

Arbirlot
11 Brunswick Street, Fitzroy

Application for permit –
Proposed works



Heritage Impact Statement

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1.0 Introduction

This analysis of heritage impacts upon the residence at 11 Brunswick Street, Fitzroy (also known as Arbirlot) has been prepared on behalf the property owners. It comments on the significance of the building and provides an assessment of the potential heritage impacts resulting from the present proposed suite of works.

This report has been prepared by Guy Murphy and Bryce Raworth and is intended to be read in conjunction with the drawings and other documentation prepared by Clarke Hopkins Clarke Architects.

The scheme for the site has been prepared in consultation with the authors of this report, and has been substantially amended as a result of a pre-application consultation with Heritage Victoria.

2.0 Sources of Information

The analysis below draws upon site visits and inspections of the subject building at 11 Brunswick Street, Fitzroy along with a review of the relevant *Victorian Heritage Register* documentation.

In preparing this report, the authors have also been mindful of the City of Yarra's Heritage Overlay provisions and local heritage policy, as set out under *Clause 43.01* and *Clause 22.02* of the *Yarra Planning Scheme*. (It is nonetheless noted that a permit is not required under the Heritage Overlay for a heritage place included on the *Victorian Heritage Register*.)

The relevant *Victorian Heritage Register* citation has also been referenced, as have relevant historical sources including measured drawings held by the State Library of Victoria, historic MMBW Plans and photographs.

It is noted that a Conservation Management Plan (CMP) has not been prepared for 11 Brunswick Street to date.

3.0 Methodology

This heritage impact statement has been prepared with regard to the *Burra Charter* and its guidelines, as amended in 1999, and in general accordance with Heritage Victoria's guidelines for heritage impact statements. It seeks to respond to four key questions:

- 1) *What physical and/or visual impacts will result from the proposed works?*
- 2) *If there are detrimental impacts, provide reasons why the proposal should be permitted*
- 3) *Has the design been influenced by, or had to address any Local Planning Scheme provisions?*
- 4) *What measures are proposed to mitigate the detrimental impacts?*

4.0 Listings and Controls

Victorian Heritage Register

11 Brunswick Street is included on the *Victorian Heritage Register* (Registration No H0149). The *Register* is administered by Heritage Victoria under the provisions of the *Heritage Act 1995*. Heritage Permits from Heritage Victoria are required for any new works, additions and alterations to structures on the site.

The current application for works will be considered within the broad ambit of considerations under the *Heritage Act*, which are intended to support the sustainability of places and also take into account economic impacts. The *Act* provides the following direction.

73. Matters to be considered in determining applications

(1) In determining an application for a permit, the Executive Director must consider-

- (a) the extent to which the application, if approved, would affect the cultural heritage significance of the registered place or registered object; and*
- (ab) if the application relates to a listed place or to a registered place or registered object in a World Heritage Environs Area, the extent to which the application, if approved, would affect-*
 - (i) the world heritage values of the listed place; or*
 - (ii) any relevant Approved World Heritage Strategy Plan; and*
- (b) the extent to which the application, if refused, would affect the reasonable or economic use of the registered place or registered object, or cause undue financial hardship to the owner in relation to that place or object; and*
- (c) any submissions made under section 69; and*
- (d) any decision of the Heritage Council under section 72 which has been received; and*
- (e) if the applicant is a public authority, the extent to which the application, if refused, would unreasonably detrimentally affect the ability of the public authority to carry out a statutory duty specified in the application; and*
- (f) any matters relating to the protection and conservation of the place or object that the Executive Director considers relevant.*

City of Yarra

11 Brunswick Street is identified as heritage overlay place HO151 under the *Yarra Planning Scheme*. This overlay recognises that the responsible authority with regard to heritage issues and any permit application for the site is Heritage Victoria, and Council will have a role as a referral body. A permit is not required under *Clause 43.01*, the heritage policy.

HO151 is located adjacent to three other individual heritage overlays relating to registered sites, HO150 (the house at 9 Brunswick Street, H1706), HO152 (the shop and residence at 13 Brunswick Street, H150) and HO156 (the former Devonshire Arms Hotel at 34-38 Fitzroy Street, H528). It is also located within the wider South Fitzroy Precinct, HO334.

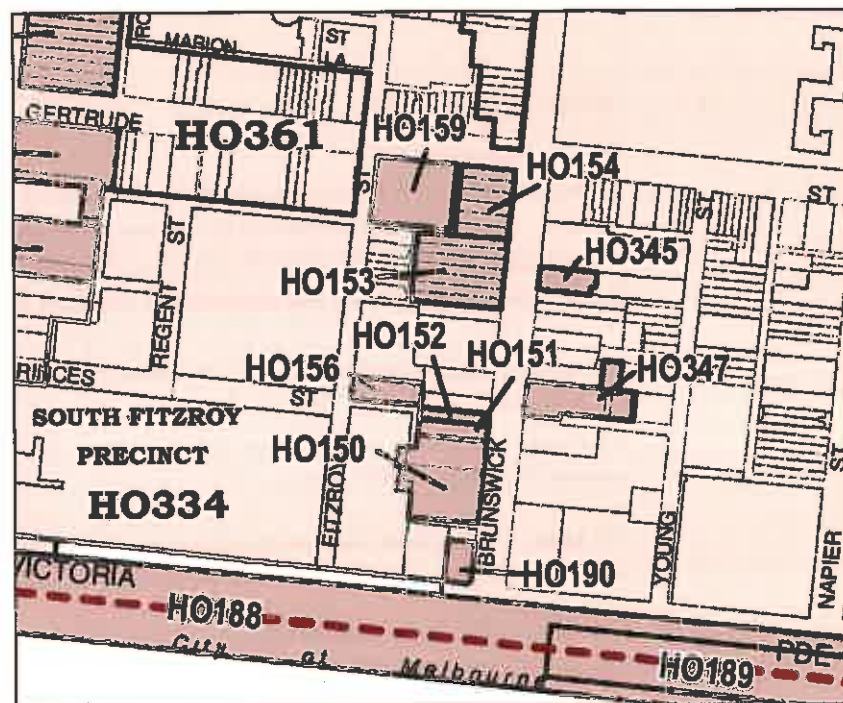


Figure 1 Heritage Overlay map showing the subject site (HO151) and its environs.

National Trust of Australia (Victoria)

11 Brunswick Street, Fitzroy is classified by the National Trust of Australia (Vic) [File number B3297]. The National Trust is an advisory body with no statutory powers.

Register of the National Estate

The site was not included on the *Register of the National Estate* (RNE). The RNE was administered by the Australian Heritage Commission. It was closed in 2007 and is no longer a statutory list.

5.0 History & Description

Prior to the construction of the existing house, the address now known as 11 Brunswick Street contained a boot factory. Both Fitzroy City rate books and *Sands & McDougall* directories list the factory of Daniel W. Brookhouse at the site, which was then known as 17 Brunswick Street and owned by Abt. Robinson. Major change had occurred by the following year with the 1891 rate books listing a 13 room brick house at the site belonging to A. C. Sturrock and occupied by Walter Macgibbon, Alexander C Sturrock and another (illegible) person. The site is listed as a single occupancy residential address in subsequent years, indicating the existing three storey late Victorian house on the site was most likely constructed during 1890/91.

Alexander Corsar Sturrock was a Scottish born stone mason who had arrived in Victoria in 1854. He was a notable influential figure in the eight hour labour movement, later becoming financially successful. He and his wife undertook a world tour in 1889, apparently acquiring Brookhouse's factory on their return in order to construct a house on the site for his daughter Elizabeth Corsar Sturrock and her husband, the notable surgeon Dr Walter MacGibbon. The house was presumably named 'Arbirlot' in reference to the village in Scotland of the same name. (Sturgess and his wife Mary resided in Brunswick). Dr MacGibbon had previously lived nearby at 7 Brunswick Street, in close proximity to St Vincent's hospital, nearby at the corner of Nicholson Street and Victoria Parade. The architect of the building is unknown.

The 1898 MMBW plan (see *Figure 2*) for this part of Brunswick shows the layout of what is now 11 Brunswick Street at that time. The existing house is identified as 'Arbirlot' and was set back behind a narrow garden and front fence with a bluestone plinth. The back of the site adjacent to the rear laneway to the west included a stable and a pitched yard. The space between the rear wing abutting the northern property boundary and the southern boundary contained an asphalted path and narrow garden. Two addresses to the north along the eastern side of the street was the Westminster Club Hotel, while the adjacent land to the south contained a large lawn area associated with the residence 'Edensor' occupied by noted lawyer and politician Samuel Gillott. Brunswick Street and the surrounding area of Fitzroy north of Victoria Parade was closely developed by this time, containing a combination of residential, commercial and institutional buildings.

The site contains a substantial imposing three storey rendered masonry terrace presently used as a gallery with associated offices and a residence. The building presents a full height arcaded facade to Brunswick Street, which is four bays in width and largely intact to its original construction. The ground floor verandah features encaustic tessellation, with the front entry door located on the north side, and a projecting bay window on the south. The upper level balconies feature moulded masonry balustrading and the facade behind retains its original configuration of arched window openings. Drawings and photographs from the 1970s indicate the original parapet had been truncated by this time, with the

removal of a raised central element, balustrading and urns. Subsequent partial restoration works have created the existing parapet featuring several urns, and a modest central pediment, though the original arrangement appears to have included a balustraded parapet and a more substantial pediment. One of the reinstated urns is now missing.

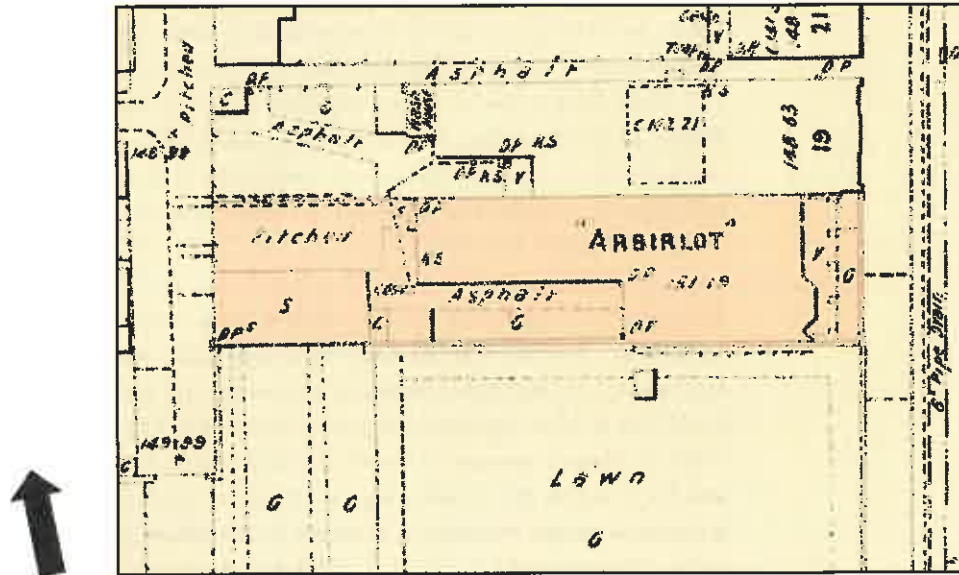


Figure 2 Above 1898 MMBW plan showing structures on the subject site (shaded red) at this time. The residence was then known as 'Arbriol' and had different street numbering.

The house is set back from Brunswick Street with the same front garden configuration as that show in the MMBW plan, including the original cast iron fence. The south and north side elevations of the front original three storey portion of the house are of blank face brick and include visible rendered chimneys. Overall, the Brunswick Street frontage to the house is highly intact externally to its original Victorian character.

Further west of the original three storey portion of the building are intermediate elements that are much altered and extended. While this one and two storey fabric includes some original built form, including remnants of the original two storey service wing that was located to the rear of the main three storey envelope, the remnant early built is so altered as to be of low integrity and low heritage value. The roof and chimney of this first floor envelope may be glimpsed from the rear laneway further west, but cannot otherwise be seen from the public domain. The western side of the site now contains a modern double storey grey concrete block envelope addressing the rear laneway to the west, which includes a garage.

Most of the original interiors to the original house have been altered to some degree, some substantially.

In relation to its public context, Brunswick Street is a broad thoroughfare containing a central tramline, parallel parking on each side and broad footpaths.

The laneway to the west of the site, approached along Princes Street, is of bluestone and is characterised by fences, garages and a high rise car park and hospital building along its west side. It is not considered a sensitive heritage environment.

The west side of Brunswick Street, to either side of the subject site, is characterised by a series of architecturally elaborate, multi-storey Victorian and Edwardian heritage buildings. These include a large, freestanding double storey Italianate villa at 7 Brunswick Street [VHR H01706], and elaborately decorated double-story commercial buildings at 13 Brunswick Street [VHR H0150] and 15 and 17 Brunswick Street. The adjacent site to the south at 9 Brunswick Street contains a discreetly designed modern double storey infill building at a setback. Opposite the site, to the east, is St Mary of the Cross Square, which includes an Australian Catholic University Campus building of at least nine storeys on its eastern side. The three storey Victorian commercial building with a rendered facade at 22 Brunswick Street is the only nearby heritage building on the east side of the street.

Across the adjacent laneway to the west and south west is substantial built form associated with St Vincent's Hospital, including a highrise car park and larger modern hospital building. This forms a prominent backdrop to the subject site. While the laneway retains an intact traditional bluestone surface, it is fronted by either modern buildings or the rear fences and garages of adjacent properties, including those containing heritage buildings, and is not considered a sensitive heritage environment.



Figure 3 *A c.1970s view of 11 Brunswick Street, showing the original parapet to have been truncated by this time.*

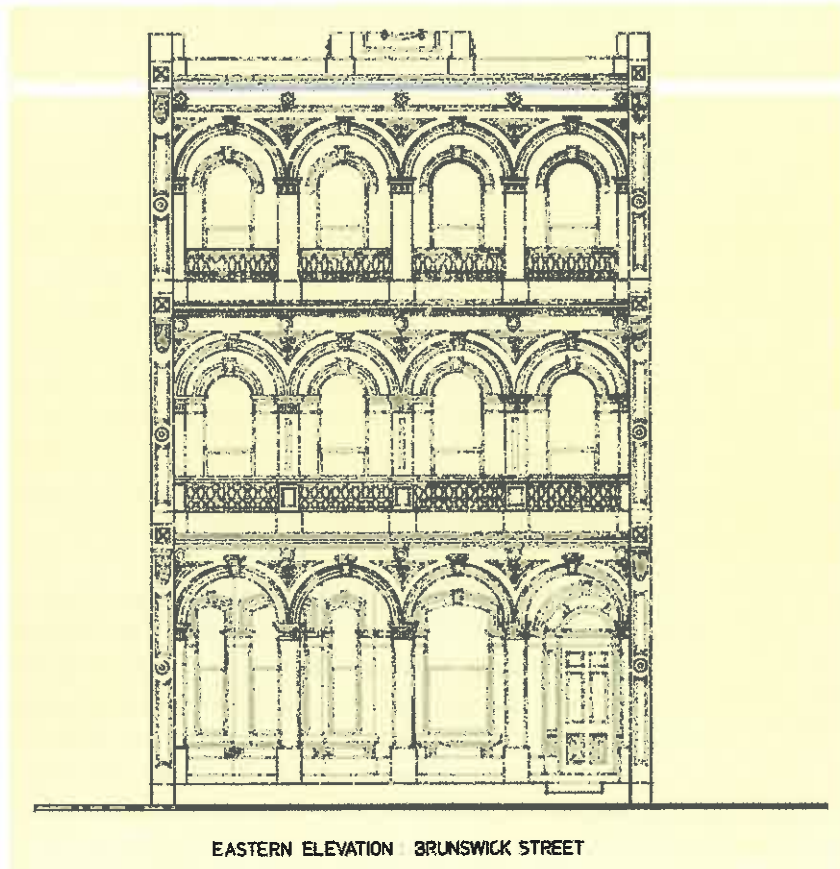


Figure 4 1977 measured drawing of the street facade showing the truncated parapet.
Source: State Library of Victoria.



Figure 5 Existing view of the Brunswick Street frontage of 11 Brunswick Street.



Figure 6 *The Brunswick Street facade retains its original configuration of openings, including the original front door joinery.*



Figure 7 *The front garden is enclosed from Brunswick Street by the original intact front fence.*



Figure 8 The truncated parapet has been partially reinstated with new urns and a central parapet, though it seems likely that these works may not have restored the parapet to its complete, original configuration. One of the urns is now missing.



Figure 9 Arrows indicate the remaining evidence of the original balustraded parapet, the location where a parapet urn is missing, and the pediment in its present abbreviated form.



Figure 10 View of 11 Brunswick Street and its adjacent streetscape as seen from the courtyard of the University campus directly opposite.



Figure 11 View south along the east side of Brunswick Street, to the intersection with Victoria Parade, from in front of the subject site, showing its non-heritage character.



Figure 12 View of the western boundary condition of the subject site and the adjacent laneway, with the site's double storey modern garage visible at right.



Figure 13 View of the western boundary from the south west, showing the high bluestone and brick wall to the rear of the adjacent property at 9 Brunswick Street.



Figure 14 View south along the laneway behind the subject site showing the scale of the adjacent highrise car park and the hospital developments to the west.

6.0 Significance

Heritage Victoria

As noted above, the 11 Brunswick Street is included on the *Victorian Heritage Register*. The statement of significance for the site, as endorsed by Heritage Victoria, is reproduced in below:

The Residence at 11 Brunswick Street Fitzroy is a three storey brick building, built in 1891 as a residence for Alexander Sturrock, a salesman. The four-bay rendered facade supports an attached three-pier arcade.

The Residence at 11 Brunswick Street is of architectural and historical significance to the State of Victoria.

The Residence at 11 Brunswick Street is of architectural significance as an interesting example of boom style terrace house architecture. The superimposed arcade is a typical element used in domestic buildings of this period. This particular example is of unusual width and the different application of mouldings and other decorative features on each floor is notable.

The Residence at 11 Brunswick Street is of historical significance as an example of the character of inner Melbourne development in the late 19th century, and as an integral element of the Brunswick Street/Gertrude Street precinct. The grand proportions and ornate finish of the building are evidence of the flow of wealth into Melbourne as a result of the gold rushes in previous decades, although this building is also notable for being built just after the onset of the 1890s depression. Together with the other elements of the Brunswick Street/Gertrude Street precinct, including neighbouring Dodgshun House, the house demonstrates the substantial character of this part of Fitzroy at the end of the 19th century.

This statement focusses on the front three storey portion of the building, with particular emphasis on the facade and frontage to Brunswick Street, and its visual relationship to adjacent significant heritage buildings. No reference is made to the rear double storey wing, the interior of the building or any other structures or landscape elements on the site.

7.0 The Current Proposal

The proposed development scheme has evolved in consultation with Heritage Victoria. It will involve demolishing part of the rear wing of the house (presently used as a house and gallery with offices), and the rear garage, removing internal partitioning from the retained heritage building, and constructing an eight storey development on the west side of the site.

The only part of the original house to be demolished will be the western half of the rear wing including its roof structure and one chimney. The original room on the east side of this rear wing will be retained to its full volume at each level including the original roof structure and chimney. The front three storey portion of the building, including the front garden and fence, will be retained. Internally, existing non-original partitioning will also be removed. The extent of retention of existing fabric will include the original main stair and the tiling to what was the front entry hall. The single storey additions to the south and west of the rear wing

and the double storey garage at the western end of the site, overlooking the rear laneway, will be demolished.

Minor refurbishment of the ground floor level to the retained house will involve partitioning an existing front room to create a lounge space, corridor and bathroom (effectively functioning as anterooms to the apartment above and the rear apartments and their lobby). An existing small gallery space and storage room at the southeast corner will be opened up into a unified office space, with the fireplace retained to its west side. The upper levels will be retained in their current configuration as an apartment. The retained portion of the rear wing is to be divided into bicycle store and bin store areas.

Having regard for the already altered character of the interiors, which have previously operated as offices in addition to their current use as a gallery and home, the extent of internal fabric retention is reasonable and appropriate. In reality, the presentation of the interior of the front part of the house at ground level will be an improvement upon the present condition. It will reinstate the front room to be used as an office (at present bisected by a partition). It will also remove a partition at present bisecting the front entry hall tiling and insert a glass panel to the immediate west of these tiles, reinstating a visual link between this area and the stairs beyond.

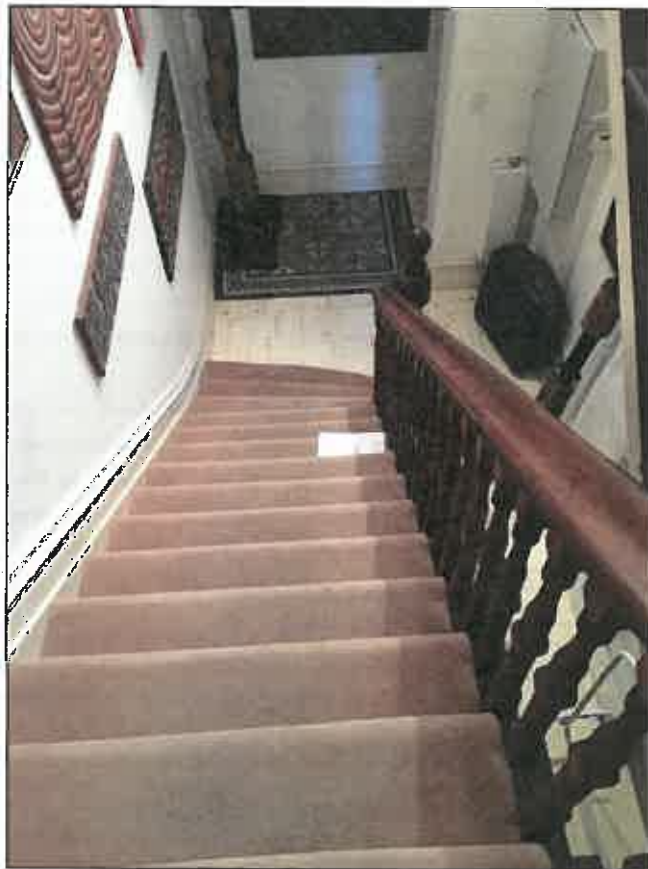


Figure 15 View downward along the stair that is to be retained, toward the remnant tessellated tiles to the original entry hall, which are at present bisected by a partition. This partition is to be removed and the tiled area reinstated within an entry area, with glazing between the tiled entry and the stair to the upper level apartment.



Figure 16 View to the front entry portion of the tiled entry hall, and the partition that separates this area from the stair beyond. This partition is to be removed.

Conservation and restoration works will be undertaken to the Brunswick Street frontage of the building to the extent possible. Subject to further information, this may include reinstatement of the original balustraded parapet detailing (see *Figure 9*) and the construction of a different central pediment form. While it is not possible to reinstate the parapet as a whole to its original form in the current absence of original drawings and/or early photographs, it almost certainly originally featured a grander raised central pediment similar to that seen on nearby contemporary buildings. The balance of the facade is in generally good condition and requires only ongoing maintenance rather than restoration per se.

The new addition or apartment development will be eight storeys in scale. In plan, it will extend across all of the site behind the retained dwelling, abutting each property boundary. A garage area adjacent to the laneway will provide parking for 11 cars by means of a car stacker. A secondary pedestrian entrance from the lane will run along the north side of the rear part of the site, providing access to a new internal lobby space, lift, stair and the storey spaces in the retained portion of the rear wing.

Levels 1 to 5 will each contain a two bedroom apartment, while Levels 6 and 7 will contain a single three bedroom apartment. Level 1 to the addition will be located on the western side of the site, with paved terrace spaces separating the new building volume from the retained heritage structure. Its north west corner will be indented to accommodate a small balcony overlooking the lane. Levels 2-5 will essentially be the same, including an additional indented balcony in both north west and north east corners of each level. Level 7 will be set back from the east side to accommodate a large roof terrace.

The new apartment envelope will be contemporary and restrained in character. It will be massed to form a single multi-storey volume, with the external treatment articulating the elevations into elements that are visually smaller in scale.

The east elevation facing Brunswick Street will be externally clad with a vertical timber batten screen on its southern side, with the recessed north side finished with white sheet cladding and glazed balustrading. The north and south elevations will each be clad with horizontal textured concrete patterned with a triple arched motif that is interpretative of the arcading to the street facade of the terrace. The rear west elevation to the adjacent laneway is predominantly clad with a full height vertical timber batten screen, with glazing and white cladding along the northern side. At street level it will include a large timber garage door and pedestrian entry with a small garden. The top level will be partially recessed and given a different external treatment of darkly toned cladding.

8.0 Heritage Impacts

This heritage impact statement has been prepared in general accordance with Heritage Victoria's guidelines for such assessments. It seeks to respond to four key questions, as set out in Section 3.0 above.

1) What physical and/or visual impacts will result from the proposed works?

A key consideration, within the terms of the registration, is the extent to which the proposed works will affect the significance of the subject dwelling.

In relation to the existing heritage fabric, the principal physical change will comprise the removal of the western part of the rear wing to the registered building. The ground floor interior of the retained portion of the rear wing will also be refurbished. The works will also involve the removal of later additions to west and south side of the rear part of the building.

In terms of visual impacts, the key change will be the construction of an eight storey envelope at the rear of the site behind the retained terrace. While there is already built form to the rear of the house of a comparable scale to that proposed, it is located on the opposite west side of the adjacent laneway, not within the site itself. The upper levels of the south, east and north elevations of the new envelope will be partially visible from Brunswick Street in views from along Brunswick Street to the east and west (though not from directly in front of the subject site). This structure will also be visible from the rear laneway along the west end of the site.

2) *If there are detrimental impacts, provide reasons why the proposal should be permitted*

There are few detrimental impacts associated with these works, with most changes involving non-heritage fabric.

The proposal for demolition and redevelopment will need to be considered within the broad ambit of considerations under the *Heritage Act*, which are intended to support the sustainability of places and also take into account economic impacts. As noted, under the *Heritage Act* the Executive Director must consider economic impacts and the impact associated with the refusal of any such proposal:

73. *Matters to be considered in determining applications*

(1) *In determining an application for a permit, the Executive Director must consider-*

[...]

(b) *the extent to which the application, if refused, would affect the reasonable or economic use of the registered place or registered object, or cause undue financial hardship to the owner in relation to that place or object; and*

[...]

In the present instance the key potentially adverse impacts would be the removal of the west portion of the rear wing, and the construction of a new built form at the rear of the site that is higher than the built form currently in that location.

The rear wing forms part of the secondary rear elevation of the building, and in its original form would have been relatively plain in character. It is not visible from Brunswick Street, and is largely concealed from the rear laneway. In the current site configuration, the wing's west elevation is entirely concealed by the abutting modern garage additions, with only part of the upper level of its red brick northern side wall, the roof structure and chimneys visible from the rear laneway. It has also been substantially altered by the construction of various additions. It is not referenced at all in the Heritage Victoria citation for the site, which clearly identifies the grand character of the three storey front envelope as the basis of its state significance. The rear wing is more diminutive and generic in character and is not in any way notable.

Key public views of the site are from busy Brunswick Street to the east, not from the narrow laneway. To the extent that the proposed demolition involves the removal of remaining original fabric from this part of the building, this will have only a very limited and marginal impact on the integrity and significance of the place. The loss of existing fabric in this location will not be evident from the site's principal frontage along Brunswick Street. The partial retention of the wing will signify its historic presence in that location and in views from the laneway and will be indicative of its original form.

The proposed scheme includes the potential for modest conservation and restoration works to the retained street facade and interiors of Arbirlot, which represents a positive heritage outcome. While the interior has been substantially altered, the original stair and tiled entry area are to be retained and visually reunited, and a front room is to be reinstated.

With respect to the scale of the proposed addition, Arbirlot is already seen against a backdrop of large development, including an ugly multi-storey car park, in views from the east along Brunswick Street and from the open space in front of the University Campus on the eastern side of street. The proposed rear development will be of a restrained contemporary character that will be relatively recessive in character. In this context, the addition will not result in a substantial change to the visual setting of the retained terrace. It will arguable provide some visual benefit by partially concealing the car park behind Arbirlot in some views from Brunswick Street.

Overall, the proposal strikes an appropriate balance of outcomes in terms of maintaining the heritage values of the place while addressing non-heritage (ie broader planning) considerations, the latter being primarily those associated with fulfilling the potential of the site for more intensive use in light of its inner suburban location.

3) *Has the design been influenced by, or had to address any Local Planning Scheme provisions?*

As previously noted, the site is identified under a Heritage Overlay affecting the buildings and grounds. The relevant *Yarra Planning Scheme* provisions include the heritage overlay at *Clause 43.01, Clause 15 and Clause 22.02, Development Guidelines for Sites Subject to the Heritage Overlay*. This clause has the following objectives:

Objectives

To conserve Yarra's natural and cultural heritage.

To conserve the historic fabric and maintain the integrity of places of cultural heritage significance.

To retain significant view lines to, and vistas of, heritage places.

To preserve the scale and pattern of streetscapes in heritage places.

To encourage the preservation, maintenance, restoration and where appropriate, reconstruction of heritage places.

To ensure the adaptation of heritage places is consistent with the principles of good conservation practice.

To ensure that additions and new works to a heritage place respect the significance of the place.

To encourage the retention of 'individually significant' and 'contributory' heritage places.

To protect archaeological sites of cultural heritage significance.

Relevant policies in *Clause 22.02* relating to applications for works at heritage places are as follows:

Demolition

[...]

Removal of Part of a Heritage Place or Contributory Elements

Encourage the removal of inappropriate alterations, additions and works that detract from the cultural significance of the place.

Generally discourage the demolition of part of an individually significant or contributory building or removal of contributory elements unless:

- *That part of the heritage place has been changed beyond recognition of its original or subsequent contributory character(s).*

- For a contributory building:
- that part is not visible from the street frontage (other than a laneway), abutting park or public open space, and the main building form including roof form is maintained; or
- the removal of the part would not adversely affect the contribution of the building to the heritage place.
- For individually significant building or works, it can be demonstrated that the removal of part of the building or works does not negatively affect the significance of the place [...]

Reconstruction and Restoration

Encourage restoration of a heritage place or contributory element if evidence exists to support its accuracy.

Encourage the reconstruction of a building or works which previously existed in a heritage place if:

- The reconstruction will enhance the heritage significance of the heritage place
- Evidence exists to support the accuracy of the reconstruction.

Encourage the reconstruction of original or contributory elements where they have been removed. These elements include, but are not limited to, chimneys, fences, verandahs, roofs and roof elements, wall openings and fitting (including windows and doors), shopfronts and other architectural details and features.

22.02-5.7 New Development, Alterations or Additions

22.02-5.7.1 General

Encourage the design of new development and alterations and additions to a heritage place or a contributory element to a heritage place to:

- Respect the pattern, rhythm, orientation to the street, spatial characteristics, fenestration, roof form, materials and heritage character of the surrounding historic streetscape.
- Be articulated and massed to correspond with the prevailing building form of the heritage place or contributory elements to the heritage place.
- Be visually recessive and not dominate the heritage place.
- Be distinguishable from the original historic fabric.
- Not remove, cover, damage or change original historic fabric.
- Not obscure views of principle facades.
- Consider the architectural integrity and context of the heritage place or contributory element.

Encourage setbacks from the principal street frontage to be similar to those of adjoining contributory buildings; where there are differing adjoining setbacks, the greater setback will apply.

Encourage similar facade heights to the adjoining contributory elements in the street. Where there are differing facade heights, the design should adopt the lesser height.

Minimise the visibility of new additions by:

- Locating ground level additions and any higher elements towards the rear of the site.
- Encouraging ground level additions to contributory buildings to be sited within the 'envelope' created by projected sight lines (see Figure 1)
- Encouraging upper level additions to heritage places to be sited within the 'envelope' created by projected sight lines (for Contributory buildings refer to Figure 2 and for Individually significant buildings refer to Figure 3).
- Encouraging additions to individually significant places to, as far as possible, be concealed by existing heritage fabric when viewed from the front street and to read as secondary elements when viewed from any other adjoining street.

Discourage elements which detract from the heritage fabric or are not contemporary with the era of the building such as unroofed or open upper level decks or balconies, reflective glass, glass balustrades and pedestrian entrance canopies.

Generally speaking, Council policy accepts the demolition of elements within heritage sites that are of little or no significance and that are not considered to meaningfully contribute to the overall significance of the site. It requires that any alterations to significant heritage fabric be undertaken in a manner that minimizes their impact on key significant elements. It also requires that new elements remain clearly distinguishable as non-heritage fabric rather than seek to reproduce and imitate existing historical built form in the area.

The proposal can reasonably be said to address the objectives of *Clause 43.01*, *Clause 15* and *Clause 22.02* to the *Yarra Planning Scheme* in an appropriate manner. The scheme is consistent with Council policy relating to demolition, alterations and additions involving significant places within heritage overlays. It provides for a development of medium rise scale to the rear of a heritage place in a mixed use environment in a manner that is increasingly common in key commercial streets within Fitzroy and Yarra more generally. There are no appreciable 'off site' heritage impacts arising in relation to the proposed works and heritage policy considerations.

It is understood that the proposed scheme has been discussed with Council officers, who have expressed satisfaction with the concept of the development in terms of heritage policy and urban densification considerations.

4) What measures are proposed to mitigate the detrimental impacts?

The key measures taken to mitigate the potential for negative impacts upon the cultural significance of the place are as follows:

- the complete retention of the front three storey portion of the house which encompasses the identified key heritage components of the site, with demolition restricted to part of the rear wing that presents as secondary fabric that is already heavily altered, and later additions that represent non-original, non-significant fabric;
- the proposed development envelope is scaled and located so as to be concealed behind the retained heritage building when viewed from the opposite side of Brunswick Street, as demonstrated in the sightline diagram included in the architectural drawings accompanying this application;
- the proposed suite of works will include the conservation and restoration of the principal street facade including the missing parapet elements (to the extent further research renders this possible);
- the multi-storey envelope to the rear is designed such that it is visually recessive in character and legible as non-original fabric. To the extent that it will be visible in views from further north and south along Brunswick Street, the addition will represent a low key and handsome modern backdrop;

- The north west corner of the eight storey envelope will be indented to provide additional curtilage to the rear of the heritage building including the retained portion of the rear wing.

9.0 Conclusion

In summary, the proposed development scheme for 11 Brunswick Street, Fitzroy has been carefully developed on the basis of a detailed appreciation of the significance of the site and following preliminary discussions with both Heritage Victoria and Council.

It strikes a reasonable and appropriate balance of outcomes in terms of the retention and partial reinstatement of the key significant fabric of the site and the accommodation of new built form that will allow for a more intensive use. The new rear envelope will represent a change of setting, but will not result in any detrimental impacts on public views of Arbilot as seen from Brunswick Street. There will be little or no adverse impact upon the cultural significance of the heritage place.