as being of 'Individual Significance' to the Bridge Road Precinct.

O'Connor, John & Roslyn Coleman & Thurley O'Connor & Heather Wright & Australian Heritage Commission et al. (1985), *Richmond Conservation Study*.



The 1985 Study graded the place 'B' within a Level 2 Streetscape. An individual citation provided a Statement of Significance:

This former branch of the Melbourne Savings Bank is an important example of the Victorian boom classical style, as distinctively interpreted by architects Wright and Lucas. The building is an important contributor to the Bridge Road commercial precinct.

References:

Australian Architectural Index (AAI), copyright Miles Lewis, record nos. as cited.

Geelong Advertiser.

Melbourne and Metropolitan Board of Works (MMBW) Detail Plans, as cited.

O'Connor, John & Roslyn Coleman & Thurley O'Connor & Heather Wright & Australian Heritage Commission et al. (1985), *Richmond Conservation Study*. Including Building Identification Forms for the place (accessed via Hermes database).

Public Records Office Victoria (PROV), Will of Gerard Wight: VPRS 7591/P2 unit 529, Item 139/518.

Royal Victorian Institute of Architects Journal May 1915 p 87, cited in AAI, record no. 4820.

Sands & McDougall Directories (S&Mc).

The Age.

The Argus.

**Attachment C – Statement of Significance: Former Commonwealth
Savings Bank of Australia, 267 Bridge Road, Richmond**

Heritage Citation

FORMER COMMONWEALTH SAVINGS BANK OF AUSTRALIA AND RESIDENCE

Address: 267 Bridge Road, Richmond

Prepared by: GJM Heritage

Date: April 2018

Place type: Bank, residence	Architect: Not known
Grading: Individually Significant within HO310	Builder: Not known
Integrity: High	Construction Date: 1939



Figure 1. 267 Bridge Road, Richmond (GJM Heritage, September 2017)

Statement of Significance

What is significant?

The Former Commonwealth Savings Bank of Australia and Residence at 267 Bridge Road, Richmond built in 1939.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing
- The building's high level of integrity to its original design.
- Façade parapet
- No front setbacks
- Rendered walls
- Simple detailing including rendered bands and ruled lines
- Geometric decorative steel grilles
- Window openings with glass brick infill
- Vertical emphasis of front façade formed by pilasters and tall side openings
- Hipped roof form.

Later alterations, and additions to the rear, are not significant.

How is it significant?

The Former Commonwealth Savings Bank of Australia and Residence at 267 Bridge Road, Richmond is of local historical and architectural significance to the City of Yarra.

Why is it significant?

The Former Commonwealth Savings Bank of Australia and Residence at 267 Bridge Road, Richmond is illustrative of the policy of expansion of banks into the suburbs in the late 1930s and early 1940s and was one of a number constructed in major commercial thoroughfares at this time in suburban Melbourne (Criterion A).

The Former Commonwealth Savings Bank of Australia and Residence at 267 Bridge Road, Richmond is a fine, intact and representative example of a Moderne building. It displays typical features of the Moderne architectural style popular in the late 1930s in Richmond and across Melbourne more broadly, including a strong vertical emphasis with secondary horizontal elements and fine decorative steel grilles of geometric pattern (Criterion D).

Historical Themes

The place illustrates the following themes as outlined in the *City of Yarra Thematic History* (1998):

- 4.0 Developing Local Economies
- 4.5 Financing the Suburbs

Place History

In 1938, the Commonwealth Saving Bank of Australia purchased 267 and 269 Bridge Road, each of which was occupied by a six room brick building (shown on the 1897 Melbourne and Metropolitan Board of Works Detail Plan, Figure 2). The existing building was constructed to serve as a bank in 1939 (Butler 2007:255-6). The 1940-41 rate books indicated that the new building at 267-269 had a Net Annual Value of 200 pounds (RB).

In April 1940, *The Age* reported that three new Commonwealth Bank branch buildings were to open in the suburbs. The 'savings bank' on Bridge Road, Richmond, near Church Street, was to open 'Tuesday next' in early May. The article stated that the Bridge Road site was formerly occupied by two shops and that the

'new structure is a modern two-storey banking building, with banking chamber on ground floor and residence upstairs, with a frontage of 33 feet 8½ inches to Bridge-road and a depth of 123 feet' (*The Age*, 27 April 1940:21).

The 1941 Sands & McDougall Directories listed the Commonwealth Savings Bank of Australia at 267-69, and Cornelius E. Hope as the occupant of 267-69 (probably the bank manager). The name 'Commonwealth Banking Corporation' remained on the parapet until at least 1985 (Figure 3).

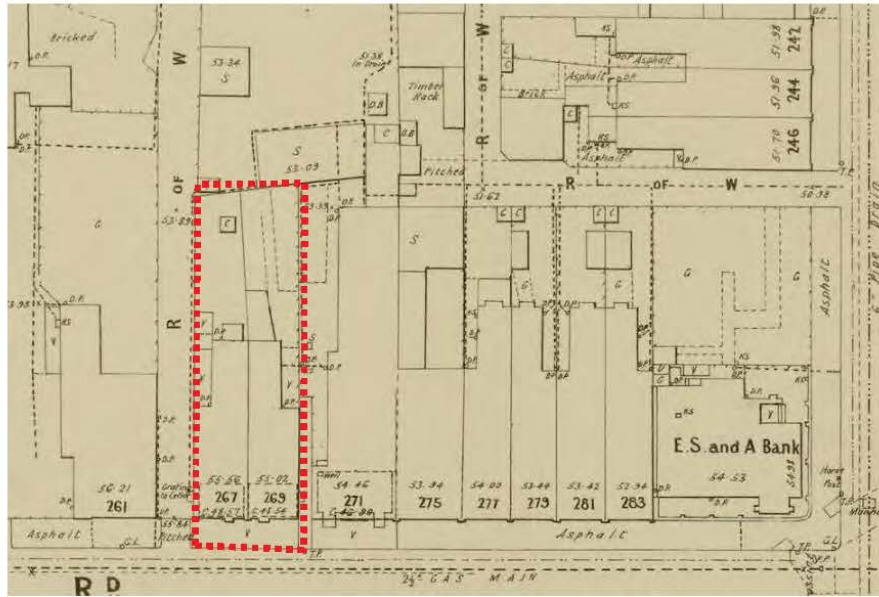


Figure 2. The 1897 MMBW plan shows the earlier buildings on the site (MMBW DP 1054, 1897).



Figure 3. The building in August 1984 (O'Connor et al, 1985: building id form).

Physical Description

The Former Commonwealth Savings Bank of Australia and Residence at 267 Bridge Road, Richmond, is located on the north side of Bridge Road, just west of the intersection with Church Street. The building was constructed to serve as a bank and residence in 1939.

The two-storey rendered (overpainted) Moderne building was constructed to the front title boundary and has an austere yet prominent presence on the street. The hipped roof is clad in corrugated steel and is concealed on the south, west and part of the east elevation by a parapet. A narrow chimney projects from the east elevation.

The front façade steps towards the centre of the symmetrical composition, providing a vertical emphasis. Four narrow pilasters in the central bay, extending from the ground floor to first floor, and tall windows with glass bricks at the corners of the façade, accentuate this verticality. Secondary horizontal decorative elements include simple render bands in the central bay and ruled lines to the rendered façade. At ground floor the central bay contains two entrances and a central window with highlights, all except the window have decorative steel grilles of distinctive geometric pattern. Four double-hung first floor windows, with horizontal glazing bars, are contained within the central bay. Street level ventilation grilles are also of distinctive geometric pattern.

The side elevations have little detail, with repeated windows on both levels; on the east elevation are banks of glass brick windows to the ground floor, on the west elevation the sash windows to the ground floor are overpainted, with security bars.

Integrity

The building retains a high degree of integrity to its Interwar period of construction in fabric, form and detail. While the building has undergone some alterations, these do not diminish the ability to understand and appreciate the place as a fine example of a Moderne style Interwar building.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (January 2018).

Criterion A: *Importance to the course or pattern of our cultural or natural history (historical significance).*

The Former Commonwealth Savings Bank of Australia and Residence at 267 Bridge Road, Richmond is illustrative of the policy of expansion of banks into the suburbs in the late 1930s and early 1940s and was one of a number constructed in major commercial thoroughfares at this time in suburban Melbourne.

Criterion D: *Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).*

The Former Commonwealth Savings Bank of Australia and Residence at 267 Bridge Road, Richmond is a fine, intact and representative example of a Moderne building. It displays typical features of the Moderne architectural style popular in the late 1930s in Richmond and across Melbourne more broadly, including strong vertical emphasis with secondary horizontal elements and fine decorative steel grilles of geometric pattern.

Identified by:

Butler, Graeme and Associates (2007, updated 2013), *City of Yarra Review Of Heritage Overlay Areas*.

The 2007 Study provided a site-specific Statement of Significance for the place which they identified as 'Individually Significant' to the Bridge Road Precinct:

What is significant?

The former Commonwealth Saving Bank of Australia at 267 Bridge Road, Richmond was created in 1939 for Commonwealth Saving Bank of Australia and has other historical associations with persons such as local managers and staff of the Richmond branch of the Commonwealth Saving Bank of Australia. The place has a good integrity to its creation date.

Fabric from the creation date at the former Commonwealth Saving Bank of Australia is locally significant within the City of Yarra, compared to other similar places from a similar era.

How is it significant?

The Commonwealth Saving Bank of Australia at 267 Bridge Road, Richmond is historically and architecturally significant to the locality of Richmond and the City of Yarra.

Why is it significant?

The Commonwealth Saving Bank of Australia is significant as a long term public building since 1939 and a significant Moderne design. 'This monumentally proportioned two storey rendered Art Deco (or Moderne) style building ... is given a strong vertical emphasis with the use of vertically proportioned window slots and two storey high pilasters articulating the façade. Unlike the majority of buildings along Bridge Road, the building is ... a three dimensional form, and is given heightened prominence in the streetscape due to the generous street setbacks of adjoining buildings.' (Wight 2001)

O'Connor, John & Roslyn Coleman & Thurley O'Connor & Heather Wright & Australian Heritage Commission et al. (1985), *Richmond Conservation Study*.

The 1985 Study graded the placed 'C' in the Building Index, within a Level 3 Streetscape.

References:

City of Richmond Rate Books (RB), West Ward: 1940-41, entry 7188; 1938-39, entries 7201-02. Cited in Graeme Butler & Associates (2007), Appendix 7, pp255-256.

Graeme Butler & Associates (2007), *City of Yarra Review of Heritage Overlay Areas*, Appendix 7.

Melbourne and Metropolitan Board of Works (MMBW) Detail Plan, as cited.



O'Connor, John & Roslyn Coleman & Thurley O'Connor & Heather Wright & Australian Heritage Commission et al. (1985), *Richmond Conservation Study*. Including Building Identification Forms for the place (accessed via Hermes database).

Sands & McDougall Directories (S&Mc). Cited in Graeme Butler & Associates (2007), Appendix 7, pp255-256.

The Age.

**Attachment D – Heritage Citation: Halls Building, 202-206 Church Street,
Richmond**

Heritage Citation

HALL'S BUILDINGS

Address: 202-206 Church Street, Richmond

Prepared by: GJM Heritage

Date: April 2018

Place type: Shops and residence	Architect: Not known
Grading: Individually Significant	Builder: Not known
Integrity: High	Construction Date: 1886
Recommendation: Include in a site-specific Heritage Overlay	Extent of Overlay: To property title boundaries



Figure 1. 202-206 Church Street, Richmond (GJM Heritage, March 2018)

Statement of Significance

What is significant?

Hall's Buildings, 202-206 Church Street, Richmond built in 1886.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing
- The building's high level of integrity to its original design.
- Façade parapet
- No front setbacks
- Rendered walls
- Rendered façade detailing including window frames and keystones, pilaster strips, consoles, decorative pediments including nameplate and festoons
- Incised decoration to keystones
- Horizontal lines formed by parapet line, cornice and string courses
- Repetitive upper floor fenestration patterns

How is it significant?

Hall's Buildings, 202-206 Church Street, Richmond is of local historical and architectural significance to the City of Yarra.

Why is it significant?

Hall's Buildings, 202-206 Church Street, Richmond is illustrative of the historical development that occurred along a major, early commercial thoroughfare in the City of Yarra, particularly in the 'boom' period of the 1880s (Criterion A).

Hall's Buildings, 202-206 Church Street, Richmond is a fine, intact and representative example of a row of Victorian shops and residences. It displays typical features of the Victorian architectural style popular in the 1880s in Richmond and across Melbourne more broadly, including a parapeted façade with repetitive upper floor fenestration, rendered façade and ground floor shopfronts (Criterion D).

Historical Themes

The place illustrates the following themes as outlined in the *City of Yarra Thematic History* (1998):

- 4.0 Developing local economy
 - 4.4 Smaller Retailers: Strip Shopping

Place History

The nameplate to the parapet of the central building at 204 reads 'HALL'S BUILDINGS' with the date '1886'.

The current 202 to 206 Church Street were not listed in the 1885 Sands & McDougall Directories, but appear to be listed (without address numbers) by 1890. From c1892 the numbering on this part of Church Street changed to match the current address numbers. In the 1890s, the ground floor shops were occupied by various trades including bootmakers, a painter and paperhanging warehouse, a grocer and news agent (S&Mc).

Footprints of the three buildings are shown on the 1897 Melbourne and Metropolitan Board of Works (MMBW) detail plan (Figure 2). The plan shows a verandah to the façade of all three buildings, extending over the footpath (since removed). Each building had narrower wings extending west (the two-storey sections of these wings remain at 204 & 206) and outbuildings on the rear boundary (since removed).

Current aerials indicate that each building has later additions to the rear of each house, extending to Henty Street at the west.

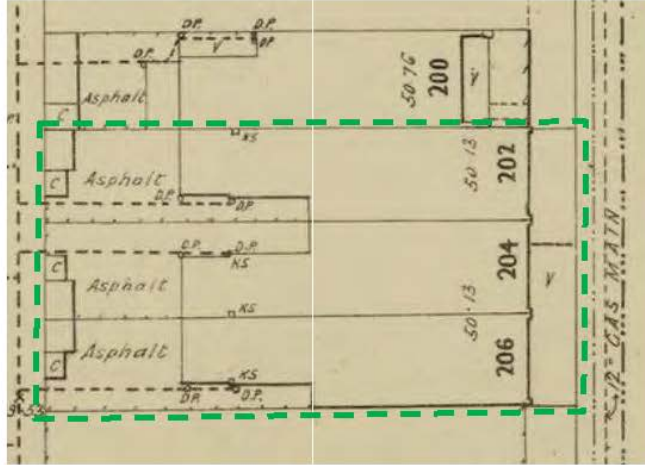


Figure 2. The footprints of the buildings at the subject site (green polygon) in 1897 (MMBW DP 1054, dated 1897).

Physical Description

The commercial premises, Hall's Buildings, 202-206 Church Street, Richmond, are situated on the west side of Church Street to the north of Bridge Road, facing Citizens Park. Built in 1886, the building displays characteristics typical of the Victorian 'boom' style.

Hall's Buildings is a row of three two-storey shops and residences with rendered (overpainted) upper facades and a parapet which conceals three separate hipped roofs behind. Unadorned pilaster strips, with large decorative consoles at verandah height, delineate the three upper facades. A continuous parapet, with three individual triangular pediments decorated with acroteria, flanking scrolls and faceted blocks, crowns the building. The central pediment contains the nameplate 'Hall's 1886 Buildings' and the flanking pediments contain festoon motifs. Across the upper façade a decorative stringcourse forms the impost for pairs of arch-headed, double-hung windows and a plain stringcourse forms the sills. Keystones in the arched window frame have incised decorative motifs.

Original slate roof cladding appears to have been retained at no. 202 Church Street, while nos. 204 and 206 are clad with replacement corrugated steel.

Shopfronts have been modified, however recessed entry-forms are evident at nos. 202 and 206. Original verandahs have been removed from the shopfronts. Rear wings remain at nos. 204 and 206 and additions have been made to the rear of all properties. A number of chimneys have been retained including two to the south wall and two to the party wall between nos. 202 and 204.

Integrity

The building retains a high degree of integrity to the Victorian period in fabric, form and detail. While the building has undergone some alterations, including those described above, these do not diminish the ability to understand and appreciate the place as a fine example of a Victorian shop and residence.

Comparative Analysis

The commercial premises at 202-206 Church Street, Richmond are of note as a representative and intact example of a shop and residence built in the Victorian 1880s boom period.

Substantial numbers of commercial buildings were constructed in the City of Yarra from the 1880s to the 1920s. Those of the late nineteenth century typically incorporated classical elements and motifs into symmetrical parapeted facades with varying degrees of elaboration. Rendered facades were most common, with some facades of red brick and contrasting render, and others of polychromatic brickwork. Rendered decoration, in the form of classical elements such as cornices, architraves, balustrading, urns, stringcourses and pediments, was commonly applied to facades and render was occasionally incised. Windows were typically rectangular, sometimes arch-headed, and these were repeated regularly across upper facades.

Commercial buildings from this period were most commonly two-storeys, with fewer single-storey and three or four-storey premises constructed. They were typically built as rows of attached identical buildings, as pairs or as individual buildings with no side setbacks from adjoining properties and no front setback.

Within the City of Yarra, large numbers of commercial premises built in the Victorian period are included in the Heritage Overlay, both on an individual basis and as 'Individually Significant' places within precincts. Comparative examples which broadly display characteristics similar to Hall's Buildings include commercial premises at:

- 137-141 Bridge Road, Richmond (1870-90), individually significant in HO310, Bridge Road Precinct
- 237-239 Bridge Road, Richmond (1870-90), individually significant in HO310, Bridge Road Precinct
- 398-404 Bridge Road, Richmond (1885), individually significant in HO310, Bridge Road Precinct
- 428-434 Bridge Road, Richmond (1870-90), individually significant in HO310, Bridge Road Precinct
- 252 Church Street, Richmond (1870-90), individually significant in HO310, Bridge Road Precinct



Figure 3. 137-141 Bridge Road, Richmond (Google)



Figure 4. 237-239 Bridge Road, Richmond (Google)



Figure 5. 398-404 Bridge Road, Richmond (Google)



Figure 6. 428-434 Bridge Road, Richmond (Google)



Figure 7. 252 Church St, Richmond (Google)

Like these places, the commercial premises at 202-206 Church Street, Richmond display a range of characteristics which have strong associations with the Victorian period and the following Victorian characteristics:

- Façade parapet, with pitched roof behind
- No front setbacks
- Rendered walls
- Rendered window frames
- Rendered detailing and ornament such as pilaster strips, consoles and festoons
- Horizontal lines formed by parapet, cornice and stringcourses
- Repetitive upper floor fenestration patterns
- Corrugated steel or slate clad roofs.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (January 2018).

Criterion A: *Importance to the course or pattern of our cultural or natural history (historical significance).*

Hall's Buildings, 202-206 Church Street, Richmond is illustrative of the historical development that occurred along a major, early commercial thoroughfare in the City of Yarra, particularly in the 'boom' period of the 1880s.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).

Hall's Buildings, 202-206 Church Street, Richmond is a fine, intact and representative example of a row of Victorian shops and residences. It displays typical features of the Victorian architectural style popular in the 1880s in Richmond and across Melbourne more broadly, including a parapeted façade with repetitive upper floor fenestration, rendered façade and ground floor shopfronts.

Grading and Recommendations

It is recommended that the place be included in a site-specific Heritage Overlay of the Yarra Planning Scheme as an individually significant heritage place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Yarra Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Outbuildings or Fences not exempt under Clause 43.01-3?	No
Prohibited Uses Permitted?	No
Incorporated Plan?	Incorporated Plan under No the provisions of clause 43.01 Heritage Overlay, Planning Permit Exemptions, July 2014
Aboriginal Heritage Place?	No

Extent of the recommended Heritage Overlay

To the property title boundary, as indicated by the polygon on the figures below.

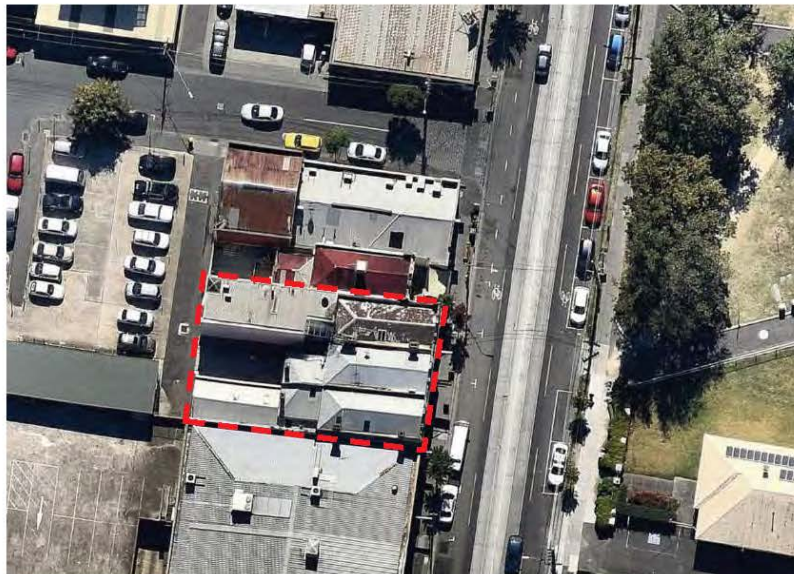


Figure 8. Aerial image showing recommended extent (adapted from nearmap)

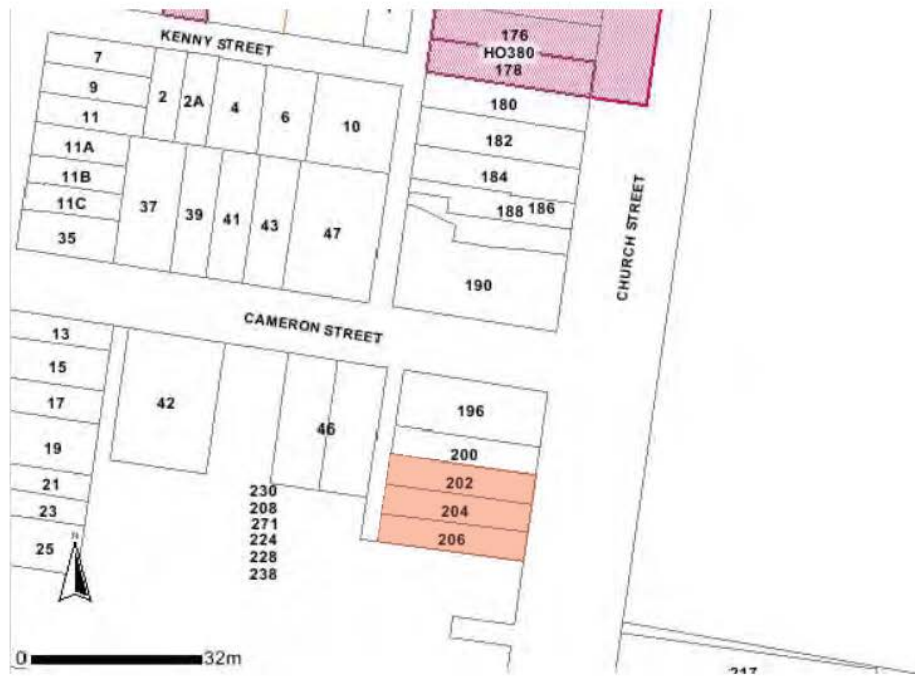


Figure 9. Recommended extent shaded in red (adapted from existing Heritage Overlay map)

Identified by

GJM Heritage identified the row for review in the 2018 *Victoria Street and Bridge Road Heritage Built Form Review*.

Butler, Graeme and Associates (2007, updated 2013), *City of Yarra Review Of Heritage Overlay Areas*.

The 2007 Study graded 202-206 Church Street of ‘Local’ significance (information accessed via Hermes).

O’Connor, John & Roslyn Coleman & Thurley O’Connor & Heather Wright & Australian Heritage Commission et al. (1985), *Richmond Conservation Study*.

The 1985 Study graded 202, 204 and 206 Church Street ‘C’ in the Building Index.

References:

Melbourne and Metropolitan Board of Works (MMBW) Detail Plan 1054, dated 1897.

Sands & McDougall Directories.

Attachment E – Heritage Citation: 32 & 34 Thomas Street, Richmond

Heritage Citation

PAIR OF TERRACE HOUSES

Address: 32 & 34 Thomas Street, Richmond

Prepared by: GJM Heritage

Date: April 2018

Place type: Dwellings	Architect: Not known
Grading: Individually Significant	Builder: Not known
Integrity: High	Construction Date: c1894
Recommendation: Include in a site-specific Heritage Overlay	Extent of Overlay: To property title boundaries



Figure 1. 32 & 34 Thomas Street, Richmond (GJM Heritage, March 2018)

Statement of Significance

What is significant?

The pair of terrace houses, 32 & 34 Thomas Street, Richmond, built c1894.

Elements that contribute to the significance of the place include (but are not limited to):

- The houses' original external form, materials and detailing
- The houses' high level of integrity to its original design
- Two-storey unparapeted form
- Front verandahs and balconies with decorative cast iron
- Face brick walls (overpainted) with cement render detailing
- Hipped roof form
- Rectangular window openings
- Pair of attached buildings with dividing wing walls with decorative detailing
- Iron palisade fence on a bluestone plinth to 34 Thomas Street.

Later alterations and additions to the rear of the terraces are not significant. The brick wall to the front boundary of 32 Thomas Street is not significant.

How is it significant?

The pair of terrace houses, 32 & 34 Thomas Street, Richmond are of local architectural and aesthetic significance to the City of Yarra.

Why is it significant?

The pair of terrace houses, 32 & 34 Thomas Street, Richmond are fine and representative examples of terrace housing from the Victorian period. They display typical features of the Victorian Italianate architectural style popular in the 1880s boom period in Richmond and across Melbourne more broadly, including a two-storey form with front verandahs and balconies, dividing wing walls, rendered decorative elements and decorative cast iron (Criterion D).

The pair of terrace houses, 32 & 34 Thomas Street, Richmond are well-considered and carefully detailed examples of Victorian Italianate terrace housing. The pair of brick terraces, with repetitive decorative elements across the facades, presents a picturesque composition of this architectural style (Criterion E).

Historical Themes

The place illustrates the following themes as outlined in the *City of Yarra Thematic History* (1998):

- 3.0 Mansions, Villas and Sustenance Housing: the Division between Rich and Poor
 - 3.1 A Home to Call One's Own

Place History

The pair of terrace houses at 32 and 34 Thomas Street (originally addressed as 30 and 32) appeared in the Sands & McDougall Directories by 1895, occupied by Ellis Williams at No. 30 and John Murray, music teacher at No. 32.

The two buildings were shown on the 1897 Melbourne and Metropolitan Board of Works (MMBW) Detail Plan No. 1054, addressed as 30 and 32 (Figure 2). The mirrored footprints of the buildings indicate that they were built as a pair. Both properties comprised a very small setback from the front title boundary, front verandah, a dwelling with narrower a wing extending to the rear (west) and outbuildings on the central boundary towards the rear of the property.

Current aerials indicate that modern additions are located to the rear of both dwellings (removing part of the original rear wings).

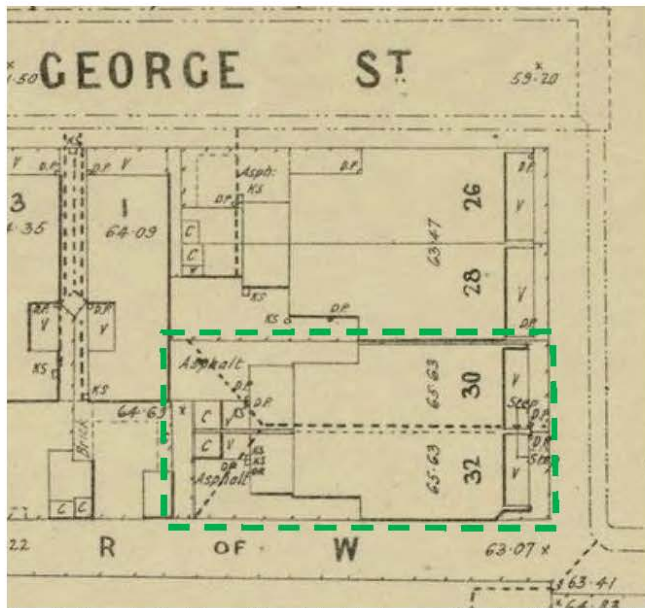


Figure 2. The pair of buildings at the subject site (green polygon) in 1897, originally numbered 30 and 32 (MMBW DP 1054, dated 1897).

Physical Description

The pair of two-storey Victorian terrace houses at 32 & 34 Thomas Street, Richmond are located on the west side of Thomas Street. A pair of two-storey terrace houses is located immediately to the north and a right-of-way and car park to the south.

Built of face brickwork (overpainted), the two-storey terraces are unparapeted with exposed corrugated iron hipped-roof forms and double storey front verandahs. Wing walls which delineate the two terraces contain blind arched openings and are decorated with heavy scrolled consoles supporting vermiculated rusticated blocks. The front facades of the terraces are symmetrical either side of the central party wall, with four-panelled entrance doors at the centre of the pair, each with adjacent tripartite windows with narrow sidelights. Pairs of full length windows are centred in each façade at first floor level. Roofed with corrugated iron, the verandahs are decorated with cast iron friezes and balustrading (upper frieze removed from no. 34).

An iron palisade fence on a bluestone plinth is located at the front boundary of No. 34, and a brick wall at No. 32. A series of steps lead up to the front verandahs (later tiles to No. 34). The brick party wall to the south is canted out beyond the line of the front verandah and has an angled hip-roof above. It is set on a bluestone base and contains an arched opening to the upper verandah. Both terrace houses retain large central chimneys.

A recent two-storey addition has been made to the rear of both properties and is built to the boundary of the right-of-way to the south.

Integrity

The buildings retain a high degree of integrity to the Victorian period in fabric, form and detail. While the buildings have undergone some alterations – including a rear addition to the property visible from the

south and overpainting of brickwork – these do not diminish the ability to understand and appreciate the place as a highly intact example of Victorian terrace housing.

Comparative Analysis

The pair of two-storey terrace houses at 32 & 34 Thomas Street, Richmond are of note as an intact and representative pair of residential buildings, constructed in the Victorian period.

Substantial numbers of terrace houses were constructed within the City of Yarra, and Melbourne more broadly, particularly in the 1880s, and these typically took the form of one or two-storey rows with single or double storey front verandahs and parapeted front facades. Facades were commonly rendered or constructed in decorative polychromatic brickwork. Classical elements, such as cornices, architraves, balustrading, urns, stringcourses and pediments were commonly applied to facades, and window openings were most commonly rectangular.

Within the City of Yarra, large numbers of residential terraces built in the Victorian period are included in the Heritage Overlay, both on an individual basis and as 'individually significant' places within precincts.

Examples of two-storey terraces include:

- 35-37 Kent Street, Richmond (HO394)
- 154-156 Lennox Street, Richmond (individually significant in West Richmond Precinct HO338)
- 76-78 Richmond Terrace, Richmond (individually significant in Richmond Hill Precinct HO332)
- 235-239 Punt Road, Richmond (individually significant in Richmond Hill Precinct HO332)
- 9-17 Crown Street, Richmond (HO248)



Figure 3. 35-37 Kent Street, Richmond (Google)



Figure 4. 154-56 Lennox Street, Richmond (Google)



Figure 5. 76-78 Richmond Terrace, Richmond (Google). **Figure 6.** 235-39 Punt Road, Richmond (Google)

Like the places listed above, the terraces at 32 & 34 Thomas Street, Richmond display a range of characteristics that have associations with the Victorian Italianate style and the terraces remain highly intact to demonstrate these associations.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (January 2018).

Criterion D: *Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).*

The pair of terrace houses, 32 & 34 Thomas Street, Richmond are fine and representative examples of terrace housing from the Victorian period. They display typical features of the Victorian Italianate architectural style popular in the 1880s boom period in Richmond and across Melbourne more broadly, including a two-storey form with front verandahs and balconies, dividing wing walls, rendered decorative elements and decorative cast iron.

Criterion E: *Importance in exhibiting particular aesthetic characteristics (aesthetic significance)*

The pair of terrace houses, 32 & 34 Thomas Street, Richmond are well-considered and carefully detailed examples of Victorian Italianate terrace housing. The pair of brick terraces, with repetitive decorative elements across the facades, presents a picturesque composition of this architectural style.

Grading and Recommendations

It is recommended that the place be included in the Heritage Overlay of the Yarra Planning Scheme as an individually significant heritage place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Yarra Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Outbuildings or Fences not exempt under Clause 43.01-3?	No
Prohibited Uses Permitted?	No
Incorporated Plan?	Incorporated Plan under No the provisions of clause 43.01 Heritage Overlay, Planning Permit Exemptions, July 2014
Aboriginal Heritage Place?	No

Extent of the recommended Heritage Overlay

To the property title boundary, as indicated by the polygon on the figures below.



Figure 7. Aerial image showing recommended extent (adapted from nearmap)

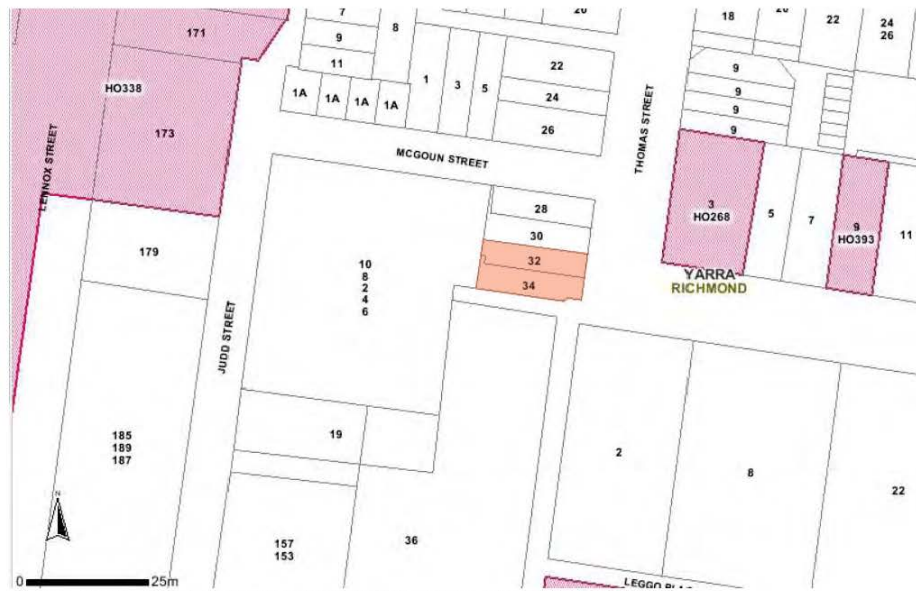


Figure 8. Recommended extent shaded in red (adapted from existing Heritage Overlay map)

Identified by:

GJM Heritage identified the pair for review in the 2018 *Victoria Street and Bridge Road Heritage Built Form Review*.

Butler, Graeme and Associates (2007, updated 2013), *City of Yarra Review Of Heritage Overlay Areas*.

The 2007 Study graded the places 'Contributory' to the Hull Street Precinct (information accessed via Hermes), which appears to have not been implemented.

O'Connor, John & Roslyn Coleman & Thurley O'Connor & Heather Wright & Australian Heritage Commission et al. (1985), *Richmond Conservation Study*.

The 1985 Study graded the places 'D' in the Building Index.

References:

Melbourne and Metropolitan Board of Works (MMBW) Detail Plan 1054, dated 1897.

Sands & McDougall Directories, 1884, 1885, 1890, 1892, 1895.

Attachment F – Heritage Citation: 637-639 Bridge Road, Richmond

Heritage Citation

SHOPS AND RESIDENCES

Address: 637-639 Bridge Road, Richmond

Prepared by: GJM Heritage

Date: April 2018

Place type: Shop and residence	Architect: Not known
Grading: Individually Significant	Builder: Not known
Integrity: High	Construction Date: c1891
Recommendation: Remove from HO310 and include in a site-specific Heritage Overlay	Extent of Overlay: To property title boundaries



Figure 1. 637-639 Bridge Road, Richmond (GJM Heritage, March 2018)

Statement of Significance

What is significant?

The pair of two-storey shops and residences at 637-639 Bridge Road, Richmond built by 1892.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing
- The building's high level of integrity to its original design
- Façade parapet
- No front setbacks
- Rendered walls
- Rendered façade detailing including pilaster strips, elaborate window aediculae, parapet scrolls and urns
- Horizontal lines formed by parapet line, cornice and string course
- Repetitive upper floor fenestration patterns.

How is it significant?

The pair of two-storey shops and residences at 637-639 Bridge Road, Richmond is of local historical and architectural significance to the City of Yarra.

Why is it significant?

The pair of two-storey shops and residences at 637-639 Bridge Road, Richmond are illustrative of the historical development that occurred along a major, early commercial thoroughfare in the City of Yarra, particularly in the 'boom' period of the 1880s and early 1890s [Criterion A].

The pair of two-storey shops and residences at 637-639 Bridge Road, Richmond are a fine, intact and representative example of a Victorian shop and residence. They display typical features of the Victorian architectural style popular in the 1880s and early 1890s in Richmond and across Melbourne more broadly, including an elaborate parapeted façade with repetitive upper floor fenestration, rendered facades and ground floor shopfronts [Criterion D].

Historical Themes

The place illustrates the following themes as outlined in the *City of Yarra Thematic History* (1998):

- 4.0 Developing local economy
 - 4.4 Smaller Retailers: Strip Shopping

Place History

Nos. 637 and 639 Campbell Parade (renamed Bridge Road) were listed in the Sands & McDougall Directories by 1892 (may have been listed in 1890 under different numbering, but this has not been confirmed). In 1892, J Trudgen ran a restaurant at 637, and W McCumisky, chemist, occupied 639 (S&Mc). By 1900 occupancy had changed, 637 was occupied by William Nolan, tobacconist, and 639 by D R Long, chemist.

The 1901 Melbourne and Metropolitan Board of Works (MMBW) Detail Plan showed footprints of the pair of buildings at 637 and 639 (Figure 2). Each building had a recessed entrance to the street and a narrower wing to the rear (the two-storey portion of these wings remain in 2018), with water closets on the rear boundary (since removed).

In 1937, 637-639 Bridge Road was advertised for sale. The advertisement reported that the property was 'recently acquired by the British-Australian Tobacco Co. Pty Ltd'. It was described as two two-storey brick

and cement shops, each with a dwelling of six rooms, on land that totaled 33 x 105 feet, extending to Palmer Street (*The Argus*, 13 Nov 1937:16).

Nolan the tobacconist occupied 637 until at least 1930, after which it served as a hairdressers, and then solely as a residence in the 1950s. Number 639 was occupied by J Plummer and Thomas Jackson, plumbers from c.1900 to at least 1960 (under various Plummer family members). By 1970, Mangrovite Industries Ltd, transmission engineers occupied both 637 and 639 Bridge Road (S&Mc).

The render to the first floor facades has been overpainted (post-2007). The shopfronts to the ground floor were replaced (date not confirmed). Later additions and outbuildings cover the rear of the property (dates not confirmed).

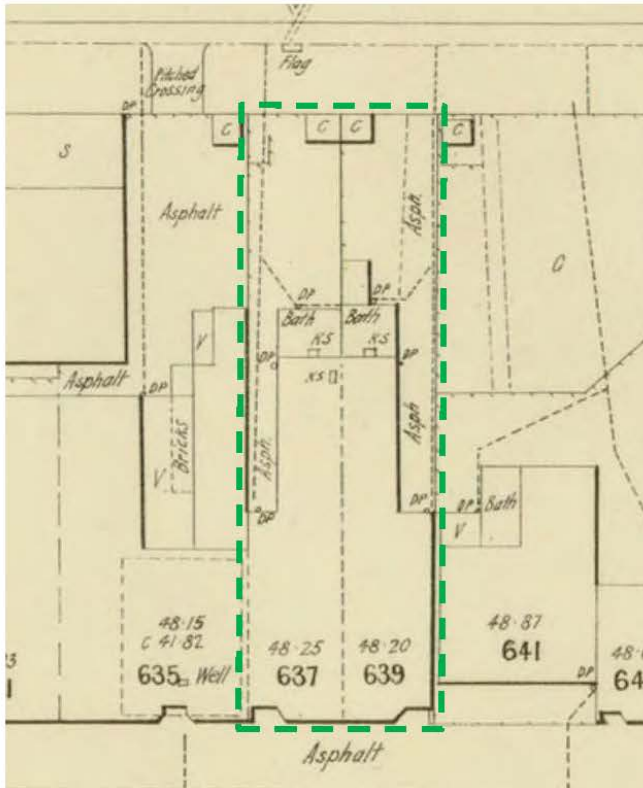


Figure 2. The subject site (green polygon) in 1901 (MMBW DP 1086).

Physical Description

The commercial premises at 637-639 Bridge Road, Richmond are situated on the north side of Bridge Road, to the east of Burnley Street, within a small group of commercial premises. They are a pair of parapetted two-storey shops and residences with elaborate rendered (overpainted) upper facades, typical of the Victorian 'boom' period of the 1880s and early 1890s.

Pilaster strips, with ribbed bases and small pedimented decorative elements supported on paired consoles, delineate the two upper facades. Crowning the pair of buildings are tall entablatures and solid parapets, with tall central pediments and decorative balls. The upper facades contain pairs of first floor double-hung,



arch-headed windows, set within elaborate aediculae. These aediculae are formed from pilasters, fluted above impost level, which support an entablature with a triglyph and metope frieze, surmounted with a small pediment flanked by scrolls.

The shopfronts have been replaced and extensive additions have been made to the rear of the property.

Integrity

The building retains a high degree of integrity to the Victorian period in fabric, form and detail at first floor level. While the building has undergone alterations, including those described, these do not diminish the ability to understand and appreciate the place as a fine example of a Victorian building.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (January 2018).

Criterion A: *Importance to the course or pattern of our cultural or natural history (historical significance).*

The pair of two-storey shops and residences at 637-639 Bridge Road, Richmond are illustrative of the historical development that occurred along a major, early commercial thoroughfare in the City of Yarra, particularly in the 'boom' period of the 1880s and early 1890s.

Criterion D: *Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).*

The pair of two-storey shops and residences at 637-639 Bridge Road, Richmond are a fine, intact and representative example of a Victorian shop and residence. They display typical features of the Victorian architectural style popular in the 1880s and early 1890s in Richmond and across Melbourne more broadly, including an elaborate parapeted façade with repetitive upper floor fenestration, rendered facades and ground floor shopfronts.

Grading and Recommendations

It is recommended that the place be removed from HO310 and included in the Heritage Overlay of the Yarra Planning Scheme as an individually significant heritage place in a site-specific Heritage Overlay.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Yarra Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Outbuildings or Fences not exempt under Clause 43.01-3?	No
Prohibited Uses Permitted?	No
Incorporated Plan?	Incorporated Plan under No the provisions of clause 43.01 Heritage Overlay, Planning Permit Exemptions, July 2014
Aboriginal Heritage Place?	No

Extent of the recommended Heritage Overlay

To the property title boundary, as indicated by the polygon on the figures below.



Figure 3. Aerial image showing recommended extent (adapted from nearmap)



Figure 4. Recommended extent shaded in red (adapted from existing Heritage Overlay map)



Identified by:

Butler, Graeme and Associates (2007, updated 2013), *City of Yarra Review Of Heritage Overlay Areas*.

Appendix 8 (updated May 2017) identified the place as 'Individually Significant'.

O'Connor, John & Roslyn Coleman & Thurley O'Connor & Heather Wright & Australian Heritage Commission et al. (1985), *Richmond Conservation Study*.

The 1985 Study graded the place 'C' in the Building Index.

References:

Melbourne and Metropolitan Board of Works Detail Plan 1086, dated 1901.

Sands & McDougall Directories.

The Argus.

**Attachment G – Heritage Citation: Boland’s Shop & Residence, 635
Bridge Road, Richmond**

Heritage Citation

JAMES BOLAND'S SHOP AND RESIDENCE

Address: 635 Bridge Road, Richmond

Prepared by: GJM Heritage

Date: April 2018

Place type: Shop and residence	Architect: Not known
Grading: Individually Significant	Builder: Not known
Integrity: High	Construction Date: 1867
Recommendation: Remove from HO310 and include in a site-specific Heritage Overlay	Extent of Overlay: To property title boundaries



Figure 1. 635 Bridge Road, Richmond (GJM Heritage, March 2018)

Statement of Significance

What is significant?

James Boland's Shop and Residence, a two-storey commercial premises at 635 Bridge Road, Richmond built in 1867.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing
- The building's high level of integrity to its original design
- Façade parapet
- No front setbacks
- Rendered walls
- Rendered window frames and hoods to upper storey
- Rendered façade detailing including pilaster strips, consoles and central pediment with nameplate
- Horizontal lines formed by parapet line and cornice
- Repetitive upper floor fenestration patterns
- Gabled roof form.

How is it significant?

James Boland's Shop and Residence at 635 Bridge Road, Richmond is of local historical and architectural significance to the City of Yarra.

Why is it significant?

James Boland's Shop and Residence at 635 Bridge Road, Richmond is illustrative of historical development that occurred along a major, early commercial thoroughfare in the City of Yara [Criterion A].

James Boland's Shop and Residence at 635 Bridge Road, Richmond is a fine, intact and representative example of an early Victorian shop and residence. It displays typical features of the early Victorian architectural style popular in the late 1860s in Richmond and across Melbourne more broadly, including a parapeted façade with repetitive upper floor fenestration, rendered facades and ground floor shopfronts [Criterion D].

Historical Themes

The place illustrates the following themes as outlined in the *City of Yarra Thematic History* (1998):

- 4.0 Developing local economy
 - 4.4 Smaller Retailers: Strip Shopping

Place History

The nameplate on the parapet of 635 Bridge Road reads 'ESTABLISHED AD 1867, J. BOLAND'.

James Boland, grocer is listed in the Sands & McDougall Directory for the first time in 1877 (no address listed). It appears Boland may have taken over occupancy of an existing grocery store, occupied by H and CH Kershaw, who are listed in the Directory in this location in 1876 (S&Mc). JA Kershaw, grocer, was first listed in the Directories in 1868, suggesting an 1867 construction date for 635 Bridge Road, as the nameplate on the building suggests.

In the 1880s, the subject site was first addressed as 383-385 Campbell Parade (renamed Bridge Road) in the Sands & McDougall Directories. Numbering was changed c1891 and by 1892 the property was addressed as 635 Campbell Parade. Boland remained the sole occupant of the property until the early 1920s, occupying the shop for over 40 years. From c1900, Boland was also listed in the Directories at 627 Campbell Parade (subsequently Bridge Road), with a hardware store (S&Mc).

Footprints of the buildings on the subject site in the 1901 Melbourne and Metropolitan Board of Works (MMBW) Detail Plan (Figure 2) suggests that the property extended to the west, including an adjoining building at 631, with shared outbuildings to the rear. The footprint of the building at 635 showed one recessed entrance to the shopfront and a U-shape plan to the building, with a central verandah to the rear (the western wing remains in 2018; the eastern wing appears to have been replaced with a large modern addition). A large cellar is shown near the front of the building.

In 1918, Boland's property was advertised for sale in *The Age* (13 Jun 1918:2), by the 'order of James Boland, Esq., Grocer, Wine and Spirit Merchant, Retiring from Business.' 635 Bridge Road was described as a 'large brick grocer's shop' with a small store, cellar measuring 29 x 30 feet, nine rooms and stabling, on land measuring 33 x 108 feet, with Palmer Street to the rear. The advertisement also promoted the sale of the adjoining buildings: a 'large brick store or garage' measuring 25 x 108 feet (probably the large building shown to the rear in Figure 2) and a brick hardware store at 627 Bridge Road (since demolished), which included 17 feet of vacant land (see Figure 2). This strongly suggests that Boland originally owned at least 627-635 Bridge Road.

635 Bridge Road continued to be occupied by grocers in the following decades. In 1925, it was occupied by MJ O'Hara, grocer, wine and spirits merchant. By 1930, it was occupied by both JH and J Fraser, grocer and wine merchants and Mrs Alice Mulder, who would have occupied the first floor residence. Subsequent occupants included: J Skolnik, licensed grocer in 1940; B Singer, licensed grocer in 1950; M Glick, licensed grocer in 1960; and K Nicolian, licensed grocer in 1970 (occupants not confirmed post-1970). In 2018 two shopfronts face Bridge Road.

The shopfronts have been altered and a cantilevered verandah added at a later date (date not confirmed). Later additions were constructed to the rear (date not confirmed), covering the rear of the property.

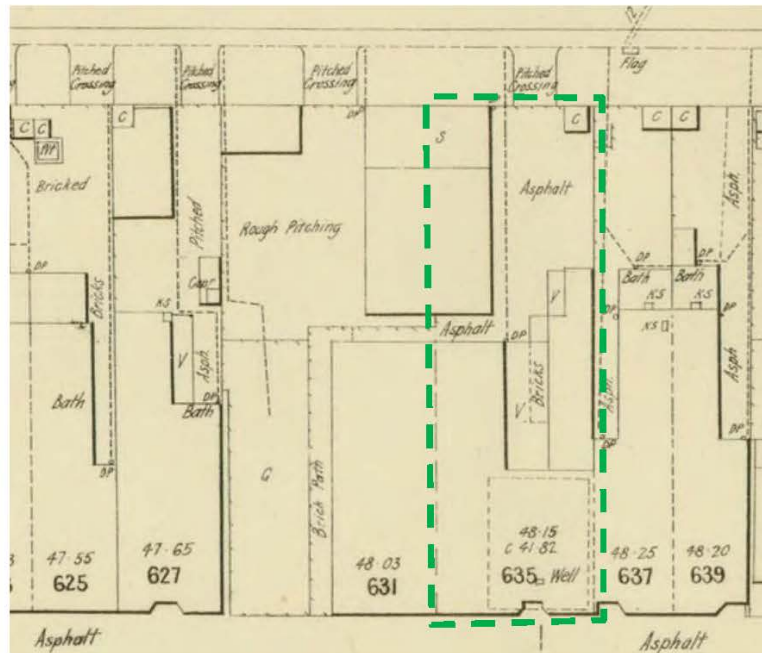


Figure 2. The green boundary indicates the current extent of 635 Bridge Road (MMBW DP 1086, dated 1901).

Physical Description

The commercial premises at 635 Bridge Road, Richmond are situated on the north side of Bridge Road, to the east of Burnley Street, at the western end of a small group of commercial buildings. The building is a parapeted, two-storey brick shop and residence, of double width, with rendered (overpainted) upper façade, typical of the Victorian period.

Side pilasters, with small decorative colonettes and crowning paired consoles and decorative mouldings, delineate the upper façade. A simple parapet, supported on a row of corbels, crowns the building and conceals a corrugated steel-clad, transverse gable-roof behind. A central semicircular pediment, with a crowning acroterion, contains the nameplate 'established AD 1867 J Boland'. The upper façade of the building contains three double-hung rectangular windows with frames and label molds supported on consoles. Substantial chimneys are located at either end of the gable roof.

The shopfronts have been replaced and currently comprise a broad shopfront to the east and a narrow shopfront to the west. A large cantilevered verandah has been erected at the front of the property and extensive additions have been made to the rear of the property.



Figure 3. Detail of crowning pediment

Integrity

The building retains a high degree of integrity to the Victorian period in fabric, form and detail. While the building has undergone some alterations, including those described above, these do not diminish the ability to understand and appreciate the place as a fine example of a Victorian shop and residence.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (January 2018).

Criterion A: *Importance to the course or pattern of our cultural or natural history (historical significance).*

James Boland's Shop and Residence at 635 Bridge Road, Richmond is illustrative of the historical development that occurred along a major, early commercial thoroughfare in the City of Yarra.

Criterion D: *Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).*

James Boland's Shop and Residence at 635 Bridge Road, Richmond is a fine, intact and representative example of a Victorian shop and residence. They display typical features of the Victorian architectural style popular in the late 1860s in Richmond and across Melbourne more broadly, including a parapeted façade with repetitive upper floor fenestration, rendered facades and ground floor shopfronts.

Grading and Recommendations

It is recommended that the place be removed from HO310 and included in the Heritage Overlay of the Yarra Planning Scheme as an individually significant heritage place in a site-specific Heritage Overlay.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Yarra Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Outbuildings or Fences not exempt under Clause 43.01-3?	No
Prohibited Uses Permitted?	No
Incorporated Plan?	Incorporated Plan under No the provisions of clause 43.01 Heritage Overlay, Planning Permit Exemptions, July 2014
Aboriginal Heritage Place?	No

Extent of the recommended Heritage Overlay

To the property title boundary, as indicated by the polygon on the figures below.

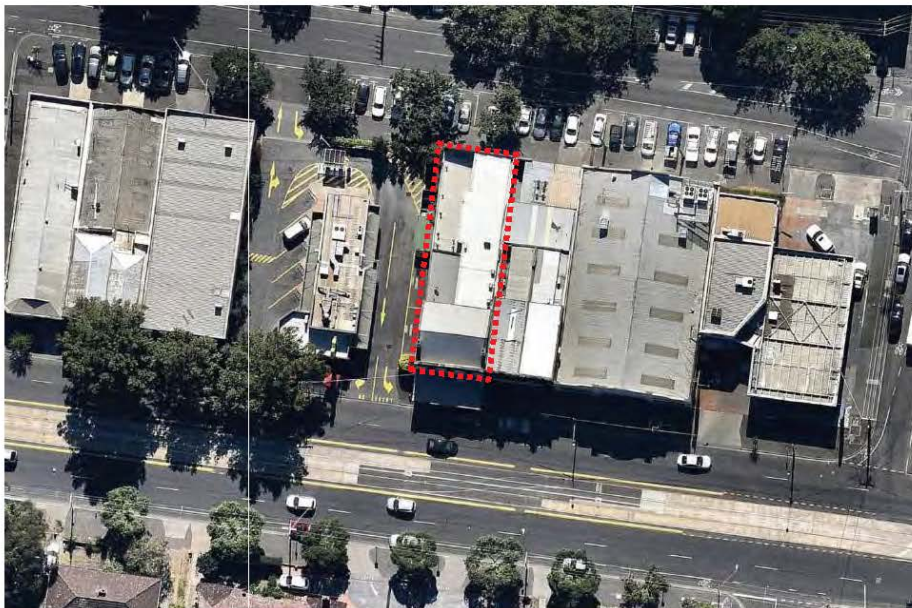


Figure 4. Aerial image showing recommended extent (adapted from nearmap)

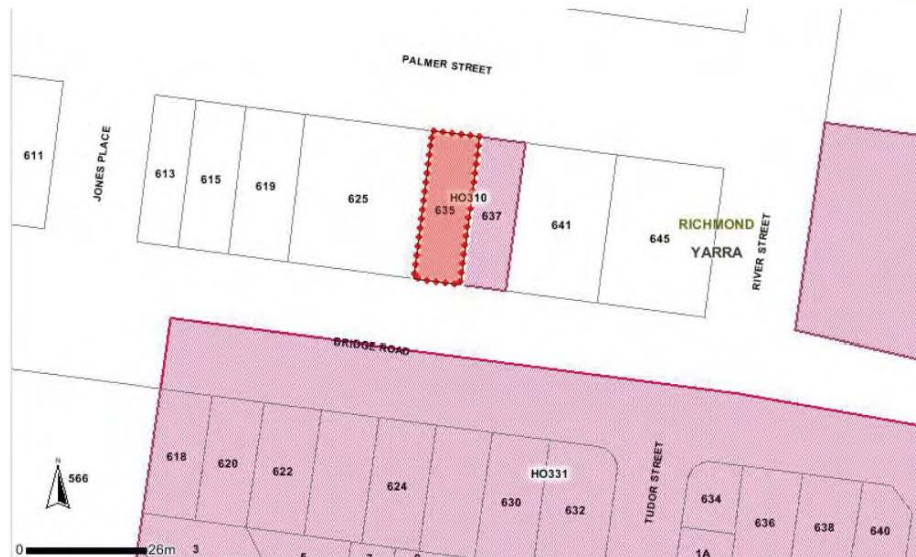


Figure 5. Recommended extent shaded in red (adapted from existing Heritage Overlay map)

Identified by:

Butler, Graeme and Associates (2007, updated 2013), *City of Yarra Review Of Heritage Overlay Areas*.

Appendix 8 (updated May 2017) identified the place as 'Individually Significant'.

O'Connor, John & Roslyn Coleman & Thurley O'Connor & Heather Wright & Australian Heritage Commission et al. (1985), *Richmond Conservation Study*.

The 1985 Study graded the place 'C' in the Building Index.

References:

Melbourne and Metropolitan Board of Works Detail Plan 1086, dated 1901.

Sands & McDougall Directories.

The Age.

**Attachment H – Heritage Citation: Royal Oak Hotel, 529-533 Bridge
Road, Richmond**

Heritage Citation

ROYAL OAK HOTEL

Address: 529-533 Bridge Road, Richmond

Prepared by: GJM Heritage

Date: April 2018

Place type: Hotel	Architect: Harry R Johnson
Grading: Individually Significant within HO310	Builder: Not known
Integrity: High	Construction Date: 1923
Recommendation: Remove from HO310 and include in a site specific Heritage Overlay	Extent of Overlay: To property title boundaries



Figure 1. 529-533 Bridge Road, Richmond (GJM Heritage, September 2017)

Statement of Significance

What is significant?

The Royal Oak Hotel, 529-533 Bridge Road, Richmond, built in 1923 to designs by architect Harry R Johnson.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing
- The building's high level of integrity to its original design.
- Façade parapet
- No front setbacks
- Rendered walls
- Horizontal lines formed by parapet, cornice and rows of windows
- Repetitive upper floor fenestration patterns
- Splayed corner with tower and articulated facades to both streets
- Balconies and recessed entrances
- Hipped roof forms with tiled roof cladding (including tower).

Later alterations and additions, including the single-storey building to the east, are not significant.

How is it significant?

The Royal Oak Hotel, 529-533 Bridge Road, Richmond is of local historical and architectural significance to the City of Yarra.

Why is it significant?

The Royal Oak Hotel, 529-533 Bridge Road, Richmond is of significance as a suburban hotel constructed at a prominent corner in Richmond. A hotel of this name has operated continuously on this site from the late 1860s (Criterion A).

The Royal Oak Hotel, 529-533 Bridge Road, Richmond is an intact and representative example of an Interwar hotel. It displays typical features of an unadorned Stripped Classical style, popular in the 1920s in Richmond and across Melbourne more broadly, including plain parapetted facades and simplified classical elements, and Art Deco influenced details (Criterion D).

Historical Themes

The place illustrates the following themes as outlined in the *City of Yarra Thematic History* (1998):

- 7.0 Leisure and Entertainment in the Suburbs
 - 7.1 Licensed Hotels and 'Sly Grog'

Place History

The Royal Oak Hotel first appeared in the Sands & McDougall Directories on the north side of Bridge Road (between Church and River streets) in 1867, with the publican listed as Robert Love. By 1869 the Royal Oak hotel was listed on the corner of Burnley Street, with Anton Fritsch as the publican (S&Mc). A fire damaged the upper storey of the earlier hotel in 1872, which was owned by Robert Love at this date (*Weekly Times*, 6 Apr 1872:7). The 1901 Melbourne and Metropolitan Board of Works (MMBW) Detail Plan (Figure 2) shows a footprint of the earlier building on the site, addressed as 527 Campbell Parade (now Bridge Road).

The Royal Oak Hotel was advertised for sale by auction in December 1917. The hotel, on the corner of Bridge Road and Burnley Street, was described as a two-storied brick stuccoed and weatherboard building with a frontage of approx 8.2 metres (27 feet) to Bridge Road, which indicates it was describing the earlier building on the site (the existing building has a frontage of approximately 14 metres) (*Argus*, 12 Dec 1917:3).



In December 1922, architect Harry R Johnson, of 9 Queen Street, Melbourne, invited tenders for the 'rebuilding' of the 'Royal Oak Hotel and shops' at Bridge Road, Richmond. Three months later, in March 1923, architect Harry R Johnson, now of 317 Collins Street, invited tenders 'for purchase and removal of the Royal Oak Hotel', a 2-storey brick building on the corner of Bridge Road and Burnley Street, Richmond (*Argus*, 10 Mar 1923:21). Following completion of the new hotel an advertisement was placed in the classifieds of *The Argus* in February 1924 for a 'seven or 10 years' lease' for the 'new building', the Royal Oak Hotel on Bridge Road (*Argus*, 6 Feb 1924:13). This indicates that the existing hotel was constructed in 1923, designed by architect Harry R Johnson.

Single-storey buildings were later constructed (date not confirmed) to the east of the 1923 hotel. The hotel was a popular live music venue in the 1970s and '80s, with acts such as Nick Cave (11 January 1980) and The Boys Next Door having a residency in the late 1970s (starting July 1978) (VHD). In 2018 the building continues to operate as the Royal Oak Hotel.

Harry R. Johnson, architect

Harry Raymond Johnson (1892-1954) was the son of architect Harry M. G. Johnson, and grandson of architect and surveyor George R. Johnson. Harry R. Johnson is known to have designed many flats and residences in St Kilda, hotels and one known municipal building. He was the Mayor of St Kilda in 1932-33 (AAI; Johnson & Tibbits, 2005).

Johnson's hotel commissions included the Waterside Hotel at 508-514 Flinders Street (1928) and the Royal Oak Hotel at 529-533 Bridge Road, Richmond (1923). Johnson undertook alterations and additions to the Nelson Hotel, 520 City Road, St Kilda, and Montague Hotel, 355 Park Street, St Kilda, both in 1927 (SKHS). He reportedly purchased the Council Club Hotel (former Court House Hotel) at 115 Cecil Street, South Melbourne in 1927 before carrying out extensive alterations and adding the third floor (Melbourne Walks).

Johnson designed the 1934-1936 remodeling of the Richmond Town Hall and Municipal Offices on Bridge Road, Richmond, in an Egyptian Revival style (O'Connor et al, 1985: building id form; RAIA). Known residential commissions included individual house and flats in the 1920s and 1930s. Examples are the 1922 additions to 'Chandos Court' at 17-25 Charnwood Crescent, St Kilda, the houses at 11 & 13 Mitford Street, St Kilda (1922), 'Rialto' flats at 26 Mitford Street, St Kilda (1933), his own residence 'Marlo' at 20 Mitford Street, St Kilda (1936), and 'Raeburn Flats' at 20 Charnwood Crescent, St Kilda (1938). He is also attributed with the design of the Gatwick Private Hotel at 34 Fitzroy Street, St Kilda (1938).

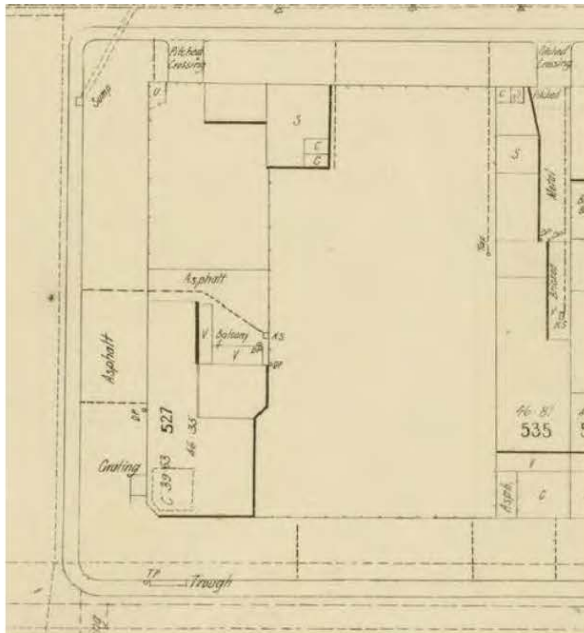


Figure 2. Footprint of the earlier building on the corner site in 1901 (MMBW DP1086, 1901).



Figure 3. The Royal Oak Hotel c1990s (City of Yarra Libraries digital collections: RBHS HS02621).

Physical Description

The Royal Oak Hotel, 529-533 Bridge Road, Richmond, is a two-storey hotel located on the prominent north-east corner of Bridge Road and Burnley Street. Built in 1923, it was designed by local architect Harry R. Johnson in the Interwar period in an unadorned Stripped Classical style with Arts and Crafts-influenced elements.

The brick (overpainted) building is of rectangular form with a short elevation to Bridge Road and a long elevation to Burnley Street, built to the south and west property boundaries. The shallow-pitched hipped roof is clad with tiles and is largely concealed behind a parapet on the three elevations, above a sparsely dentilled cornice to the two main elevations. Three simple square chimneys with rendered (overpainted) caps remain. To the two main elevations, a horizontal rendered belt course runs between the two floors, the first floor windows have rendered lintels and the ground floor has a rendered dado. A splayed corner is capped with a square tower supported by pairs of large Arts and Crafts-influenced decorative timber brackets, with a ceramic tiled name plate reading 'Royal Oak Hotel' (Figure 4). The two main elevations each have a defined entrance bay with a recessed entrance to the ground floor and projecting curved balcony to the first floor. This articulated bay is repeated at the north end of the Burnley Street elevation, with window to the first floor. The Burnley Street elevation also has a second curved balcony. Ground floor single and paired windows have diamond patterned glazing and the first floor has double hung sash windows with diamond patterned glazing to the upper sash.

A later single-storey section extends to the east of the original building, fronting Bridge Road.



Figure 4. Detail of the corner tower and tiled nameplate (September 2017).

Integrity

The building retains a high degree of integrity to the Interwar period in fabric, form and detail. While the building has undergone some minor alterations, including those described above, these do not diminish the ability to understand and appreciate the place as a fine example of an Interwar hotel.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (January 2018).

Criterion A: *Importance to the course or pattern of our cultural or natural history (historical significance).*

The Royal Oak Hotel, 529-533 Bridge Road, Richmond is of significance as a suburban hotel constructed at a prominent corner in Richmond. A hotel of this name has operated continuously on this site from the late 1860s.

Criterion D: *Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).*

The Royal Oak Hotel, 529-533 Bridge Road, Richmond is an intact and representative example of an Interwar hotel. It displays typical features of an unadorned Stripped Classical style, popular in the 1920s in Richmond and across Melbourne more broadly, including plain parapeted facades and simplified classical elements, and Art Deco influenced details.

Grading and Recommendations

It is recommended that the place be removed from HO310 and included in the Heritage Overlay of the Yarra Planning Scheme as an individually significant heritage place in a site-specific Heritage Overlay.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Yarra Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Outbuildings or Fences not exempt under Clause 43.01-3?	No
Prohibited Uses Permitted?	No
Incorporated Plan?	Incorporated Plan under No the provisions of clause 43.01 Heritage Overlay, Planning Permit Exemptions, July 2014
Aboriginal Heritage Place?	No

Extent of the recommended Heritage Overlay

To the property title boundary, as indicated by the polygon on the figures below.

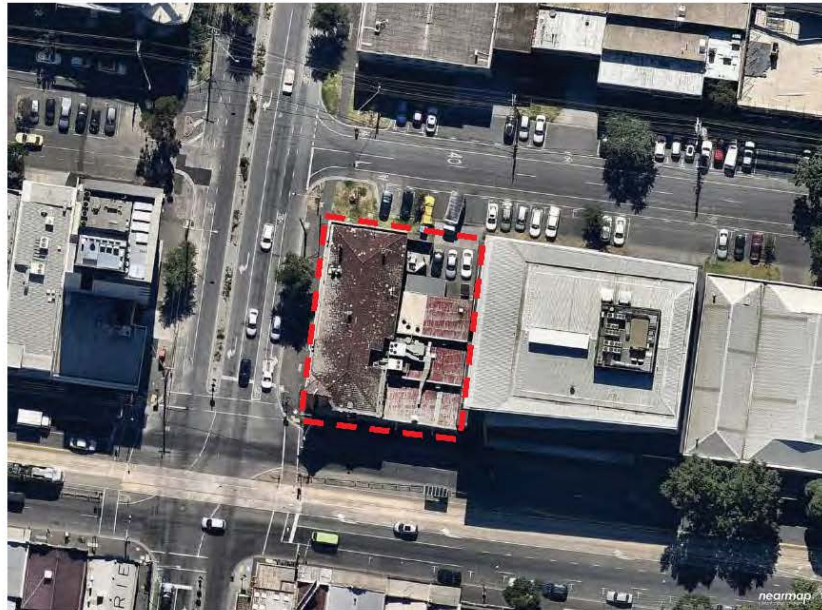


Figure 5. Aerial image showing recommended extent (adapted from nearmap)



Figure 6. Recommended extent shaded in red (adapted from existing Heritage Overlay map)

Identified by:

Butler, Graeme and Associates (2007, updated 2013), *City of Yarra Review Of Heritage Overlay Areas*.

Appendix 8 (updated May 2017) identified the place as 'Individually Significant'.

References:

Australian Architectural Index (AAI), copyright Miles Lewis, record nos. 18302, 2824.

City of Yarra Libraries digital collections, identifier as above.

Johnson, Peter & George Tibbits (2005) 'Johnson, George Raymond (1840–1898)' in *Australian Dictionary of Biography*, <<http://adb.anu.edu.au/>>, accessed 4 October 2017.

Melbourne and Metropolitan Board of Works Detail Plan No. 1086, dated 1901.

Melbourne Walks, 'A Brief History of Some Hotels', <<http://melbournewalks.com.au/wp-content/uploads/2014/04/SOUTH-MELBOURNE-HOTELS.pdf>> accessed 4 October 2017.

O'Connor, John & Roslyn Coleman & Thurley O'Connor & Heather Wright & Australian Heritage Commission et al. (1985), *Richmond Conservation Study*. Including Building Identification Forms for the place (accessed via Hermes database).

Royal Australian Institute of Architects (RAIA) Victoria Chapter, RSTCA UIA Nominations Project, <<https://dynamic.architecture.com.au/>>, accessed 4 October 2017.

Sands & McDougall Directories (S&Mc).

St Kilda Historical Society, 'Nelson Hotel 1867 – 1970' & 'Montague Hotel 1883 –', <<http://www.skhs.org.au/SKHShotels/>>, accessed 4 October 2017.

The Argus.



GJM Heritage

Victorian Heritage Database (VHD), record for '529-533 Bridge Rd' at 529-533 Bridge Road, RICHMOND, City of Yarra <<http://vhd.heritagecouncil.vic.gov.au/>> accessed October 2017.

**Attachment I – Heritage Citation: Whipps Terrace, 597-599 Bridge Road,
Richmond**

Heritage Citation

WHIPP'S TERRACE

Address: 597-599 Bridge Road, Richmond

Prepared by: GJM Heritage

Date: April 2018

Place type: Shops, residences	Architect: Not known
Grading: Individually Significant	Builder: Not known
Integrity: High	Construction Date: 1873
Recommendation: Remove from HO310 and include in a site specific Heritage Overlay	Extent of Overlay: To property title boundaries



Figure 1. 597-599 Bridge Road, Richmond (GJM Heritage, April 2018)

Statement of Significance

What is significant?

Whipps Terrace, a two-storey commercial premises at 597-599 Bridge Road, Richmond built in 1873.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing
- The building's high level of integrity to its original design.
- Façade parapet
- No setbacks
- Rendered walls
- Rendered façade detailing including window frames consoles and urns
- Strong horizontal lines formed by parapet line, cornices and string course
- Repetitive fenestration patterns at first floor level
- Symmetrical front façade
- Hipped roof form clad with slate, patterned with green scalloped rows.

How is it significant?

Whipps Terrace at 597-599 Bridge Road, Richmond is of local historical and architectural significance to the City of Yarra.

Why is it significant?

Whipps Terrace at 597-599 Bridge Road, Richmond is illustrative of the historical development that occurred along a major, early commercial thoroughfare in the City of Yarra in the Victorian period (Criterion A).

Whipps Terrace at 597-599 Bridge Road, Richmond is a fine, intact and representative example of a Victorian shop and residence. The terrace displays typical features of the Victorian architectural style popular in the 1870s in Richmond and across Melbourne more broadly, including a parapeted façade with repetitive upper floor fenestration, rendered facades and ground floor shopfronts (Criterion D).

Historical Themes

The place illustrates the following themes as outlined in the *City of Yarra Thematic History* (1998):

- 4.0 Developing local economy
 - 4.4 Smaller Retailers: Strip Shopping

Place History

The following is based on the history from the 2007 Graeme Butler & Associates (2007), *City of Yarra Review of Heritage Overlay Areas* (as viewed in the Yarra Heritage Database).

This site was a subdivision of Allotment 10, Crown Portion 32. William Morton sold the lot to Thomas Cheeseman in 1860, who sold to William Whipp in 1873 for £120. The nameplate on the parapet of the building bears the words 'WHIPPS TERRACE, 1873'. In 1873, William Whipp, bootmaker, was listed in the Sands & McDougall Directory on the south side of Bridge Road, between Type Street and Westbank Terrace, adjacent to Whipp's Hotel, run by James Bruce (S&Mc). However, in 1874, William Whipp, bootmaker was listed on the north side of Bridge Road, between Burnley and River streets (S&Mc); Whipp's Hotel remained in its location on the south side of Bridge Road. Whipp's Hotel was listed on the south side of Bridge Road, between Stawell Street and Westbank Terrace from as early as 1865.



In the 1870s Whipp was located within a row of shopkeepers and tradespersons at the east end of Bridge Road that included Gammon (a draper), Youllden (a butcher), Kershaw grocers, and JC Jones (a chemist). Whipp was still listed in the Sands & McDougall Directory on the north side of Bridge Road in 1875. However, the following year in 1876, Whipp was no longer listed as the occupant of the subject site (S&Mc). In 1877 Whipp, bootmaker, again occupied the property on the south side of Bridge Road, between Type Street and Westbank Terrace, adjacent to Whipp's Hotel. By 1879 the hotel was known as the Parade Hotel, still run by James Bruce (S&Mc). William Whipp had moved to South Melbourne by the 1880s.

An auction notice published in *The Argus* in 1879 (1 Mar 1879:3) described 'Whipp's Terrace' on Campbell Parade (now Bridge Road) as two brick shops 'containing shop and six rooms each, with cellar'. Also described was the two-storey brick dwelling to the rear, on the Palmer Street frontage 'containing four rooms, with outhouses. Producing a rental of £130 per annum.'

Whipp's shop & residence was unusually large in the 1870s for a single owner-occupier. Typically, if a shop row was created it would be justified financially to sell off or let out other shops and keep one for the developer. This may explain the listing in the *Government Gazette* for 1874 that Whipp's estate had been sequestered and that a general meeting of creditors for election of trustees and the other purposes set forth in the 53rd section of the Insolvency Statute was to be held at the offices of the Court of Insolvency, Collins Street, on Monday the 11th day of May. Whipp had borrowed from Morton to build, repaying some £850. Then he had mortgaged the property to Adam Stackpoole and another for £1050 but after a series of transactions lost the tenure to Joseph Heath. Heath's estate sold the property to Thomas Chaplin in 1886 who sold it John T Corry in 1895 for £748. Around 1900, Michael McNamara, news agent, occupied 597 Bridge Road and Mrs Sarah Bolton resided at 599 (residence section). After a mortgage to Robert Douglass, Emma Forshaw was the new owner of the building by 1907. The building was divided in 1952.

The 1901 Melbourne and Metropolitan Board of Works (MMBW) Detail Plan shows the extent of the pair of buildings at 597 and 599 (matching the two-storey sections in 2018), both with recessed entrances to the two shopfronts. No verandah to the shopfronts are evident. To the rear (north) of the building were water closets and a building on the rear boundary addressed as 90 Palmer Street.

Despite the financial woes of William, the Whipps were still active in the city during the Edwardian-era with James Whipp resident at 20 Greeves St, Fitzroy, and practicing boot making, and with him Ernest (a clicker) and Harold (a packer). The family were pioneers in Richmond, arriving there soon after the first subdivisions, and William Whipp was a long-term businessman in the area, albeit overreaching his financial limits in the lead up to the boom era of the late 19th century. Despite this failure he has left his name as part of the permanent fabric to an early commercial building in Richmond. As an early Richmond hotelier he was well-known locally such that his premises was used as a local landmark in commercial advertising.

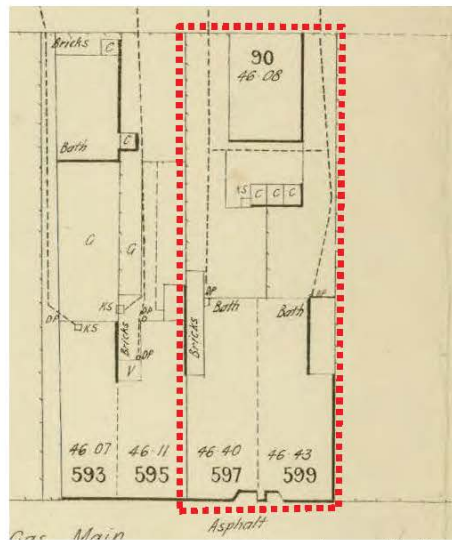


Figure 2. The 1901 MMBW plan shows the pair of buildings on the site (MMBW DP 1086).

Physical Description

The commercial premises, Whipps Terrace at 597-599 Bridge Road, Richmond is situated on the north side of Bridge Road between Burnley Street and the Yarra River. Built in 1873, the building displays characteristics typical of the Victorian period.

Whipps Terrace is a two-storey rendered shop and residence, of double width, with a rendered (overpainted) facade that has incised rules lines to simulate stone. Acornice moulding runs between two consoles, below a parapet with four urns and a central pediment that contains a nameplate 'Whipps Terrace, 1873'. Four upper level windows have rendered frames (with later security bars). A single rendered chimney has a bracketed cornice and the hipped roof is clad with slate, patterned with green scalloped rows. The reproduction cast-iron framed verandah to the facade has a convex corrugated iron clad roof.

The shopfronts have been replaced. Additions have been made to the rear of both properties.

Integrity

The building retains a high degree of integrity to its Victorian period of construction in fabric, form and detail. While the building has undergone some alterations and additions, these do not diminish the ability to understand and appreciate the place as a fine example of a Victorian building.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (January 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history (historical significance).

Whipps Terrace at 597-599 Bridge Road, Richmond is illustrative of the historical development that occurred along a major, early commercial thoroughfare in the City of Yarra in the Victorian period.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).

Whipps Terrace at 597-599 Bridge Road, Richmond is a fine, intact and representative example of a Victorian shop and residence. The terrace displays typical features of the Victorian architectural style popular in the 1870s in Richmond and across Melbourne more broadly, including a parapeted façade with repetitive upper floor fenestration, rendered facades and ground floor shopfronts.

Grading and Recommendations

It is recommended that the place be removed from HO310 and included in the Heritage Overlay of the Yarra Planning Scheme as an individually significant heritage place in a site-specific Heritage Overlay.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Yarra Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Outbuildings or Fences not exempt under Clause 43.01-3?	No
Prohibited Uses Permitted?	No
Incorporated Plan?	Incorporated Plan under No the provisions of clause 43.01 Heritage Overlay, Planning Permit Exemptions, July 2014
Aboriginal Heritage Place?	No

Extent of the recommended Heritage Overlay

To the property title boundary, as indicated by the polygon on the figures below.

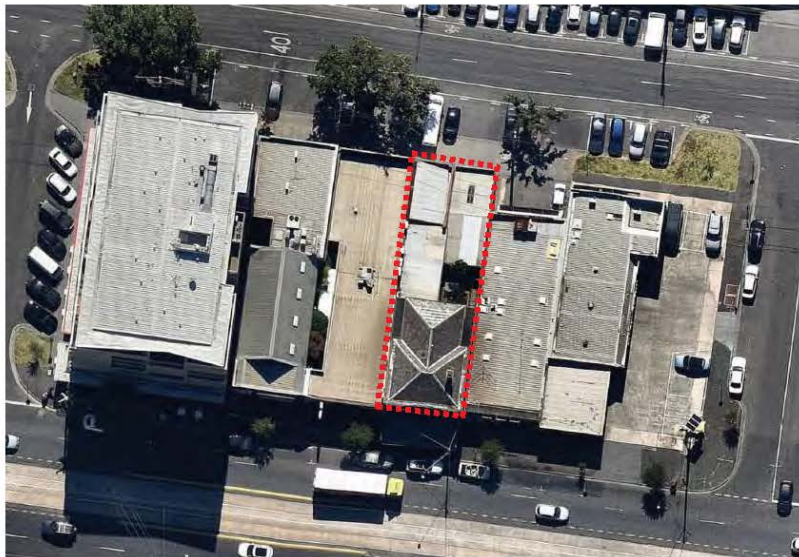


Figure 3. Aerial image showing recommended extent (adapted from nearmap)

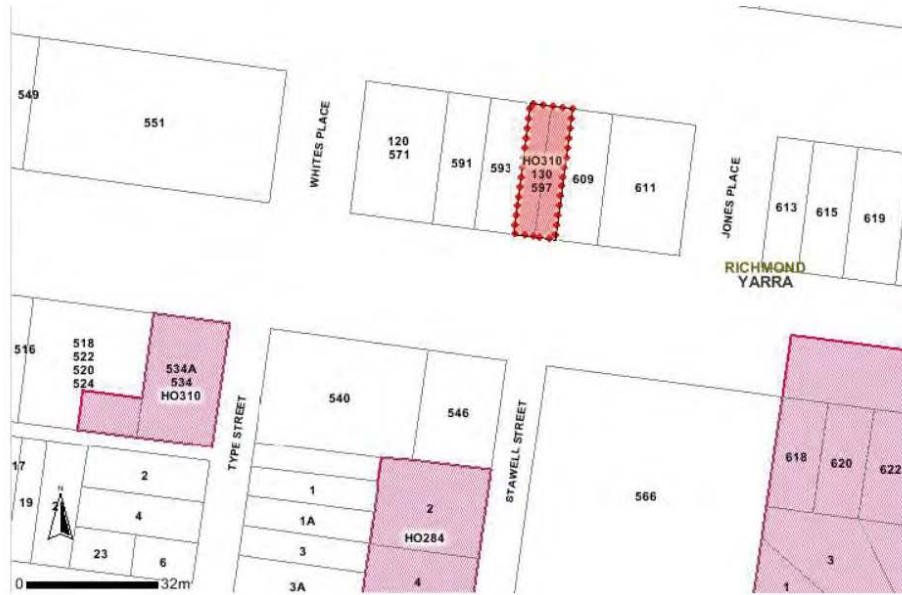


Figure 4. Recommended extent shaded in red (adapted from existing Heritage Overlay map)

Identified by:

Butler, Graeme and Associates (2007, updated 2013), *City of Yarra Review Of Heritage Overlay Areas*.

Appendix 8 (updated May 2017) identified the place as 'Individually Significant'.

O'Connor, John & Roslyn Coleman & Thurley O'Connor & Heather Wright & Australian Heritage Commission et al. (1985), *Richmond Conservation Study*.

The 1985 Study graded the places 'C' in the Building Index.

References:

Graeme Butler & Associates (2007), *City of Yarra Review of Heritage Overlay Areas*, Appendix 8 and citation as viewed in the Yarra Heritage Database.

Melbourne and Metropolitan Board of Works (MMBW) Detail Plan, as cited.

O'Connor, John & Roslyn Coleman & Thurley O'Connor & Heather Wright & Australian Heritage Commission et al. (1985), *Richmond Conservation Study*.

Sands & McDougall Directories (S&Mc).

The Argus.

**Attachment J – Heritage Citation: Flour Hill & Grain Store Complex
(Former), 534-534A Bridge Road, Richmond**

**B.3 Flour mill & grain store complex (former), 518-24, 534 & 534A
Bridge Road, Richmond**



Bridge Road elevation



Type Street elevation

History

Thematic context

This place is associated with the following themes in the *City of Yarra Heritage Review Thematic History* (1998):

4.0 Developing local economies: 4.2 Secondary industry

Development of Richmond

In 1839, two years after the first land sales in the township reserve of Melbourne, Crown allotments were auctioned in Richmond, Fitzroy and Collingwood and further sales were held in 1845. These allotments were mainly intended for development as small farms, however, many of the purchases in Richmond were speculative for allotments that were quickly subdivided and resold. Reserves were created for police purposes, and for churches, recreation, produce market, schools and a mechanics' institute (O'Connor, 1985:9-10).

In 1846 Richmond's population was 402, however, by 1857 it had reached over 9,000 as the influx of immigrants in the wake of the gold rush created a demand for housing. Major residential subdivisions occurred in the north and west and retail and the first commercial centres emerged along Bridge Road, Church Street and Swan Street (O'Connor, 1985:10-11).

Richmond was made a separate municipality in 1855. With separation from Melbourne, Richmond, along with Collingwood, became exempt from the *Melbourne Building Act* of 1849, which controlled building and subdivision standards. Developers were free to plan streets, reduce frontages and build whatever they liked and this encouraged the building of single houses constructed of wood, or terraces of wood or brick with no separating walls between them (Allom Lovell 1998:16-17). In Richmond, this persisted until 1886 when the municipality finally adopted building regulations that (amongst other things) placed restrictions on the construction of wooden buildings (including a complete prohibition in some streets), and set out minimum standards including a requirement for houses built together to have an 'eight and a half-inch brick party wall' (*The Argus*, 12 June 1886, p.10).

Closer development of Richmond was encouraged by improvements to transport links to Melbourne, beginning with the railway, which was extended to Brighton via Richmond by 1859 (and to Hawthorn via Burnley by 1861), and by horse drawn omnibuses (replaced in 1885 by Melbourne's first cable tram) along Bridge Road (O'Connor, 1985:11-12).

By 1860 many of the existing major streets had been laid out but most development, with the exception of the Yarraberg area to the northeast, was concentrated in the western half of Richmond, near to Melbourne town and the railway station. The factors influencing the location of the earliest development appear to have been a preference for high ground and a position on government roads, especially at crossroads, and a clear pattern had emerged with large suburban villas and gardens of senior government officials and wealthy merchants and bankers on the hill, and workers cottages on small blocks to the north, south and east, often in areas of relatively intense development isolated to individual streets (O'Connor, 1985:11-12).

As with Melbourne and its other suburbs, Richmond experienced a development boom in the 1870s and 1880s. Population growth encouraged by the development of industry resulted in a demand for housing: the relatively undeveloped eastern half of the town was partly subdivided by 1874 and by 1888 most subdivision patterns were complete, the major exception being Cole's Paddock on Victoria Street. Richmond was proclaimed a town in 1872 and a city in 1882. Its population in 1880 was 23,395 and in 1890 it was 38,797. However, the 1890s depression brought a halt to development for almost a decade (O'Connor, 1985:12-13).

Secondary industry and flour mills in the City of Yarra

Initially, manufacturing in Melbourne remained concentrated in the city; however, by 1860 Abbotsford and Richmond began to attract more small-scale industries, particularly on the lowlands close to the Yarra River. According to Allom Lovell (1998:37):

With the opportunity for an advantageous position on the banks of the Yarra River, the major of these were noxious trades ... which relied on the river for fresh water and as a dumping ground for unsavoury and unsanitary wastes. This practice was permitted by local politicians and businessmen who believed it would encourage local business.

The stand to attract more industries was supported by the views of the strong protectionist element, which dictated that manufacturing would be an important part of the urban development. The influence of manufacturers in local government far outweighed their numerical representation on Council, and was related to their status as employers, and providers of prosperity.

Unemployment was a major issue during the 1860s, and in 1862 the Richmond Council sought the repeal of the *Yarra Pollution Prevention Act* of 1855 (which forbade fellmongeries where fur or wool was removed from hides, starch and glue factories, and boiling-down works discharging waste into the Yarra River upstream from Melbourne) so that the river frontages could be opened to manufacturing. In 1865 a quarry, stone crushing mill, fellmongery and abattoir had been established on the river flats in Burnley, and by the 1870s a panoramic view of Richmond carried the caption 'Industry in Arcady' (O'Connor, 1985:12; Allom Lovell, 1998:37).

By 1885 the importance of Richmond as a centre of industry in Melbourne was confirmed by the presence of no fewer than 52 industrial establishments, many of which were associated with tanning and brewing (O'Connor, 1985:12; Allom Lovell, 1998:37; Ward 2002).

Flour mills were another early industry in the City of Yarra. In Fitzroy, no fewer than three flour mills had been established in Brunswick Street by the 1860s, while in 1866 Joseph Cadle established what was probably the first mill in Richmond in Bridge Road at the corner of Type Street. Some of the Brunswick Street mills were later taken over by W.S. Kimpton. The firm of W.S. Kimpton, established in 1875, was by the 1930s the largest in Victoria (Allom Lovell 1998:39).

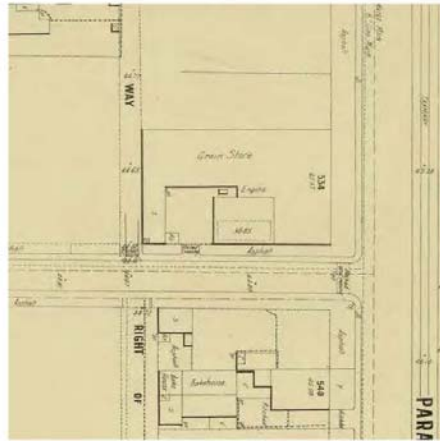
Later flour mills included D. Stratton & Co. in Abbotsford, George & John Blyth (Brunswick Street, Fitzroy), and Alex Gillespie who established his operation on Swan Street, Burnley in the late 1800s. Gillespie's Mill closed in 1969 (Allom Lovell 1998:40).

Place history

This site, at the west corner of Bridge Road and Type Street, is where Joseph Cadle established his flour mill in 1866. Cadle, who was married to Adelaide Hurlstone, the daughter of Brighton miller Peter Hurlstone, sold the business in 1867 (Allom Lovell 1998:39). There were various owners until John A. Davies in about 1875 and he remained owner until about 1900, undertaking significant improvements to the mill. In 1885 the building was described as a wooden mill with a valuation of 76 pounds, and that year a fire destroyed sheds at the rear of the flour mill. The mill at the time was described as an 'old and dilapidated one', but the building and the contents was insured by Mr. Davies (*The Argus*, 8 January 1885, p.7). This may have prompted Mr. Davies to effect improvements as by 1890-91 the complex was described as brick and wood with an increased valuation of 100 pounds (RB, Central/East Ward, 1885, 1890-91:19; SM).

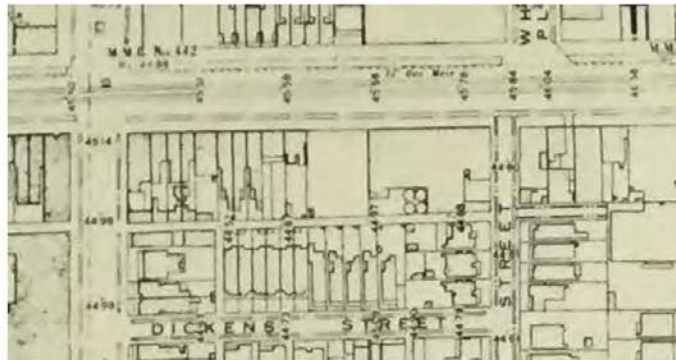
The extent of the mill complex is shown on the 1902 MMBW plan (see below). The complex at the time included a stables (marked by 'S' on the plan) and grain store, and was built up the front, side and rear boundaries around a courtyard opening off Type Street.

There were further changes of ownership in the twentieth century. In 1905 Bilton & Taylor were in charge and by the 1920s it was run by Tomlins, Simmie & Co.. Thos. Jackett & Son became owners in 1936, and the company (later Howard Jackett & Co.) still owned the site in the 1970s (*The Argus*, 15 September 1936, p.15; RB, East Ward, 1970-71:19).



MMBW Detail Plan No.1087 (detail) showing the complex in 1902, Source: SLV

The valuation of the property steadily increased during the twentieth century, indicating the on-going upgrading of building and plant. It appears that the reinforced concrete silos and other additions were constructed c.1941, which is indicated by a significant increase in valuation of the property between 1941 and 1942 (RB, East Ward, 1940-41:20, 1941-42:21). The mill and additions can be seen in a 1945 aerial photograph and a c.1945 MMBW plan, and are also shown as 'existing' on building plans prepared in 1946 (MU, PROV).



Detail of MMBW plan no.41 showing outline of complex including silos c.1945. Source: RBHS collection

After the conclusion of World War II Thos. Jackett & Co. began planning for alterations and additions to the mill and architect, Frederick Moresby, prepared several different schemes for the company between 1946 and 1948 (PROV). The plans for the final scheme, which were approved in 1948, included new staff amenities, a machinery room, a 'silk' room, and machinery and motor rooms in an extension at the rear (south) side of the nineteenth century Mill building, and a new building on the adjoining site to the west, which contained a 'bulk bagged flour store'. Also included were first floor additions containing flour and wheat bins (PROV). The completion of the alterations and additions was reflected in a major increase in the valuation of the original mill complex in 1951-52 to £1465, while the new store on the adjoining property was listed for the first time in the same year (RB, East Ward, 1951-52:20). This extended complex is shown in a c.1952 image (see below).



Exterior, Howard Jackett & Co., Flour Millers, 534 Bridge Road, Richmond ca.1952. Source: Harold Paynting Collection, State Library of Victoria

However, it appears that Howard Jackett & Co. only used the new complex for about three years. In 1954 Howard Jackett & Co. announced that it was prepared to move its flour milling plant from Richmond to Swan Hill (*Riverine Herald*, 26 June 1954, p.2) and in September 1955 the company applied for permission to convert the mill complex at 534 Bridge Road to a showroom and store to be occupied by Clark Rubber Matting Co., which was listed as the tenant by 1956. At the same time, Vealls Pty Ltd, an electrical retailer, acquired the adjoining bulk flour store and silo complex at 516-524 Bridge Road for use as an office, store and showroom. It appears that the silos were put to use as a support for high level signage (PROV, RB, East Ward, 1954-55:19-20, 1956-57:19).



Newspaper cutting (undated, but c.1970s) showing Vealls. Source: RBHS collection

Sources

- Allom Lovell & Associates, *City of Yarra Heritage Review. Thematic History*, July 1998
- Azudin, N. 'The Milling Process' [http://www.muehlenchemie.de/downloads-future-of-flour/FoF_Kap_03.pdf] viewed 10 October 2014
- John & Thurley O'Connor Architects et al, *Richmond Conservation Study*, 1985
- Laucke website [laucke.com.au] viewed 10 October 2014
- Lovell Chen, *Richmond Maltings, Gough Street, Richmond Conservation Management Plan*, 2005
- Melbourne and Metropolitan Board of Works (MMBW) Detail Plan no. 1087 (dated 1902)
- Public Records Office of Victoria (PROV) VPRS 16189, P2, Unit 246
- Richmond & Buxley Historical Society (RBHS) collection, Melbourne & Metropolitan Board of Works Plan No.41
- Richmond rate books (RB)
- Sands & McDougall Melbourne Directories (SM) – 1870-1970
- Victorian Heritage Register (VHR)
- Ward, Andrew et al, *Hard yakka. 100 years of Richmond industry*, Yarra City Council, 2002
- Watson, Catherine, *Copping it sweet. Shared memories of Richmond*, City of Richmond Caringbush Regional Library, 1988

Description

The former flour mill and grain store in Bridge Road comprises a complex of brick and timber-framed iron clad buildings built in stages from the late nineteenth to the mid-twentieth centuries with an associated silo structure. The buildings are all built up to the frontages to Bridge Road, Type Street and the rear laneway, and vary in height from one to three stories. The three-storey building adjacent to Type Street, and immediately to the north of the vehicle crossing, dates from the late nineteenth century. It has a hip and gable roof, and double hung two pane sash windows with segmental arched heads and brick cills. Some of these windows (including a half-circular window at first floor level near the centre of the wall) have been closed up. This was described on a 1948 plan as the 'Mill building' and probably contained the milling equipment used to process the grain. At rear (south end) of this building is the 1948 skillion roof addition end, which originally contained staff amenities, motor and machinery rooms and a 'silk room' (PROV). To the west of this building and located toward the centre of the site is a building clad in corrugated iron with a skillion roof, with a tower element, which may have contained the flour and wheat bins as shown on the 1948 plans. Adjacent to the laneway is a mid-twentieth century parapeted brick building of one and two storeys that extends from Type Street to the silos. This was described on a 1948 plan as the 'Bag cleaning and store' (PROV). Adjacent to this the silo structure comprises four cylindrical reinforced concrete silos arranged in a square.

Alterations to the building post 1952 include the façade to Bridge Road and part of the Type Street elevation.

Comparative analysis

Industrial complexes dating from the nineteenth century typically have a range of buildings built at different times that demonstrate the on-going changes and improvement as the building expanded and processes of manufacturing or storing goods were updated. A good example of this is the Richmond Maltings complex in Gough Street, Richmond, which is listed on the Victorian Heritage Register (VHR H2050, HO350). This site was developed and used from the mid-nineteenth century and buildings and structures surviving today date from the 1880s to the 1970s.

This is the only known surviving flour mill complex in Richmond to survive. The Swan Street flour mill complex was closed in 1969 and the buildings including the silos have been demolished. Elsewhere in the City of Yarra it appears that none of the Fitzroy flour mills mentioned in the thematic environmental history have survived. The only other known flour mill is the Dights Mill complex in Abbotsford (VHR H1522, HO48). This was mostly destroyed by fire in the early twentieth century and comprises archaeological remains including the head race, turbine house foundations, tail race and basalt retaining walls, but no buildings (Hemes 102806).

As a building type, the design, form and scale of flour mills evolved during the nineteenth century as technology of milling was improved. The process of milling by which wheat is ground into flour involves separating the wheat into bran, wheat-germ, and endosperm. Endosperm is the material that is reduced to a uniform particle size to make flour. This process includes five key stages: stoning, cleaning, conditioning, grinding or gristing and milling (Azudin).

The first methods of grinding involved the simple practice of crushing grain between stones; this process was improved by the Romans who invented the quern, an arrangement of two millstones with the upper one being turned by people or animals. This system was evolved over two thousand years to become more efficient, and the motive power changed to water and wind, and then to combustion engines. Then, during the 19th century, the development of metal roller grinding machinery in Hungary revolutionised the milling industry by improving the ability to reliably and efficiently produce high quality white flour (Laucke website).

The new technology of roller grinding was introduced to Victoria by the late nineteenth century. The first complete roller plant in Australia was installed in David Gibson's mill in Leicester Street Carlton, and in 1881 a roller plant was installed at Lawrence Kickham's mill in Nish Street, Echuca, which is five storeys in height and is still extant today. According to Heritage Victoria:

The advent of roller mills using the progressive reduction system (or 'high milling') not only produced finer quality flour but also led to improved mechanisation and automation. The Echuca Mill demonstrates the changing technological requirements of roller plants by its size, shape and configuration. Its height of five stories reflects the need for roller mills to have more floors to efficiently organise all the processes and design of the structure demonstrates the need for greater numbers of machines in more flexible configurations over the entire floor area. (VHR H1072)

The Bridge Road mill was rebuilt c.1890 and was powered by a coal-fired combustion engine (*Australian Miller*, May 1894:13). What appears to be the surviving three storey brick mill adjacent to Type Street (with an adjoining corrugated iron-clad tower that may have housed the flour and wheat bins) is also an example of the multi-level flour mill buildings of the late nineteenth century.

As a building type, flour mills are also similar to malt houses in that the storage of the raw materials used (wheat for grain mills, barley or malt for maltings) was an important requirement. In the era before bulk handling of grain was introduced in Australia, barley and wheat was delivered in bags or sacks, and was often stored on the upper levels of malt houses or in separate buildings. Bulk handling of wheat in Victoria began in the late 1930s following the establishment the Grain Elevators Board (GEB) and by the 1940s a network of reinforced concrete grain silos had been built throughout country Victoria along the main rail lines through the wheat growing areas (Lovell Chen 2005:63). However, some grain silos were built prior to this: the earliest known examples in Victoria are the concrete silos built in 1907-08 at Rupanyup by John Monash (later Sir John) for flour miller George Frayne (VHR, H1011).

Bulk handling of barley, on the other hand, was not widely introduced until a decade later. The Australian Barley Board was established in 1939 and began experimenting with bulk handling in the 1958; however, as late as 1962-63, the Victorian barley crop was being handled in bags (Lovell Chen 2005:63-64). Despite this, some individual companies were constructing large silos for on-site storage of barley as early as the 1920s. Barrett Bros & Burston Co. built silos

in Adelaide in 1920-21, in Perth in 1935, and at their maltings in Abinger and Lyndhurst streets in Richmond by 1937. The first concrete silos at the Richmond Maltings complex (mentioned above) were constructed in 1959 and the very large silos that are now a landmark (with the prominent 'Nylex' sign) were completed by 1962.

Accordingly, the surviving malt house complexes in Richmond (and elsewhere in the City of Yarra) are usually distinguished by concrete silos. The examples in Richmond include:

Malt house (former) Abinger & Lyndhurst streets, Richmond. Constructed by 1937. Now altered and extended as part of the c.1990s conversion to residential apartments. Proposed for inclusion in for the heritage overlay as an individual place as part of Amendment C157.

Richmond Maltings, Gough Street, Constructed in 1959 and 1962. Included on the VHR and heritage overlay.

Bumley Maltings, Constructed c.1960s Part of a complex that includes late nineteenth and early twentieth century buildings. Not included in the HO.

The silos at this site appear to be the second oldest in Richmond, constructed shortly after the ones in Abinger & Lyndhurst streets, and prior to those on the Richmond Maltings site. They are associated with the change to bulk handling of grain, which was being progressively introduced by the GEB in the late 1930s and early 1940s. Together with the other surviving buildings they demonstrate the use and development as a flour mill for over 100 years.

Assessment against Criteria

Criterion A:

Importance to the course, or pattern, of our cultural or natural history.

This former Flour Mill & Grain Store complex is associated with the development of secondary industry in Richmond. It demonstrates the diverse range of manufacturing carried out including flour milling, which remained an important industry in Richmond until the 1950s.

Criterion B:

Possession of uncommon, rare or endangered aspects of our cultural or natural history.

This former Flour Mill & Grain Store complex is a rare surviving example of a flour mill in the City of Yarra. Most of the other flour mills in the City of Yarra have been demolished, while archaeological remains are all that survive of Dights Mill in Abbotsford.

Criterion C:

Potential to yield information that will contribute to an understanding of our cultural or natural history.

Not applicable.

Criterion D:

Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.

This former Flour Mill & Grain Store complex is representative of the industrial complexes of the late nineteenth and early twentieth centuries, with a range of buildings that demonstrate the continuous use and development of the site as a flour mill over 100 years. The flour mill use is demonstrated by the form and scale of the three storey building adjacent to Type Street with the associated corrugated iron clad tower, and by the reinforced concrete silos, which demonstrate the change to bulk handling of grain by the early 1940s.

Criterion E:

Importance in exhibiting particular aesthetic characteristics.

The reinforced concrete silo is a landmark within the local area.

Criterion F:

Importance in demonstrating a high degree of creative or technical achievement at a particular period.

Not applicable.

Criterion G:

Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions.

Not applicable.

Criterion H:

Special association with the life or works of a person, or group of persons, of importance in our history.

Not applicable.

Statement of significance

What is significant?

The former Flour Mill & Grain Store complex, to the extent of the fabric dating from c.1870 to c.1951 associated with the use as a flour mill (including the c.1951 alterations and additions designed by architect, Frederick Moresby), at 534 & 534A Bridge Road, and the silo structure constructed c.1941 situated on part of 518-24 Bridge Road in Richmond is significant. It comprises a complex of brick and timber-framed iron clad buildings built in stages from the late nineteenth to the mid-twentieth centuries with an associated silo structure. The buildings are all built up to the frontages to Bridge Road, Type Street and the rear laneway, and vary in height from one to three stories. The three-storey building adjacent to Type Street, and immediately to the north of the vehicle crossing, dates from the late nineteenth century. It has a hip and gable roof, and double hung two pane sash windows with segmental arched heads and brick cills. Some of these windows (including a half-circular window at first floor level near the centre of the wall) have been closed up. This was described on a 1948 plan as the 'Mill building' and probably contained the milling equipment used to process the grain. At rear (south end) of this building is the 1948 skillion roof addition end, which originally contained staff amenities, motor and machinery rooms and a 'silk room'. To the west of this building and located toward the centre of the site is a building clad in corrugated iron with a skillion roof, with a tower element, which may have contained the flour and wheat bins as shown on the 1948 plans. Adjacent to the laneway is a mid-twentieth century parapeted brick building of one and two storeys that extends from Type Street to the silos. This was described on a 1948 plan as the 'Bag cleaning and store'. Adjacent to this the silo structure comprises four cylindrical reinforced concrete silos arranged in a square.

Alterations and additions made, and new buildings constructed after the use by the building as a flour mill ceased (1955 onwards) are not significant.

How is it significant?

The former Flour Mill & Grain Store complex at 518-24, 534 & 534A Bridge Road, Richmond is of local historic, architectural and aesthetic significance to the City of Yarra.

Why is it significant?

The former Flour Mill & Grain Store complex is associated with the development of secondary industry in Richmond. It demonstrates the diverse range of manufacturing carried out including flour milling, which remained an important industry in Richmond until the 1950s. (Criterion A)

The former Flour Mill & Grain Store complex is representative of the industrial complexes of the late nineteenth and early twentieth centuries, with a range of buildings that demonstrate the continuous use and development of the site as a flour mill over 100 years. The flour mill use is demonstrated by the form and scale of the three storey building adjacent to Type Street with the associated corrugated iron clad tower, and by the reinforced concrete silos, which demonstrate the change to bulk handling of grain by the early 1940s. The significance of the complex is enhanced by its rarity values, as surviving example of a nineteenth century flour mill in the City of Yarra. Most of the other flour mills in the City of Yarra have been

demolished, while archaeological remains are all that survive of Dights Mill in Abbotsford. (Criteria B & D)

The reinforced concrete silo is significant as a landmark within the local area. (Criterion E)

Statutory recommendations

Recommended for inclusion in the Schedule to the Heritage Overlay of the Yarra Planning Scheme as an Individually Significant place within an extension to the HO310 Bridge Road Precinct, as shown on HO extent plan below.

No specific HO controls are required for the Schedule to the Heritage Overlay (Clause 43.01) in the Yarra Planning Scheme.



**Attachment K – Heritage Citation: City Hall, 325-333 Bridge Road,
Richmond**

Heritage Citation

CITY HALL, RICHMOND MUNICIPAL OFFICES & FORMER COURT HOUSE (RICHMOND TOWN HALL)

Address: 325-333 Bridge Road, Richmond

Prepared by: GJM Heritage

Date: May 2018

Place type: Municipal offices, town hall, court house	Architect: Charles Vickers (1869), Harry R. Johnson (1934)
Grading: Individually Significant	Builder: Lydyard Carrell (1869-71), Reinforced Concrete and Monier Pipe Construction Company (1934-36)
Integrity: High	Construction Date: 1869-71, 1909, 1934-36
Recommendation: Remove from HO310 and include in a site specific Heritage Overlay with defined internal controls	Extent of Overlay: To property title boundaries



Figure 1. 325-333 Bridge Road, Richmond (GJM Heritage, February 2018)

Statement of Significance

What is significant?

City Hall at 325-333 Bridge Road, Richmond, built in 1869-71 to designs by architect Charles Vickers, and additions and alterations in 1934-36 to designs by Harry R Johnson.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original and 1934-36 external form, materials and detailing
- Highly intact internal detailing of the Ticket Office in the foyer and the Main Hall, reflecting both phases of development.
- The building's high level of integrity to its 1934-36 form.

Any alterations and additions made after 1936 are not significant.

How is it significant?

City Hall at 325-333 Bridge Road, Richmond is of local historical and architectural significance to the City of Yarra.

Why is it significant?

City Hall at 325-333 Bridge Road, Richmond is of historical significance as the centre of local government services in Richmond since 1869. Both the original 1869 building and the symbolic and monumental refacing of the building in 1934 to coincide with the centenary of Victoria, represent the civic aspirations of the local government (Criterion A).

City Hall at 325-333 Bridge Road, Richmond is a distinctive, intact and representative example of a municipal town hall building. It displays typical features of two major stages of construction - the east and west facades show the original Victorian Italianate style, including rows of simple round-headed brick arched openings, bracketed eaves and bichromatic brickwork and the front façade and tower show the severe and monumental Moderne style, including a variety of both Egyptian-influenced elements and Art Deco motifs (Criterion D).

The imposing rendered main façade of City Hall at 325-333 Bridge Road, Richmond, with prominent clock tower and front porticoes, presents a landmark form to Bridge Road and surrounding areas. Egyptian-influenced elements and Art Deco motifs add to the visual qualities of the exterior of the place. The Ticket Office in the foyer and the Main Hall retain decorative elements that clearly reflect both important phases of development of the place (Criterion E).

Historical Themes

The place illustrates the following themes as outlined in the *City of Yarra Thematic History (1998)*:

- 5.0 Local Council and Council Services
 - 5.2 Civic Buildings

Place History

Richmond became a separate municipality from Melbourne in 1855, was proclaimed a Town in 1872 and a City in 1882. The Parish Plan shows that one acre on the north side of Bridge Road was granted by the Crown for the Richmond Town Hall in 1859 (Figure 2); the reserved lot had an 82 metre (270 foot) frontage to Bridge Road (the current 319-333 Bridge Road). On the north-west corner of Gleadell Street a smaller lot was reserved for a post office. In 1859, the Sands & McDougall Directory notes the presence of a 'court house and police station' west of a weighbridge on Bridge Road. In the 1860s, the Sands & McDougall Directories list a 'police court and council chambers' east of Church Street (west of a weighbridge), suggesting an earlier building on the site.

The Richmond Town Hall was built between 1869 and 1871, designed by Charles Vickers. The design was submitted in response to a competition judged by the Inspector-General of Public Works, William Wardell (Allom Lovell & Assoc., 1998:53, 56). This description appeared in the *Richmond Australian*, on 20 March 1869, following the decision:

The new buildings comprise Town Hall and Municipal Offices, Police Court, Post and Telegraph Offices, Savings Bank, and Public Library, including a clock tower 95 feet [28.5 metres] high ... The centre portion comprises the Municipal Offices, with public library over ... Connected with the Town Hall is a refreshment room and retiring rooms for ladies and gentlemen, and also an enclosed court or annexe ... The wing nearest Church Street will contain the Post and Telegraph Offices and Savings Bank. The corresponding wing on the east will comprise the Police Court. The great and governing principle in forming the plan is complete separation of the different departments, which not only allows of more ventilation, but also allows the opportunity of erecting the building by portions. The sum only of £7,000 being available the design is necessarily plain, and depends more upon outline and form than extraneous ornament. The principal part will be of brick, varied and relieved by dressings, mouldings, etc. of white bricks.

The Town Hall – comprising the municipal offices and court house – was constructed by builder Lydyard Carrell of Emerald Hill between 1869-1871. The separate post office and police station buildings at either side of the town hall were added in 1871 (Allom Lovell & Assoc., 1998:53; Butler 2007:29). Clerk of Court’s rooms were added in 1909 at the side of the court room (O’Connor et al, 1985: building ID form).



Figure 2. The reserved land for the Town Hall and right, the post office (Parish of Jika Jika Plan).

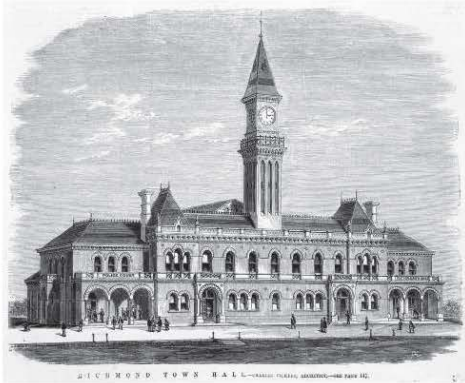


Figure 3. An 1870 illustration of the design by Charles Vickers. At the left of the building was labeled the police court (court house) and on the right a post and telegraph office (SLV image IAN13/08/70/149, dated 13 August 1870).



Figure 4. An early photo of the Town Hall, dated 1870-1875 (State Library of NSW, Call No. ON 4 Box 63 No 521, dated 1870-1875).



Figure 4. An early photo of the Town Hall, prior to the 1871 construction of the police station to the west (State Library of NSW, Call No. ON 4 Box 65 No 571, dated 1870-1875).



Figure 7. A photo of the complex, dated 1890. At the far end is the original post office (SLV Image no. H11769).

The 1898 Melbourne and Metropolitan Board of Works (MMBW) Detail Plan (no. 1053) showed the footprint of Richmond Town Hall at its early extent (Figure 8). To the rear of the town hall was a bowling green; smaller than what exists in 2017. The footprint of the police station fronting Bridge Road (Figure 9) is evident to the left of the Town Hall. Directly behind the police station were outbuildings (the eastern building remains in 2017), followed by a grassed area and another building (since demolished). To the east adjacent to Gleadell Street was the original post office (since replaced), with the Council Yard to the rear (MMBW DP 1053, 1898).

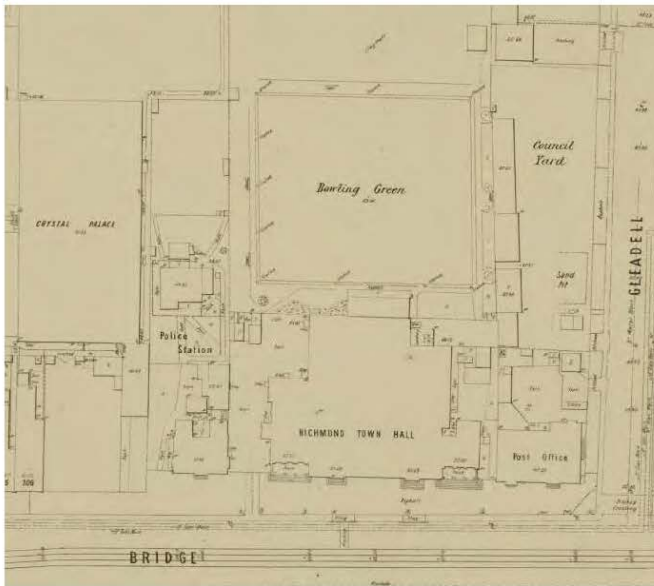


Figure 8. The complex in 1898 (MMBW DP 1053, 1898).



Figure 9. The Town Hall and adjacent police station, photo taken 1912 (Victorian Places).

This civic centre of Richmond developed with other public buildings, including the Metropolitan Gas Company's Richmond gasometer and the Crystal Palace Skating Rink built c1900 (rebuilt as Richmond Cinema in 1919; now part of BBQ's Galore).

The Town Hall was remodelled from December 1934 to 1936, now called Richmond City Hall (Figure 10). The architect for this work was Harry R. Johnson and the builders were the Reinforced Concrete and Monier Pipe Construction Company (O'Connor et al, 1985: building ID form). The works included the remodelling of the facade in an Egyptian-influenced Moderne style. The Town Hall had been closed for dancing in 1929 because of the state of the floor, so a mayoral ball was held to celebrate its reopening. The interior of the hall was described following its completion (McCalman, 1998:175-6):

Panelled in polished blackwood, the hall has undergone an entire transformation. Above the panels the walls have been artistically shaded in pastel tones, and huge electroliers and modern wall lighting effects combine to make the hall one of the best in the metropolitan area.

An aerial photo of the subject site shows the extent of the building at this date (Figure 11). In the 1950s the City Hall was the location of many of the great battles over the split of the Australian Labour Party (NTAV).



Figure 10. The City Hall after the remodeling, photo taken late 1930s (SLV Image no. H2009.20/12).



Figure 11. Detail of a 1945 aerial showing the subject site and extent of the building at this date (Landata historical aerial photos: Melbourne and Metropolitan Area Project, Run 23 (12/1945)).

Harry R. Johnson, architect

Harry Raymond Johnson (1892-1954) was the son of architect Harry M. G. Johnson and grandson of architect and surveyor George R. Johnson. Harry R. Johnson is known to have designed many flats and residences in St Kilda, hotels and one known municipal building. He was the Mayor of St Kilda in 1932-33 (AAI; Johnson & Tibbits, 2005).

Johnson's hotel commissions included the Waterside Hotel at 508-514 Flinders Street (1928) and the Royal Oak Hotel at 529-533 Bridge Road, Richmond (1923). Johnson undertook alterations and additions to the Nelson Hotel, 520 City Road, St Kilda, and Montague Hotel, 355 Park Street, St Kilda, both in 1927 (SKHS). He reportedly purchased the Council Club Hotel (former Court House Hotel) at 115 Cecil Street, South Melbourne in 1927 before carrying out extensive alterations and adding the third floor (Melbourne Walks).

Johnson designed the 1934-1936 remodeling of the Richmond Town Hall and Municipal Offices on Bridge Road, Richmond, in an Egyptian-influenced Moderne style. Known residential commissions included individual houses and flats in the 1920s and '30s. Examples are the 1922 additions to 'Chandos Court' at 17-25 Charnwood Crescent, St Kilda, the houses at 11 & 13 Mitford Street, St Kilda (1922), 'Rialto' flats at 26 Mitford Street, St Kilda (1933), his own residence 'Marlo' at 20 Mitford Street, St Kilda (1936), and 'Raeburn Flats' at 20 Charnwood Crescent, St Kilda (1938). He is also attributed with the design of the Gatwick Private Hotel at 34 Fitzroy Street, St Kilda (1938).

Physical Description

The two-storey City Hall at 325-333 Bridge Road, Richmond, is situated in the civic centre of Richmond, on the north side of Bridge Road, east of Church Street.

The 1869-71 building is constructed of brick on a bluestone plinth with cream brick banding and details, repetitive arch-headed windows and rows of single brackets to the eaves. Some brick corbelled chimneys from this period remain (those near the facade were rendered during the 1930s remodelling). The earlier building is evident on the side and rear elevations, including in the small single-storey 1909 addition off the court room at the west, which is similar in style to the 1869 building (O'Connor et al, 1985: building ID form). Some later additions are located towards the rear (north) of the City Hall building (date not confirmed).

The 1930s remodelling comprised the addition of a new rendered front façade to the building in the form of two-storey porticos at the west and east ends and a large central portico with a temple front, remodelling of the existing tower and changes to the roof form of the existing building. A rendered tower



projects centrally above the entrance, with a corbelled balcony (may retain the original Victorian balustrade) and Egyptian influenced ornamentation. The symmetrical facade has a dominant central portico with a pediment supported by four large columns on large bases, with abstracted Egyptian-influenced capitals. The pediment bears the words 'CITY HALL' either side a wreath motif. The roof form is concealed from Bridge Road by a parapet with decorative panels with Egyptian-inspired reliefs. The side porticos are smaller in scale, with recessed entrances and a pair of columns similar to those of the portico. These entrances take the form of Egyptian style aedicules. Under the main portico are pilasters above a projecting section with three entrance doors. These pairs of bronze doors with highlights have square-headed openings. The rendered facade is incised to give the effect of an ashlar construction. A frieze of Egyptian character runs across the first floor at sill level. Various panels of decoration to the façade show an Egyptian influence, while other ornamentation is Art Deco in style. The arch-headed windows of the Victorian building remain (and are repeated in the projecting porticos constructed in the 1930s), with their double-hung sash windows.

Key internal spaces within the building were redecorated in the 1930s with Moderne detailing applied to existing components such as arch-headed frames of windows and openings and skylights. Together with timber panelling in the foyer, this Moderne detailing has been retained in partitioned spaces within the town hall.

Elements that contribute to the significance of the place include (but are not limited to):

Front elevation:

- Freestanding, symmetrical building with dominant front facade
- Front setback with receding and projecting bays across the front facade
- Façade parapet with pitched and flat roofs behind
- Rendered walls to front facade
- Rendered façade detailing including columns, pilasters, elaborate capitals and friezes
- Tall central tower with rendered decoration
- Corrugated iron roof cladding.

Side and rear elevations:

- Biochromatic brickwork walls, on bluestone base
- Repetitive arch-headed and rectangular fenestration patterns
- Exposed hipped slate roof with bracketed eaves

Internally:

- The Ticket Office in the foyer and the Main Hall with detailing that remains highly intact, reflecting both phases of development.



Figure 12. Junction of 1869-71 building and 1934-36 remodelled front façade, as evident on the west elevation.

Integrity

The building retains a high degree of integrity to both the Victorian and Interwar period in fabric, form and detail.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (July 2015).

Criterion A: *Importance to the course or pattern of our cultural or natural history (historical significance).*

City Hall at 325-333 Bridge Road, Richmond is of historical significance as the centre of local government services in Richmond since 1869. Both the original 1869 building and the symbolic and monumental refacing of the building in 1934 to coincide with the centenary of Victoria, represent the civic aspirations of the local government.

Criterion D: *Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).*

City Hall at 325-333 Bridge Road, Richmond is a distinctive, intact and representative example of a municipal town hall building. It displays typical features of two major stages of construction - the east and west facades show the original Victorian Italianate style, including rows of simple round-headed brick arched openings, bracketed eaves and bichromatic brickwork and the front façade and tower show the severe and monumental Moderne style, including a variety of both Egyptian-influenced elements and Art Deco motifs.

Criterion E: *Importance in exhibiting particular aesthetic characteristics (aesthetic significance).*

The imposing rendered main façade of City Hall at 325-333 Bridge Road, Richmond, with prominent clock tower and front porticoes, presents a landmark form to Bridge Road and surrounding areas. Egyptian-influenced elements and Art Deco motifs add to the visual qualities of the exterior of the place. The Ticket Office within the foyer and the Main Hall retain decorative elements that clearly reflect both important phases of development of the place.

Grading and Recommendations

It is recommended that the place be included in a site-specific Heritage Overlay in the Yarra Planning Scheme as an individually significant heritage place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Yarra Planning Scheme:

External Paint Controls?	Yes
Internal Alteration Controls?	Yes – Ticket Office within Foyer and Main Hall only
Tree Controls?	No
Outbuildings or Fences not exempt under Clause 43.01-3?	No
Prohibited Uses Permitted?	No
Incorporated Plan?	Incorporated Plan under the provisions of clause 43.01 Heritage Overlay, Planning Permit Exemptions, July 2014
Aboriginal Heritage Place?	No

Extent of the recommended Heritage Overlay

To the property title boundary, as indicated by the polygon on the aerial below.



Figure 13. Aerial image showing recommended extent (adapted from nearmap)



Figure 14. Recommended extent shaded in red (adapted from existing Heritage Overlay map). This extent follows the title boundary, alignment of Bridge Road to the south and boundary of HO230 to the west.

Identified by:

Butler, Graeme and Associates (2007, updated 2013), *City of Yarra Review Of Heritage Overlay Areas*.

Appendix 8 (updated May 2017) identified the place as 'Individually Significant'.

Allom Lovell & Associates (1998), *City of Yarra Heritage Review*.

The 1998 Study identified the place as 'Individually Significant' within the Bridge Road Precinct.

O'Connor, John & Roslyn Coleman & Thurley O'Connor & Heather Wright & Australian Heritage Commission et al. (1985), *Richmond Conservation Study*.

The 1985 Study graded the placed 'C' in the Building Index, within the Bridge Road Conservation Area.

References:

Australian Architectural Index (AAI), copyright Miles Lewis, record nos. 18302, 2824.

Allom Lovell & Associates (July 1998), *City Of Yarra Heritage Review, Thematic History (Vol 1)*.

Graeme Butler and Associates (2007), *City of Yarra Review of Heritage Overlay Areas*.

Johnson, Peter & George Tibbits (2005) 'Johnson, George Raymond (1840–1898)' in *Australian Dictionary of Biography*, <<http://adb.anu.edu.au/>>, accessed 4 October 2017.

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Melbourne Walks, 'A Brief History of Some Hotels', <<http://melbournewalks.com.au/wp-content/uploads/2014/04/SOUTH-MELBOURNE-HOTELS.pdf>> accessed 4 October 2017.



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